

# URBAN DESIGN COMMISSION APPLICATION



City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



**FOR OFFICE USE ONLY:**

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by \_\_\_\_\_  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Urban Design District \_\_\_\_\_  
Submission reviewed by \_\_\_\_\_  
Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

### 1. Project Information

Address: Jannah Village Apartment Complex

Title: \_\_\_\_\_

### 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

- New development       Alteration to an existing or previously-approved development
- Informational               Initial approval               Final approval

### 3. Project Type

- Project in an Urban Design District
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

**Signage**

- Comprehensive Design Review (CDR)
- Signage Variance (i.e. modification of signage height, area, and setback)
- Signage Exception

**Other**

Please specify \_\_\_\_\_

### 4. Applicant, Agent, and Property Owner Information

**Applicant name** Lindsay Hagens  
**Street address** 5117 Butterfield dr  
**Telephone** 6084462224

**Company** Simply Homes Property Mgmt  
**City/State/Zip** Madison WI 53704  
**Email** Simplyhomesproperties@gmail.com

**Project contact person** Robert Sieger  
**Street address** 73 White Oak Ln  
**Telephone** 6083477332

**Company** Sieger Architects  
**City/State/Zip** Madison Wi 53711  
**Email** siegerarchitects@sbcglobal.net

**Property owner (if not applicant)** \_\_\_\_\_  
**Street address** \_\_\_\_\_ **City/State/Zip** \_\_\_\_\_  
**Telephone** \_\_\_\_\_ **Email** \_\_\_\_\_

Urban Design Commission Application (continued)



5. Required Submittal Materials

- Application Form**
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal\***
- Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with April 2021 on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Lindsay Hagens Relationship to property Owner  
 Authorizing signature of property owner Lindsay Hagens Date 08/24/2021

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

# URBAN DESIGN COMMISSION APPROVAL PROCESS



## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

# Jannah Village Apartments

This apartment complex is being developed by Simply Home Property Mgmt. It will be self managed with three employees. The apartment complex will consist of four lots. Two lots will have three large apartments, with a mix of efficiencies to three bedrooms. They will have above and underground parking available to tenants. The last two lots will have a mix of two units to ten units with different style row houses. All will be three bedrooms and two car attached garages. There will be common area for all to enjoy with a clubhouse and a pool. The development will be broken down in four phases.

Phase 1: Lot 3 Start Date of Fall 2021

Phase 2: Lot 1 Start Date of Fall 2022

Phase 3: Lot 2 Start Date of Fall 2023

Phase 4: Lot 4 Start Date of Fall 2024

Contact information for the project:

Lindsay Hagens

Simply Homes Property Mgmt

6084462224

## **BUILDING INFORMATION:**

**237 UNIT APARTMENT PROJECT & Club House/Pool**

**SITE - LOT 1: - 3 Story - 41units**

11 - Mini 1 bedrm --- 21 - 1bedrm --- 9- 2bedrm

**SITE - LOT 2: - 3 Story - 51units- Bldg 1**

18- Mini 1 bedrm --- 24- 1bedrm --7- 2bedrm -- 2 - 3 Bedrm

**SITE - LOT 3: - 3 Story - 42units- Bldg 2**

15- Mini 1 bedrm --- 16- 1bedrm -- 9- 2bedrm --- 2 - 3 Bedrm

**SITE - LOT 4: - 2 Story RowHouse - 50 Units 10 Bldgs**

12 A, 38 C, - 3bedrm, 2 Car Garage

**SITE - LOT 4: - 2 Story RowHouse - 53 Units 9 Bldgs**

12 A, 4 B1, 27 C, 10 D - 3bedrm, 2 Car Garage

Type 5V wood frame unprotected

Building shall have smoke & CO detectors  
NFPA Sprinkler 13R

## **PARKING STALLS**

GARAGES @ ROWHOUSES Lot 3 = 100 STALLS + 5 on Site

GARAGES @ ROWHOUSES Lot 4 = 106 STALLS

GARAGES @ APARTMENT Lot 2 -BLDG1 = 44 STALLS

GARAGES @ APARTMENT Lot 2 -BLDG 2 = 36 STALLS

+ 5 on Site LOT 3 = 63

GARAGES @ APARTMENT Lot 31 = 37 STALLS

+ 5 on Site LOT 1 = 25

On Street PARKING AVAILABLE

## **BIKE PARKING**

IN GARAGES @ ROWHOUSES Lot 3 = 50 STALLS + 10 on Site

IN GARAGES @ ROWHOUSES Lot 4 = 53 STALLS +10 on site

IN GARAGES @ APARTMENT Lot 2 -BLDG1 = 10 STALLS

IN GARAGES @ APARTMENT Lot 2 -BLDG 2 = 10 STALLS

+ 5 on Site LOT 3 = 15 TOTAL

IN GARAGES @ APARTMENT Lot 1 = 8 STALLS

+ 5 on Site LOT 1 = 13 TOTAL

# *Jannah Village*

PROJECT

## **MULTIFAMILY PROJECT**

### **MADISON**

FELLAND ROAD  
MADISON, WI

.Owner

**SIMPLE HOMES MADISON LLC**

**Linsay Hagens**

**simplehomesproperties@gmail.com**

**608-446-2224**

ARCHITECT

**Sieger**ARCHITECTS

73 Whie Oaks Ln

Madison, WI 53711

Phone: 608.347.7332

email: siegerarchitects@sbcglobal.net

Bob Sieger

## **Quam Engineering,LLC**

4604 Siggelkow Rd Suite A

McFarland, WI 53558

Phone: 608.838.7750

email: rquam@quamengineering.com

Ryan Quam

LANDSCAPE ARCHITECT, LLC

**PAUL SKIDMORE**

13 RED MAPLE TRL

MADISON, WI 53717

608-826-0032

paulskidmore@tds.net

CONSTRUCTION MANAGER

**PlanRIGHT General Construction**

**1610 N. Bristol Street**

**Sun Prairie, WI 53590**

PROJECT #

2103

**MADISON - WI  
UDC -SUBMITTAL  
OCT. 2021**

## **C1.0 REFERENCE Site**

**C1.1 Architectural LOT 1 Site Plan**

**C1.2 Lot 1 Grading and Soil erosion Control**

**C1.3 Lot 1 Utilities**

**C1.1 Architectural LOT 2 Site Plan**

**C1.2 Lot 2 Grading and Soil erosion Control**

**C1.3 Lot 2 Utilities**

**C1.1 Architectural LOT 3 Site Plan**

**C1.2 Lot 3 Grading and Soil erosion Control**

**C1.3 Lot 3 tiliities**

**C1.1 Architectural LOT 4 Site Plan**

**C1.2 Lot 4 Grading and Soil erosion Control**

**C1.3 Lot 4 Utilities**

**LA.1 Site Landscape Lot 1**

**LA.2 Site Landscape Lot 2**

**LA.3 Site Landscape Lot 3**

**LA.4 Site Landscape Lot 4**

**LA.5 Landscape Worksheet**

**LA.6 Site Landscape Spec and Details**

**CD.1 Site Lighting and Details Lot 1**

**CD.2 Site Lighting and Details Lot 2**

**CD.3 Site Lighting and Details Lot 3**

**CD.4 Site Lighting and Details Lot 4**

**CD.5 Site Details - Typical**

**C2.2 Light Fixture Cuts**

## **3 STORY APARTMENT BUILDINGS**

**A1.0 Floor Plan -Garage -Lot 1**

**A1.1 1st Floor Plan/Elevation -Lot 1**

**A1.2 Elevations -Lot 1**

**A1.3 Floor Plans 2&3 Floor -Lot 1**

**A2.1.0 Floor Plans-Garage -Lot 2 bldg 1**

**A2.1.1 1st Floor Plans -Lot 2 bldg 1**

**A2.1.2 Elevations - Lot 2 bldg 1**

**A2.1.3 Floor Plans -2 & 3 - Lot 2 bldg 1**

**A2.2.0 Floor Plans-Garage -Lot 2 bldg 2**

**A2.2.1 1st Floor Plans/Elevation -Lot 2 bldg 2**

**A2.2.2 Elevation - Lot 2 bldg 2**

**A2.2.3 Floor Plans -2 & 3 Lot 2 bldg 2**

**P1.1 Pool and Commons Building**

## **TOWNHOMES**

**A.TH.1 Floor Plans -Typical**

**A4.1 Elevations -Typical**

**B1 Floor Plans**

**B4 Elevations**

**C1.1 Floor Plans 7 unit -Typical Elevations**

**C2.1 Floor Plans 6 unit -Typical Elevations**

**C3.1 Floor Plans 8 unit -Typical Elevations**

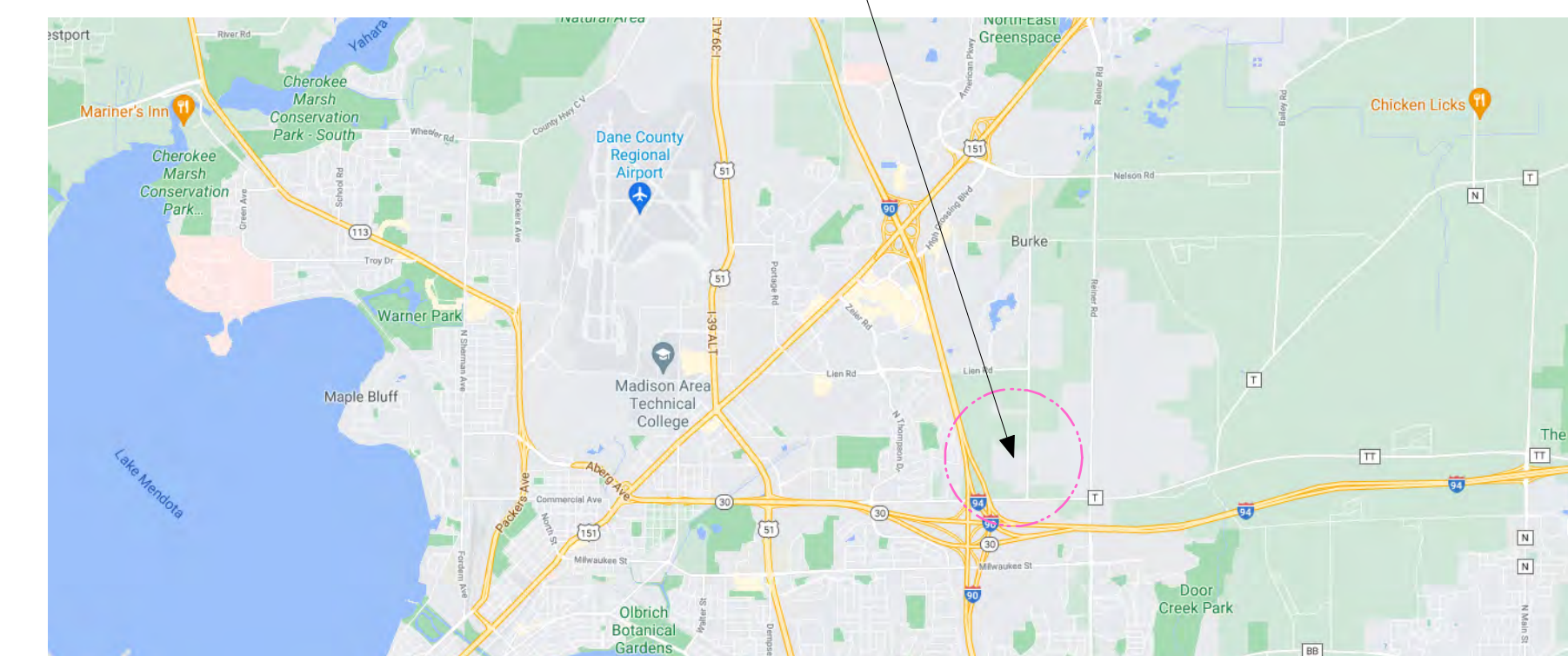
**C4.1 Floor Plans 4 Unit -Typical Elevations**

**D1.0 Floor Plans -Typical**

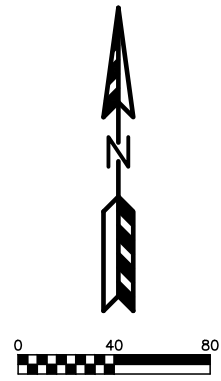
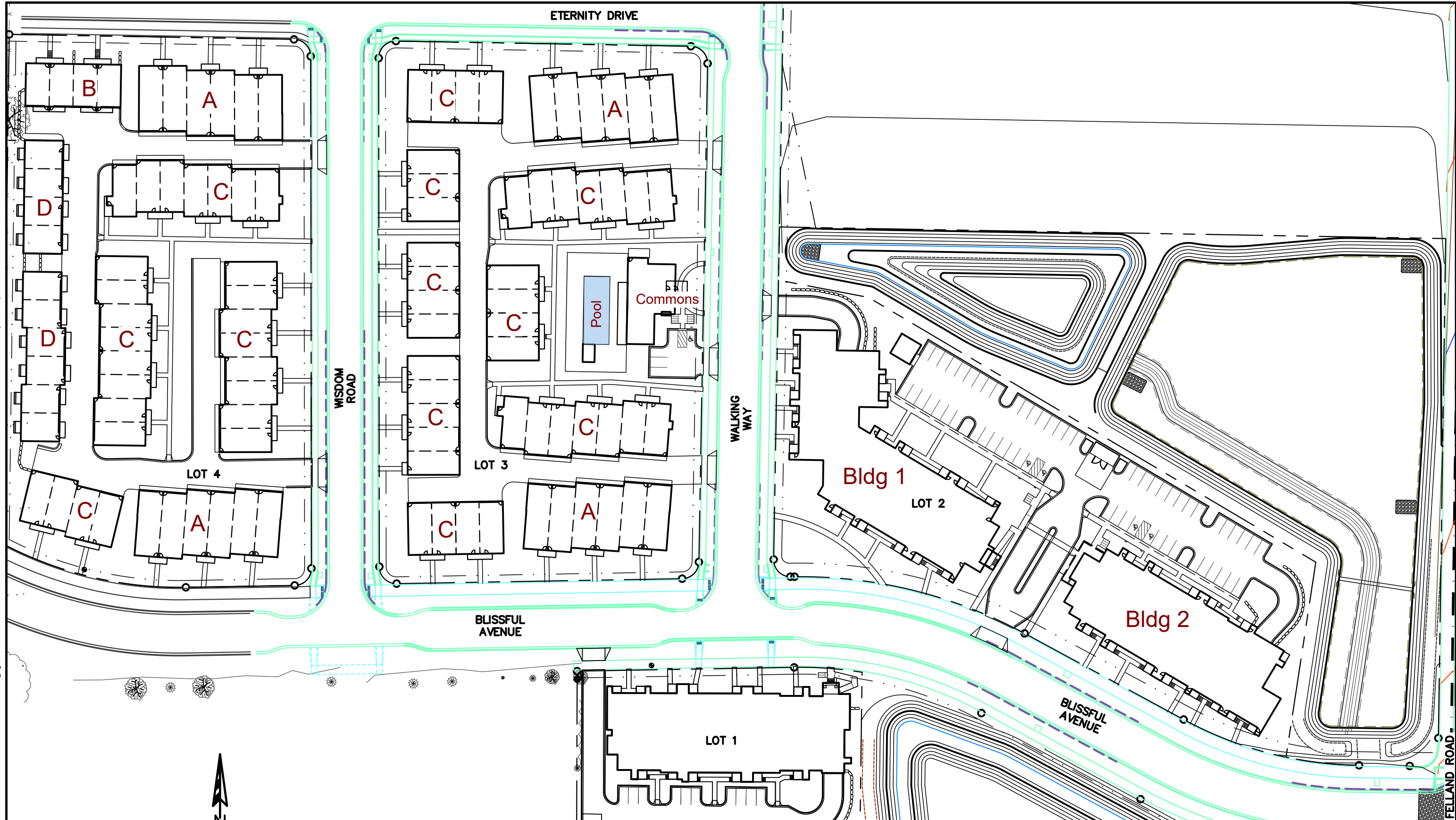
**D1.1 Elevations 4 unit -Typical**

**D1.2 Elevations 6 unit -Typical**

## **SITE LOCATION**



**SHEET INDEX**

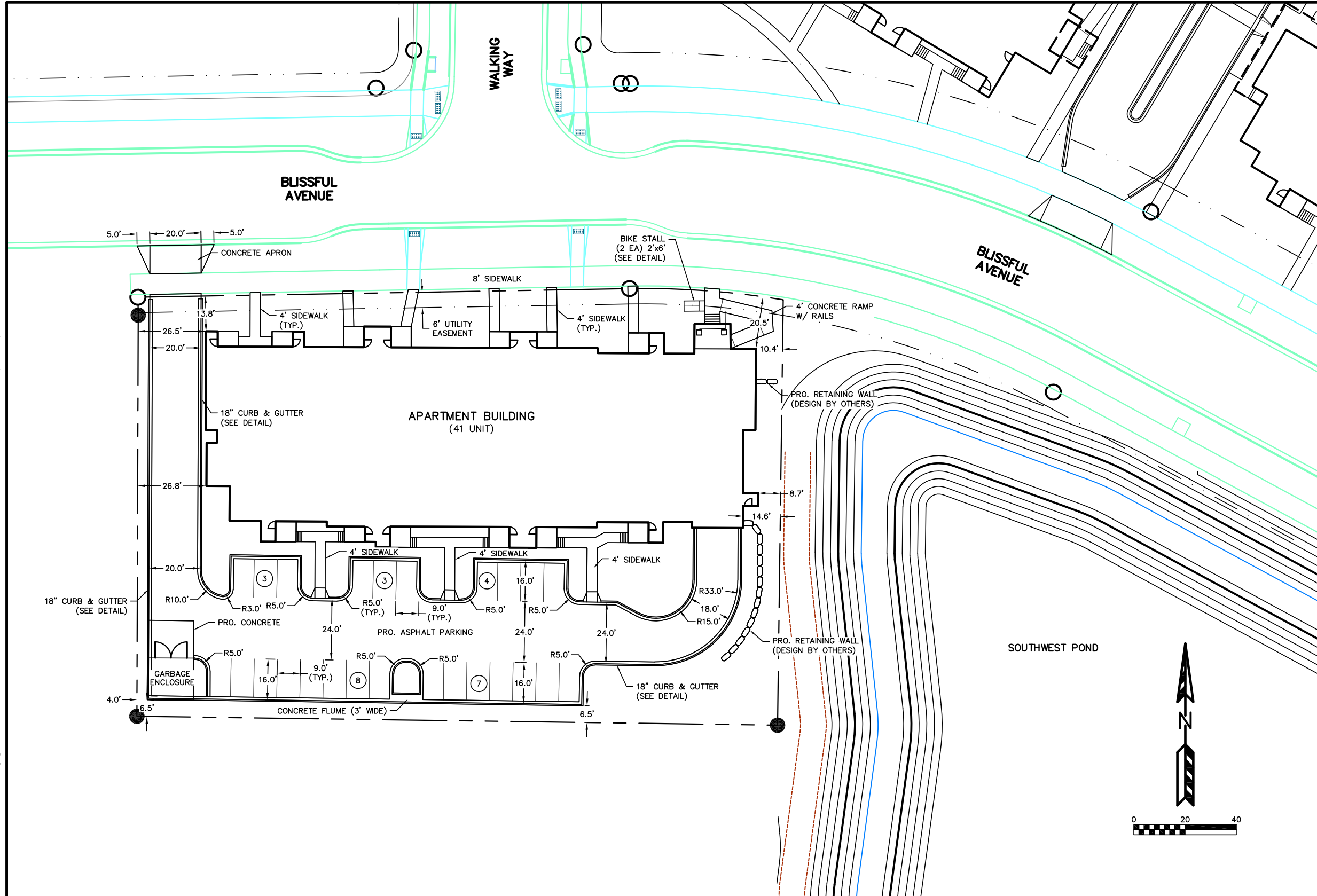



**SIEGER LLC**  
 ARCHITECTURE  
 73 WHITE OAKS LN Madison, WI 53711  
 Phone: 608.347.7332  
 siegerarchitects@sbcglobal.net

**Building Design**  
 project **JANNAH VILLAGE 242 UNIT**  
 MADISON, WI  
 owner **SIMPLE HOMES MADISON LLC**  
 Linsay Hagens 608-446-2224  
 simplehomesproperties@gmail.com  
 8.15.21

**C0.1**

**JANNAH VILLAGE**  
 REFERENCE SITE PLAN  
 SHEET: C0.1  
 DATED: AUGUST 17, 2021  
**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



**CITY NOTE:**  
 THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

**CURB & GUTTER NOTES:**  
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

**PAVING NOTES:**  
 PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.

THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

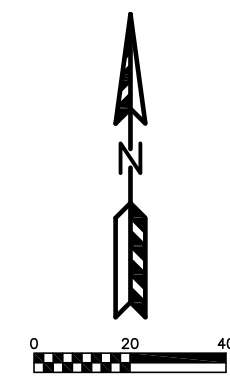
**SIGNING NOTES:**  
 THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING

**GENERAL NOTES:**  
 THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

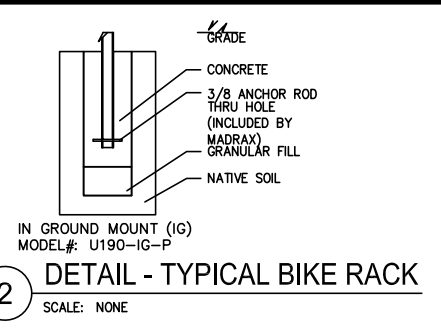
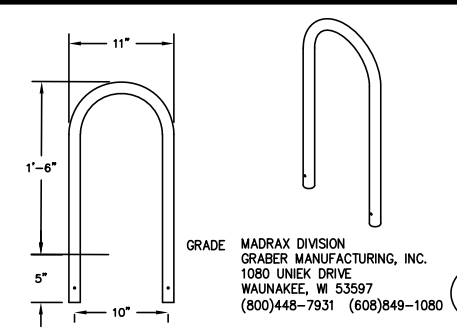
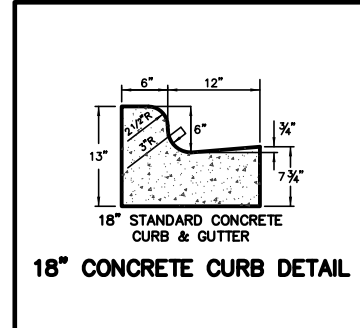
ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

PARKING LOT PLAN SITE INFORMATION BLOCK	
Site Address	TO BE DETERMINED
Site acreage (total)	0.98 ACRES
Number of building stories (above grade)	3
Building height	30X
Total Building height above existing grade	56.78'
Total square footage of building	15,085 s.f.
Use of property	MULTIFAMILY APARTMENT BUILDING
Impervious area	0.69 ACRES
Open space area	0.27 ACRES
Lot coverage	28.1%
Number of bicycle stalls shown	2
Number of Parking stalls:	
DESCRIPTION	Number
Parking (above ground)	25
Accessible (above ground)	0
Parking (garage)	36
Accessible (garage)	1
Total	62



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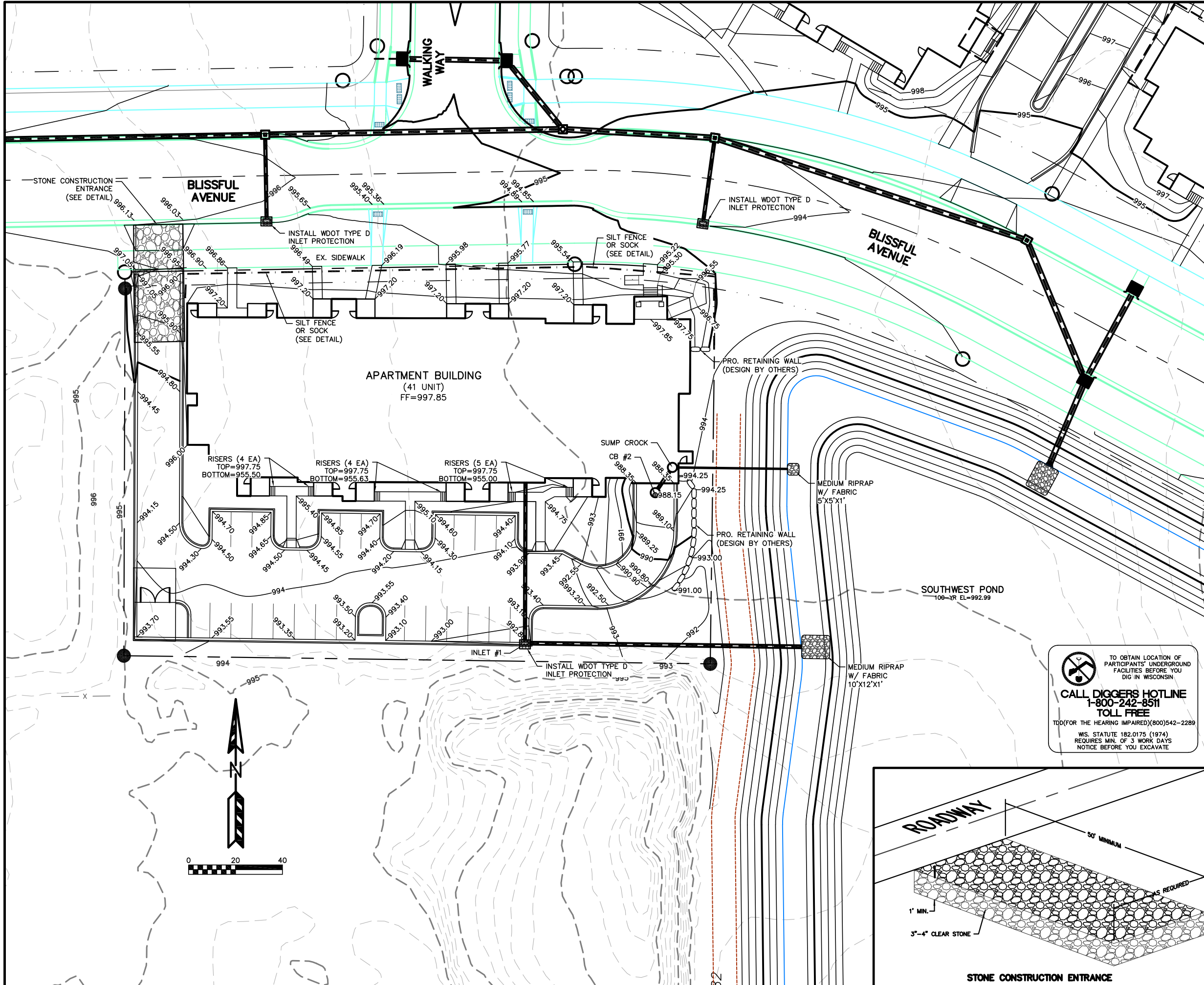


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
**TOLL FREE**  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
 WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE

**JANNAH VILLAGE - LOT 1**  
 SITE PLAN  
 SHEET: C-1  
 DATED: AUGUST 17, 2021

**QUAM ENGINEERING, LLC**  
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 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752





**EROSION NOTES:**  
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.  
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING PUBLIC STREETS SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.  
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.  
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.  
 ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.  
 PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.  
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

**TIME SCHEDULE:**  
 SEPTEMBER 15, 2022 INSTALL INITIAL EROSION CONTROL DEVICE AND ROUGH GRADE SITE.  
 SEPTEMBER 15, 2022 - JUNE 1, 2023 CONSTRUCT BUILDING, SIDEWALK, AND PAVEMENT.  
 JUNE 2023 APPLY MULCH OR EROSION MAT TO PVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED. (PER DNR TECH STANDARD 1058).  
 COMPLETE FINAL LANDSCAPING, RESTORE ALL PVIOUS DISTURBED AREAS.

**INSPECTIONS:**  
 COMPLETE WEEKLY SELF-INSPECTION OF THE EROSION CONTROL PRACTICES AND POST THESE INSPECTIONS TO THE CITY OF MADISON WEBSITE AS REQUIRED BY CHAPTER 37 OF THE MADISON GENERAL ORDINANCES.

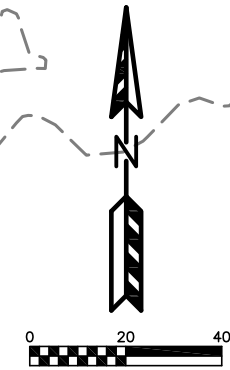
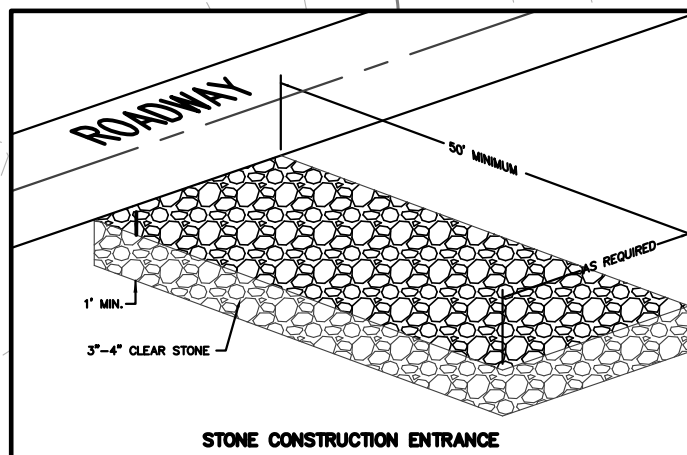
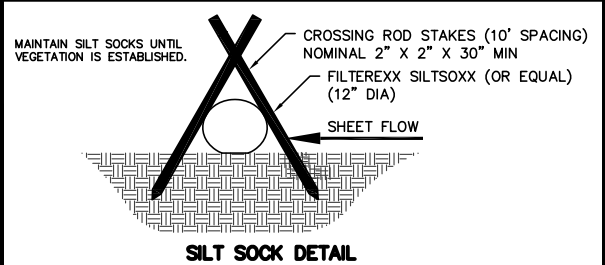
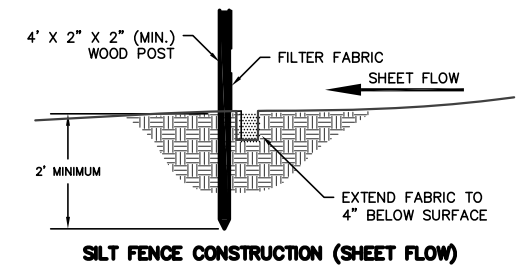
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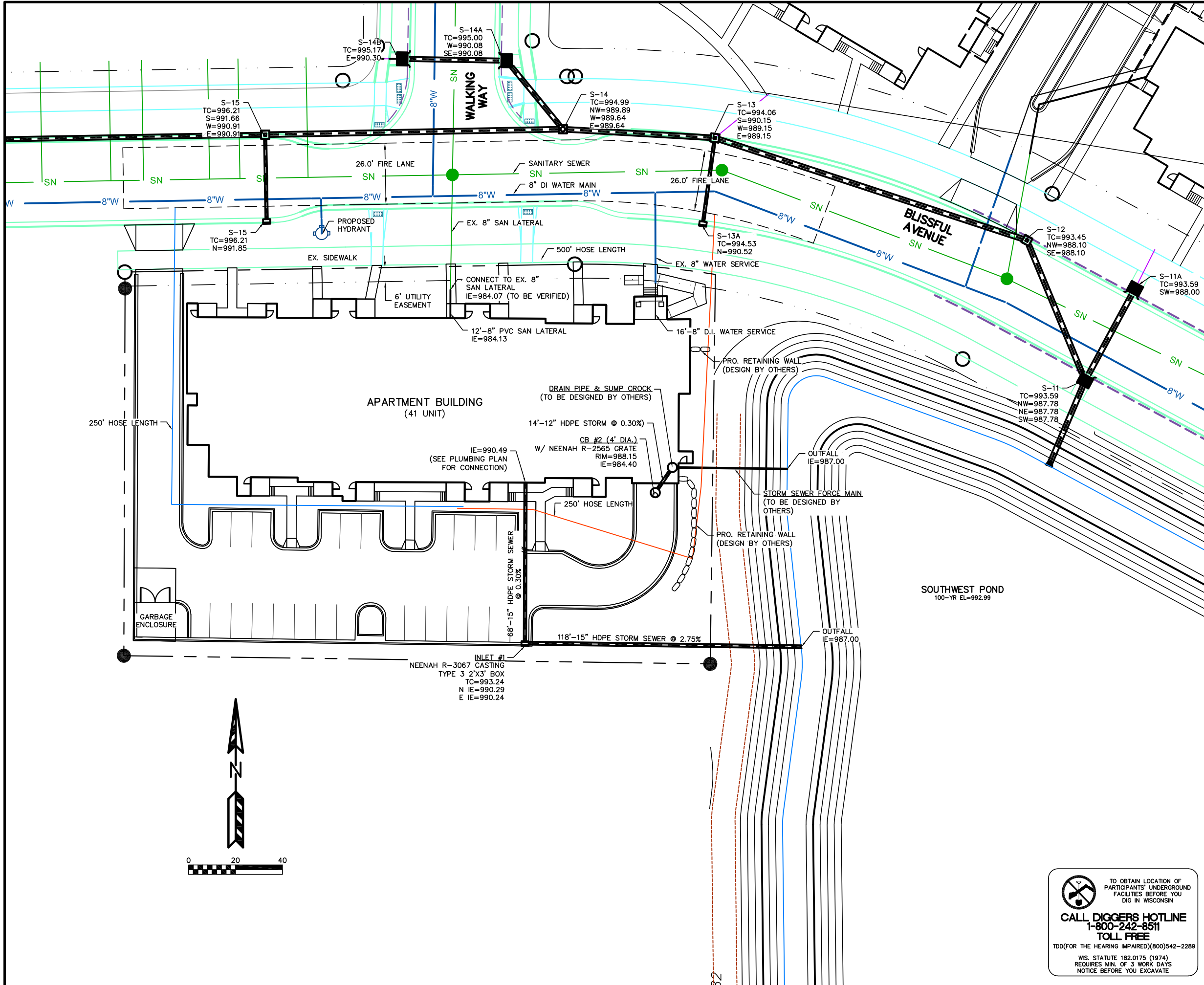
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**OWNER:**  
 SIMPLY HOMES MADISON, LLC  
 ATTN: LINDSAY HAGENS  
 5117 BUTTERFIELD DRIVE  
 MADISON, WI 53704

**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558

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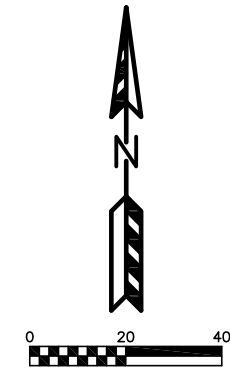
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**JANNAH VILLAGE - LOT 1**

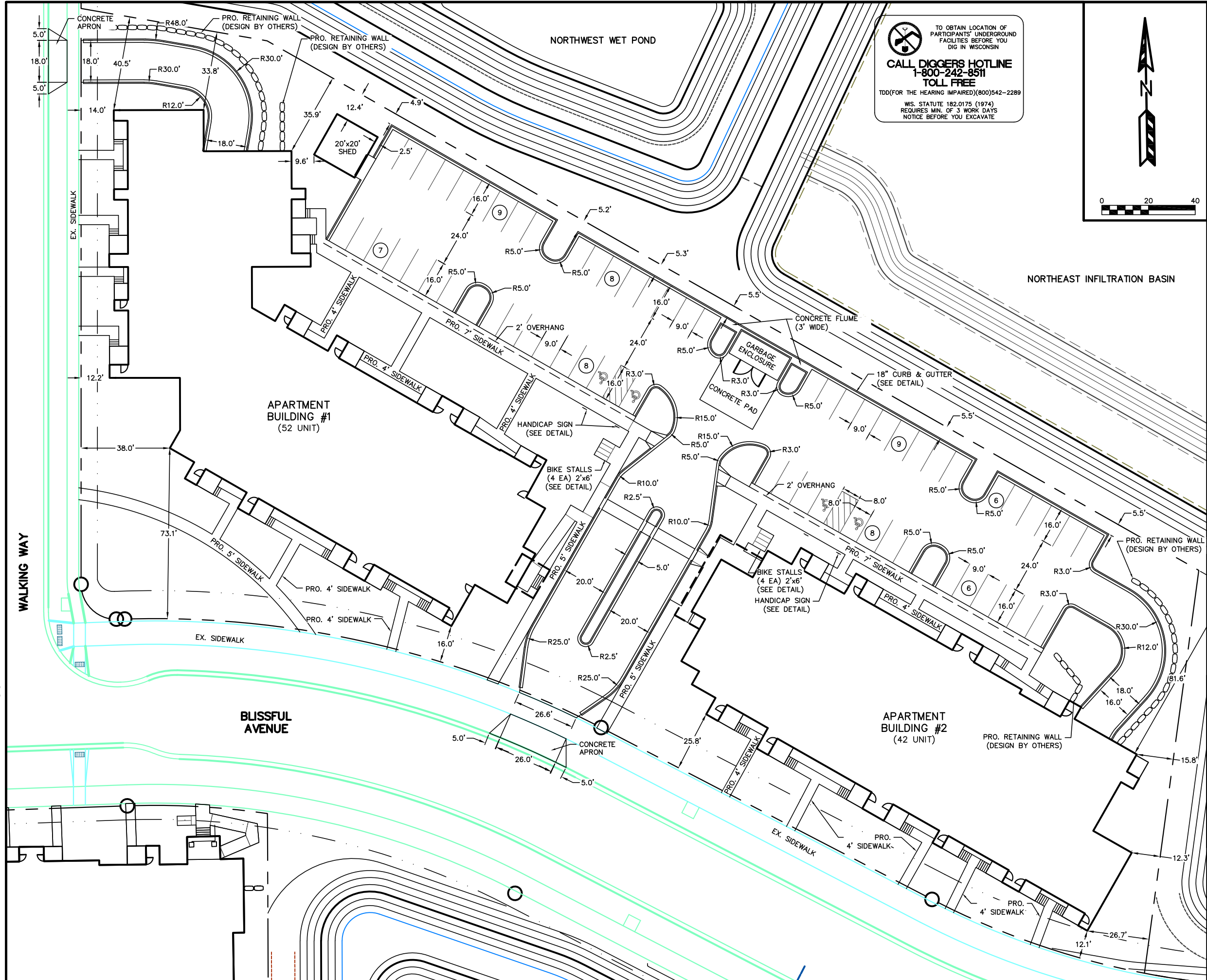
UTILITY PLAN

SHEET: C-3  
DATED: AUGUST 17, 2021

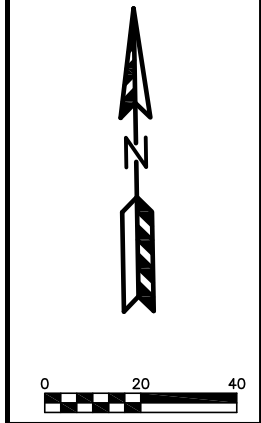
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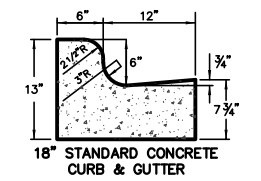
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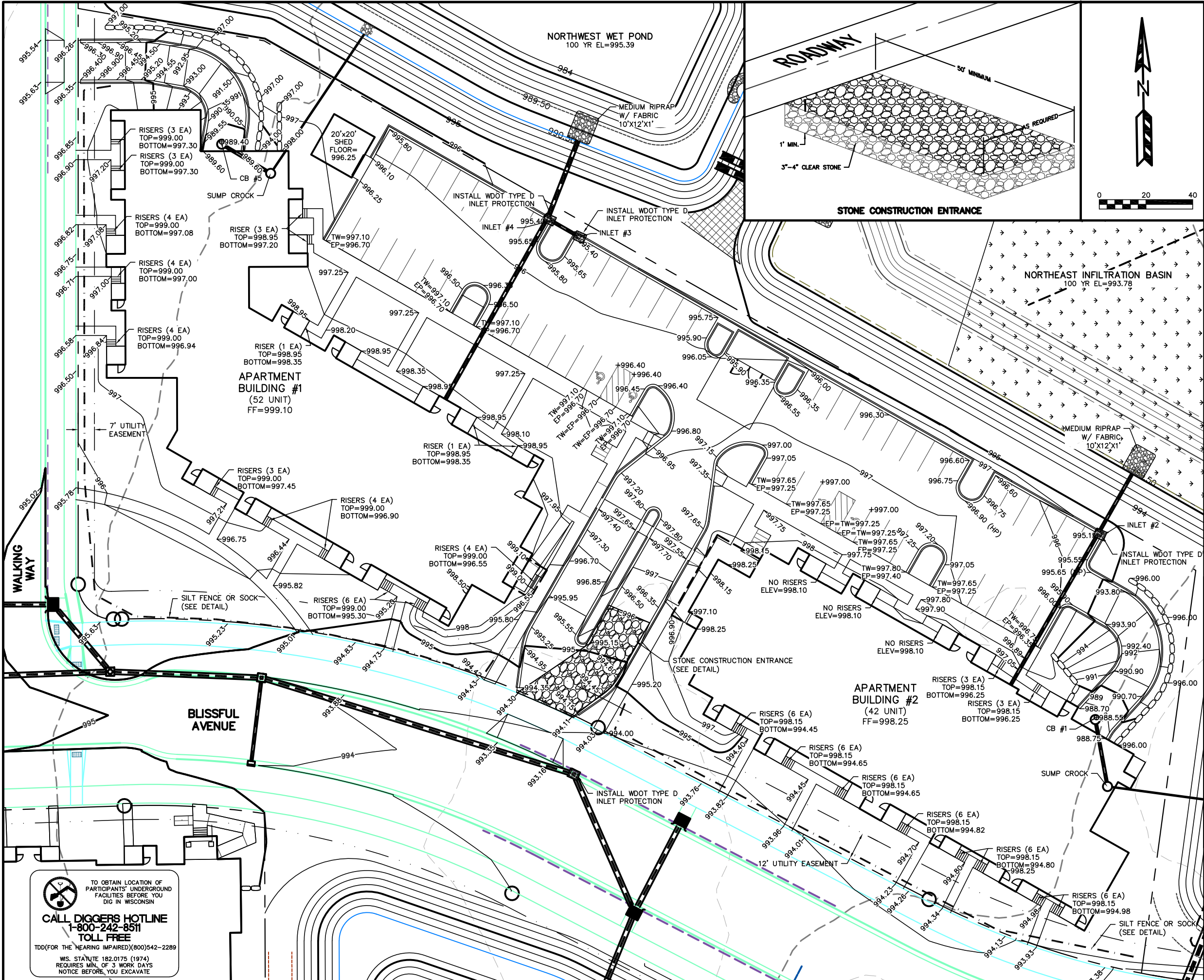


**18" CONCRETE CURB DETAIL**



**HANDICAP ACCESSIBLE SIGN DETAIL**

**JANNAH VILLAGE - LOT 2**  
 SITE PLAN  
 SHEET: C-1  
 DATED: AUGUST 17, 2021  
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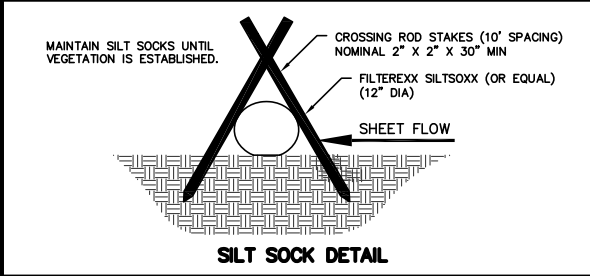
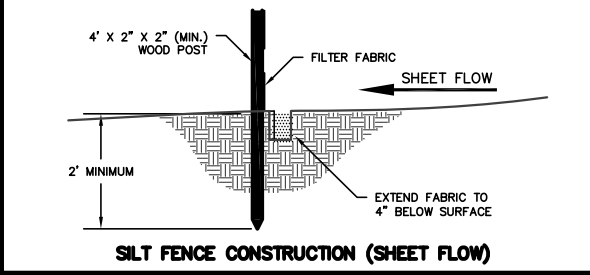
**EROSION NOTES:**  
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.  
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING PUBLIC STREETS SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.  
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.  
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.  
 ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.  
 PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.  
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

**TIME SCHEDULE:**  
 SEPTEMBER 1, 2022 - INSTALL INITIAL EROSION CONTROL DEVICE AND ROUGH GRADE SITE.  
 SEPT. 15, 2022 - JUNE 1, 2023 - CONSTRUCT EAST BUILDING, SIDEWALK, AND PAVEMENT.  
 SEPT. 15, 2023 - JUNE 1, 2024 - CONSTRUCT WEST BUILDING, SIDEWALK, AND PAVEMENT.  
 JUNE 1, 2023 & JUNE 1, 2024 - APPLY MULCH OR EROSION MAT TO PERVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED. (PER DNR TECH STANDARD 105B).  
 JUNE/JULY 2023 & 2024 - COMPLETE FINAL LANDSCAPING, RESTORE ALL PERVIOUS DISTURBED AREAS.  
**INSPECTIONS:**  
 COMPLETE WEEKLY SELF-INSPECTION OF THE EROSION CONTROL PRACTICES AND POST THESE INSPECTIONS TO THE CITY OF MADISON WEBSITE AS REQUIRED BY CHAPTER 37 OF THE MADISON GENERAL ORDINANCES.

