

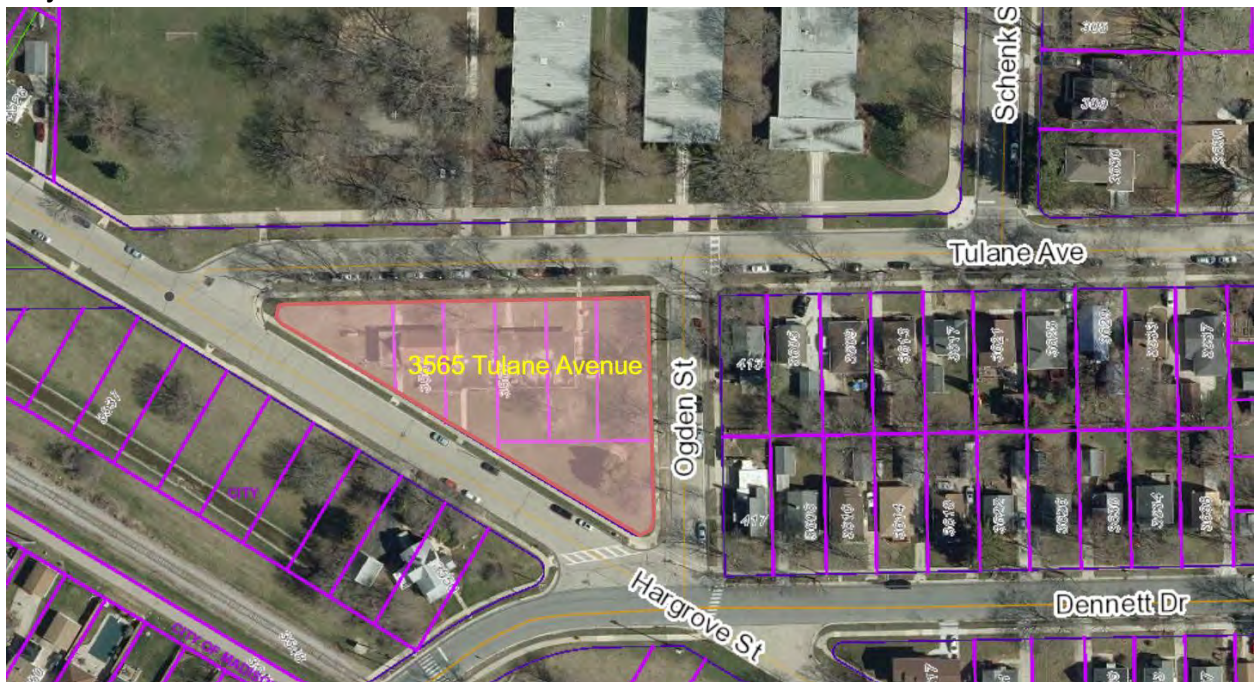
3565 Tulane Avenue CSM
Contract 9685
MUNIS 15922
Developer: Common Grace, LLC

The Developer, Common Grace, LLC, has received the City of Madison's conditional approval for a one-lot certified survey map and construction a two-story, 7,000 sq. ft. community center and three-story, 26-unit apartment building at 3565 Tulane Avenue.

Overview Project Location:



Project Location:

