

Document Number

**Maintenance Agreement  
for portions of the public right of way adjacent to  
Lot 1, CSM 16580**

Record this document with the Register of Deeds

Prepared by and return to:  
Kate Kane  
City of Madison  
210 Martin Luther King Jr. Blvd.,  
Room 115  
Madison, WI 53703

(Parcel Identification Numbers)

| Lot | Parcel No.          |
|-----|---------------------|
| 1   | 251-0709-232-1538-3 |

**Maintenance Agreement  
for portions of the public right of way adjacent to  
Lot 1, CSM 16580**

This Maintenance Agreement ("Agreement") is entered into as of this \_\_\_\_ day of \_\_\_\_, 2025, by and between the Board of Regents of the University of Wisconsin System, (the Property Owner herein after referred to as the "University"), and the City of Madison, a Wisconsin municipal corporation ("City"). Collectively the University and the City may be referred to as the "Parties".

**A. PROPERTY AFFECTED**

**1. PROPERTY DESCRIPTION:** This Maintenance Agreement applies to a portion of the public right of way adjacent to Lot 1, Certified Survey Map No. 16580 recorded in Volume 124 of Certified Surveys, page 232 as Document No. 5982593, parcel number 0709-232-1538-3, as described in the legal description in Exhibit A and hereafter referred to as the "Owner's Property".

**2. MAINTENANCE AREA:** This Maintenance Agreement applies to a portion of the public right of way and sidewalk easement area adjacent to Owner's Property and described in Exhibit B and hereafter referred to as the "Maintenance Area".

**B. MAINTENANCE REQUIREMENTS**

**1. INITIAL CONSTRUCTION OF IMPROVEMENTS WITHIN THE MAINTENANCE AREA:** The initial construction of certain improvements within the Maintenance Area are not covered by this Agreement and are covered by a separate agreement known as City Contract Number 9528 and are to be completed in accordance with plans and specifications for Project 15227 ("Plans").

**2. NO GRADE CHANGE:** Following the initial construction of improvements within the Maintenance Area, no change in the grade within the Maintenance Area shall be made without the prior written approval of the City of Madison Engineering Division ("City Engineer").

**3. IMPROVEMENTS MAINTAINED BY THE UNIVERSITY:** Upon completion of the initial construction of improvements within the Maintenance Area, the Property Owner agrees to complete the following maintenance as needed, or as may be reasonably required by the City, within the Maintenance Area:

- a. Snow and ice removal;
- b. Cleaning of dirt and debris;
- c. Graffiti removal or the correction of other vandalism;
- d. Repair and maintenance of sidewalks and other pavements or paving materials;
- e. Repair and replacement of planting areas including concrete curbed planting beds;

- f. Trimming, pruning and season maintenance of all plant material excluding street trees. Street tree trimming, pruning, and silva cell replacement shall be by the City of Madison;
- g. Repair and maintenance of drain tile.

Nothing in this Agreement shall prohibit the University from contracting with third parties to comply with its responsibilities under this Agreement.

**4. REVISIONS BY THE PROPERTY OWNER:** The University may request the City allow changes to improvements within the Maintenance Area following completion of the initial construction and shall be permitted to make such changes if the changes are approved in writing by the City Engineer. The University shall obtain all necessary permits and approvals prior to constructing or reconstructing any improvement within the Maintenance Area.

**5. REVISIONS BY THE CITY:** The City has the right to construct or reconstruct any improvement in the Maintenance Area and to construct in such a way that differs from the initial construction. In such event, the City has the right to levy special assessments on the Property for any improvement inside the Maintenance Area to the extent not covered (and paid for by the University) under this Agreement and all improvements maintained by the City in accordance with City Policy and State Statutes.

**6. PUBLIC SAFETY:** The City shall have the right to require the University to promptly construct or reconstruct any improvements in the Maintenance Area that are or become a safety problem, as reasonably determined by the City Engineer, when ordered in writing by the City Engineer to do so. Following receipt of the City Engineer's written order, the University shall effect the construction or reconstruction at the University's expense even if the change results in modification of an improvement previously approved by the City.

**7. ADJACENT CITY PROJECTS:** The City has the right to construct and reconstruct streets and utilities or maintain city owned terrace trees adjacent to the Maintenance Area and such construction or reconstruction may impact the improvements that the University is responsible for maintaining under this Agreement. In the event of such construction or reconstruction impacting the University's improvements, the University shall be obligated to restore, replace or reconstruct the damaged or altered University improvements at its sole cost and expense to the extent the costs and expenses to accomplish the same shall not be collectible by the City from adjacent property owners through special assessments, agreements between the City and the adjacent owners or otherwise.

**8. INDEMNIFICATION AND INSURANCE:** During the term of this Agreement, the University agrees to hold harmless the City of Madison and its employees, agents, officers, and officials from any and all liability including claims, demands, losses, costs, damages, and expenses of every kind and description (including death), or damages to persons or property, based on the acts or omissions of the University's officers, employees, or agents while acting within the scope of their employment or agency, consistent with sections 895.46(1) and 893.82 of the Wisconsin Statutes. It is not the intent of either party to this agreement to waive the provisions of Wis. Stats. ss. 893.80 or 893.82 or any other applicable immunity, protections, or limitations of liability applicable to either party which may be provided by law.

The University, an agency of the State of Wisconsin, provides liability coverage for its officers, agents, and employees consistent with Section 895.46(1) and 893.82 of the Wisconsin Statutes. The

University's employees who participate in the activities resulting from this Agreement are employees of the Board of Regents of the University of Wisconsin System. Although the liability coverage provided by the State of Wisconsin under Wis. Stats. sec. 895.46(1) is self-funded, and continuous, it is subject to the damage cap in Wis. Stats. sec. 893.82(6). Such liability coverage includes, but is not limited to claims, demands, losses, costs, damages and expenses of every kind and description (including death), or damage to persons or property arising out this Agreement and founded upon or growing out of the acts or omissions of any of the employees of the University while acting within the scope of their employment where protection is afforded by Sections 893.82 and 895.46(1) of the Wisconsin Statutes. The University shall provide a copy of its standard coverage letter to the City upon request.

**10. TERMINATION:** The City shall have the right to terminate this Agreement with 30 days written notice to the University.

**11. SEVERABILITY:** If any part or parts of this Agreement shall be held unenforceable for any reason, the remainder of this Agreement shall continue in full force and effect. If any provision of this Agreement is deemed invalid or unenforceable by any court of competent jurisdiction, and if limiting such provision would make the provision valid, then such provision shall be deemed to be construed as so limited.

**12. BINDING EFFECT:** The covenants and conditions contained in this Agreement shall apply to and bind the Parties and their heirs, legal representatives, successors and assigns. Nothing herein shall prevent the Property Owner from transferring their interests in the Property and, upon such transfer, the obligations of such University under this Agreement shall become the obligation of the transferee.

**13. ENTIRE AGREEMENT:** This Agreement constitutes the entire agreement between the Parties with respect to the subject matter hereof and supersedes any prior understanding or representation of any kind preceding the date of this Agreement. There are no other promises, conditions, understandings or other agreements, whether oral or written, relating to the subject matter of this Agreement. This Agreement may be modified only in writing and must be signed by the University and the City.

**14. GOVERNING LAW:** This Agreement shall be governed by and construed in accordance with the laws of the State of Wisconsin.

**15. WAIVER:** The failure of any party to enforce any provisions of this Agreement shall not be deemed a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this Agreement.

**16. RUN WITH THE LAND:** All the terms, conditions, covenants and other provisions contained in this Agreement, including the benefits and burdens, shall run with the University's Property and shall be binding upon and inure to the benefit of and be enforceable by the University and the City and their respective successors and assigns.

**17. DEFAULT/REMEDIES:** If the University fails to complete any maintenance as required by this Agreement within a reasonable time period, the City has the right to complete the maintenance and charge the costs of such maintenance either as a direct charge to the University or a special assessment levied upon the University's Property.

**18. NONDISCRIMINATION:** In the performance of the services under this Agreement the University agrees not to discriminate against any employee or applicant because of race, religion, marital status, age, color, sex, disability, national origin or ancestry, income level or source of income, arrest record or conviction record, less than honorable discharge, physical appearance, sexual orientation, gender identity, political beliefs, or student status. University further agrees not to discriminate against any subcontractor or person who offers to subcontract on this contract because of race, religion, color, age, disability, sex, sexual orientation, gender identity or national origin.

[Signatures on next pages]

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed the day and year first above written.