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 MADISON, WI 53704

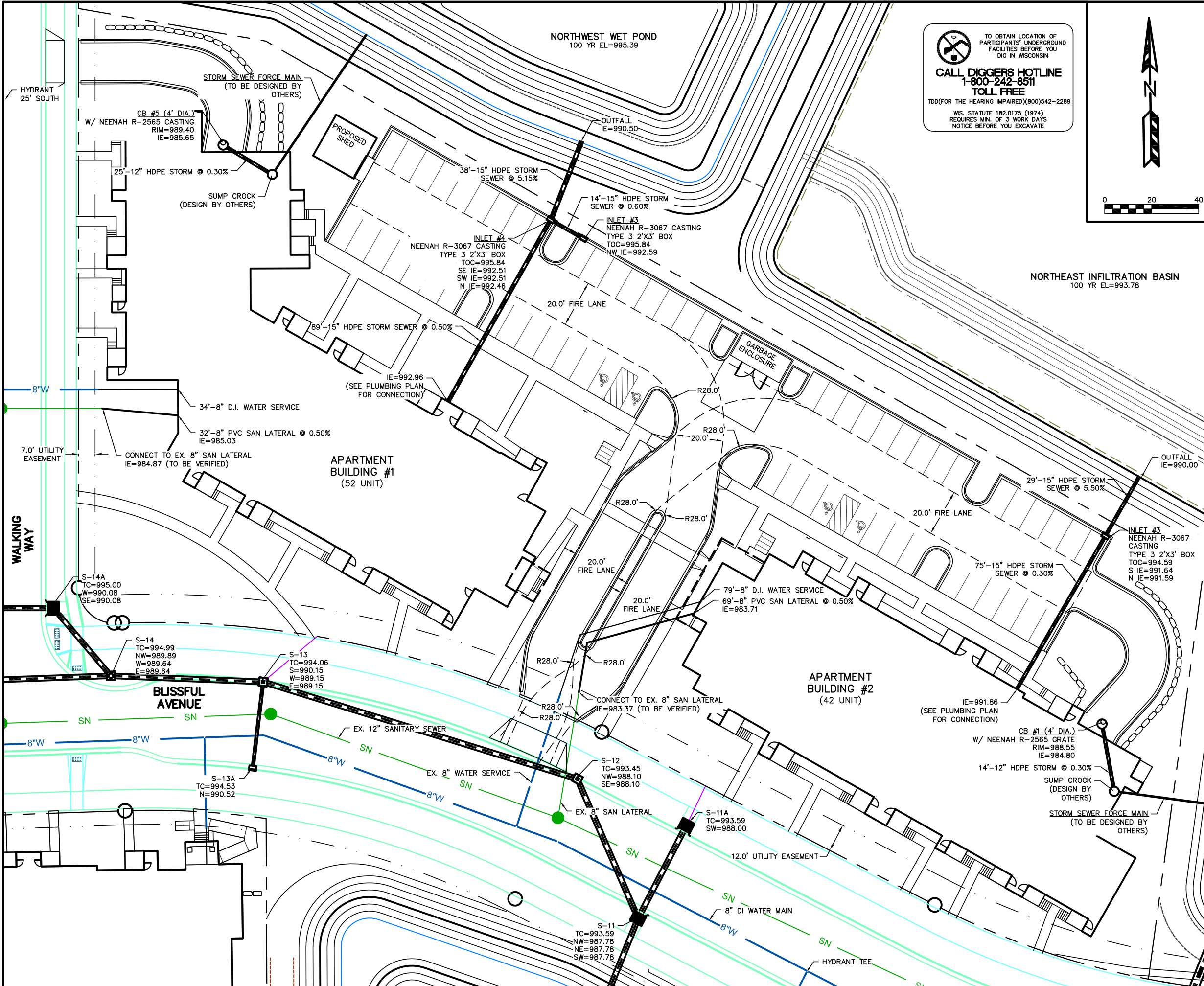
**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558



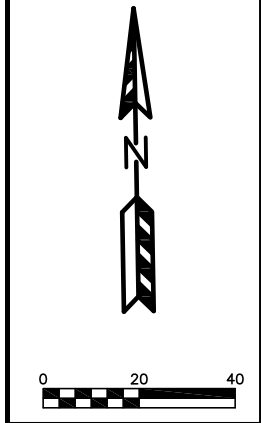
**JANNAH VILLAGE - LOT 2**  
 GRADING AND EROSION CONTROL PLAN  
 SHEET: C-2  
 DATED: AUGUST 17, 2021

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**UTILITY NOTES:**

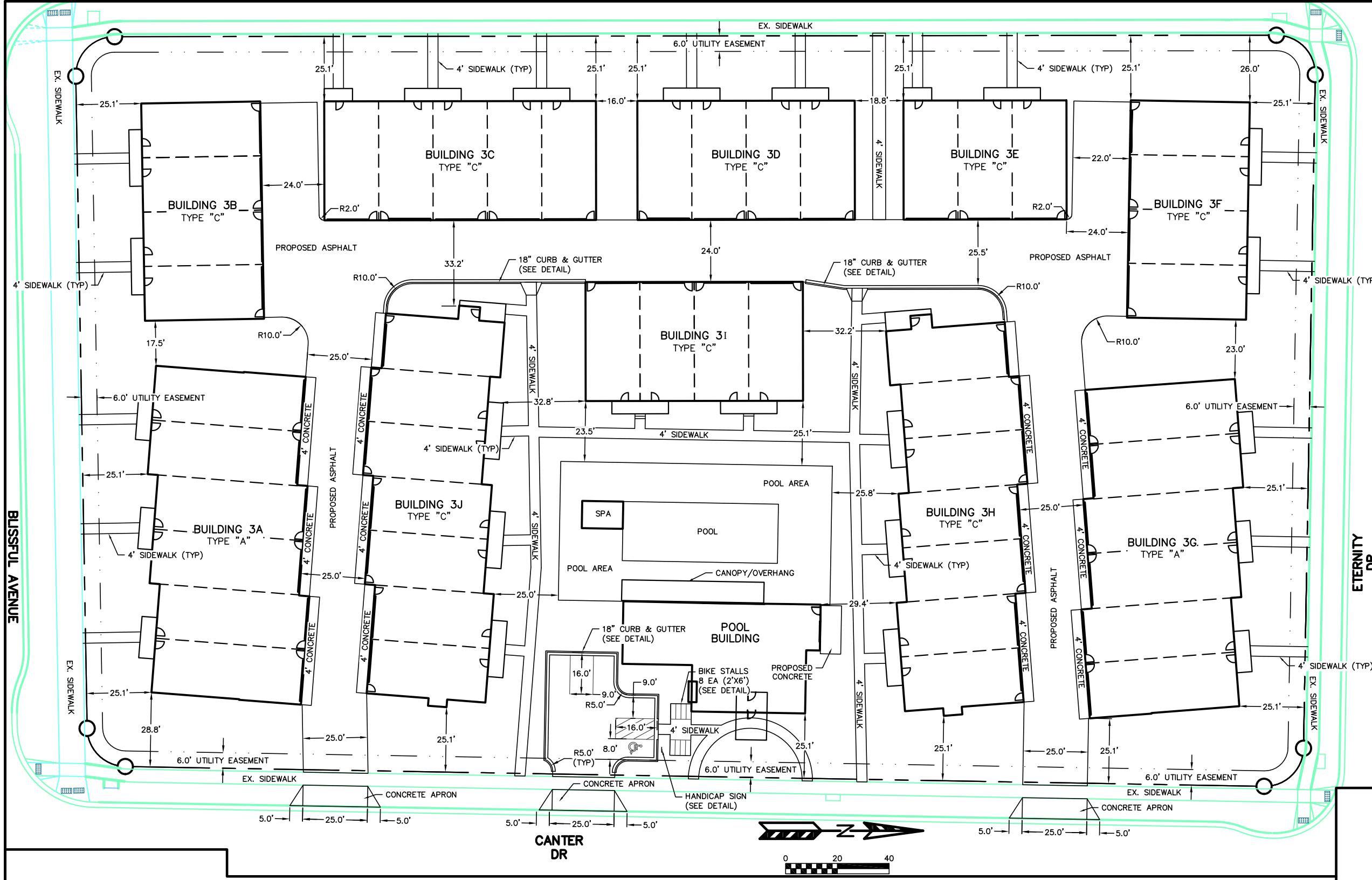
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**JANNAH VILLAGE - LOT 2**  
UTILITY PLAN  
SHEET: C-3  
DATED: AUGUST 17, 2021

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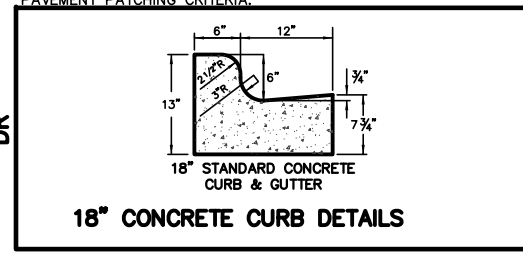
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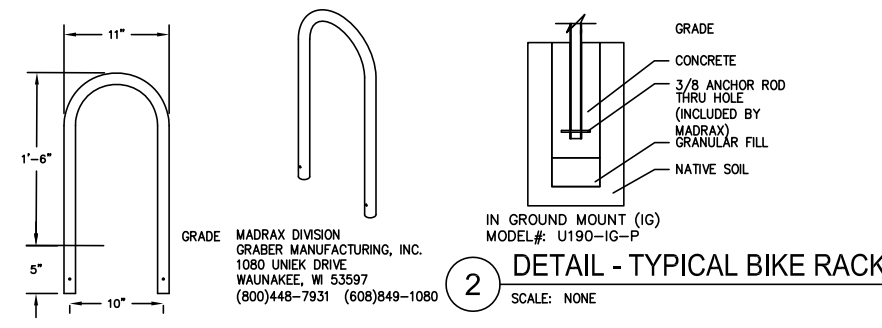


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**JANNAH VILLAGE - LOT 3**

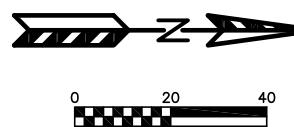
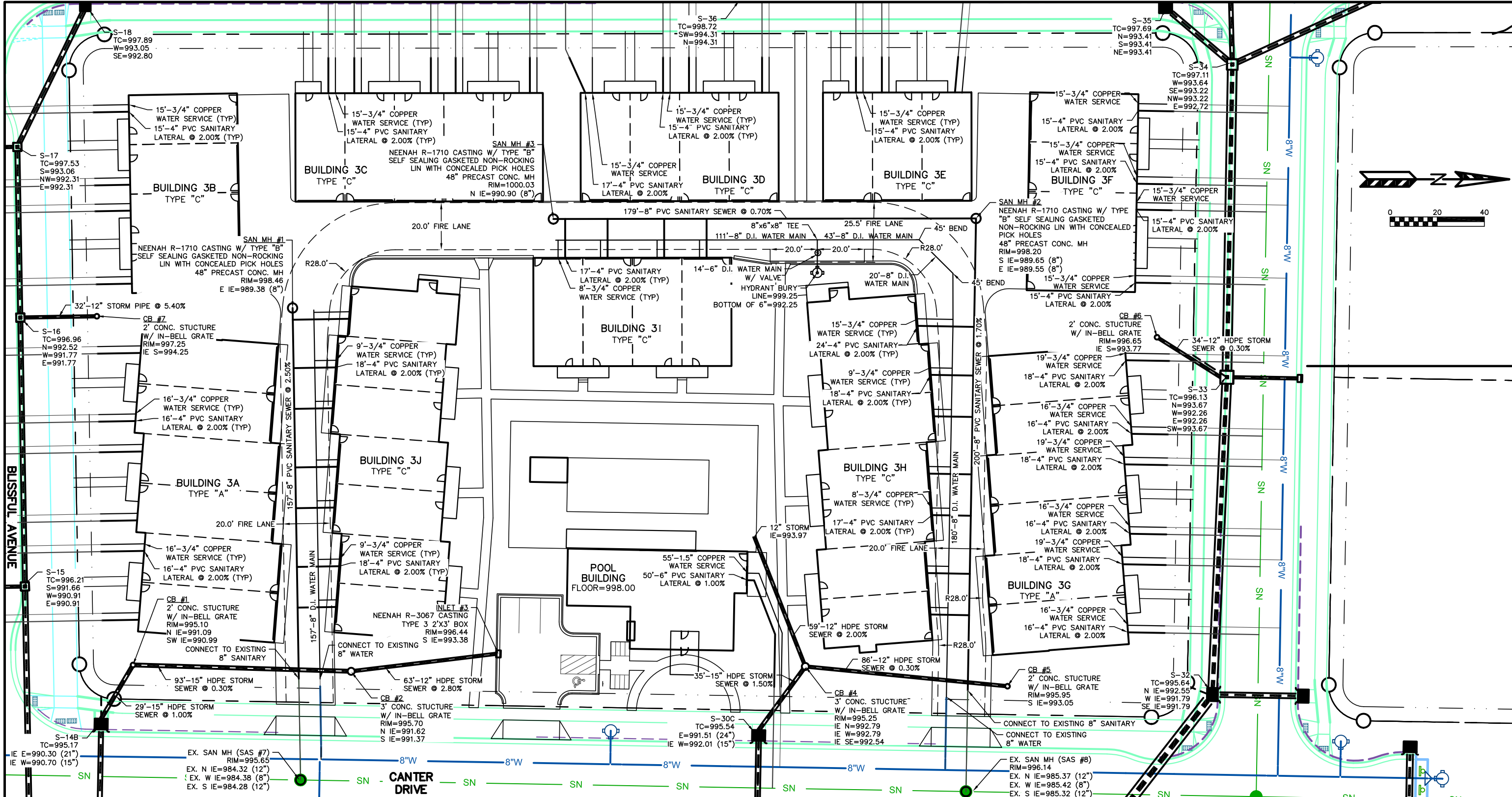
**SITE PLAN**

SHEET: C-1  
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TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

**JANNAH VILLAGE - LOT 3**

UTILITY PLAN

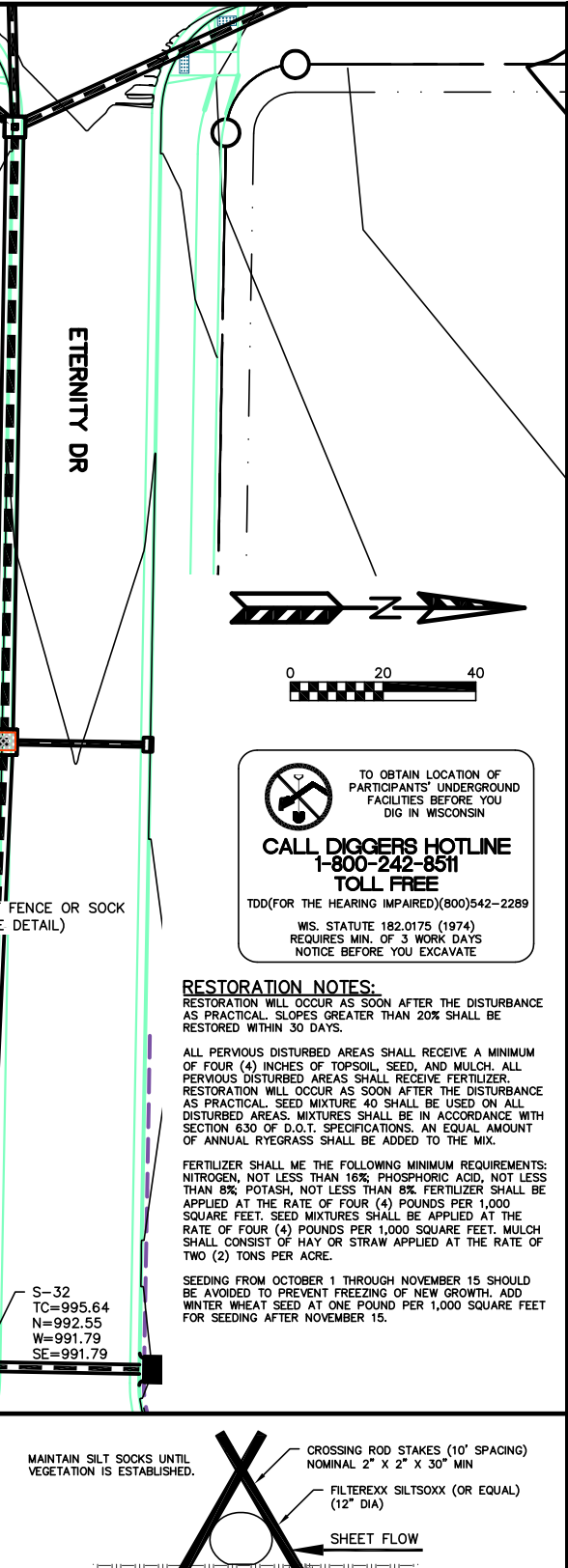
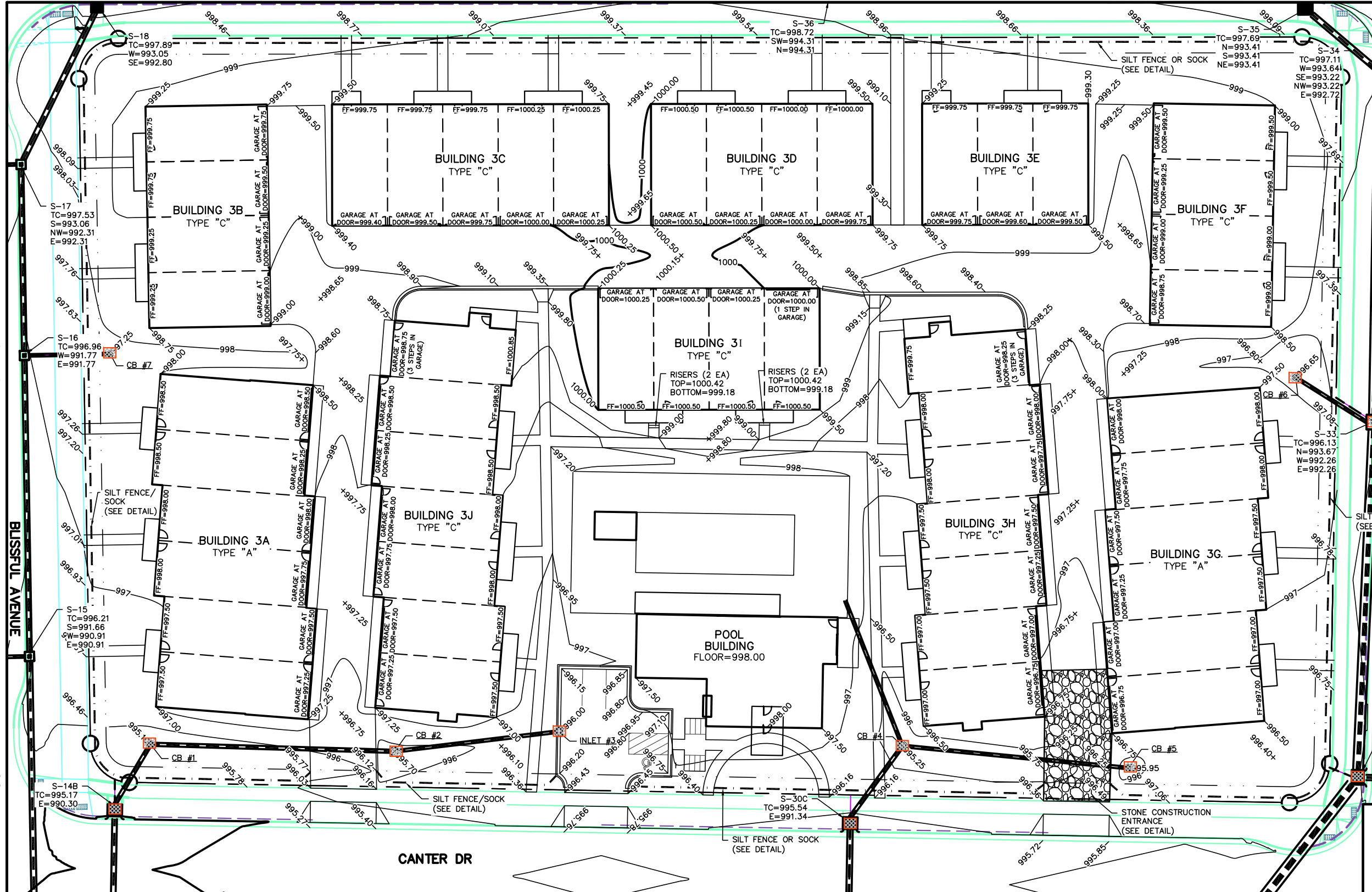
SHEET: C-3

DATED: AUGUST 17, 2021

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Residential and Commercial Site Design Consultants

www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



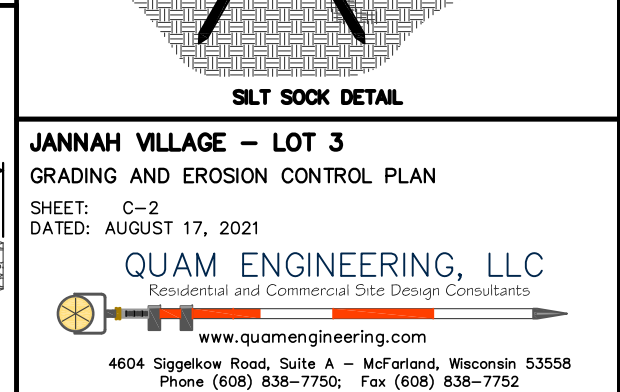
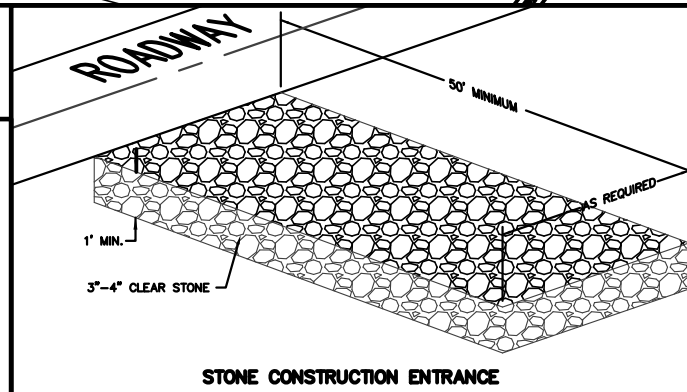
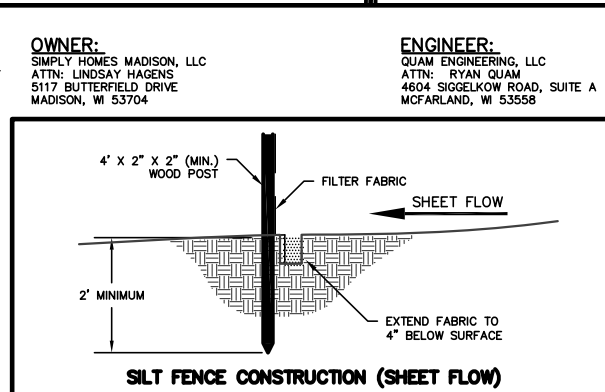
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 SEEDING FROM OCTOBER 1 THROUGH NOVEMBER 15 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. ADD WINTER WHEAT SEED AT ONE POUND PER 1,000 SQUARE FEET FOR SEEDING AFTER NOVEMBER 15.

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 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.  
 ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.  
 PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.  
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

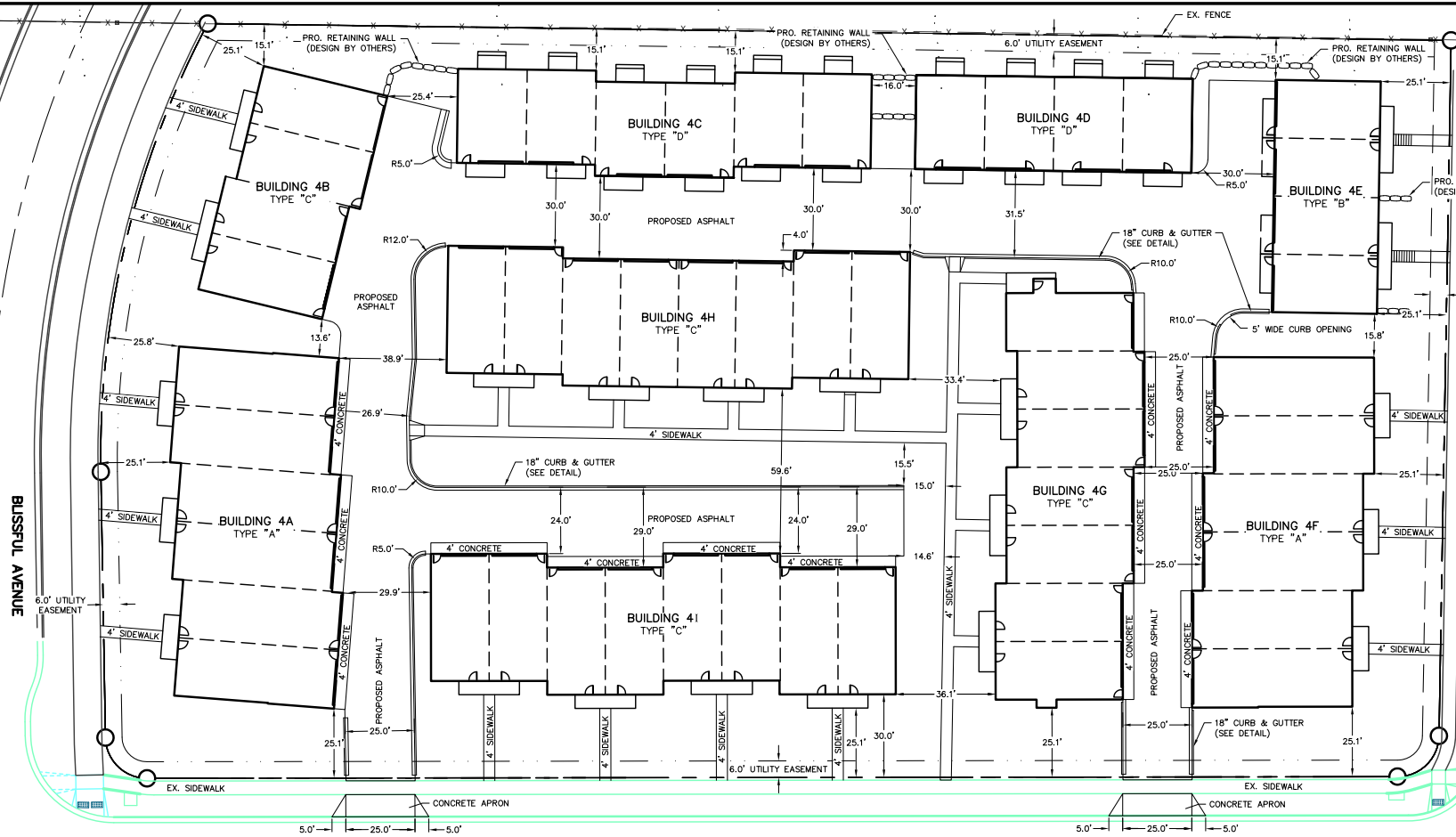
**TIME SCHEDULE:**  
 NOVEMBER 1, 2021 - NOVEMBER 15, 2021  
 NOVEMBER 1, 2021 - JUNE 1, 2022  
 JUNE 1, 2022 - JULY 15, 2023  
 JULY 15, 2023 - AUGUST 15, 2023

INSTALL INITIAL EROSION CONTROL DEVICE AND ROUGH GRADE SITE.  
 CONSTRUCT UTILITIES AND PRIVATE DRIVE BINDER.  
 CONSTRUCT BUILDINGS.  
 APPLY MULCH OR EROSION MAT TO PVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED (PER DNR TECH STANDARD 1058). COMPLETE FINAL LANDSCAPING, RESTORE ALL PVIOUS DISTURBED AREAS.

INSTALL FLEXSTORM CATCH-IT INLET PROTECTION







**ETERNITY DR**

**QTY NOTE:**  
THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

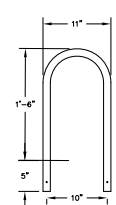
**CURB & GUTTER NOTES:**  
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.  
EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.  
IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

**PAVING NOTES:**  
PAVEMENT SHALL BE 3" ASPHALT PAVEMENT OVER 10" BASE COURSE.  
THE FIRE LANE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.

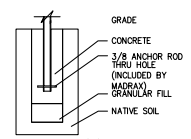
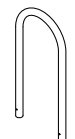
**SIGNING NOTES:**  
THE CITY TRAFFIC ENGINEER MAY REQUIRE PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT; THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE FOR SUCH SIGNING AND MARKING

**GENERAL NOTES:**  
THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ADJUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.  
ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.  
ALL DAMAGE TO THE PAVEMENT ON BLISSFUL AVENUE, WISDOM ROAD, AND ETERNITY DRIVE, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.

**WISDOM ROAD**

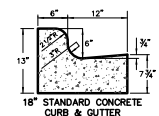


GRADE MADRAK DIVISION GRABER MANUFACTURING, INC. 1080 LINEX DRIVE WAUKESHA, WI 53597 (800)448-7931 (608)849-1080



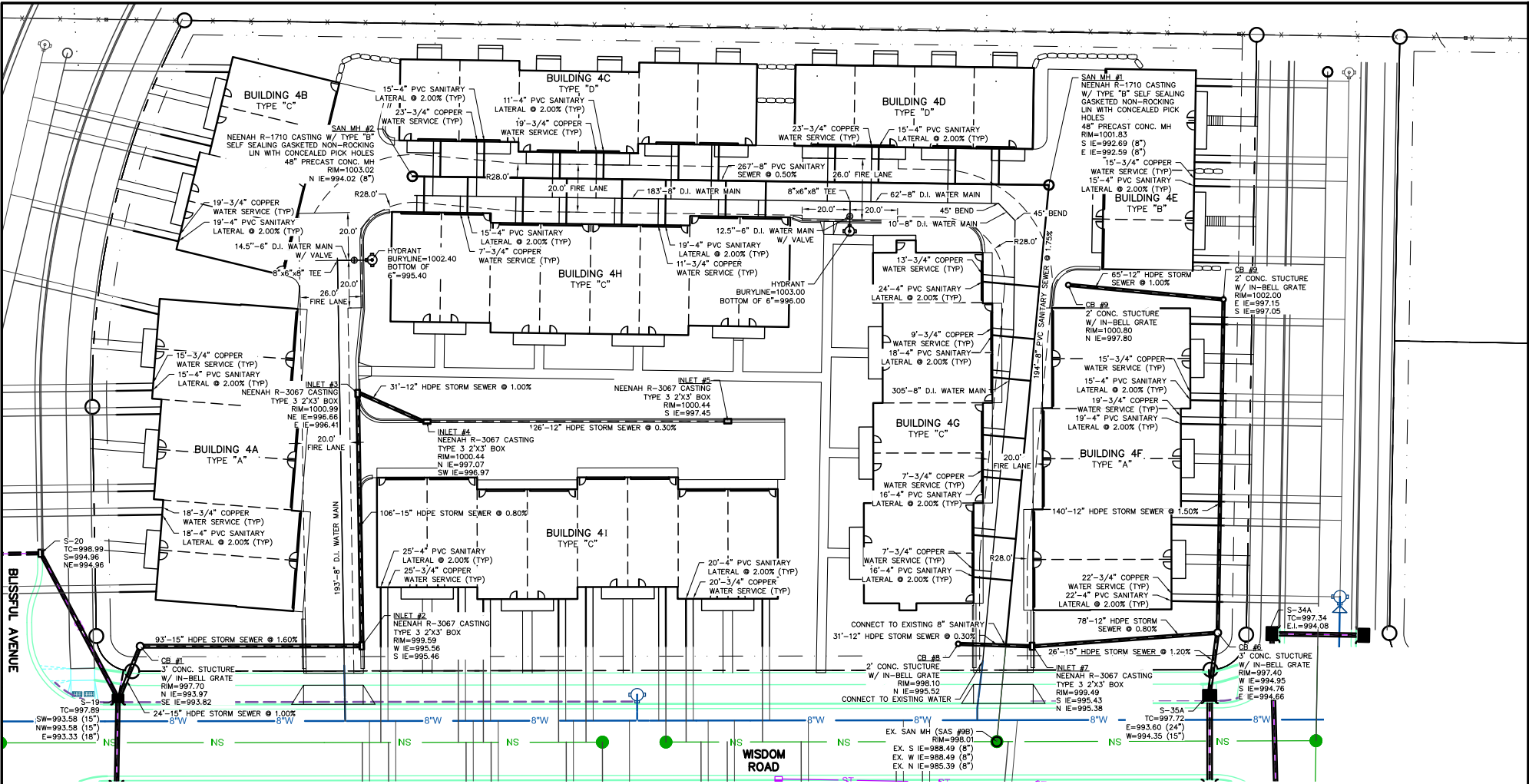
IN GROUND MOUNT (IG) MODEL#: U190-IG-P  
**DETAIL - TYPICAL BIKE RACK**  
SCALE: NONE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE**  
TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



**18" CONCRETE CURB DETAILS**

**JANNAH VILLAGE - LOT 4**  
SITE PLAN  
SHEET: C-1  
DATED: AUGUST 17, 2021  
**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



**UTILITY NOTES:**

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.

PLUMBER SHALL VERIFY SANITARY LATERAL AND WATER SERVICE SIZE TO PROPOSED BUILDINGS

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

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1-800-242-8511  
TOLL FREE

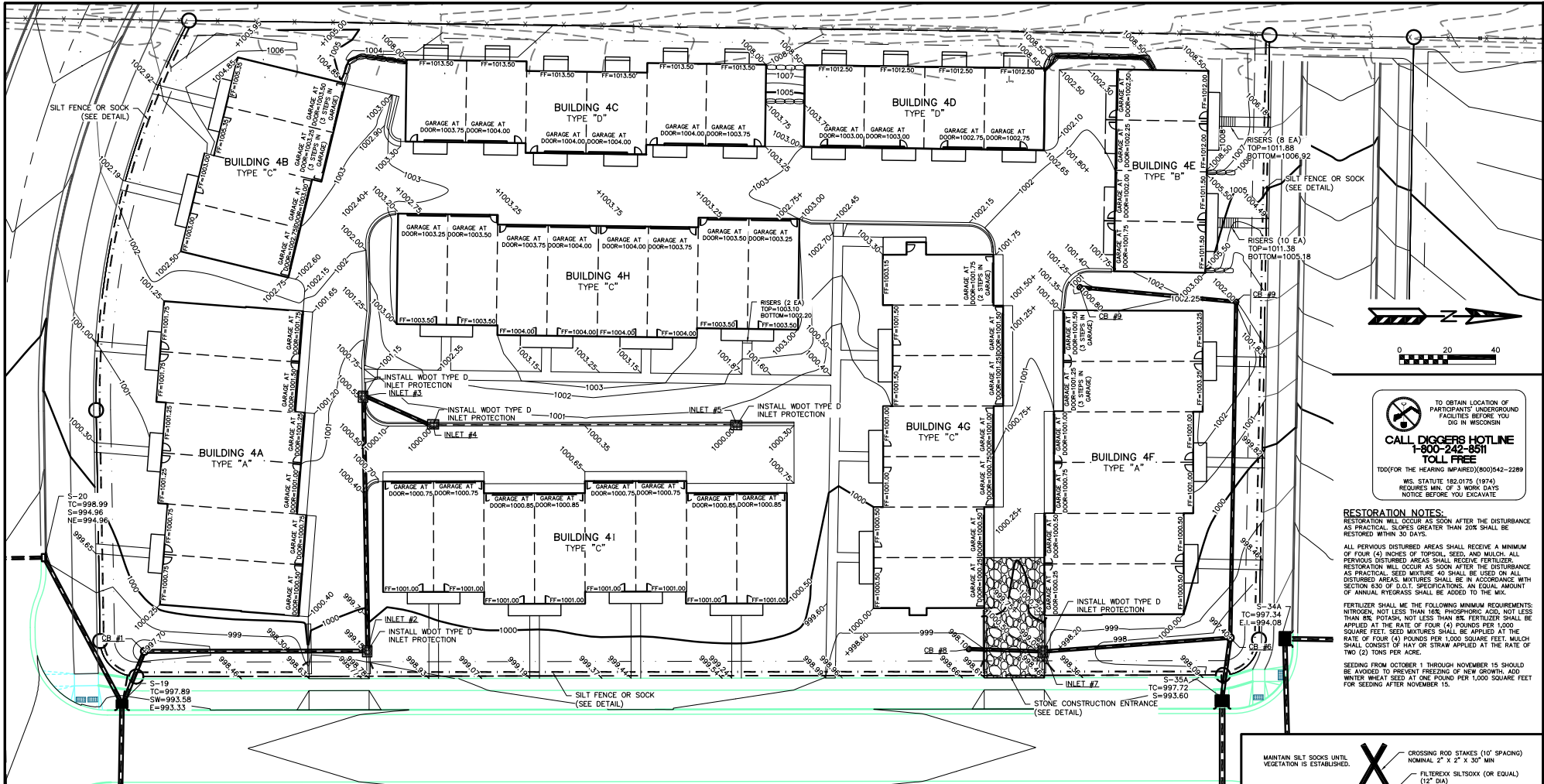
TDD/VO FOR THE HEARING IMPAIRED (800)542-2289

WE STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

**JANNAH VILLAGE - LOT 4**  
UTILITY PLAN  
SHEET: C-3  
DATED: AUGUST 17, 2021

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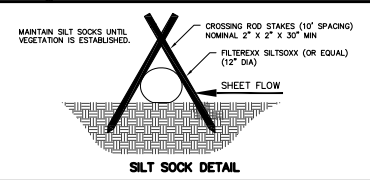
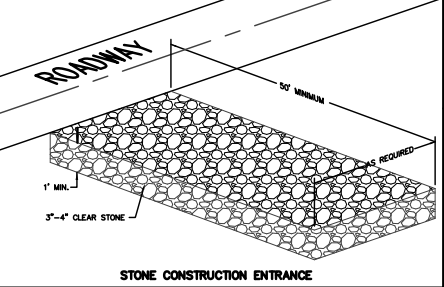
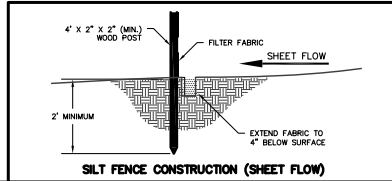
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**TIME SCHEDULE:**  
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 APRIL 15, 2023 - JULY 1, 2023  
 JULY 1, 2023 - SEPTEMBER 1, 2024  
 SEPTEMBER 1, 2024 - OCTOBER 1, 2024

INSTALL INITIAL EROSION CONTROL DEVICES AND ROUGH GRADE SITE.  
 CONSTRUCT UTILITIES AND PRIVATE DRIVE BINDER.  
 CONSTRUCT BUILDINGS.  
 APPLY MULCH OR EROSION MAT TO PERVIOUS, DISTURBED AREAS THAT HAVE NOT BEEN RESTORED.  
 FINAL LANDSCAPING, RESTORE ALL PERVIOUS DISTURBED AREAS.