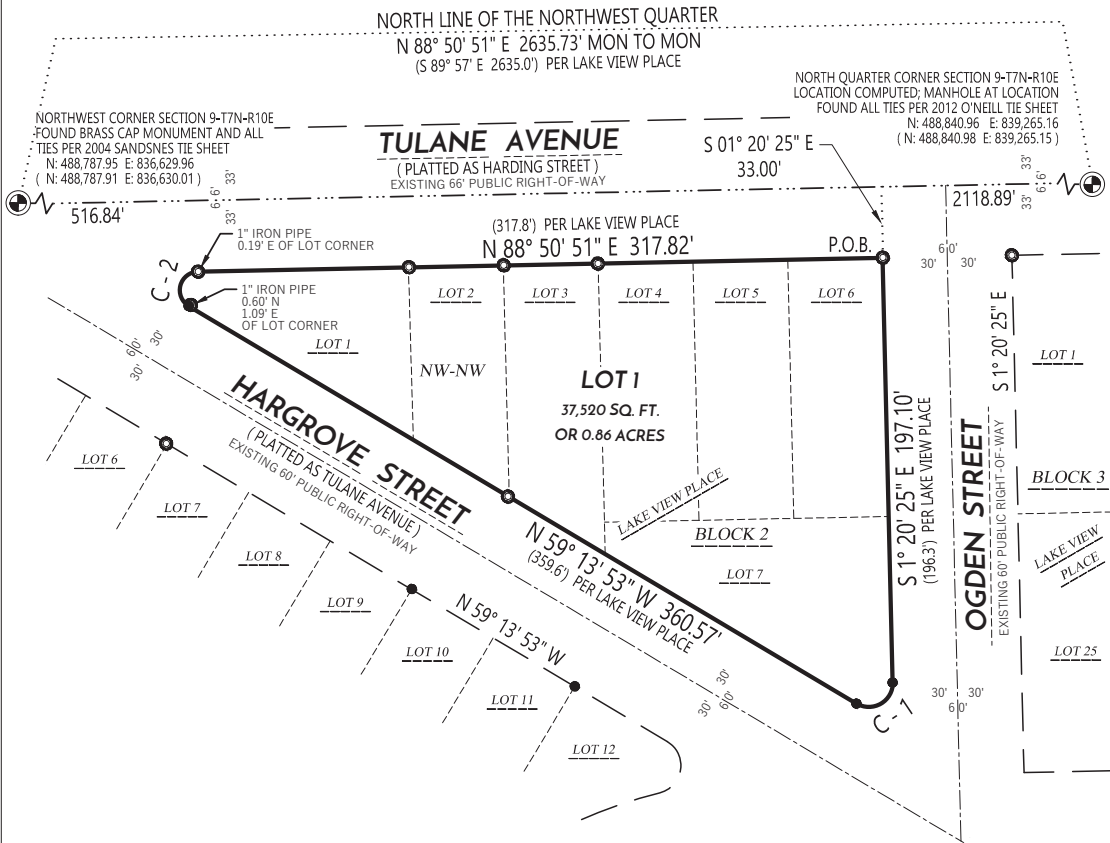


Summary of Improvements:

- Dedication of Right of Way or grant a Public Sidewalk Easement for and be responsible for the construction of a minimum five (5)-foot wide sidewalk, eight (8)-foot terrace, and additional one (1) foot for maintenance, where applicable, along the site frontage of Hargrove Street.
- Construction of a crosswalk across the Western leg of the Tulane Ave/Ogden St intersection including the pedestrian ramps and pavement markings.
- Construct / reconstruct public sidewalk, street terrace, curb and gutter, and pavement on Tulane Avenue, Hargrove Street, and Ogden Street per plan approved by the City Engineer.
- Coordinate possible removal of a public storm sewer structure on Hargrove Street at Tulane Avenue.
- Provide public street terrace tree protection, removals, and plantings per City Forestry approvals. Install street terrace trees per City Forestry approvals and per plans approved by the City Engineer.
- Close abandoned driveways with curb and gutter. Construct new private drive entrance aprons per plans approved by the City Engineering and per the Commercial Driveway Permit approved by the City Traffic Engineer.
- Construct private sanitary, storm, and water service laterals necessary to serve the private redevelopment project per plans approved by the City Engineer.
- Protect existing public streetlights, electrical, and fiber facilities in the project area. Coordinate with City Traffic Engineering and City IT on relocations needed to facilitate construction.
- Coordinate with Traffic Engineering the replacement of the streetlight at the intersection of Hargrove Street and Tulane Avenue.
- Coordinate project access, street closures, and street occupancy with other projects in the area and as approved by City Traffic Engineering.

CERTIFIED SURVEY MAP NO. _____

A CONSOLIDATION OF LOTS 1, 2, 3, 4, 5, 6, AND 7, BLOCK 2, LAKE VIEW PLACE, RECORDED IN VOLUME 7, PAGE 21, AS DOCUMENT 516609, BEING LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 7 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

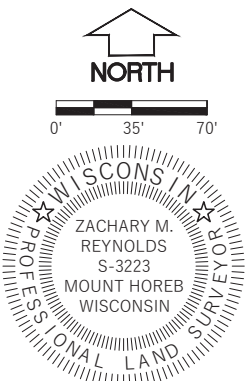


CURVE TABLE					
CURVE #	CURVE LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C-1	23.66'	11.10'	122° 06' 32"	S 59° 42' 51" W	19.43' (19.3)*
C-2	22.23'	8.60'	148° 04' 44"	N 14° 48' 29" E	16.54' (16.55)*