University of Wisconsin Associate Vice Chancellor,  
Facilities Planning & Management & Chief Facilities Officer

By:

C M Z  
40B52C98FA084A0  
(Signature)

ACKNOWLEDGMENT

STATE OF WISCONSIN     )  
                                          ) ss  
COUNTY OF DANE     )

Personally came before me this 26 day of August, 2025, the above named Cindy Torstveit who acknowledged themselves to be the Associate Vice Chancellor of the University of Wisconsin-Madison Chief Facilities Officer, and to me known to be the person who executed the foregoing instrument and acknowledged the same.

Molly Lenz     Molly Lenz

Notary Public Dane County, Wisconsin  
My Commission Expires: 12/26/25



City of Madison

**Michael Haas, Acting City Clerk**

David Schmiedicke, Finance Director      Date

Approved as to Form:

Michael Haas, City Attorney

STATE OF WISCONSIN )  
 ) ss  
COUNTY OF DANE )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, Maribeth Witzel-Behl, City Clerk, to me known to be such persons and City of Madison officers who executed the foregoing instrument and acknowledged that they executed the same as such officers, by its authority for the purposes therein contained.

Notary Public Dane County, Wisconsin  
My Commission Expires: \_\_\_\_\_

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, Satya Rhodes-Conway, Mayor, to me known to be such persons and City of Madison officers who executed the foregoing instrument and acknowledged that they executed the same as such officers, by its authority for the purposes therein contained.

Notary Public Dane County, Wisconsin  
My Commission Expires: \_\_\_\_\_

## **Exhibit A**

### **Affected Property Legal Description**

Lot 1, Certified Survey Map No. 16580 recorded on August 29<sup>th</sup>, 2024 in Volume 124 of Certified Survey maps of Dane County, on pages 232 - 238 as Document No. 5982593, being a part of the Northwest Quarter of the Northwest Quarter of Section 23, Township 7 North, Range 9 East, Located in the City of Madison, Dane County, Wisconsin.

## **Exhibit B**

### **Maintenance Area**

|    |                                                                                                                                                                                                                                                                 |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | FIELD VERIFY SURVEY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DFD REPRESENTATIVE.                                                                                                                                          | 7.  | ANY DEVIATION FROM THE LAYOUT AND DIMENSION SHOWN ON THIS PLAN SHALL REQUIRE APPROVAL BY THE DFD REPRESENTATIVE PRIOR TO PROCEEDING WITH MODIFICATIONS.                                                                                                                                                                                                                                                                                                                                                                                                              |
| 2. | CONTACT DIGGERS HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO STARTING WORK.                                                                                                                                                                      | 8.  | SUBMIT CONCRETE CONSTRUCTION JOINT LAYOUT PLAN ACCORDANCE WITH SECTION 32 13 13 - CONCRETE PAVING.                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 3. | FIELD VERIFY ALL EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO STARTING WORK. ANY DAMAGE CAUSED TO UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.                                                                | 9.  | ALL DISTURBED PAVEMENT AREAS SHALL BE RESTORED WITH RIGID PAVEMENT EITHER TEMPORARILY OR PER THE FINAL PAVEMENT CONDITION AS SHOWN ON THE DRAWINGS. GRAVEL, SOIL, OR OTHER BACKFILL MATERIALS ARE NOT ACCEPTABLE.                                                                                                                                                                                                                                                                                                                                                    |
| 4. | PROTECT OR RELOCATE ALL BENCHMARKS. RELOCATED BENCHMARKS TO BE INCLUDED WITH CONTRACT OR AS-BUILTS.                                                                                                                                                             | 10. | CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE(S). CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED. |
| 5. | PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES, AND OTHER IMPROVEMENTS (TO REMAIN) FROM CONSTRUCTION ACTIVITIES. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO EXISTING CONDITIONS AT COMPLETION OF WORK UNLESS SHOWN OTHERWISE ON PLANS. |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| 6. | CONTRACTOR IS RESPONSIBLE FOR STAKING SITE FOR HORIZONTAL AND VERTICAL ALIGNMENT.                                                                                                                                                                               |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |

11. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:  
[HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
12. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE):  
[HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

13. NO LATER THAN FIVE BUSINESS DAYS PRIOR TO FORMING CONCRETE AND CONSTRUCTING TREE GRATE SITES, THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO IDENTIFY AND LOCATE UNDERGROUND CONDUITS (UTILITIES, VAULTS, CONDUIT) OR OTHER UNDERGROUND OBSTRUCTIONS AND DETERMINE GRATE LOCATIONS. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THE GRATE, MATCHING FRAME AND/OR TREE GUARD. TREE GRATE TYPE AND MATCHING FRAME: NEENAH 4X8 (R-8815-A). TREE GUARD NEENAH (R-8501-4818).

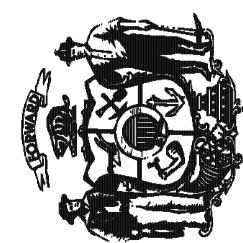
|  |                                                              |                 |
|--|--------------------------------------------------------------|-----------------|
|  | 8" DEPTH COMPACTED DENSE GRADED BASE                         |                 |
|  | UW ASPHALTIC CONCRETE PAVEMENT                               | 3<br>(C804)     |
|  | UW STANDARD DUTY CONCRETE PAVEMENT                           | 1<br>(C804)     |
|  | UW HEAVY DUTY CONCRETE PAVEMENT                              | 2<br>(C804)     |
|  | CITY OF MADISON CONCRETE PAVEMENT                            | 4<br>(C804)     |
|  | UNIT PAVERS, TYPE 1<br>CITY R.O.W. PAVERS<br>(NON-PERMEABLE) | 1<br>(C801)     |
|  | UNIT PAVERS, TYPE 2<br>NON-PERMEABLE                         | 4<br>(C801)     |
|  | UNIT PAVERS, TYPE 2<br>PERMEABLE                             | 3<br>(C801)     |
|  | SALVAGED LIMESTONE PAVERS                                    | SEE SHEET LA100 |
|  | MODULAR SOIL VAULTS                                          | 1<br>(C800)     |
|  | CONSTRUCTION LIMITS                                          |                 |
|  | PROPERTY LINE/R.O.W.                                         |                 |
|  | TREE PROTECTION FENCING                                      |                 |
|  | CONSTRUCTION FENCING                                         |                 |
|  | LIGHT POLES                                                  |                 |
|  | UTILITY INLETS & MANHOLES                                    |                 |

|                      |
|----------------------|
| INTERIOR: 26 STALLS  |
| EXTERIOR: 248 STALLS |
| TOTAL = 274 STALLS   |

UW SERVICE VEHICLES:  
2 STALLS

|                            | Levy Hall |       | 923 Clymer Pl. |       | 209 Bernard Ct. & 911 Clymer Pl. |       | All Lots Total |       |
|----------------------------|-----------|-------|----------------|-------|----------------------------------|-------|----------------|-------|
|                            | SF        | Acres | SF             | Acres | SF                               | Acres | SF             | Acres |
| Lot Size                   | 47347     | 1.09  | 3149           | 0.07  | 5352                             | 0.12  | 55848          | 1.28  |
| Existing Site Impervious   | 21258     | 0.49  | 2320           | 0.05  | 3224                             | 0.08  | 26802          | 0.62  |
| Existing Building Coverage | 7344      | 0.17  | 1360           | 0.03  | 2808                             | 0.06  | 11512          | 0.26  |
| Proposed Site Impervious   | 41729     | 0.96  | 1629           | 0.04  | 1366                             | 0.03  | 44724          | 1.03  |
| Proposed Building Coverage | 31557     | 0.72  | 0              | 0.00  | 0                                | 0.00  | 31557          | 0.72  |
| Useable Open Space         | 5618      | 0.13  | 1520           | 0.03  | 3986                             | 0.09  | 11124          | 0.26  |
| Total Disturbed Area       |           |       |                |       |                                  |       | 89787          | 2.06  |

