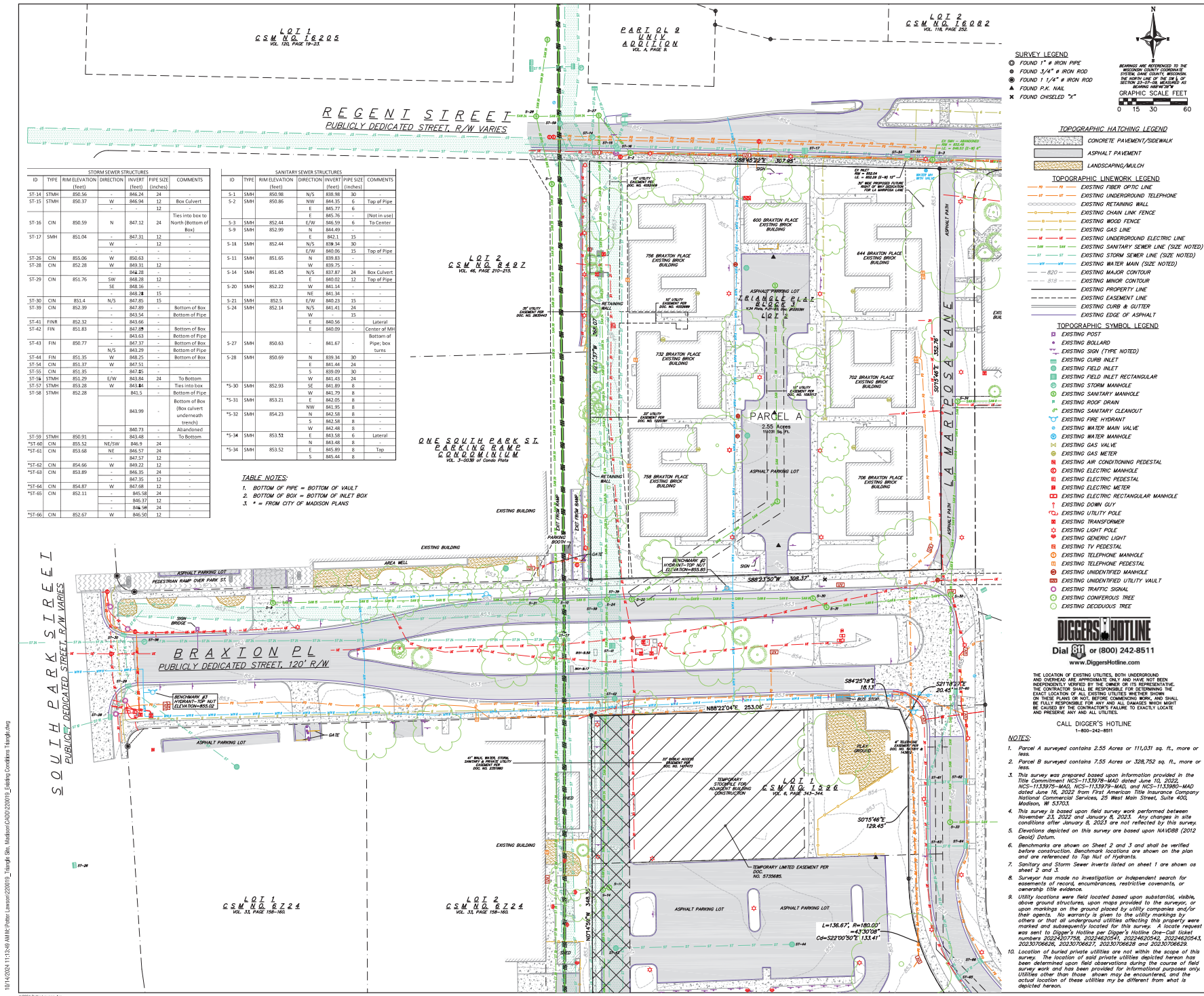




- Complete any public sanitary, storm, and water utility improvements needed to accommodate the Braxton Place street reconstruction.
- Construct East Campus Mall path as approved by the City Traffic Engineer and per plans approved by the City Engineer.
- Construct improvements to W Washington Avenue and S Park Street as needed to provide ingress/egress to the redevelopment as approved by the City Traffic Engineer and per plans approved by the City Engineer.
- Remove existing pedestrian bridge over W Washington Avenue and construct at-grade pedestrian crossing of W Washington Avenue as approved by the City Traffic Engineer and per plans approved by the City Engineer. The new pedestrian crossing will include new pedestrian ramps, continental crosswalks, signs, and rectangular rapid flashing beacons (RRFBs).
- Repair or replace existing public sidewalk, street terrace, curb and gutter, street terrace, and street pavement as necessary to accommodate the redevelopment project.
- Close abandoned private drive entrances with curb and gutter. Construct new private drive entrances per commercial driveway permits approved by City Traffic Engineer and per plans approved by the City Engineer.
- Relocate existing public watermain in Braxton Place to resolve construction conflicts with the proposed redevelopment per plans approved by Madison Water Utility and the City Engineer.
- Provide street lighting and pavement markings as required by the City Traffic Engineer and per plans approved by the City Engineer.
- Construct private sanitary, storm, and water service laterals as needed to serve the redevelopment.
- Public street tree removals, protection, and plantings as approved by the City Forester.





LOT 1  
CSM NO. 16202  
VOL. 124, PAGE 19-24

PART OF  
UNIV.  
ADDITION  
VOL. 1, PAGE 1

LOT 2  
CSM NO. 16282  
VOL. 124, PAGE 22

REGENT STREET  
PUBLICLY DEDICATED STREET, R/W VARIES

STORM SEWER STRUCTURES					SANITARY SEWER STRUCTURES								
ID	TYPE	RIM ELEVATION (feet)	DIRECTION	INVERT (feet)	PIPE SIZE (inches)	COMMENTS	ID	TYPE	RIM ELEVATION (feet)	DIRECTION	INVERT (feet)	PIPE SIZE (inches)	COMMENTS
ST-14	STM	856.56	-	846.34	24	-	S-1	SMH	850.98	N/S	838.98	30	-
ST-15	STM	850.37	W	846.94	12	Box Culvert	S-2	SMH	850.86	N/W	844.35	6	Top of Pipe
ST-16	CIN	850.59	N	847.12	24	This into box to North (Bottom of Box)	S-3	SMH	852.44	N/S	839.34	30	-
ST-17	SMH	851.04	-	847.33	12	-	S-4	SMH	852.99	N	844.49	6	(Not in use)
ST-26	CIN	855.06	W	850.63	-	-	S-11	SMH	852.44	N/S	839.34	30	-
ST-28	CIN	852.28	W	849.31	12	-	S-12	SMH	851.65	E/W	840.96	35	Top of Pipe
ST-29	CIN	851.76	SE	848.16	18	-	S-14	SMH	851.65	N/S	837.87	24	Box Culvert
ST-30	CIN	851.4	N/S	847.95	15	-	S-20	SMH	852.22	E	841.14	6	-
ST-39	CIN	852.39	-	847.89	-	Bottom of Box	S-21	SMH	852.5	E/W	840.23	15	-
ST-41	FINR	852.32	-	843.66	-	Bottom of Pipe	S-24	SMH	852.14	N/S	841.41	24	-
ST-42	FIN	851.83	-	847.28	-	Bottom of Pipe	S-27	SMH	850.63	-	841.67	-	Lateral Center of Mtl
ST-43	FIN	850.77	-	847.37	-	Bottom of Pipe	S-28	SMH	850.69	N	839.34	30	-
ST-44	FIN	851.35	W	849.75	-	Bottom of Pipe	S-29	SMH	850.22	W	841.14	6	-
ST-45	CIN	851.37	W	847.51	-	Bottom of Pipe	S-30	SMH	852.9	N/S	841.93	8	-
ST-59	STM	851.35	E/W	847.85	-	To Bottom	S-31	SMH	853.21	E	842.05	8	-
ST-58	STM	853.28	W	843.84	-	To Bottom	S-32	SMH	854.23	N	842.58	8	-
ST-57	STM	853.28	W	843.84	-	To Bottom	S-33	SMH	853.5	E	842.58	8	-
ST-56	STM	852.8	W	843.3	-	Bottom of Box	S-34	SMH	853.2	S	845.44	8	Tap
ST-55	STM	850.91	-	840.73	-	Abandoned							
ST-60	CIN	851.52	N/S	846.9	24	-							
ST-61	CIN	853.68	NE	846.57	24	-							
ST-62	CIN	854.66	W	849.32	12	-							
ST-63	CIN	853.89	-	846.35	24	-							
ST-64	CIN	854.87	SW	847.68	12	-							
ST-65	CIN	852.11	-	845.58	24	-							
ST-66	CIN	852.67	W	846.50	12	-							

TABLE NOTES:  
 1. BOTTOM OF PIPE = BOTTOM OF VAULT  
 2. BOTTOM OF BOX = BOTTOM OF INLET BOX  
 3. \* = FROM CITY OF MADISON PLANS

**SURVEY LEGEND**

- FOUND 1" # IRON PIPE
- FOUND 3/4" # IRON ROD
- FOUND 1 1/4" # IRON ROD
- FOUND P.K. NAIL
- ✕ FOUND CHISELED "X"

MARKED AS REFERRED TO IN SECTION COUNTY RECORDS THE NORTH LINE OF THE 25' x 35' SECTION HAS BEING SURVEYED GRAPHIC SCALE FEET  
 0 15 30 60

**TOPOGRAPHIC HATCHING LEGEND**

- CONCRETE PAVEMENT/SIDEWALK
- ASPHALT PAVEMENT
- LANDSCAPING/MULCH

**TOPOGRAPHIC LINEWORK LEGEND**

- EXISTING FIBER OPTIC LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING CURB & GUTTER
- EXISTING EDGE OF ASPHALT

**TOPOGRAPHIC SYMBOL LEGEND**

- EXISTING FREST
- EXISTING BOLLARD
- EXISTING SIGN (TYPE NOTED)
- EXISTING CURB INLET
- EXISTING FIELD INLET
- EXISTING FIELD INLET RECTANGULAR
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING ROOF DRAIN
- EXISTING SANITARY CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC RECTANGULAR MANHOLE
- EXISTING DOWN GUY
- EXISTING UTILITY POLE
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING TRAFFIC SIGNAL
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

**Potter Lawson**  
 Success by Design

**vierbicher**  
 planners engineers advisors

PRELIMINARY  
 NOT FOR CONSTRUCTION

Taking Shape - Building B1  
 City of Madison CDA  
 797 Braxton Place  
 Madison, WI 53715

2021.32.01

**DIGGERS HOTLINE**  
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 www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE INFORMATIONAL ONLY AND HAVE NOT BEEN RECONSTRUCTED TO THE DATE OF THIS SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THESE PLANS OR NOT BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PREPARE ANY AND ALL UTILITIES.

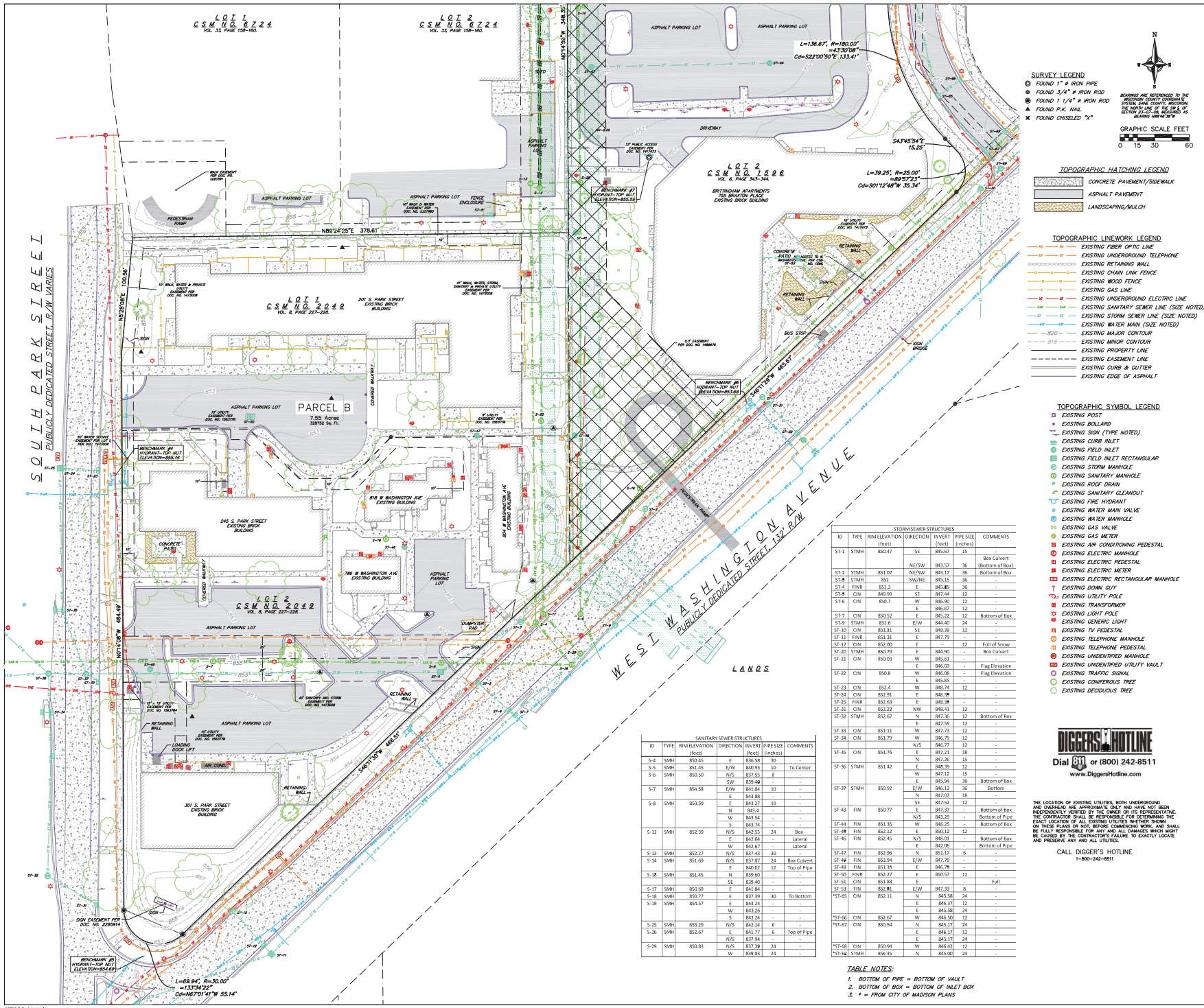
CALL DIGGER'S HOTLINE  
 1-800-242-8511

- NOTES**
- Parcel A surveyed contains 2.55 Acres or 328,752 sq. ft., more or less.
  - Parcel B surveyed contains 7.55 Acres or 328,752 sq. ft., more or less.
  - This survey was prepared based upon information provided in the Title Commitment NCS-113397-MAD dated June 10, 2022; NCS-113397-MAD, NCS-113397-MAD, and NCS-113385-MAD dated June 16, 2022 from First American Title Insurance Company National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53703.
  - This survey is based upon field survey work performed between November 23, 2022 and January 6, 2023. Any changes in site conditions after January 6, 2023 are not reflected by this survey.
  - Elevations depicted on this survey are based upon NAVD83 (2012 Geoid) Datum.
  - Benchmarks are shown on Sheet 2 and 3 and shall be verified before construction. Benchmark locations are shown on the plan and are referenced to Top Nut of Hydrants.
  - Sanitary and Storm Sewer inverts listed on sheet 1 are shown on sheet 2 and 3.
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
  - Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground obtained by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline One-Call Number 800-242-8511, 20220706026, 20220706027, 20220706028, 20220706029, 20220706030, 20220706031, 20220706032, 20220706033, 20220706034, 20220706035, 20220706036, 20220706037, 20220706038, and 20220706039.
  - Location of buried private utilities are not within the scope of this survey. The location of said private utilities depicted hereon has been determined upon field observations during the course of this survey work and has been provided for informational purposes only. Utilities other than those shown may be encountered, and the actual location of these utilities may be different from what is depicted hereon.

EXISTING  
 CONDITIONS NORTH

BC100





**SURVEY LEGEND**

- FOUND 1" # IRON PIPE
- FOUND 3/4" # IRON ROD
- ⊙ FOUND 1 1/4" # IRON ROD
- ▲ FOUND P.C. NAIL
- ✕ FOUND CHISELED "X"

BEARINGS ARE REFERENCED TO THE SYSTEM DATE QUANTY RECORDS. THE BEARING LINE OF THE SYSTEM DATE SECTION IS TO BE MEASURED AS BEARING MEASURED.