**OWNER:**  
 SIMPLY HOMES MADISON, LLC  
 ATTN: LINDSAY HAZEN  
 5177 BUTTERFIELD DRIVE  
 MADISON, WI 53704

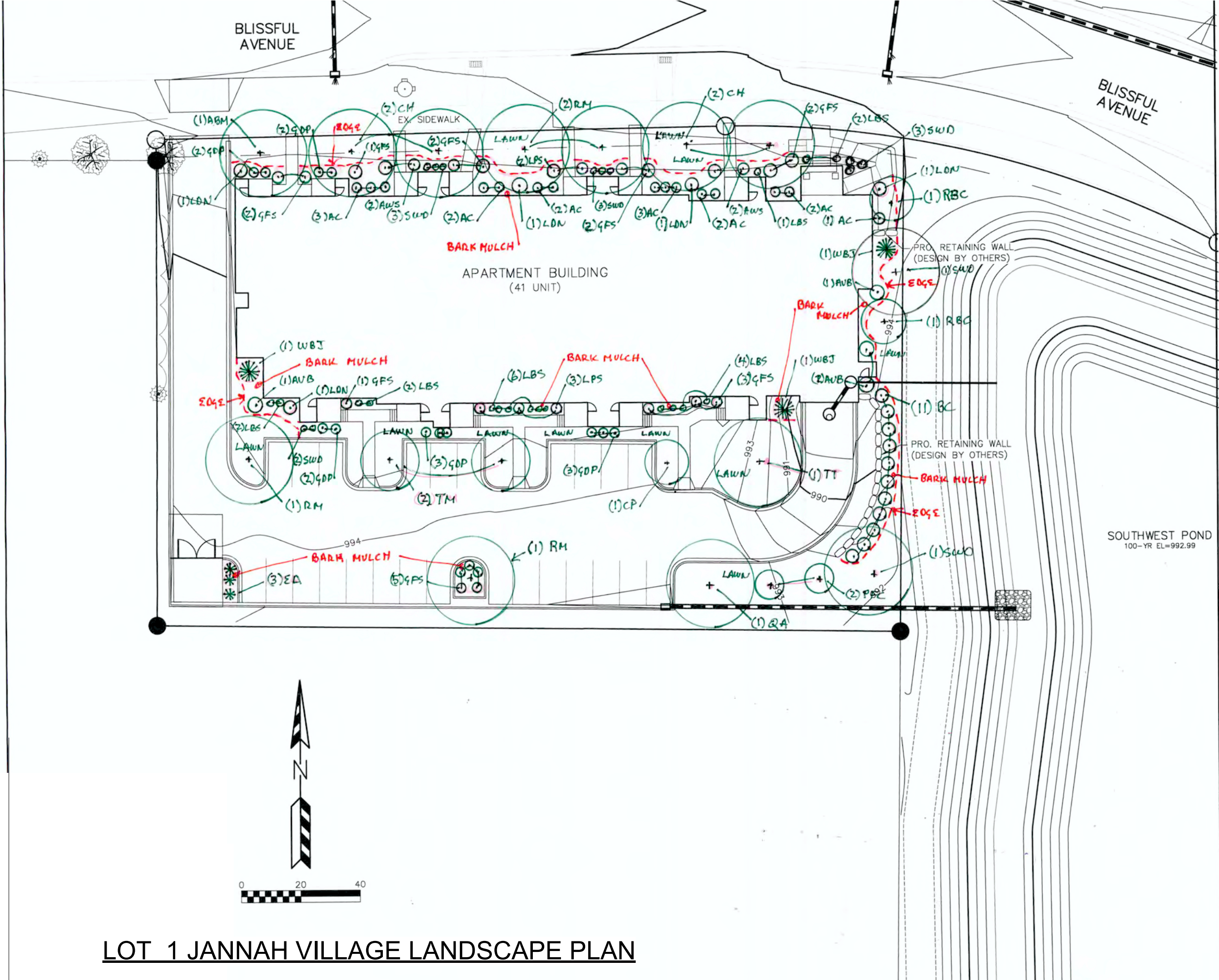
**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558



**JANNAH VILLAGE - LOT 4**  
 GRADING AND EROSION CONTROL PLAN  
 SHEET: C-2  
 DATED: AUGUST 17, 2021

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 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

**LOT 1 JANNAH VILLAGE LANDSCAPE PLAN**



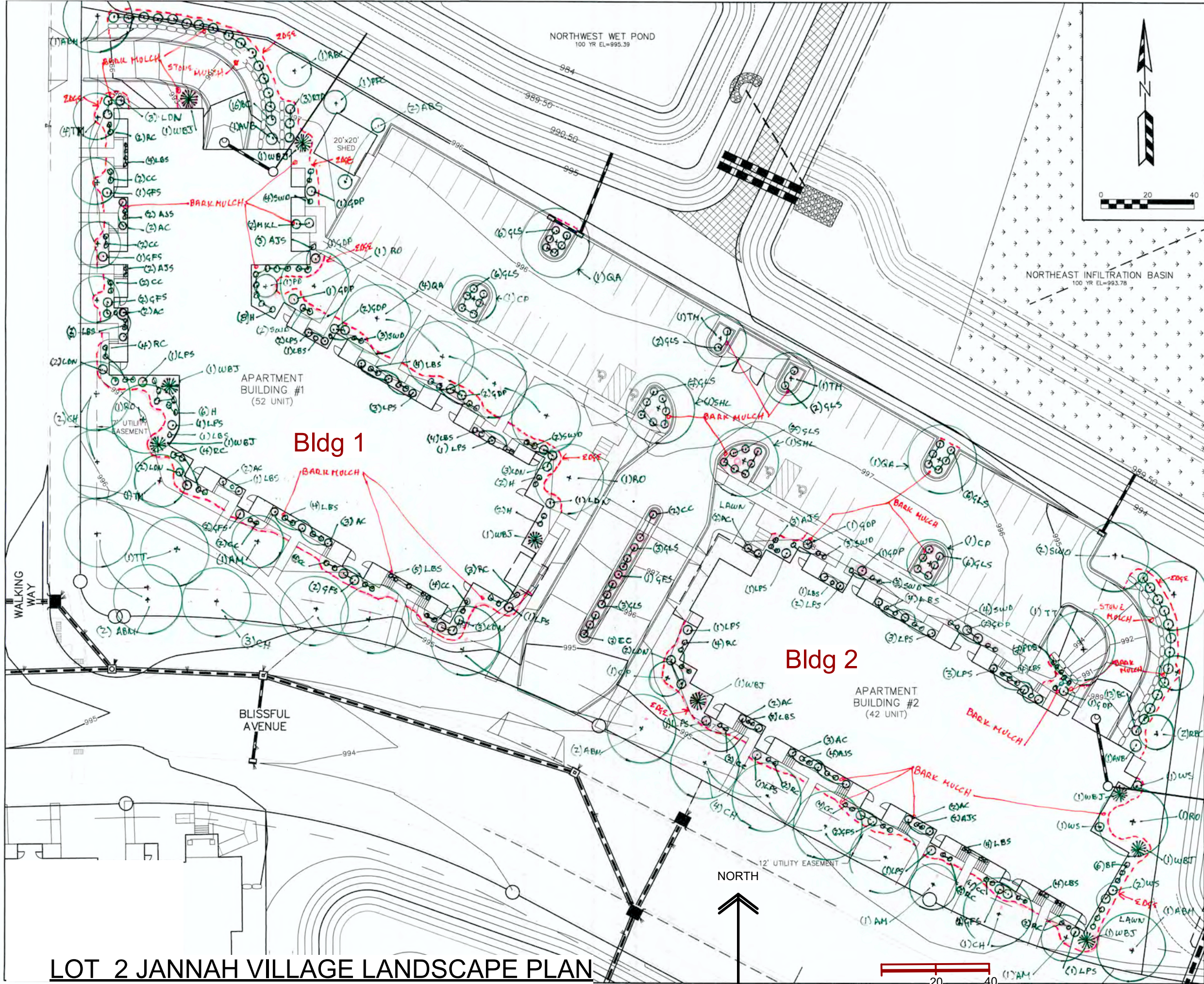
**LANDSCAPE ARCHITECT CONSULTANT**  
**PAUL SKIDMORE Landscape Architect, LLC**  
 13 Red Maple Trl Madison, WI 53717  
 608-826-0032 paulskidmore@tds.net

**SiegerARCHITECTS**  
 ARCHITECTURE  
 73 WHITE OAKS LN Madison, WI 53711  
 Phone: 608-347-7332 siegerarchitects@siegerarchitects.com

**project**  
 LINDSAY HAGENS  
 Jannah Village  
 Madison, WI

**owner**

**LA 1**  
 8.16.21



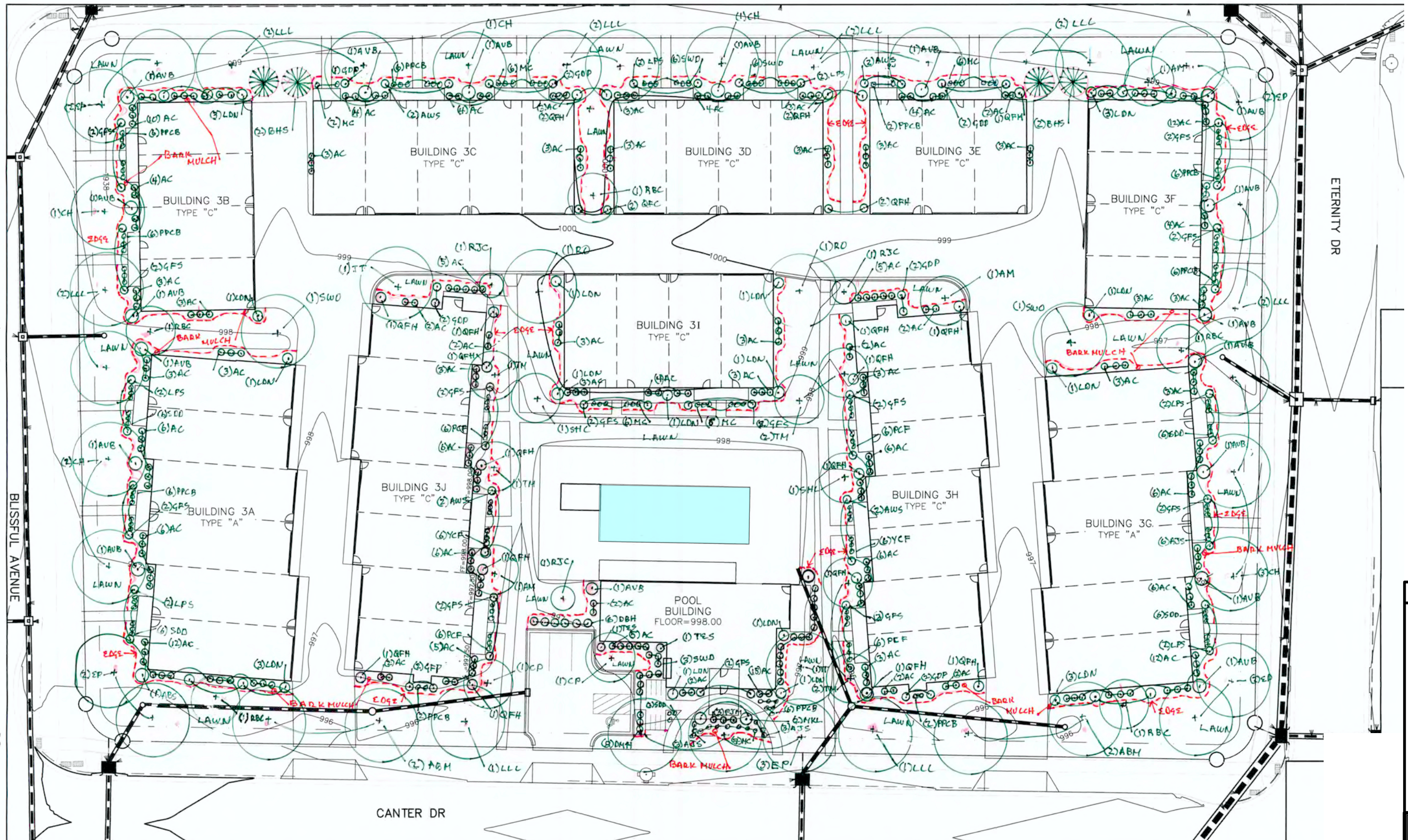
LOT 2 JANNAH VILLAGE LANDSCAPE PLAN

LANDSCAPE ARCHITECT CONSULTANT  
 PAUL SKIDMORE Landscape Architect, LLC  
 13 Red Maple Trl Madison, WI 53717  
 608-826-0032 paulskidmore@tds.net

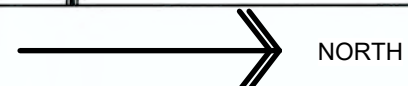
architect  
**SiegerARCHITECTS**  
 ARCHITECTURE  
 73 WHITE OAKS LN Madison, WI 53711  
 Phone: 608.347.7332 siegerarchitects@sigglobal.net

project  
**LINDSAY HAGENS**  
 Jannah Village  
 Madison, WI  
 owner

**LA 2**  
 8.16.21



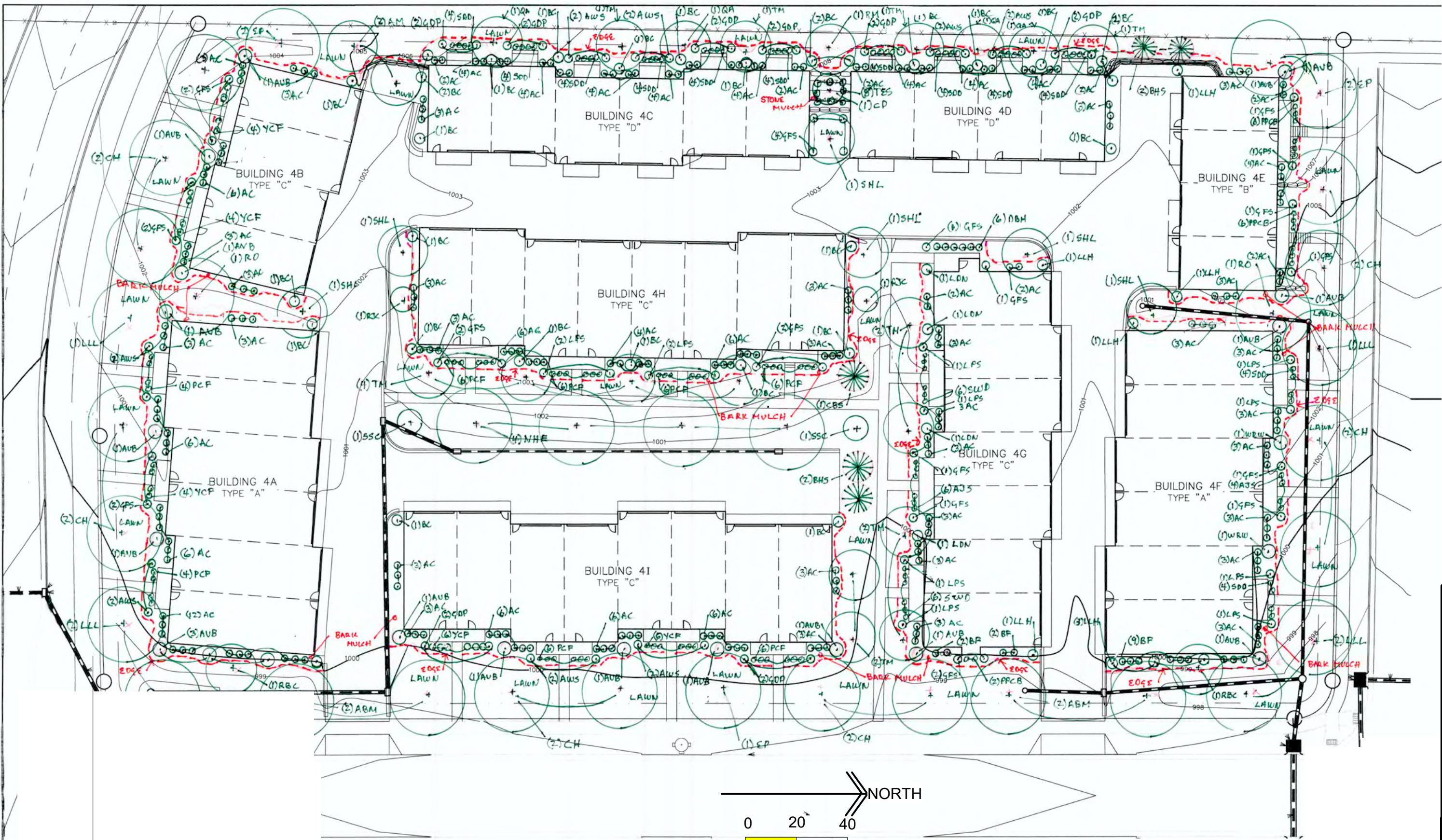
# LOT 3 JANNAH VILLAGE LANDSCAPE PLAN



**LANDSCAPE ARCHITECT CONSULTANT**  
**PAUL SKIDMORE Landscape Architect, LLC**  
 13 Red Maple Trl Madison, WI 53717  
 608-826-0032 paulskidmore@tds.net

**SiegerARCHITECTS**  
 ARCHITECTURE  
 73 WHITE OAKS LN Madison, WI 53711  
 Phone: 608.347.7332 siegearchitects@sigebobal.net

<b>LINDSAY HAGENS</b> Jannah Village Madison, WI	project
	owner
<b>LA-3</b>	8.16.21



**LOT 4 JANNAH VILLAGE LANDSCAPE PLAN**

**LANDSCAPE ARCHITECT CONSULTANT**  
**PAUL SKIDMORE Landscape Architect, LLC**  
 13 Red Maple Trl Madison, WI 53717  
 608-826-0032 paulskidmore@tds.net

**SiegerARCHITECTS**  
 ARCHITECTURE  
 73 WHITE OAKS LN Madison, WI 53711  
 Phone: 608-347-7332 siegerarchitects@siegerarchitects.com

**project**  
**LINDSAY HAGENS**  
 Jannah Village  
 Madison, WI

**owner**

**LA 4**  
 8.16.21





## Plant Specifications

### General Information

is hereinafter referred to as the Owner and may be represented by an approved representative. Paul Skidmore hereinafter referred to as the **Landscape Architect**.

The Contractor signing this Agreement, or his duly appointed representative is hereinafter referred to as the **Contractor**.

Bidding is based on sheets LA1-6 dated 8/21 and specifications.

The competency and responsibility of Bidders will be considered in making the award. The Owner reserves the right to reject any or all bids, and to waive informality in bids received.

### Responsibilities of Contractor

Laws and Ordinances: The Contractor and all Subcontractors shall bind themselves to comply with all laws and ordinances and requirements of all authorities having jurisdiction over this property, and shall protect the owners from damage arising from violation thereof.

The Contractor shall give his personal supervision to the work, and have a responsible superintendent continuously on the job to act for him.

Terms of payment will be as established by the Owner.

Public liability and property damage insurance will be as determined by the Owner.

### Approval and Rejection of Materials

**Approval:** The selection of all materials and execution of all operations required under these drawings and specifications are subject to approval of the Landscape Architect or Owner.

**Rejection:** The Landscape Architect or Owner shall have the right to reject all material and all work which in his opinion does not meet the requirements of the drawings and specifications at any stage of the operation, All rejected material shall be removed by the Contractor as directed.

### Layout

The Contractor shall layout his work and set necessary markers and stakes, and be responsible for the corrections. The Landscape Architect, or Owner, reserves the right to relocate shrubs and trees from positions on the plans prior to planting. The Contractor shall notify the Landscape Architect, Owner at least three (3) days in advance that the locations are staked and ready for approval prior to planting.

### Extra or Omitted Work

While no new or unforeseen items are anticipate, they shall be classed as extra work in they cannot be covered by any of the specifications or drawings. The Contractor shall submit detailed prices for any extras to the Landscape Architect, and shall perform extras upon written acceptance from the Owner or Landscape Architect. In the absence of such written order, he shall not be entitled to payment for such extra work. All bids for extra work shall be submitted monthly.

### Changes in the Work

The Landscape Architect shall have authority to order minor changes in the work not involving an adjustment in the contract sum or and extension of the contract documents. Such changes may be rejected by field order or by written order. Such changes shall be binding on the Owner and Contractor.

The Owner without invalidating the contract, may order changes in the work consisting of additions, deletions or the other revisions, with the contract time being adjusted accordingly. All changes in the work shall be authorized by change order and shall be executed under the applicable conditions to the contract documents.

### Landscape Architect's Status

The Landscape Architect is the agent of the Owner. He has authority to stop work whenever such stoppage may be necessary to insure the proper execution of the Contract.

The Landscape Architect is the interpreter of the conditions of the contract and the judge of its performance; he shall side neither with the Owner nor with the Contractor, but shall use his powers under the Contract to enforce its faithful performance by both.

### Drawings and Specifications

Should there be anything shown on the drawings but not described in the specifications, or not shown on the drawings but described in specifications, the same shall be fully executed and carried out as if drawn, shown, or described in both. The Contractor is not to make any alterations or corrections on the drawings or in the specifications. Should any error appear, the same is to be referred to the Landscape Architect before the bids are submitted, or the work is commenced, or as otherwise specified herein.

Landscape contractor to verify all plant quantities prior to bid.

### Examination of Site

All contractors submitting proposals for this work shall first examine the site and all conditions at the site. All proposals shall take into consideration all such conditions as may effect the work under this contract.

### Measurements, Layouts and Levels

All lines and levels necessary for the location and erection of the landscape construction and for the excavation, filling, and grading work shall be established by the Contractor. The Contractor shall take his own measurements of the site, verifying it with the drawings, and shall be responsible for the proper fit of his portion of the completed work.

Extra changes or compensation will not be allowed on the account of differences between actual measurements and the dimensions shown on the drawings, but any such differences that may be found shall be submitted to the Landscape Architect for adjustment before proceeding with the work.

### Guarantee

All plants shall be guaranteed by the Contractor, for a twelve (12) month period after date of acceptance. The Contractor shall replace all dead materials and all materials not in a vigorous, thriving condition, as soon as weather permits and on notification by the Landscape Architect. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Landscape Architect shall be final.

Plants used for replacement shall be of the same kind of size as those originally planted, and shall be planted as originally specified, replacements shall carry a twelve (12) month guarantee from date of replacement. Any damage, including runs in lawn and bed areas, incurred in making replacements shall be immediately repaired.

At the direction of the Landscape Architect, plants may be replaced at the start of next year's planting or digging season; but in such cases, dead plants shall be removed from the premises as soon as they are designated to be replaced.

The Owner agrees for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

To insure that proper maintenance is being performed by the Owner during the guarantee period, the Contractor shall:

1. Make at least one site inspection every month to ascertain any maintenance deficiencies.
2. Inform Owner's maintenance supervisor of any maintenance deficiencies.
3. Prepare written documentation of the site inspection, noting all deficiencies encountered, maintenance personnel who are made aware of deficiencies, suggested remedy methods, and any other pertinent comments on maintenance.
4. Submit this written documentation of the monthly inspection to the Landscape Architect as well as to the Owner.

The Above guarantee shall not apply where plants die after acceptance because of injury by storms, drowning from floods, hail, freeze, insects, disease, injury by humans, machines or theft. These items are to be negotiated between the Owner and Contractor.

### Plants (General)

Plant material shall be delivered to the site only after the beds are prepared and are ready for planting. All shipments of nursery materials shall be thoroughly protected from the sun and from drying winds during transit. All plants that cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Ball of earth on B&B plants shall be kept covered with soil or other acceptable material. All plants remain property of the Contractor until final acceptance.

Plants shall be nursery grown, healthy, vigorous, bushy, well balanced, of normal habit of growth for the species, and shall be free from disease, insect eggs and larvae. they shall have crown and root ball sizes that meet or exceed the standards set forth in "Grades & Standards for Nursery Plants by the AAN. The specified sizes shall be before pruning and plants shall be measured with their branches in normal position. Plants shall not be pruned prior to delivery, except upon special approval. All pruning of new trees and shrubs, as directed by the landscape Architect, shall be executed by the Contractor at no additional cost to the Owner.

Trees shall be healthy, vigorous, full-branched, single leader, well shaped, and shall meet the trunk diameter, height, and spread requirements of the plant list, and meet the standards of "Grades & Standards for Nursery Plants". Balls shall be firm, neat, slightly tapered and well burlapped. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be sized in accordance with the AAN Standards.

All shrubs and groundcovers shall be of "specimen" quality, full and bushy to the ground, and of compact growth.

All plants shall be hardy underclimatic conditions similar to those in locality of the project.

Should the Contractor encounter soil condition that is inhospitable to normal planting, it is his responsibility to modify the soil so that the plants will thrive. These modifications may include providing any extra soil as may be required for planting.

### Tree & Shrub Planting

Plant deciduous trees in tree-pit 2'-0" greater in diameter than ball and at a height that assures roper drainage and vigorous growth. Plant evergreen trees in tree-pits 2'-0" greater in diameter than all at a height for proper drainage an vigorous growth. Fill bottom of pit (to depth of root ball) with a mixture of soil that shall be one (1) part existing top soil, to one (1) part peat moss, to one (1) part clean sand. After settling the tree, the pit shall be backfilled with soil mix, then carefully settled by watering to prevent air pockets. Form a 4" watering ring for each tree. Fertilize with Osmacote at the rate recommended by the manufacturer.

Plant shrubs in beds 8" larger than the root ball and at a height which assures proper drainage and vigorous growth. Backfill with soil mixture in the same proportions as for tree planting. Osmacote fertilizer shall be applied at the rate recommended by the manufacturer.

All plant beds plus an area three feet greater in diameter than the ball around each tree shall be mulched with 3" of clean organic mulch.

### Groundcover / Seasonal Color

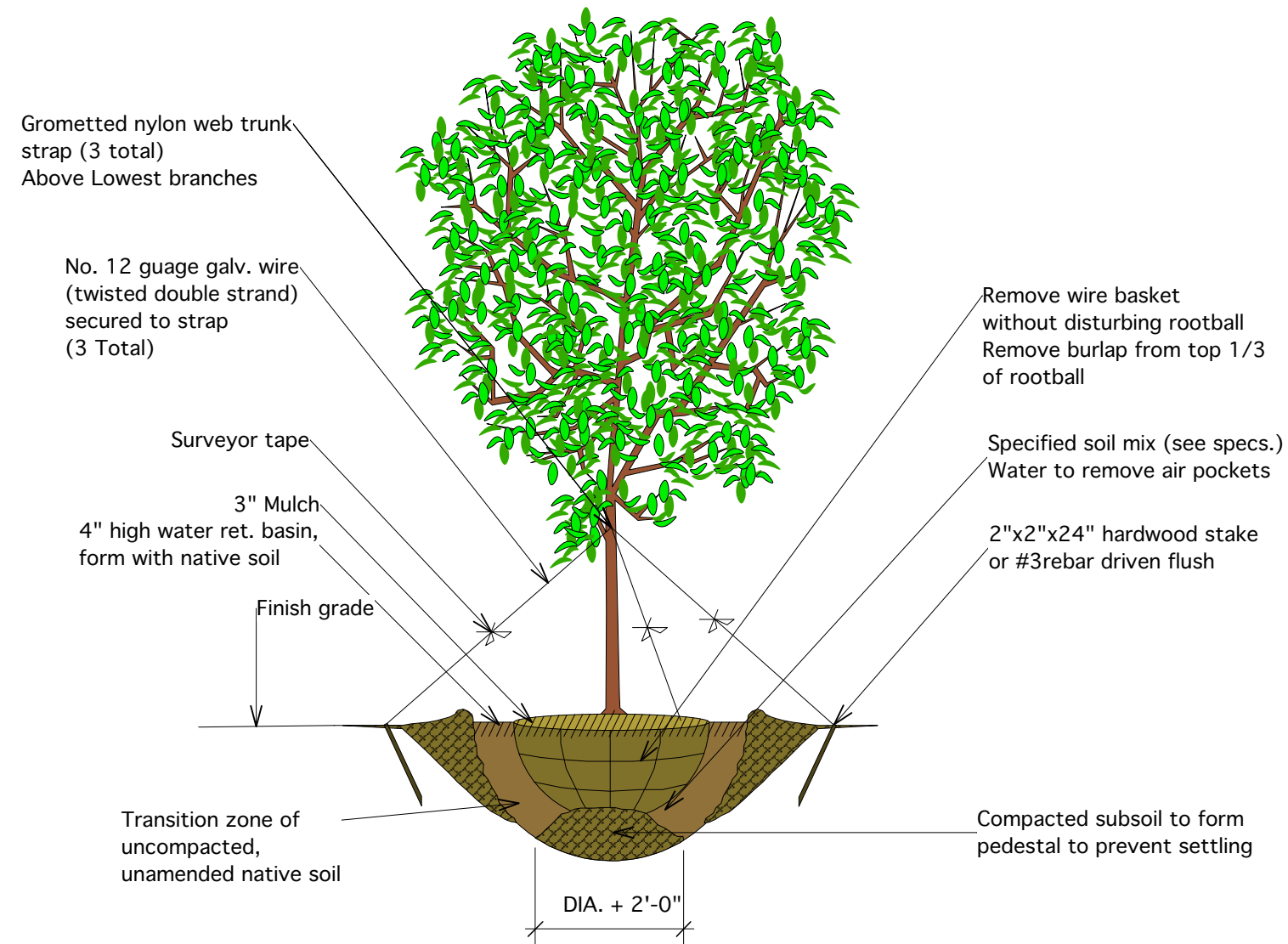
Groundcover beds shall be excavated to a depth of 6". Remove all stones, roots hardpan, debris, etc.. Roto-till excavated bed to a depth of 6". Add sufficient planting soil (1 part organic, 1 part sand, 2 part top soil) to raise entire bed 6" above original grade. Fertilize with Osmacote fertilizer at the rate of four pounds per 100 square feet. Add 1 lb. of bonemeal per50 square feet, rake in top 2" of planting soil, rake smoothly. Mulch with 3" mini bark chips.

### Grass Planting

All areas to be sodded shall be raked to a depth of 2" below finished grade of seed or sod beds and raked smoothly. Areas next to sidewalks and curbs shall be graded down one inch below finish grade to allow for thickness of grass build-up. All grass areas shall be fertilized with a commercial fertilizer at the rate as recommended by grass seed supplier.

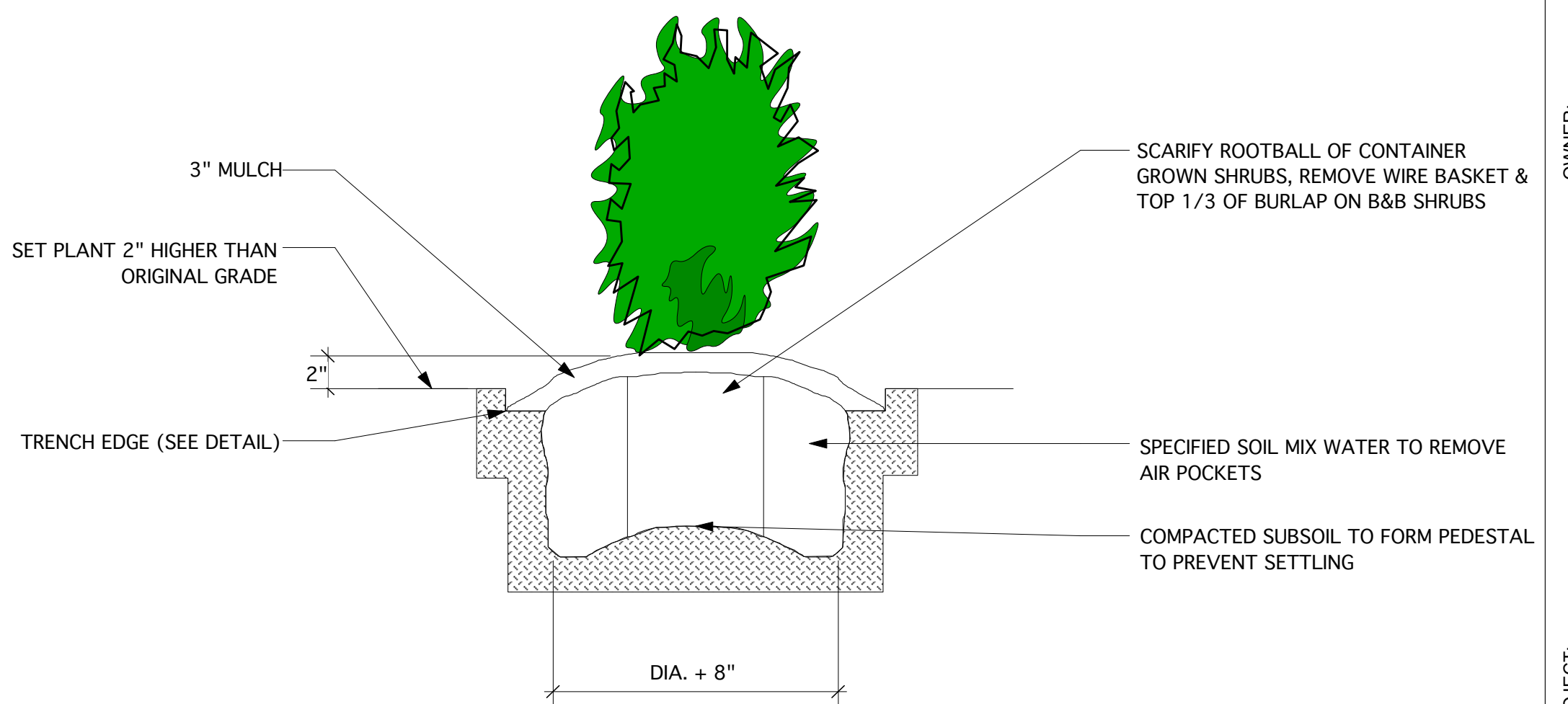
Sod areas will be planted with sod as indicated on the plans. All sod shall be placed closely so joints are flush between blocks. Sodded areas shall be rolled with a 200 pound roller, watered thoroughly and re-rolled.

**Notes: Detail shown for 2 1/2" cal. & larger deciduous trees, 7" & larger evergreen trees, & multi-trunk trees. Contractor to remove all tree staking accessories at the end of the first year of maintenance. Plant trees at a depth which will ensure proper drainage and vigorous growth for individual soil conditions.**



## 1 DECIDUOUS/ MULTI-TRUNK TREE PLANTING

L - 2 ELEVATION NOT TO SCALE

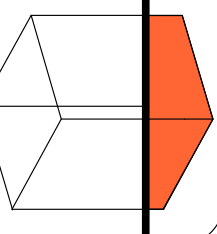


## 2 SHRUB PLANTING

L - 2 ELEVATION NOT TO SCALE

Madison, WI 53711  
Phone: 608.347-7332

**SIIEGER LLC**  
ARCHITECTURE



OWNER:  
SIMPLE HOMES MADISON LLC - LLC  
attn LINDSAY HAGENS  
phone: 608 274-3121

PROJECT:  
--- Jannah Village  
---  
--- Madison, WI

REVISIONS

DATE: 3.1.21  
PROJECT#: 2103

SHEET #  
**LA 6**

**LIGHTING FIXTURE SCHEDULE**

**Lighting Notes:**

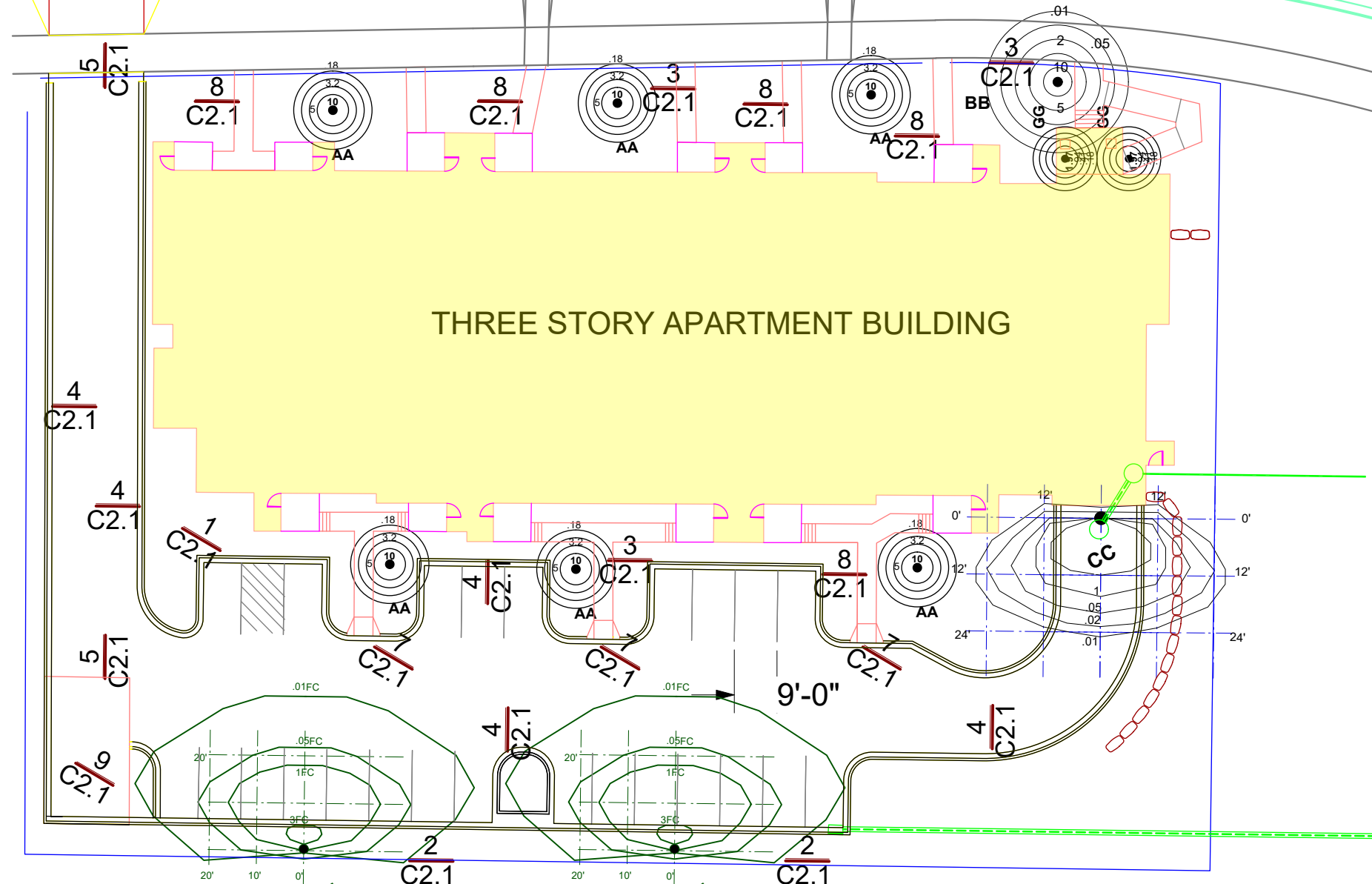
1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	RAB	BLEDR12Y-180 w/ photo cell	12W LED WARM	120	42" HT LED bollard- walk lites WHITE
BB	RAB	BLEDR24Y w/ photocell	24W LED WARM	120	42" HT LED bollard- entry lites WHITE
CC	RAB	SLIM 18 NW	12w LED -warm	120	Wall Pack -mt ht 12' @ SPORT COURT white
EE	RAB - LED	SLEDR 5W w/ photocell	5W -LED -warm	120	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED4T 78 POLE LT w/ accesories	78W - LED WARM	120	AREA LIGHT 2 hd per 16' pole -white
GG	RAB	NDLED6R-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ entry

WALKING WAY

BLISSFUL AVENUE

SEE SHEET C2.1 FOR ARCHITECTURAL SITE DETAILS



**SITE LIGHTING PLAN- SITE DETAILS**

ARCHITECTURE  
**J. SIEGER**  
 LLC  
 3 WHITE OAKS LN  
 MADISON, WI 53711  
 Phone: 608.283.6100 Fax: 608.283.6101  
 siegerarchitects@sbcglobal.net

Project: **JANNAH VILLAGE 242 UNIT MADISON, WI**  
 Owner: **SIMPLE HOMES MADISON LLC**  
 Linsav Hagens 608-446-2224  
 simplehomesproperties@gmail.com

**CD.1**  
 2.12.21

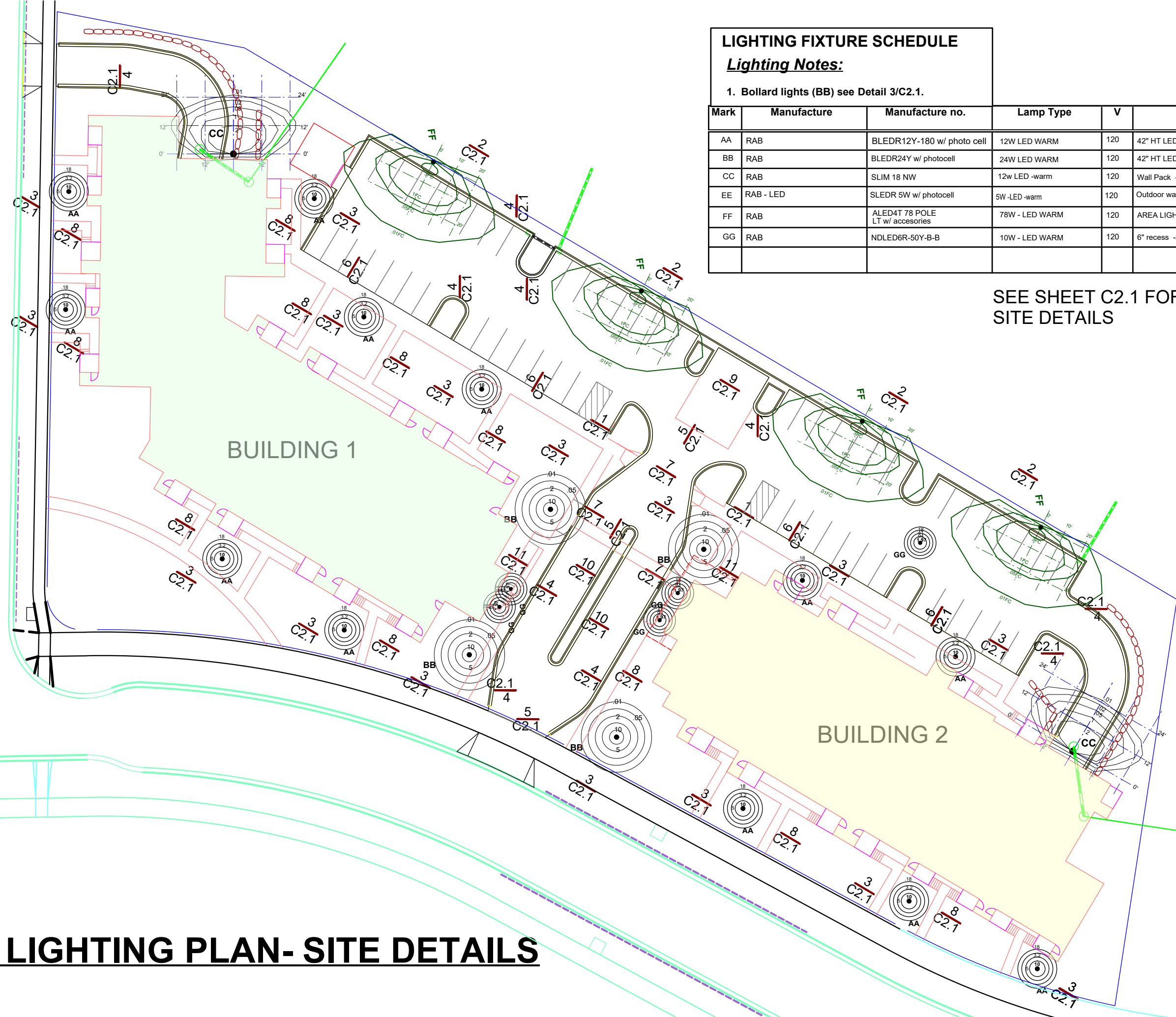
### LIGHTING FIXTURE SCHEDULE

#### Lighting Notes:

1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacture	Manufacture no.	Lamp Type	V	Description
AA	RAB	BLEDR12Y-180 w/ photo cell	12W LED WARM	120	42" HT LED bollard- walk lites WHITE
BB	RAB	BLEDR24Y w/ photocell	24W LED WARM	120	42" HT LED bollard- entry lites WHITE
CC	RAB	SLIM 18 NW	12w LED -warm	120	Wall Pack -mt ht 12' @ SPORT COURT white
EE	RAB - LED	SLEDR 5W w/ photocell	5W -LED -warm	120	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED4T 78 POLE LT w/ accessories	78W - LED WARM	120	AREA LIGHT 2 hd per 16' pole -white
GG	RAB	NDLED6R-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ entry