1 SITE LAYOUT PLAN - OVERALL  
SCALE: 1"=20'-0"



232 N. PARK ST.  
MADISON, WI 53715

NEW ACADEMIC BUILDING  
LEVY HALL  
UNIVERSITY OF WISCONSIN - MADISON  
MADISON, WISCONSIN

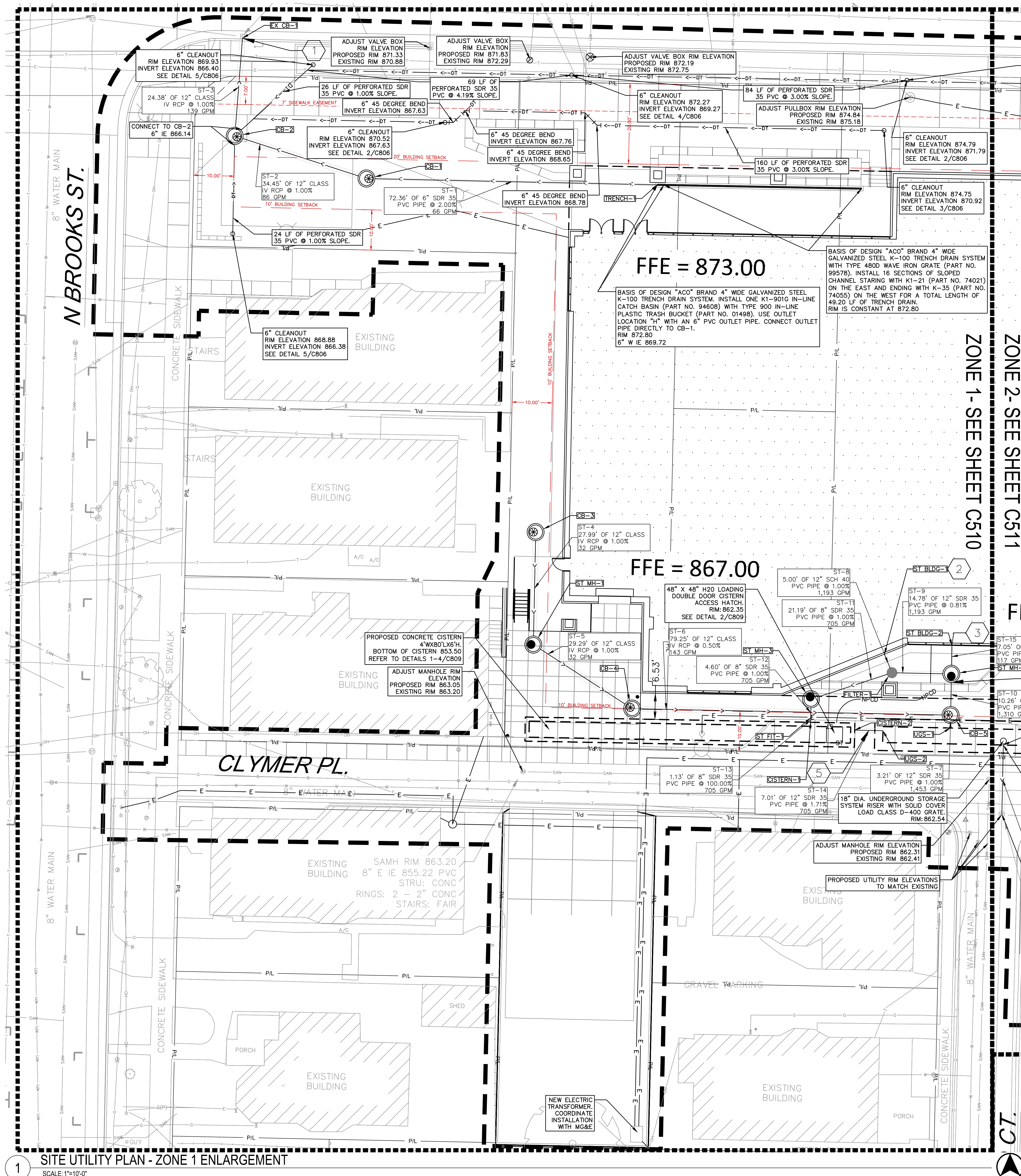
SITE LAYOUT PLAN - OVERALL

[illegible]



|                                                                                       |                                                           |                 |
|---------------------------------------------------------------------------------------|-----------------------------------------------------------|-----------------|
|  | 8' DEPTH COMPACTED<br>DENSE GRADED BASE                   |                 |
|  | UW ASPHALTIC CONCRETE<br>PAVEMENT                         | 3<br>C804       |
|  | UW STANDARD DUTY<br>CONCRETE PAVEMENT                     | 1<br>C804       |
|  | UW HEAVY DUTY<br>CONCRETE PAVEMENT                        | 2<br>C804       |
|  | CITY OF MADISON<br>CONCRETE PAVEMENT                      | 4<br>C804       |
|  | UNIT PAVERS, TYPE 1<br>CITY R.O.W. PAVERS (NON-PERMEABLE) | 1<br>C801       |
|  | UNIT PAVERS, TYPE 2<br>NON-PERMEABLE                      | 4<br>C801       |
|  | UNIT PAVERS, TYPE 2<br>PERMEABLE                          | 3<br>C801       |
|  | SALVAGED LIMESTONE<br>PAVERS                              | SEE SHEET LA100 |
|  | MODULAR SOIL VAULTS                                       | 1<br>C800       |
|  | CONSTRUCTION LIMITS                                       |                 |
|  | PROPERTY LINE/ROW                                         |                 |
|  | TREE PROTECTION FENCING                                   |                 |
|  | CONSTRUCTION FENCING                                      |                 |
|  | LIGHT POLES                                               |                 |
|  | UTILITY INLETS & MANHOLES                                 |                 |





**SITE UTILITY PHASING + OUTAGE NOTES**

1. ANY REQUIRED OUTAGES AND PLANNED NEW CONNECTIONS SHALL BE COORDINATED A MINIMUM OF 4 WEEKS IN ADVANCE WITH CITY OF MADISON AND UW MADISON UTILITIES.

Scale: 1" = 10'

**DIGGERSHOTLINE**  
Dial 811 or (800)242-8511  
www.DiggersHotline.com

- UTILITY NOTES**
- KNOWN UTILITY AND POTENTIAL CONFLICTS EXIST WITH EXISTING UNDERGROUND UTILITIES. PRIOR TO UTILITY INSTALLATION, CONTRACTOR TO EXCAVATE AND EXPOSE EXISTING UTILITIES, VERIFY LOCATIONS AND ELEVATIONS, AND CONTACT ENGINEER IF CONFLICTS EXIST WITH PROPOSED CONSTRUCTION AND EXISTING UNDERGROUND UTILITIES.
- PER PROJECT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, THE POINT OF COMMENCEMENT FOR THE LAYING OF SEWER PIPE SHALL BE AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. THE PIPE SHALL BE LAID WITH THE BELL END OF THE BELL AND SPIGOT PIPE, OR WITH THE RECEIVING GROOVE END OF THE TONGUE AND GROOVE PIPE, POINTING UPWARD. WHEN A NEW SEWER IS TO BE CONNECTED TO AN EXISTING SEWER NOT TERMINATING IN A MANHOLE, THE CONTRACTOR SHALL UNCOVER THE EXISTING SEWER TO ALLOW ANY ADJUSTMENTS IN LINE AND GRADE TO BE MADE BEFORE PIPE IS LAID.
  - THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WORK, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
  - FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.
  - GENERAL CONTRACTOR SHALL MAINTAIN ANY EXISTING DRAINAGE PATTERNS ONCE STRUCTURES ARE REMOVED UNTIL THE PROPOSED STRUCTURES ARE FULLY INSTALLED AND OPERATIONAL.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR RESTORING ALL AREAS DISTURBED DURING UTILITY INSTALLATIONS TO EXISTING CONDITIONS AT COMPLETION OF INSTALLATION UNLESS OTHERWISE SHOWN ON PLANS. RESTORATION SHALL BE OF AT LEAST EQUAL QUALITY AND/OR WORKMANSHIP TO THAT WHICH WAS DAMAGED UNLESS SPECIFICALLY REQUIRED OTHERWISE BY PLANS OR SPECIFICATIONS. THE COST FOR SAID RESTORATION SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
  - CONTRACTOR SHALL SUBMIT FOR PERMITS TO PLUG EXISTING STORM AND SANITARY SEWER.

**KEY INDEX**

PROJECT LIMITS  
STORM MANHOLE  
STORM CATCH BASIN WITH CURB BOX FRAME & GRATE  
TEE  
WATER MAIN VALVE  
45 DEGREE BEND  
STORM SEWER  
SANITARY SEWER  
WATER MAIN  
CWS - COLD WATER SUPPLY  
CWR - COLD WATER RETURN  
NPOD - NON-POTABLE CISTERN PUMP DISCHARGE  
DT - 6" DRAIN TILE  
HPS - HIGH PRESSURE STEAM  
PCR - PUMPED CONDENSATE RETURN  
CA - COMPRESSED AIR  
E - ELECTRIC LINE. COORDINATE THE EXCAVATION FOR UNDERGROUND ELECTRIC CONDUITS AND LOCATIONS WITH THE ELECTRICAL CONTRACTOR. SEE SHEET E005.  
SFG - 3" GAS LINE. COORDINATE THE EXCAVATION FOR UNDERGROUND GAS LATERAL AND LOCATION WITH MOBE. SEE SHEET M005.