GRAPHIC SCALE FEET  
0 15 30 60

**TOPOGRAPHIC HATCHING LEGEND**

- Concrete Pavement/Sidewalk
- Asphalt Pavement
- Landscaping/Mulch

**TOPOGRAPHIC LINEWORK LEGEND**

- Existing Fiber Optic Line
- Existing Underground Telephone
- Existing Retaining Wall
- Existing Chain Link Fence
- Existing Wood Fence
- Existing Gas Line
- Existing Underground Electric Line
- Existing Sanitary Sewer Line (SIZE NOTED)
- Existing Storm Sewer Line (SIZE NOTED)
- Existing Water Main (SIZE NOTED)
- Existing Major Contour
- Existing Minor Contour
- Existing Property Line
- Existing Easement Line
- Existing Curb & Gutter
- Existing Edge of Asphalt

**TOPOGRAPHIC SYMBOL LEGEND**

- Existing Post
- Existing Bollard
- Existing Sign (TYPE NOTED)
- Existing Curb Inlet
- Existing Field Inlet
- Existing Field Inlet Rectangular
- Existing Storm Manhole
- Existing Sanitary Manhole
- Existing Roof Drain
- Existing Sanitary Cleanout
- Existing Fire Hydrant
- Existing Water Main Valve
- Existing Water Manhole
- Existing Gas Valve
- Existing Gas Meter
- Existing Air Conditioning Pedestal
- Existing Electric Manhole
- Existing Electric Pedestal
- Existing Electric Rectangular Manhole
- Existing Down Gully
- Existing Utility Pole
- Existing Transformer
- Existing Light Pole
- Existing Generic Light
- Existing TV Pedestal
- Existing Telephone Manhole
- Existing Telephone Pedestal
- Existing Unidentified Manhole
- Existing Unidentified Utility
- Existing Traffic Signal
- Existing Coniferous Tree
- Existing Deciduous Tree

**STORM SEWER STRUCTURES**

ID	TYPE	RIM ELEVATION (feet)	DIRECTION	INVERT (feet)	PIPE SIZE (inches)	COMMENTS
ST-1	STMH	850.47	SE	845.67	15	-
ST-2	STMH	851.07	NE/SW	843.37	36	Box Culvert (Bottom of Box)
ST-3	STMH	851	SW/NE	845.55	36	-
ST-4	FINR	851.3	E	845.85	36	-
ST-5	CIN	849.95	SE	847.44	12	-
ST-6	CIN	850.7	W	846.90	12	-
ST-7	CIN	850.52	E	846.87	12	-
ST-8	STMH	851.6	EW	845.22	12	Bottom of Box
ST-9	STMH	851.6	E	844.80	24	-
ST-10	CIN	851.81	SE	848.39	12	-
ST-11	FINR	851.81	E	847.79	-	-
ST-12	CIN	852.90	E	844.80	24	Full of Snow
ST-20	STMH	850.79	E	844.90	-	Box Culvert
ST-21	CIN	850.00	W	845.61	-	-
ST-22	CIN	850.8	W	846.08	-	Flag Elevation
ST-23	CIN	852.4	W	848.74	12	-
ST-24	CIN	852.95	E	848.38	-	-
ST-25	FINR	852.63	E	848.38	-	-
ST-31	CIN	852.22	NW	848.41	12	-
ST-32	STMH	852.67	N	847.36	12	Bottom of Box
ST-33	CIN	851.11	W	847.73	12	-
ST-34	CIN	851.79	W	846.79	12	-
ST-35	CIN	851.76	E	847.23	18	-
ST-36	STMH	851.42	W	847.26	15	-
ST-37	STMH	850.92	E	846.89	12	-
ST-38	STMH	850.92	E	846.89	12	Bottom of Box
ST-39	STMH	850.92	E	846.89	12	Bottom
ST-43	FIN	850.77	SE	847.52	12	-
ST-44	FIN	851.35	W	848.25	12	Bottom of Box
ST-45	FIN	852.82	E	850.12	12	-
ST-46	FIN	852.45	N/S	848.51	12	Bottom of Box
ST-47	FIN	852.96	N	842.06	12	Bottom of Pipe
ST-48	FIN	853.94	EW	847.79	-	-
ST-49	FIN	851.38	E	846.38	-	-
ST-50	FINR	852.27	E	850.57	12	-
ST-51	CIN	851.83	E	-	-	Full
ST-53	FIN	852.88	EW	847.33	8	-
ST-55	CIN	852.11	N	845.58	24	-
ST-56	CIN	852.67	W	846.50	12	-
ST-57	CIN	850.94	N	845.17	24	-
ST-58	CIN	850.94	E	846.12	12	-
ST-59	CIN	850.94	W	846.42	12	-
ST-60	CIN	850.94	N	845.00	24	-

**TABLE NOTES:**

1. BOTTOM OF PIPE = BOTTOM OF VAULT
2. BOTTOM OF BOX = BOTTOM OF INLET BOX
3. \* = FROM CITY OF MADISON PLANS

PRELIMINARY  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

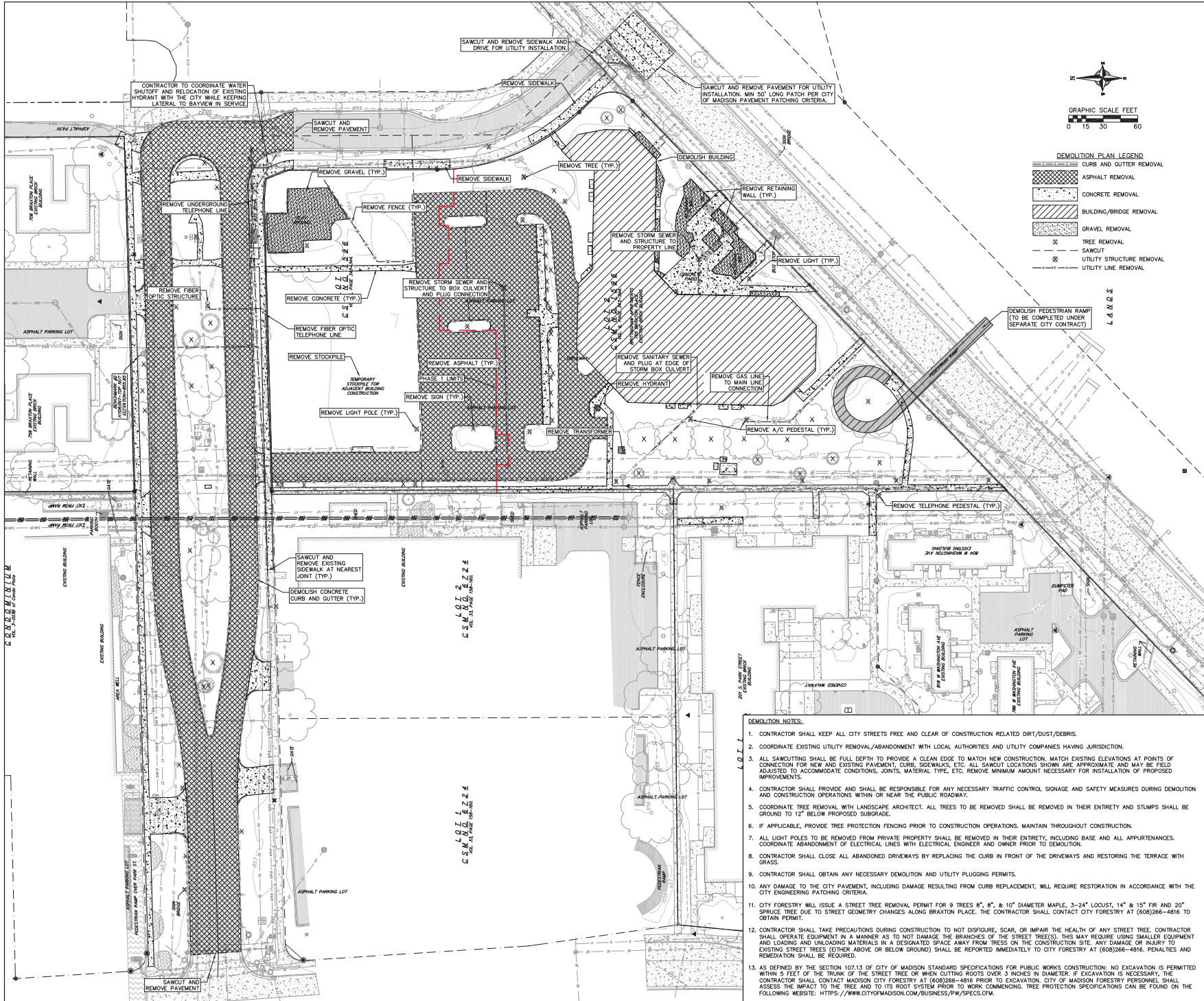
2021.32.01

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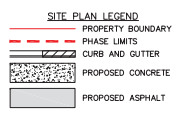
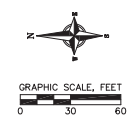
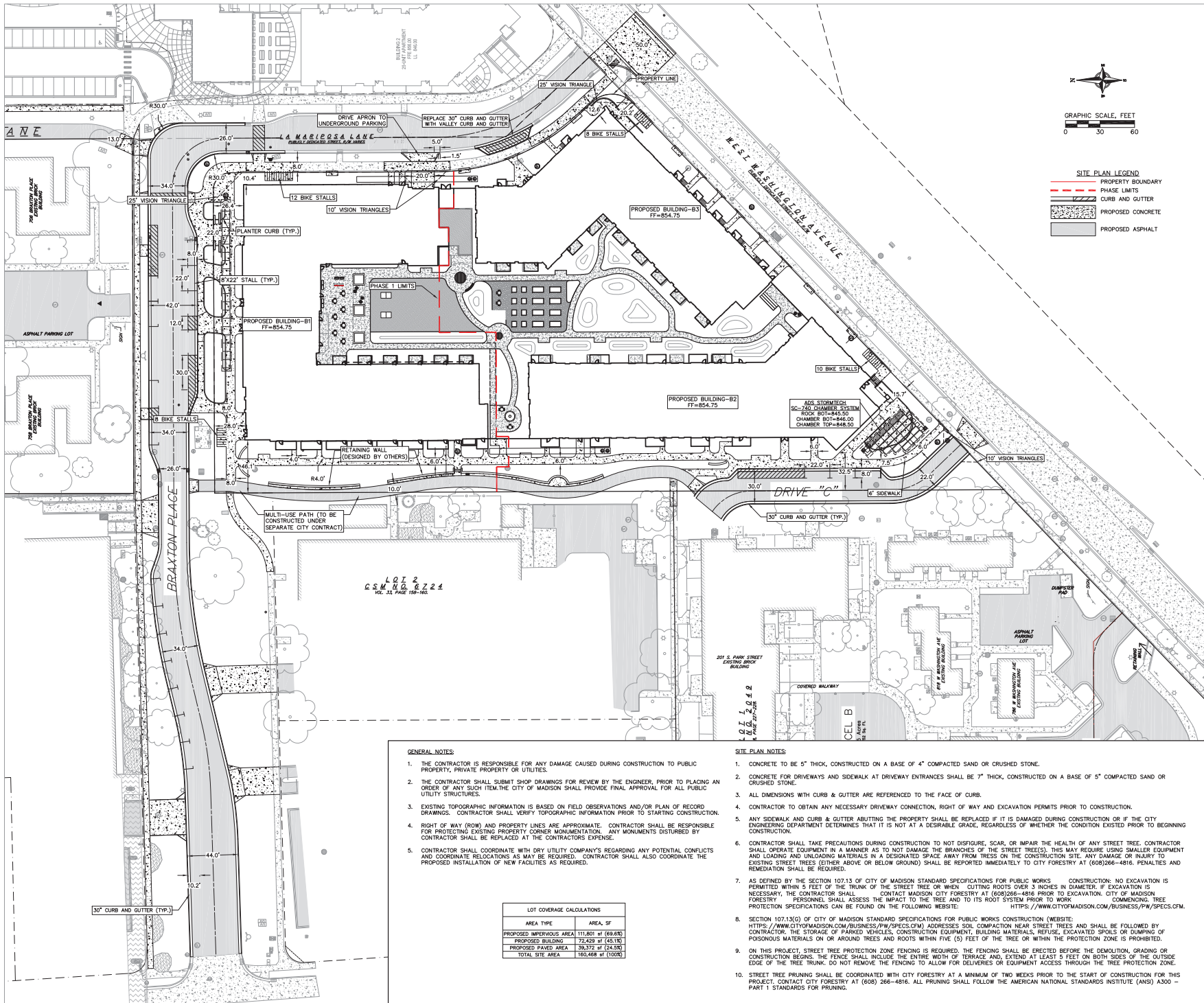
2021.32.01

DATE	ISSUANCE NUMBER
04/28/2021	ISSUANCE NUMBER
07/23/2020	ISSUANCE NUMBER
10/22/2020	ISSUANCE NUMBER
10/22/2020	ISSUANCE NUMBER

**DEMOLITION  
PLAN**

**BC200**





PRELIMINARY  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

04/28/2021	DESIGN DEVELOPMENT
04/28/2021	LAND USE APPLICATION
07/22/2021	CITY DEVELOPMENT
10/22/2021	PERMITS
10/22/2021	PERMITS
10/22/2021	PERMITS

**GENERAL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM THE CITY OF MADISON SHALL PROVIDE FINAL APPROVAL FOR ALL PUBLIC UTILITY STRUCTURES.
3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

**SITE PLAN NOTES:**

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608)266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. AS DEFINED BY THE SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608)266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK. COMMENCING TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm).
8. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
9. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
10. STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANS) A300 - PART 1 STANDARDS FOR PRUNING.

**LOT COVERAGE CALCULATIONS**

AREA TYPE	AREA, SF
PROPOSED IMPERVIOUS AREA	111,007 sf (66.8%)
PROPOSED BUILDING	72,425 sf (45.1%)
PROPOSED PAVED AREA	38,372 sf (24.3%)
TOTAL SITE AREA	166,468 sf (100%)

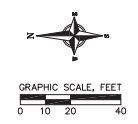
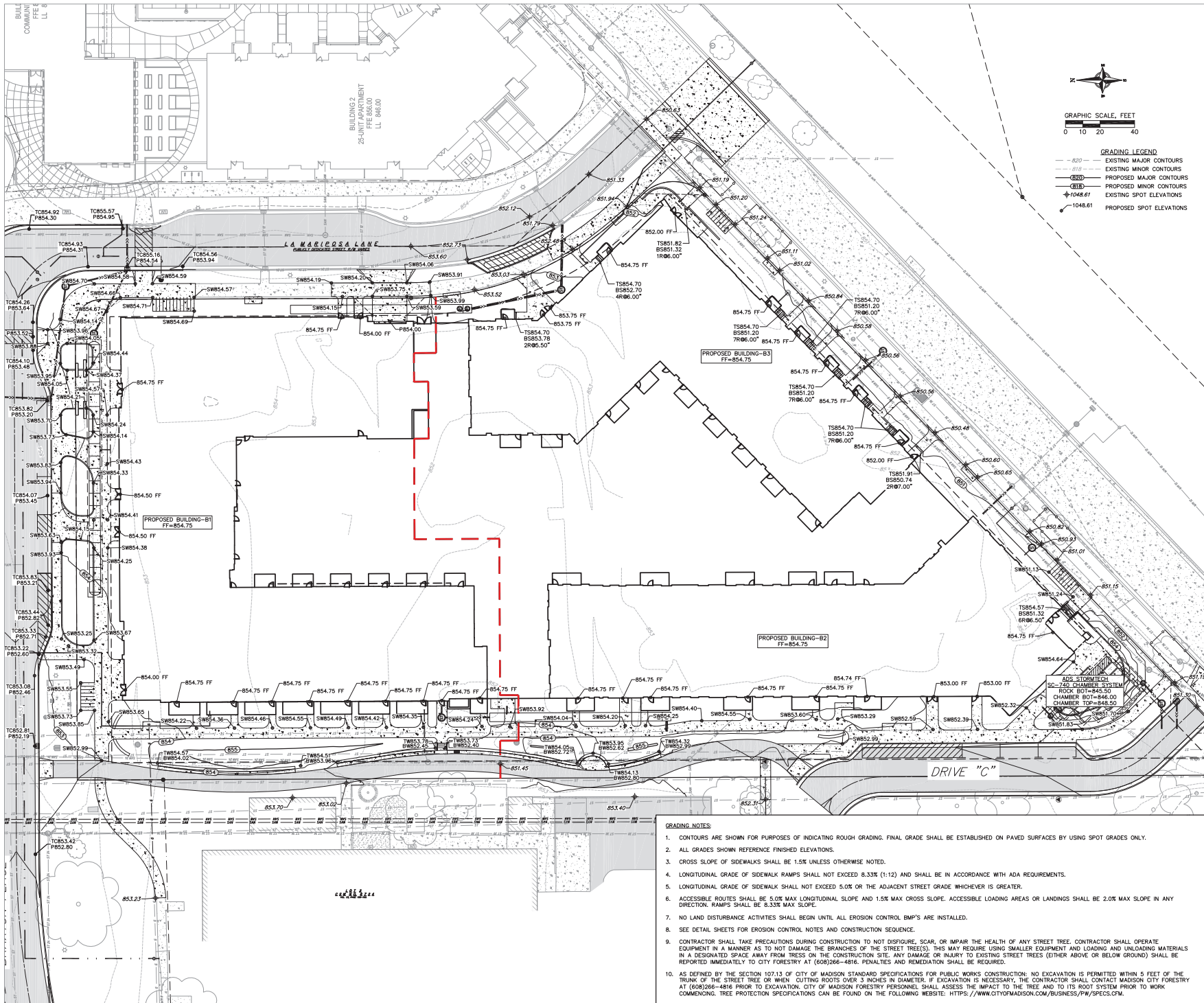
**SITE PLAN**

**BC300**

181142024-111157 AM 10/2/2021 Potter Lawson 2021012\_1.mxd Site: Madison CDA 22081012\_Site\_DWG.rvt

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**GRADING LEGEND**

- - - - - EXISTING MAJOR CONTOURS
- - - - - EXISTING MINOR CONTOURS
- - - - - PROPOSED MAJOR CONTOURS
- - - - - PROPOSED MINOR CONTOURS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS

- GRADING NOTES:**
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
  2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
  3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
  4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
  5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
  6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
  7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
  8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
  9. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608)266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
  10. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608)266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/Business/PW/SPECS.CFM).



