

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

8/25/21
10:58 a.m.

RECEIVED

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Street address _____

Telephone _____

Project contact person _____

Street address _____

Telephone _____

Property owner (if not applicant) _____

Street address _____

Telephone _____

Company _____

City/State/Zip _____

Email _____

Company _____

City/State/Zip _____

Email _____

City/State/Zip _____

Email _____

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner _____ Date _____

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150
(per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500
(per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100
(per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



August 23, 2021

Kevin Firchow, AICP
Principal Planner
City of Madison DPCED

Re: The Meadowlands – proposed Alterations and Minor Amendment to:

***PUD:SIP located at 6810-6834 Milwaukee Street & 1, 2 and 45 Wind Stone Drive.
LNDUSE #'s: 2019-00059, 2019-00060, 2019-00061.***

Mr. Firchow -

The purpose of this memo is to briefly outline proposed alterations to the approved PUD:SIP, as a supplement to the drawings included herein.

As with many developments under construction over the past 12-15 months, the dramatic increase in material prices on items such as lumber, drywall and other commodities have created significant cost overruns and financial pressure on The Meadowlands. Subsequent to obtaining our financing and issuance of construction drawings, additional costs were also incurred due to a redesign of new City ROW's which were necessary in order to avoid safety issues with the (3) high pressure gas lines that run through the property.

We have explored various paths to bringing additional financing into the project to help reduce our funding gap, including outreach to our lender and equity investor, WHEDA, and other local resources. Unfortunately, these efforts have yielded little success. Given the affordable housing nature of this development, and the nuanced financing associated with as much, ownership is left with limited options to pursue in the effort towards reducing our funding gap while also preserving the cost affordability and value to the resident.

In an effort to strike a balance between the project's financial constraints and our mission to preserve the affordability of the project, the development team has generated a list of alterations (see below) to the approved PUD:SIP for Staff consideration as a Minor Amendment with UDC review and approval.

As long-term owners, KCG has a vested interest in providing high quality housing for our residents, encompassing both the initial construction, and as importantly, the operations and management of our properties. We are confident these alterations can be made without impacting the marketability of the development and have been generated with careful consideration so as to not disrupt the cohesiveness of the project with nearby properties, nor diminish the value it will bring to the surrounding neighborhood.

- Secondary Entrances – simplify design
 - Buildings 1 - 4
 - Reference Pages: PR 1.1, 1.4, 1.5, 1.6, 2.1, 2.3, 2.4, 3.1, 3.3, 3.4
 - Approved Design
 - Each building has two sets of stairs located on the far ends of building(s) for egress purposes. The exterior approach to the ground-floor entry/exit door was originally designed as a covered entry, with a roof spanning from the front of the façade to the rear of the door.
 - Proposed Revision
 - The proposed change removes the “covered entry” aspect of these porches, though in all cases would maintain the proposed handrail and exterior building lighting.
 - Based on the underground parking garages and location of surface parking, building residents and visitors will almost exclusively use the primary entrances.

- Ramp serving Human Services Office – provide alternative access
 - Building 4, north end
 - Reference Pages: PR 3.1, 3.2
 - Approved Design
 - Accessible access to the Human Services Office was provided on the approved plans via an intricate ramp system immediately in front of the office space.
 - Proposed Revision
 - The accessible route into the Office will be provided from the interior corridor of Building 4, therefore eliminating the need for the ramp. Accessible route signage will be provided, as required.

- Human Service Office Storefront Assembly – revise storefront appearance
 - Building 4, north end
 - Reference Pages: PR 3.2
 - Approved Design
 - Continuous storefront appearance; entry door + two windows on each side
 - Proposed Revision
 - Provide single door with full height window and transom + adjacent window

- Site Stairs, Sidewalks, & Private Entries – reduce quantity
 - Building 1 – 4
 - Reference Pages: PR 1.1, 1.2, 1.4, 1.6, 2.1, 2.2, 2.4, 3.1, 3.2, 3.3, 3.4,
 - Approved Design
 - Ground floor units along Milwaukee Street, Wind Stone Drive, and Advantage Drive have private entries and stairways.
 - Grade difference between the ground floor and the adjoining roadways, varying between approximately 5' and 10', requires a significant amount of retaining walls and large staircases to accomplish the exterior direct access.
 - As an example, there are (20) steps required to enter ground floor units from the sidewalks along Wind Stone Drive.

- Due to the implications surrounding grades on site and the ROW's, the original and desired aesthetic of ground floor walk-ups has already been greatly compromised.
- Proposed Revision
 - Converts ground floor "entry porches" into enclosed patios, similar to upper floors and in keeping with buildings of this size and # of units.
 - Eliminate private stairs, redundant sidewalks, and select retaining walls, which were necessary to accommodate private walk-up entries.
 - Keep private entries at Building 5 (Townhomes) as private entry is more in keeping with the building & unit type, and grade difference is not as severe.
 - Based on the underground parking garages and location of surface parking, building residents and visitors will almost exclusively use the primary entrances and reduction in number of private entrances improves marketability and security of the overall community.
- Exterior Lighting – reduce sconces and eliminate carriage lights
 - Buildings 1 – 4
 - Reference Pages: all elevations
 - Approved Design
 - First floor: decorative sconces at all primary, secondary, and private entrances.
 - All unit porches: small sconce (carriage light)
 - Proposed Revision
 - First floor: reduce number of decorative sconces to just primary entrances that are uncovered, as shown in elevations
 - All unit porches: provide ceiling mounted puck lights ILO sconce.
- Building 4 Hardscape Patio - reduce
 - Building 4 (interior courtyard side)
 - Reference Pages: L 2.2
 - Approved Design
 - Multi-tiered patio, approximately 2,500SF in area, with seating areas, landscape elements, retaining walls, and various decorative finishes.
 - Proposed Revision
 - Revise patio layout, keeping similar overall usable SF
 - Eliminate decorative retaining wall as a result of layout revision
 - Simplify patio finish details, proposed to be standard concrete pour and broom finish
 - Maintain required building entry and code-required landscaping.
 - Maintain community gardens and playground as exterior amenities.
 - The removal of this hardscape area would reduce impervious cover and has no design impact from public streets.
 - The property will still exceed city landscape point requirements.
- Landscape Package – reduce foundation plantings
 - Buildings 1- 5
 - Reference Pages: L 2.0, 2.1, 2.2, 2.3
 - Remove excess foundation plantings; revise plant type/layout to minimize impact of small number of plantings
 - The proposal still exceeds city point requirements and does not diminish the overall quality of the landscaping package.

We appreciate your consideration and look forward to the opportunity to speak with Staff in more detail about our proposed alterations.

Respectfully,



RJ Pasquesi
President
KCG Companies, LLC
rj.pasquesi@kcgcompanies.com
(O): 317.708.6519
(C): 317.797.4400