7 C805  
1 C806

1. SITE UTILITY CONTRACTOR TO CONNECT PROPOSED STORM SEWER TO EXISTING STORM STRUCTURE. CONTRACTOR TO FIELD VERIFY EXACT SIZE, DEPTH, AND LOCATION OF EXISTING STORM STRUCTURE PRIOR TO CONSTRUCTION. CONTACT ENGINEER IF CONFLICTS ARISE.
2. SITE UTILITY CONTRACTOR TO PROVIDE CONTINUATION OF 12" PVC STORM SEWER LATERAL AT THE INSIDE OF THE BUILDING WALL. VERIFY EXACT LOCATION AND INVERT IN FIELD.
3. SITE UTILITY CONTRACTOR TO PROVIDE CONTINUATION OF 4" PVC STORM SEWER LATERAL AT THE INSIDE OF THE BUILDING WALL. VERIFY EXACT LOCATION AND INVERT IN FIELD.
4. SITE UTILITY CONTRACTOR TO INSTALL BACKFLOW PREVENTER ON ST-10 SOUTH OF ST MH-2.
5. SITE UTILITY CONTRACTOR TO INSTALL BACKFLOW PREVENTER ON ST-14 EAST OF CISTERN-2.
6. SITE UTILITY CONTRACTOR TO INSTALL BACKFLOW PREVENTER ON ST-19 SOUTH OF ST MH-2.
7. NEW ELECTRIC POLE WITH SALVAGED LIGHT FIXTURE. COORDINATE WITH ELECTRICAL CONTRACTOR. REFER TO E005 ELECTRICAL SITE PLAN FOR MORE INFORMATION.
8. RELOCATED TRAFFIC CONTROL BOX LOCATION.
9. TEMPORARY TRAFFIC CONTROL BOX AND TEMPORARY WOOD POLE WITH OVERHEAD WIRES. LOCATION, TEMPORARY TRAFFIC CONTROL BOX TO REMAIN UNTIL TRAFFIC CONTROL BOX AT PROPOSED LOCATION IS INSTALLED AND OPERATIONAL. INSTALL TYPE 7 HAND HOLE OVER EXISTING TRAFFIC CONTROL BOX LOCATION. CONTRACTOR TO COORDINATE WITH MOBE.

**R/S BORA**  
Consultant:  
**kapur**  
400 E. Wisconsin Ave.  
Milwaukee, WI 53202  
www.kapurinc.com

State of Wisconsin  
Department of Administration  
Division of Facilities Development

NEW ACADEMIC BUILDING  
LEVY HALL  
UNIVERSITY OF WISCONSIN - MADISON  
MADISON, WISCONSIN

232 N. PARK ST.  
MADISON, WI 53715

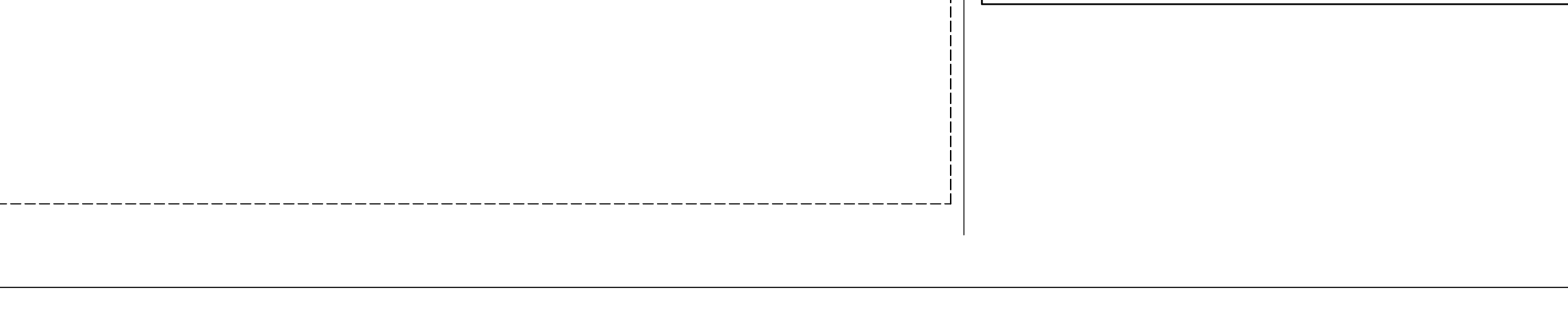
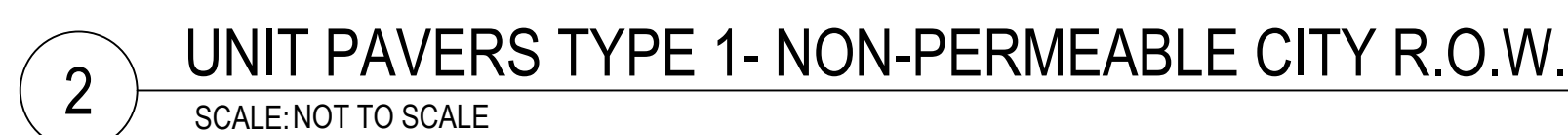
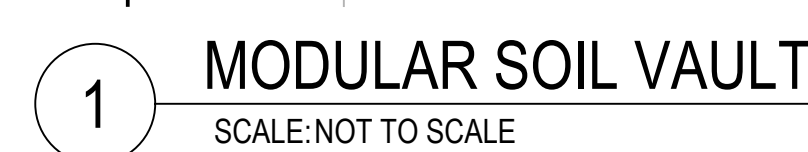
SITE UTILITY PLAN - ZONE 1 ENLARGEMENT

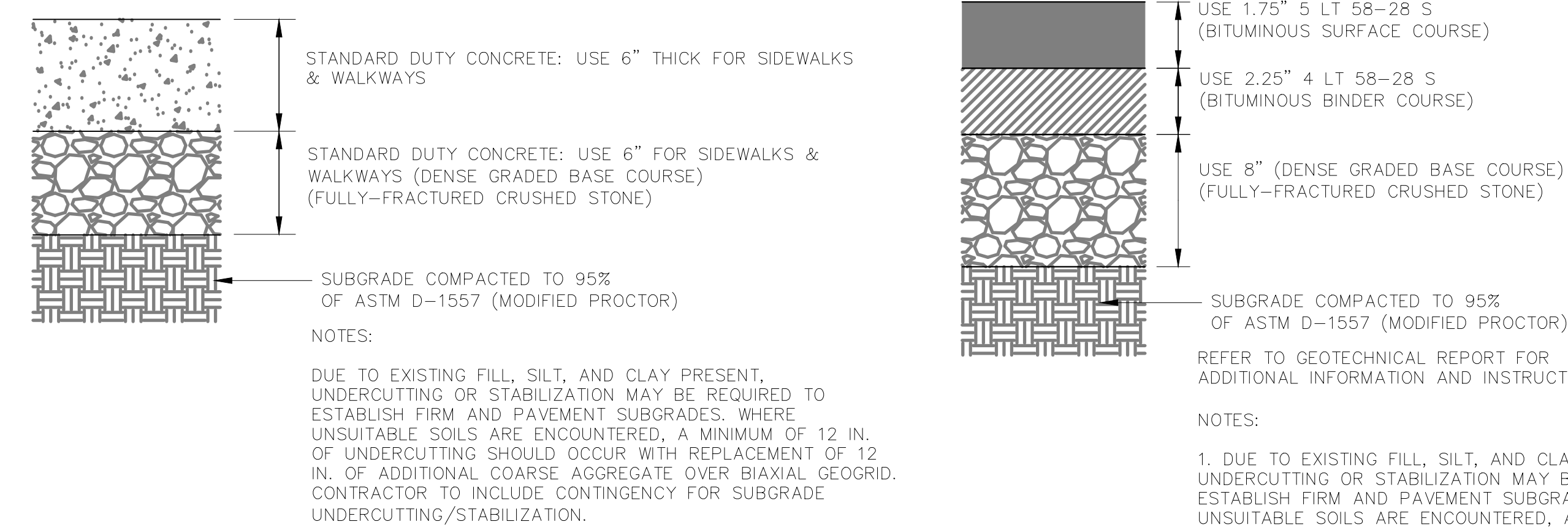
Revisions:  
No. Date Description

Graphic Scale: 0' 2.5' 5' 10' 15'