**PRELIMINARY**  
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Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

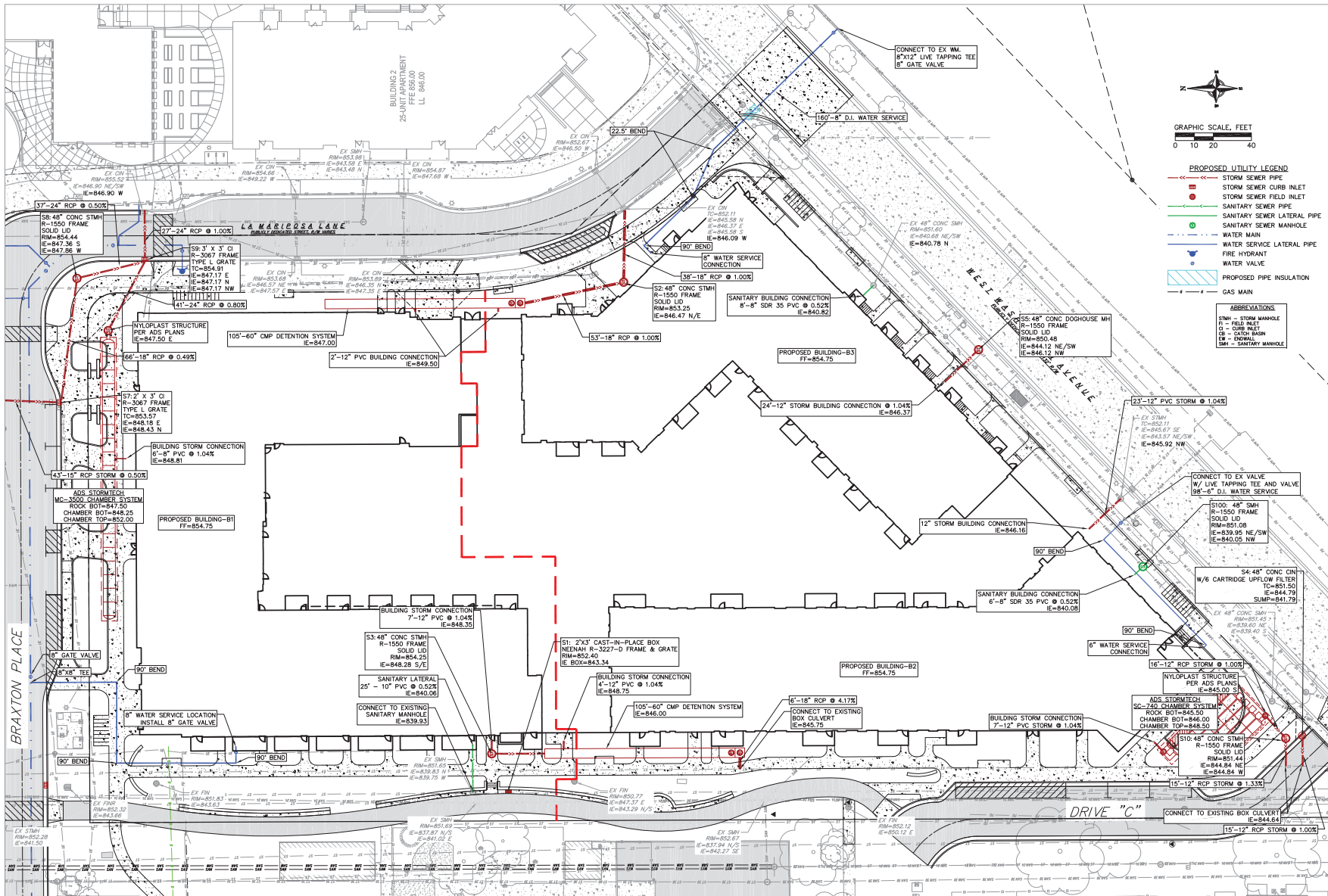
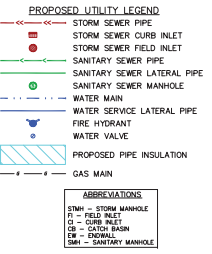
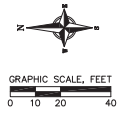
2021.32.01

DATE	DESCRIPTION
04/28/2021	ISSUE FOR PERMITTING
07/23/2021	CITY DEVELOPMENT
10/28/2021	REV. PLAN WORKSHEET

**GRADING PLAN**

**BC400**

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Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	ISSUANCE/REVISION
04/28/2021	ISSUE FOR PERMITTING
07/23/2021	CONTRACT DEVELOPMENT
10/02/2021	FOR CONSTRUCTION

- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
  - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
  - IF Dewatering operations exceed 7 gallons per minute of pumping capacity, a dewatering well permit shall be obtained prior to starting any dewatering activities.
  - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
  - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  - UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
  - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(g).
  - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(x).
  - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
  - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.146.06.
  - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
  - CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES.
  - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  - SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 18" SHALL BE SDR 35. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
  - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANIES REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
  - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
  - INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER OR WATER LATERALS.
  - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608)266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
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**UTILITY PLAN**

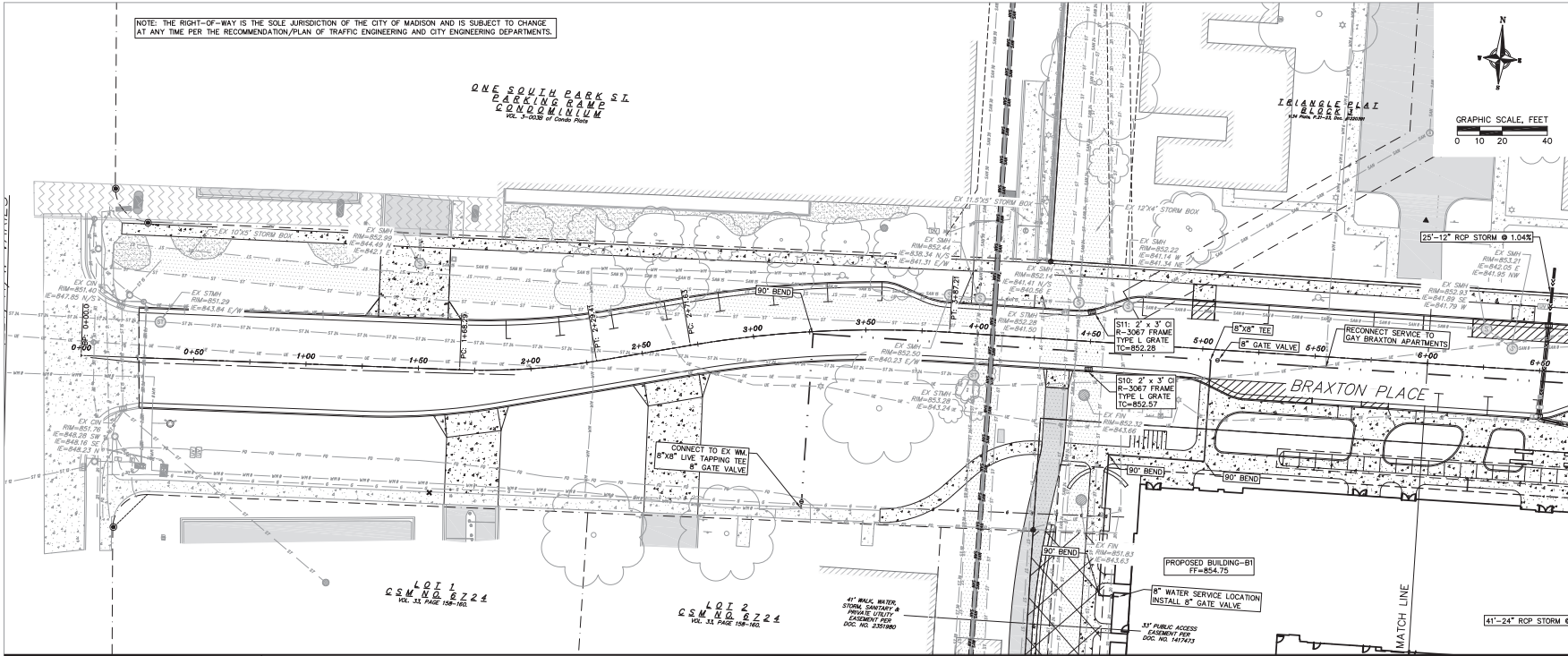
**BC500**



NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

ONE SOUTH PARK ST.  
PARKING RAMP  
CONDOMINIUM  
VOL. 3-0002 OF CONDO PLAN

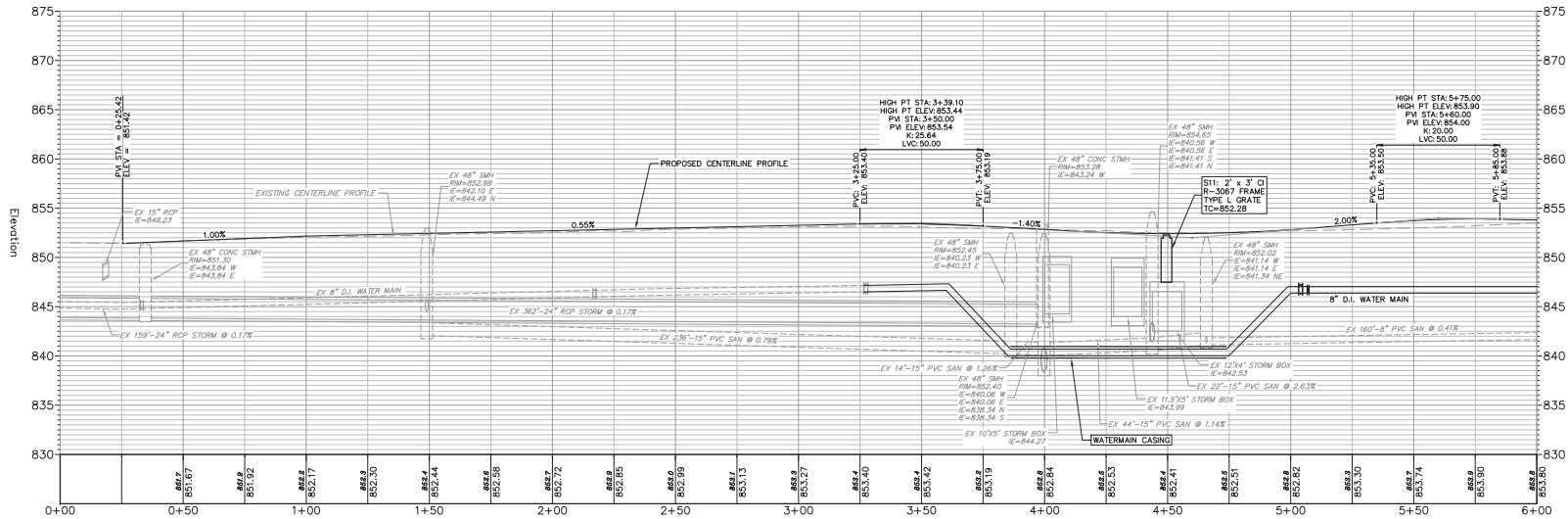
TRIANGLE PLAZA  
EX. 2' x 3' CI  
R-3067 FRAME  
TYPE I GRATE  
TC=852.28



LOT 1  
C.S.M. NO. 6224  
VOL. 31, PAGE 108-102

LOT 2  
C.S.M. NO. 6224  
VOL. 31, PAGE 108-102

NOTE: EXISTING WATERMAIN PROFILE ASSUMES 6.0' OF COVER. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION PRIOR TO DEMOLISHING ANY UTILITIES TO DETERMINE IF CONFLICTS ARISE.



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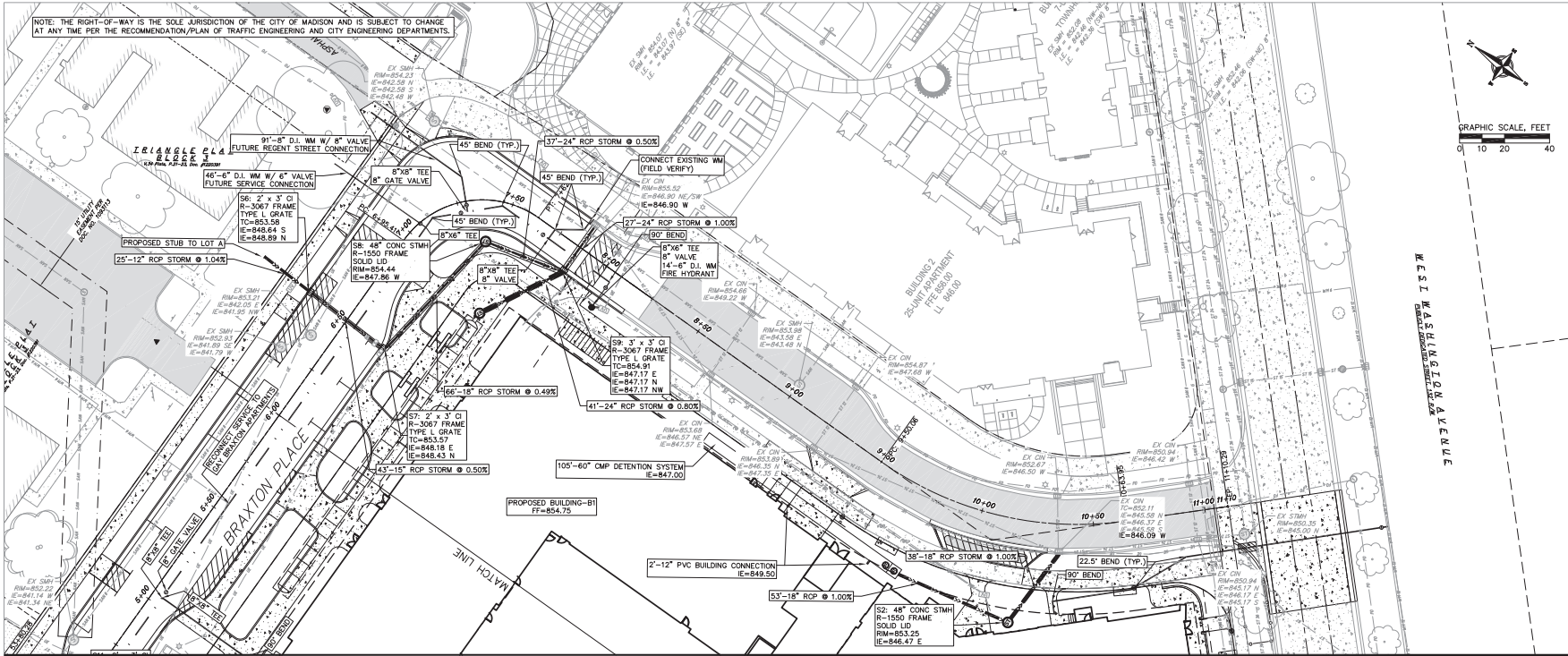
2021.32.01

DATE	ISSUANCE/REVISION
04/28/2021	ISSUANCE FOR PERMIT
07/23/2020	GENERIC DEVELOPMENT
10/26/2020	REV. PLAN WORKING

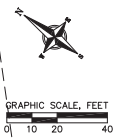
PLAN & PROFILE -  
BRAXTON PLACE

BC501





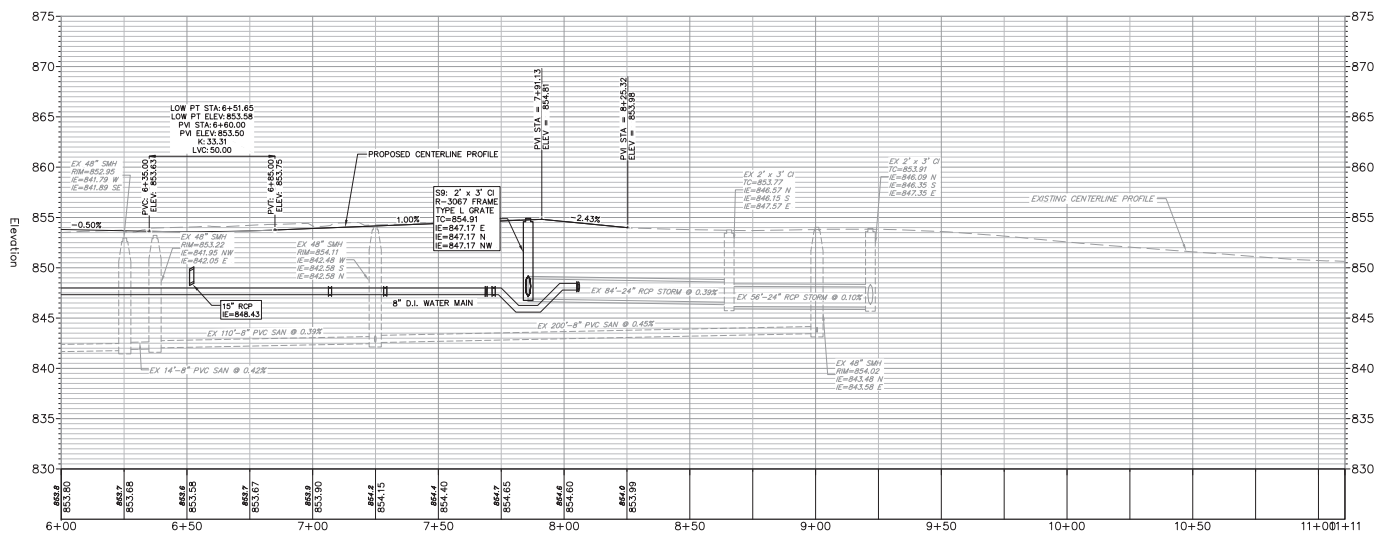
NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



**Potter  
Lawson**  
Success by Design

**vierbicher**  
danner engineers architects

NOTE: EXISTING WATERMAIN PROFILE ASSUMES 6.0' OF COVER. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION PRIOR TO REMEDIATING ANY UTILITIES TO DETERMINE IF CONFLICTS ARISE.



