

GILSON STREET TENANT BUILD-OUT

1529 GILSON STREET
MADISON, WI 53715

ARCHITECTURAL ABBREVIATIONS LEGEND		
• - AND	FN - FINISH	PREFAB - PREFABRICATED
@ - AT	FLR - FLOOR	PERIM - PERIMETER
AB - ANCHOR BOLT	FND - FOUNDATION	PC - PLUMBING CONTRACTOR
AFF - ABOVE FINISH FLOOR	FOM - FACE OF MASONRY	P/C - PRECAST / PRESTRESSED
ALT - ALTERNATE	FOS - FACE OF STUD	P/T - POST TENSIONED
ALUM - ALUMINUM	FTG - FOOTING	PT - PRESSURE TREATED
ARCH - ARCHITECT / ARCHITECTURAL	FUT - FUTURE	
	FV - FIELD VERIFY	
BRD - BOARD	GA - GAUGE	R - RADIUS
BLK - BLOCK (CMU)	GALV - GALVANIZED	RD - ROOF DRAIN
BOT - BOTTOM	GB - GRAB BAR	REINF - REINFORCING
	GC - GENERAL CONTRACTOR	REOD - REQUIRED
CB - CATCH BASIN	GYP - GYPSUM	RM - ROOM
CIP - CAST-IN-PLACE		SCHED - SCHEDULE
CJ - CONSTRUCTION JOINT		SHT - SHEET
CL - CENTERLINE	HC - HVAC CONTRACTOR	SIM - SIMILAR
CLG - CEILING	HM - HOLLOW METAL	SOG - SLAB ON GRADE
CLJ - CONTROL JOINT	HORIZ - HORIZONTAL	SPEC - SPECIFICATION
CLR - CLEAR DISTANCE	HT - HEIGHT	SQ - SQUARE
CMU - CONCRETE MASONRY UNIT	HVAC - HEATING, VENTILATION & AIR CONDITIONING	SS - STAINLESS STEEL
CO - CASED OPENING	HR - HOUR	STL - STEEL
COL - COLUMN		STR - STRUCTURAL
CONC - CONCRETE	ID - INSIDE DIAMETER	
CONT - CONTINUOUS	IF - INSIDE FACE	THK - THICKNESS
CU - CUBIC	INSUL - INSULATION	TOL - TOP OF LEDGE ELEVATION
	INT - INTERIOR	TOP - TOP OF PIER ELEVATION
		TP - TOILET PAPER DISPENSER
DBL - DOUBLE	JBE - JOIST BEARING ELEVATION	TS - (SEE HIGH STRENGTH STEEL DESIGNATION)
DF - DRINKING FOUNTAIN	JT - JOINT	TYP - TYPICAL
DIM - DIAMETER		TOW - TOP OF WALL ELEVATION
DN - DOWN		UL - UNDERWRITERS LAB
DSL - DOWN SPOUT	L - STEEL ANGLE DESIGNATION	UNO - UNLESS NOTED OTHERWISE
DTL - DETAIL	LAM - LAMINATE	
DWG - DRAWING	LVL - LAMINATED VENEER LUMBER	
		VB - VAPOR BARRIER
EA - EACH	MAX - MAXIMUM	VERT - VERTICAL
EC - ELECTRICAL CONTRACTOR	MBW - MASONRY BEARING WALL	W - WIDTH
EFS - EXTERIOR INSULATION FINISH SYSTEM	MFG - MANUFACTURER	W/O - WITHOUT
EL - ELEVATION	MIN - MINIMUM	WC - WATER CLOSET
ELEV - ELEVATOR	MO - MASONRY OPENING	WD - WOOD
ENS - ENGINEER	MTL - METAL	WRB - WEATHER RESISTANT BARRIER
EQ - EQUAL		WWF - WELDED WIRE FABRIC
EXIST - EXISTING	NIC - NOT IN CONTRACT	
EXP - EXPANSION	NOM - NOMINAL	
EXT - EXTERIOR	NTS - NOT TO SCALE	
	NO - NUMBER	
FD - FLOOR DRAIN	OC - ON CENTER	
FND - FOUNDATION	OD - OUTSIDE DIAMETER	
FE - FIRE EXTINGUISHER	O.F. - OUTSIDE FACE	
FEC - FIRE EXTINGUISHER CABINET	OH - OVERHEAD	
FF - FINISH FLOOR	OPCI - OWNER PROVIDED, CONTRACTOR INSTALLED	
	OPOI - OWNER PROVIDED, OWNER INSTALLED	
	OPNG - OPENING	
	OPP - OPPOSITE	

CODE COMPLIANCE SYMBOLS LEGEND	
---	INDICATES ADA ACCESSIBLE ROUTE
---	INDICATES 1 HOUR FIRE RATED WALL (SEC 709)
---	INDICATES 2 HOUR FIRE RATED WALL (SEC 709)
■	NIC
▨	AREA OF LEVEL 2 ALTERATION
□	TENANT SPACE

CODE COMPLIANCE GENERAL NOTES	
A.	ALL FIRE EXTINGUISHER CABINETS SHALL BE IN APPROVED LOCATIONS WITH A MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER TO BE 75 FEET PER I.F.C.
B.	COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75' PER IBC TABLE 1006.2.1.
C.	EXIT ACCESS TRAVEL DISTANCE UP TO 200' WITHOUT SPRINKLER SYSTEM PER IBC TABLE 1017.2.
D.	FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN THE FIELD WITH SIGNS OR STENCILING PER IBC 703.7.