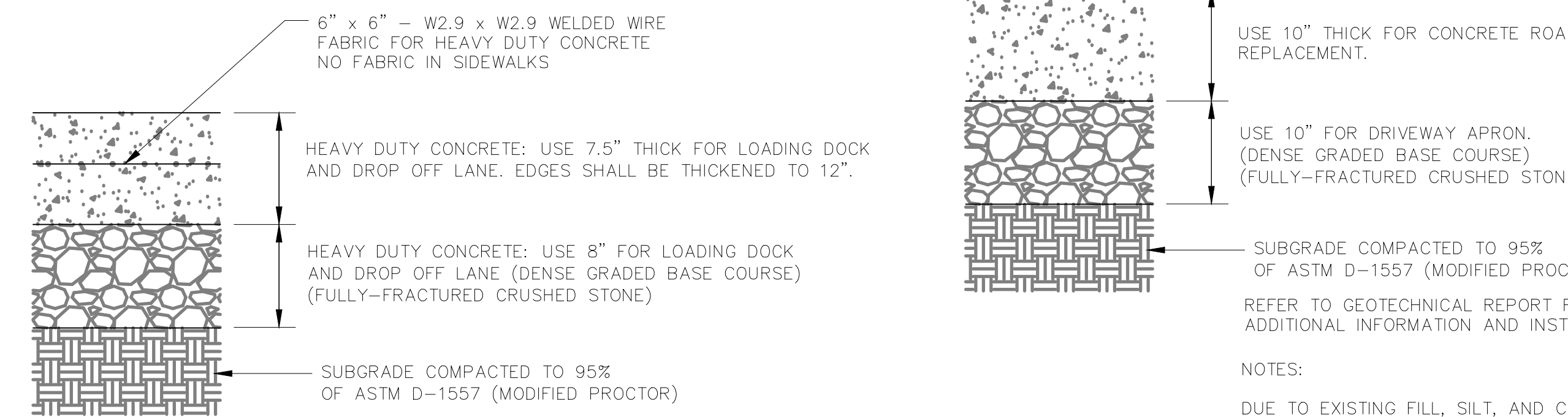
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Set Type: LUA  
Date Issued: 05/22/2023  
Sheet Number: C510