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Taking Shape - Building B1  
City of Madison CDA  
755 BRAXTON PLACE  
MADISON, WI 53715

2021.32.01

DATE	ISSUANCE/REVISION
04/28/2021	ISSUE FOR PERMITTING
07/23/2021	GENERIC DEVELOPMENT
10/28/2021	REV. PLAN WORKING

PLAN & PROFILE -  
BRAXTON PLACE

BC502





### HARDSCAPE & SITE FURNISHINGS SCHEDULE

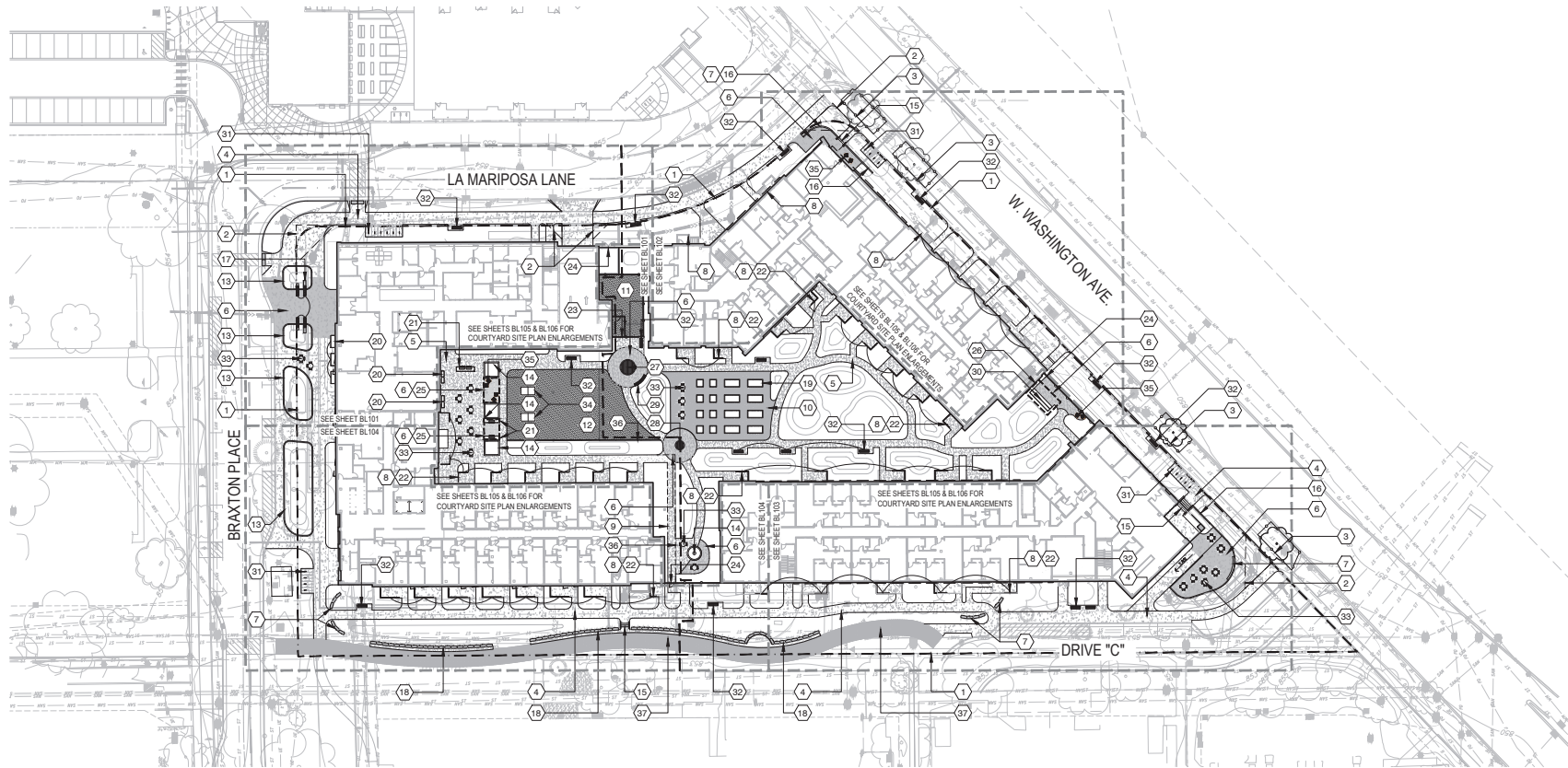
- PROPERTY LINE / PUBLIC R.O.W.
- PHASING LINE
- TREE PROTECTION FENCE
- PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE
- CONCRETE PAVING
- COLORED CONCRETE PAVING
- TRUNCATED DOME PAVERS
- STABILIZED CRUSHED STONE PAVING
- ARTIFICIAL TURF OVER STRUCTURE
- BIKE RACK
- TABLE AND CHAIR SET, 3 & 4 SEAT CONFIGURATION SURFACE MOUNT - OFCI
- 6 BENCH SURFACE MOUNT - OFCI
- MOVEABLE CHAIRS - OFCI
- GAME TABLES - OFCI
- PREFABRICATED METAL PRIVACY SCREEN, 3' HT.

### REFERENCE SCHEDULE

- 1 PROPERTY LINE / PUBLIC R.O.W.
- 2 VISION TRIANGLE
- 3 TREE PROTECTION FENCE - 1/BL305
- 4 CONCRETE PAVING - SEE CIVIL PLANS
- 5 CONCRETE PAVEMENT ON ROOF - 1/BL303
- 6 COLORED CONCRETE PAVING - SEE SPECS
- 7 PROPOSED GATEWAY / SIGNAGE FEATURE
- 8 PRIVATE UNIT PATIO
- 9 PHASE 1 TEMPORARY CONCRETE PAVING
- 10 STABILIZED CRUSHED STONE PAVING - 10811/BL303
- 11 ARTIFICIAL TURF, TYPE 1 - 283/BL303
- 12 ARTIFICIAL TURF, TYPE 2 - 4/BL303
- 13 C.I.P. CONCRETE CURB - 3/BL301
- 14 PRECAST CONCRETE PLANTER WALL - 9/BL303
- 15 CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 1/BL301
- 16 PRECAST CONCRETE RETAINING WALL - 5/BL301
- 17 PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6/BL301
- 18 STONE RETAINING WALL - 4/BL301
- 19 RAISED GARDEN BED PLANTER - 3/BL304
- 20 GFRG PLANTER - 4/BL304
- 21 GRILL ISLAND - 182/BL304
- 22 FENCE, TYPE 1 - 5/BL302
- 23 FENCE & GATE, TYPE 2 - 6/BL302
- 24 FENCE & GATE, TYPE 3 - 7/BL302
- 25 PERGOLA, TYPE 1 - 2/BL302
- 26 PERGOLA, TYPE 2 - 2/BL302
- 27 STAGE / SEATING, TYPE 1 - 1/BL302
- 28 STAGE / SEATING, TYPE 2 - 1/BL302
- 29 PREFABRICATED SEATING, TYPE 1 - 3/BL302
- 30 PREFABRICATED SEATING, TYPE 2 - 4/BL302
- 31 BIKE RACK, TYP. - 7/BL301
- 32 6 BENCH - OFCI
- 33 TABLE & CHAIR SET, TYP. - OFCI
- 34 GAME TABLE - OFCI
- 35 MOVABLE CHAIRS - OFCI
- 36 PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
- 37 MULTI-USE PATH - SEE CIVIL PLANS

### NOTES:

1. ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPER'S AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES.
3. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL PROTECT BENCHMARKS. ANY RELOCATED BENCHMARKS SHALL BE INCLUDED IN CONTRACTOR AS-BUILTS.
5. BICYCLE STALLS SHALL BE A MINIMUM OF 2'-0" BY 8'-0" PLACEMENT SHALL NOT RESULT IN THE OBSTRUCTION OF A WALKWAY.
6. BICYCLE RACKS SHALL BE SPACED 4'-0" APART AS INDICATED.
7. ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
8. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.



**1 SITE PLAN - OVERALL**  
SCALE: 1" = 30'-0"



PRELIMINARY  
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City of Madison CDA  
797 Braxton Place  
Madison, WI 53715
















2021.32.01

DATE	DESCRIPTION
10/28/2021	ISSUANCE APPROVED
07/23/2021	LAND USE APPLICATION
07/23/2021	DE SIGN OF DEVELOPMENT
10/26/2020	SITE PLAN VERIFICATION

**SITE PLAN -  
OVERALL**



**HARDSCAPE & SITE FURNISHINGS SCHEDULE**

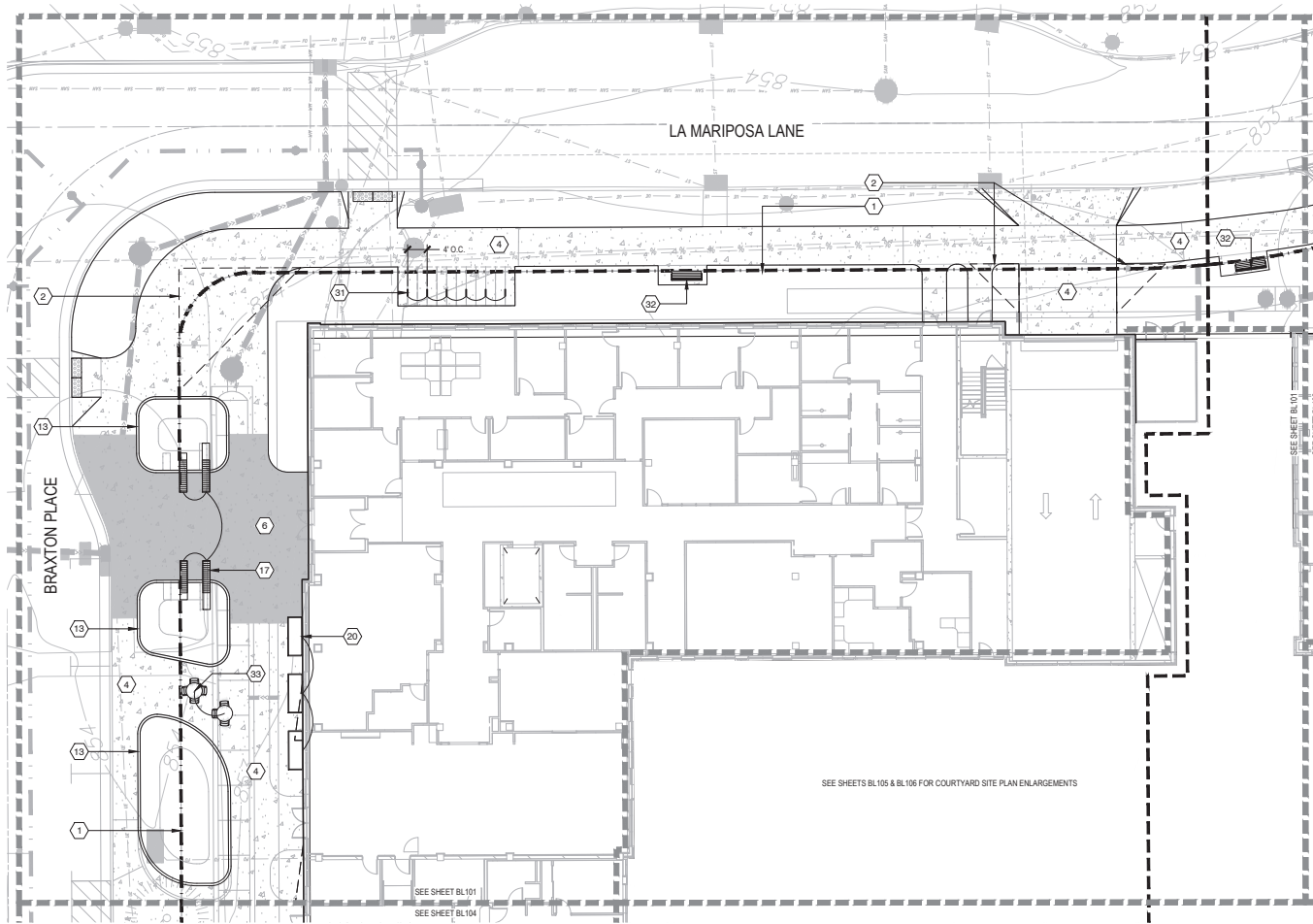
 PROPERTY LINE / PUBLIC R.O.W.	 BIKE RACK
 PHASING LINE	 TABLE AND CHAIR SET, 3 & 4-SEAT CONFIGURATION SURFACE MOUNT - OFCI
 TREE PROTECTION FENCE	 6' BENCH SURFACE MOUNT - OFCI
 PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE	 MOVEABLE CHAIRS - OFCI
 CONCRETE PAVING	 GAME TABLES - OFCI
 COLORED CONCRETE PAVING	 PREFABRICATED METAL PRIVACY SCREEN, 3' HT.
 TRUNCATED DOME PAVERS	
 STABILIZED CRUSHED STONE PAVING	
 ARTIFICIAL TURF OVER STRUCTURE	

**REFERENCE SCHEDULE**

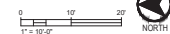
1 PROPERTY LINE / PUBLIC R.O.W.	18 STONE RETAINING WALL - 4BL301	55 MOVABLE CHAIRS - OFCI
2 VISION TRIANGLE	19 RAISED GARDEN BED PLANTER - 3BL304	56 PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
3 TREE PROTECTION FENCE - 1BL305	20 GFRC PLANTER - 4BL304	57 MULTU-USE PATH - SEE CIVIL PLANS
4 CONCRETE PAVING - SEE CIVIL PLANS	21 GRILL ISLAND - 1A2BL304	
5 CONCRETE PAVEMENT ON ROOF - 1BL303	22 FENCE, TYPE 1 - 5BL302	
6 COLORED CONCRETE PAVING - SEE SPECS	23 FENCE & GATE, TYPE 2 - 6BL302	
7 PROPOSED GATEWAY / SIGNAGE FEATURE	24 FENCE & GATE, TYPE 3 - 7BL302	
8 PRIVATE UNIT PATIO	25 PERGOLA, TYPE 1 - 2BL302	
9 PHASE 1 TEMPORARY CONCRETE PAVING	26 PERGOLA, TYPE 2 - 2BL302	
10 STABILIZED CRUSHED STONE PAVING - 10X11BL303	27 STAGE / SEATING, TYPE 1 - 1BL302	
11 ARTIFICIAL TURF, TYPE 1 - 2A3BL303	28 STAGE / SEATING, TYPE 2 - 1BL302	
12 ARTIFICIAL TURF, TYPE 2 - 4BL303	29 PREFABRICATED SEATING, TYPE 1 - 3BL302	
13 C.I.P. CONCRETE CURB - 3BL301	30 PREFABRICATED SEATING, TYPE 2 - 4BL302	
14 PRECAST CONCRETE PLANTER WALL - 9BL303	31 BIKE RACK, TYP. - 7BL301	
15 CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 1BL301	32 6' BENCH - OFCI	
16 PRECAST CONCRETE RETAINING WALL - 5BL301	33 TABLE & CHAIR SET, TYP. - OFCI	
17 PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6BL301	34 GAME TABLE - OFCI	

**NOTES:**

- ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPER'S AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.
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**1 SITE PLAN - ENLARGEMENT**  
SCALE: 1" = 10'-0"



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City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	REVISIONS
05/09/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
08/29/2024	SITE PLAN SUBMISSION