MULTI-FAMILY HOUSING

THE MEADOWLANDS

MADISON, WI

KCG HOUSING DEVELOPMENT

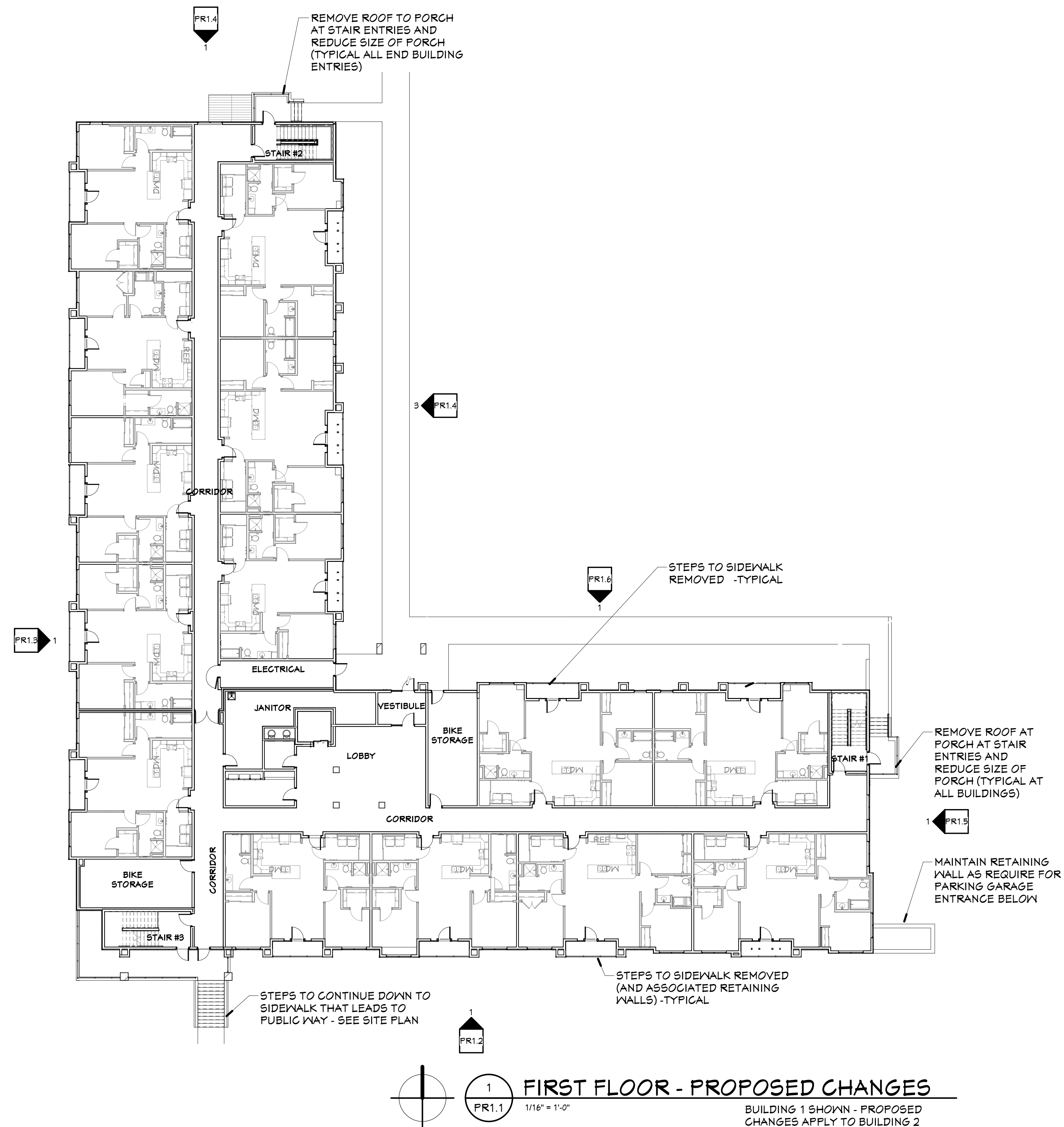
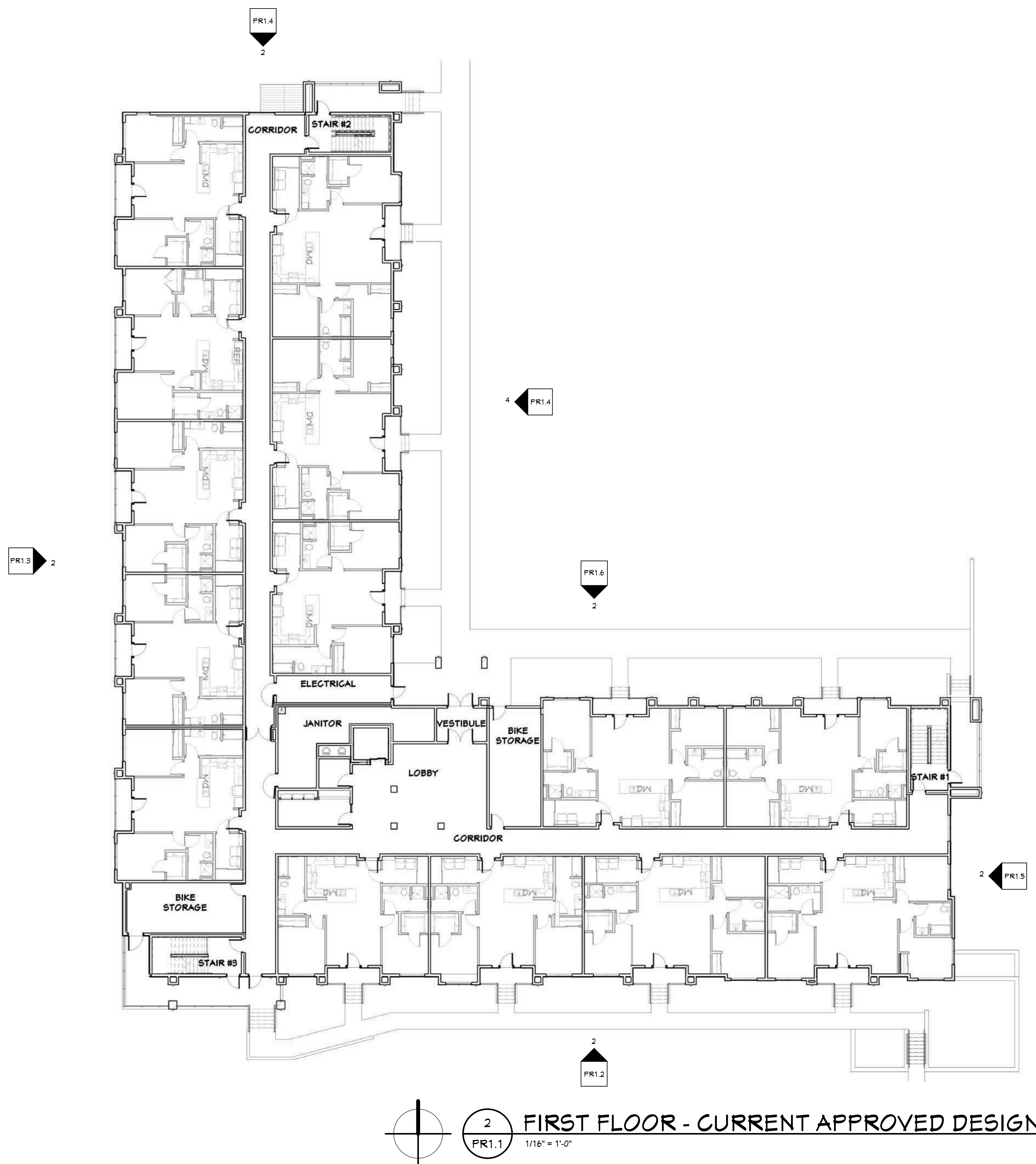


SHEET LIST - CIVIL AND LANDSCAPE	
SHEET NUMBER	LANDSCAPE NOTES
L1.0	LANDSCAPE NOTES
L2.0	LANDSCAPE PLANS
L2.1	LANDSCAPE PLANS
L2.2	LANDSCAPE PLANS
L2.3	LANDSCAPE PLANS
L3.0	PATIO ENLARGEMENT
L3.1	PATIO ENLARGEMENT
L3.2	PLATYGROUND ENLARGEMENT
L4.0	LANDSCAPE DETAILS
L4.1	LANDSCAPE DETAILS
EXBY	PROPOSED LANDSCAPE PLAN
EXBY	PREVIOUS LANDSCAPE PLAN
EXBT	PROPOSED RETAINING WALL PLAN
EXBT	PREVIOUS RETAINING WALL PLAN

NOTE: DOCUMENTS HAVE BEEN PRODUCED BY SNYDER & ASSOCIATES, INC.

SHEET LIST - ARCHITECTURAL	
SHEET NUMBER	SHEET NAME
PR0.0	COVERSHEET FOR PROPOSED CHANGES
PR1.1	BUILDING 1 & 2 PROPOSED CHANGES - FLOOR PLAN
PR1.2	BUILDING 1 & 2 PROPOSED CHANGES - ELEVATIONS
PR1.3	BUILDING 1 & 2 PROPOSED CHANGES - ELEVATIONS
PR1.4	BUILDING 1 & 2 PROPOSED CHANGES - ELEVATIONS
PR1.5	BUILDING 1 & 2 PROPOSED CHANGES - ELEVATIONS
PR1.6	BUILDING 1 & 2 PROPOSED CHANGES - ELEVATIONS
PR2.1	BUILDING 3 PROPOSED CHANGES - FLOOR PLAN
PR2.2	BUILDING 3 PROPOSED CHANGES - ELEVATIONS
PR2.3	BUILDING 3 PROPOSED CHANGES - ELEVATIONS
PR2.4	BUILDING 3 PROPOSED CHANGES - ELEVATIONS
PR3.1	BUILDING 4 PROPOSED CHANGES - FLOOR PLAN
PR3.2	BUILDING 4 PROPOSED CHANGES - ELEVATIONS
PR3.3	BUILDING 4 PROPOSED CHANGES - ELEVATIONS
PR3.4	BUILDING 4 PROPOSED CHANGES - ELEVATIONS
PR3.5	BUILDING 4 PROPOSED CHANGES - ELEVATIONS

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LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED RETAINING WALLS.
2. MAIN ENTRY DOOR TO BUILDING AND COMMON AREAS CHANGED FROM DOUBLE DOOR TO SINGLE WITH SIDELIGHT.
3. REMOVE ROOF TO PORCH AT STAIR ENTRIES (TYPICAL OF ALL END BUILDING ENTRIES)
4. REDUCE PORCH SIZE AT STAIR ENTRIES (TYPICAL OF ALL END BUILDING ENTRIES)
5. REMOVE DRAINAGE SYSTEM UNDER BALCONY. PAINT EXPOSED FRAMING AT UNDERSIDE OF BALCONY.