CODE INFORMATION SUMMARY:

APPLICABLE CODE
2018 WISCONSIN COMMERCIAL BUILDING CODE
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE

CONSTRUCTION TYPE
TYPE VB = 1 STORY BUILDING

LEVEL 2 ALTERATION

OCCUPANCY
M - MERCANTILE (EXISTING)
B - BUSINESS (EXISTING)

FIRE SPRINKLER
BUILDING IS NON - SPRINKLERED

PROJECT/BUILDING DATA

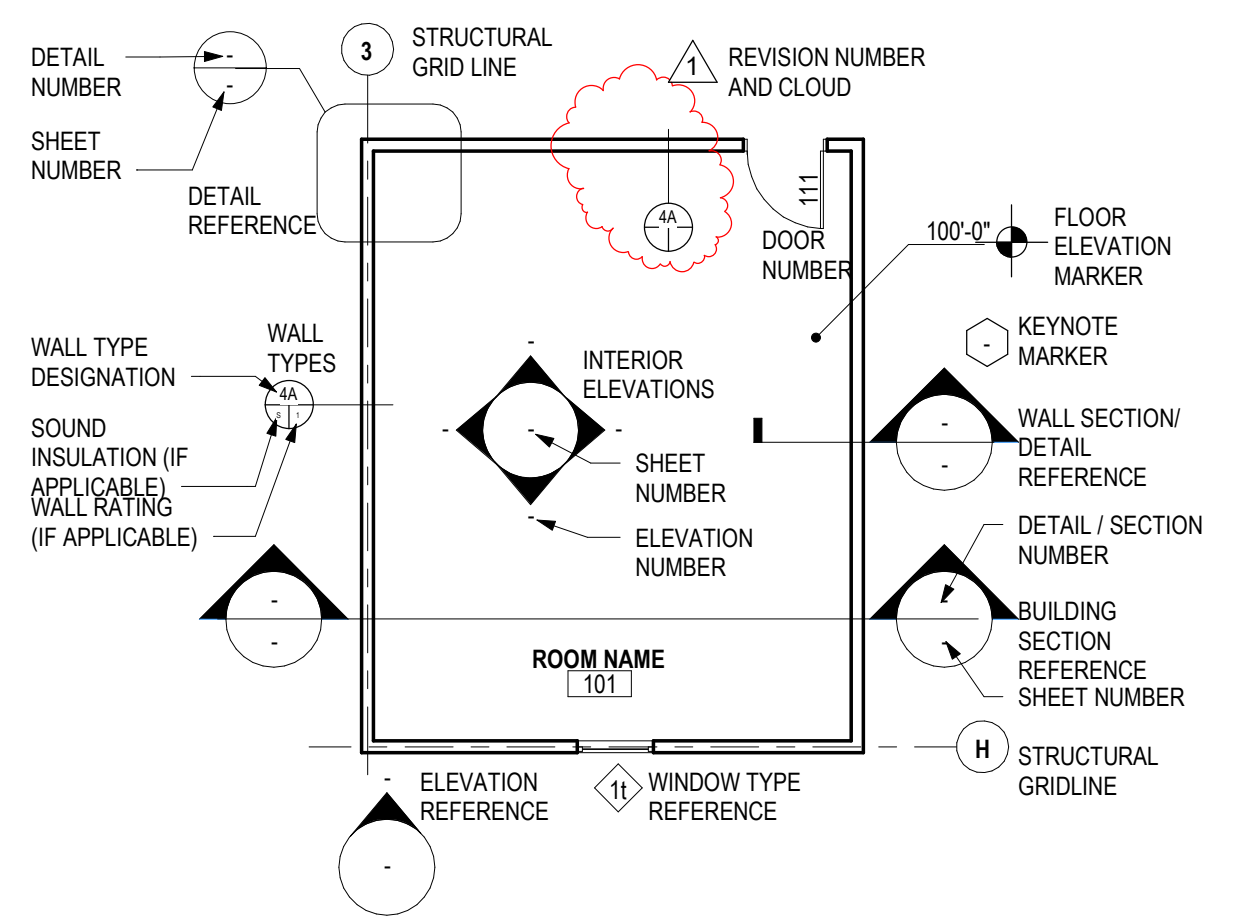
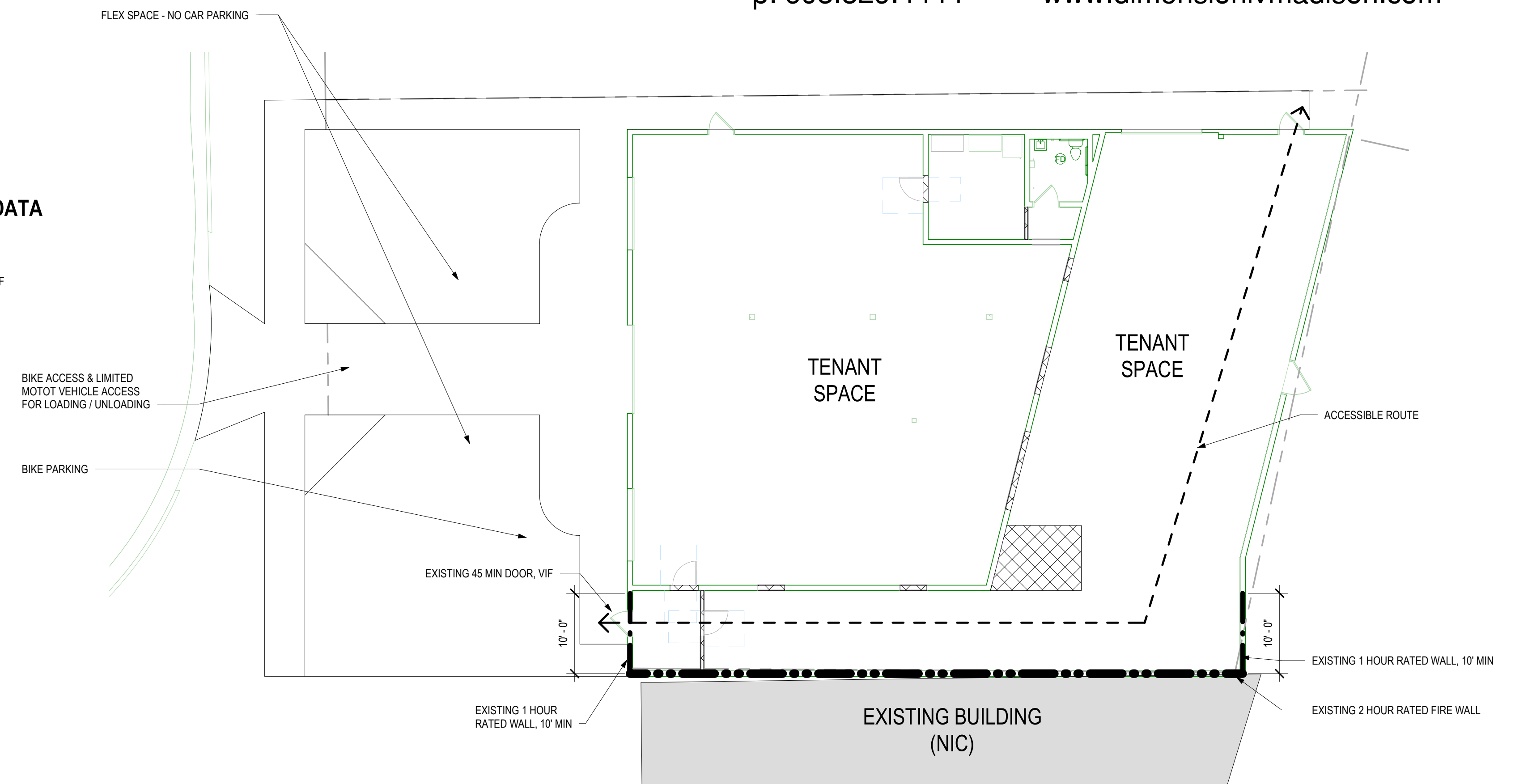
EXISTING 1 STORY BUILDING