**SITE PLAN -  
ENLARGEMENT**

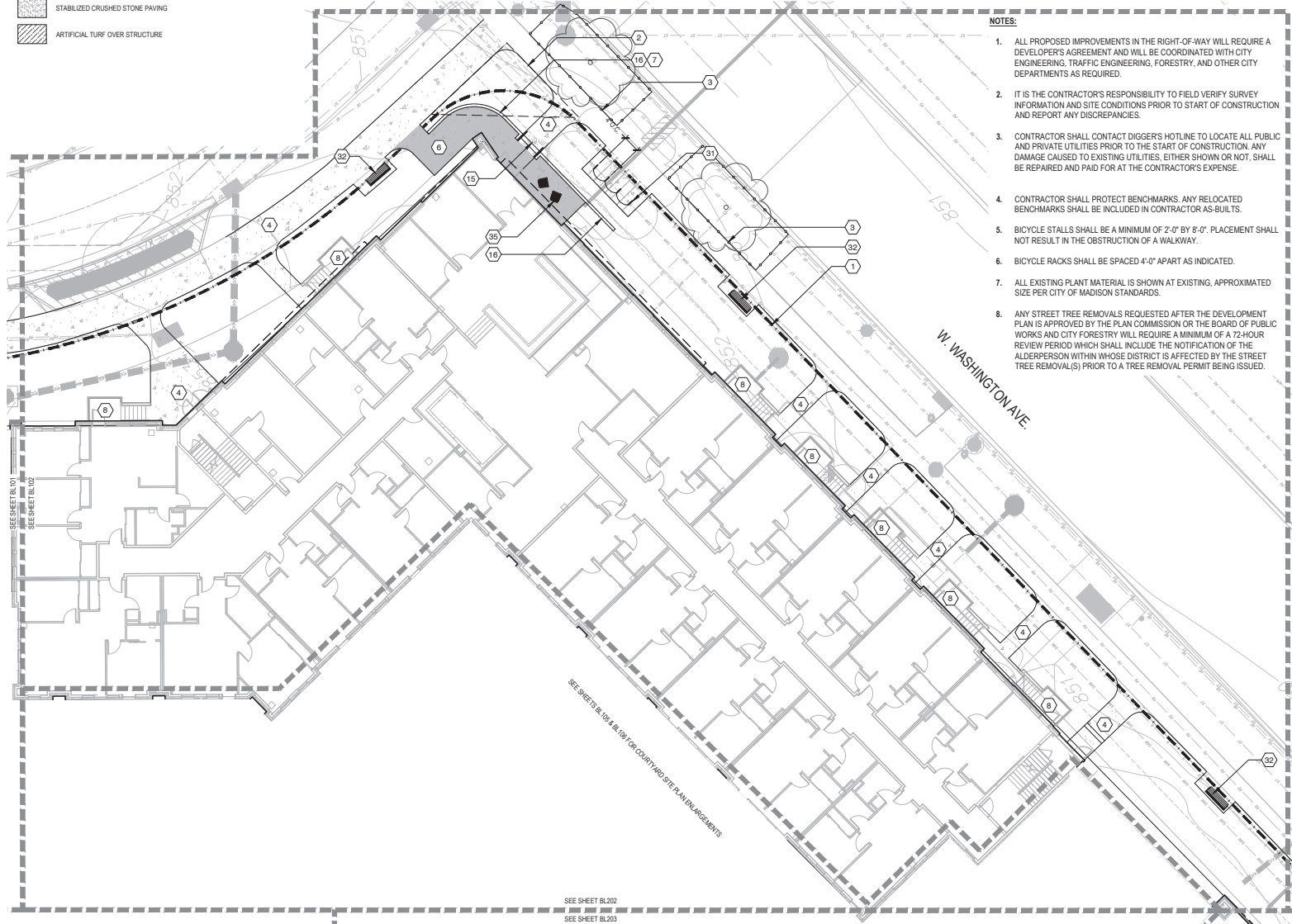
**BL101**

**HARDSCAPE & SITE FURNISHINGS SCHEDULE**

**REFERENCE SCHEDULE**

- PROPERTY LINE / PUBLIC R.O.W.
- PHASING LINE
- TREE PROTECTION FENCE
- PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE
- CONCRETE PAVING
- COLORED CONCRETE PAVING
- TRUNCATED DOME PAVERS
- STABILIZED CRUSHED STONE PAVING
- ARTIFICIAL TURF OVER STRUCTURE
- BIKE RACK
- TABLE AND CHAIR SET, 3 & 4-SEAT CONFIGURATION SURFACE MOUNT - OFOI
- 6' BENCH SURFACE MOUNT - OFOI
- MOVEABLE CHAIRS - OFOI
- GAME TABLES - OFOI
- PREFABRICATED METAL PRIVACY SCREEN, 3' HT.

- 1 PROPERTY LINE / PUBLIC R.O.W.
- 2 VISION TRIANGLE
- 3 TREE PROTECTION FENCE - 11BL305
- 4 CONCRETE PAVING - SEE CIVIL PLANS
- 5 CONCRETE PAVEMENT ON ROOF - 11BL303
- 6 COLORED CONCRETE PAVING - SEE SPECS
- 7 PROPOSED GATEWAY / SIGNAGE FEATURE
- 8 PRIVATE UNIT PATIO
- 9 PHASE 1 TEMPORARY CONCRETE PAVING
- 10 STABILIZED CRUSHED STONE PAVING - 10X111BL303
- 11 ARTIFICIAL TURF, TYPE 1 - 2A3/BL303
- 12 ARTIFICIAL TURF, TYPE 2 - 4BL303
- 13 C.I.P. CONCRETE CURB - 3BL301
- 14 PRECAST CONCRETE PLANTER WALL - 9BL303
- 15 CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 11BL301
- 16 PRECAST CONCRETE RETAINING WALL - 5BL301
- 17 PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6BL301
- 18 STONE RETAINING WALL - 4BL301
- 19 RAISED GARDEN BED PLANTER - 3BL304
- 20 GFRC PLANTER - 4BL304
- 21 GRILL ISLAND - 1A2/BL302
- 22 FENCE, TYPE 1 - 5BL302
- 23 FENCE & GATE, TYPE 2 - 6BL302
- 24 FENCE & GATE, TYPE 3 - 7BL302
- 25 PERGOLA, TYPE 1 - 2BL302
- 26 PERGOLA, TYPE 2 - 2BL302
- 27 STAGE / SEATING, TYPE 1 - 1BL302
- 28 STAGE / SEATING, TYPE 2 - 1BL302
- 29 PREFABRICATED SEATING, TYPE 1 - 3BL302
- 30 PREFABRICATED SEATING, TYPE 2 - 4BL302
- 31 BIKE RACK, TYP. - 7BL301
- 32 6' BENCH - OFOI
- 33 TABLE & CHAIR SET, TYP. - OFOI
- 34 GAME TABLE - OFOI
- 35 MOVEABLE CHAIRS - OFOI
- 36 1' TEMPORARY PARAPET WALL - SEE ARCH PLANS
- 37 MULTUSE PATH - SEE CIVIL PLANS



- NOTES:**
- ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPER'S AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.
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  - CONTRACTOR SHALL PROTECT BENCHMARKS. ANY RELOCATED BENCHMARKS SHALL BE INCLUDED IN CONTRACTOR AS-BUILTS.
  - BICYCLE STALLS SHALL BE A MINIMUM OF 2'-0" BY 8'-0". PLACEMENT SHALL NOT RESULT IN THE OBSTRUCTION OF A WALKWAY.
  - BICYCLE RACKS SHALL BE SPACED 4'-0" APART AS INDICATED.
  - ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
  - ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

1 SITE PLAN - ENLARGEMENT  
SCALE: 1" = 10'-0"



**PRELIMINARY**  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01
















DATE	REVISION / REVISIONS
05/28/2024	LAND USE APPLICATION
07/29/2024	DESIGN DEVELOPMENT
09/24/2024	SITE PLAN WORKSHEET

**SITE PLAN - ENLARGEMENT**

**BL102**



**HARDSCAPE & SITE FURNISHINGS SCHEDULE**

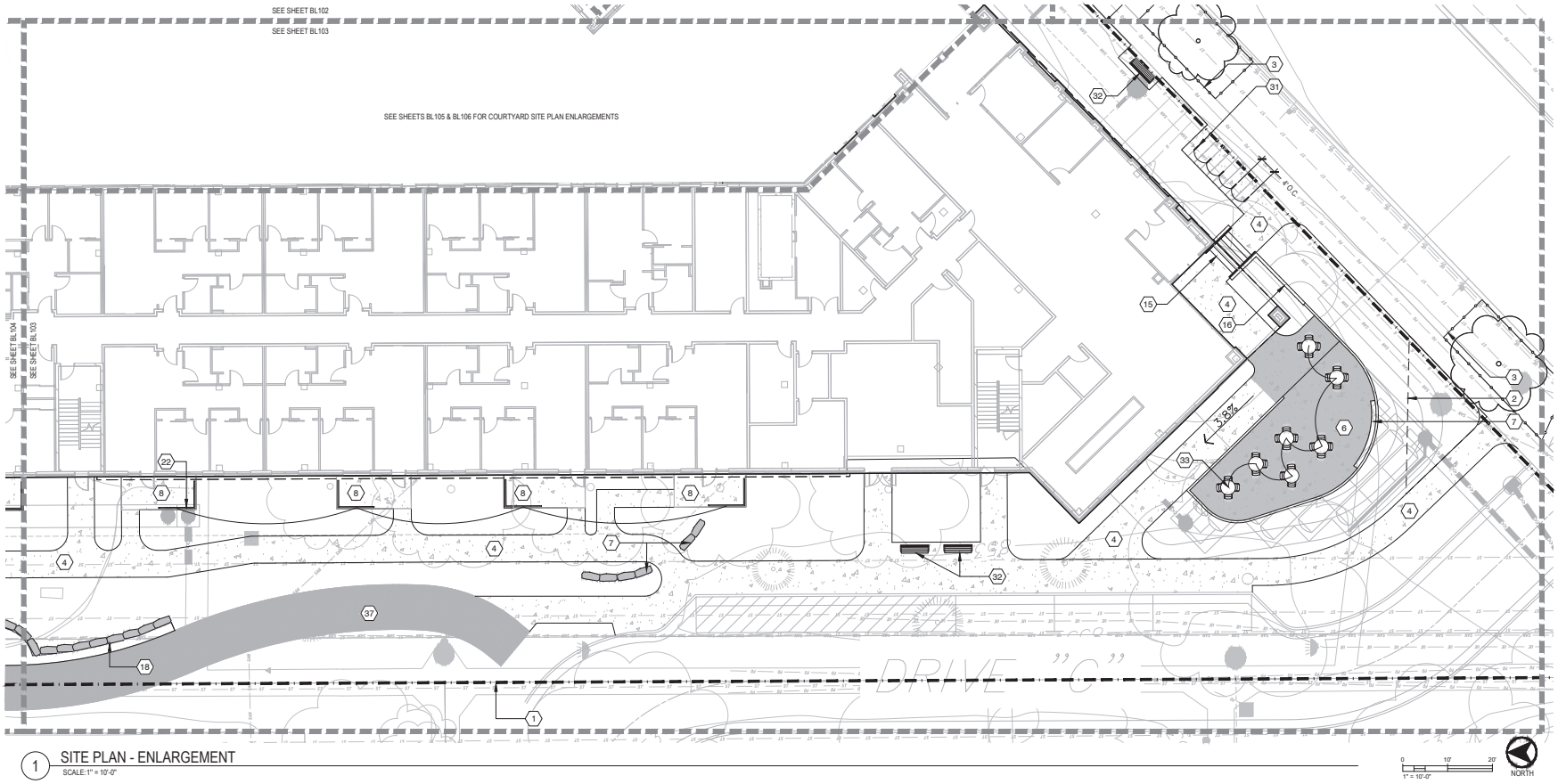
 PROPERTY LINE / PUBLIC R.O.W.	 BIKE RACK
 PHASING LINE	 TABLE AND CHAIR SET, 3 & 4-SEAT CONFIGURATION SURFACE MOUNT - OFCI
 TREE PROTECTION FENCE	 6' BENCH SURFACE MOUNT - OFCI
 PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE	 MOVEABLE CHAIRS - OFCI
 CONCRETE PAVING	 GAME TABLES - OFCI
 COLORED CONCRETE PAVING	 PREFABRICATED METAL PRIVACY SCREEN, 3' HT.
 TRUNCATED DOME PAVERS	
 STABILIZED CRUSHED STONE PAVING	
 ARTIFICIAL TURF OVER STRUCTURE	

**REFERENCE SCHEDULE**

1	PROPERTY LINE / PUBLIC R.O.W.
2	VISION TRIANGLE
3	TREE PROTECTION FENCE - 1BL305
4	CONCRETE PAVING - SEE CIVIL PLANS
5	CONCRETE PAVEMENT ON ROOF - 1BL303
6	COLORED CONCRETE PAVING - SEE SPECS
7	PROPOSED GATEWAY / SIGNAGE FEATURE
8	PRIVATE UNIT PATIO
9	PHASE 1 TEMPORARY CONCRETE PAVING
10	STABILIZED CRUSHED STONE PAVING - 10X11BL303
11	ARTIFICIAL TURF, TYPE 1 - 2B3BL303
12	ARTIFICIAL TURF, TYPE 2 - 4BL303
13	C.I.P. CONCRETE CURB - 3BL301
14	PRECAST CONCRETE PLANTER WALL - 9BL303
15	CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 1BL301
16	PRECAST CONCRETE RETAINING WALL - 5BL301
17	PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6BL301
18	STONE RETAINING WALL - 4BL301
19	RAISED GARDEN BED PLANTER - 3BL304
20	GFRC PLANTER - 4BL304
21	GRILL ISLAND - 1A2BL304
22	FENCE, TYPE 1 - 5BL302
23	FENCE & GATE, TYPE 2 - 6BL302
24	FENCE & GATE, TYPE 3 - 7BL302
25	PERGOLA, TYPE 1 - 2BL302
26	PERGOLA, TYPE 2 - 2BL302
27	STAGE / SEATING, TYPE 1 - 1BL302
28	STAGE / SEATING, TYPE 2 - 1BL302
29	PREFABRICATED SEATING, TYPE 1 - 3BL302
30	PREFABRICATED SEATING, TYPE 2 - 4BL302
31	BIKE RACK, TYP. - 7BL301
32	6' BENCH - OFCI
33	TABLE & CHAIR SET, TYP. - OFCI
34	GAME TABLE - OFCI
35	MOVEABLE CHAIRS - OFCI
36	PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
37	MULTI-USE PATH - SEE CIVIL PLANS

**NOTES:**

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PRELIMINARY  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	REVISIONS
06/08/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
08/29/2024	SITE PLAN WORKSHEET

SITE PLAN -  
ENLARGEMENT

BL103

### HARDSCAPE & SITE FURNISHINGS SCHEDULE

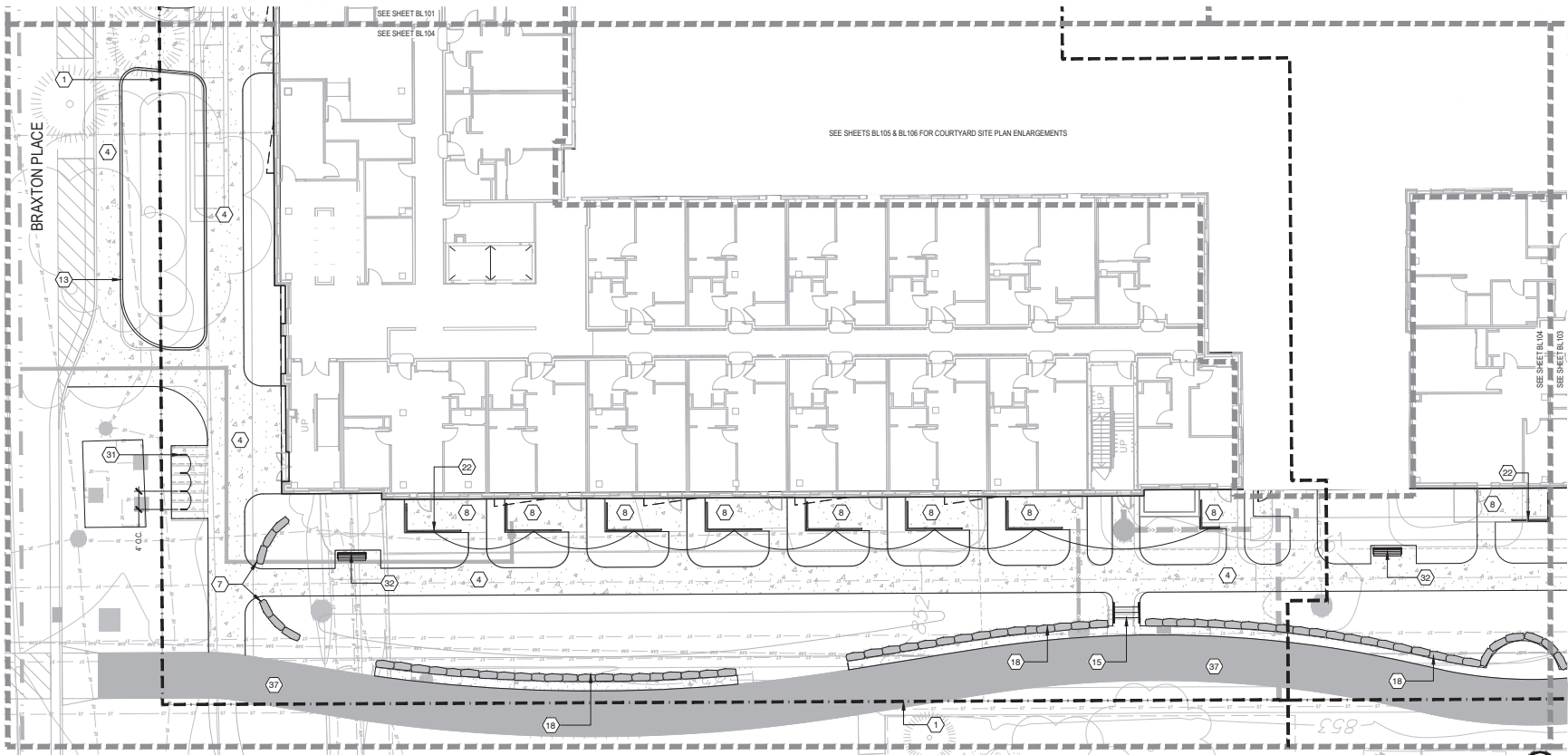
	PROPERTY LINE / PUBLIC R.O.W.		BIKE RACK
	PHASING LINE		TABLE AND CHAIR SET, 3 & 4-SEAT CONFIGURATION SURFACE MOUNT - OFCI
	TREE PROTECTION FENCE		6' BENCH SURFACE MOUNT - OFCI
	PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE		MOVABLE CHAIRS - OFCI
	CONCRETE PAVING		GAME TABLES - OFCI
	COLORLED CONCRETE PAVING		PREFABRICATED METAL PRIVACY SCREEN, 3' HT.
	TRUNCATED DOME PAVERS		
	STABILIZED CRUSHED STONE PAVING		
	ARTIFICIAL TURF OVER STRUCTURE		