SEE SHEET C2.1 FOR ARCHITECTURAL SITE DETAILS



## SITE LIGHTING PLAN- SITE DETAILS

architect  
**LLC SIEGER**  
 ARCHITECTURE  
 3 WHITE OAKS LN  
 Madison, WI 53711  
 Phone: 608.283.6100 Fax: 608.283.6101  
 siegerarchitects@sbcglobal.net

project  
**JANNAH VILLAGE 242 UNIT**  
**MADISON, WI**  
 owner  
**SIMPLE HOMES MADISON LLC**  
 Linsav Hagens 608-446-2224  
 simplehomesproperties@gmail.com

**CD.2**  
 2.12.21

BLISFUL AVENUE

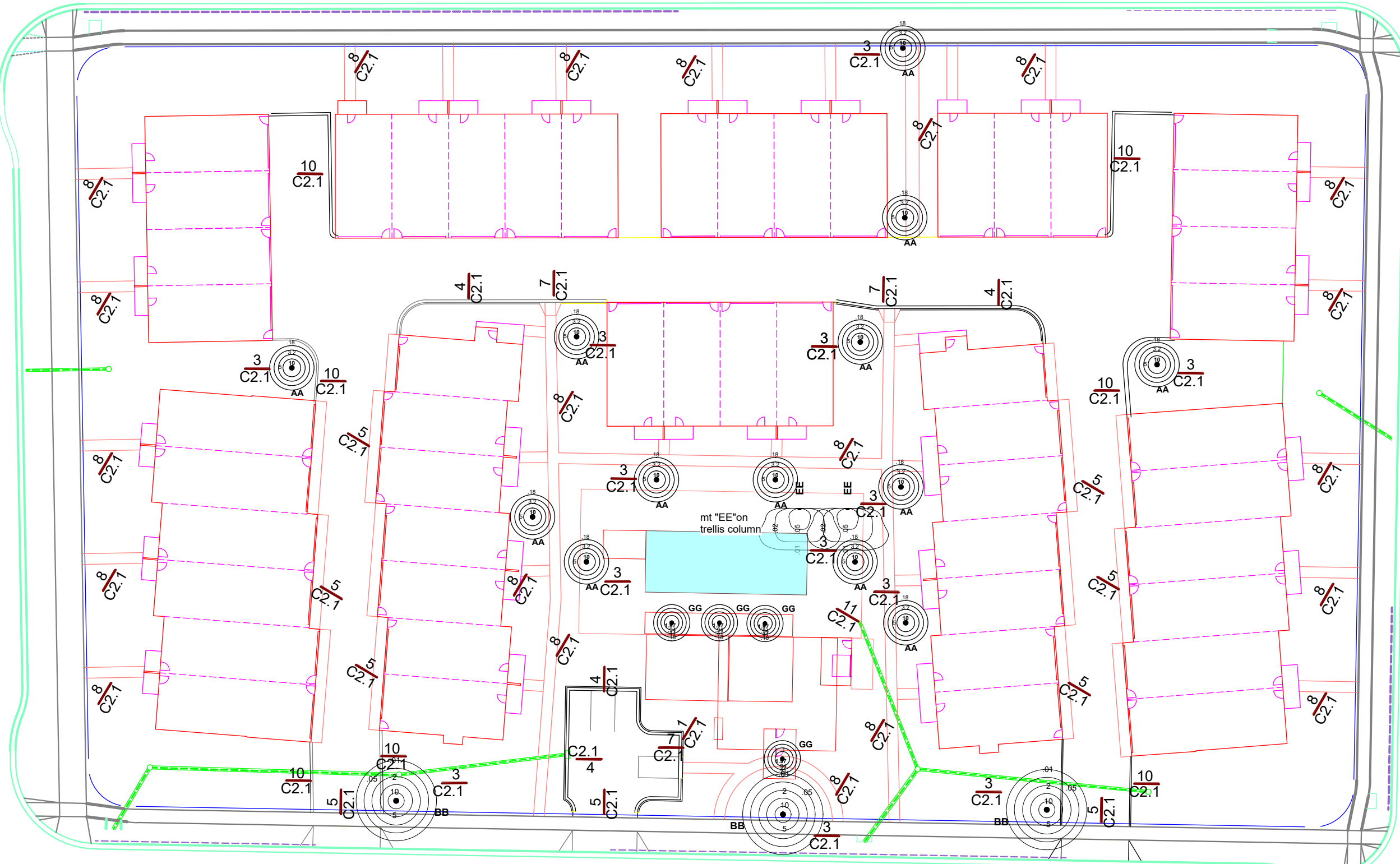
WISDOM ROAD

ETERITY DRIVE

WALKING WALL

# SITE LIGHTING PLAN- SITE DETAILS

SCALE: 1" = 4'0" @ 11X17 SHT SIZE



## LIGHTING FIXTURE SCHEDULE

### Lighting Notes:

1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacturer	Manufacture no.	Lamp Type	Description
AA	RAB	BLEDR12Y-180 w/ photo cell	12W LED WARM	42" HT LED bollard-walk lines WHITE
BB	RAB	BLEDR24Y w/ photocell	24W LED WARM	42" HT LED bollard-entry lines WHITE
CC	RAB	SUM 18 NW	12W LED-warm	Wall Pack -mt ht 12" @ SPORT COURT white
EE	RAB - LED	SLEDR 5W w/ photocell	5W LED-warm	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED178 POLE LT w accessories	78W - LED WARM	AREA LIGHT 2 ht per 16' pole -white
GG	RAB	NLEDR-50Y-B-B	10W - LED WARM	6" recess -mt in soffit overhang @ entry

**JANNAH VILLAGE 242 UNIT**  
MADISON, WI

**SIMPLE HOMES - MADISON LLC**  
Linsay Hagens 608-446-2224  
simplehomesproperties@gmail.com

**ILLIC SIEGER**  
ARCHITECTURE

3 WHITE OAKS LN Madison, WI 53711  
Phone: 608.283.6100 Fax: 608.283.6101  
siegerarchitects@sbcglobal.net

CD.3

2.12.21

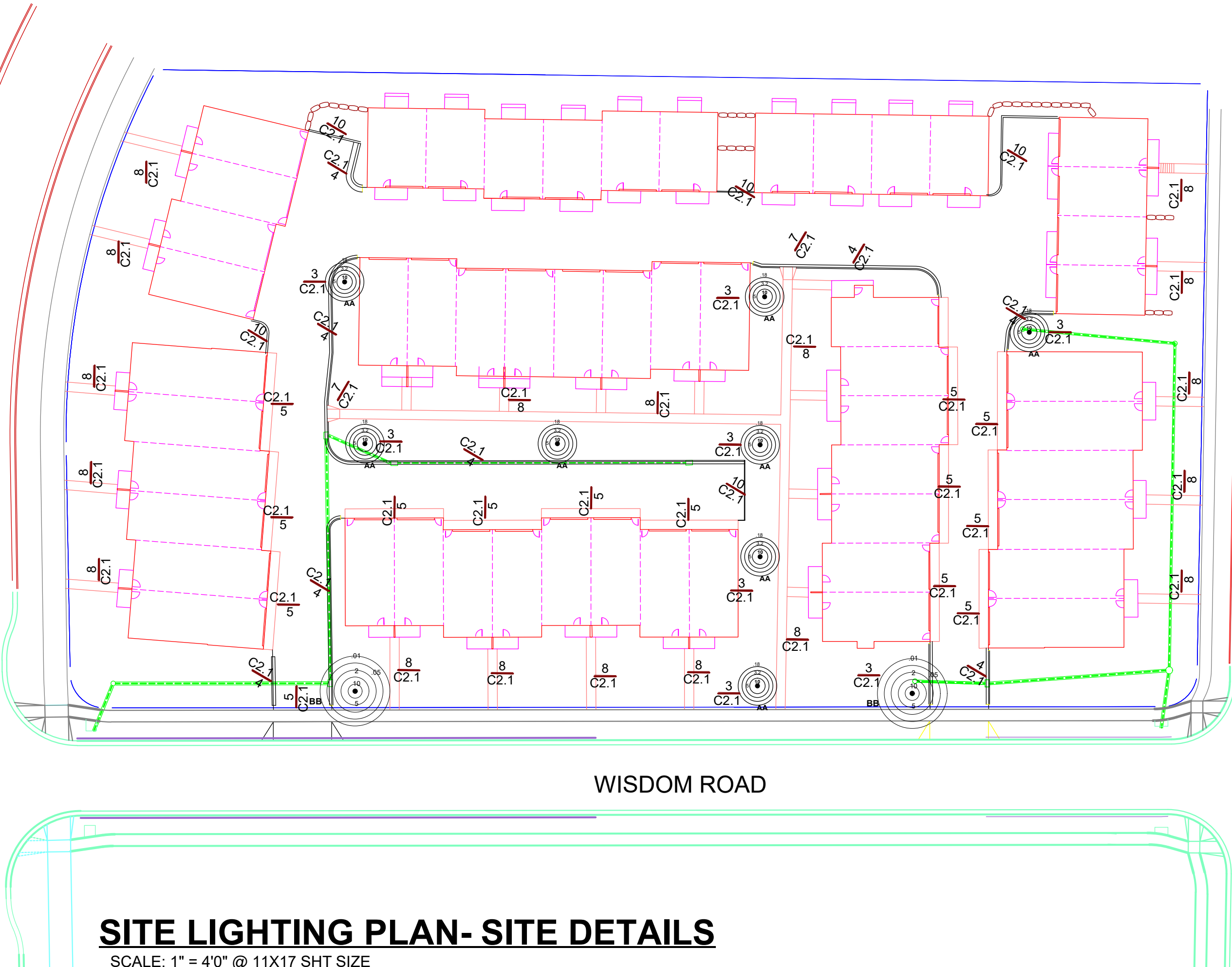
BLISFUL AVENUE

ETERITY DRIVE

WISDOM ROAD

# SITE LIGHTING PLAN- SITE DETAILS

SCALE: 1" = 4'0" @ 11X17 SHT SIZE



## LIGHTING FIXTURE SCHEDULE

### Lighting Notes:

1. Bollard lights (BB) see Detail 3/C2.1.

Mark	Manufacturer	Manufacture no.	Lamp Type	V	Description
AA	RAB	BLED12Y-180 w/ photocell	12W LED WARM	120	42" HT LED bollard-walk lines WHITE
BB	RAB	BLED24Y w/ photocell	24W LED WARM	120	42" HT LED bollard-entry lines WHITE
CC	RAB	SUM 18 NW	12w LED-warm	120	Wall Pack -mht 12" @ SPORT COURT white
EE	RAB - LED	SLED18 5W w/ photocell	5W LED-warm	120	Outdoor wall lt mt @ 24" recess in wall -white
FF	RAB	ALED176 POLE LT w accessories	78W - LED WARM	120	AREA LIGHT 2 ht per 16' pole -white
GG	RAB	NPLEDR-50Y-B-B	10W - LED WARM	120	6" recess -mt in soffit overhang @ entry

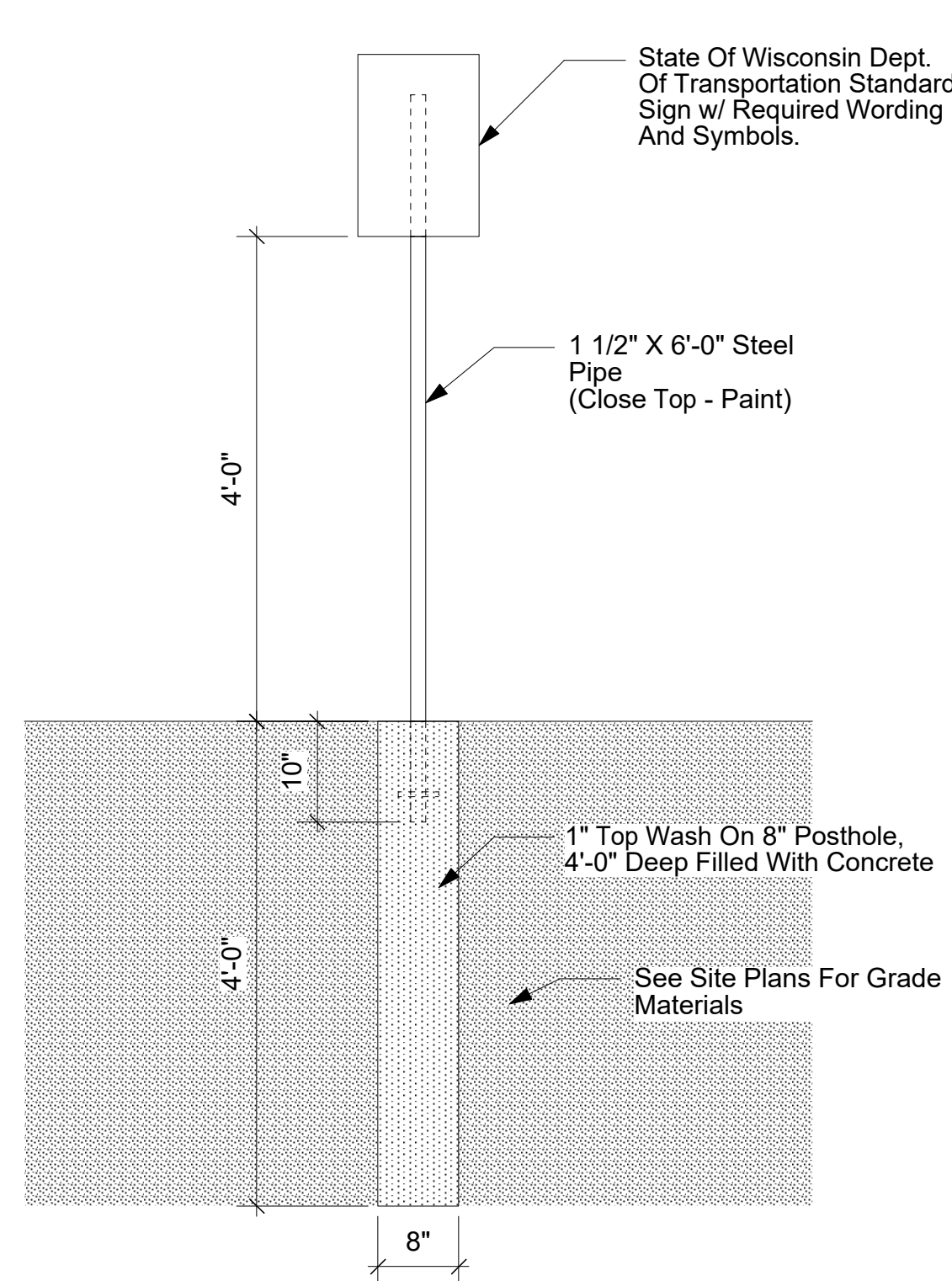
project  
**JANNAH VILLAGE 242 UNIT  
 MADISON, WI**

owner  
**SIMPLE HOMES -MADISON LLC**  
 Linsay Hagens 608-446-2224  
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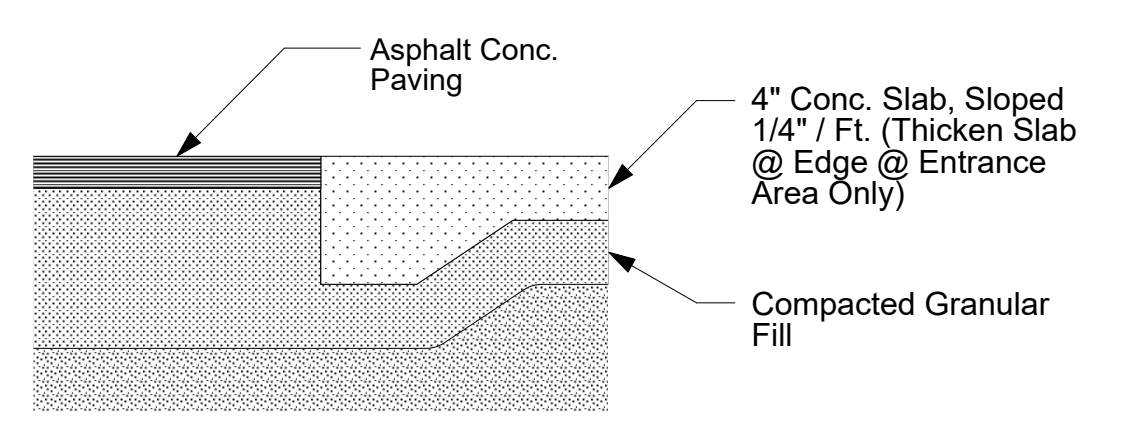
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2.12.21

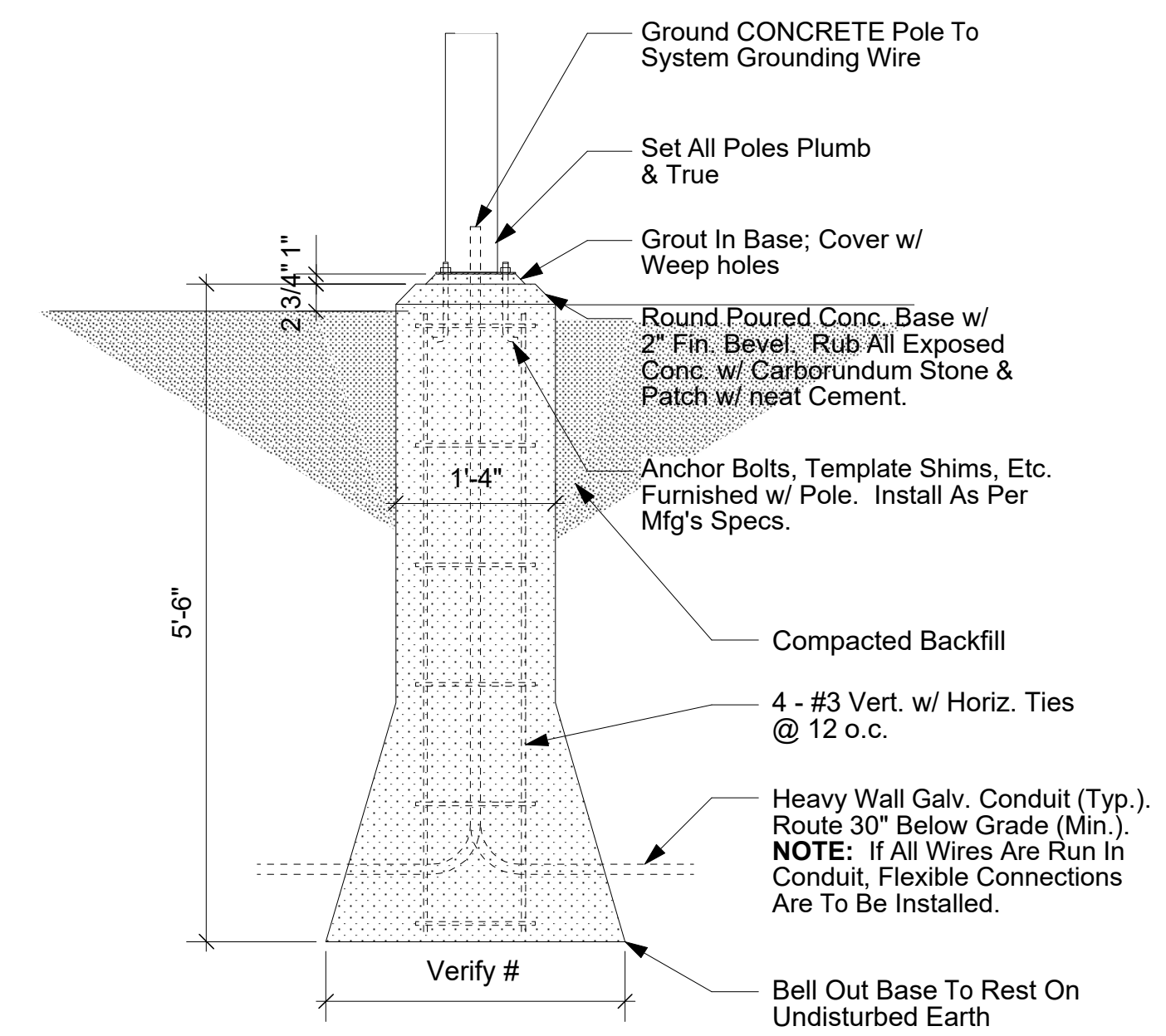
ARCHITECTURE  
**ILLIC SIEGER**  
 3 WHITE OAKS LN Madison, WI 53711  
 Phone: 608.283.6100 Fax: 608.283.6101  
 siegerarchitects@sbcglobal.net



**1 HANDICAP PARKING SIGN**  
Scale: 1" = 1'-0"

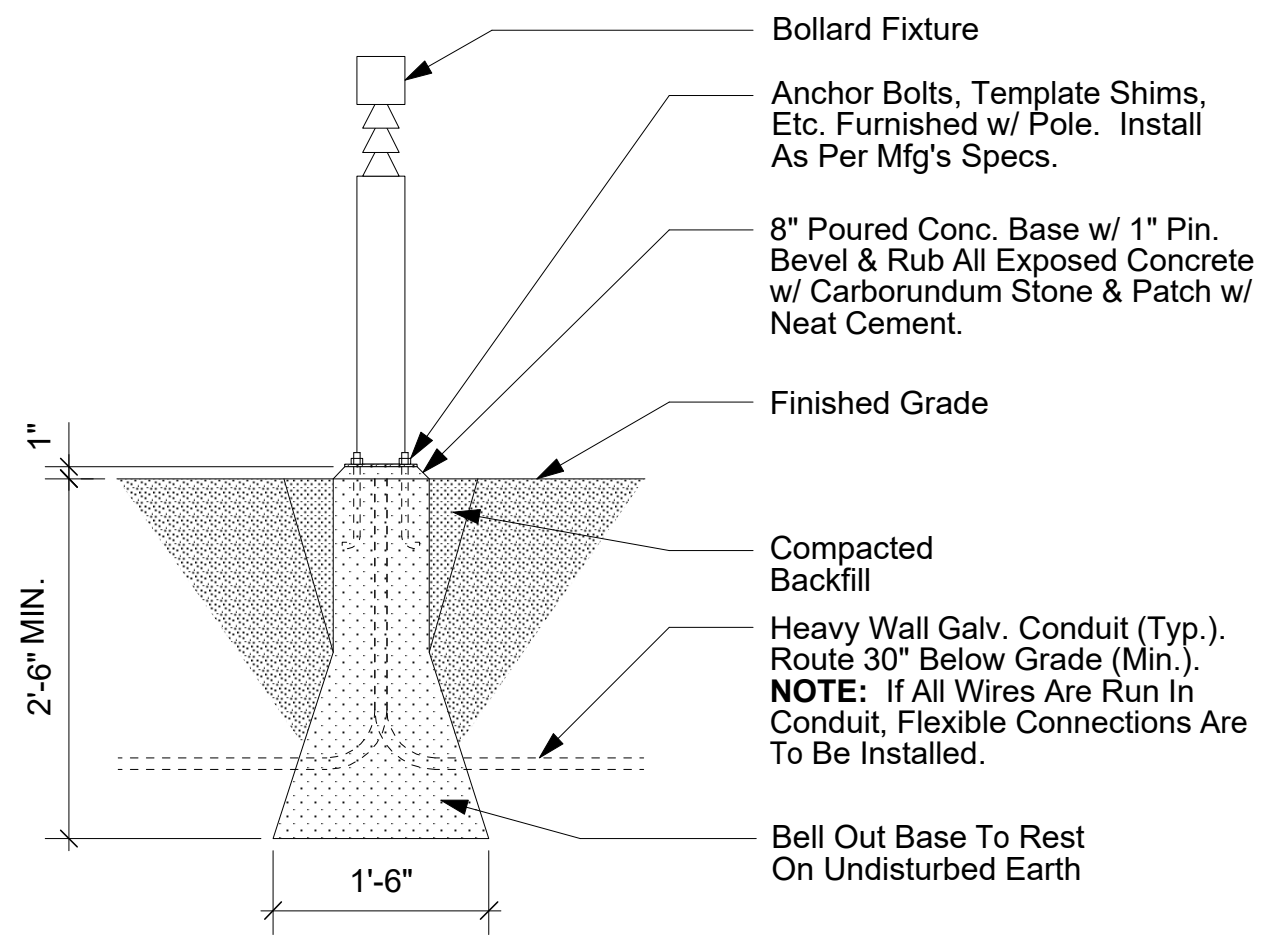


**5 CONCRETE WALK EDGE DETAIL**  
Scale: 1" = 1'-0"

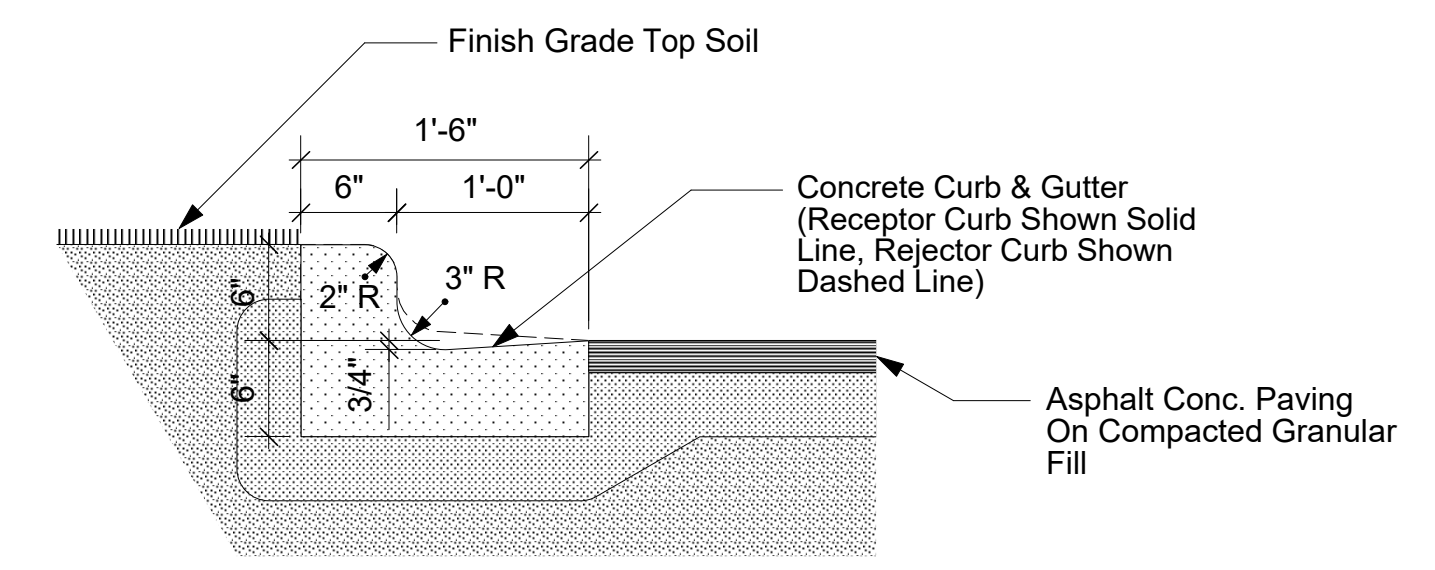


# As Required By Local Soil Conditions And Code Requirements.

**2 LIGHT POLE BASE**  
Scale: 3/4" = 1'-0"

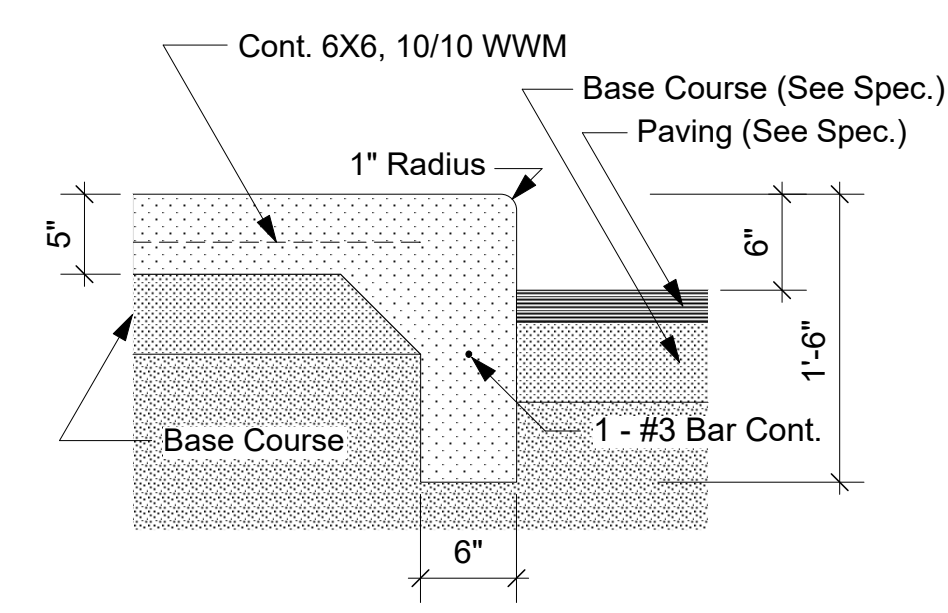


**3 BOLLARD BASE**  
Scale: 3/4" = 1'-0"

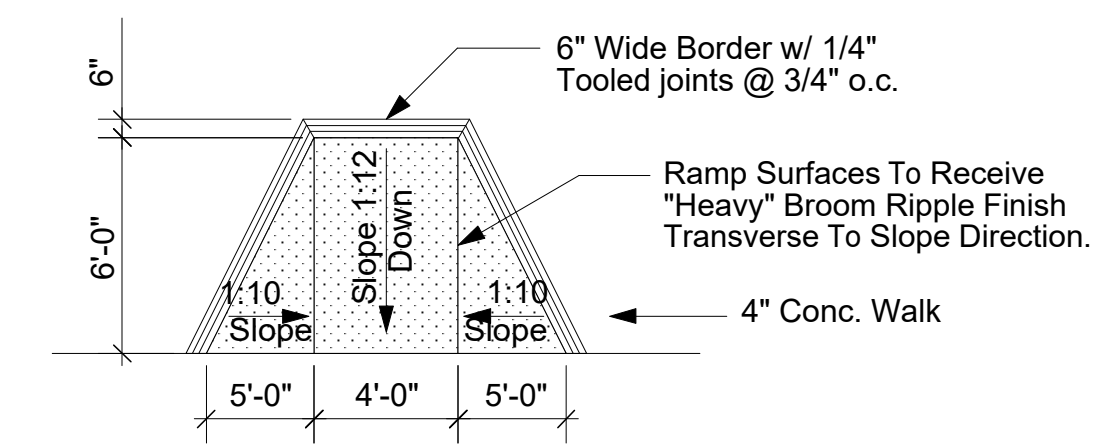


**4 CURB**  
Scale: 1" = 1'-0"

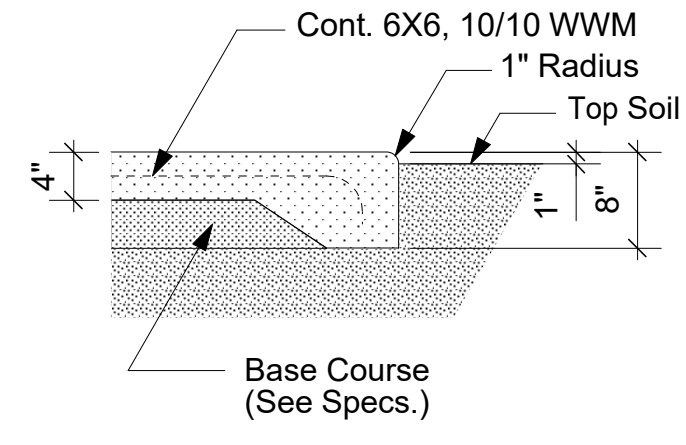
STANDARD CURB AT ALL PARKING AS WHEEL STOP



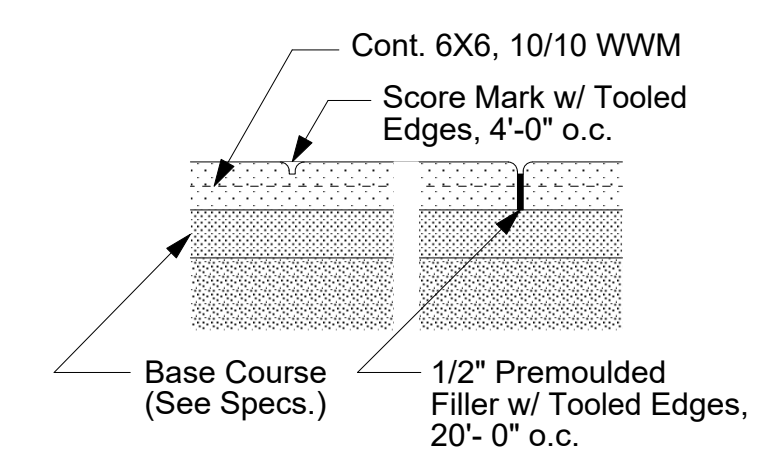
**6 WALK & CURB**  
Scale: 1" = 1'-0"



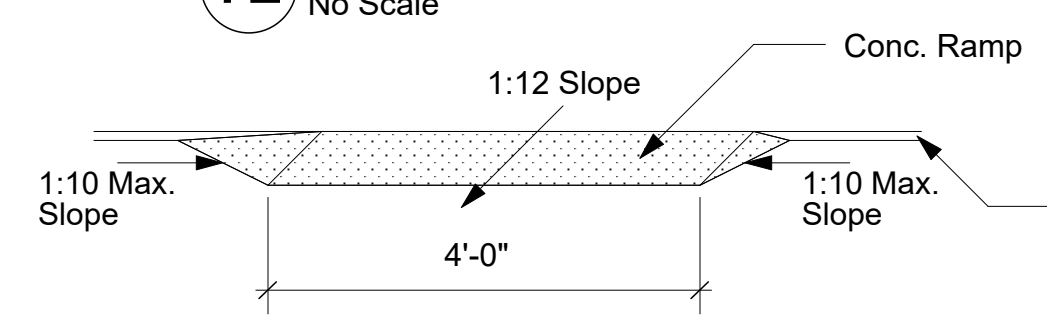
**7E HANDICAPPED RAMP**  
No Scale



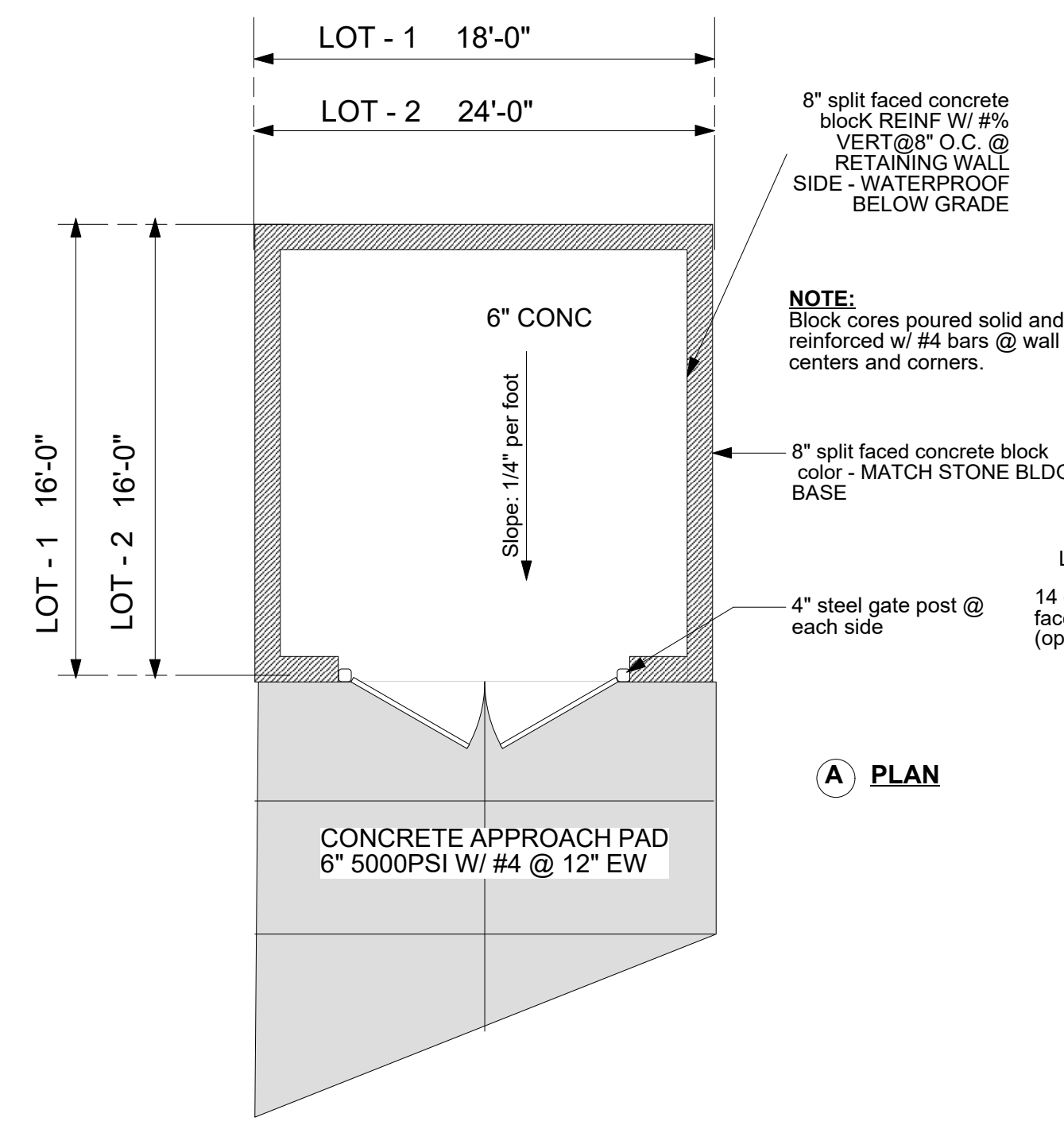
**8A WALK & LAWN**  
Scale: 3/4" = 1'-0"



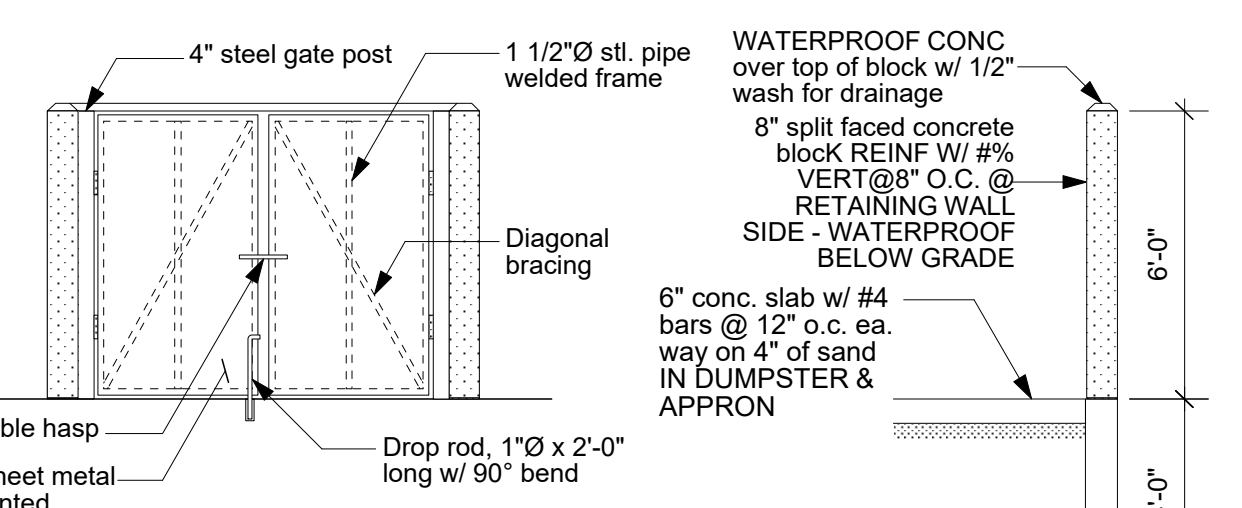
**8B WALK JOINT**  
Scale: 3/4" = 1'-0"



**7F HANDICAPPED RAMP**  
No Scale



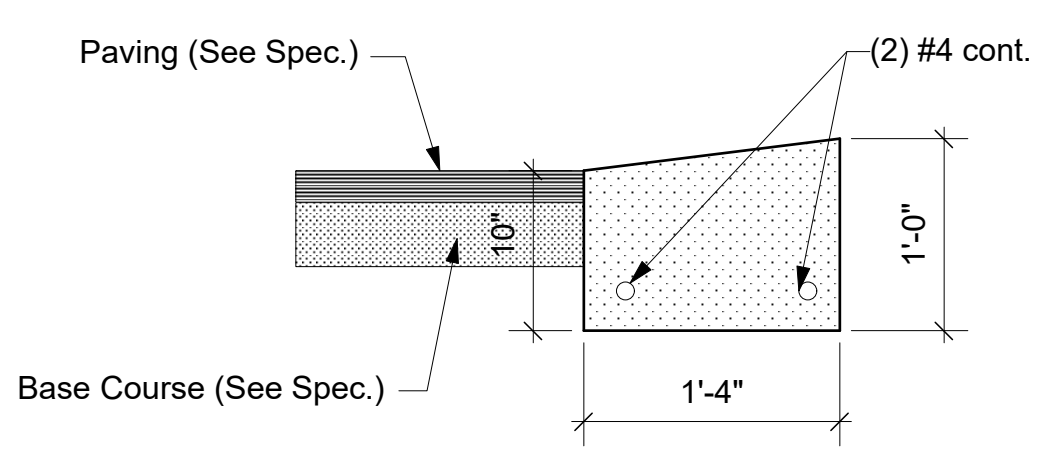
**A PLAN**



**B ELEVATION**

**C SECTION**

**9 TRASH ENCLOSURE**  
Scale: 1/4" = 1'-0"



**10 CURB DETAIL**  
Scale: 1" = 1'-0"



**11 Entry Waste Containers**  
Scale: 3/4" = 1'-0"

architect <b>SIEGER ARCHITECTURE</b> 73 WHITE OAKS LANE, Madison, WI 53711 Phone: 608-347-7332 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE</b> <b>MADISON, WI</b>	<b>CD.5</b>
	owner <b>Lindsay Hagens</b> <b>Madison, WI</b>	

\*NOTE: Drawings are 50% scale for 11x17 print sets.

## Technical Specifications (continued)

### Construction

#### Mounting:

Four (4) anchor bolts provided for concrete pad mounting. Internal base support has leveling screws.

#### Gaskets:

High-temperature silicone gaskets seal out moisture gaskets seal out moisture

#### Anchor Bolt:

Anchor Bolt Dimension is available [here](#).

#### Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color

#### Green Technology:

Mercury and UV free. RoHS-compliant components.

### Other

#### California Title:

BDLEDR24 can be used to comply with 2016 Title 24 Part 6 when used with a remote mounted photosensor control. Select PCS900 (120V) or PCS1900/277 (277V) to order a photosensor accessory.