BUILDING AREAS
TOTAL EXISTING BUILDING AREA = 5,580 SF
AREA OF LEVEL 2 ALTERATION = 107 SF

PARKING COUNTS
EXISTING TO REMAIN

Architecture :

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com



1 CODE COMPLIANCE PLAN
3/32" = 1'-0"

LIST OF DRAWINGS

GENERAL	
G0.1	COVER SHEET
DEMOLITION	
D1.0	FIRST FLOOR DEMOLITION PLAN
ARCHITECTURAL	
A1.1	TENANT FLOOR PLAN
A1.2	ENLARGED PLAN & ELEVATIONS

PROJECT # 21143

PERMIT SET 11/02/2021

G0.1

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DEMOLITION PLAN KEYNOTES

- INDICATES EXISTING WALL, DOOR, FIXTURE, ETC.
- - - INDICATES ITEM TO BE REMOVED
- ① REMOVE EXISTING DOOR
- 2. REMOVE EXISTING WINDOW AND SURROUNDING WALL FOR NEW DOOR INSTALLATION

DEMOLITION GENERAL NOTES

- A. ALL DIMENSIONS AND EXISTING CONDITION ARE TO BE FIELD VERIFIED BEFORE DEMOLITION / CONSTRUCTION.
- B. MAINTAIN ALL EXIT DOORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE WAY FROM THE BUILDING. COORDINATE WITH THE LOCAL FIRE MARSHAL.
- C. PROVIDE AND MAINTAIN BARRICADES, GATES, OR OTHER MEANS OF MAINTAINING PUBLIC SAFETY AT ALL AREAS OF CONSTRUCTION OR DEMOLITION.
- D. COORDINATE STORAGE LOCATIONS FOR SALVAGED MATERIALS WITH OWNER.
- E. ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE THIS CONTRACT UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL, OR PLUMBING WITHIN THE REMOVED STRUCTURE. TERMINATE MEP AS REQUIRED. VERIFY GENERAL CONDITIONS IN FIELD PRIOR TO BIDDING.
- F. PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
- G. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. REQUIRED FOR REMOVAL WORK. WORK TO BE CERTIFIED BY STRUCTURAL ENGINEER IF REQUIRED.
- H. ALL EXISTING ROOM/AREA NAMES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL ROOMS OR SEPARATIONS OF AREAS.
- I. OWNER WILL REMOVE LOOSE FURNISHINGS/MATERIALS FROM THE SITE PRIOR TO START OF CONSTRUCTION, UNLESS NOTED OTHERWISE. COORDINATE WITH OWNER.
- J. CONTRACTOR SHALL SALVAGE FIXED EQUIPMENT ITEMS AND/OR MATERIALS AND SET THEM IN A DESIGNATED LOCATION FOR THE OWNER TO REMOVE TO STORAGE. ITEMS TO BE REINSTALLED WILL BE DELIVERED TO THE JOB SITE BY THE OWNER. SALVAGE ITEMS TO BE COORDINATED WITH OWNER. ALSO SEE REMOVAL AND REMODELING NOTES.