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
12	21-0825	UDC SUBMISSION

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**BUILDING 1 & 2
PROPOSED
CHANGES - FLOOR
PLAN**

PR1.1

Project Number			4-1125
ISSUANCE			
No.	Date	Description	
12	21-0625	UDC SUBMISSION	

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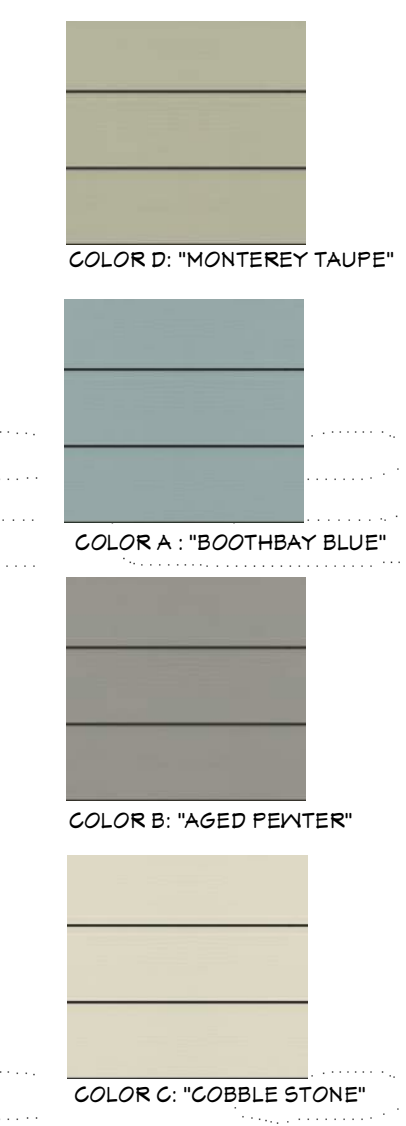
**BUILDING 1 & 2
PROPOSED
CHANGES -
ELEVATIONS**

PR1.2

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED RETAINING WALLS.
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

**CURRENT DESIGN:
FIBER CEMENT SIDING**



2 SOUTH ELEVATION - CURRENT APPROVED DESIGN
352' x 1'-0"



1 SOUTH ELEVATION - PROPOSED DESIGN
352' x 1'-0"
BUILDING 1 SHOWN - PROPOSED CHANGES APPLY TO BUILDING 2

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED RETAINING WALLS AND SIDEWALKS.
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL.
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (6" X 4" COMPOSITE TRIM), COLOR D.
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 5/4" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENINGS. SEE DOOR AND WINDOW DETAILS.
4. REFER TO SHEET A4.1 FOR EXTERIOR MATERIALS AND COLORS.

ELEVATION KEYNOTES

1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL, COLOR D
4. FIBER CEMENT TRIM, COLOR D
5. STONE VENEER
6. STONE WATERFALL
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E, SEE PARAPET DETAILS.
12. LOUVER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. 1X600 COLUMN WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. 6x6 METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SKIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)



2 WEST ELEVATION - BLDG 1 - CURRENT APPROVED DESIGN
PR1.3 1/8" = 1'-0"
BUILDING 1 - ZONE B SHOWN
BUILDING 2 - ZONE D SIMILAR



1 WEST ELEVATION - BUILDING 1 - PROPOSED DESIGN
PR1.3 1/8" = 1'-0"
BUILDING 1 - ZONE B SHOWN
BUILDING 2 - ZONE D SIMILAR

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
2	2020.05.15	ADDENDUM #1
12	21-0825	UDC SUBMISSION



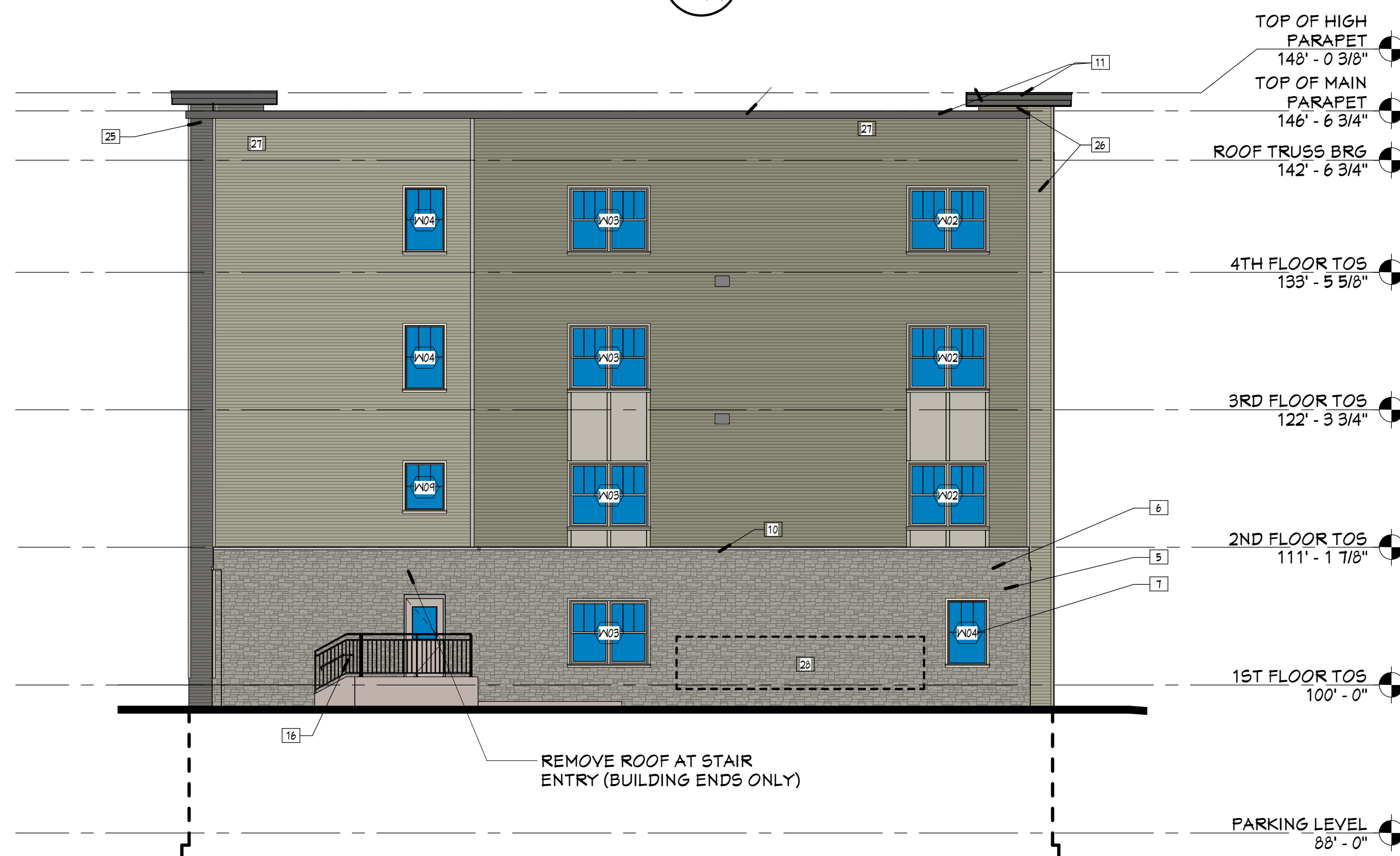
4 PARTIAL EAST ELEVATION - BLDG 1 - CURRENT APPROVED DESIGN
BUILDING 1 - ZONE B SHOWN
BUILDING 2 - ZONE D SIMILAR
PR1.4 1/8" = 1'-0"



3 PARTIAL EAST ELEVATION - BLDG 1 - PROPOSED DESIGN
BUILDING 1 - ZONE B SHOWN
BUILDING 2 - ZONE D SIMILAR
PR1.4 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION - BLDG 1 - CURRENT APPROVED DESIGN
BUILDING 1 - ZONE B SHOWN
BUILDING 2 - ZONE D SIMILAR
PR1.4 1/8" = 1'-0"



1 PARTIAL NORTH ELEVATION - BUILDING 1 - PROPOSED DESIGN
BUILDING 1 - ZONE B SHOWN
BUILDING 2 - ZONE D SIMILAR
PR1.4 1/8" = 1'-0"

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED RETAINING WALLS
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)
3. REMOVE ROOF TO PORCH AT STAIR ENTRIES (TYPICAL OF ALL END BUILDINGS ENTRIES ONLY)

GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL
 2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (3/4" X 4" COMPOSITE TRIM), COLOR D
 3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 3/4" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENING, SEE DOOR AND WINDOW DETAILS
 4. REFER TO SHEET #1 FOR EXTERIOR MATERIALS AND COLORS
- ELEVATION KEYNOTES
1. NOT USED
 2. NOT USED
 3. FIBER CEMENT PANEL - COLOR D
 4. FIBER CEMENT TRIM - COLOR D
 5. STONE VENEER
 6. STONE WATERTABLE
 7. VINYL HANDSON WITH FIBER CEMENT TRIM
 8. PAINTED STEEL DOOR
 9. VINYL SLIDING PATIO DOOR
 10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
 11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E, SEE PARAPET DETAILS
 12. LOUVER - SEE MECHANICAL
 13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
 14. ALUMINUM FASCIA AT BALCONY AND BEAM
 15. CONCRETE STEPS AND ALUM. GUARDRAILS
 16. ALUMINUM GUARDRAIL
 17. ALUMINUM STOREFRONT SYSTEM
 18. BUILDING SIGNAGE
 19. ALUMINUM GUTTER AND DOWNSPOUTS
 20. PLUMBING PENETRATION - SEE PLUMBING
 21. ASPHALT SHINGLES
 22. INSULATED OVERHEAD DOOR
 23. WOOD COLUMN WITH FIBER CEMENT WRAP
 24. SIDING COLOR A
 25. SIDING COLOR B
 26. SIDING COLOR C
 27. SIDING COLOR D
 28. GAS METERS - SEE PLUMBING
 29. ELECTRICAL METERS - SEE ELECTRICAL
 30. STONE CONTROL JOINT
 31. PVC SKIRT BOARD TRIM
 32. COMPOSITE TRIM, COLOR D
 33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
2	2020.05.15	ADDENDUM #1
10	2021.05.19	ASI #5
12	21-0825	UDC SUBMISSION