#### Patents:

The design of BLED is protected by patents in US, Canada & China

#### Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

#### Equivalency:

Equivalent to 70W Metal Halide

#### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

### Electrical

#### Driver:

Constant Current, Class 2, 480V, 50/60 Hz, 4kV Surge Protection, 720mA, 480V: 0.05A

#### THD:

9.3% at 480V

#### Power Factor:

83.6% at 480V

## Dimensions



## Features

- Patented base mount design for super sturdy installation
- Durable construction and frosted vandal-resistant polycarbonate lens
- Precision-engineered optics deliver maximum downward lighting without glare
- Four leveling screws provided for easy installation
- 100,000-hour LED lifespan



## Technical Specifications (continued)

### Construction

#### Lens:

Polycarbonate lens

#### Mounting:

Hinged wiring access and conduit entries on the back, sides, top and bottom make installation a snap

#### Cut Off:

Adjustable from 0° (full cutoff) to 90°. 7 settings at 15° each.

### Finish:

Formulated for high durability and long-lasting color

### Green Technology:

Mercury and UV free. RoHS-compliant components.

### Other

#### 5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

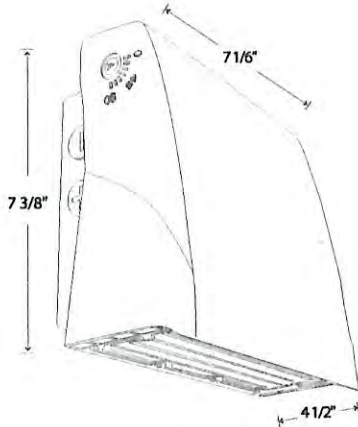
### Equivalency:

Equivalent to 175W Metal Halide

### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

## Dimensions



## Features

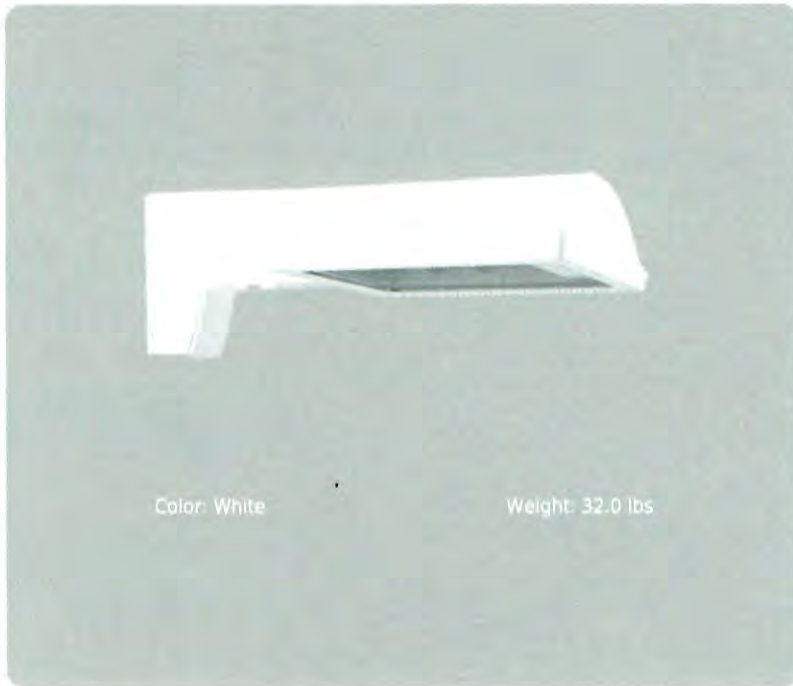
- Selectable CCT
- Adjustable cutoff
- Integrated photocell
- 0-10V dimming standard

## Ordering Matrix

Family	Wattage	Style
SLIM17FA	30	ADJ

15 = 15W    **ADJ** = Angle Adjustable  
 30 = 30W





**Project:**

**Type:**

**Prepared By:**

**Date:**

### Driver Info

Type	Constant Current
120V	1.31A
208V	0.80A
240V	0.69A
277V	0.60A
Input Watts	151.4W

### LED Info

Watts	150W
Color Temp	4000K (Neutral)
Color Accuracy	71 CRI
L70 Lifespan	100,000 Hours
Lumens	17,213
Efficacy	113.7 lm/W

## Technical Specifications

### Compliance

#### UL Listed:

Suitable for wet locations

#### DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.  
DLC Product Code: P00001750

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

#### Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

### Performance

#### Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

### Construction

#### IES Classification:

The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

#### Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

#### Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

#### Thermal Management:

Superior thermal management with external "Air-Flow" fins

#### Lens:

Tempered glass lens

### Housing:

Die-cast aluminum housing, lens frame and mounting arm

### IP Rating:

Ingress protection rating of IP66 for dust and water

### Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

### Reflector:

Specular vacuum-metallized polycarbonate

## Finish:

Formulated for high durability and long-lasting color

## Green Technology:

Mercury and UV free. RoHS-compliant components.

## LED Characteristics

### LEDs:

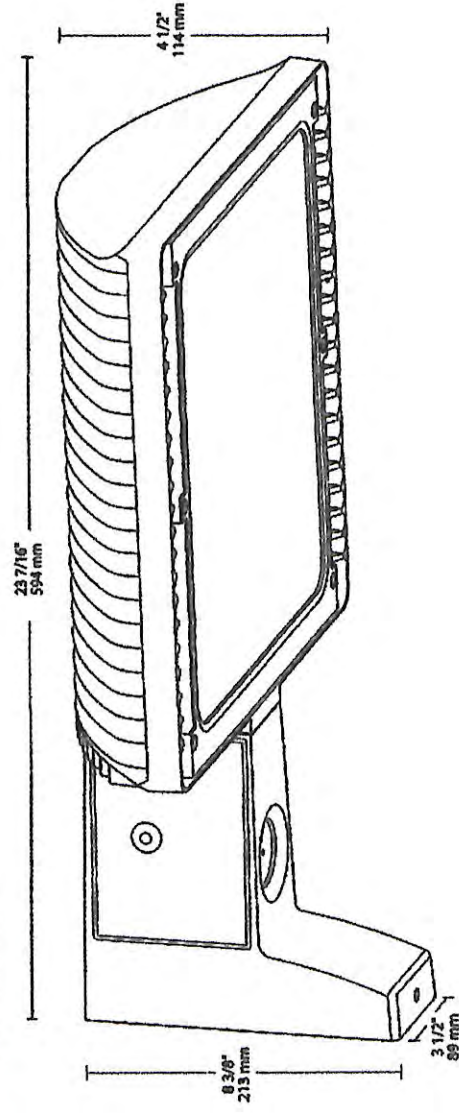
Multi-chip, high-output, long-life LEDs

### Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

FF

## Dimensions



## Features

- 66% energy cost savings vs. HID
- 100,000-hour LED lifespan
- 5-Year, No-Compromise Warranty

output, color stability, driver performance, fixture finish. RAB's warranty is subject to terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

## Equivalency:

Equivalent to 400W Metal Halide

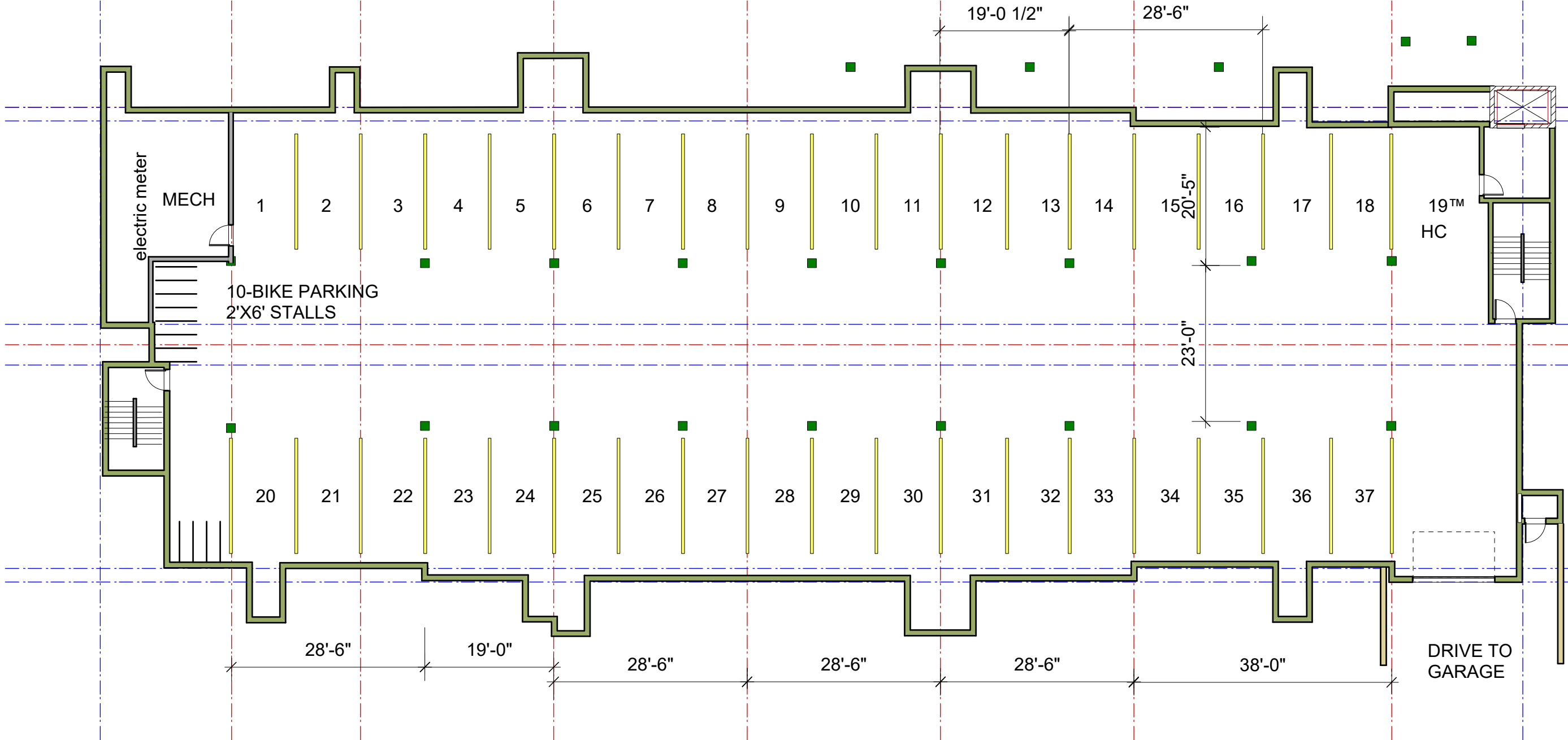
## Buy American Act Compliance:

RAB values USA manufacturing! Upon RAB may be able to manufacture this fixture to be compliant with the Buy American Act. Please contact customer service to request a quote for the product to be made BAA compliant.


41 TOTAL

11- Mini-one  
9- 2 bedroom  
21- 1bedrom

LOT 1



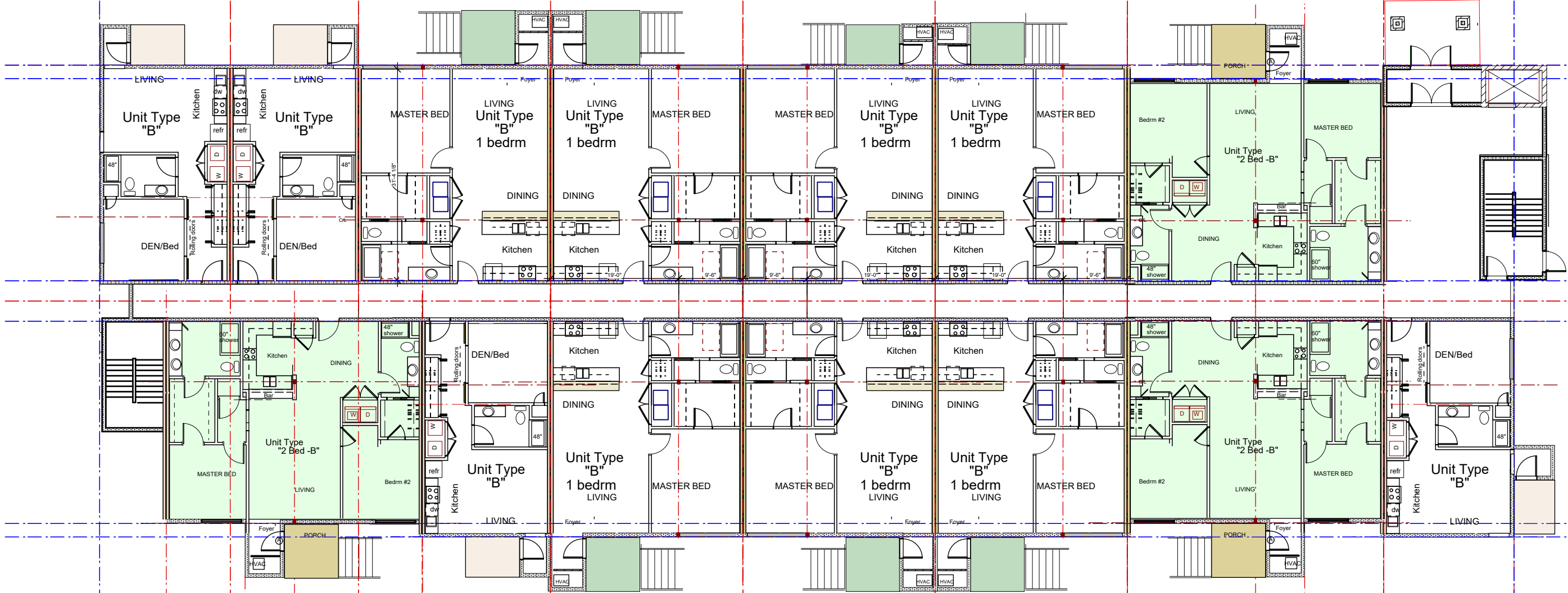
# Lower Level/Garage FLOOR

 LLC SIEGER ARCHITECTURE		3 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net
project <b>JANNAH VILLAGE 242 UNIT          MADISON, WI</b>	owner <b>SIMPLE HOMES MADISON LLC</b> Linsay Haegens 608-446-2224 simplehomesproperties@gmail.com	<b>A1.0</b> 2.12.21

41 TOTAL

11- Mini-one  
9- 2 bedroom  
21- 1bedrom

LOT 1



**MAIN FLOOR PLAN**

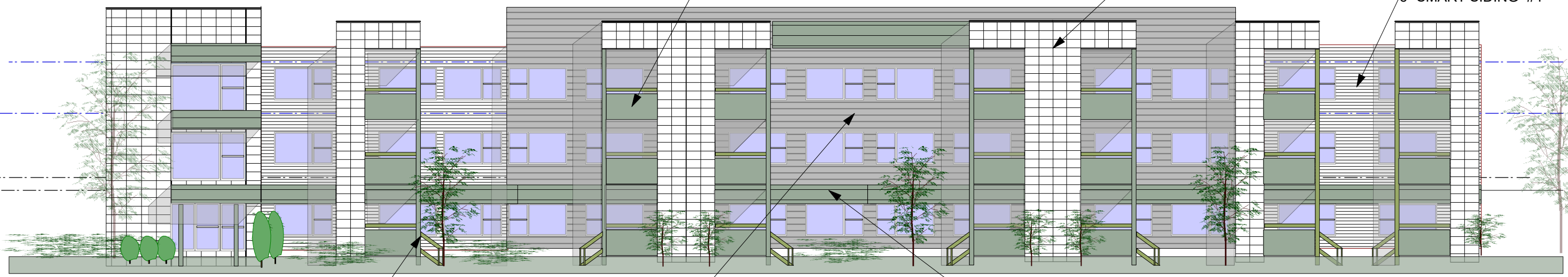
TYPICAL:  
WHITE SASH VINYL  
INSULATED WINDOWS

3/4" - 4X8' EXT MDO PANEL  
PAINT COLOR OPTION #1

HARD BOARD PANEL #4  
equal to Nichiha Panels

TYPICAL:  
WHITE SASH VINYL  
INSULATED WINDOWS

DRIVE to  
garage




8" STL PIPE DECK COLUMN  
PAINT COLOR OPTION #1

10" SMART SIDING #3

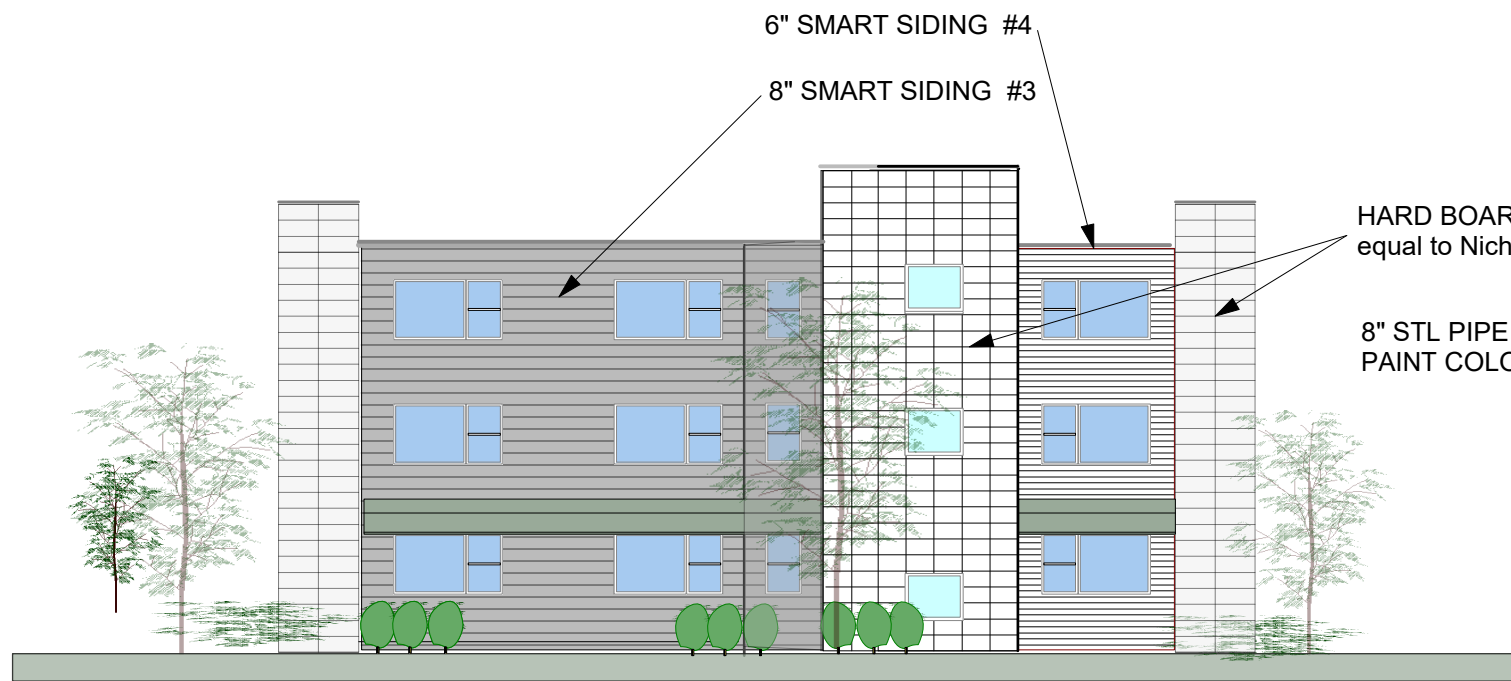
6" SMART SIDING #1

**STREET ELEVATION - LOT 1**

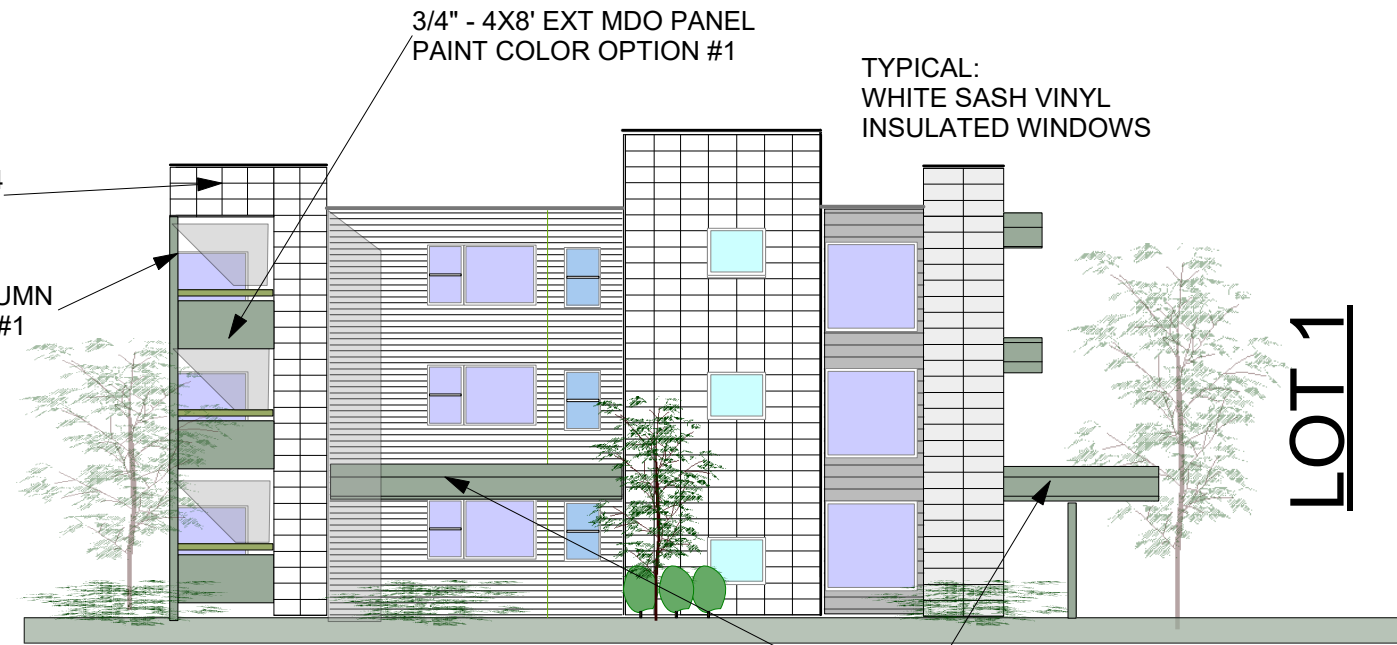
architect  
  
 LLC SIEGER  
 ARCHITECTURE  
 73 WHITE OAKS LN  
 Madison, WI 53711  
 Phone: 608.347.7332  
 siegerarchitects@sbcglobal.net

project  
 JANNAH VILLAGE 242 UNIT  
 MADISON, WI  
 owner  
 SIMPLE HOMES MADISON LLC  
 Linsay Hagans 608-446-2224  
 simplehomesproperties@gmail.com

A1.1  
 2.12.21

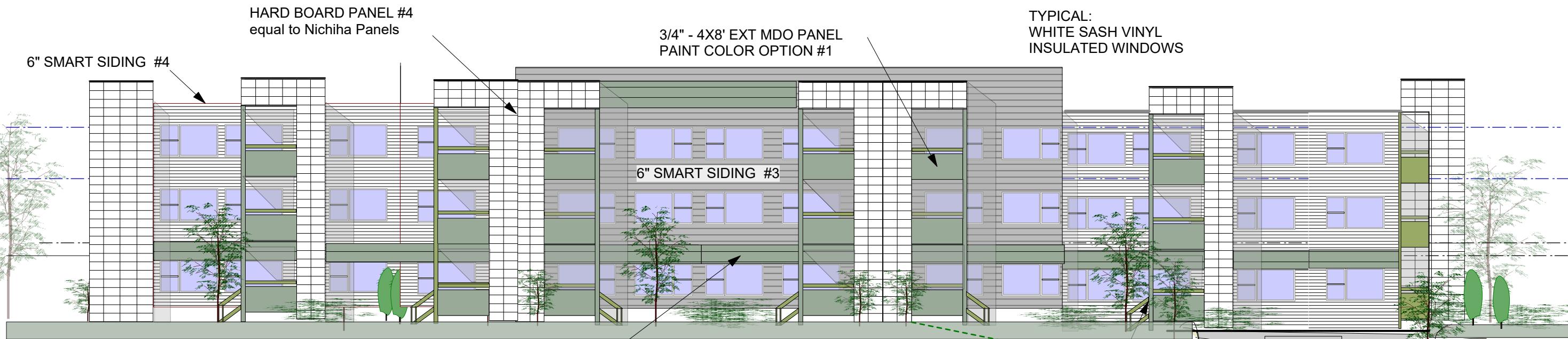


**WEST ELEVATION - LOT 1**



**EAST ELEVATION - LOT 1**

**LOT 1**



**BACK ELEVATION - SOUTH - LOT 1**

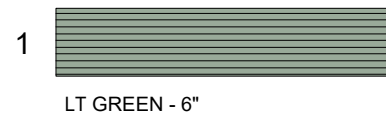
architect  
**ARCHITECTURA**  
 LLC SIEGER  
 3 WHITE OAKS LN Madison, WI 53711  
 Phone: 608.347.7332  
 siegerarchitects@sbcglobal.net

project  
**JANNAH VILLAGE 242 UNIT**  
 MADISON, WI  
 owner  
**SIMPLE HOMES MADISON LLC**  
 Linsay Haegens 608-446-2224  
 simplehomesproperties@gmail.com

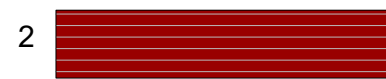
**A1.2**  
 2.12.21

8" STL PIPE DECK COLUMN  
 PAINT COLOR OPTION #1

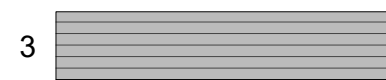
RUBBED CONC. STAIN  
 EXPOSED LT GREY  
 @ PREFIN. MTL OH DR



1 LT GREEN - 6"



2 BURGUNDY - 6"



3 CHARCOAL GREY - 6" & 8"

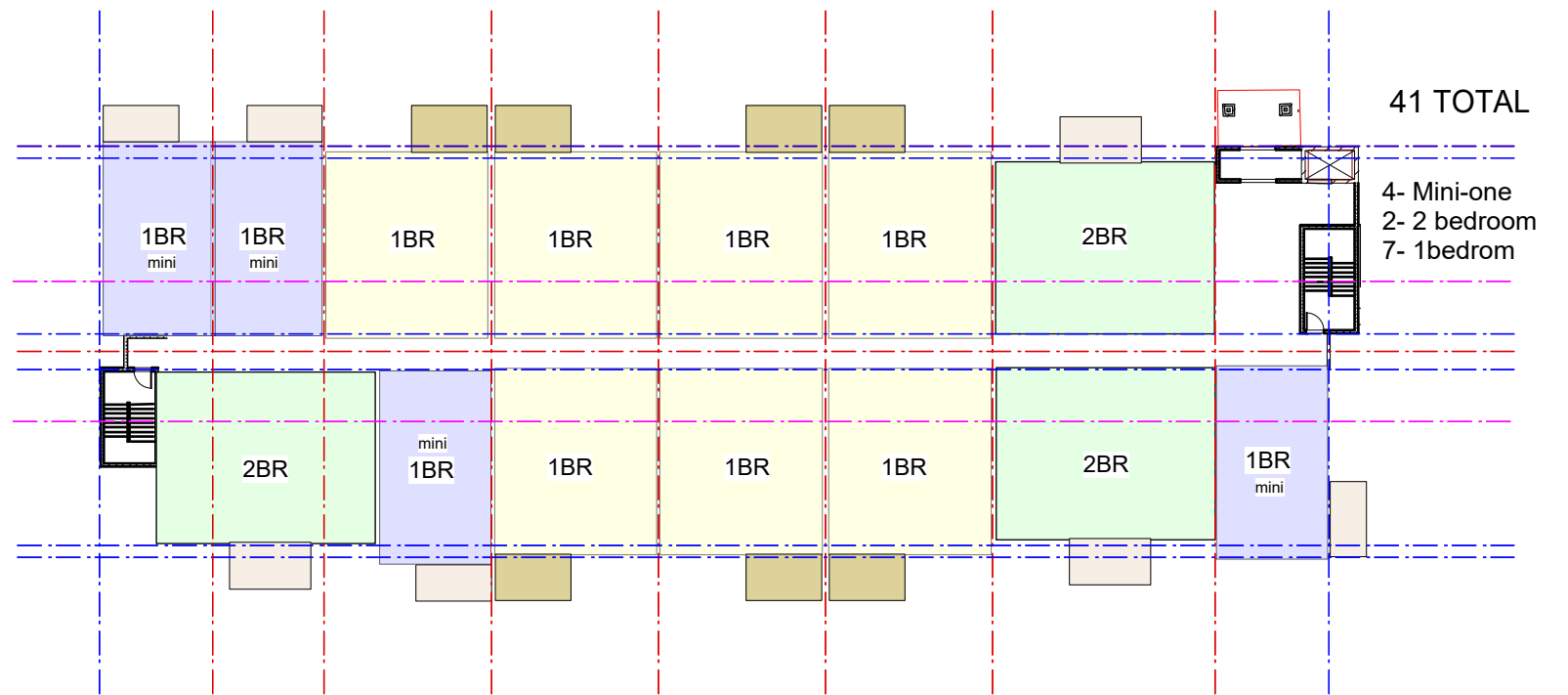


4 WHITE 6"

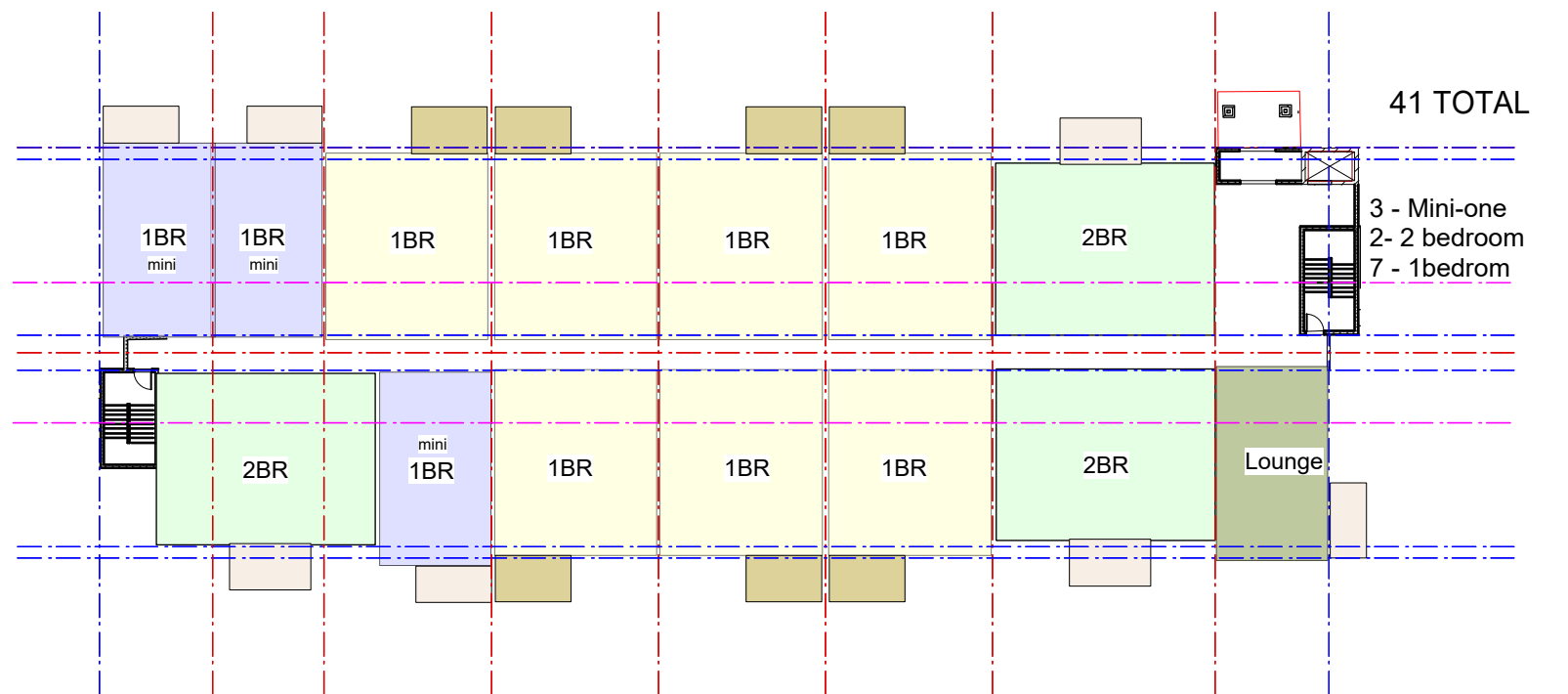
**SMART SIDING  
COLOR OPTIONS**



**COLOR PAINT PANEL OPTIONS**



**SEOND FLOOR PLAN**



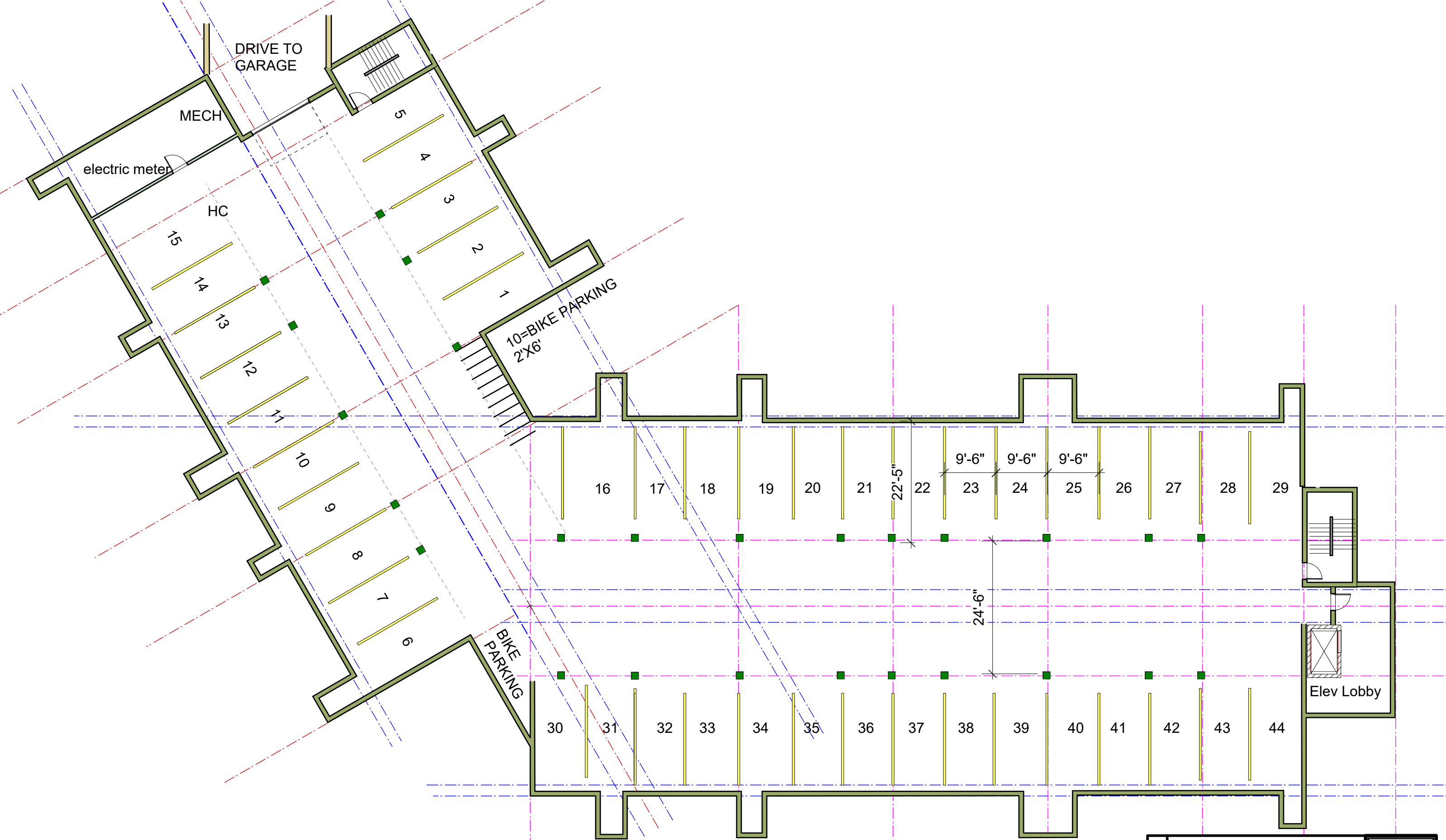
**THIRD FLOOR PLAN**

**LOT 1**

architect **SIEGER LLC ARCHITECTURE**  
73 WHITE OAKS LN Madison, WI 53711  
Phone: 608.347.7332  
siegerarchitects@sbcglobal.net


project **JANNAH VILLAGE 242 UNIT  
MADISON, WI**  
owner **SIMPLE HOMES MADISON LLC**  
Linsay Hagens 608-446-2224  
simplehomesproperties@gmail.com

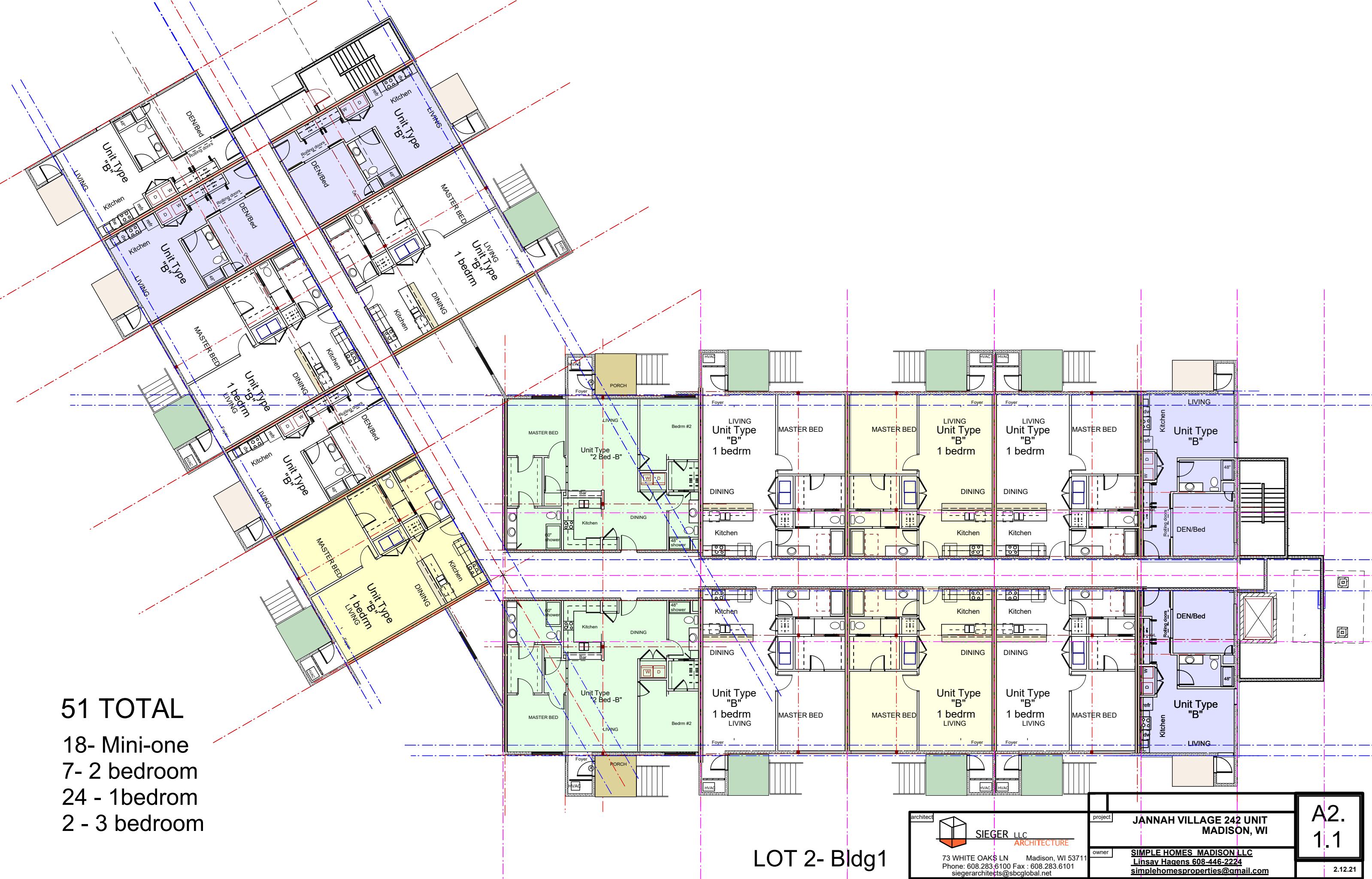
**A1.3**  
2.12.21



# Lower Level - Garage FLOOR

LOT 2 BUILDING 1


architect  <b>SIEGER LLC</b> ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE 242 UNIT</b> MADISON, WI	<b>A2</b> <b>1.0</b> 2.12.21
	owner <b>SIMPLE HOMES MADISON LLC</b> Linsav Hagens 608-446-2224 simplehomesproperties@gmail.com	



51 TOTAL

- 18- Mini-one
- 7- 2 bedroom
- 24 - 1bedrom
- 2 - 3 bedroom

LOT 2- Bldg1

architect  <b>SIEGER LLC</b> ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax : 608.283.6101 siegerarchitects@sbgglobal.net	project <b>JANNAH VILLAGE 242 UNIT</b> <b>MADISON, WI</b>	<b>A2.</b> <b>1.1</b> 2.12.21
	owner <b>SIMPLE HOMES MADISON LLC</b> <b>Linsav Hagens 608-446-2224</b> <b>simplehomesproperties@gmail.com</b>	