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TENANT BUILD-OUT**

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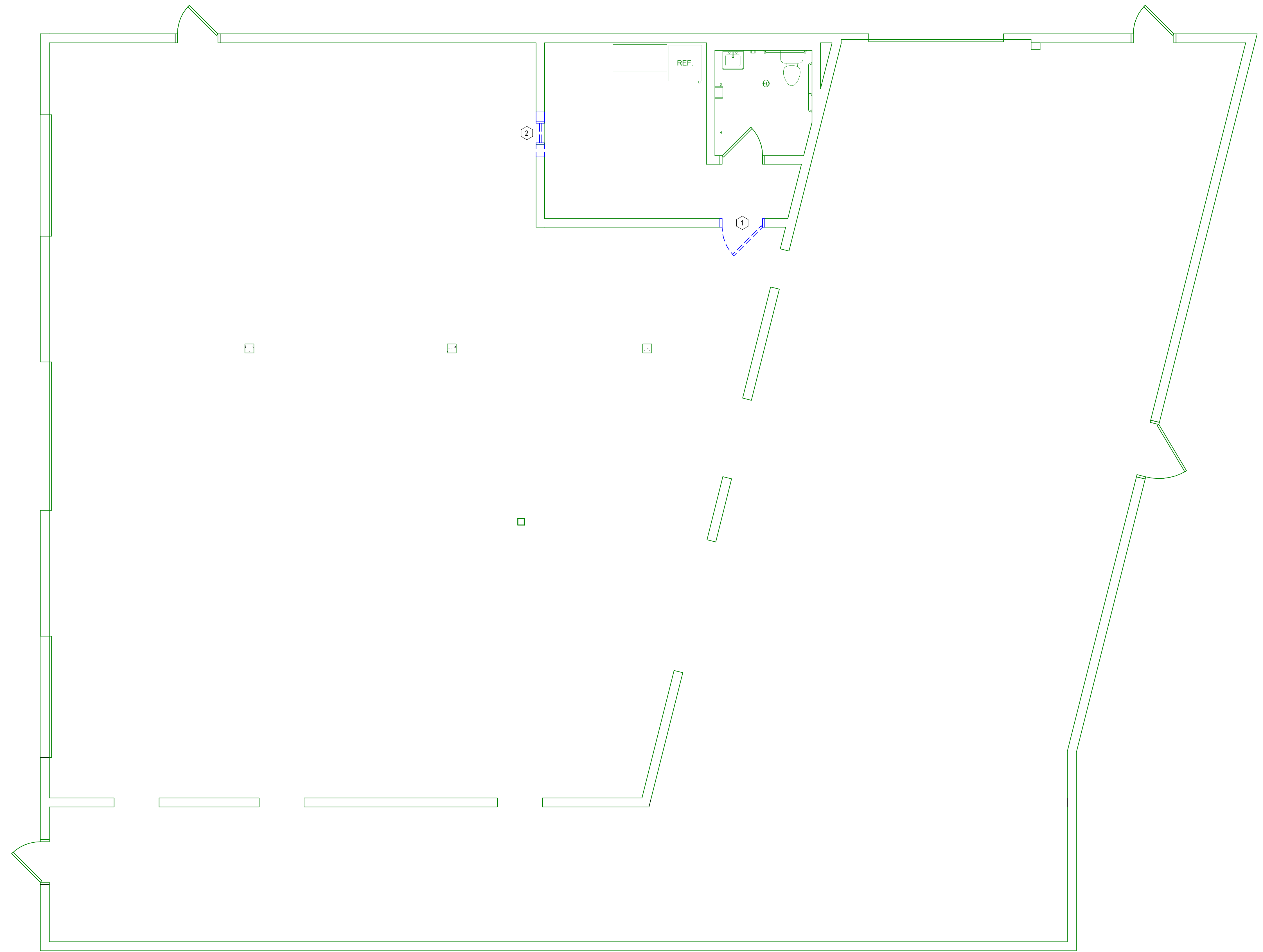
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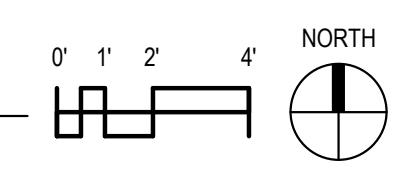
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**FIRST FLOOR
DEMOLITION PLAN**

D1.0






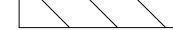
1 DEMOLITION PLAN
1/4" = 1'-0"