LIST OF PROPOSED CHANGES:

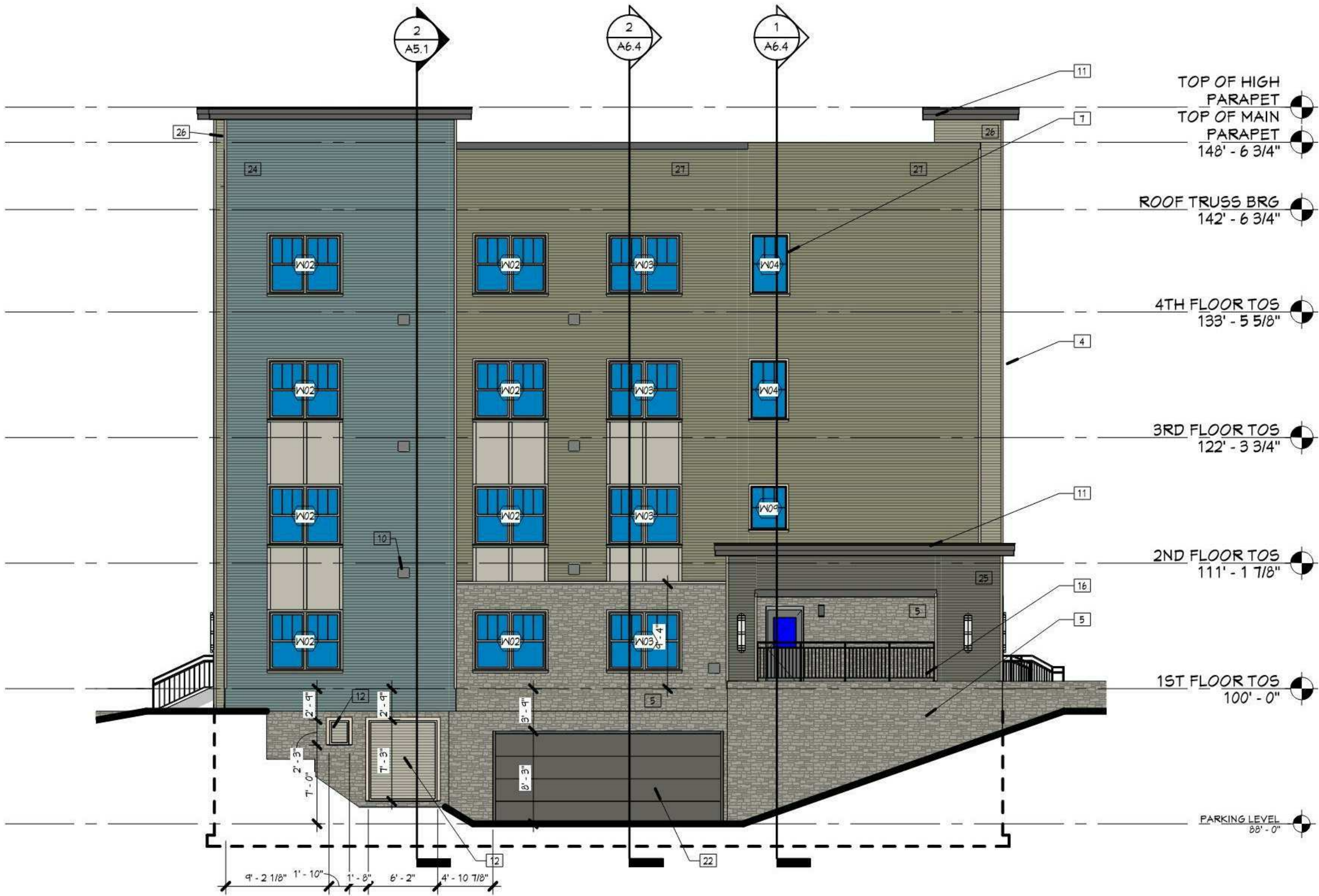
1. REMOVE ROOF TO PORCH AT STAIR ENTRIES (TYPICAL OF ALL BUILDINGS)
2. REDUCE PORCH SIZE AT STAIR ENTRIES (TYPICAL OF ALL END BUILDING ENTRIES)
3. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

GENERAL ELEVATION NOTES

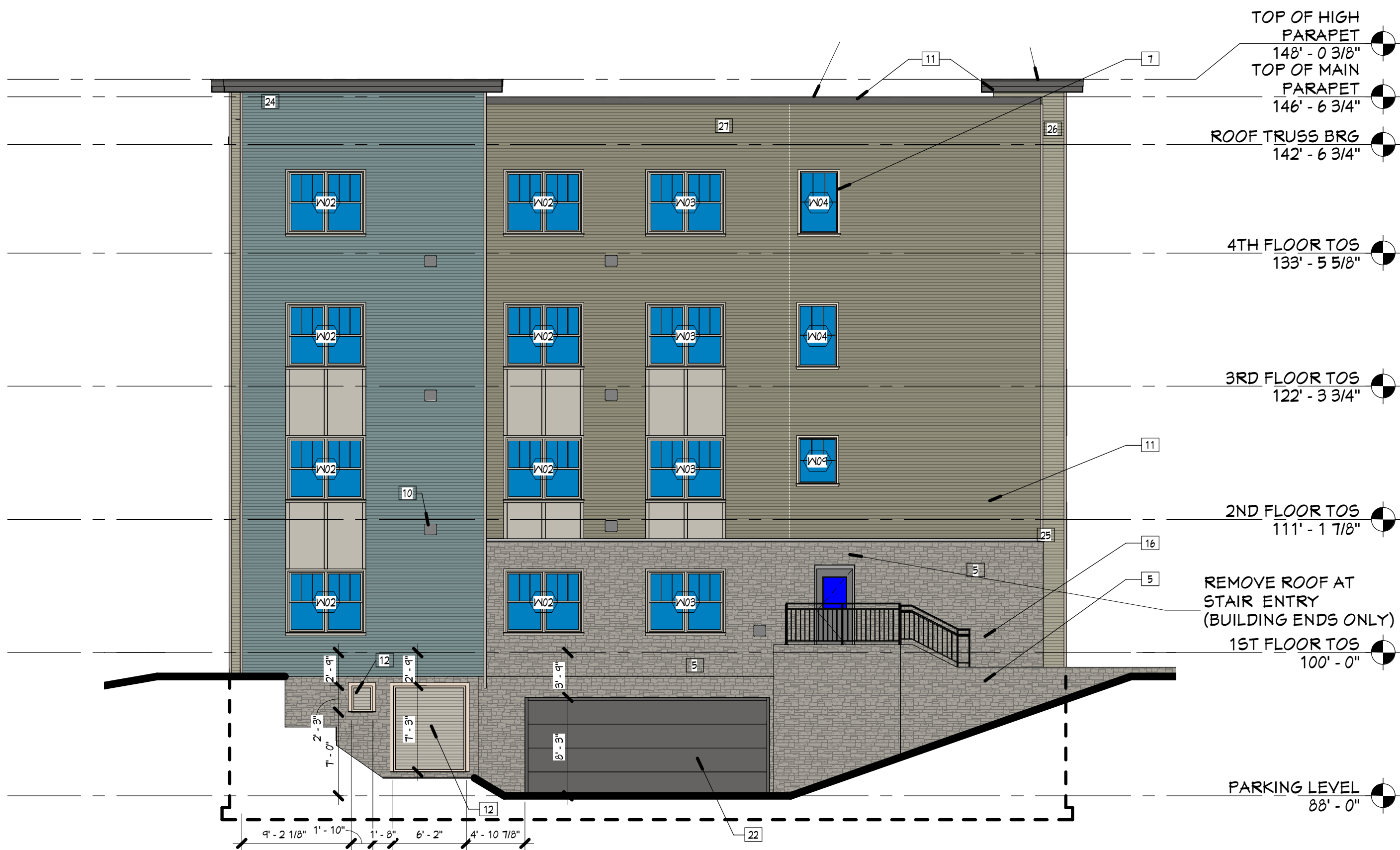
1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (5/4" X 4" COMPOSITE TRIM, COLOR D)
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 5/4" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENING, SEE DOOR AND WINDOW DETAILS
4. REFER TO SHEET A-1 FOR EXTERIOR MATERIALS AND COLORS

ELEVATION KEYNOTES

1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL - COLOR D
4. FIBER CEMENT TRIM - COLOR D
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E, SEE PARAPET DETAILS
12. LOUVER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. GAS METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SKIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)



2 WEST ELEVATION - BLDG 1 - CURRENT APPROVED DESIGN
BUILDING 1 - ZONE A SHOWN
BUILDING 2 - ZONE C SIMILAR



1 PARTIAL EAST ELEVATION - BUILDING 1 - PROPOSED DESIGN
BUILDING 1 - ZONE A SHOWN
BUILDING 2 - ZONE C SIMILAR

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
2	2020.05.15	ADDENDUM #1
10	2021.05.19	ASI #5
12	21-0825	UDC SUBMISSION