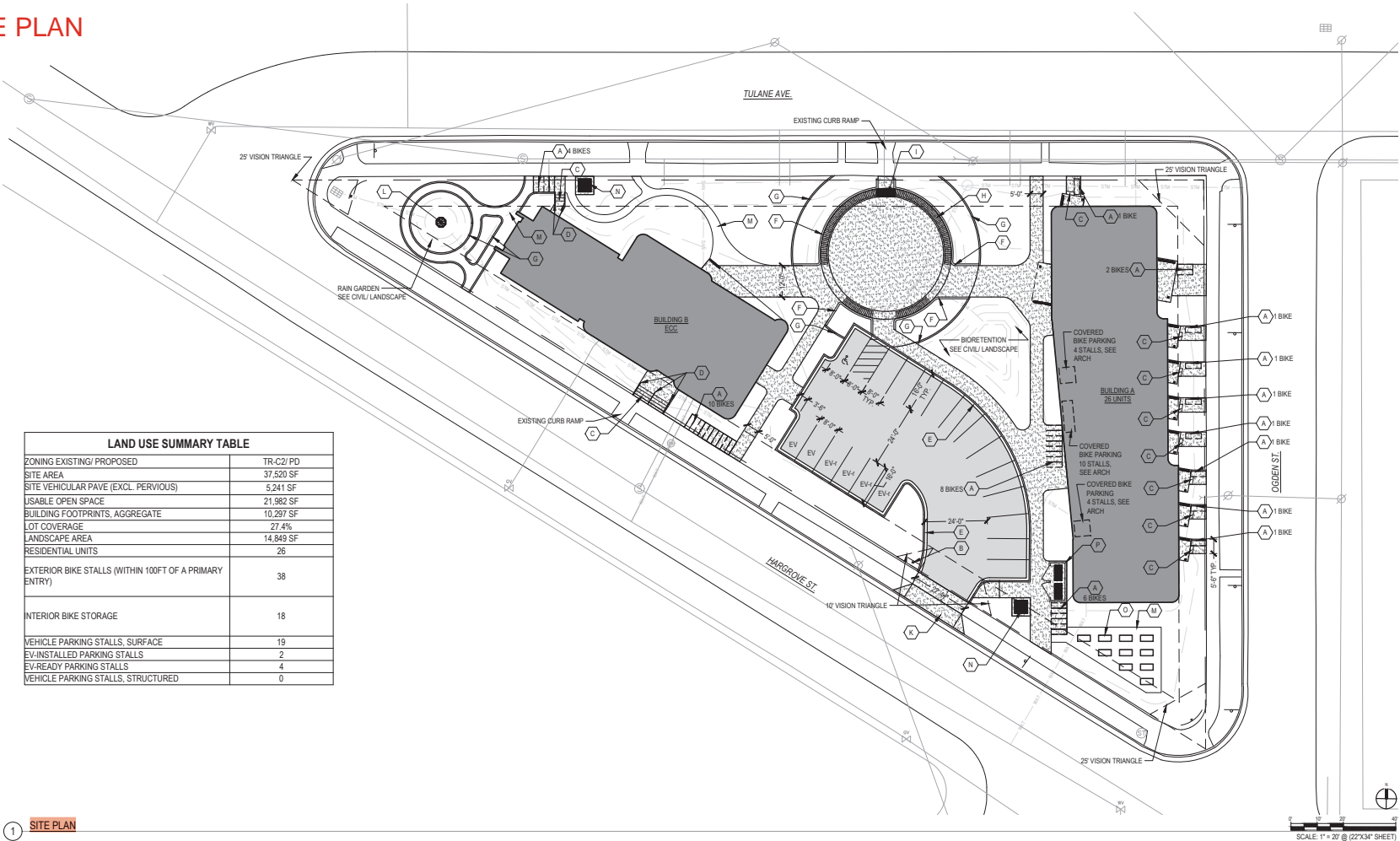
* RECORD CHORD LENGTH PER LAKE VIEW PLACE

- LEGEND
- SECTION CORNER FOUND / RECOVERED
 - 3/4" REBAR FOUND
 - 1" IRON PIPE FOUND
 - CSM BOUNDARY
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - SECTION/QUARTER LINE
 - PLATTED LINE
 - EXISTING EASEMENT
 - () RECORDED INFORMATION

- NOTES:
- FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC. ON THE WEEKS OF MARCH 12-14TH, AND 17TH 2025.
 - NORTH REFERENCE FOR THIS CERTIFIED SURVEY AND MAP ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, WISCRS DANE, NAD 83 (2011), GRID NORTH. THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 9, T7N, R10E, BEARS N 88° 50' 51" E
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
 - SEE SHEET 2 OF 4 FOR FURTHER DETAILS ON FEATURES.