**GILSON STREET
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LEGEND

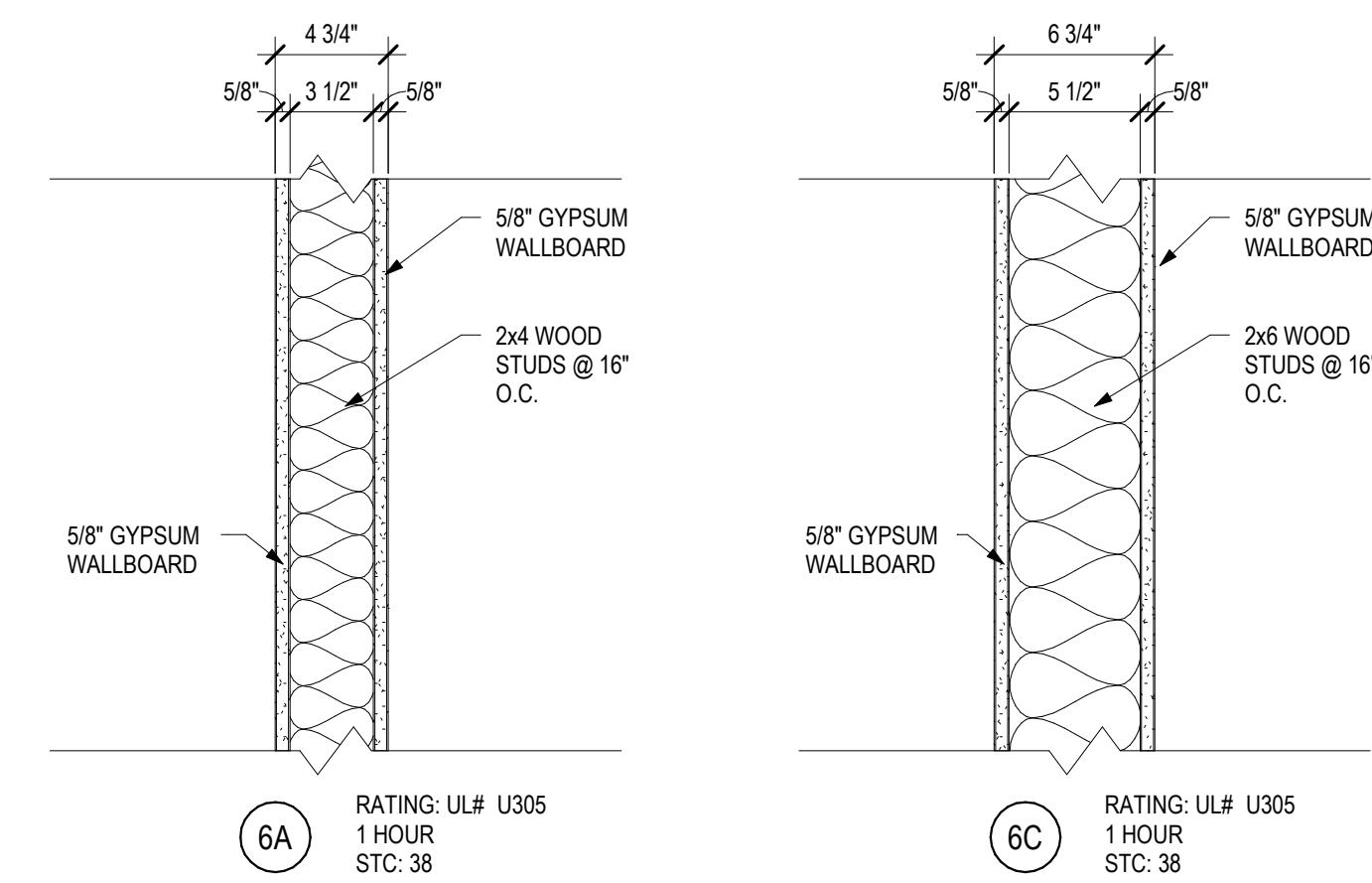
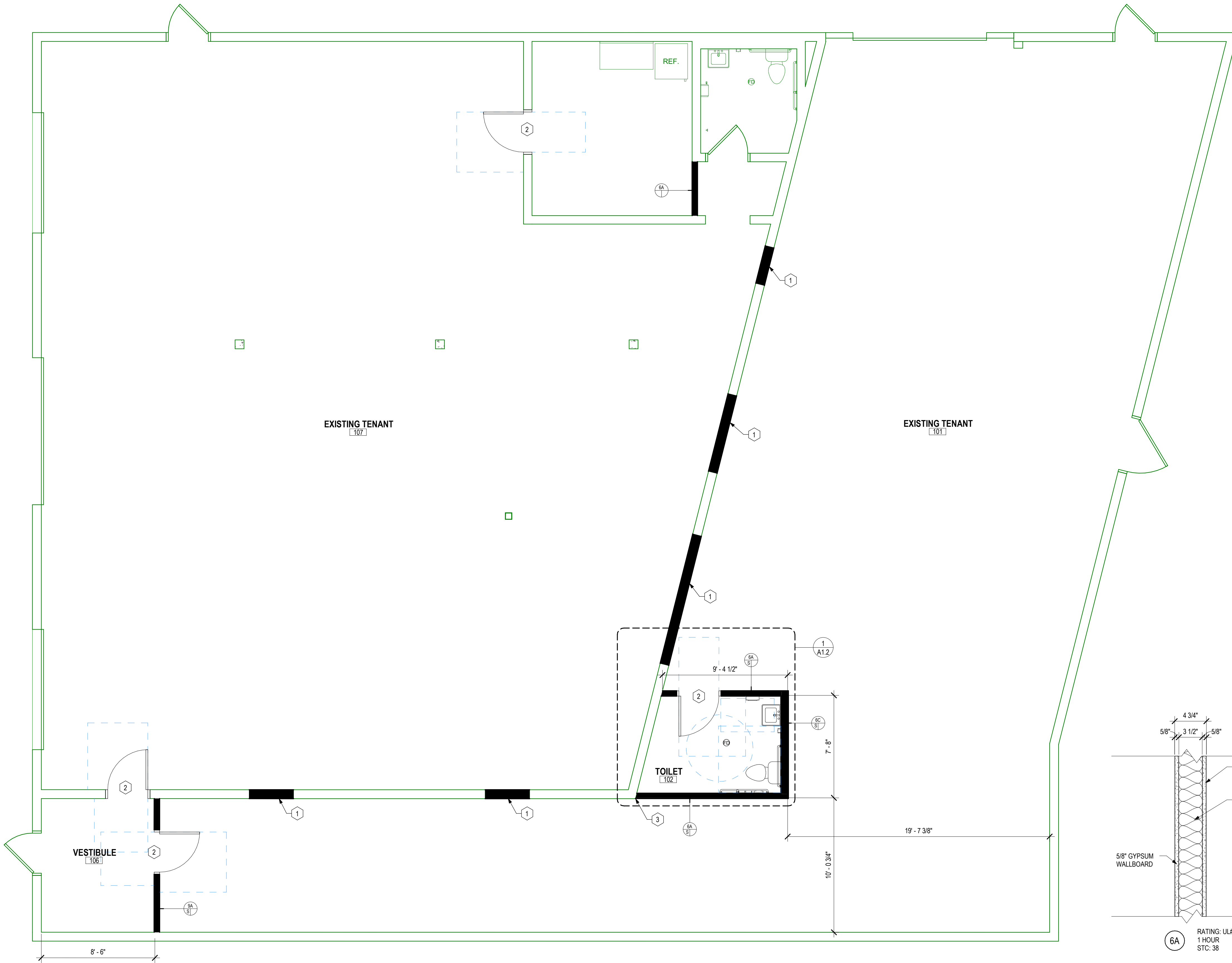
-  INDICATES ITEM TO BE REMOVED
-  INDICATES NEW CONSTRUCTION
-  INDICATES EXISTING WALL, DOOR FIXTURE TO REMAIN
-  NOT INCLUDED IN AREA OF WORK