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LIST OF PROPOSED CHANGES:

1. REMOVE ROOF TO PORCH AT STAIR ENTRIES (TYPICAL OF ALL BUILDINGS)
2. REDUCE PORCH SIZE AT STAIR ENTRIES (TYPICAL OF ALL BUILDINGS)
3. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE 8" X 4" COMPOSITE TRIM (COLOR D)
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 8" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENING. SEE DOOR AND WINDOW DETAILS
4. REFER TO SHEET #4.1 FOR EXTERIOR MATERIALS AND COLORS

ELEVATION KEYNOTES

1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL - COLOR D
4. FIBER CEMENT TRIM - COLOR D
5. STONE VENEER
6. STONE MATERIAL
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E - SEE PARAPET DETAILS
12. LOWER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. GAS METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SKIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)



2 PARTIAL NORTH ELEVATION - BLDG 1 - CURRENT APPROVED DESIGN
1/8" = 1'-0"
BUILDING 1 - ZONE A SHOWN
BUILDING 2 - ZONE C SIMILAR



1 PARTIAL NORTH ELEVATION - BUILDING 1 - PROPOSED DESIGN
1/8" = 1'-0"
BUILDING 1 & 2
PROPOSED CHANGES - ELEVATIONS

Project Number			4-1125
ISSUANCE			
No.	Date	Description	
12	21-0625	UDC	SUBMISSION

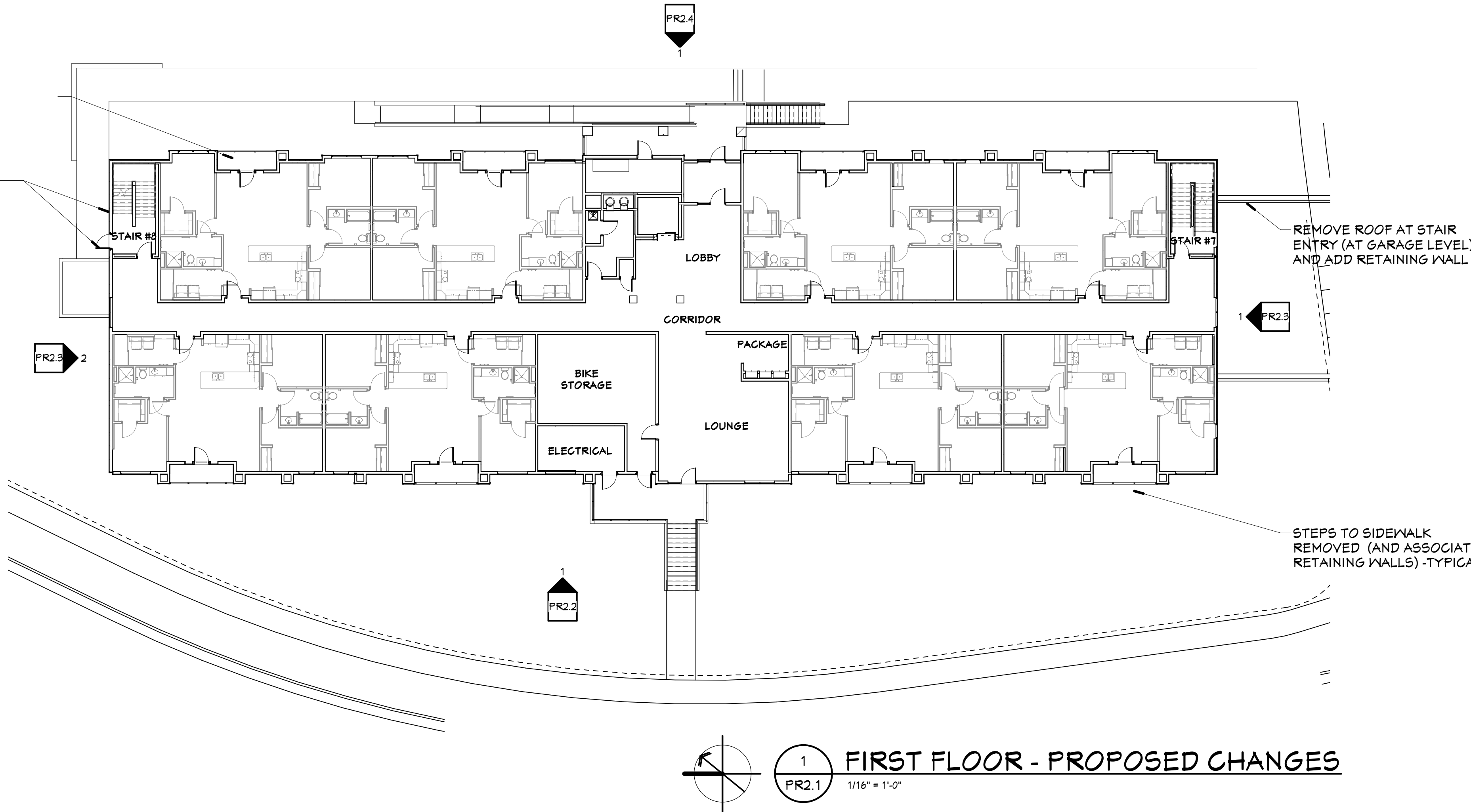
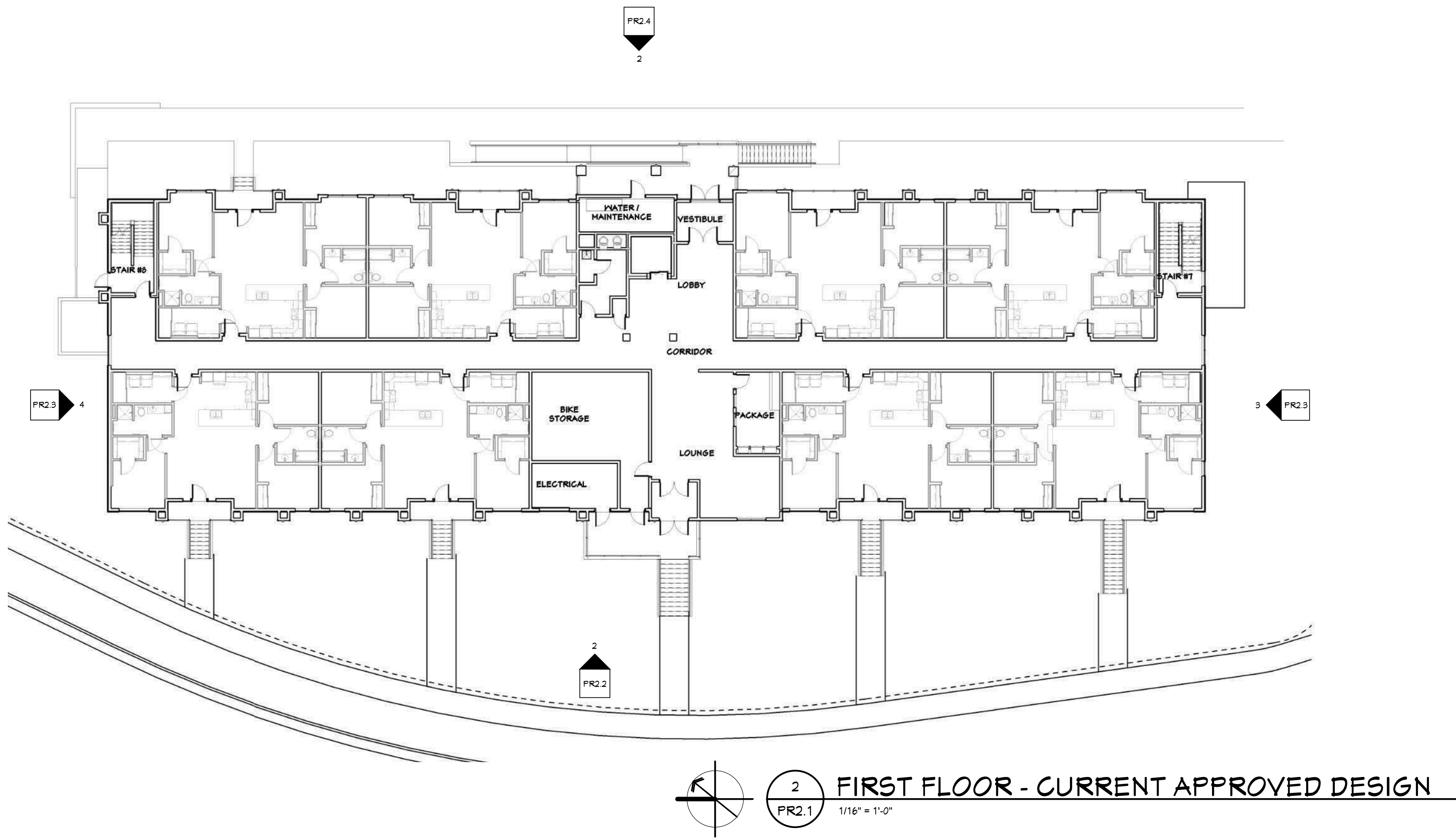
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**BUILDING 3
PROPOSED
CHANGES - FLOOR
PLAN**

PR2.1

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS & RETAINING WALLS
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)
3. REMOVE ROOF TO PORCH AT STAIR ENTRIES (TYPICAL OF ALL END BUILDINGS ENTRIES ONLY)
4. REDUCE PORCH SIZE AT STAIR ENTRIES.



LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS.
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)



2 WEST ELEVATION - CURRENT APPROVED DESIGN
PR2.2 3/32" = 1'-0"



1 WEST ELEVATION - PROPOSED CHANGES
PR2.2 3/32" = 1'-0"

LIST OF PROPOSED CHANGES:

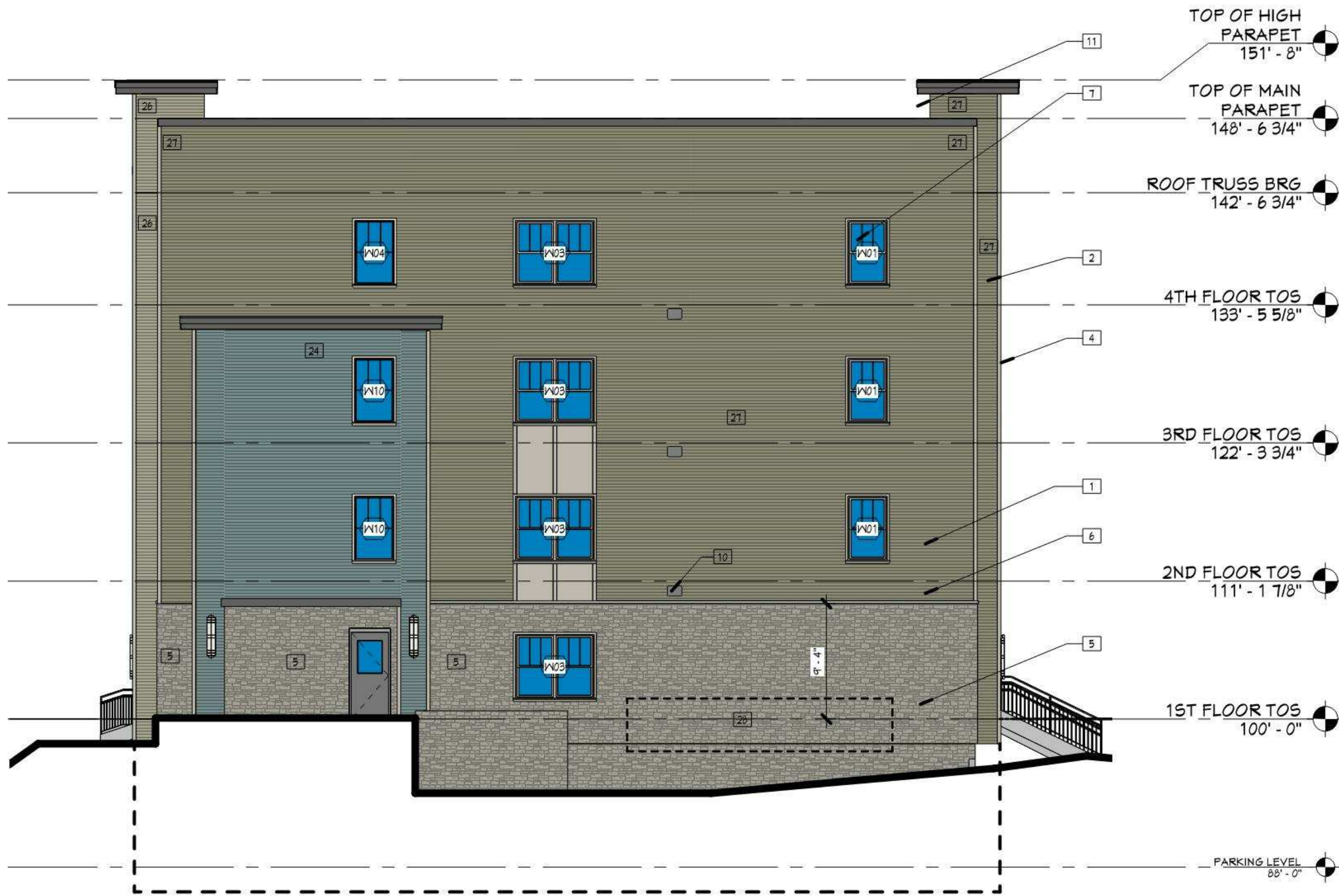
1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS.
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

GENERAL ELEVATION NOTES

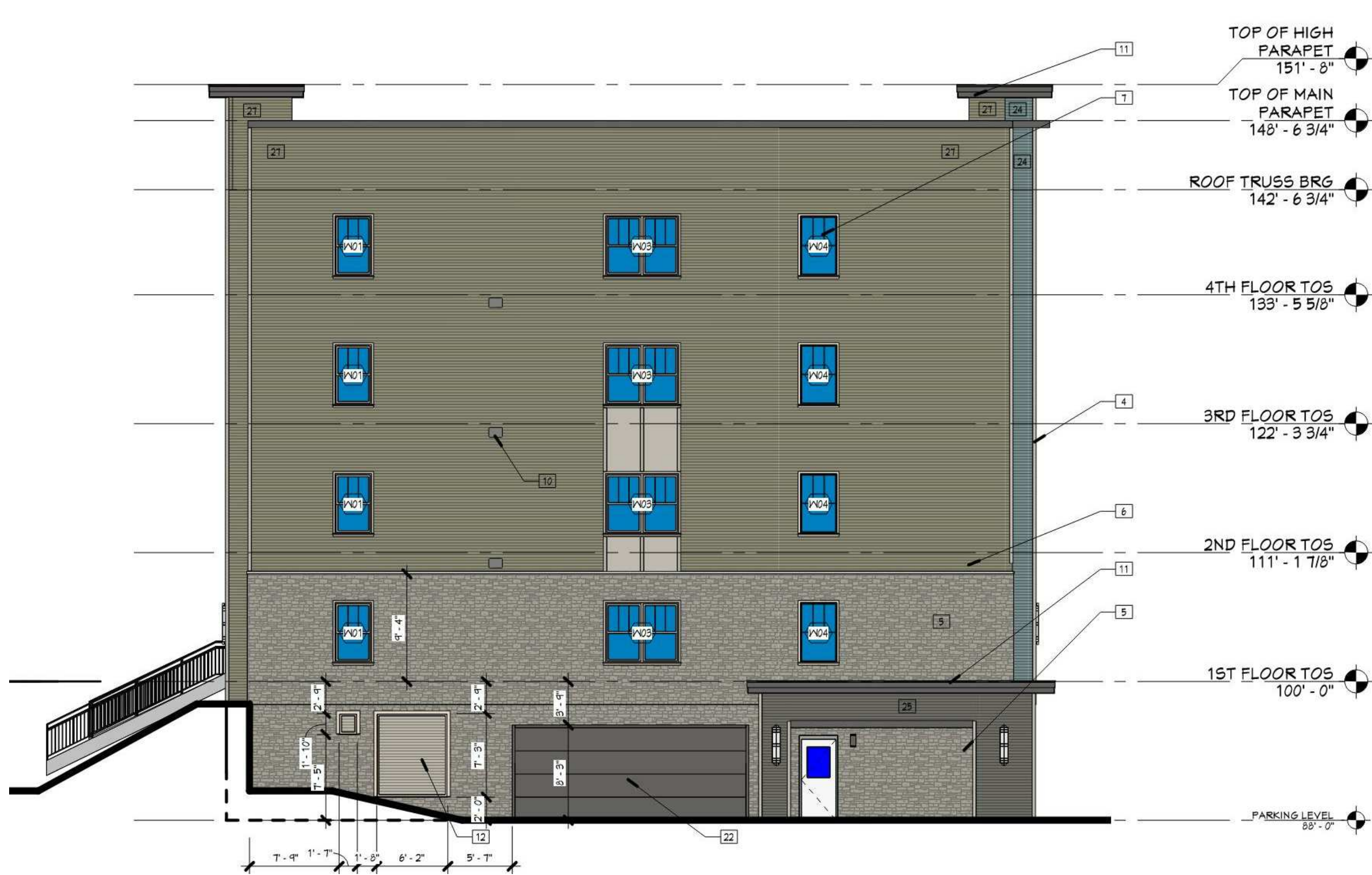
1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL.
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (8 1/4" X 4" COMPOSITE TRIM), COLOR D.
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 5/8" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENING. SEE DOOR AND WINDOW DETAILS.
4. REFER TO SHEET A4.1 FOR EXTERIOR MATERIALS AND COLORS.