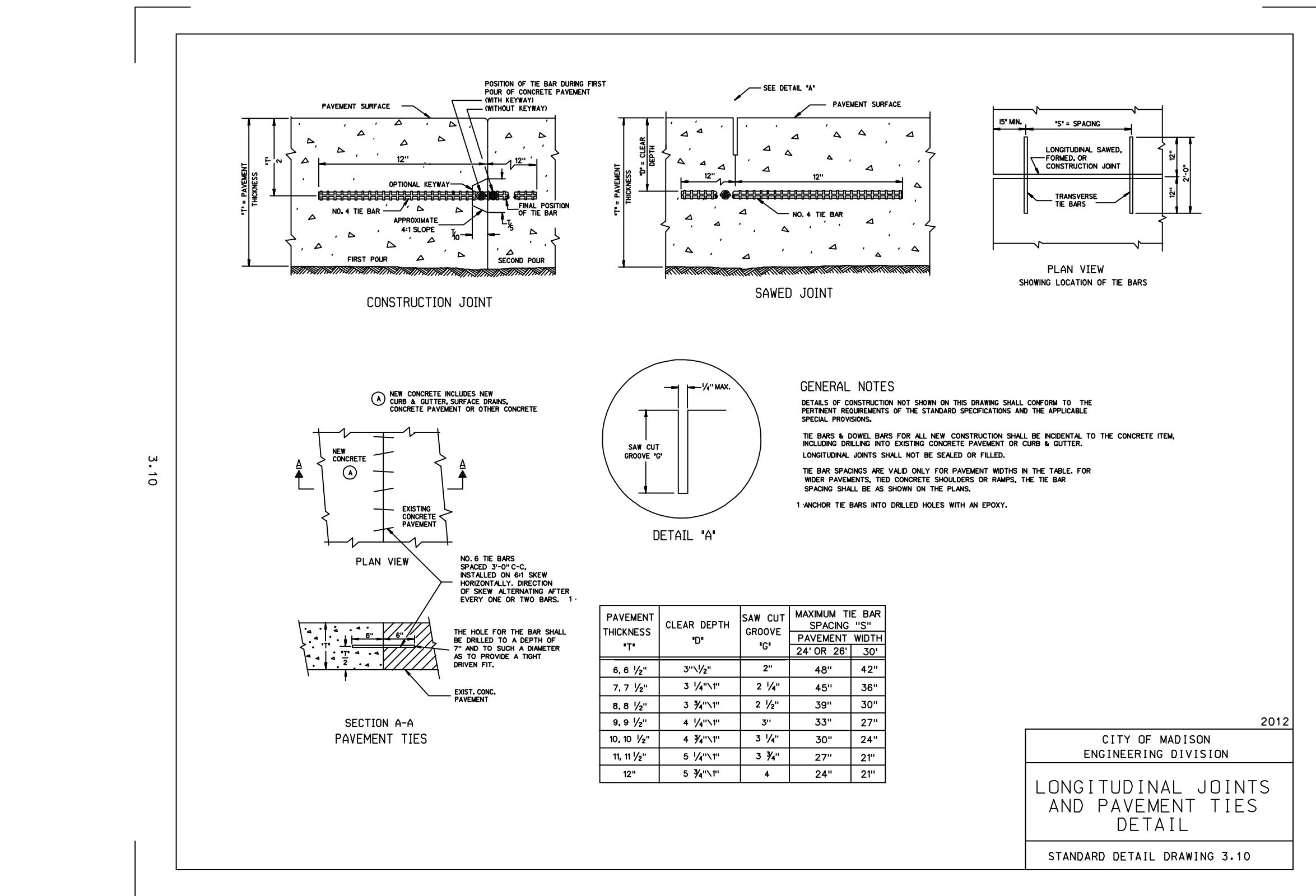




1  
C804 UW STANDARD DUTY CONCRETE  
N.T.S.



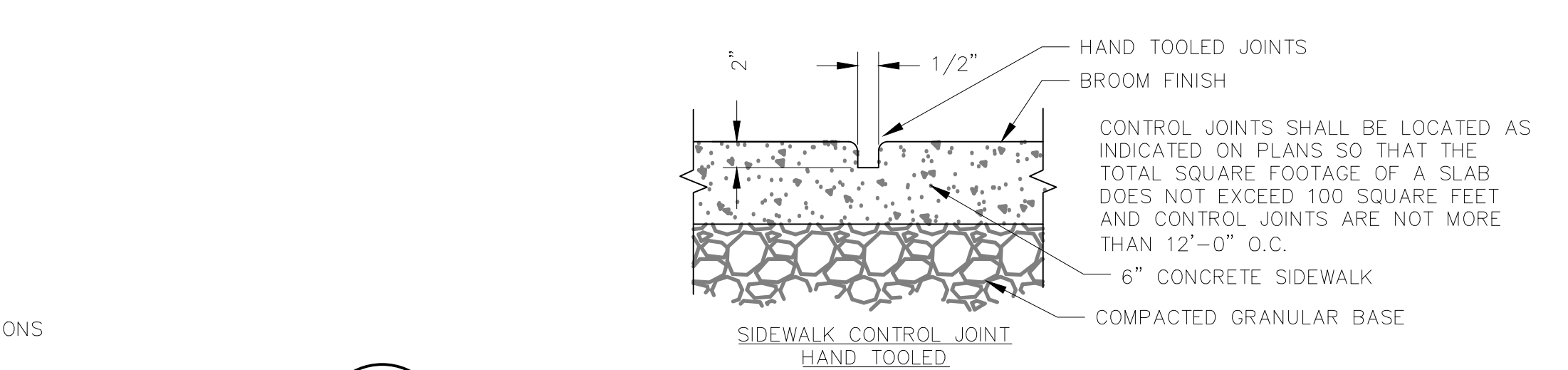
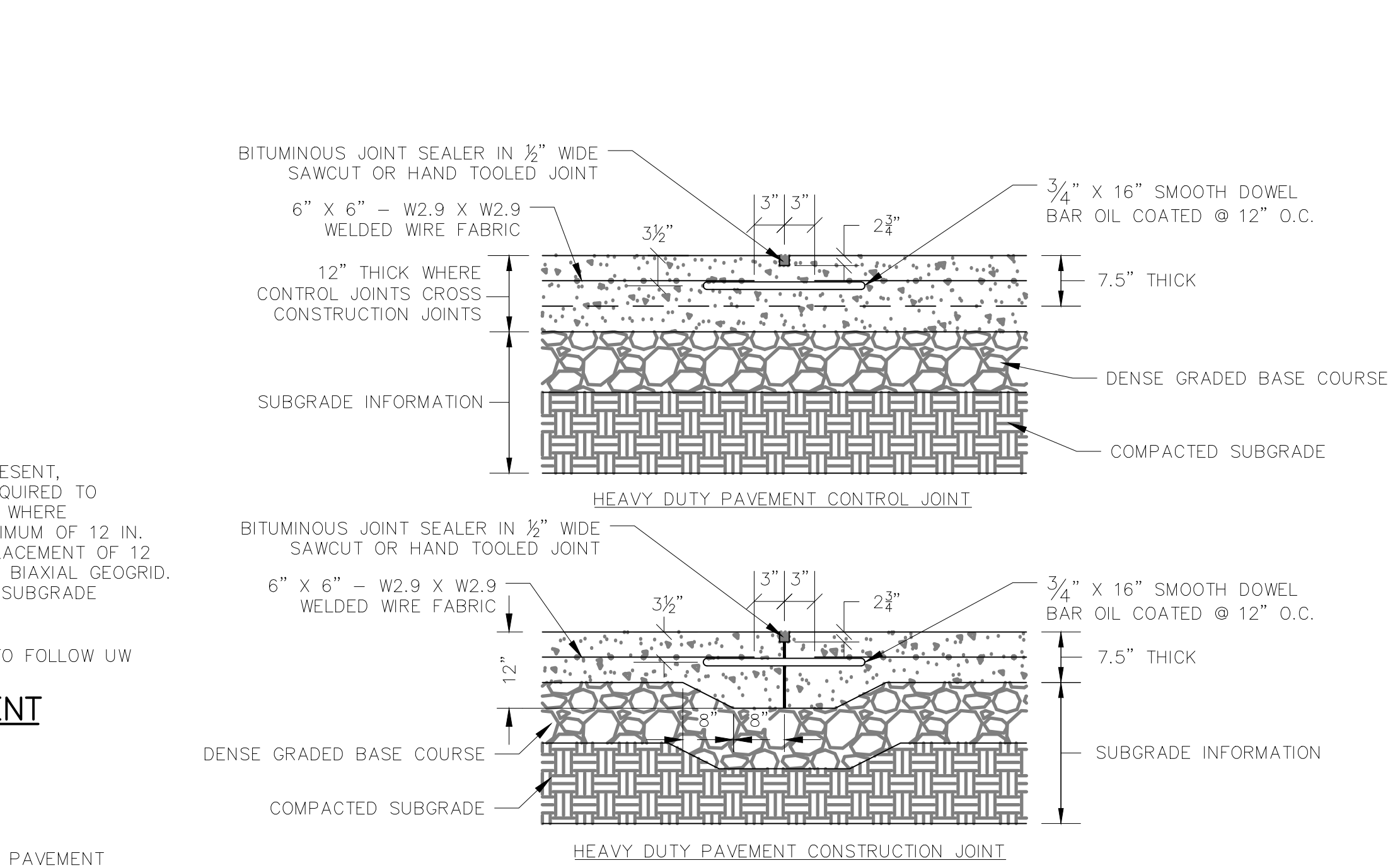
2  
C804 UW HEAVY DUTY CONCRETE  
N.T.S.



3  
C804 CITY OF MADISON CONCRETE SIDEWALK/SLAB (ONLY FOR WORK IN ROW)  
N.T.S.



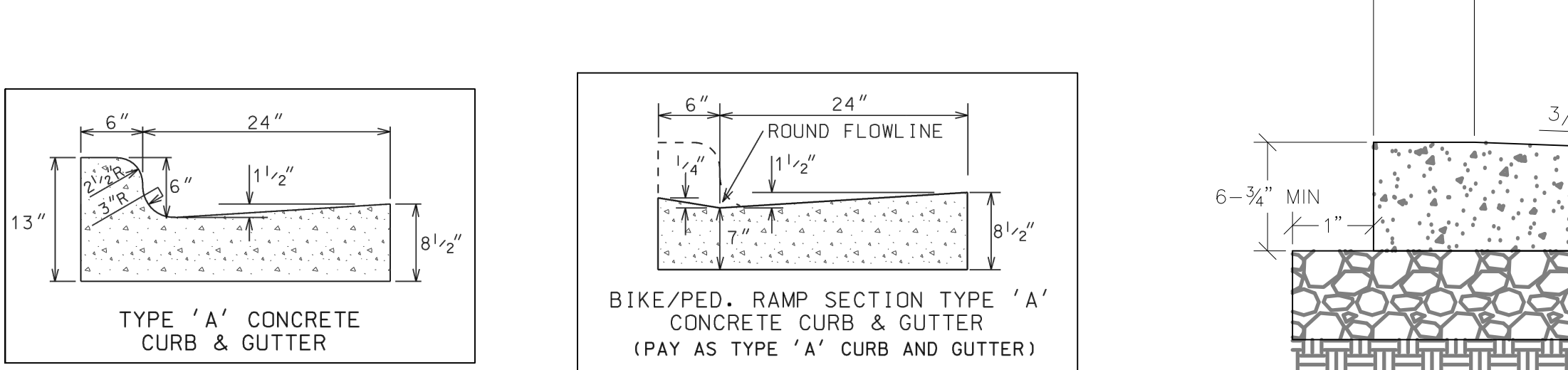
4  
C804 LONGITUDINAL JOINTS AND PAVEMENT TIES DETAIL  
N.T.S.



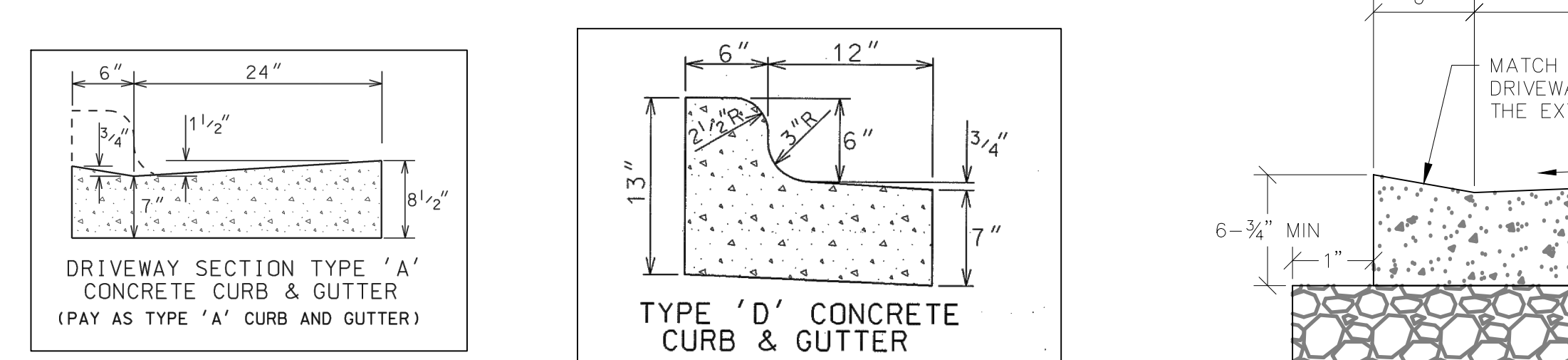
5  
C804 UW CONTROL & CONSTRUCTION JOINT DETAILS  
N.T.S.