FLOOR PLAN GENERAL NOTES

- A. ALL DIMENSIONS AND EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BEFORE BEGINNING DEMOLITION / CONSTRUCTION. DO NOT SCALE DRAWINGS.
- B. ALL NEW INTERIOR MATERIALS & FINISHES TO BE BUILDING STANDARD, TENANT APPROVED, INCLUDING BUT NOT LIMITED TO WALL/FLOOR/CEILING MATERIALS/FINISHES AND WINDOW COVERINGS
- C. ALL ELECTRICAL AND DATA/SYSTEMS/WIRING/FIXTURES TO BE BUILDING STANDARD
- D. ALL MECHANICAL SYSTEMS AND FIXTURES TO BE BUILDING STANDARD. MECHANICAL SYSTEM SHALL BE BALANCED.
- E. ALL NEW DOORS TO BE 3'-0" WIDE WITH ADA APPROVED HARDWARE. BUILDING STANDARD, OWNER APPROVED, UNLESS NOTED OTHERWISE. ALL PUBLIC ACCESS DOORS ALONG THE ACCESSIBLE ROUTE HAVE 32" CLEAR OPENING AND ADA HARDWARE.
- F. ALL NEW PARTITIONS TO EXTEND ABOVE CEILING UNLESS NOTED OTHERWISE, TYPICAL.
- G. TENANT TO PROVIDE BOTTLED WATER

FLOOR PLAN KEYNOTES

- ① INFILL WALL OPENING, PATCH TO MATCH EXISTING WALL TYPE AND ADJACENT FINISHES
- 2. NEW 3' X 7' DOOR
- 3. ALIGN NEW WALL TO BE FLUSH WITH EXISTING ADJACENT WALL, MATCH EXISTING FINISH AND TEXTURE.