ELEVATION KEYNOTES

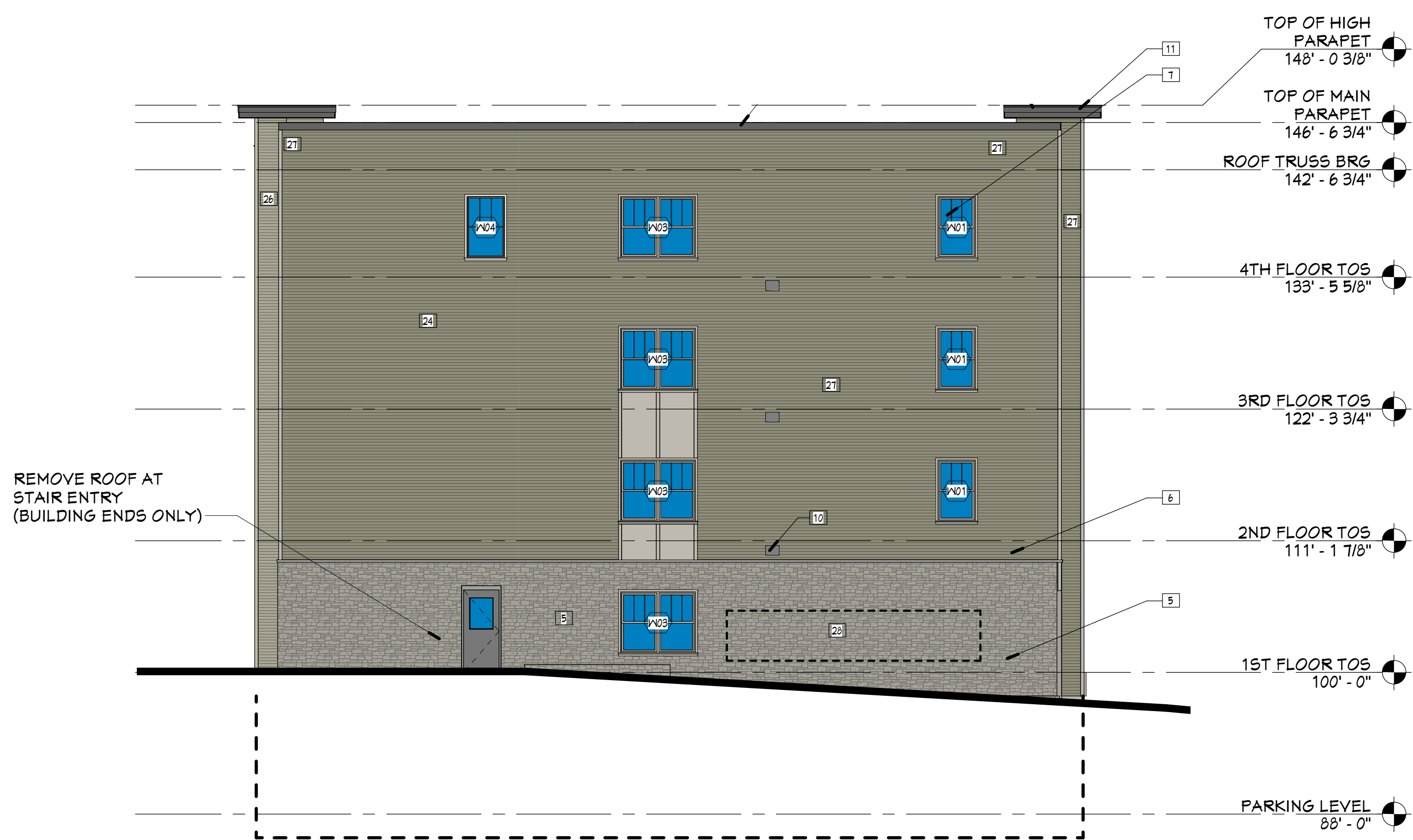
1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL - COLOR D
4. FIBER CEMENT TRIM - COLOR D
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E - SEE PARAPET DETAILS
12. LOUVER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. P2007 COLUMN WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. GAS METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SHIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)



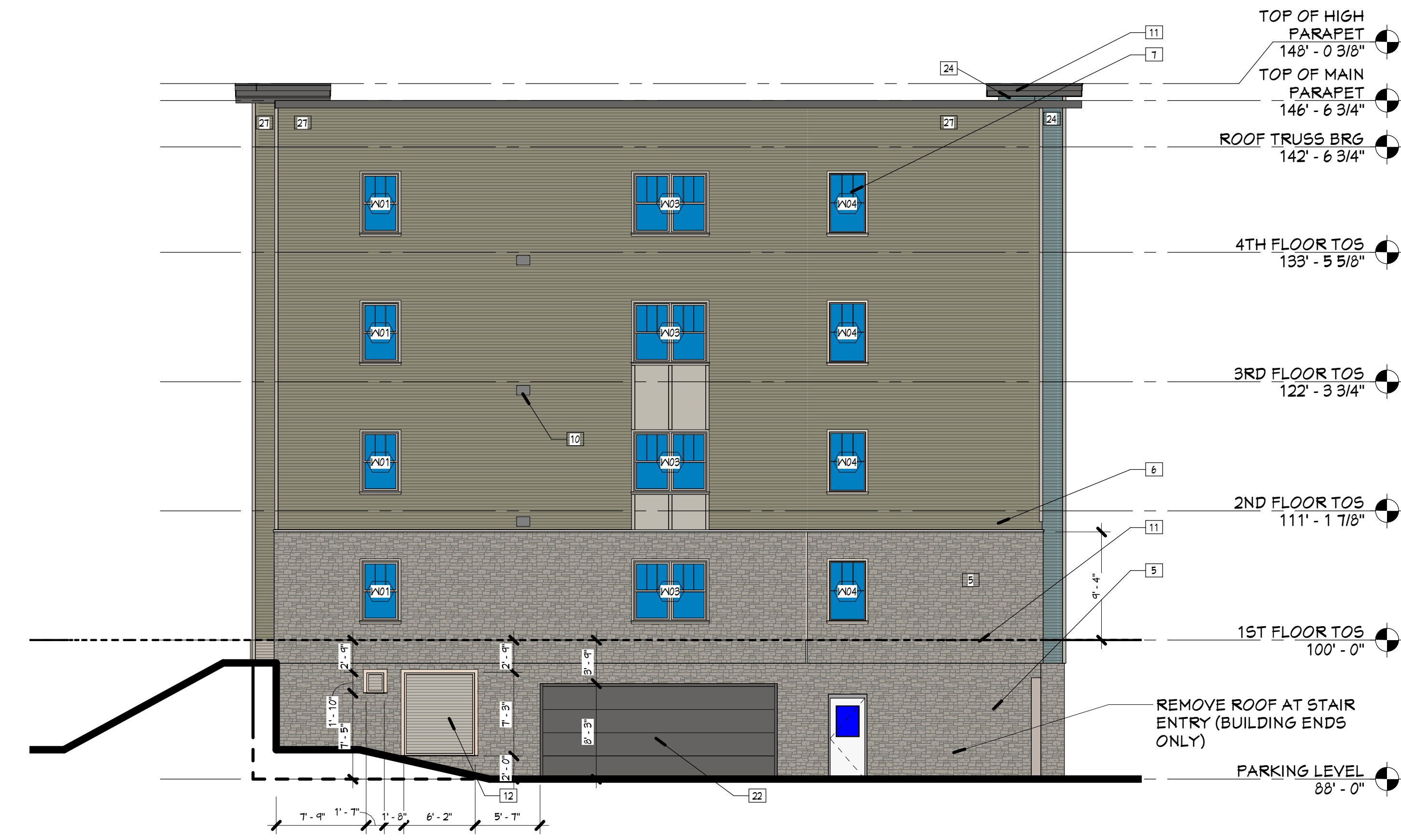
4 NORTH ELEVATION - BLDG 3 - CURRENT APPROVED DESIGN
PR2.3 1/8" = 1'-0"



3 SOUTH ELEVATION - BLDG 3 - CURRENT APPROVED DESIGN
PR2.3 1/8" = 1'-0"



2 NORTH ELEVATION - BLDG 3 - PROPOSED DESIGN
PR2.3 1/8" = 1'-0"



1 SOUTH ELEVATION - BLDG 3 - PROPOSED DESIGN
PR2.3 1/8" = 1'-0"

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
10	2021.05.19	ASI #5
12	21-0825	UDC SUBMISSION

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS.
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL.
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (6"X4" COMPOSITE TRIM), COLOR D.
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 5/4"X4" COMPOSITE TRIM (COLOR D) AROUND OPENING, SEE DOOR AND WINDOW DETAILS.
4. REFER TO SHEET A4.1 FOR EXTERIOR MATERIALS AND COLORS.