### REFERENCE SCHEDULE

1	PROPERTY LINE / PUBLIC R.O.W.	16	PRECAST CONCRETE RETAINING WALL - 5BL301	30	PREFABRICATED SEATING, TYPE 2 - 4BL302
2	VISION TRIANGLE	17	PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6BL301	31	BIKE RACK, TYP. - 7BL301
3	TREE PROTECTION FENCE - 1BL305	18	STONE RETAINING WALL - 4BL301	32	6' BENCH - OFCI
4	CONCRETE PAVING - SEE CIVIL PLANS	19	RAISED GARDEN BED PLANTER - 3BL304	33	TABLE & CHAIR SET, TYP. - OFCI
5	CONCRETE PAVEMENT ON ROOF - 1BL303	20	GFRC PLANTER - 4BL304	34	GAME TABLE - OFCI
6	COLORLED CONCRETE PAVING - SEE SPECS	21	GRILL ISLAND - 1&2BL304	35	MOVABLE CHAIRS - OFCI
7	PROPOSED GATEWAY / SIGNAGE FEATURE	22	FENCE, TYPE 1 - 5BL302	36	PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
8	PRIVATE UNIT PATIO	23	FENCE & GATE, TYPE 2 - 6BL302	37	MULTI-USE PATH - SEE CIVIL PLANS
9	PHASE 1 TEMPORARY CONCRETE PAVING	24	FENCE & GATE, TYPE 3 - 7BL302		
10	STABILIZED CRUSHED STONE PAVING - 10&11BL303	25	PERGOLA, TYPE 1 - 2BL302		
11	ARTIFICIAL TURF, TYPE 1 - 2&3BL303	26	PERGOLA, TYPE 2 - 2BL302		
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1 SITE PLAN - ENLARGEMENT  
SCALE: 1" = 10'-0"

PRELIMINARY  
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Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	REVISION/REVISIONS
06/08/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
09/23/2024	SITE PLAN WORKSHEET

SITE PLAN - ENLARGEMENT

BL104





**TREE SCHEDULE**

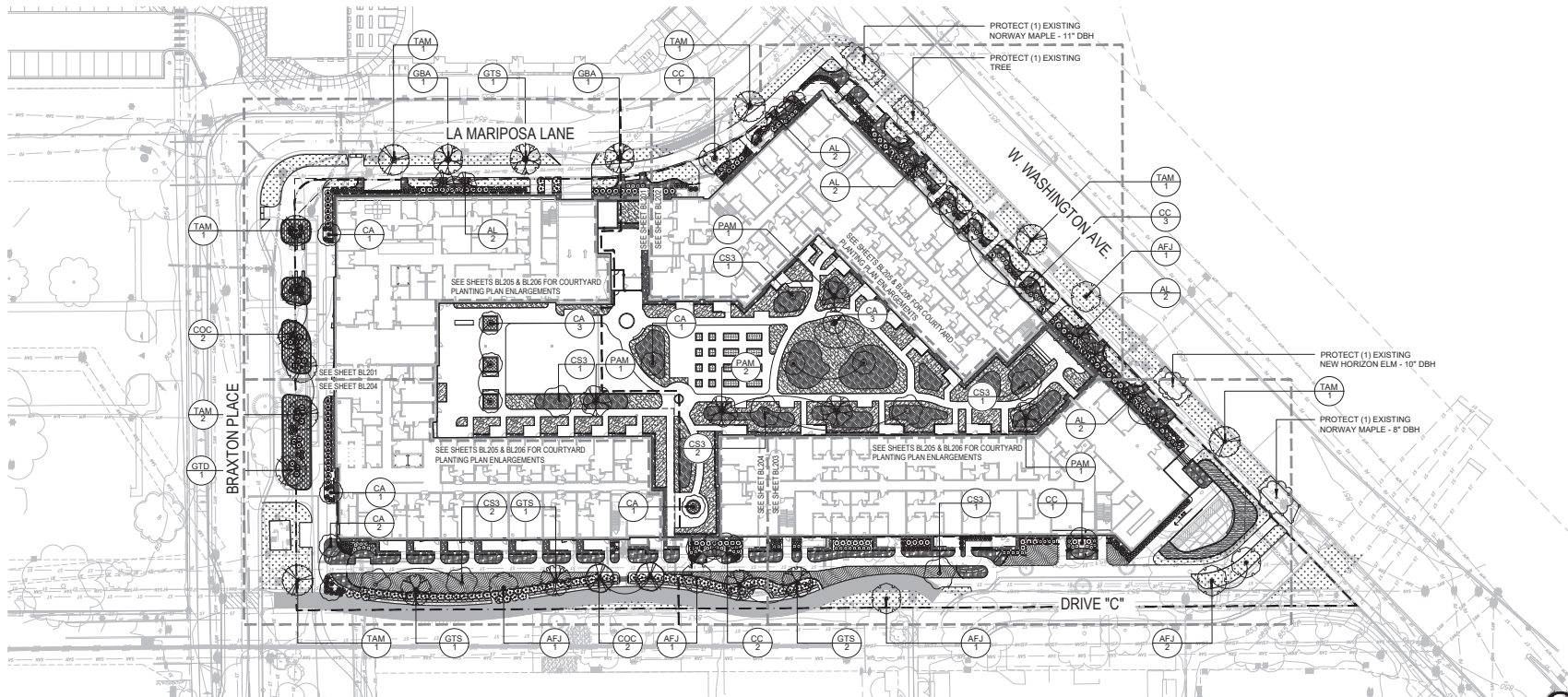
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
<b>ORNAMENTAL TREES</b>					
	AL	<i>Alnus incana</i> / Allegheny Serrano	8.8.8	6 FT (MIN) UPRIGHT MULTI-STEM	10
	CA	<i>Carpinus canadensis</i> / American Hornbeam	8.8.8	6 FT (MIN) UPRIGHT MULTI-STEM	12
	CC	<i>Cercocarpus canadensis</i> / Eastern Redbud	8.8.8	6 FT (MIN) UPRIGHT MULTI-STEM	7
<b>SHADE TREES</b>					
	AFJ	<i>Acer x freemanii</i> / Autumn Blaze® Freeman Maple	8.8.8	2" Cal	6
	CS3	<i>Catalpa speciosa</i> / Northern Catalpa	8.8.8	2.5" Cal	8
	COC	<i>Celtis occidentalis</i> / Chickasaw / Chickasaw Hackberry	8.8.8	2" Cal	4
	GBA	<i>Ginkgo biloba</i> / Autumn Gold™ / Autumn Gold Ginkgo	8.8.8	2" Cal	2
	GTS	<i>Gordonia lasiocarpa</i> / Skyhook / Skyline Honeylocust	8.8.8	2" Cal	5
	GTD	<i>Gordonia lasiocarpa</i> 'Kerri's Dream' / Street Keppel® Honey Locust	8.8.8	2" Cal	1
	PAM	<i>Platanus x acerifolia</i> 'Motté Crane' / 'Exclamation'™ London Plane Tree	8.8.8	2" Cal	5
	TAM	<i>Tilia americana</i> 'MCKerry' / American Serryl Linden	8.8.8	2" Cal	8

**LEGEND**

	PROPERTY LINE
	PHASING LINE
	TREE PROTECTION FENCE - 18L305
	METAL EDGING - 8BL305
	STONE MULCH MAINTENANCE EDGE - 9BL305
	SEEDED BLUEGRASS LAWN
	SEEDED LOW MOW FESCUE
	FILL TO PART-SHADE PERENNIAL MIX - AT GRADE
	RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
	FILL TO PART-SUN PERENNIAL MIX - AT GRADE
	FULL-SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE
	PERENNIAL PLUGS TO BE INSTALLED WITH SEDUM MAT BY CUTTING THROUGH MAT
	MIX PLUGS EVENLY AND PROPORTIONALLY TO EACH PLANTING AREA AS INDICATED IN THE PLANS AND PER THE PLANT SCHEDULE
	GARDEN BED SOIL MIX
	STORMWATER MANAGEMENT PERENNIAL MIX - AT GRADE
	UNDERSTORY MIX - OVER STRUCTURE

**NOTES:**

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- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT-OF-WAY SHALL BE DETERMINED BY CITY FORESTRY. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, VEGETATED ROOF SYSTEMS, AND EXTERIOR SITE FURNISHINGS. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD, WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- CITY FORESTRY WILL ISSUE A STREET TREE REMOVAL PERMIT FOR (2) TWO TREES: THE 4" LINDEN ALONG E SIDE OF WASHINGTON AVE AND A 3" GINKGO ALONG N HANCOCK STREET DUE TO CONFLICTS. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO OBTAIN A PERMIT.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (608-266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: WWW.CITYOFMADISON.COM/BUSINESS/PWSPECS/CFM
- THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.



**1 PLANTING PLAN - OVERALL**  
SCALE: 1" = 30'-0"



**PRELIMINARY**  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	DESCRIPTION
04/28/2021	ISSUANCE AND REVISION
04/28/2021	LAND USE APPLICATION
07/23/2021	DE SIGN OF DEVELOPMENT
10/14/2021	REV. PLAN VERIFICATION

**PLANTING PLAN - OVERALL**

**BL200**

12/7/2021 3:18:52 PM

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**TREE AND SHRUB SCHEDULE - ENLARGEMENT**

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
<b>ORNAMENTAL TREES</b>												
	AL	<i>Alnus incana</i> / Allegheny Serrano	8 B.B.	6 HT (MIN) UPRIGHT MULTISTEM	2		Amc	<i>Amelanchier canadensis</i> 'SUNBAMP' / Low Slope Snowflake™ Black Chokeberry	#3	CONT.	36" o.c.	11
	CA	<i>Carya caroliniana</i> / American Hornbeam	8 B.B.	6 HT (MIN) UPRIGHT MULTISTEM	1		Can	<i>Canadensis</i> / New Jersey Tea	#3	CONT.	36" o.c.	12
<b>SHADE TREES</b>												
	COC	<i>Celtis occidentalis</i> / Chickadee / Chickadee Hackberry	8 B.B.	2" Cal	2		FoI	<i>Fothergilla x intermedia</i> 'Elae Shadow' / Blue Shadow Fothergilla	#5	CONT.	48" o.c.	6
	GBA	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Autumn Gold Ginkgo	8 B.B.	2" Cal	2		Ha	<i>Hydrangea arborescens</i> 'Raiette' / Ironsides® Hydrangea	#5	CONT.	48" o.c.	6
	HPI	<i>Gladiolus paniculatus</i> 'Janet' / Little Lined® Paricle Hydrangea	#3	CONT.			Hp	<i>Hydrangea paniculata</i> 'Janet' / Little Lined® Paricle Hydrangea	#3	CONT.	36" o.c.	9
	Hsb	<i>Hibiscus syriacus</i> 'SUNPLUG' / Little Quick Frost® Paricle Hydrangea	#3	CONT.			Hps	<i>Hydrangea paniculata</i> 'SUNPLUG' / Little Quick Frost® Paricle Hydrangea	#3	CONT.	36" o.c.	8
	Ivs	<i>Ilex verticillata</i> 'SUNPLUG' / Blue Fothergilla St. Johnswort	#3	CONT.			Ivs	<i>Ilex verticillata</i> 'SUNPLUG' / Blue Fothergilla St. Johnswort	#3	CONT.	48" o.c.	11
	Rga	<i>Rhus aromatica</i> 'Tox-Low' / Six Low Faggert® Sumac	#3	CONT.			Ivs	<i>Ilex verticillata</i> 'SUNPLUG' / Blue Fothergilla St. Johnswort	#3	CONT.	24" o.c.	12
<b>EVERGREEN SHRUBS</b>												
	Bj	<i>Buxus sempervirens</i> / Chickadee Green® Boxwood	#3	CONT.			Tca	<i>Taxus canadensis</i> / Everline Ang-Japanese Yew	#3	CONT.	60" o.c.	4
	Tca	<i>Taxus canadensis</i> / Everline Ang-Japanese Yew	#3	CONT.								

**LEGEND**

PROPERTY LINE

PHASING LINE

TREE PROTECTION FENCE - 18L305

METAL EDGING - 8BLL305

STONE MULCH MAINTENANCE EDGE - 8BLL305

SEEDED BLUEGRASS LAWN

SEEDED LOW MOW FESCUE

FULL TO PART SHADE PERENNIAL MIX - AT GRADE

RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE

FULL TO PART-SUN PERENNIAL MIX - AT GRADE

FULL-SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE

PERENNIAL PLUGS TO BE INSTALLED WITHIN SEDUM MAT BY CUTTING THROUGH MAT

MIX PLUGS EVENLY AND PROPORTIONALLY TO EACH PLANTING AREA AS INDICATED IN THE PLANS AND PER THE PLANT SCHEDULE

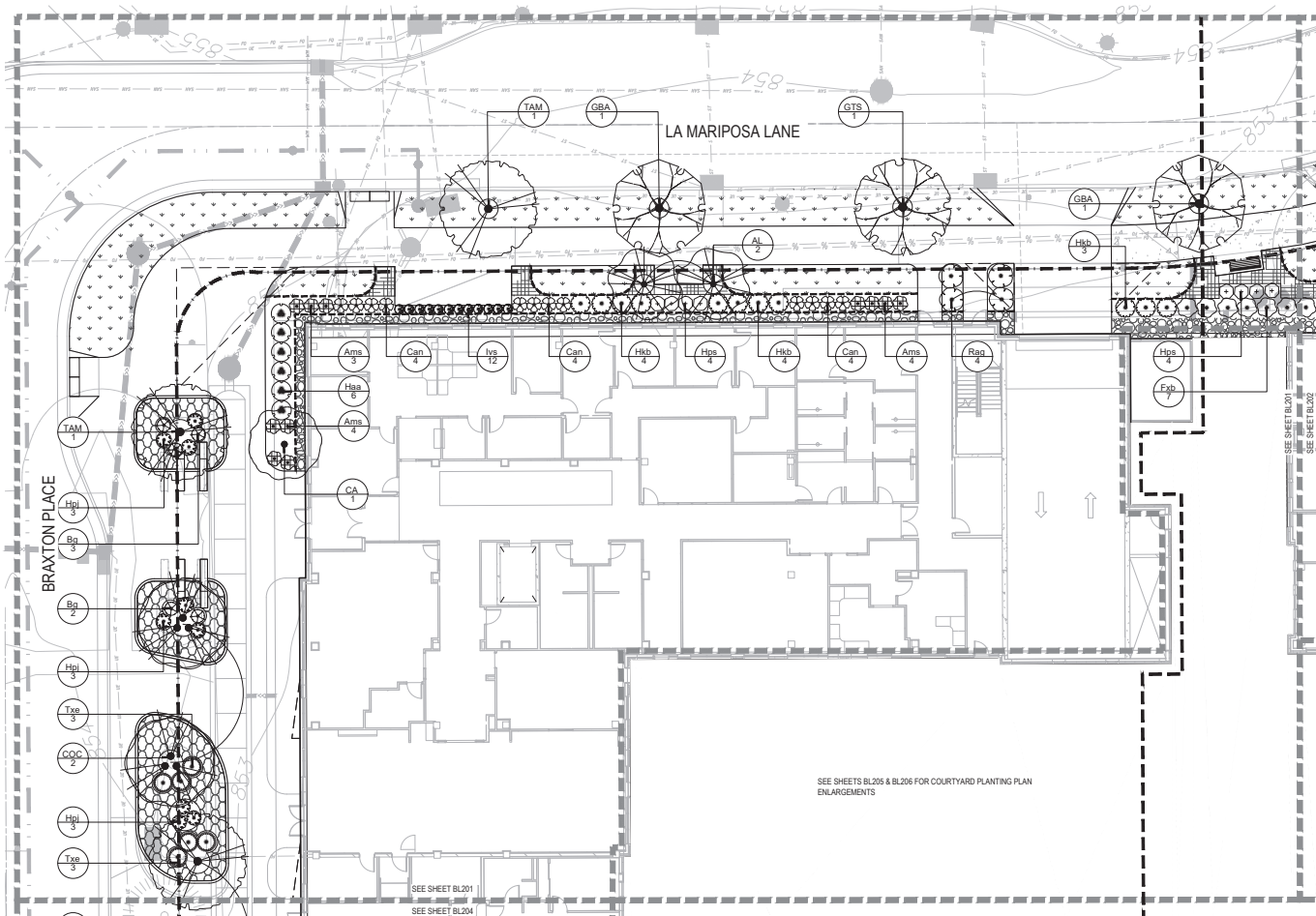
GARDEN BED SOIL MIX

STORMWATER MANAGEMENT PERENNIAL MIX - AT GRADE

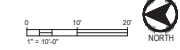
UNDERSTORY MIX - OVER STRUCTURE

**NOTES:**

1. SEE SHEET BL207 FOR LANDSCAPE WORKSHEET AND COMPLETE PLANT SCHEDULE INCLUDING SHRUB AREAS AND GROUNDCOVERS.



**1 PLANTING PLAN - ENLARGEMENT**  
SCALE: 1" = 10'-0"



PRELIMINARY  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	REVISIONS
06/01/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
09/20/2024	PERMITS