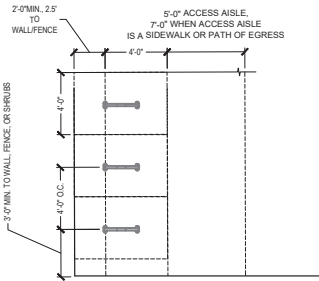


SITE PLAN



LAND USE SUMMARY TABLE	
ZONING EXISTING/ PROPOSED	TR-C2/ PD
SITE AREA	37,520 SF
SITE VEHICULAR PAVE (EXCL. Pervious)	5,241 SF
USABLE OPEN SPACE	21,982 SF
BUILDING FOOTPRINTS, AGGREGATE	10,297 SF
LOT COVERAGE	27.4%
LANDSCAPE AREA	14,849 SF
RESIDENTIAL UNITS	26
EXTERIOR BIKE STALLS (WITHIN 100FT OF A PRIMARY ENTRY)	38
INTERIOR BIKE STORAGE	18
VEHICLE PARKING STALLS, SURFACE	19
EV-INSTALLED PARKING STALLS	2
EV-READY PARKING STALLS	4
VEHICLE PARKING STALLS, STRUCTURED	0

1 SITE PLAN



2 BIKE RACK LAYOUT - TYPICAL

NTS

SHEET NOTES

- IMPROVEMENTS DEPICTED IN THE RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN DRIVEWAY & INTERSECTION VISION TRIANGLES.

LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVING

KEY NOTES

- BIKE RACKS
- STOP SIGN
- CONCRETE STEPS
- HANDRAIL
- 18" CURB & GUTTER
- CONCRETE SIDE WALL 30" MAX. HT
- FLUSH PAVEMENT LANDSCAPE EDGE
- RADIAL WOOD SEAT
- ARCH GATEWAY
- [not used]
- CONCRETE DRIVE APRON
- SALVAGED STEEPLE ART INSTALLATION (BY OTHERS)
- MULCH PATH
- TRANSFORMER ON CONCRETE PAD
- RAISED GARDEN PLANTERS
- TRASH/ RECYCLING ENCLOSURE

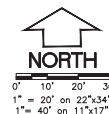
NOT FOR CONSTRUCTION

LAND USE APPLICATION / UDC		1	2025.05.27
Revised For		Revision	Date
PROJECT TEAM		CERTIFICATION	
BERNAU design + landscapes architecture 3901 SAINT CLAIR ST MADISON, WI 53711 bernau-design.com		STATUTORY LANDUSE SUBMITTAL	
CLIENT COMMON GRACE, LLC		INFORMATION PROJECT NO 05/27/2025	
PROJECT GASTRONOMY AND COMMUNITY CENTER • HOUSING		DATE DRAWN BY CHECKED BY	
Copyright © 2025 Threshold Builds, LLC		SHEET NAME SITE PLAN	
THRESHOLD BUILDS		REVISION	
		SHEET NO C100	

DEMOLITION PLAN

BENCHMARK TABLE		
BM - #	ELEVATION	DESCRIPTION
BM - 1	930.30	TOP NUT OF HYDRANT LOCATED NEXT TO SW CORNER OF LOT 25, BLOCK 3, LAKE VIEW PLACE
BM - 2	854.85	CUT CROSS LOCATED NEAR THE NW CORNER OF LOT 1, BLOCK 2, LAKE VIEW PLACE

LEGEND (PROPOSED)