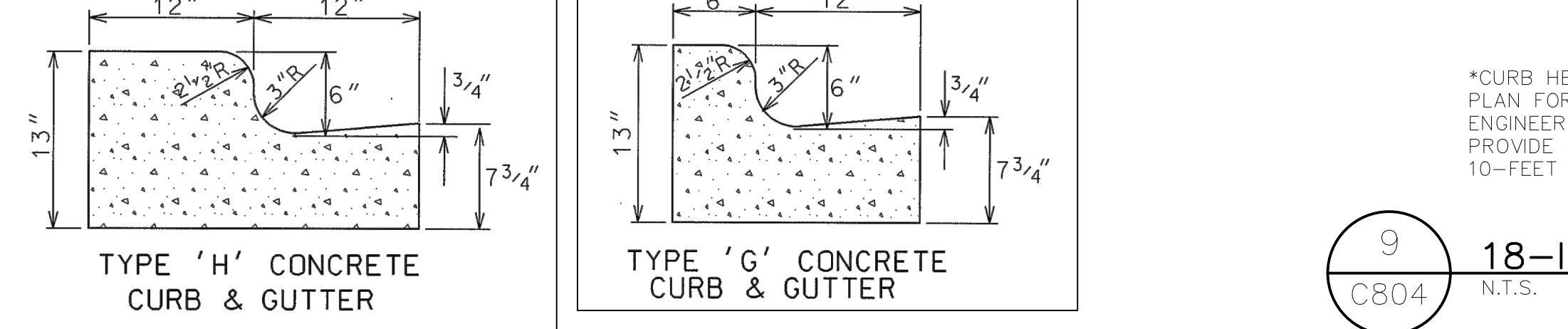
6  
C804 DOWELED CONCRETE PAVEMENT DETAIL  
N.T.S. (CITY OF MADISON ROW ONLY)



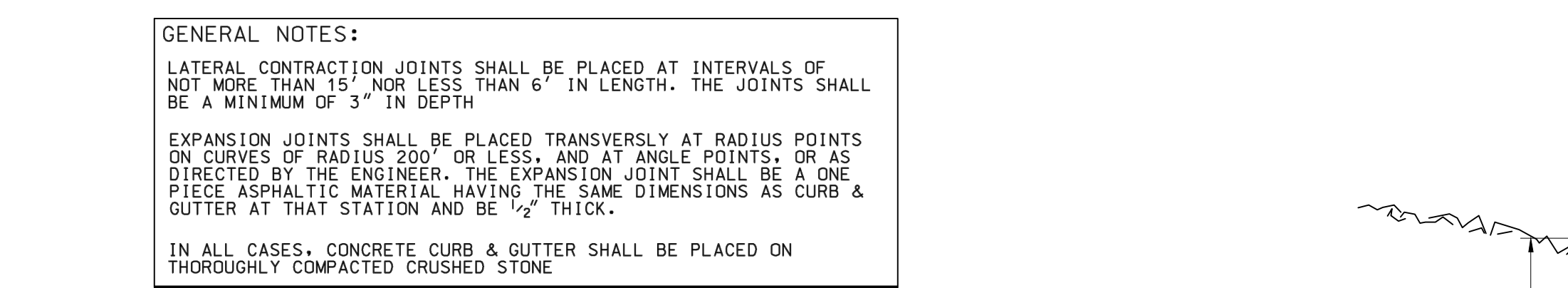
7  
C804 CITY OF MADISON CURB AND GUTTER DETAILS  
N.T.S.



8  
C804 CITY OF MADISON CURB AND GUTTER DETAILS  
N.T.S.



9  
C804 18-INCH DEPRESSED CONCRETE CURB & GUTTER  
N.T.S.



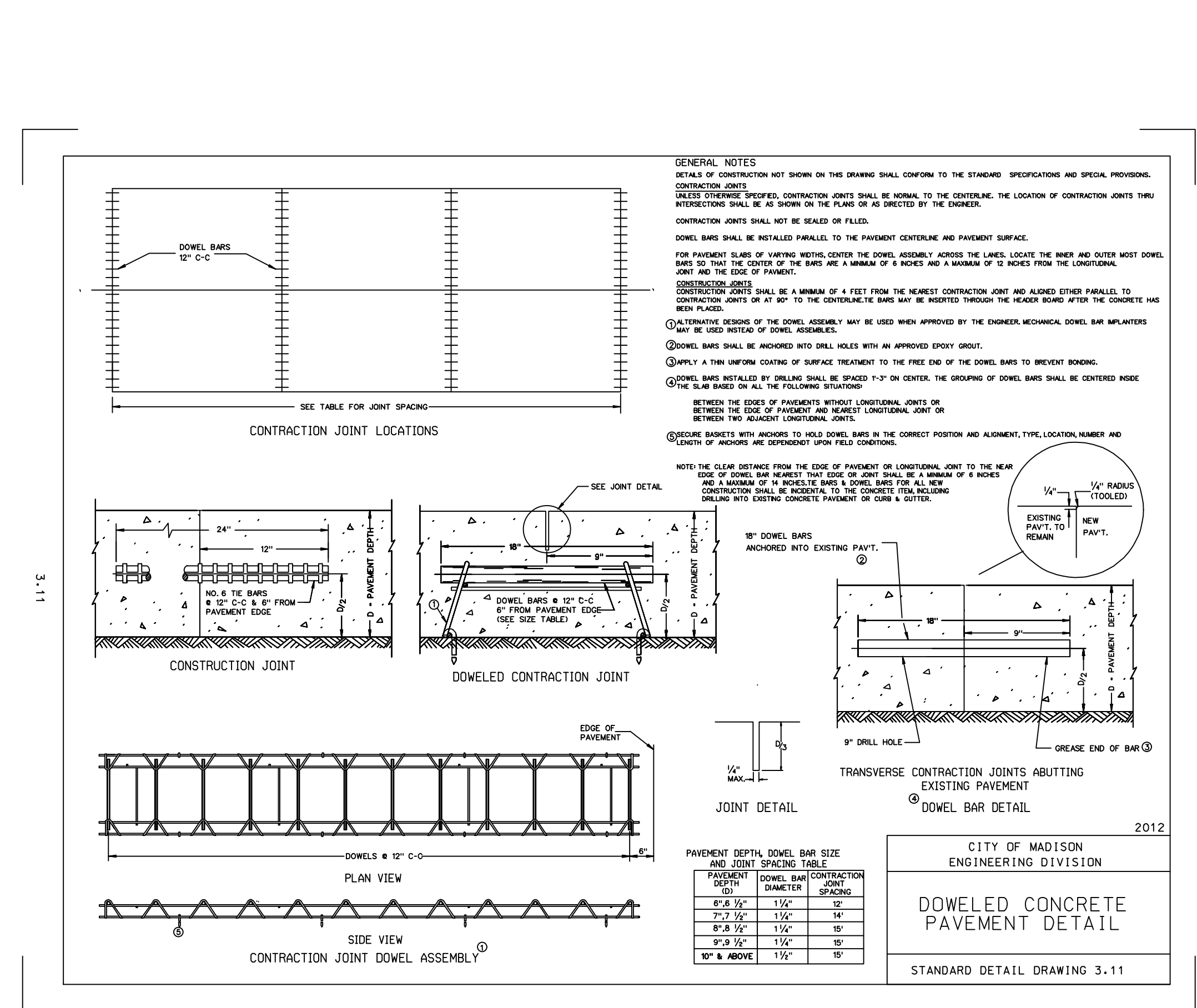
10  
C804 CONCRETE SIDEWALK WITH DEPRESSED INTEGRAL CURB  
N.T.S.



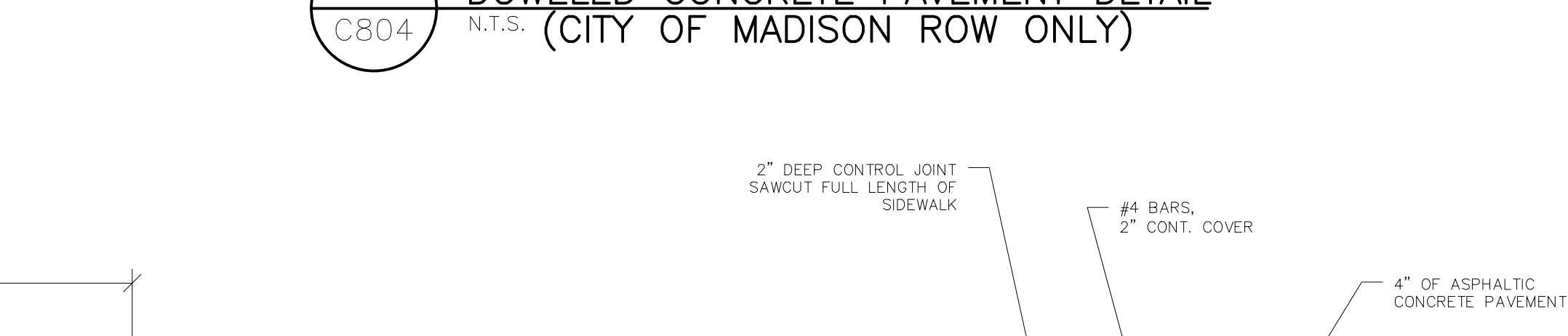
11  
C804 6-INCH CONCRETE PLANTER CURB  
N.T.S.