**PLANTING PLAN - ENLARGEMENT**

**BL201**



**TREE AND SHRUB SCHEDULE - ENLARGEMENT**

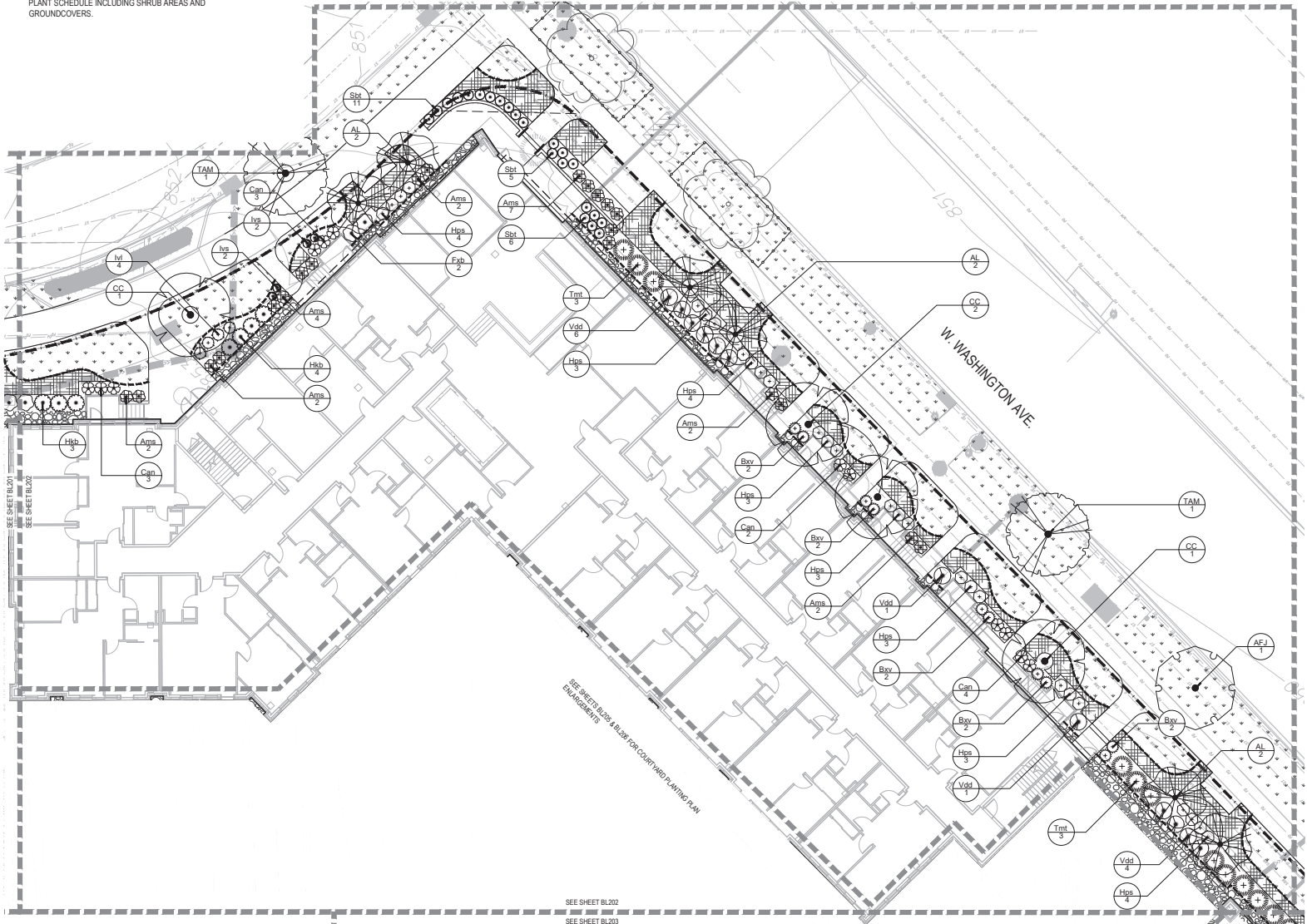
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
<b>ORNAMENTAL TREES</b>					
	AL	Ambrosia balsamifera / Allegheny Serriviburnum	8 1/2"	6" HT BIN (UPRIGHT MULTI-STEM)	6
	CC	Cornus canadensis / Eastern Redbud	8 1/2"	6" HT BIN (UPRIGHT MULTI-STEM)	4
<b>SHADE TREES</b>					
	AFJ	Acer x freemanii 'Jefferson' / Autumn Blaze® Freeman Maple	8 1/2"	7" Cal	1
	TAM	Tilia americana 'Molliserry' / American Seely Linden	8 1/2"	7" Cal	2

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
<b>DECIDUOUS SHRUBS</b>						
	Ans	Aronia melanocarpa 'MINNAPEM' / Low Slope Smooth™ Black Chokeberry	#3	CONT.	36" o.c.	21
	Can	Ceanothus americanus / New Jersey Tea	#3	CONT.	36" o.c.	12
	Fds	Fothergilla x intermedia 'Blue Shadow' / Blue Shadow Fothergilla	#5	CONT.	48" o.c.	3
	Hds	Hydrangea paniculata 'SMPLGFP' / Little Quick Parade Hydrangea	#3	CONT.	36" o.c.	27
	Hbs	Hydrangea latifolia 'SMNPKF' / Blue Festival St. Johnswort	#3	CONT.	48" o.c.	7
	Ivs	Ilex virginica 'SMNPKFC' / Scandalball Sweetgum	#3	CONT.	24" o.c.	4
	Lj	Lila virginica 'Spicy' / Little Hermyl Sweetgum	#3	CONT.	36" o.c.	4
	Sst	Spirea latifolia 'Tall' / White Frost™ Buckhead Spirea	#3	CONT.	36" o.c.	22
	Vds	Viburnum dentatum 'SMNPKF' / All That Glow® Arrowwood Viburnum	#5	CONT.	48" o.c.	12
<b>EVERGREEN SHRUBS</b>						
	Bvs	Buxus x Green Velvet / Green Velvet Boxwood	#3	CONT.	36" o.c.	10
	Tst	Taxus x media 'Tasteful' / Tustin Tree	#5	CONT.	60" o.c.	10

**LEGEND**

- PROPERTY LINE
- PHASING LINE
- TREE PROTECTION FENCE - 1/8L/3/5
- METAL EDGING - 8/BL/3/5
- STONE MULCH MAINTENANCE EDGE - 9/BL/3/5
- SEEDED BLUEGRASS LAWN
- SEEDED LOW MOW FESCUE
- FULL TO PART-SHADE PERENNIAL MIX - AT GRADE
- RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
- FULL TO PART-SUN PERENNIAL MIX - AT GRADE
- FULL-SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE
  - PERENNIAL PLUGS TO BE INSTALLED WITHIN SEDUM MAT BY CUTTING THROUGH MAT
  - MIX PLUGS EVENLY AND PROPORTIONALLY TO EACH PLANTING AREA AS INDICATED IN THE PLANS AND PER THE PLANT SCHEDULE
- GARDEN BED SOIL MIX
- STORMWATER MANAGEMENT PERENNIAL MIX - AT GRADE
- UNDERSTORY MIX - OVER STRUCTURE

**NOTES:**  
 1. SEE SHEET BL207 FOR LANDSCAPE WORKSHEET AND COMPLETE PLANT SCHEDULE INCLUDING SHRUB AREAS AND GROUNDCOVERS.



**1 PLANTING PLAN - ENLARGEMENT**  
 SCALE: 1" = 10'-0"

SEE SHEET BL202  
 SEE SHEET BL203



**PRELIMINARY**  
 NOT FOR CONSTRUCTION

Taking Shape - Building B1  
 City of Madison CDA  
 797 Braxton Place  
 Madison, WI 53715

2021.32.01

DATE	REVISIONS
08/04/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
07/26/2024	SITE PLAN WORKSHEET

**PLANTING PLAN - ENLARGEMENT**

**BL202**

**TREE AND SHRUB SCHEDULE - ENLARGEMENT**

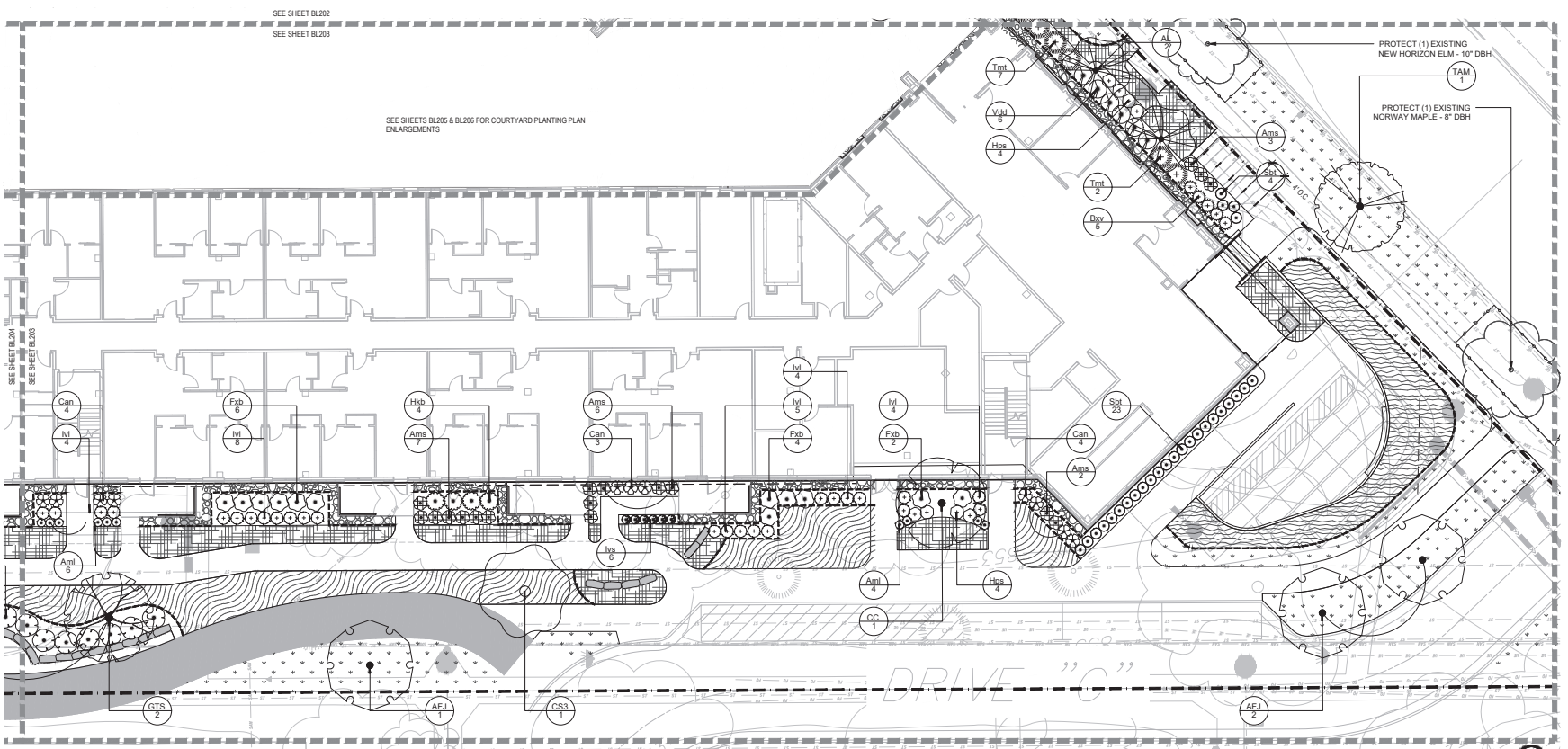
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
<b>ORNAMENTAL TREES</b>												
	AL	Aralia nudicaulis / Spotted Dogwood	8.8	6" HT (MIN) UPRIGHT MULTI-STEM	2		Am1	Amorpha canescens / Blue Indigo Bush	45	CONT.	36" o.c.	18
	CC	Cercis canadensis / Eastern Redbud	8.8	6" HT (MIN) UPRIGHT MULTI-STEM	1		Am2	Amorpha canescens / Blue Indigo Bush	45	CONT.	24" o.c.	10
<b>SHADE TREES</b>												
	AF1	Acer Freemanii / Freeman's / Adams Branch Freeman Maple	8.8	7" Cal	3		Am3	Amorpha canescens / Blue Indigo Bush	45	CONT.	36" o.c.	11
	CS3	Catalpa speciosa / Northern Catalpa	8.8	2 1/2" Cal	1		Fh1	Fothergilla intermedia / Blue Shadow Fothergilla	45	CONT.	48" o.c.	12
	GTS	Gleditsia triacanthos 'Skyline' / Skyline Honeylocust	8.8	7" Cal	1		Hs1	Hydrangea paniculata 'SERRAVALLO' / Little Quick Patch Panicle Hydrangea	45	CONT.	36" o.c.	8
	TAM	Tilia americana 'MadCery' / American Sastry Linden	8.8	7" Cal	1		Hs2	Hydrangea latifolia 'ANNABELLE' / Blue Annabelle St. Johnswort	45	CONT.	48" o.c.	4
							Iv1	Ilex virginica 'SMANDY' / Sandhill Sweetgum	45	CONT.	24" o.c.	6
							Iv2	Ilex virginica 'Tipton' / Little Henry's Sweetgum	45	CONT.	36" o.c.	25
							Rg1	Rhus aromatica 'Cin-Low' / Cin-Low Fragrant Sumac	45	CONT.	60" o.c.	7
							Sp1	Spirea betulifolia 'Tir' / White Frost™ Birchleaf Spirea	45	CONT.	36" o.c.	27
							Vc1	Viburnum dentatum 'SMOKE' / All That Grows Arrowwood Viburnum	45	CONT.	48" o.c.	6
<b>EVERGREEN SHRUBS</b>												
	Bv1	Buxus 'Green Velvet' / Green Velvet Boxwood	45	CONT.								
	Tt1	Taxus 'nana' / Tuckermans / Tuckermans	45	CONT.								

**LEGEND**

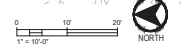
- PROPERTY LINE
- PHASING LINE
- TREE PROTECTION FENCE - 1/8L305
- METAL EDGING - 8/8L305
- STONE MULCH MAINTENANCE EDGE - 9/8L305
- SEEDED BLUEGRASS LAWN
- SEEDED LOW MOW FESCUE
- FULL TO PART SHADE PERENNIAL MIX - AT GRADE
- RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
- FULL TO PART SUN PERENNIAL MIX - AT GRADE
- FULL SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE
- PERENNIAL PLUGS TO BE INSTALLED WITHIN SEDUM MAT BY CUTTING THROUGH MAT
- MIX PLUGS EVENLY AND PROPORTIONALLY TO EACH PLANTING AREA AS INDICATED IN THE PLANS AND PER THE PLANT SCHEDULE
- GARDEN BED SOIL MIX
- STORMWATER MANAGEMENT PERENNIAL MIX - AT GRADE
- UNDERSTORY MIX - OVER STRUCTURE

**NOTES:**

- SEE SHEET BL207 FOR LANDSCAPE WORKSHEET AND COMPLETE PLANT SCHEDULE INCLUDING SHRUB AREAS AND GROUNDCOVERS.



**1 PLANTING PLAN - ENLARGEMENT**  
SCALE: 1" = 10'-0"



PRELIMINARY  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	REVISIONS
08/26/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
06/26/2024	SITE PLAN WORKSHEET

**PLANTING PLAN - ENLARGEMENT**

**BL203**

12/7/2023 3:18:52 PM  
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# TREE AND SHRUB SCHEDULE - ENLARGEMENT