GENERAL NOTES

1. UNDERLYING SITE CONTOUR INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY YOUR ENGINEER IN MARCH 2020. YOUR ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE DATA TO WHICH YOU OR YOUR CONTRACTOR REFERRED TO DETERMINE ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY. ON THE PLAN, THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYORS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE BENCHMARK DATA WITHIN THE SPECIFIED TIMEFRAME.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND OR IF REQUIRED.
4. YOURS ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNERS CONSTRUCTION FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHEN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE CITY OF CHICAGO FOR CONSTRUCTION TO GET CLARIFICATION FROM THE CITY.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC UTILITIES AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF CHICAGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
7. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISGUISE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. ANY DAMAGE TO STREET TREES SHALL BE REPAIRED TO THE ORIGINAL CONDITION OF THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM THE TREES ON THE CONSTRUCTION SITE. DAMAGE OR INJURY TO EXISTING STREET TREES (OTHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO THE CITY OF CHICAGO AT 311.
8. AS DEFINED BY THE SECTION 107.13 OF CITY OF CHICAGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER, THE CITY OF CHICAGO SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR. THE CITY OF CHICAGO SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY PERSONNEL, SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCEMENT. TREE PROTECTION SHALL BE PROVIDED FOR ALL EXISTING TREES TO BE REMOVED OR DAMAGED BY THE CONSTRUCTION.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE SITE, NOT INCLUDING INTERNAL BUILDING DEMOLITION, INTENDING FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY AND/OR PHOTOGRAPHY. THERE MAY BE ADDITIONAL ITEMS THAT ARE NOT IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, HOWEVER NOT INCLUDED IN THIS FIELD SURVEY, OR WHICH THE CONTRACTOR HAS NO KNOWLEDGE OF. IT IS ANOTHER DISCREPANCY. IF IT IS THE CONTRACTORS' / AGENTS RESPONSIBILITY TO BE IDENTIFIED BY THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS HE BELIEVES SHOULD BE REMOVED. IT IS THE CONTRACTORS' RESPONSIBILITY TO IDENTIFY THE CONTRACTOR / AGENT'S BID. ITEMS THAT ARE IDENTIFIED IN THE BID AND REPORTED TO THE OWNER AND ENGINEER OF RECORD, ANY OTHER WORK TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE KNOWN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
- EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION.
 - NOTIFYING UTILITY ELAVATIONS AND NOTIFYING OWNER AND ENGINEER OR ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - VERIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - ADVISING THE OWNER, DESIGN ENGINEER AND THE CONTROLLING MUNICIPALITY & HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR SHALL KEEP ALL STREETS AND ADJOINING SHARED ACCESS ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DEBRIS AND OBSTACLES.
 - ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED WILL BE REMOVED IN THEIR ENTIRETY. STUMPS SHALL BE LEFT OR PROPOSED SUBSTITUTION.
 - PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND / OR UTILITY INSTALLATION ENCRoACH WITHIN THE EXISTING DROP LINE OF THE TREES TO REMAIN. ALL TRENCING WITHIN THE EXISTING DROP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALY ALONG THE TRUNK OF THE TREE AT A MINIMUM OF 6" DIAMETER ARE EXPLODING ROPS MUST BE CUT BY PERMISSIBLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCING.
 - ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND / OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 - CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELATIONS WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
 - ABANDONED / REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
 - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE AND BACKFILL WITH SELECT FILL OR PROVIDE PIPE BACK-FILLING WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCREE / FLOWABLE FILL".
 - GRANULAR BATTLE MATERIALS ARE REQUIRED FOR FILL UNDER PROPOSED PAVED AREAS.
- RESTORATION OF THE EXISTING RIGHT-OF-WAYS AS FAR AS NEEDED ARE CONSIDERED INDIVIDUAL AND SHOULD BE PART OF THE COST OF THE PROJECT. IMPROVEMENTS/OBSTRUCTIONS, OBSTRUCTION AND REMOVAL. THIS INCLUDES, BUT IS NOT LIMITED TO, CURBS & GUTTERS, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- ANY SANTARY SEWER, SANTARY SEWER SERVICES, WATER MAIN, WATER LINES, SERVICES, STORM SEWER, SERVICES, WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO ORIGINAL CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF THE RESTORATION.