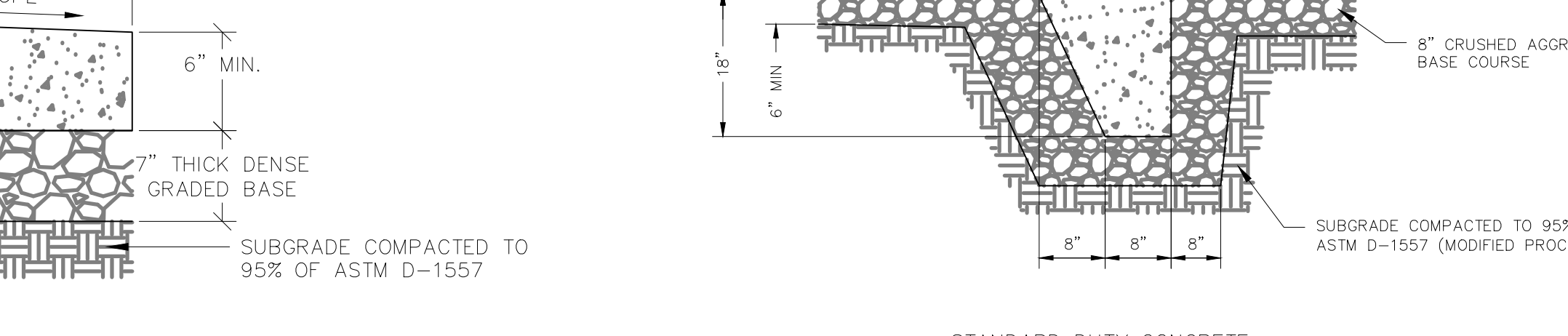
12  
C804 6-INCH CONCRETE CURB  
N.T.S.



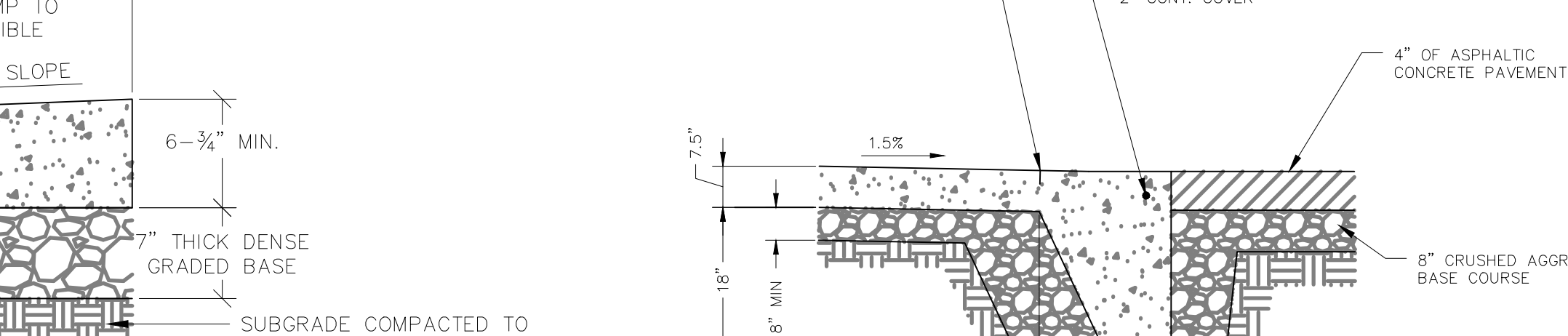
13  
C804 CITY OF MADISON ENGINEERING DIVISION  
N.T.S.



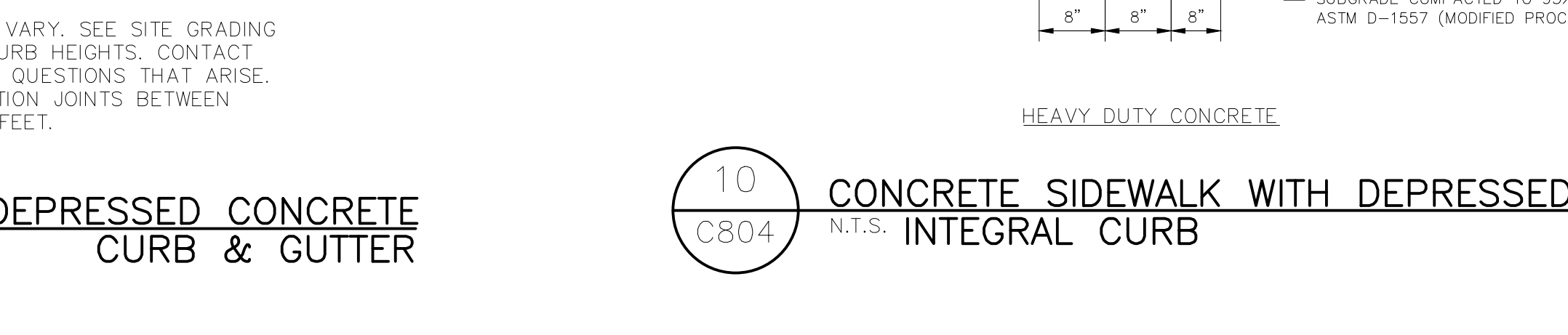
14  
C804 CITY OF MADISON ENGINEERING DIVISION  
N.T.S.



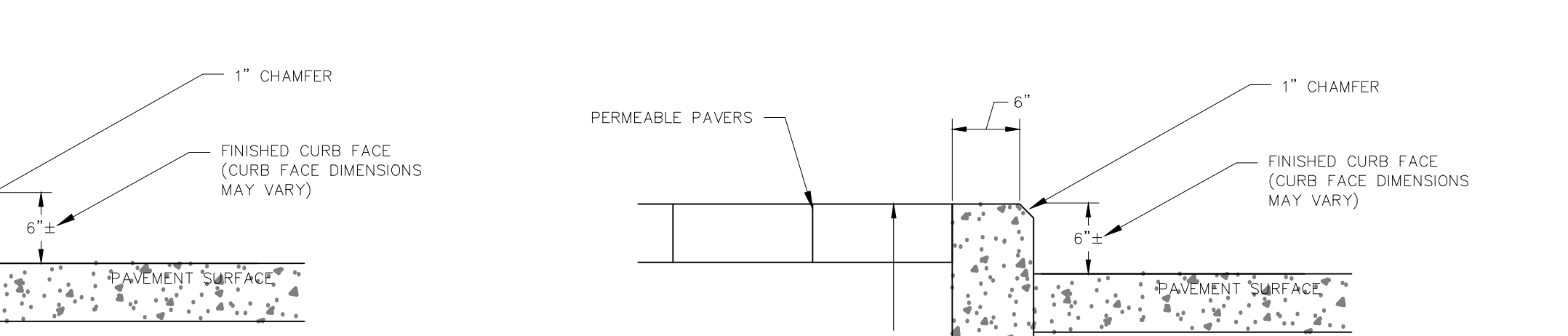
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C804 CITY OF MADISON ENGINEERING DIVISION  
N.T.S.



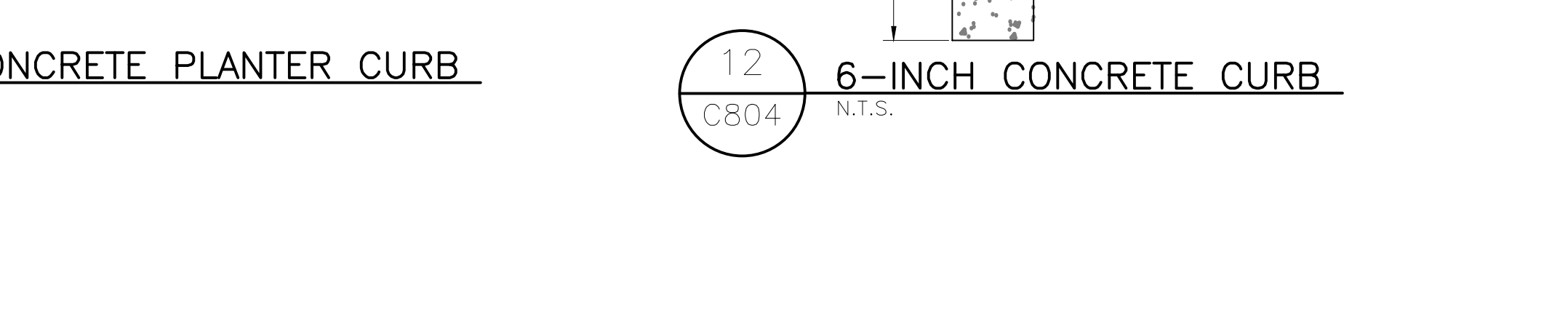
16  
C804 CITY OF MADISON ENGINEERING DIVISION  
N.T.S.



17  
C804 CITY OF MADISON ENGINEERING DIVISION  
N.T.S.



18  
C804 CITY OF MADISON ENGINEERING DIVISION  
N.T.S.



19  
C804 CITY OF MADISON ENGINEERING DIVISION  
N.T.S.



## 1