2 FIRST FLOOR PLAN
1/4" = 1'-0"

1 WALL TYPE DETAILS
1 1/2" = 1'-0"

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TENANT FLOOR PLAN

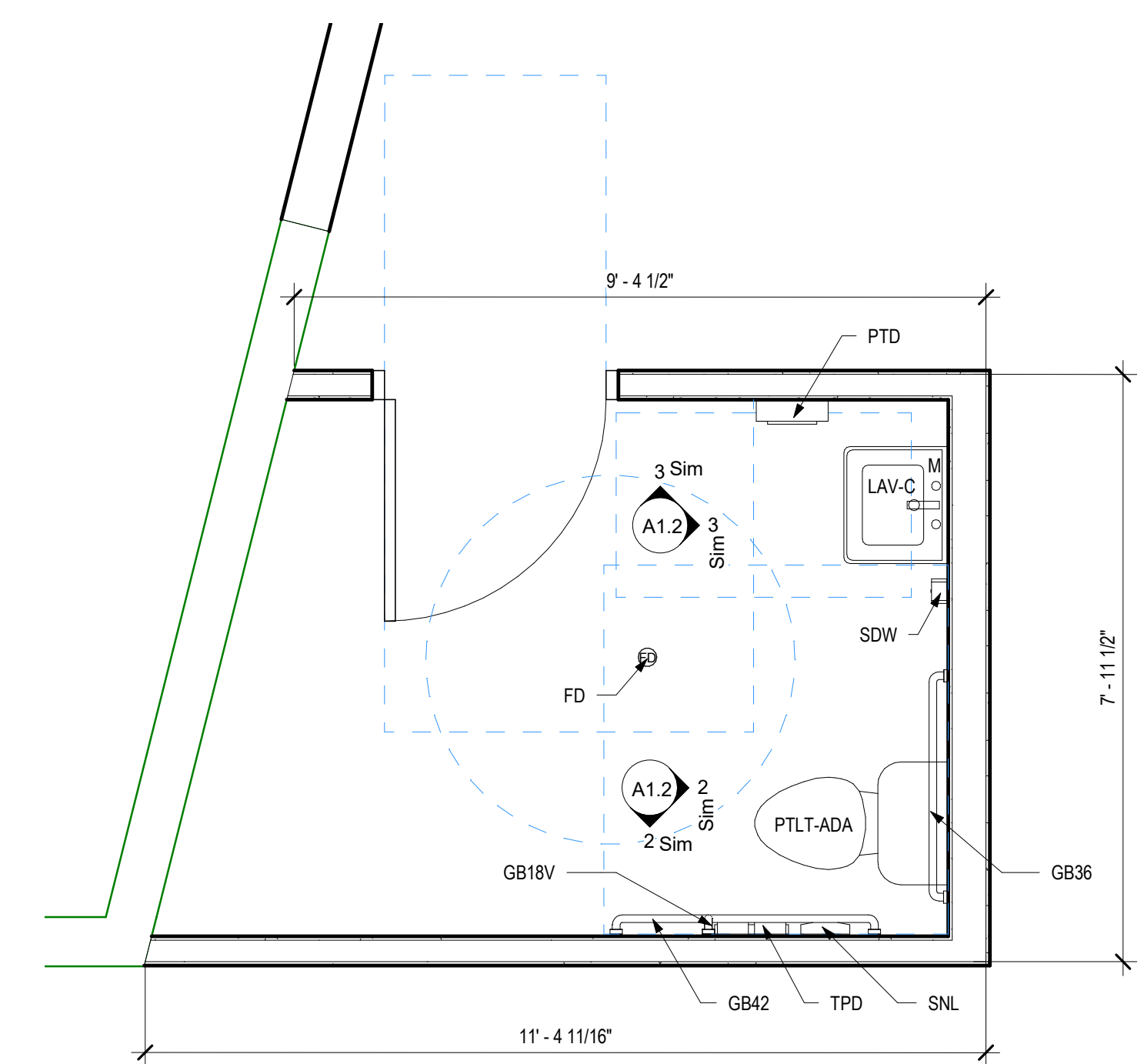
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ACCESSORY SCHEDULE		
SYMBOL	ITEM DESCRIPTION	MOUNTING HEIGHT
FD	FLOOR DRAIN	
GB18V	18" VERTICAL GRAB BAR	
GB36H	36" HORIZONTAL GRAB BAR	
GB42H	42" HORIZONTAL GRAB BAR	
LAV	LAVATORY	34" AFF
M	MIRROR - FULL LENGTH OF VANITY	40" TO B.O. MIRROR
PTD	PAPER TOWEL DISPENSER (ADA COMPLIANT)	
SDW	SOAP DISPENSER - WALL MOUNTED	
SNL	SANITARY NAPKIN DISPOSAL	
PTLT-ADA	PUBLIC TOILET - ADA	
TPD	TOILET PAPER DISPENSER	

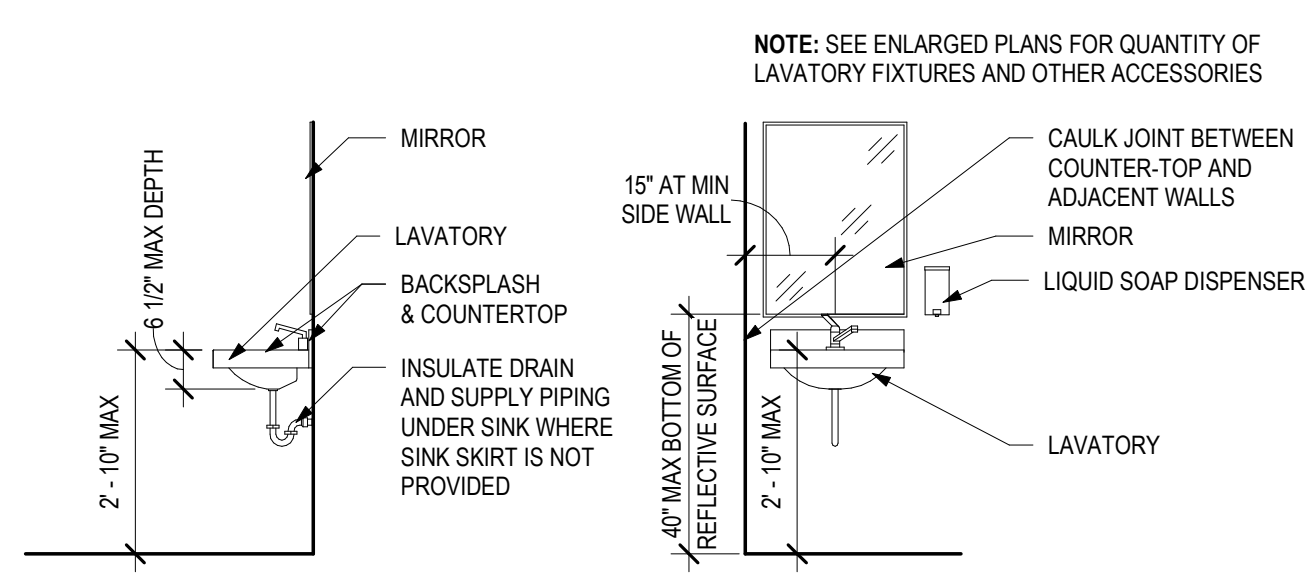
- GENERAL TOILET ROOM NOTES:**
1. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS, FINISH CARPENTRY AND TRIM CABINETS, SHELVING, AND ALL ACCESSORIES AND FIXTURES
 2. DASHED ADA CLEARANCE AREA, CIRCLES, RECTANGLES SHOWN FOR INFORMATIONAL PURPOSES ONLY
 3. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURES
 4. TRASH RECEPTACLES NOT IN CONTRACT