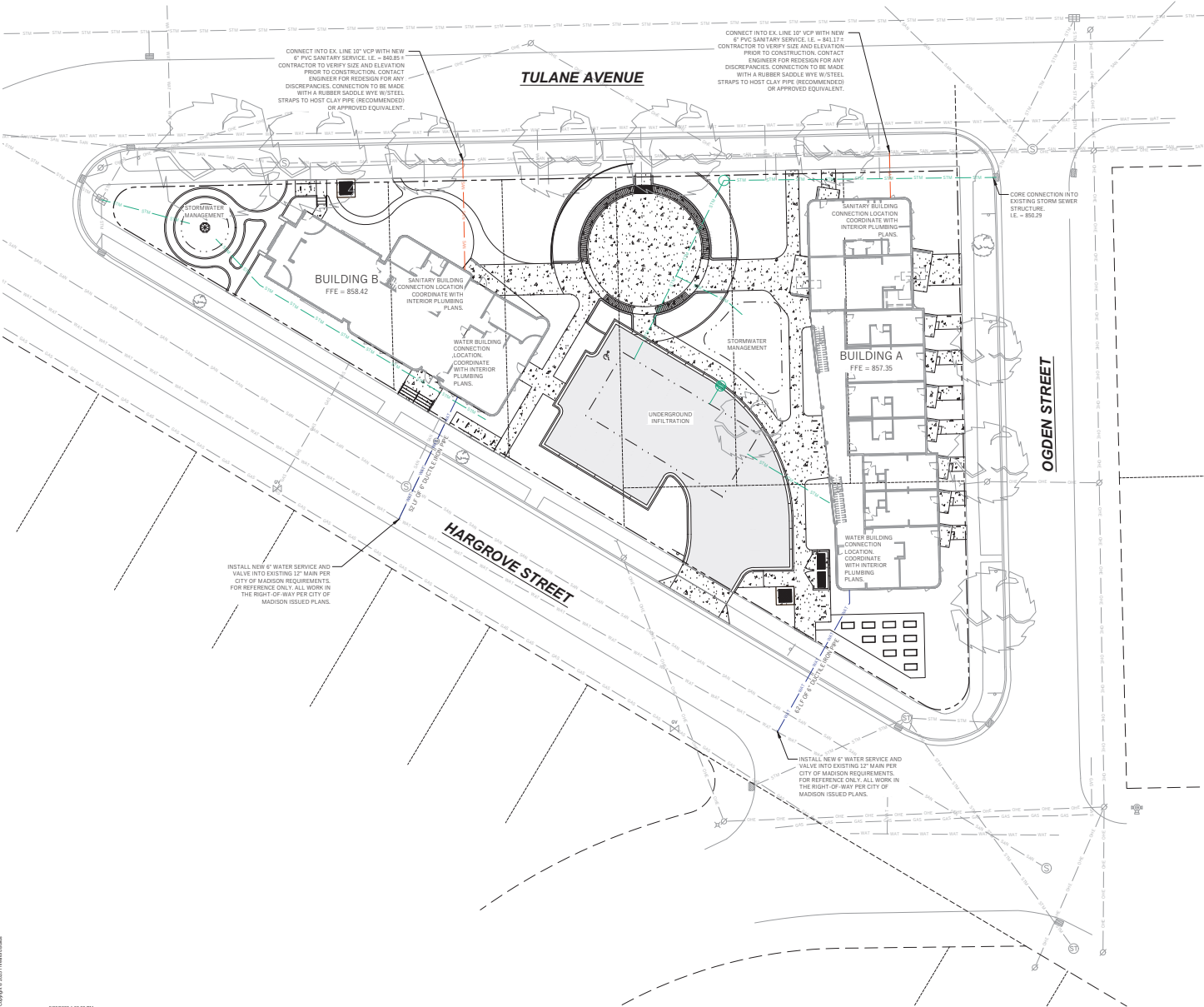
LAND USE APPLICATION / UDC	1	2025.05.2
Issued For	Revision	Date

	<p>CERTIFICATION</p> <p>NOT FOR CONSTRUCTION</p>
<p>11.3001 COMMON GRACE, LLC PROJECT SASTROWAYLAND COMMUNITY CENTER + HOUSING Copyright © 2015 Threshold Studio, LLC</p>	<p>REVISIONS LAND USE SUBMITTAL INFORMATION PROJECT NO 24-00000 DATE 04/25/2015 DRAWN BY CHECKED BY PERMIT</p>
<p>THRESHOLD STUDIO</p>	<p>SITE DEMOLITION PLAN</p> <p>REVISION 1 SHEET NO C10</p>

2 INCHES

ACTUAL DIMENSION IS NOT 2 INCHES THE
SHEET IS SCALED PROPERLY

UTILITY PLAN



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- STORMWATER TREATMENT FACILITY

NORTH

0' 10' 20' 30'

1" = 20' on 22"x34"

1" = 40' on 11"x17"

- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING IN MARCH 2025. WYSE ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
 - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - WYSE ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES; THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR HARM TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4826. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4826 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/pw/specs.cfm>

LAND USE APPLICATION / UDC		1	2025.05.27
Revised For		Revision	Date

	CERTIFICATION
	NOT FOR CONSTRUCTION
	CLIENT: COMMON GRACE, LLC PROJECT: EASTMORLAND AND COMMUNITY CENTER • HOUSING DRAWN BY: AW CHECKED BY: AW
	STATION: LAND USE SUBMITTAL INFORMATION: PROJECT NO. 24-0012 DATE: 2025.05.27 SHEET NAME: UTILITY PLAN
	REVISION: 1 SHEET NO: C300