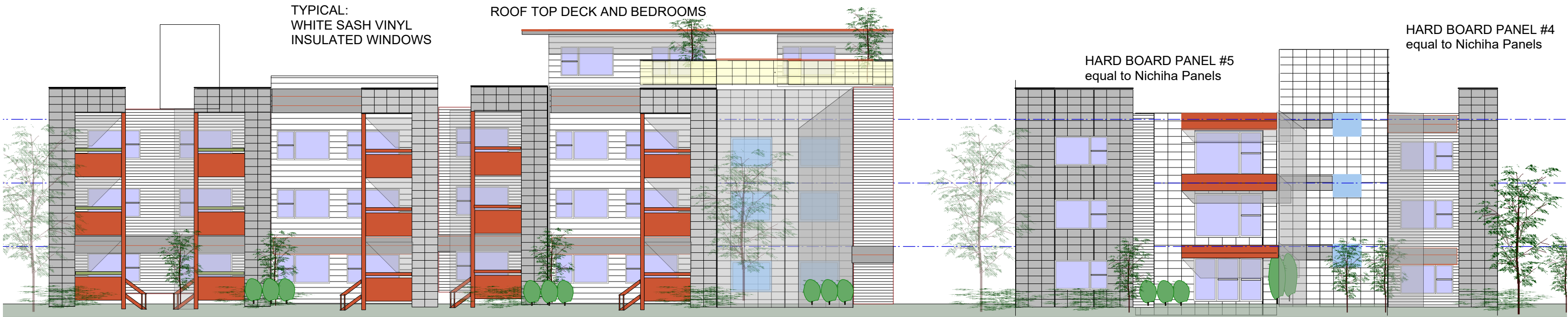


TYPICAL:  
WHITE SASH VINYL  
INSULATED WINDOWS

ROOF TOP DECK AND BEDROOMS

HARD BOARD PANEL #4  
equal to Nichiha Panels

HARD BOARD PANEL #5  
equal to Nichiha Panels



## WEST - WALKING WAY - STREET ELEVATION -

NOTE: REAR ELEVATION -TYPICAL

6" SMART SIDING #1  
8" SMART SIDING #2

## ENTRY-WEST- ELEVATION -

ENTRY ELEVATION -TYPICAL - W/ COLOR OPTIONS 1&3

TYPICAL:  
WHITE SASH VINYL  
INSULATED WINDOWS

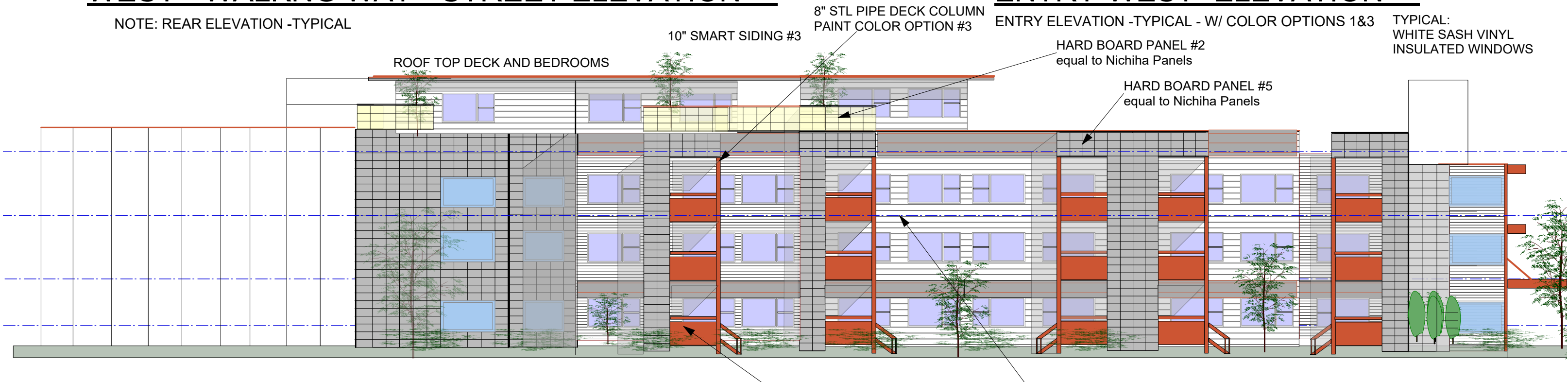
8" STL PIPE DECK COLUMN  
PAINT COLOR OPTION #3

10" SMART SIDING #3

HARD BOARD PANEL #2  
equal to Nichiha Panels

HARD BOARD PANEL #5  
equal to Nichiha Panels

ROOF TOP DECK AND BEDROOMS



3/4" - 4X8' EXT MDO PANEL  
PAINT COLOR OPTION #3

6" SMART SIDING #4

## SOUTH- BLISSFUL STREET ELEVATION -

NOTE: REAR ELEVATION -TYPICAL

## LOT 2- Bldg1

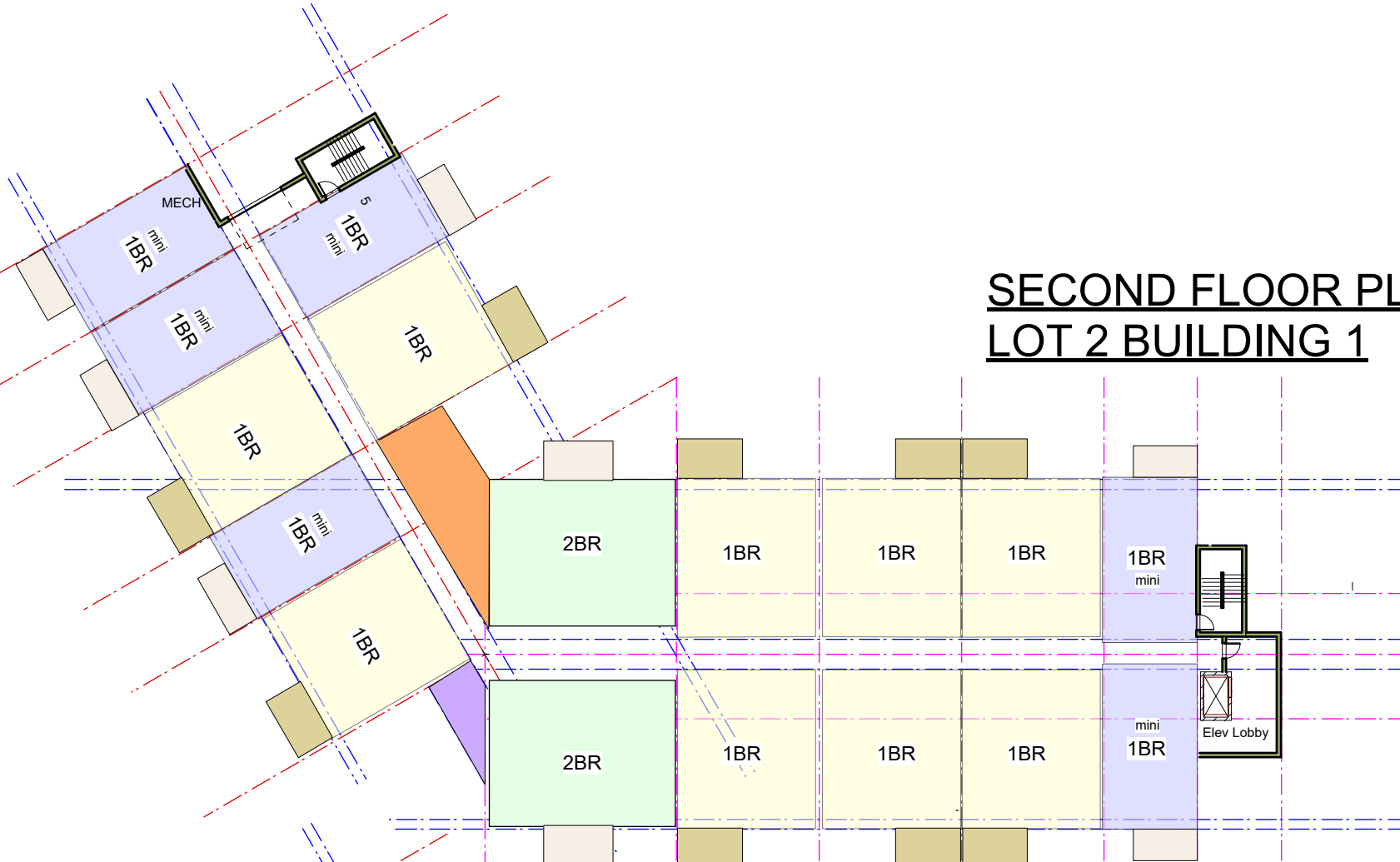
architect  
**SIEGER LLC**  
ARCHITECTURE  
73 WHITE OAKS LN Madison, WI 53711  
Phone: 608.347.7332  
siegerarchitects@sbcglobal.net

project  
**JANNAH VILLAGE 242 UNIT**  
MADISON, WI  
owner  
**SIMPLE HOMES MADISON LLC**  
Linsay Hagens 608-446-2224  
simplehomesproperties@gmail.com

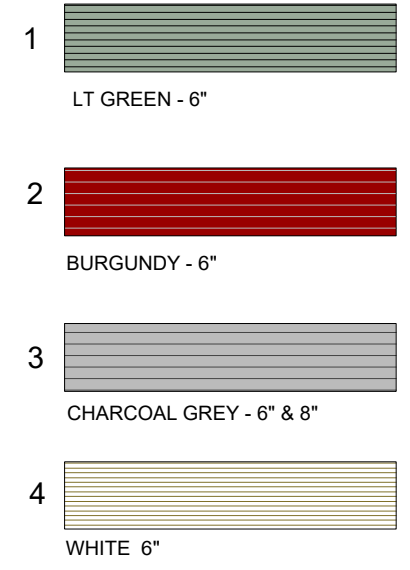
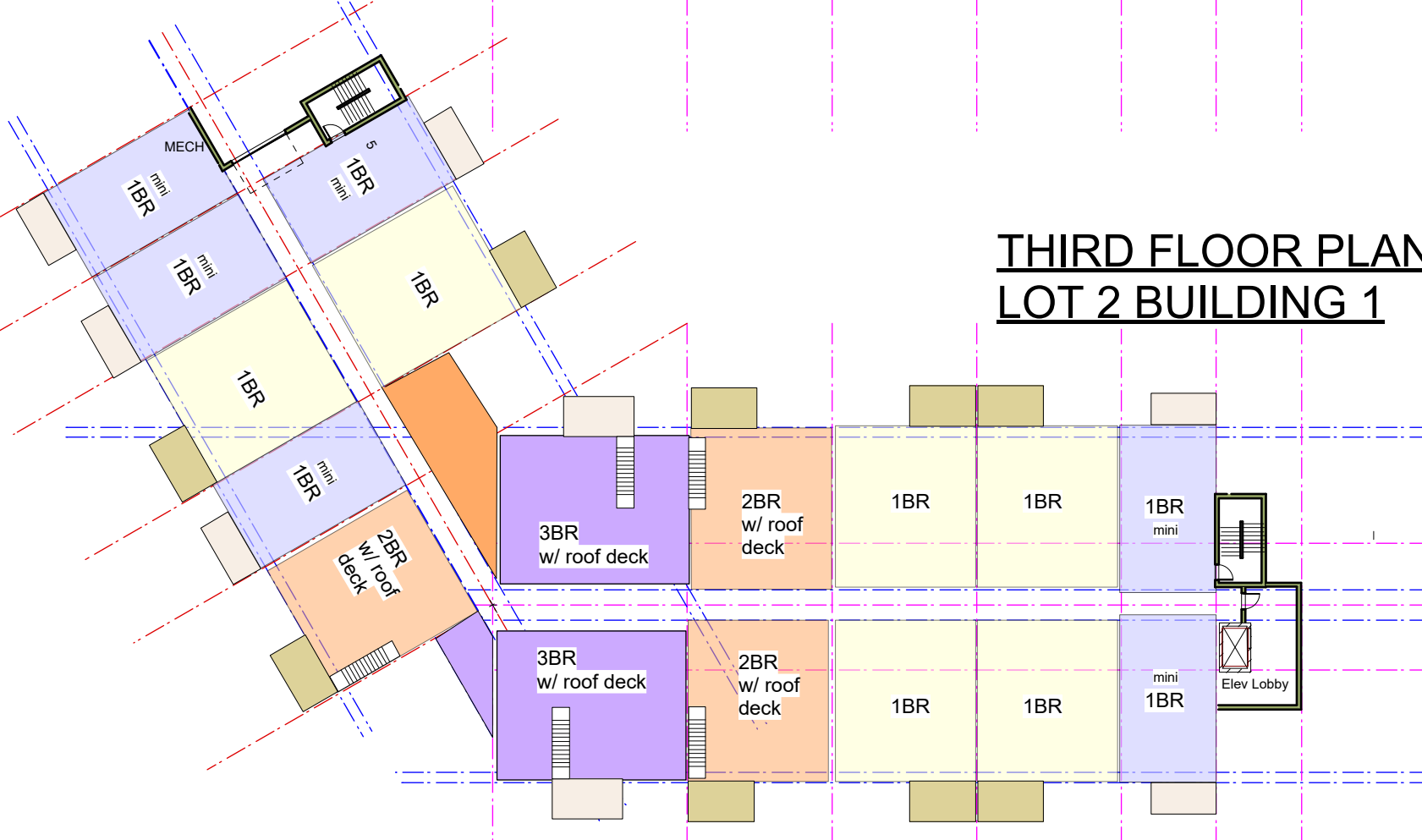
A2.  
1.2

8.15.21

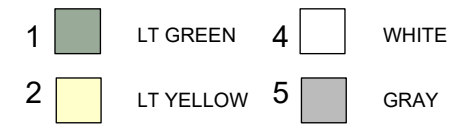
**SECOND FLOOR PLAN 1/32" = 1'-0"**  
**LOT 2 BUILDING 1**




**THIRD FLOOR PLAN 1/32" = 1'-0"**  
**LOT 2 BUILDING 1**

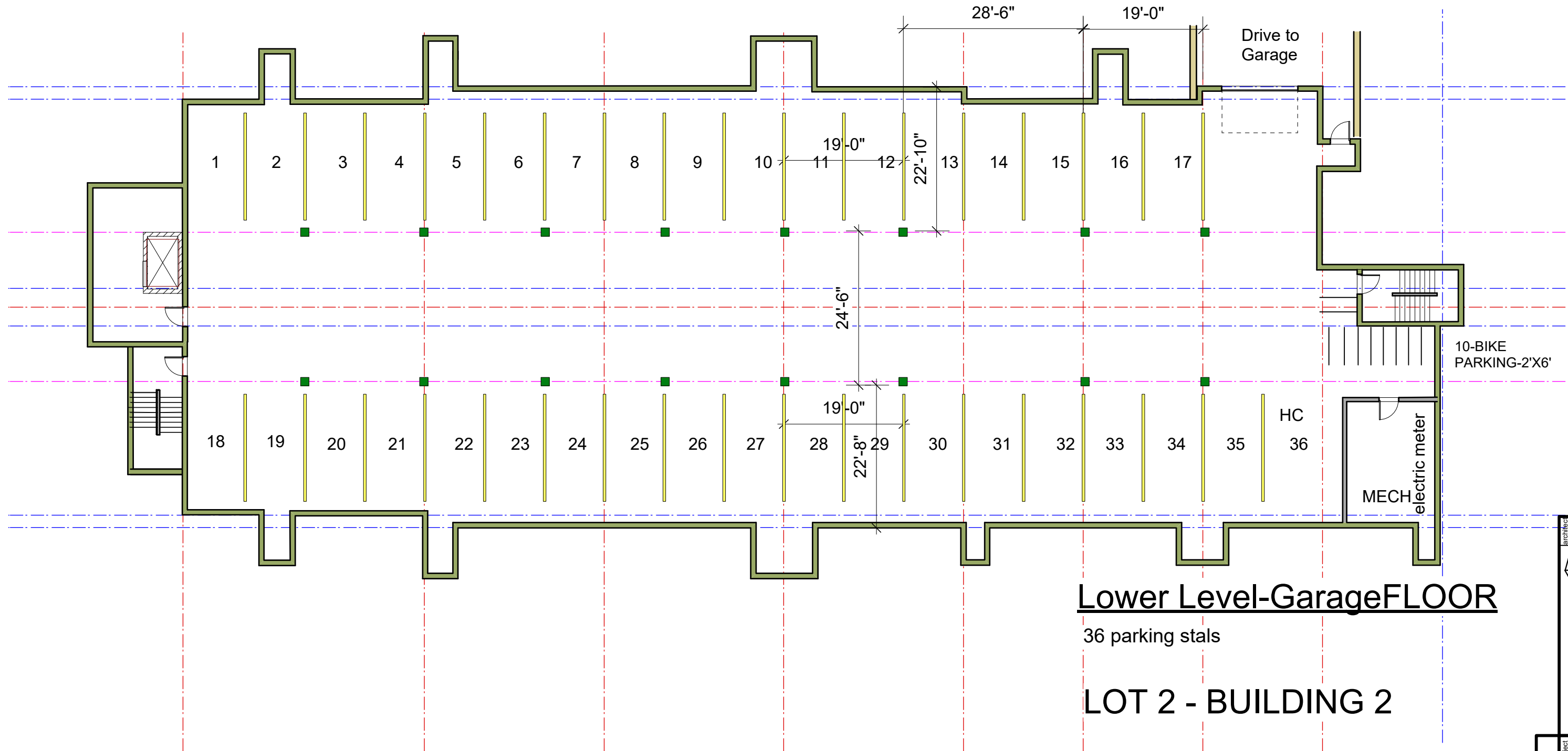


**SMART SIDING  
 COLOR OPTIONS**



**COLOR PAINT PANEL OPTIONS**


architect  <b>SIEGER LLC</b> ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax: 608.283.6101 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE 242 UNIT                  MADISON, WI</b>	<b>A2.1.3</b> 2.12.21
	owner <b>SIMPLE HOMES MADISON LLC</b> Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	

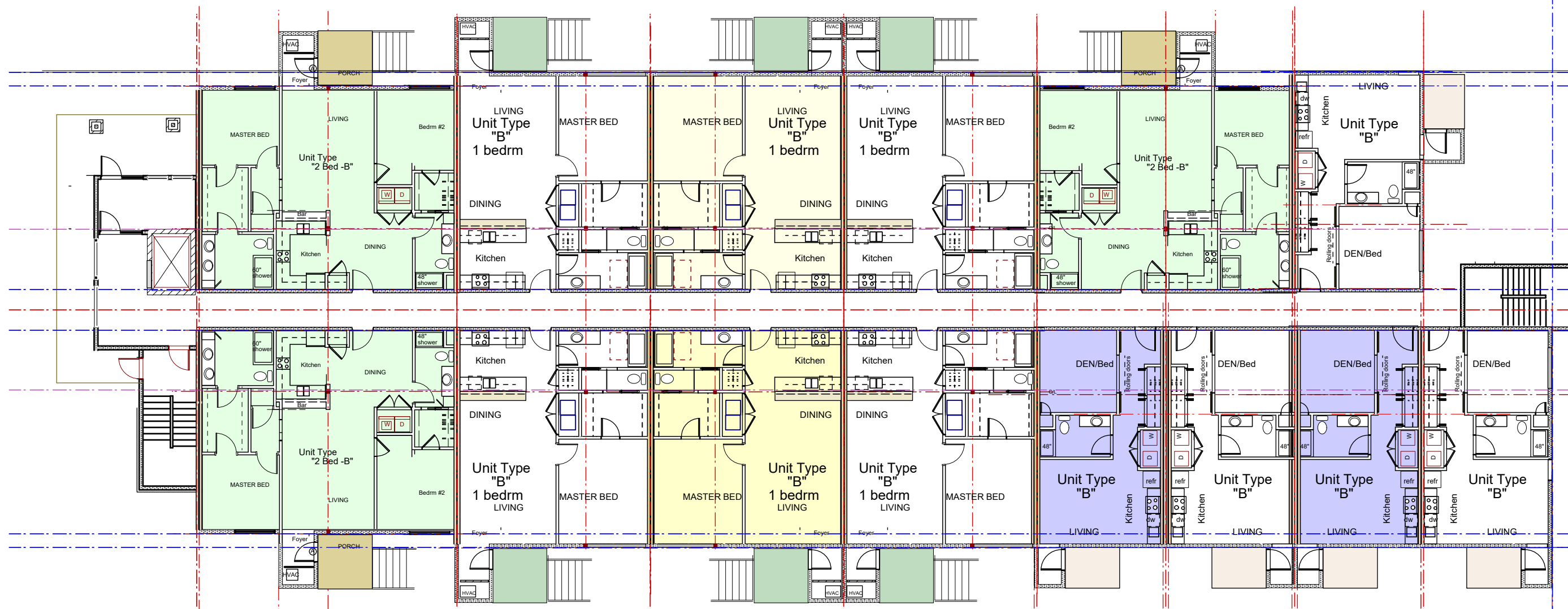


**Lower Level-GarageFLOOR**

36 parking stals

**LOT 2 - BUILDING 2**

 <p>ARCHITECTURA LLC SIEGER</p>	
<p>73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net</p>	<p>project <b>JANNAH VILLAGE 242 UNIT MADISON, WI</b></p>
<p>owner <b>SIMPLE HOMES MADISON LLC Lindsay Hagens 608-446-2224 simplehomesproperties@gmail.com</b></p>	<p><b>A2/ 2.0</b></p>
<p>2.12.21</p>	



15- Mini-one  
 8- 2 bedroom  
 17- 1bedroom  
 1 - 3 bedroom  
**42 TOTAL**

**LOT 2- Bldg2**

COLORED LAM. GLASS @ STAIR TOWER

HARD BOARD PANEL #2 @ DECK RAILING equal to Nichiha Panels

TYPICAL: WHITE SASH VINYL INSULATED WINDOWS

HARD BOARD PANEL #4 equal to Nichiha Panels

8" STL PIPE DECK COLUMN PAINT COLOR OPTION #3

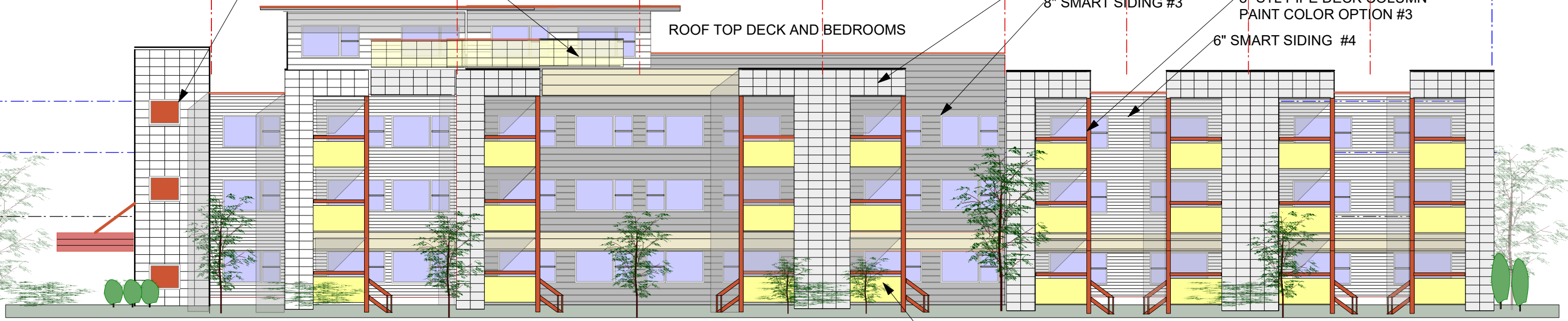
6" SMART SIDING #4

ROOF TOP DECK AND BEDROOMS

3/4" - 4X8' EXT MDO PANEL PAINT COLOR OPTION #2

SEE SHEET D4 FOR COLOR OPTIONS

**STREET ELEVATION - LOT 2 Bldg 2**



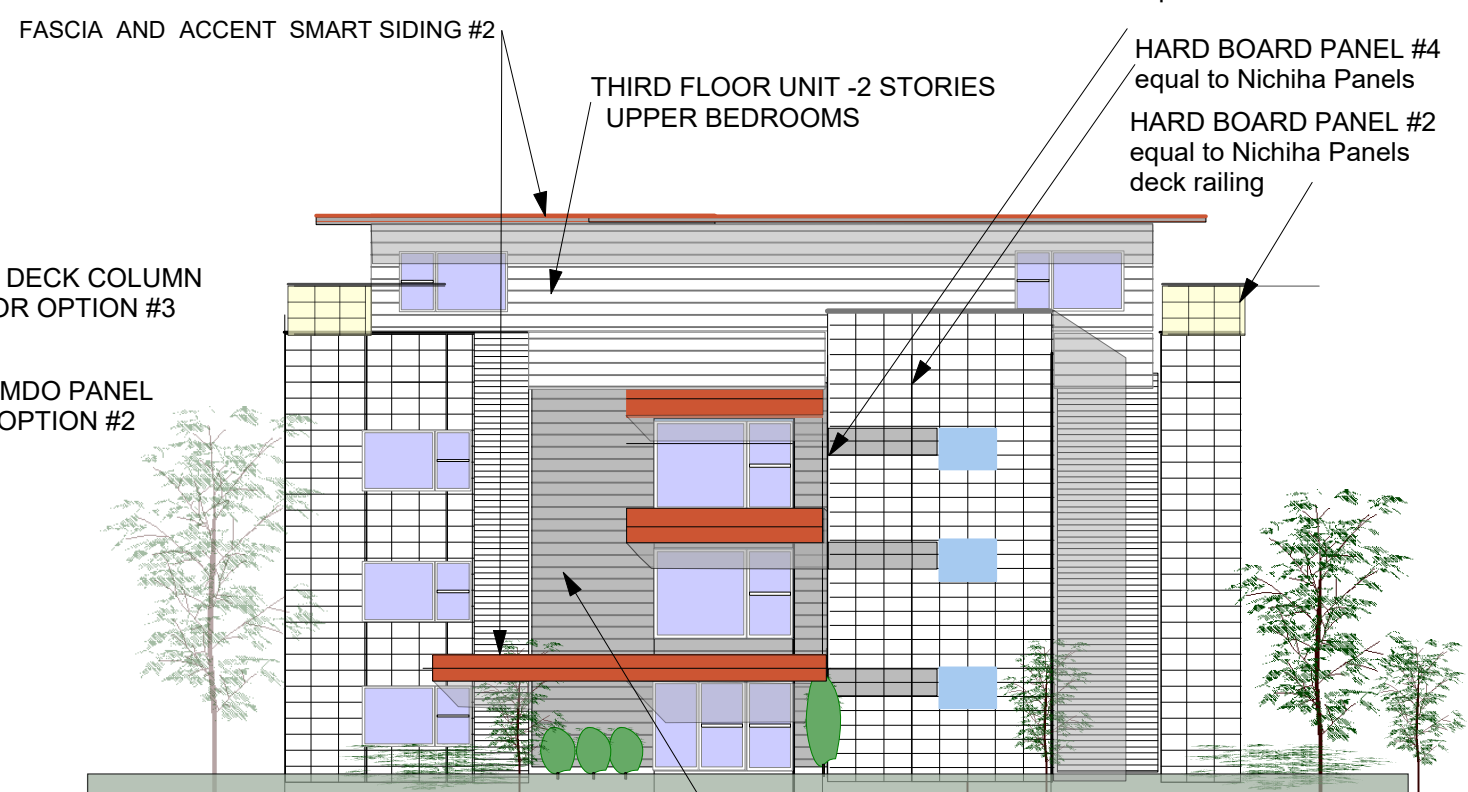
architect  
**ARCHITECTURA**  
 LLC SIEGER  
 WHITE OAKS LN Madison, WI 53711  
 Phone: 608.347.7332  
 siegerarchitects@sbcglobal.net

project  
**JANNAH VILLAGE 242 UNIT MADISON, WI**  
 owner  
**SIMPLE HOMES MADISON LLC**  
 Linsay Hagens 608-446-2224  
 simplehomesproperties@gmail.com

**A2.2**  
**1**  
 2.12.21

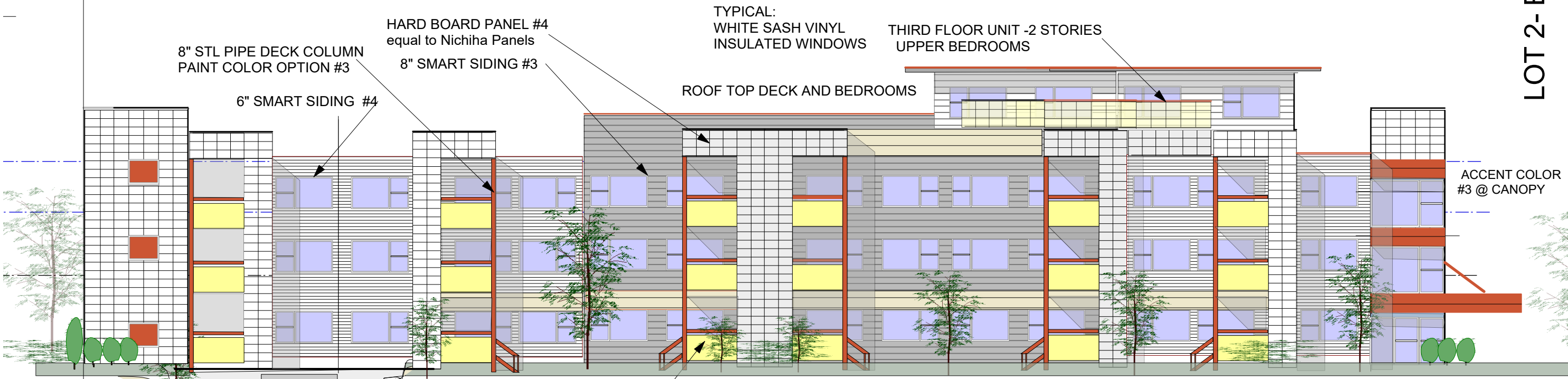


**EAST ELEVATION - LOT 2 Bldg 2**




**ENTRY-WEST- ELEVATION -**

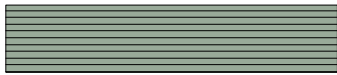
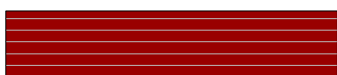
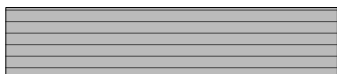

SEE SHEET D4 FOR COLOR OPTIONS






**NORTH ELEVATION - LOT 2 Bldg 2**

LOT 2- Bldg2

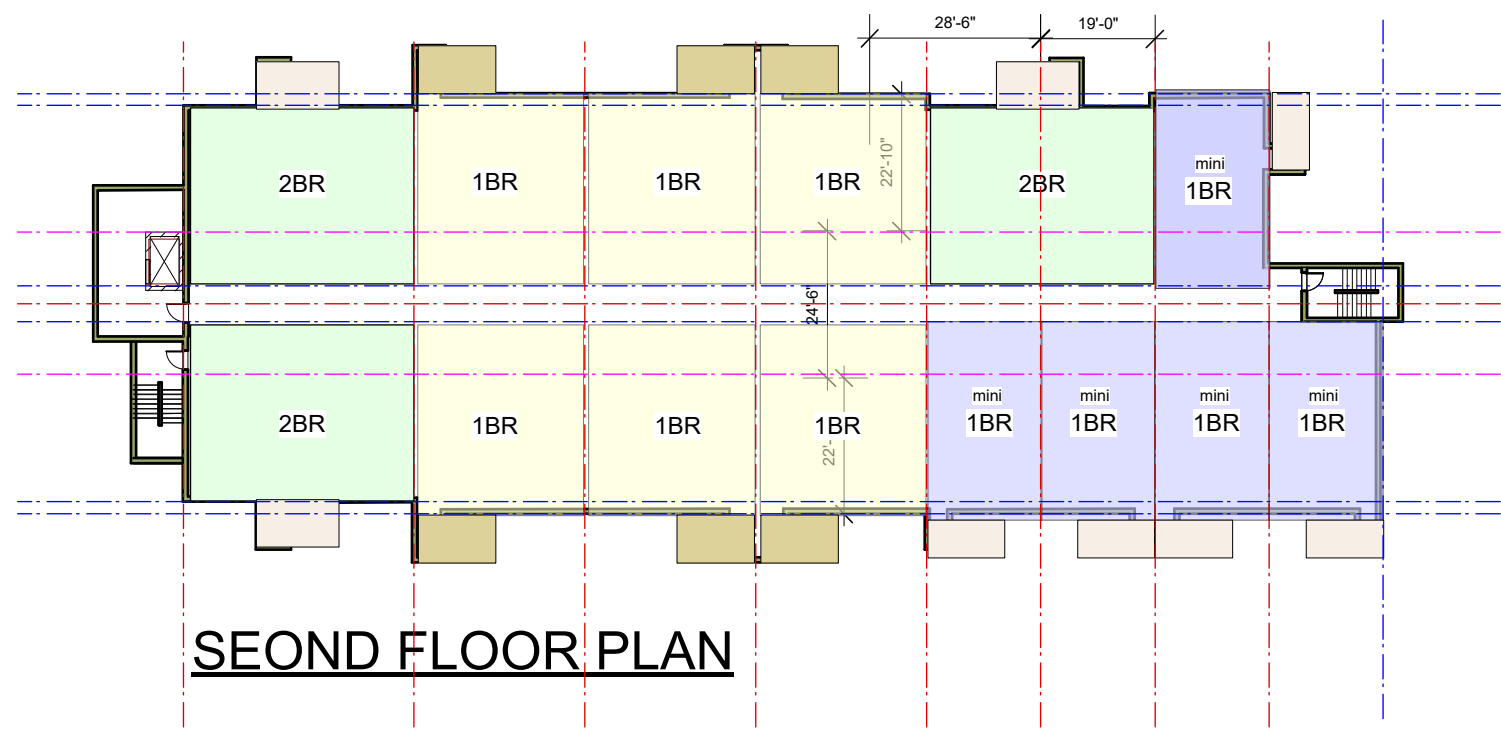
architect	 <b>LLC SIEGER</b> ARCHITECTURE	owner	JANNAH VILLAGE 242 UNIT MADISON, WI
project	73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	SIMPLE HOMES MADISON LLC Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	A2.2 .2
			2.12.21

- 1  LT GREEN - 6"
- 2  BURGUNDY - 6"
- 3  CHARCOAL GREY - 6" & 8"
- 4  WHITE 6"

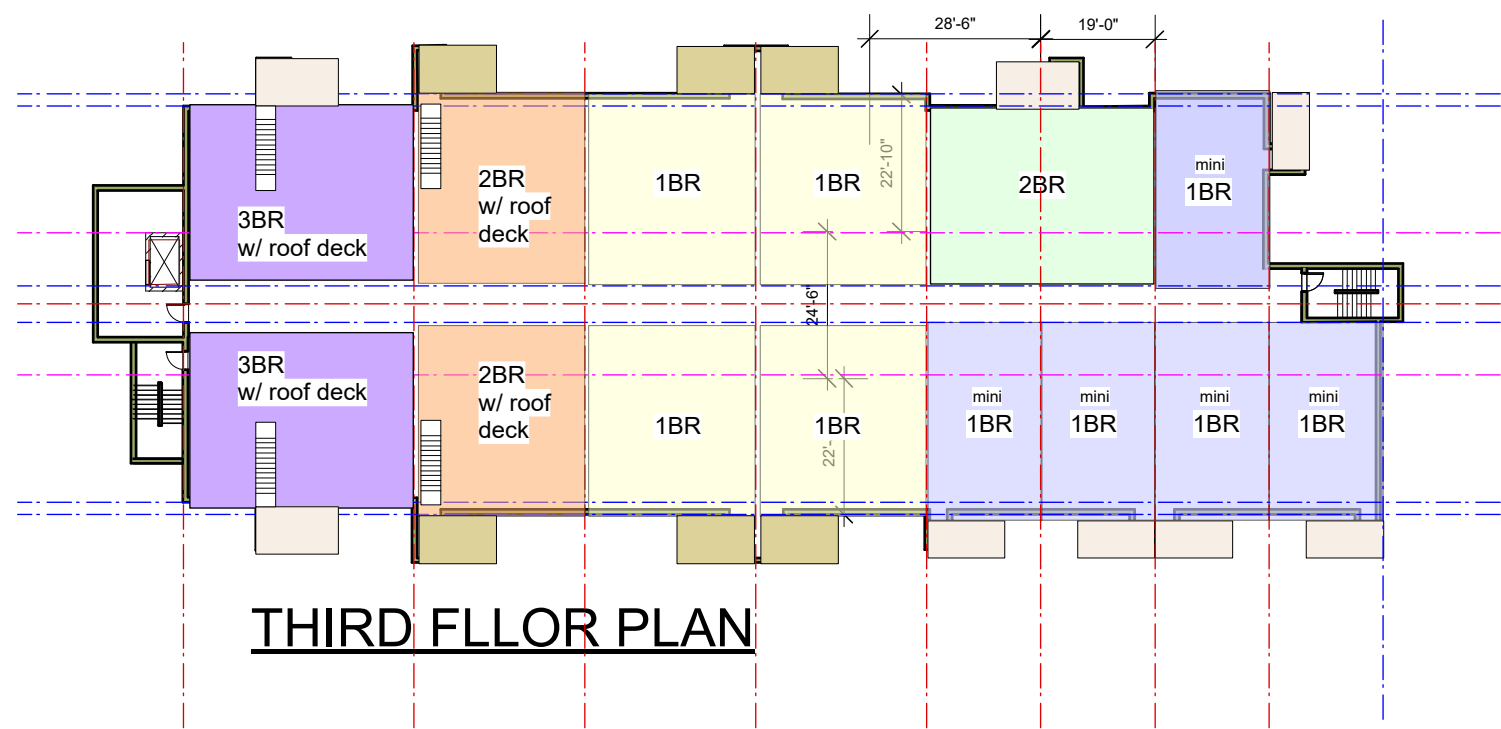
**SMART SIDING  
COLOR OPTIONS**

- 1  LT GREEN
- 2  LT YELLOW
- 3  BURNT ORANGE
- 4  WHITE
- 5  GRAY

**COLOR PAINT PANEL OPTIONS**




**SECOND FLOOR PLAN**

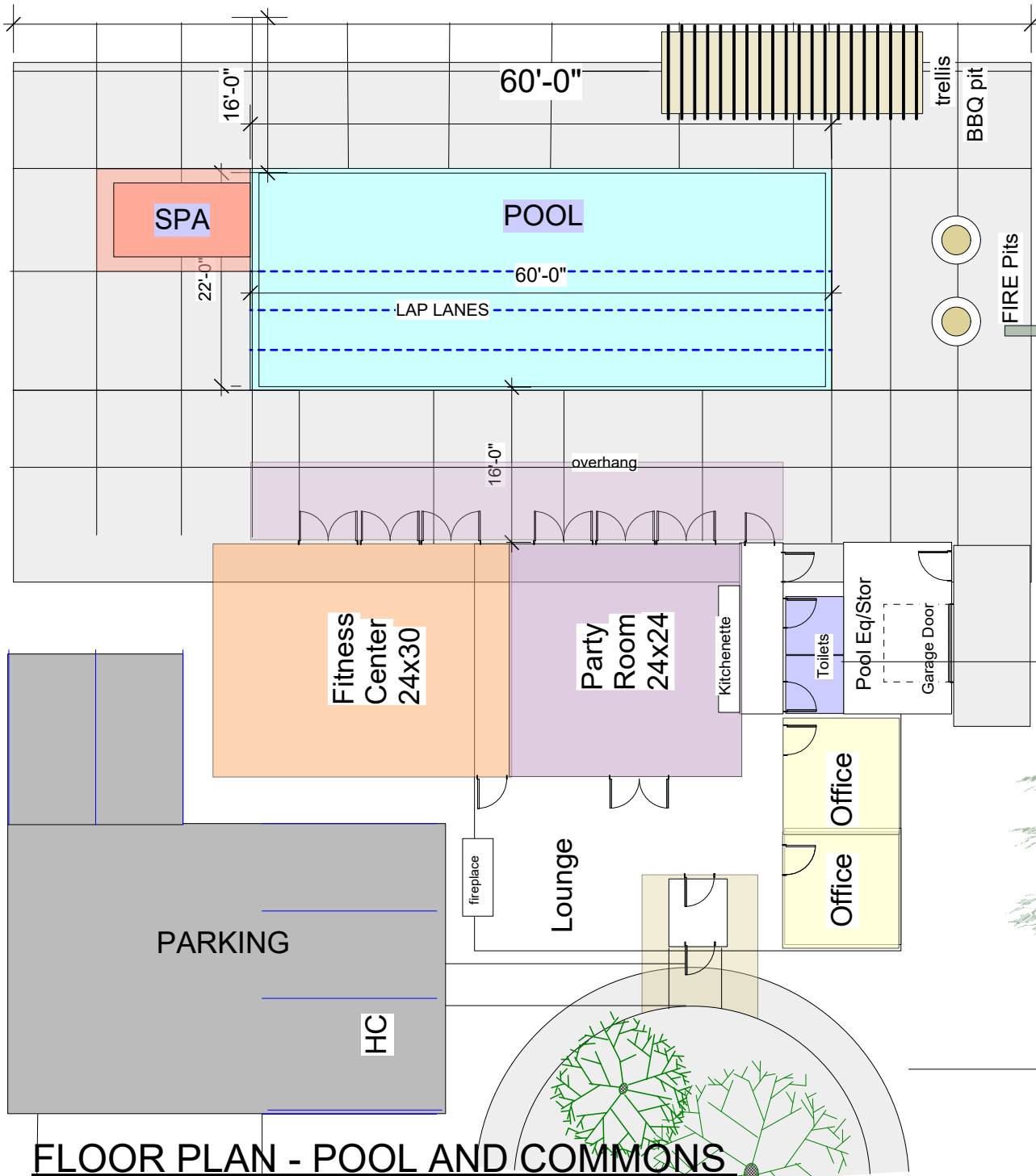


**THIRD FLOOR PLAN**

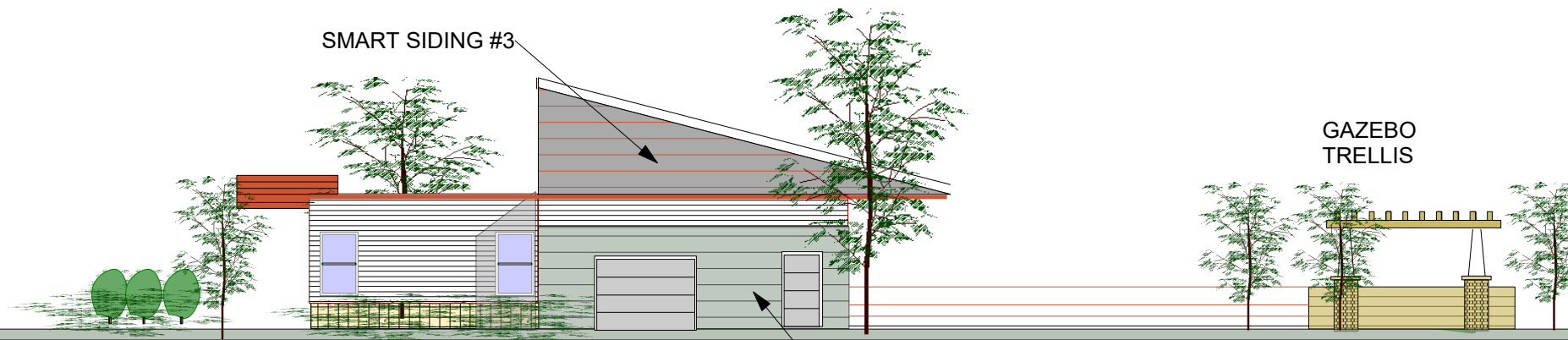
**LOT 2 BLDG 2**

architect  <b>SIEGER LLC</b> ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.283.6100 Fax : 608.283.6101 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE 242 UNIT MADISON, WI</b>	<b>A2. 2.3</b>
	owner <b>SIMPLE HOMES MADISON LLC</b> Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	