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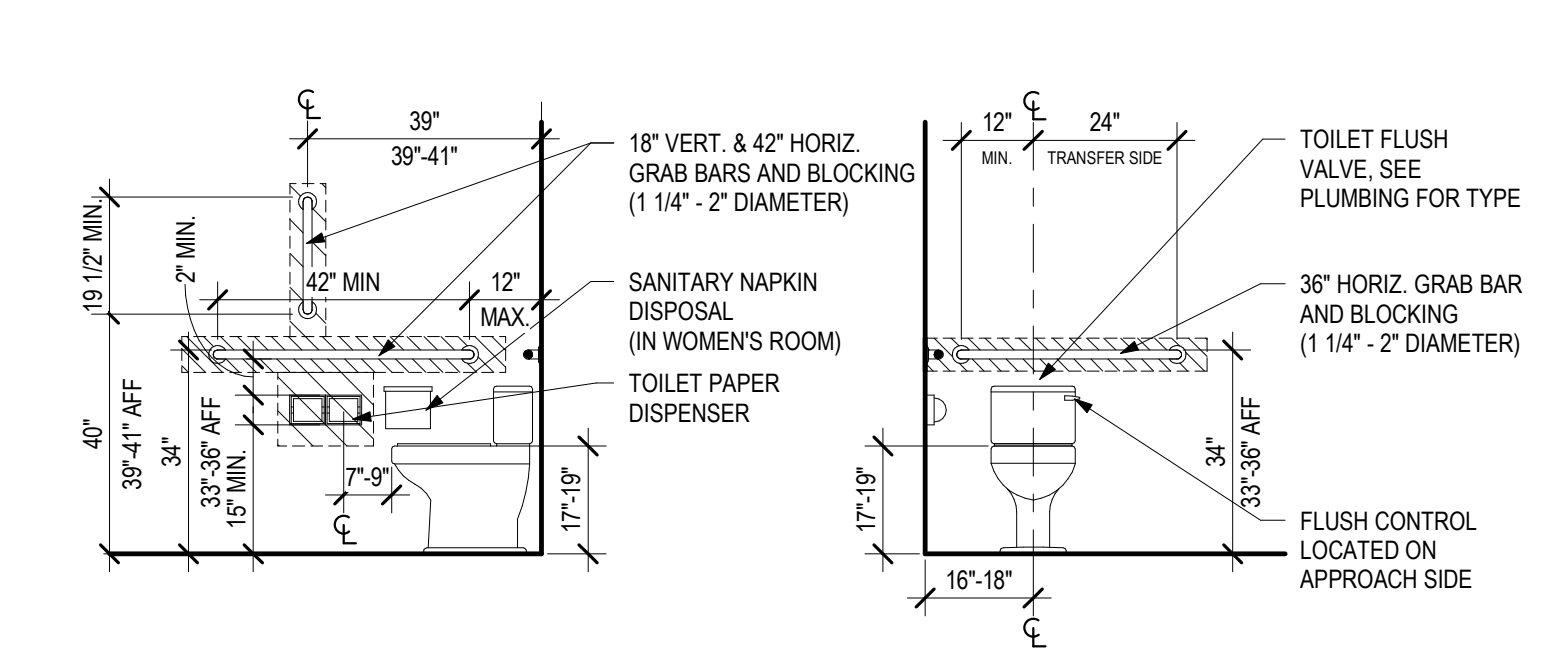
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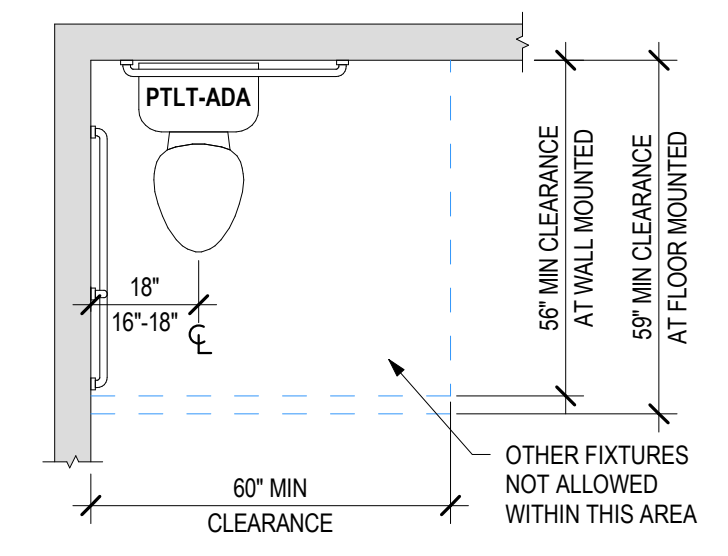
1 ENLARGED TOILET PLAN
1/2" = 1'-0"



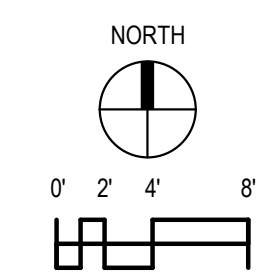
3 LAV PUBLIC ADA
3/8" = 1'-0"



2 TOILET PUBLIC ADA
3/8" = 1'-0"



PLAN VIEW



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ENLARGED PLAN & ELEVATIONS

A1.2