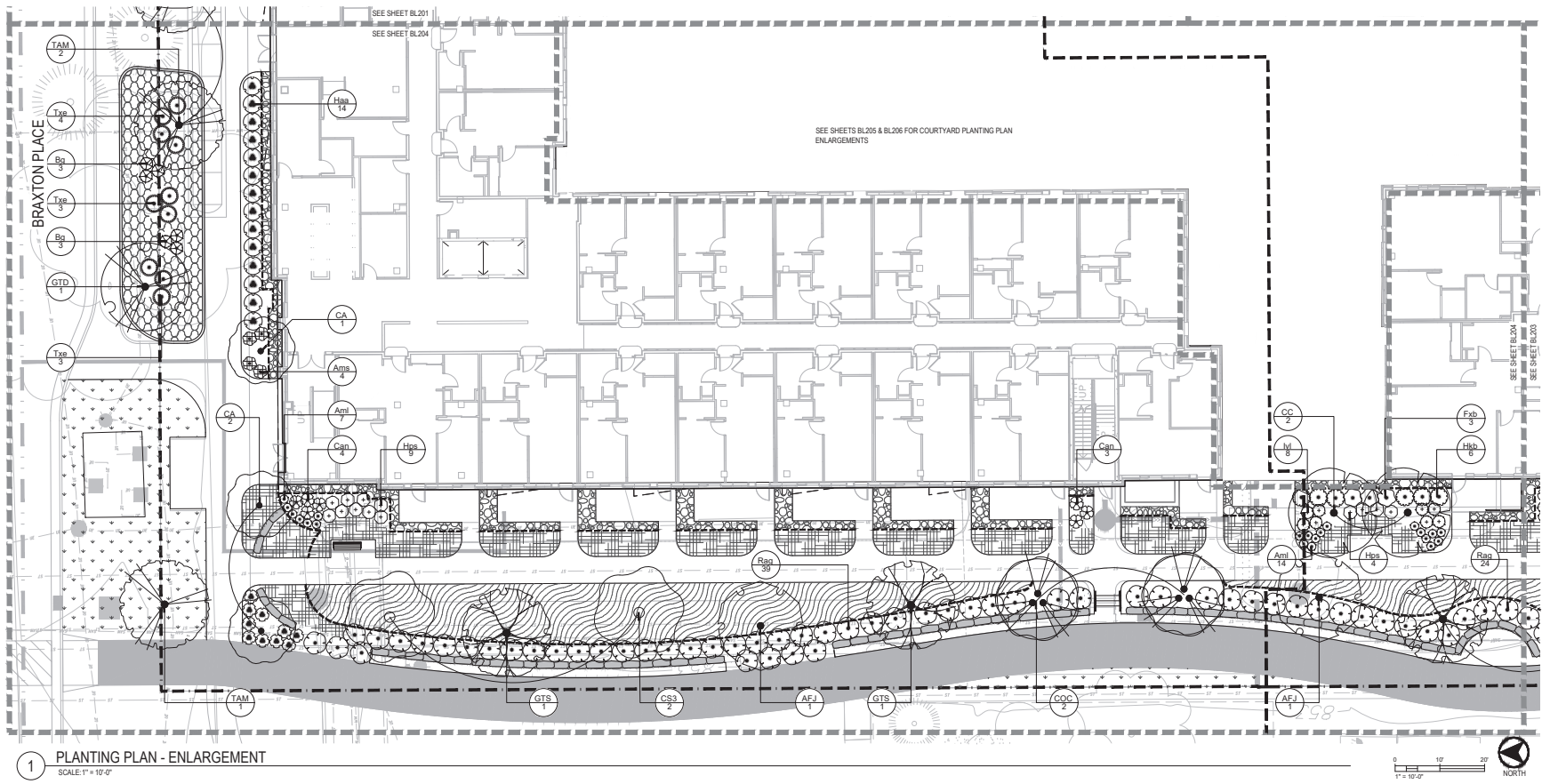
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
<b>ORNAMENTAL TREES</b>					
	CA	Carymus canadensis / American Hornbeam	8 B.B.	6 HT (MIN) UPRIGHT MULTI-STEM	3
	CC	Cercis canadensis / Eastern Redbud	8 B.B.	6 HT (MIN) UPRIGHT MULTI-STEM	2
<b>SHADE TREES</b>					
	AFJ	Acer x freemanii 'Jefferson' / Autumn Blaze® Freeman Maple	8 B.B.	2" Cal	2
	CS3	Castalia speciosa / Northern Castalia	8 B.B.	2 1/2" Cal	2
	CXC	Celtis occidentalis 'Chagoland' / Chagoland Hackberry	8 B.B.	2" Cal	2
	HTS	Olethia macrocarpa 'Skyline' / Skyline Honeylocust	8 B.B.	2" Cal	3
	HTD	Olethia macrocarpa 'Hermes Crowder' / Shree Kopper® Honey Locust	8 B.B.	2" Cal	1
	TAM	Tilia americana 'MCKSentry' / American Sentry Linden	8 B.B.	2" Cal	2
<b>DECIDUOUS SHRUBS</b>					
	Ans	Aronia melanocarpa 'SUNAMPEN' / Low Slope Grower™ Black Chokeberry	#3	CONT.	
	Ans	Aronia melanocarpa 'UCONWARRIES' / Low Slope Mountoff Black Chokeberry	#3	CONT.	
	Can	Canadanthus americana / New Jersey Tea	#3	CONT.	
	Cal	Calluna sibirica 'Siberian Candy' / Siberian Candy Summerweet	#3	CONT.	
	Fob	Fothergilla x intermedia 'Blue Shadow' / Blue Shadow Fothergilla	#3	CONT.	
	Haa	Hydrangea arborescens 'Paeonia' / Incrediball® Hydrangea	#5	CONT.	
	Hps	Hydrangea paniculata 'SUNPLUG' / Little Quick Fire® Panicle Hydrangea	#3	CONT.	
	HAs	Hypericum kalmianum 'SUNHISB' / Blue Foothill® St. Johnswort	#3	CONT.	
	Hs	Ilex virginica 'Spirex' / Little Nelly® Sweetgum	#3	CONT.	
	Rag	Rhus aromatica 'Gris-Lav' / Gris-Lav Fragrant Sumac	#3	CONT.	
<b>EVERGREEN SHRUBS</b>					
	Bg	Buxus x 'Glencol' / Chagoland Green® Boxwood	#3	CONT.	
	Tsa	Taxus x media 'Evanor' / Evanor Anglo-Japanese Yew	#3	CONT.	

## LEGEND

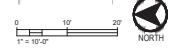
- PROPERTY LINE
- PHASING LINE
- TREE PROTECTION FENCE - 1/8L305
- METAL EDGING - 8/8L305
- STONE MULCH MAINTENANCE EDGE - 9/8L305
- SEEDED BLUEGRASS LAWN
- SEEDED LOW MOW FESCUE
- FULL TO PART SHADE PERENNIAL MIX - AT GRADE
- RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
- FULL TO PART SUN PERENNIAL MIX - AT GRADE
- FULL-SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE
  - PERENNIAL PLUGS TO BE INSTALLED WITHIN SEDUM MAT BY CUTTING THROUGH MAT
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**NOTES:**

- SEE SHEET BL207 FOR LANDSCAPE WORKSHEET AND COMPLETE PLANT SCHEDULE INCLUDING SHRUB AREAS AND GROUNDCOVERS.



1 PLANTING PLAN - ENLARGEMENT  
SCALE: 1" = 10'-0"



PRELIMINARY  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	REVISIONS
08/08/2024	ISSUE FOR PERMITTING
07/28/2024	DESIGN DEVELOPMENT
07/19/2024	SCHEMATIC DEVELOPMENT

## PLANTING PLAN - ENLARGEMENT

BL204

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PLANT SCHEDULE - OVERALL

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
<b>ORNAMENTAL TREES</b>					
AL		American Sycamore / Albemarle Sycamore	8.8 B	6 FT (MIN) UPRIGHT MULTI-STEM	10
CA		Carya cordifolia / American Hornbeam	8.8 B	6 FT (MIN) UPRIGHT MULTI-STEM	12
CC		Carya canadensis / Eastern Redbud	8.8 B	6 FT (MIN) UPRIGHT MULTI-STEM	7
<b>SHADE TREES</b>					
AFJ		Acer x hybridum 'Jefferson' / Autumn Blaze® Freeman Maple	8.8 B	7' Cal	6
CS3		Castanea speciosa / Northern Castan	8.8 B	13' Cal	8
CC2		Celtis occidentalis 'Chagallend' / Chagallend Hackberry	8.8 B	7' Cal	4
GBA		Ginkgo biloba 'Autumn Gold TM' / Autumn Gold Ginkgo	8.8 B	7' Cal	2
STS		Ostrya hincana 'Skyline' / Skyline Honeylocust	8.8 B	7' Cal	5
STD		Ostrya hincana 'Herms Drake' / Short Kappert Honey Locust	8.8 B	7' Cal	1
AM		Platanus x acerifolia 'London Plane' / London Plane Tree	8.8 B	7' Cal	5
AM		Tilia americana 'Mollis' / American Betty Linden	8.8 B	7' Cal	8

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
<b>DECIDUOUS SHRUBS</b>						
Am		Amorpha mitlescarpa 'SUNNYSIDE' / Low Spine Swole™ Black Chokeberry	83	CONT.	30" c.e.	14
Am		Amorpha mitlescarpa 'CONWAY' / Low Spine Mount® Black Chokeberry	83	CONT.	24" c.e.	31
Ca		Ceanothus americanus / New Jersey Tea	83	CONT.	30" c.e.	42
Ca2		Celtis occidentalis 'Sweet Candice' / Sweet Candice Summerweet	83	CONT.	30" c.e.	10
Fa		Fatsia japonica 'Himehime Blue Shadow' / Blue Shadow Fatsia	85	CONT.	48" c.e.	24
Ha		Hydrangea arborescens 'Nadeshiko' / Incrediball® Hydrangea	85	CONT.	48" c.e.	20
Hj		Hydrangea paniculata 'Jane' / Little Lime® Panicle Hydrangea	85	CONT.	30" c.e.	9
Hs		Hydrangea paniculata 'SIMPSON' / Little Quick Fire® Panicle Hydrangea	85	CONT.	30" c.e.	16
Hb		Hydrangea paniculata 'SIMPSON' / Blue Festival® S. Johnson	85	CONT.	48" c.e.	28
Is		Ilex virginica 'SIMPSON' / Scintillation® Sweetgale	83	CONT.	24" c.e.	22
Is		Ilex virginica 'SIMPSON' / Little Henry® Sweetgale	83	CONT.	30" c.e.	37
Raj		Rhus aromatica 'Gris-Lux' / Gris-Lux Fragrant Sumac	83	CONT.	87" c.e.	67
Sa		Spiraea betulifolia 'Tor' / White Frost® Birdcherry Spirea	83	CONT.	30" c.e.	49
Vt		Viburnum dentatum 'dwarf' 'SMOULDER' / All That Glistens® Arrowwood Viburnum	85	CONT.	48" c.e.	18

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
<b>EVERGREEN SHRUBS</b>						
Bj		Buxus x 'Greenov' / Chagallend Green® Boxwood	83	CONT.	30" c.e.	11
Bv		Buxus x 'Green Velvet' / Green Velvet® Boxwood	83	CONT.	30" c.e.	15
Tst		Taxus x media 'Tasmanii' / Tasman Yew	85	CONT.	87" c.e.	15
Ta		Taxus x media 'Evelyn' / Evelyn Anglo-Japanese Yew	85	CONT.	48" c.e.	16

SYMBOL	BOTANICAL / COMMON NAME	CONT.	SPACING	QTY
<b>SHRUB AREAS</b>				
FULL TO PART SHADE PERENNIAL MIX - AT GRADE				
	Carex albicans / White-twig Sedge	PLUG	12" @ 12" c.e.	214
	Campanula medium 'Bells of Ireland' / Bells of Ireland Campanula	#1	17" @ 24" c.e.	50
	Heuchera villosa 'Autumn Blaze' / Autumn Blaze Holly Alumroot	#1	12" @ 24" c.e.	53
	Blum 'Big Beauty' / Big Beauty Blum	1 pt	20" @ 24" c.e.	133
	Carex pensylvanica / Pennsylvania Sedge	PLUG	12" @ 12" c.e.	214
	Carex demissa / Parasol-awned Sedge	PLUG	12" @ 12" c.e.	214
	Neuchera x 'Purple Petaloid' / Purple Petaloid Coral Bells	1 pt	17" @ 24" c.e.	50
PLANTED PLANTER PERENNIAL MIX - OVER STRUCTURE				
	Rudbeckia gracilis 'Steno Androm' / Brons Androm Blue Gram	#1	17" @ 24" c.e.	17
	Campanula medium 'Bells of Ireland' / Bells of Ireland Campanula	#1	17" @ 24" c.e.	17
	Carex bromoides / Bromoides Sedge	PLUG	15" @ 17" c.e.	56
	Androsace hypnoides 'Carmel' / Carmel	#1	17" @ 24" c.e.	17
	Silphium laciniatum 'Hummel' / Hummel Salsify	#1	17" @ 17" c.e.	28
	Saxifraga subulnaria / Autumn Moor Grass	1 pt	17" @ 17" c.e.	28
FULL TO PART SUN PERENNIAL MIX - AT GRADE				
	Artemisia abrotanensis 'Strom Cloud' / Strom Cloud Eastern Buxar	#1	12.5" @ 30" c.e.	59
	Onocarpus aspidioides 'Salsbur' / Gold Sea Tuffed Hair Grass	#1	12.5" @ 24" c.e.	131
	Schizanthus luteus 'Frans' / Frans Salsbur	#1	12.5" @ 18" c.e.	234
	Symphoricarpos albobrunneus 'October Bells' / October Bells Fall Aster	#1	12.5" @ 24" c.e.	131
	Campanula media 'Carmel' / Carmel	1 pt	12.5" @ 24" c.e.	131
	Schizanthus luteus 'Frans' / Frans	1 pt	12.5" @ 24" c.e.	131
	Schizanthus luteus 'The Blue' / The Blue Little Bluebell	1 pt	12.5" @ 24" c.e.	131
	Saxifraga subulnaria / Autumn Moor Grass	1 pt	12.5" @ 18" c.e.	233
	Sedum spurge 'Frensch' / Frensch Winkelsed	1 pt	12.5" @ 24" c.e.	131
FULL SUN SEQUIM MIX AND PERENNIAL PLUGS - OVER STRUCTURE				
	Coreopsis verticillata 'Zagay' / Zagay Tickseed	PLUG	12.5" @ 30" c.e.	184
	Coreopsis verticillata 'Purple Peak' / Purple Peak Tickseed	PLUG	12.5" @ 30" c.e.	184
	Chrysanthemum 'Frensch' / Frensch Oxheart Pink	PLUG	12.5" @ 30" c.e.	184
	Penstemon 'Rainbow' / Rainbow Penstemon	PLUG	12.5" @ 30" c.e.	184
	Phlox subulnaria 'Woodland' / Woodland Creeper Phlox	PLUG	12.5" @ 30" c.e.	184
	Schizanthus luteus 'The Blue' / The Blue Little Bluebell	PLUG	12.5" @ 30" c.e.	184
	Sedum spurge 'Frensch' / Frensch Winkelsed	PLUG	12.5" @ 30" c.e.	184
	Symphoricarpos albobrunneus 'October Bells' / October Bells Fall Aster	PLUG	12.5" @ 30" c.e.	184
GARDEN BED SOIL MIX				
				580 cf
FORMER WATER MANAGEMENT PERENNIAL MIX - AT GRADE				
	Carex albicans / White-twig Sedge	PLUG	15" @ 17" c.e.	274
	Blum 'Big Beauty' / Big Beauty Blum	PLUG	20" @ 24" c.e.	133
	Artemisia abrotanensis 'Strom Cloud' / Strom Cloud Eastern Buxar	PLUG	7" @ 12" c.e.	127
	Carex bicknellii / Prairie Sedge	PLUG	15" @ 17" c.e.	274
	Carex bicknellii / Prairie Sedge	PLUG	15" @ 17" c.e.	274
	Carex stricta / Tussock Sedge	PLUG	15" @ 17" c.e.	274
	Heuchera villosa 'Autumn Blaze' / Autumn Blaze Holly Alumroot	PLUG	8" @ 12" c.e.	159
	Neuchera x 'Purple Petaloid' / Purple Petaloid Coral Bells	PLUG	7" @ 12" c.e.	127
	Androsace hypnoides 'Carmel' / Carmel	PLUG	7" @ 12" c.e.	127
	Sedum spurge 'Frensch' / Frensch Winkelsed	PLUG	7" @ 12" c.e.	127
UNDERSTORY MIX - OVER STRUCTURE				
	Schizanthus luteus 'Carmel' / Carmel Little Bluebell	#1	12" @ 24" c.e.	178
	Campanula medium 'Bells of Ireland' / Bells of Ireland Campanula	1 pt	20" @ 24" c.e.	133
	Carex bicknellii / Prairie Sedge	PLUG	12" @ 17" c.e.	78
	Carex bicknellii / Prairie Sedge	PLUG	12" @ 17" c.e.	78
	Carex stricta / Tussock Sedge	PLUG	12" @ 17" c.e.	78
	Carex pensylvanica / Pennsylvania Sedge	PLUG	12" @ 17" c.e.	78
	Carex albicans / White-twig Sedge	PLUG	12" @ 17" c.e.	78
	Symphoricarpos albobrunneus 'October Bells' / October Bells Fall Aster	1 pt	20" @ 24" c.e.	133

LANDSCAPE WORKSHEET

City of Madison, WI Landscape Worksheet  
14-Oct-24  
Taking Shape - Our Triangle

Developed Lots	SF	LANDSCAPE POINTS REQUIRED
Total Existing Developed Area	49,133	
5 pts/300 SF for 5 acres	217,800	6,330
1 pts/100 SF for >5 acres	(168,667)	(1,687)
<b>Landscape Points Required</b>		<b>1943</b>

Frontage - La Mariposa Lane	LF	*Overstory Trees Required	Shrubs Required
Total LF of Street Frontage			
Between Bldg./Parking & street	342	11	57
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree].			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree **	35			0
Ex. Significant Specimen Tree	0			0
Tall Evergreen Tree	35			0
Ornamental Tree	15	5		75
Upright Evergreen Shrub	10			0
Shrub, Deciduous	3		101	303
Shrub, Evergreen	4			0
Ornamental Grass/Perennial	2		125	250
<b>Development Frontage Total</b>				<b>628</b>

Frontage - West Washington Ave	LF	*Overstory Trees Required	Shrubs Required
Total LF of Street Frontage			
Between Bldg./Parking & street	354	12	59
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree].			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree **	35			0
Ex. Significant Specimen Tree	0			0
Tall Evergreen Tree	35			0
Ornamental Tree	15	9		135
Upright Evergreen Shrub	10			0
Shrub, Deciduous	3		87	261
Shrub, Evergreen	4		30	120
Ornamental Grass/Perennial	2		388	776
<b>Development Frontage Total</b>				<b>1292</b>

Frontage - Braxton Place	LF	*Overstory Trees Required	Shrubs Required
Total LF of Street Frontage			
Between Bldg./Parking & street	222	7	37
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree].			

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree **	35	7		245
Ex. Significant Specimen Tree	0			0
Tall Evergreen Tree	35			0
Ornamental Tree	15	4		60
Upright Evergreen Shrub	10			0
Shrub, Deciduous	3		45	135
Shrub, Evergreen	4		27	108
Ornamental Grass/Perennial	2		868	1736
<b>Development Frontage Total</b>				<b>2284</b>

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	34		14	476
Tall Evergreen Tree	35			0
Ornamental Tree	15		3	45
Upright Evergreen Shrub	10			0
Shrub, Deciduous	3		234	702
Shrub, Evergreen	4			0
Ornamental Grass/Perennial	2		1534	3068
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4		226	904
<b>Foundation Plantings Total</b>				<b>5195</b>

TOTAL LANDSCAPE POINTS PROVIDED 9399

NOTE: \* In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.



PRELIMINARY  
NOT FOR CONSTRUCTION

Taking Shape - Building B1  
City of Madison CDA  
797 Braxton Place  
Madison, WI 53715

2021.32.01

DATE	REVISIONS
06/05/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
09/10/2024	SITE PLAN WORKSHEET

PLANT SCHEDULE - OVERALL

BL207