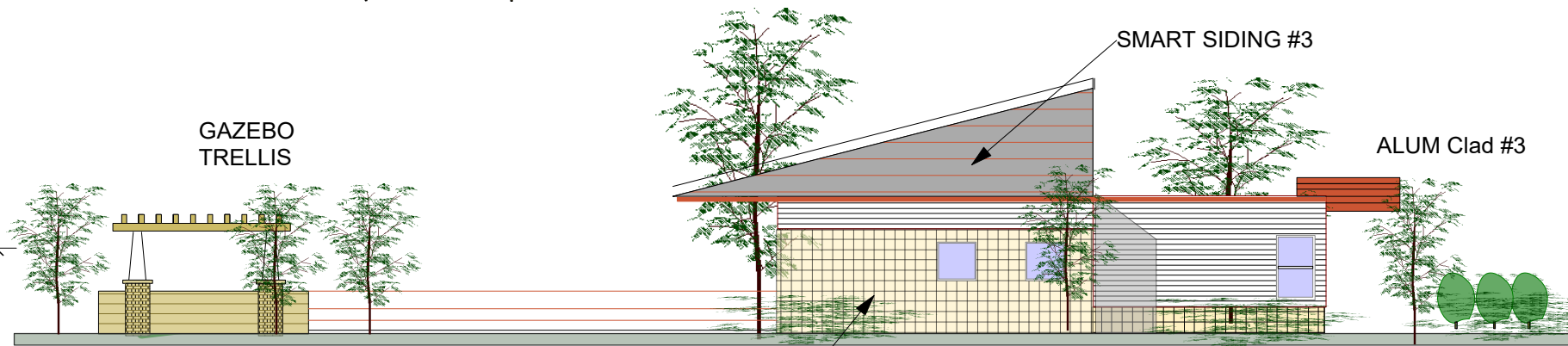
105'-0"



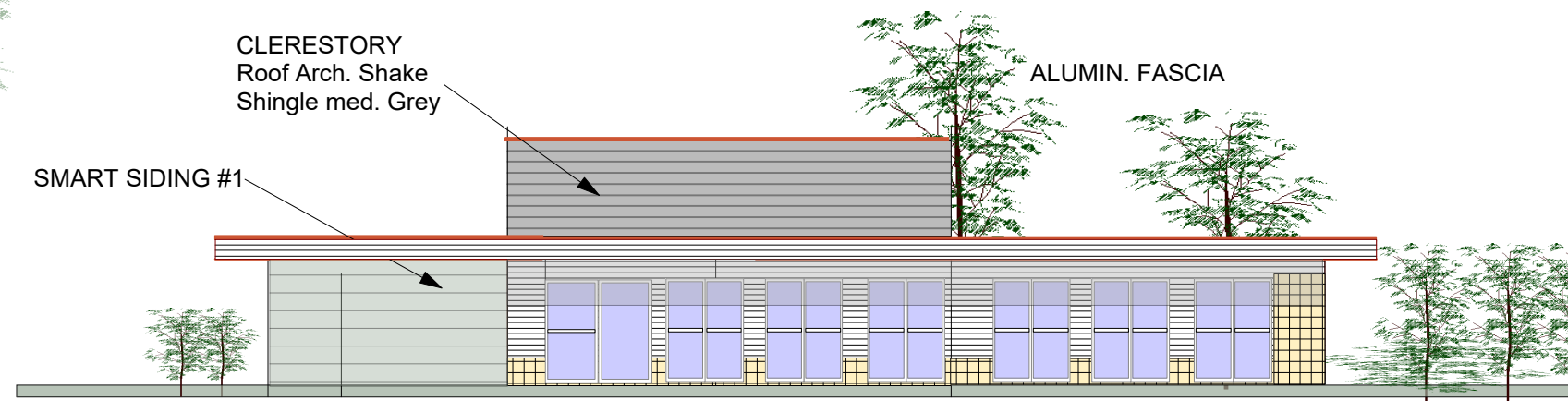
FLOOR PLAN - POOL AND COMMONS



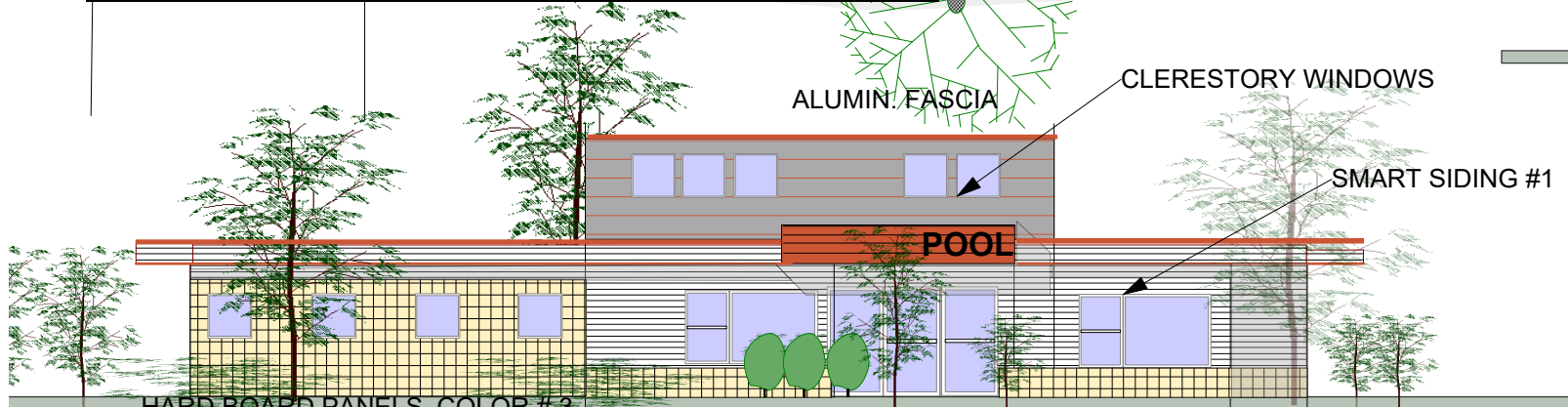
NORTH SIDE ELEVATION



SOUTH SIDE ELEVATION



POOL- WEST SIDE ELEVATION




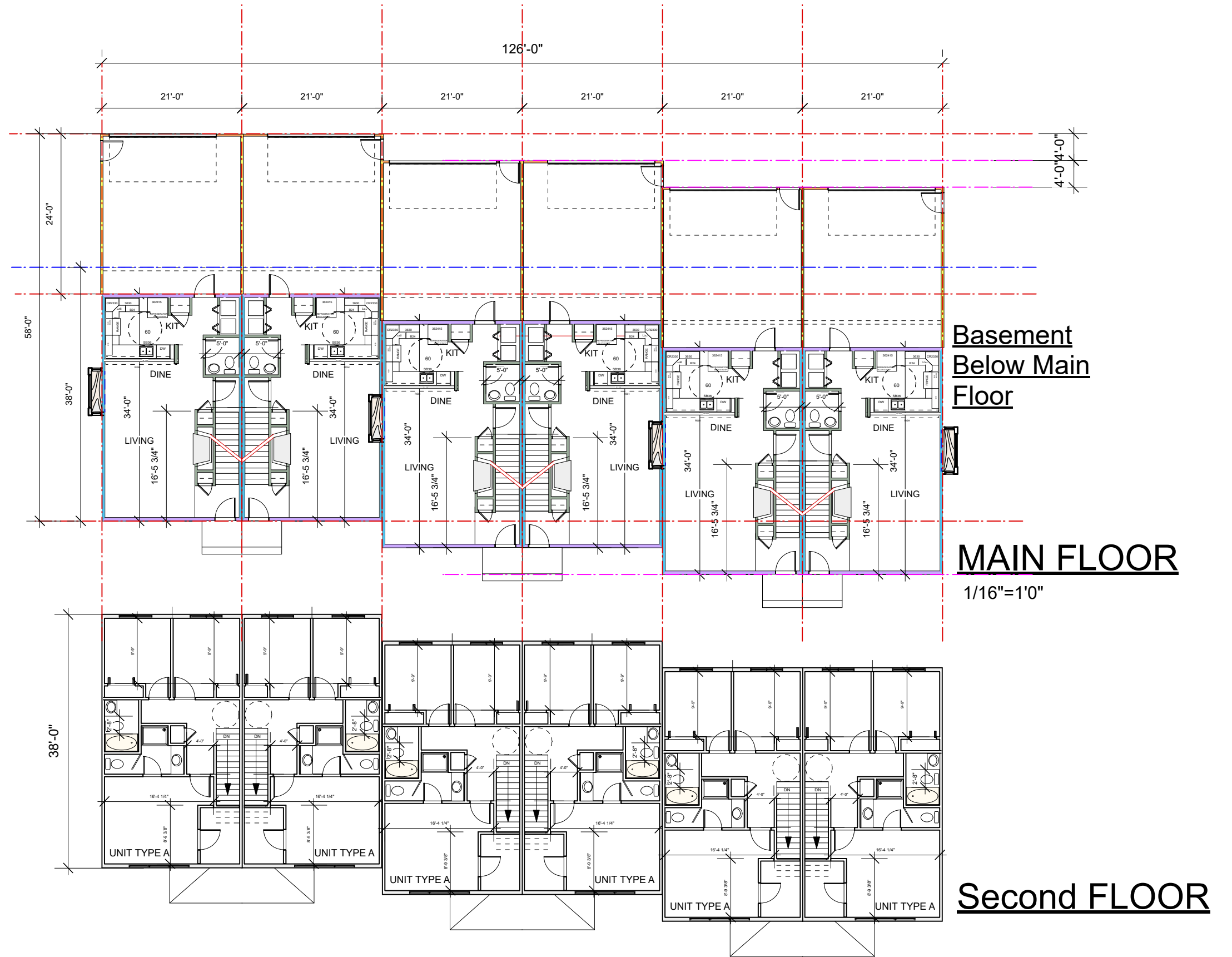
FRONT EAST SIDE ELEVATION

HARD BOARD PANELS COLOR # 3 equal to Nichiha Panels


HARD BOARD PANELS COLOR # 3 equal to Nichiha Panels

HARD BOARD PANELS COLOR # 3 equal to Nichiha Panels

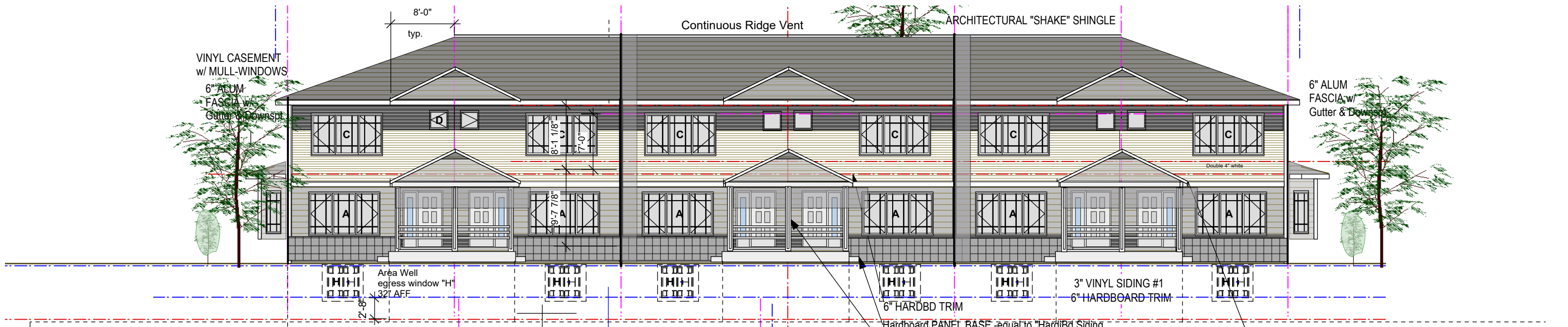
architect  <b>SIEGER LLC</b> ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE 242 UNIT</b> MADISON, WI	<b>P1.1</b> 8.15.21
	owner <b>SIMPLE HOMES MADISON LLC</b> Linsay Hagens 608-446-2224 simplehomesproperties@gmail.com	



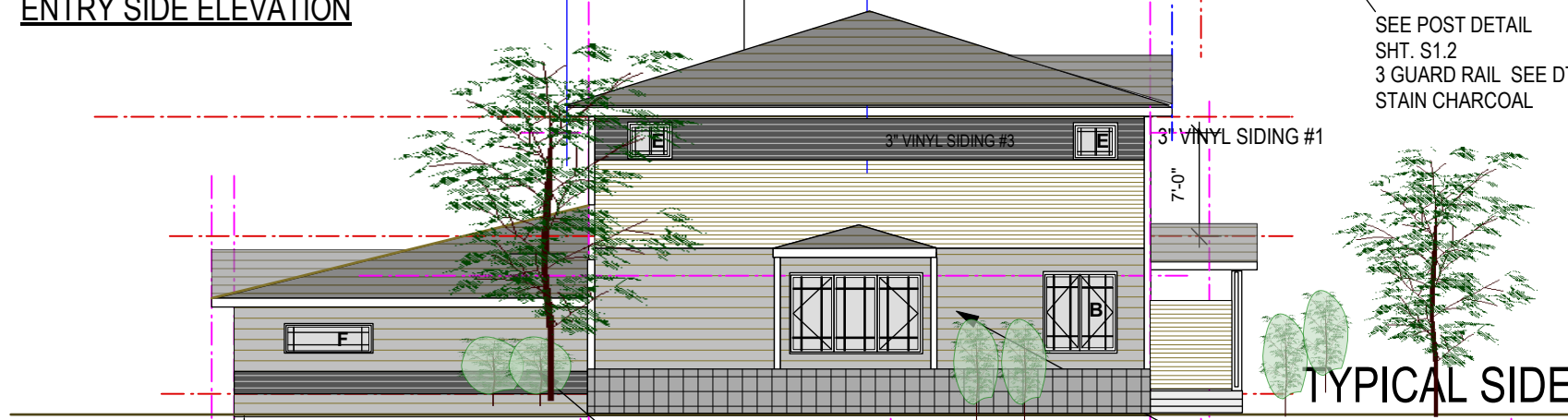
# UNIT TYPE "A"

architect  <b>SIEGER ARCHITECTURE</b> 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE MADISON, WI</b>	<b>A.TH.1</b>  owner <b>LINDSAY HAGENS MADISON, WI</b>  8/21
	1/16"=1'0"	

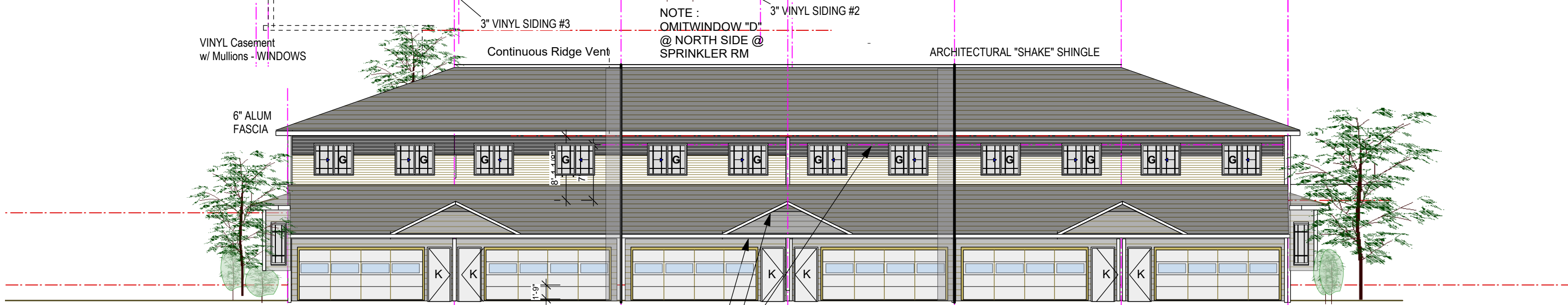




**ENTRY SIDE ELEVATION**




**TYPICAL SIDE**

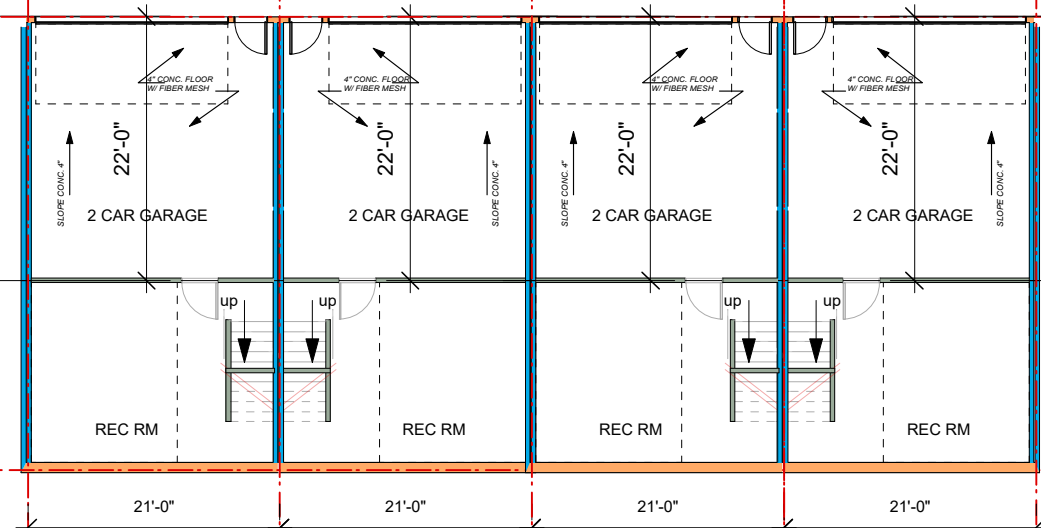


**DRIVE COURT VIEW**

# Jannah Village TownHomes "A"

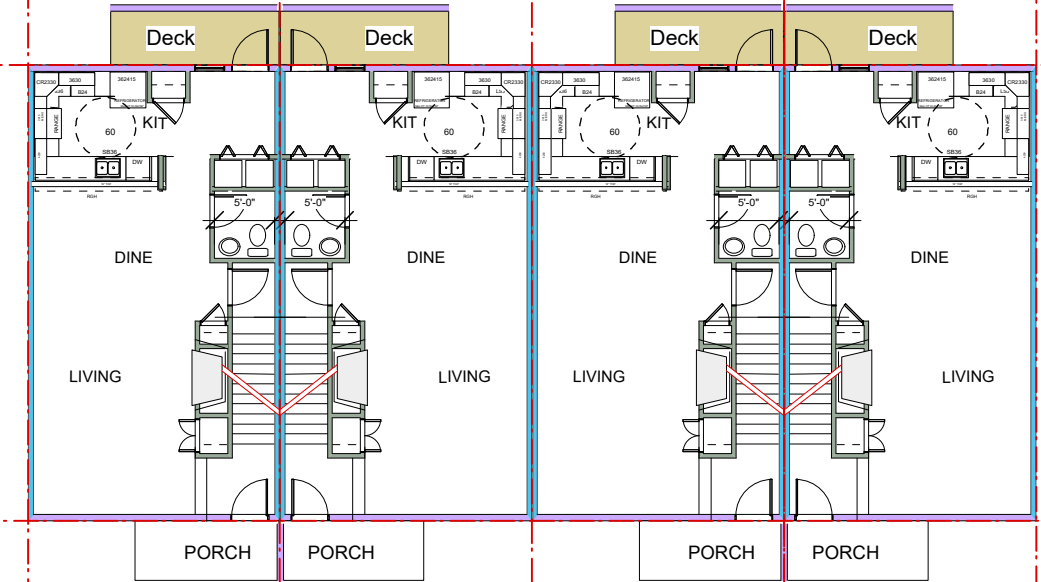
refined 10/21		<b>ELEVATIONS</b>	
architect  <b>SIEGER ARCHITECTS</b> ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project <b>Jannah Village - Town Homes</b> Eternity Drive - Blissful Ave Madison, WI	<b>A4.1</b> owner <b>SIMPLE HOMES MADISON LLC</b> Lindsay Hagans simplehomesproperties@gmail.com 608-446-2222	8. 8.21
	owner <b>SIMPLE HOMES MADISON LLC</b> Lindsay Hagans simplehomesproperties@gmail.com 608-446-2222		

**Garage/Lower FLOOR**  
1/16"=1'0"

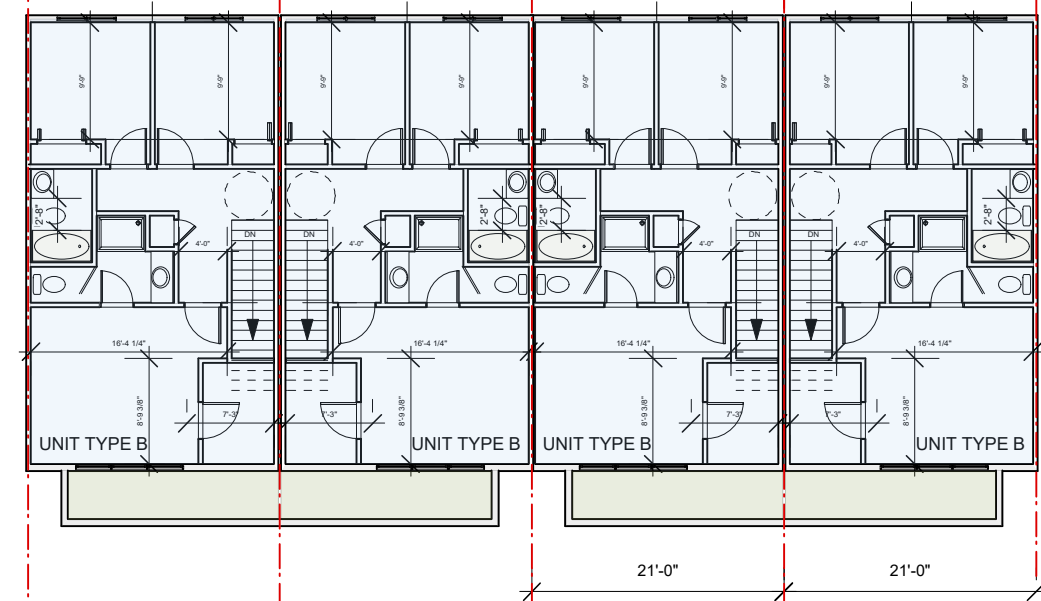


38'-0"


**MAIN FLOOR**  
1/16"=1'0"



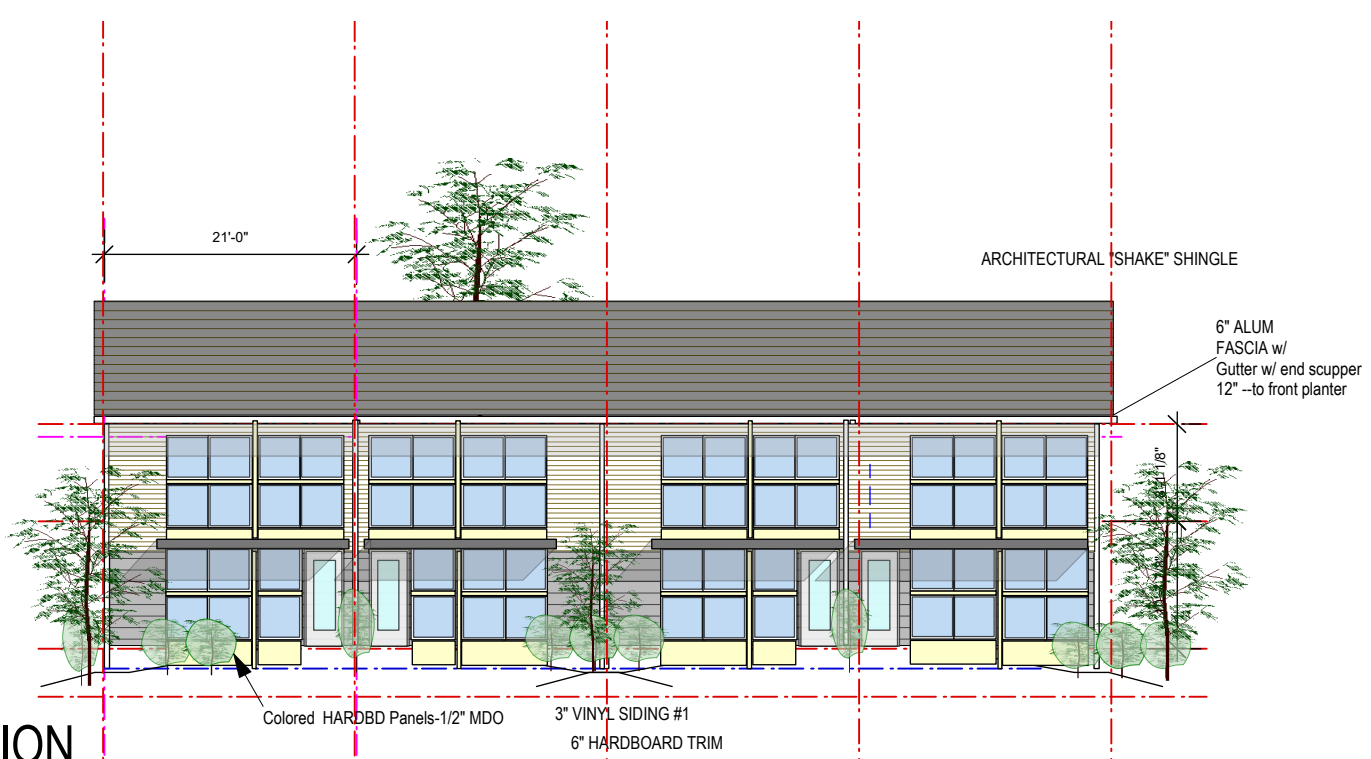
**SECOND FLOOR**  
1/16"=1'0"



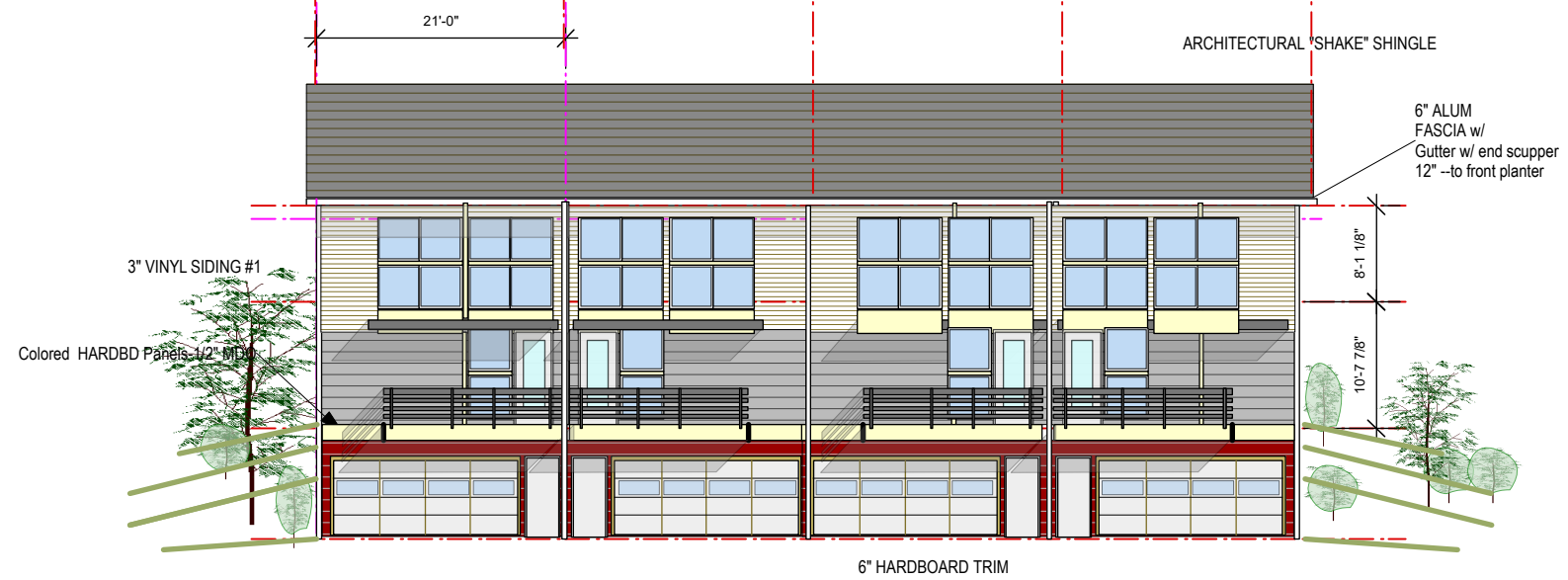
**UNIT "B"**

architect  <b>SIEGER ARCHITECTURE</b> 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE MADISON, WI</b>	<b>B1</b> 8/21
	owner <b>LINDSAY HAGENS MADISON, WI</b>	

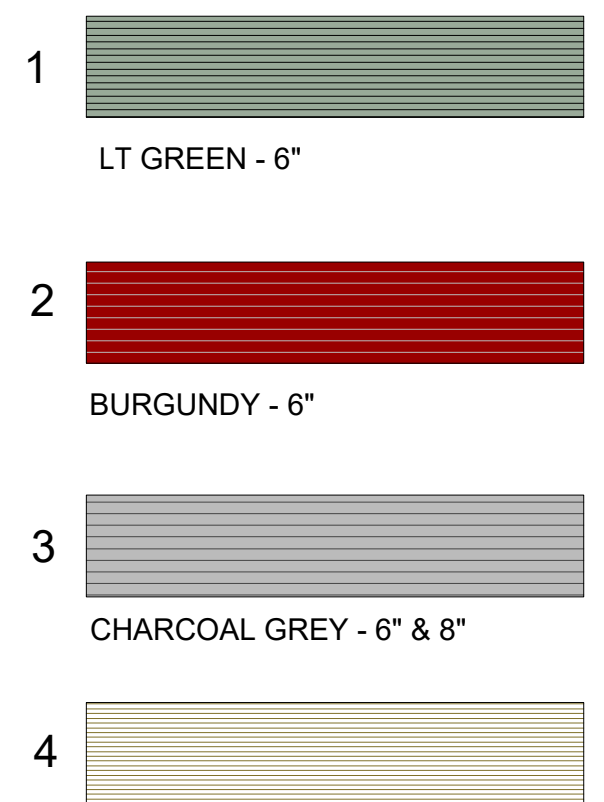
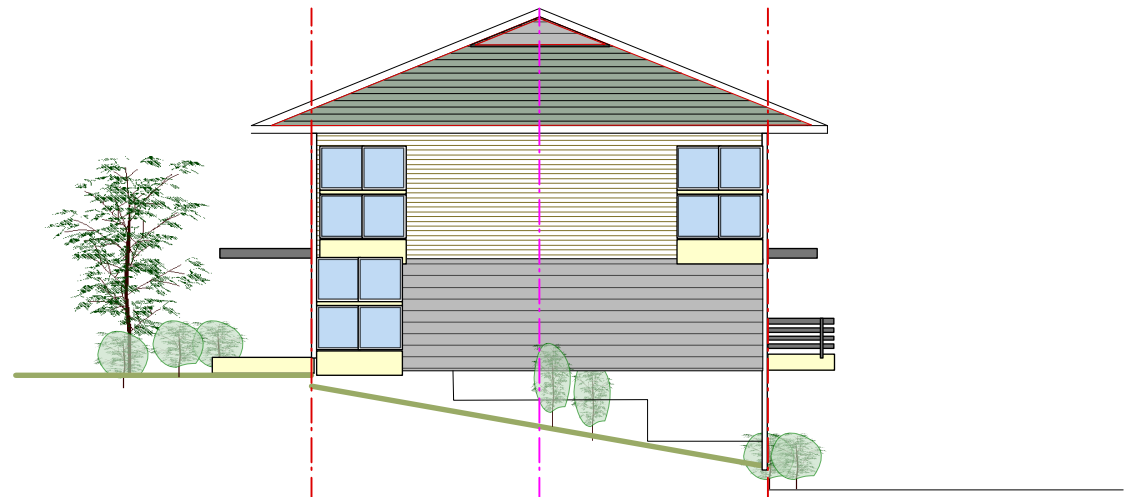
**ENTRY SIDE ELEVATION**



**Garage SIDE ELEVATION**




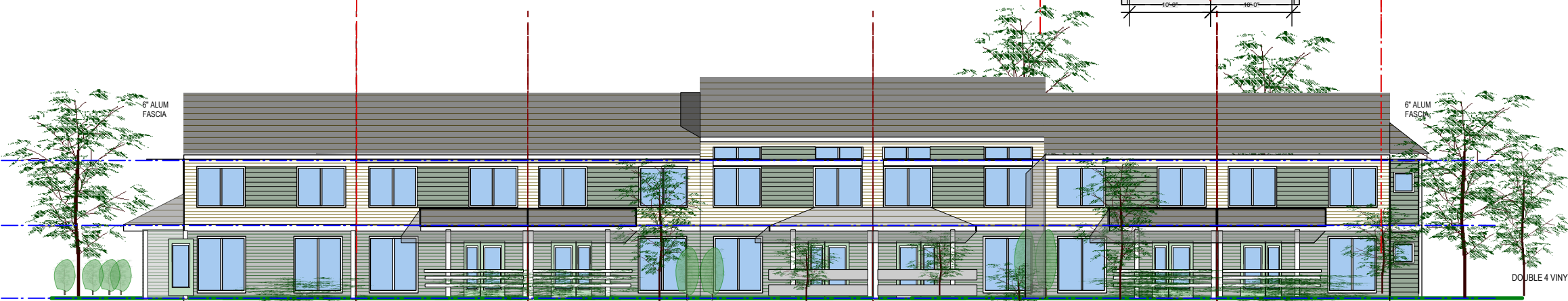
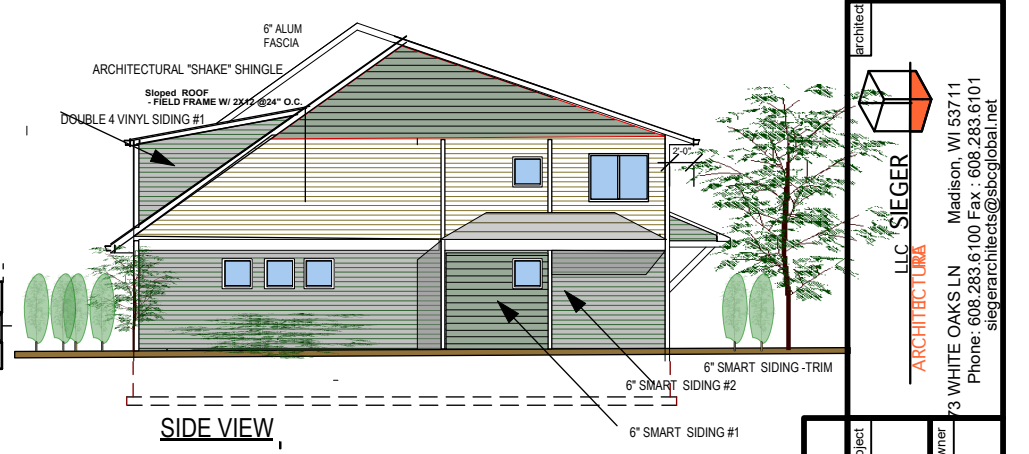
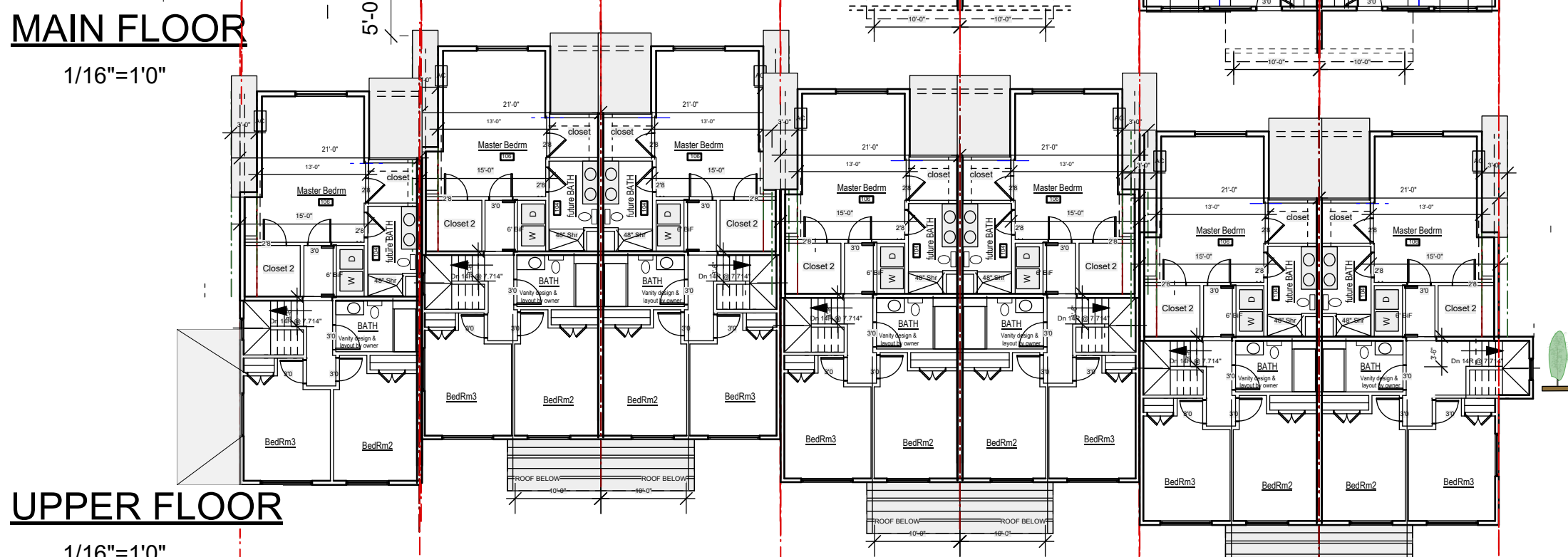
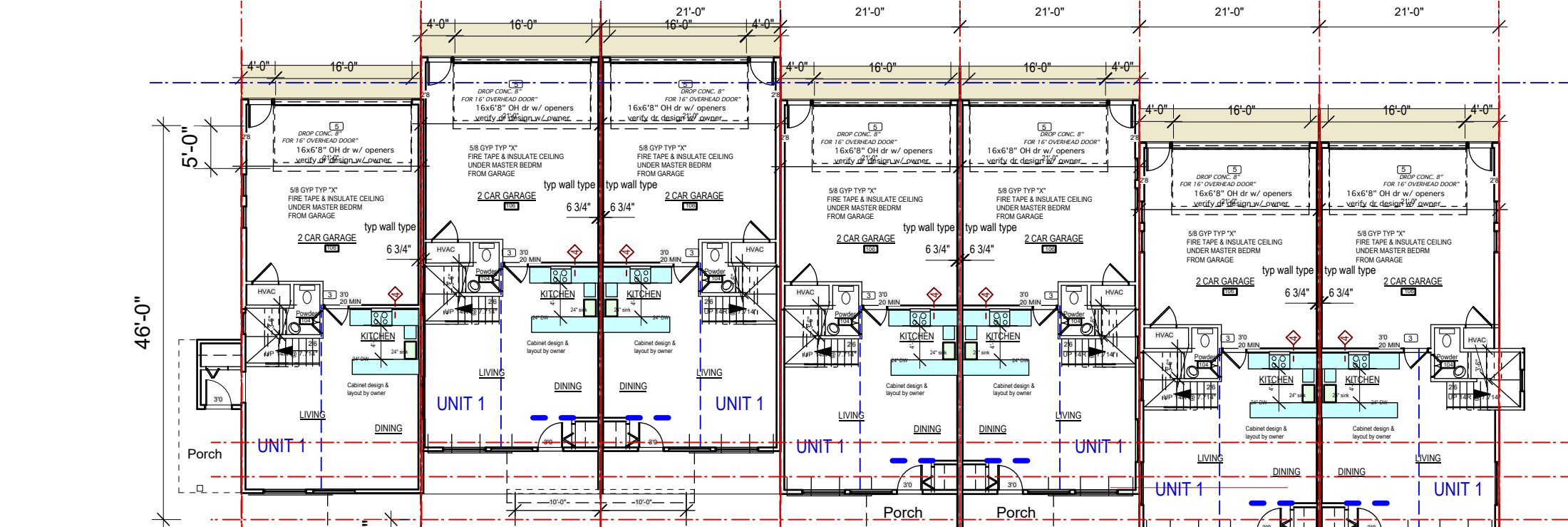
**TYPICAL SIDE**



- SMART SIDING COLOR OPTIONS**
- 1 LT GREEN
  - 2 BURGUNDY - 6"
  - 3 CHARCOAL GREY - 6" & 8"
  - 4 WHITE 6"
- COLOR PAINT PANEL OPTIONS**
- 1 LT GREEN
  - 2 LT YELLOW
  - 3 BURNT ORANGE
  - 4 WHITE
  - 5 GRAY

# UNIT "B"

architect  <b>SIEGER</b> ARCHITECTURE 73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE          MADISON, WI</b>	<b>B4</b> 8/21
	owner <b>LINDSAY HAGENS          MADISON, WI</b>	



**C1**  
7 Unit

ARCHITECTURE  
**LLC SIEGER**  
ARCHITECTURE  
3 WHITE OAKS LN Madison, WI 53711  
Phone: 608.283.6100 Fax: 608.283.6101  
siegerarchitects@subglobal.net

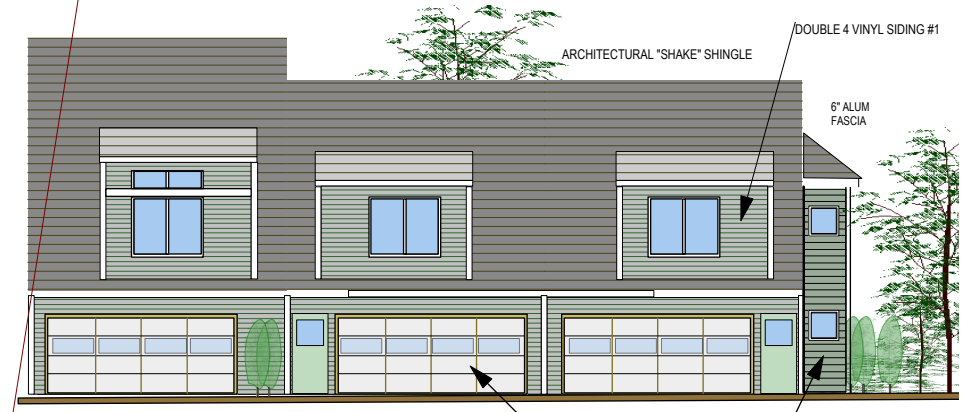
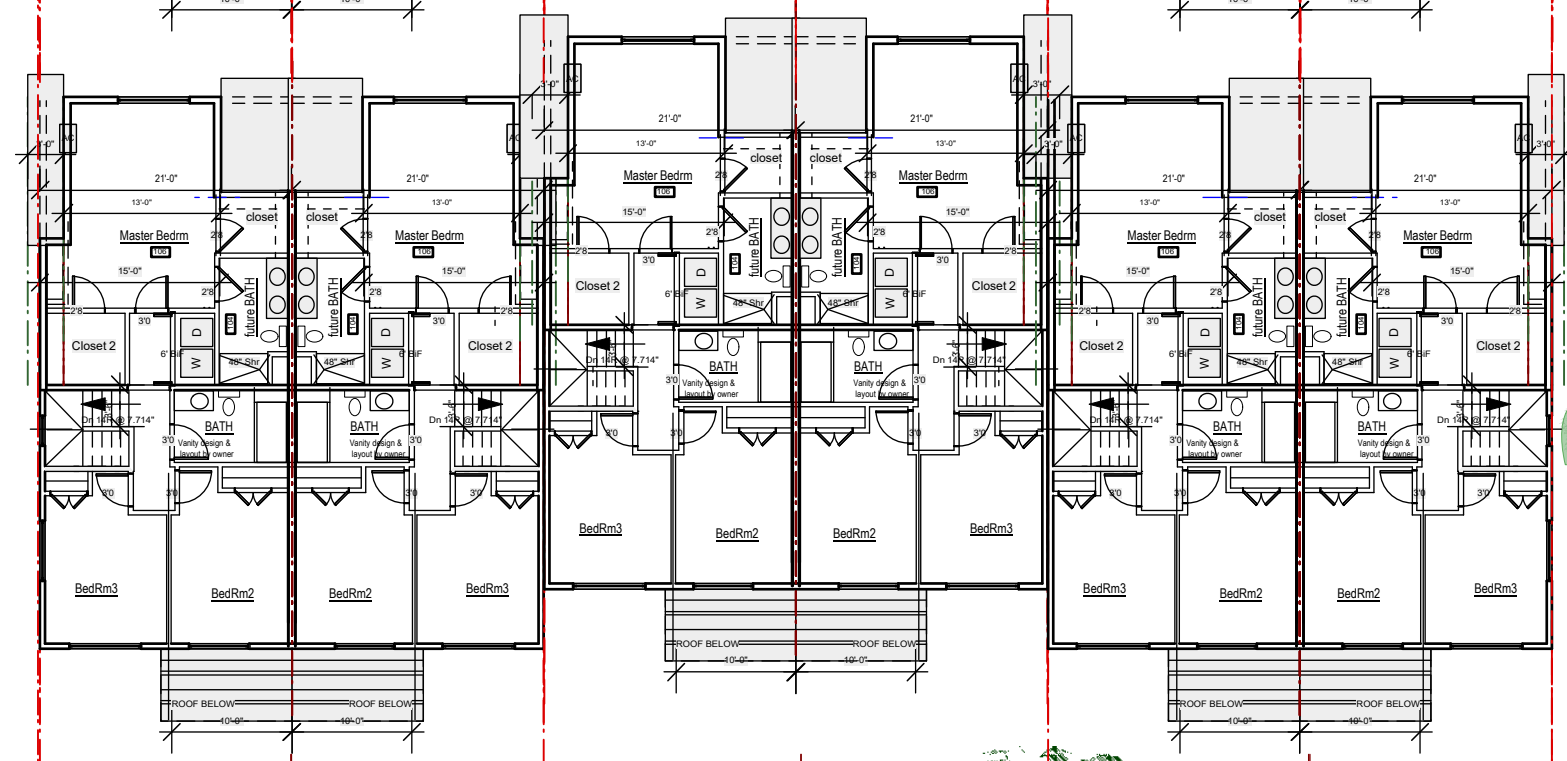
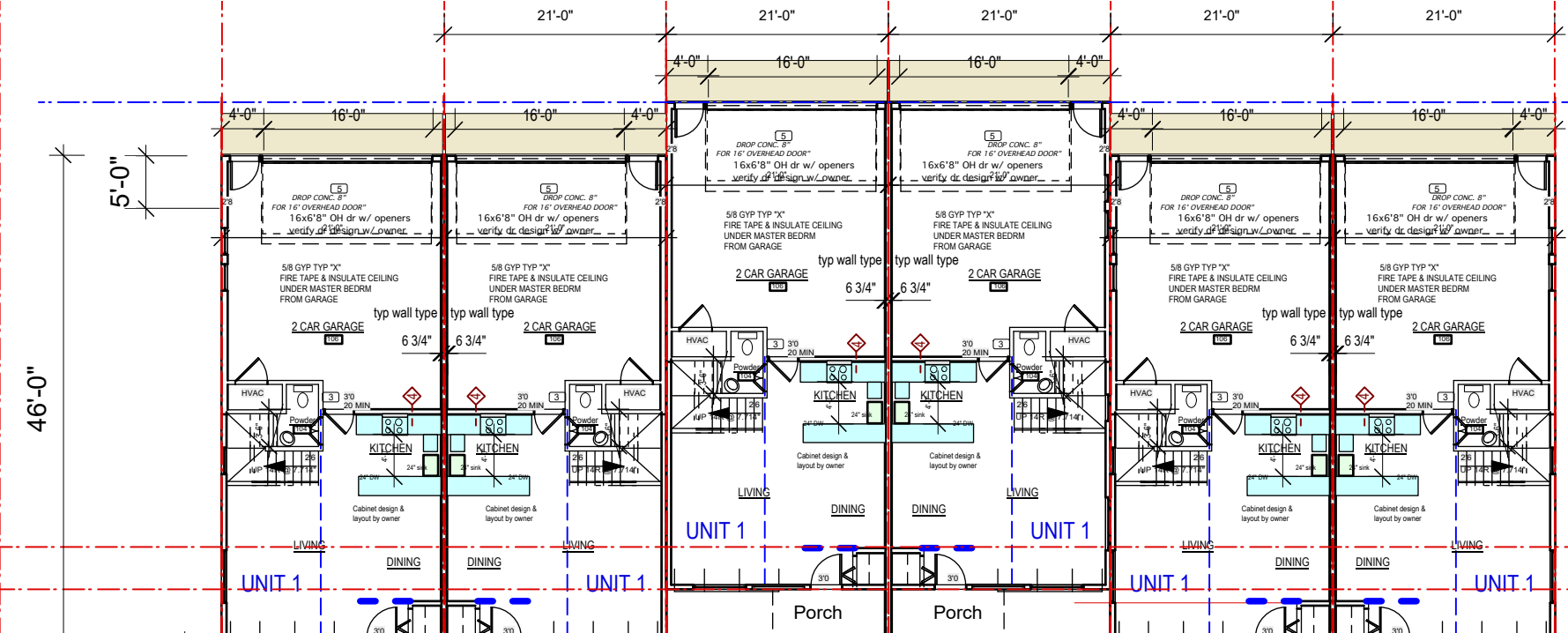
project  
**LINDSAY - 8 UNIT**  
Sauk City, WI

owner  
**PLAN RIGHT CONSTRUCTION**  
SUN PRAIRIE, WI

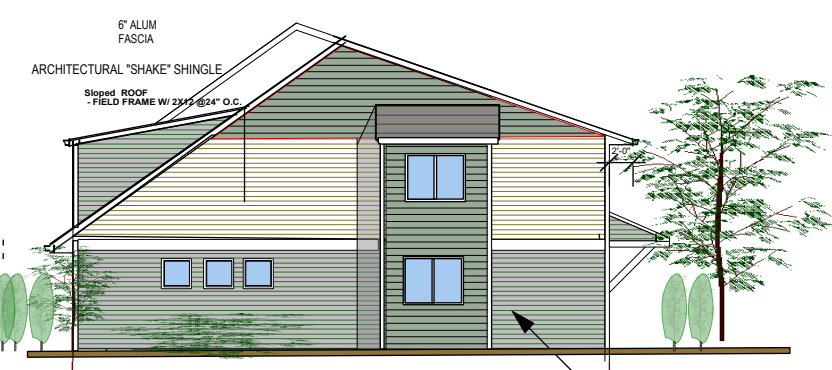
**C1.1**  
1.12.21

**MAIN FLOOR**

1/16"=1'0"



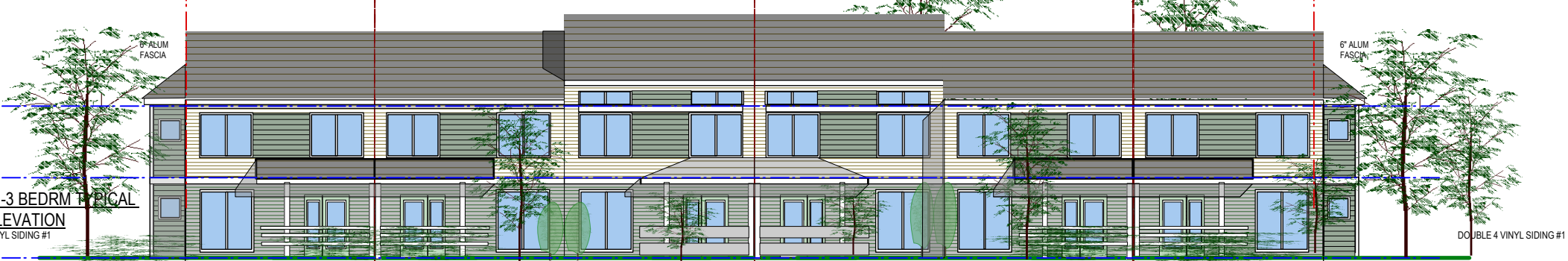
**DRIVE COURT VIEW - TYPICAL**



**SIDE VIEW**

**C2**

**C-1 - Bldg -3 BEDRM TYPICAL FRONT ELEVATION**  
DOUBLE 4 VINYL SIDING #1



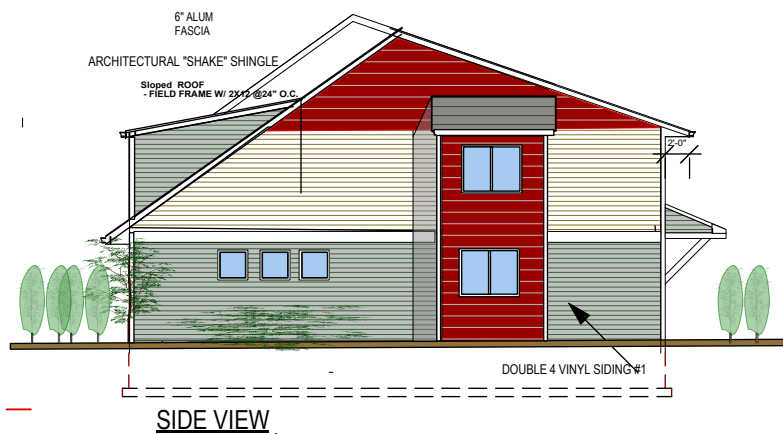
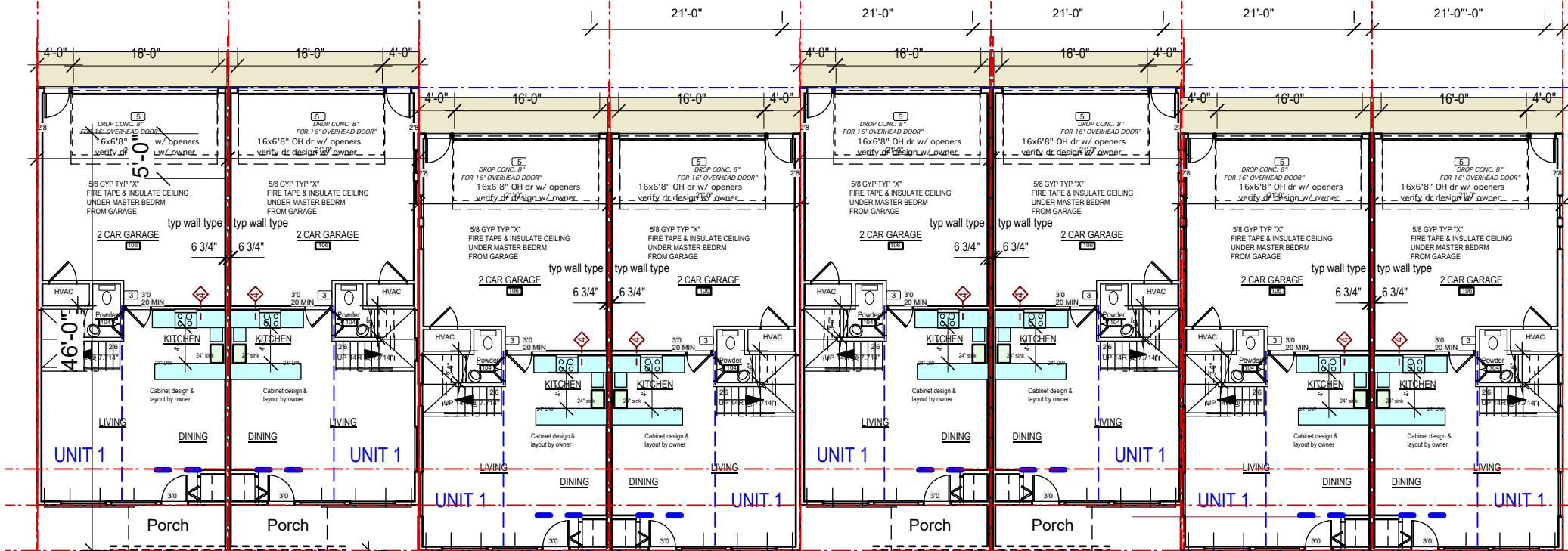
ARCHITECTURE  
**LLC SIEGER**  
ARCHITECTURE  
73 WHITE OAKS LN Madison, WI 53711  
Phone: 608.283.6100 Fax: 608.283.6101  
siegerarchitects@sbcglobal.net

project  
**LINDSAY - 8 UNIT**  
Sauk City, WI

owner  
**PLAN RIGHT CONSTRUCTION**  
SUN PRAIRIE, WI

**C2.1**

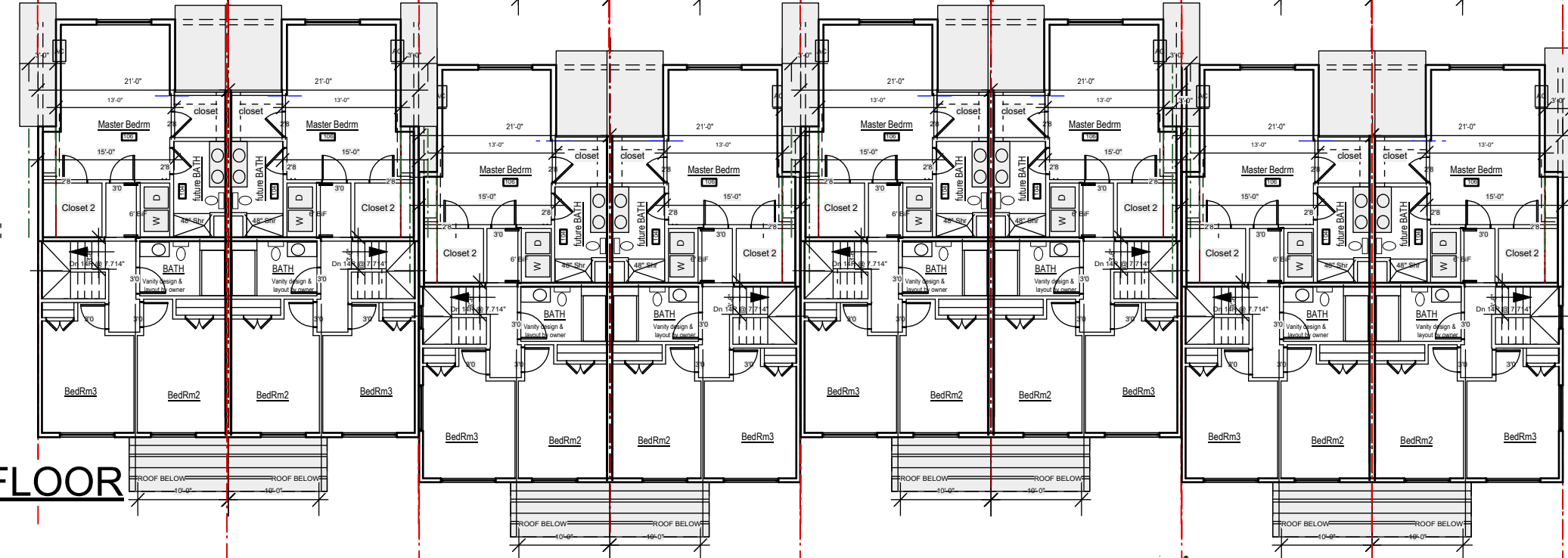
1.12.21



SEE SHEET C2 for typical Drive Court Elevation

**MAIN FLOOR**

1/16"=1'0"



**UPPER FLOOR**

1/16"=1'0"

C-3 - Bdlq -3 BEDRM TYPICAL FRONT ELEVATION



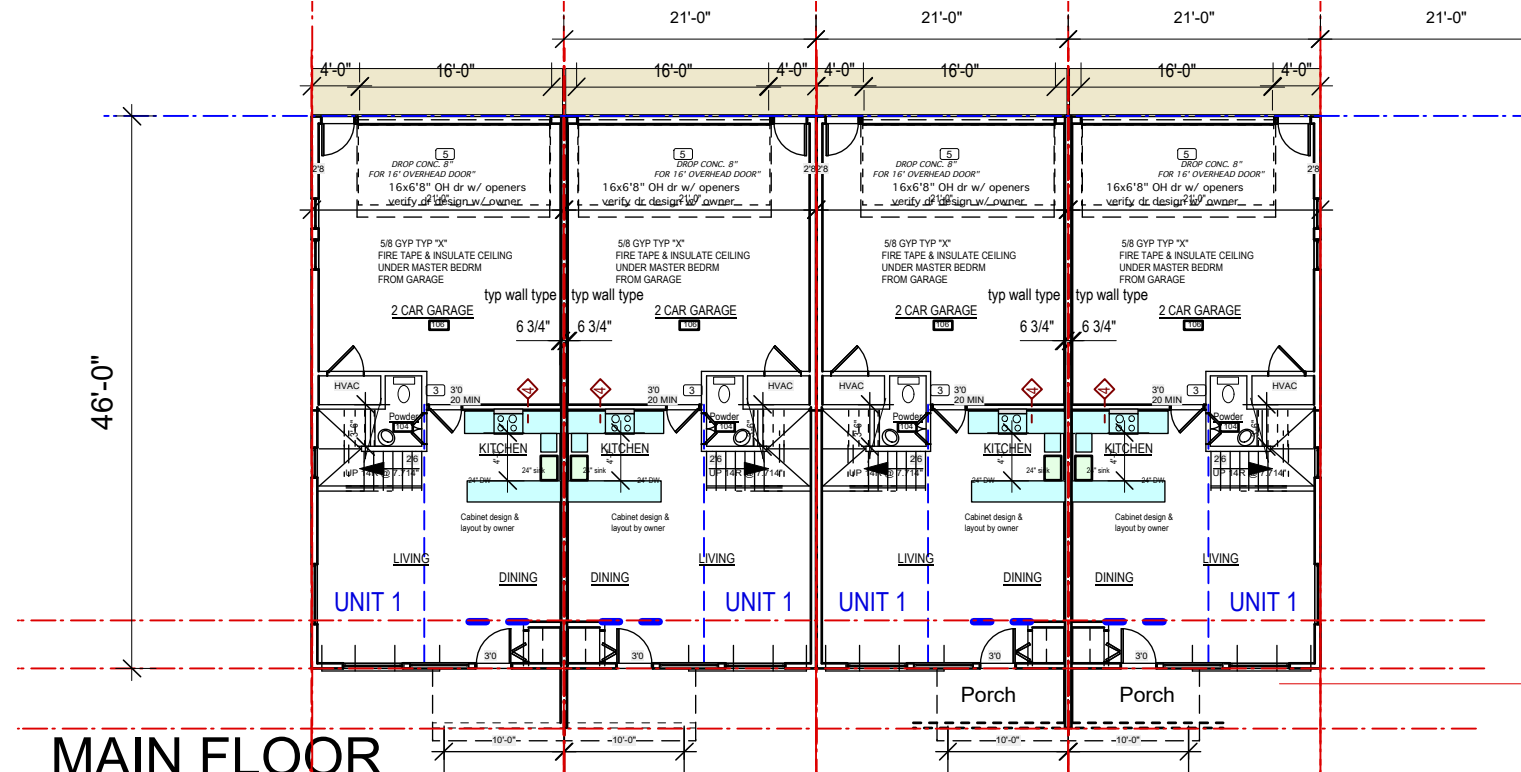
**C3**

8 unit Building  
Color Group #3

ARCHITECTURE  
**LLC SIEGER**  
33 WHITE OAKS LN Madison, WI 53711  
Phone: 608.347.7332  
siegerarchitects@sbcglobal.net

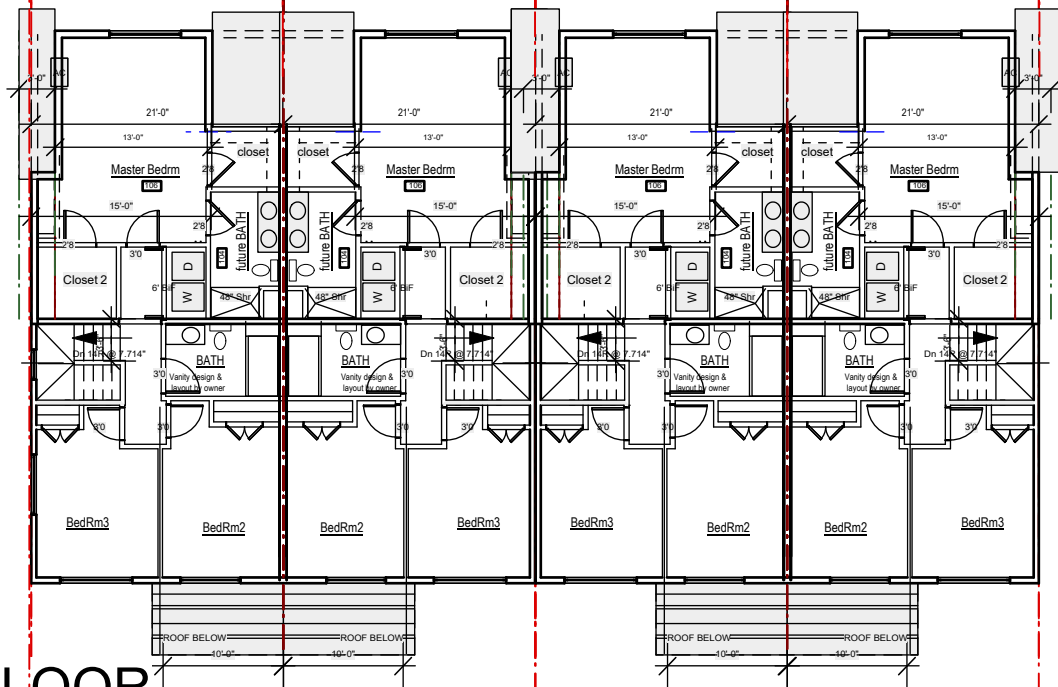
PROJECT  
**JANNAH VILLAGE - TOWNHOME**  
OWNER  
**LINDSAY HAGENS**

**C3.1**  
8.17.21



**MAIN FLOOR**

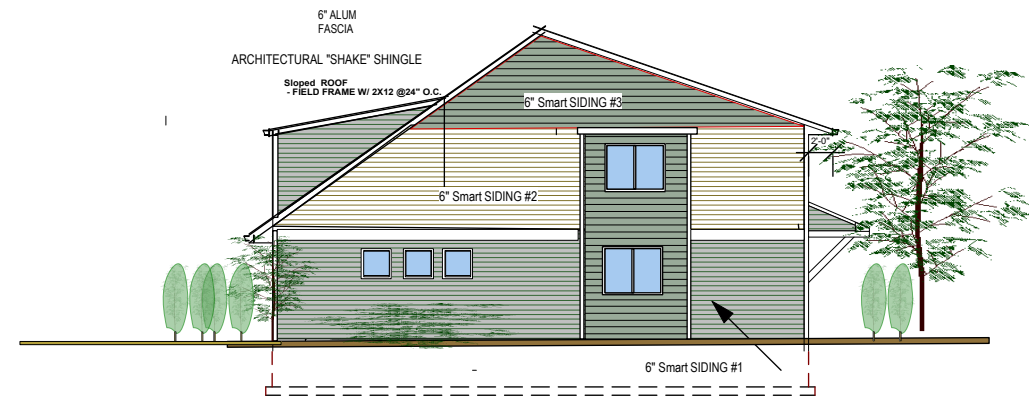
1/16"=1'0"



**UPPER FLOOR**



DRIVE COURT VIEW - TYPICAL



SIDE VIEW



C-4 - 4 UNIT Bldg -  
3 BEDRM TYPICAL  
FRONT ELEVATION

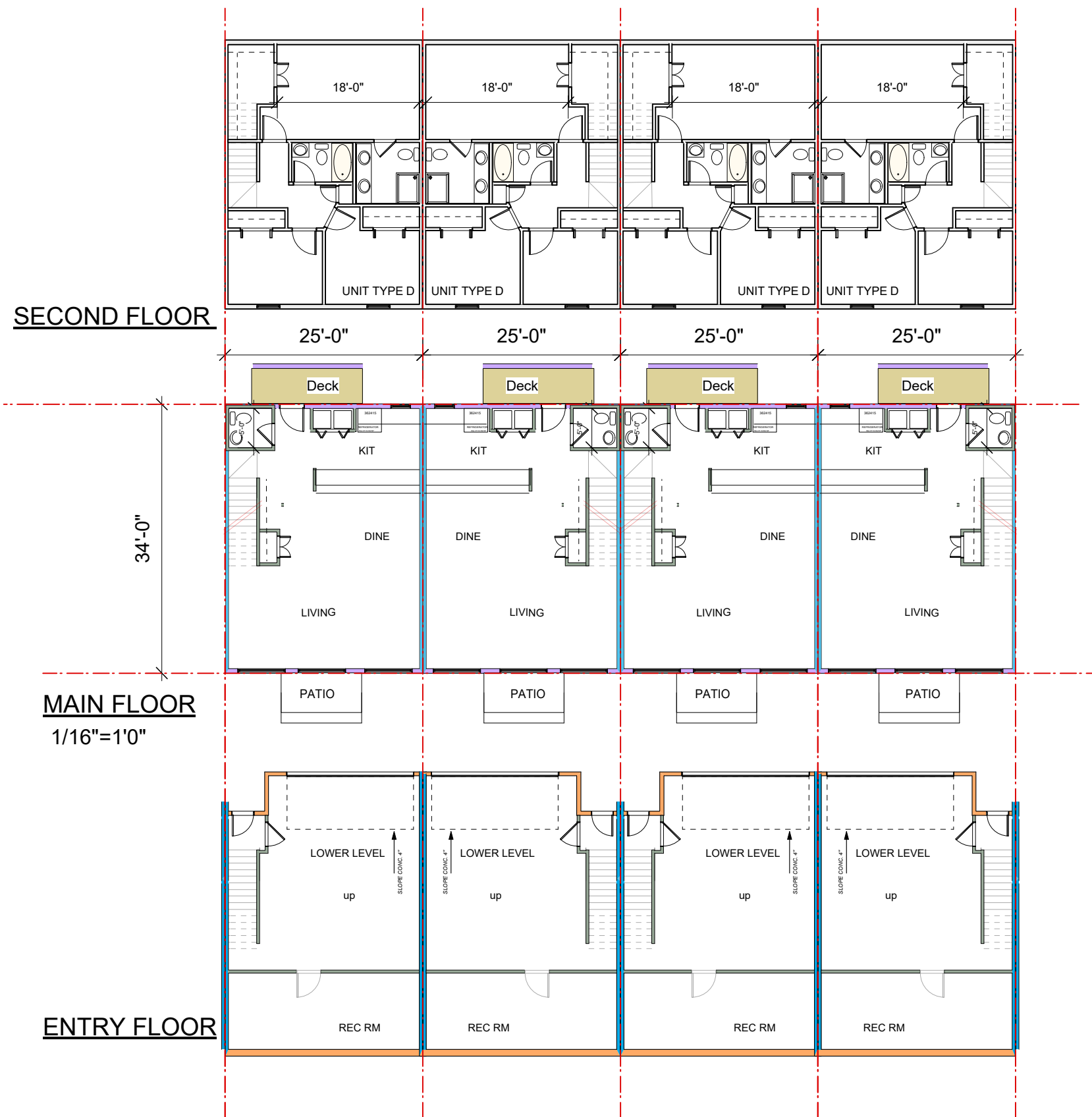
**C4**  
4-UNIT -typical

architect  
**LLC SIEGER**  
ARCHITECTURE  
73 WHITE OAKS LN Madison, WI 53711  
Phone: 608.283.6100 Fax: 608.283.6101  
siegerarchitects@sbglobal.net


owner  
**PLAN RIGHT CONSTRUCTION**  
SUN PRAIRIE, WI

project  
**LINDSAY - 8 UNIT**  
Sauk City, WI

**C4.1**  
1-12-21

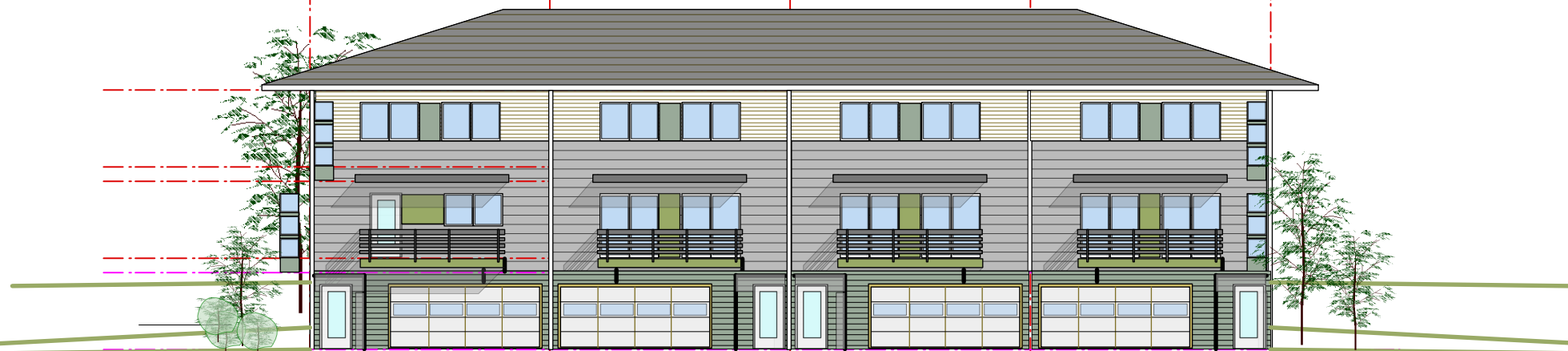


# UNIT "D"

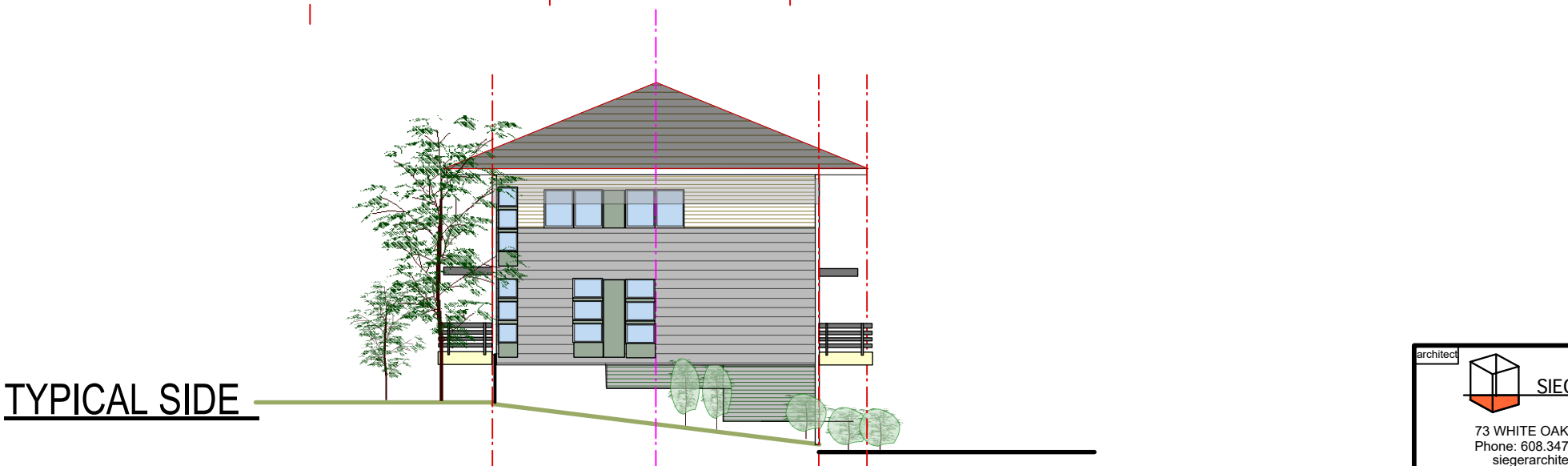
architect		<b>SIEGER</b> ARCHITECTURE	project	<b>JANNAH VILLAGE</b> MADISON, WI	<b>D1.0</b>
		73 WHITE OAKS LN Madison, WI 53711 Phone: 608.347.7332 siegerarchitects@sbcglobal.net	owner	<b>LINDSAY HAGENS</b> MADISON, WI	8/21



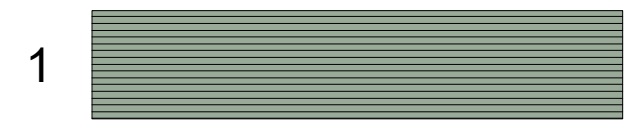
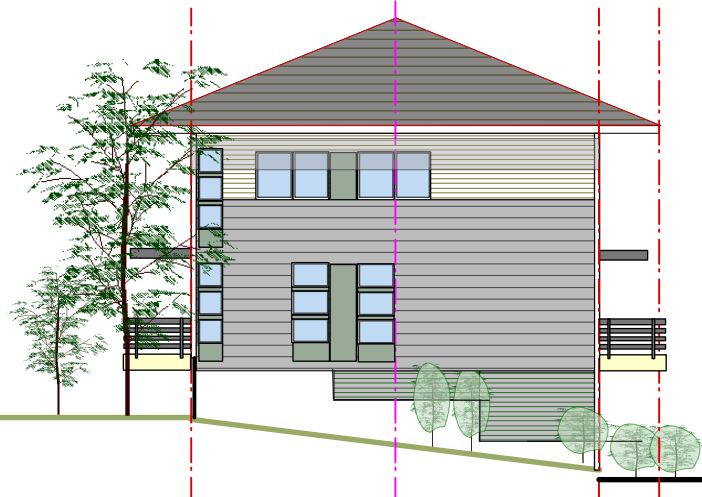
REAR ELEVATION



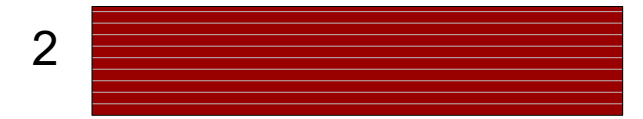
Garage /ENTRY FRONT ELEVATION



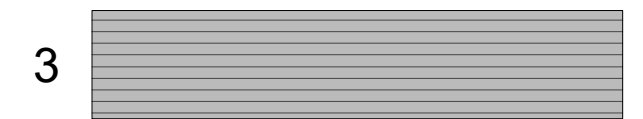
TYPICAL SIDE



1 LT GREEN - 6"



2 BURGUNDY - 6"



3 CHARCOAL GREY - 6" & 8"



4 WHITE 6"

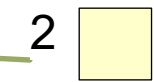
**SMART SIDING  
COLOR OPTIONS**



1 LT GREEN



4 WHITE



2 LT YELLOW




5 GRAY

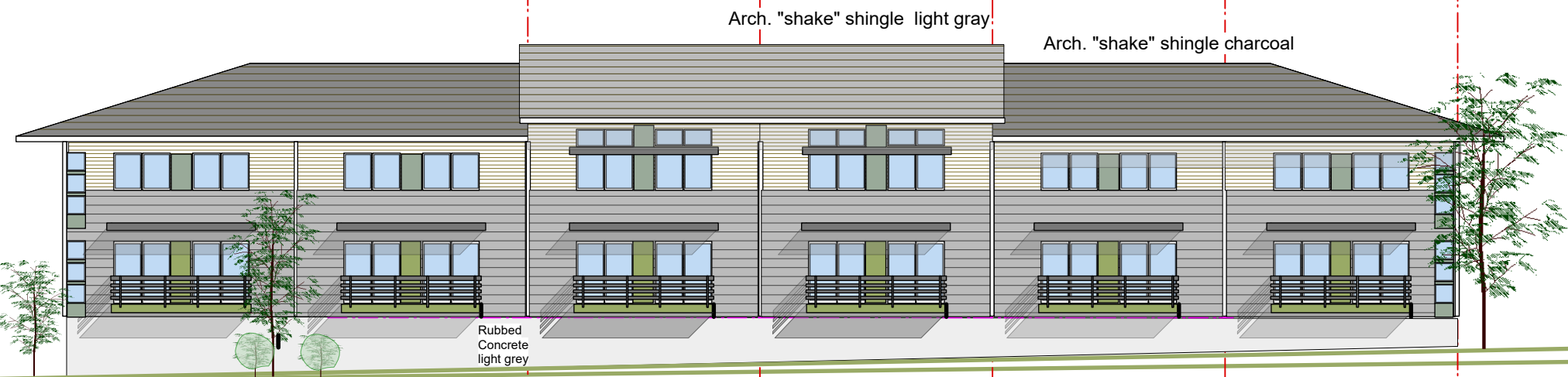


3 BURNT ORANGE

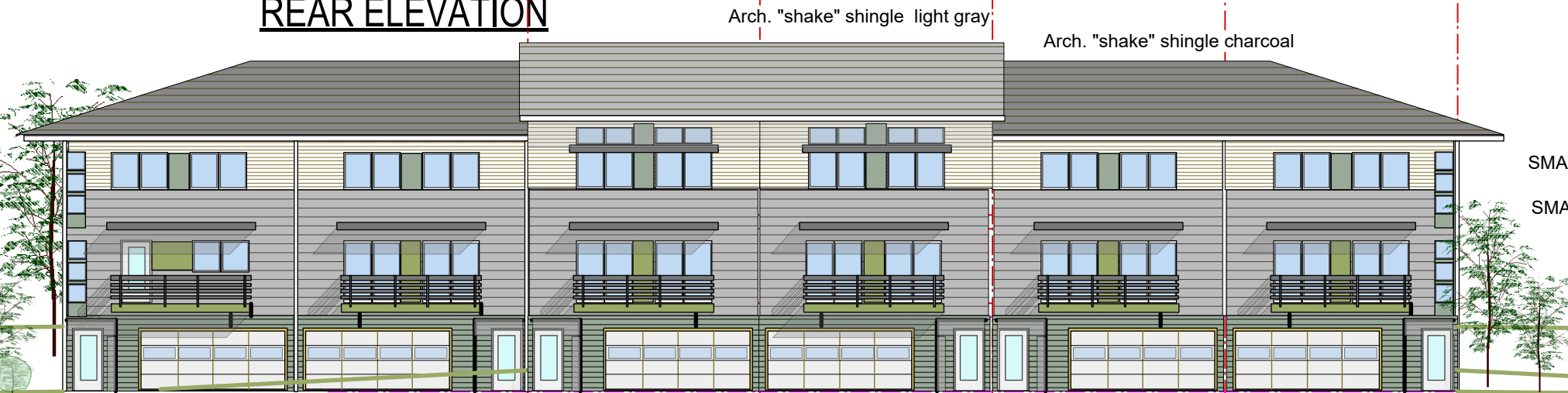
**COLOR PAINT PANEL OPTIONS**

**UNIT "D"**

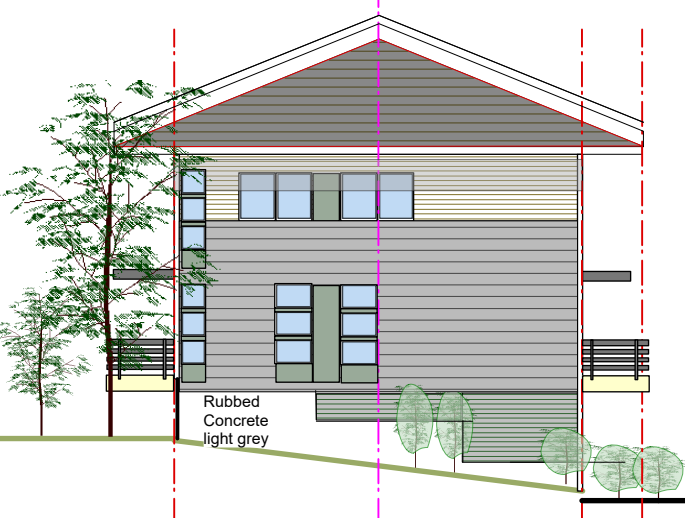
architect  <b>SIEGER</b> ARCHITECTURE 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE MADISON, WI</b>	<b>D1.1</b>



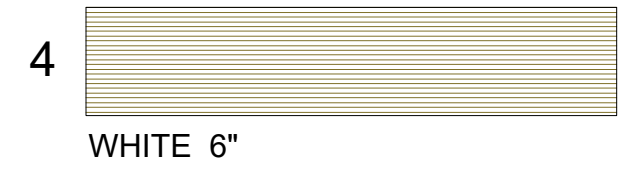
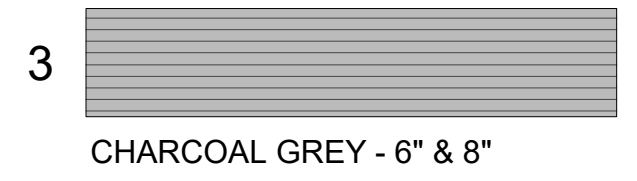
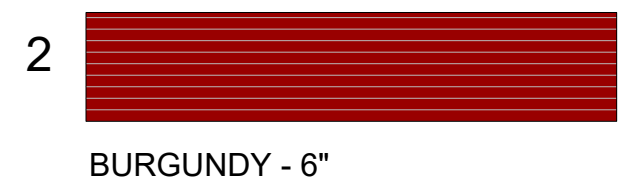
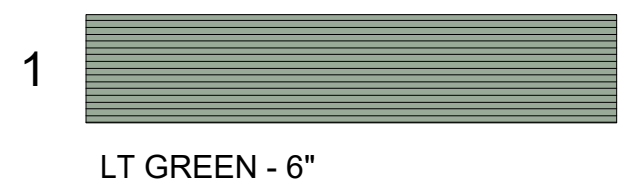
**REAR ELEVATION**



**Garage /ENTRY FRONT ELEVATION**



**TYPICAL SIDE**



**SMART SIDING  
COLOR OPTIONS**

- |   |  |              |   |  |       |
|---|--|--------------|---|--|-------|
| 1 |  | LT GREEN     | 4 |  | WHITE |
| 2 |  | LT YELLOW    | 5 |  | GRAY  |
| 3 |  | BURNT ORANGE |   |  |       |

**COLOR PAINT PANEL OPTIONS**

**6-UNIT "D"**

architect  <b>SIEGER ARCHITECTURE</b> 73 WHITE OAKS LN Phone: 608.347.7332 siegerarchitects@sbcglobal.net	project <b>JANNAH VILLAGE MADISON, WI</b>	<b>D1.2</b> owner <b>LINDSAY HAGENS MADISON, WI</b>
	4	