ELEVATION KEYNOTES

1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL - COLOR D
4. FIBER CEMENT TRIM - COLOR D
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E, SEE PARAPET DETAILS
12. LOUVER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. GAS METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SKIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)

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MULTI-FAMILY HOUSING
THE MEADOWLANDS
MADISON, WI
KCG HOUSING DEVELOPMENT

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
2	2020.05.15	ADDENDUM #1
10	2021.05.19	ASI #5

BUILDING 3
PROPOSED
CHANGES -
ELEVATIONS

PR2.4

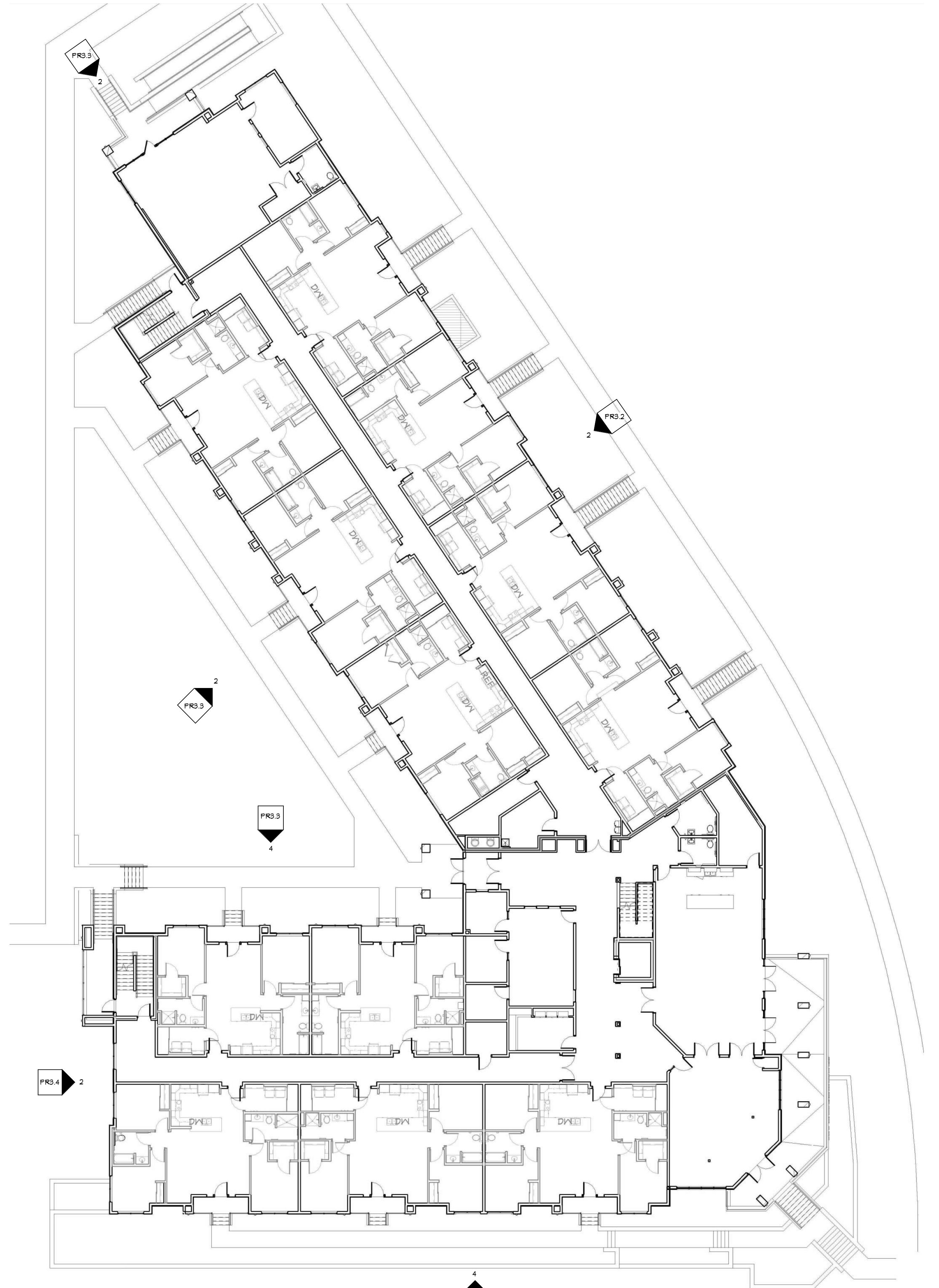


2 EAST ELEVATION - BLDG 3 - CURRENT APPROVED DESIGN
1/8" = 1'-0"

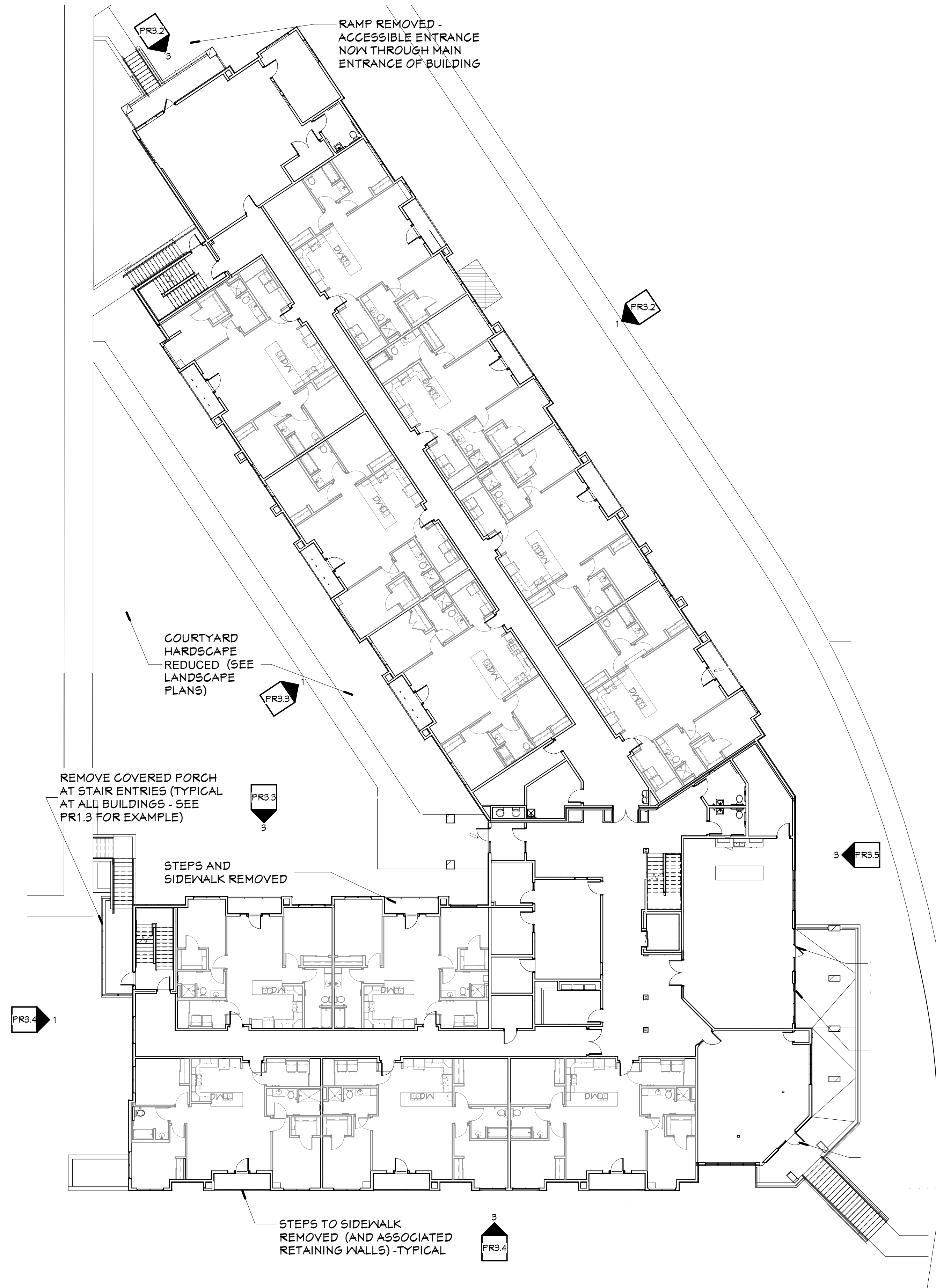


1 EAST ELEVATION - BLDG 3 - PROPOSED DESIGN
1/8" = 1'-0"

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2
PR3.1
1/16" = 1'-0"
FIRST FLOOR - CURRENT APPROVED DESIGN



1
PR3.1
1/16" = 1'-0"
FIRST FLOOR - PROPOSED CHANGES

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS & RETAINING WALLS
2. RAMP ON NORTH SIDE OF BUILDING REMOVED
3. COURTYARD HARDSCAPE RECONFIGURED (SEE LANDSCAPE DRAWING)
4. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)
5. REMOVE ROOF TO PORCH AT STAIR ENTRIES (TYPICAL OF ALL END BUILDINGS ENTRIES ONLY)
6. REDUCE PORCH SIZE AT STAIR ENTRIES.

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS & RETAINING WALLS
2. RAMP ON NORTH SIDE OF BUILDING REMOVED.
3. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)



4 NORTHWEST ELEVATION - BUILDING 4 - CURRENT APPROVED DESIGN
PR3.2 3/32" = 1'-0"



3 NORTHWEST ELEVATION - BUILDING 4 - PROPOSED CHANGES
PR3.2 3/32" = 1'-0"



2 NORTHEAST ELEVATION - BUILDING 4 - CURRENT APPROVED DESIGN
PR3.2 3/32" = 1'-0"



1 NORTHEAST ELEVATION - BUILDING 4 - PROPOSED CHANGES
PR3.2 3/32" = 1'-0"

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS.
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BEYOND PARAPET LEVEL.
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (B4" X 4" COMPOSITE TRIM, COLOR D)
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 5/4" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENING, SEE DOOR AND WINDOW DETAILS
4. REFER TO SHEET A4.1 FOR EXTERIOR MATERIALS AND COLORS.

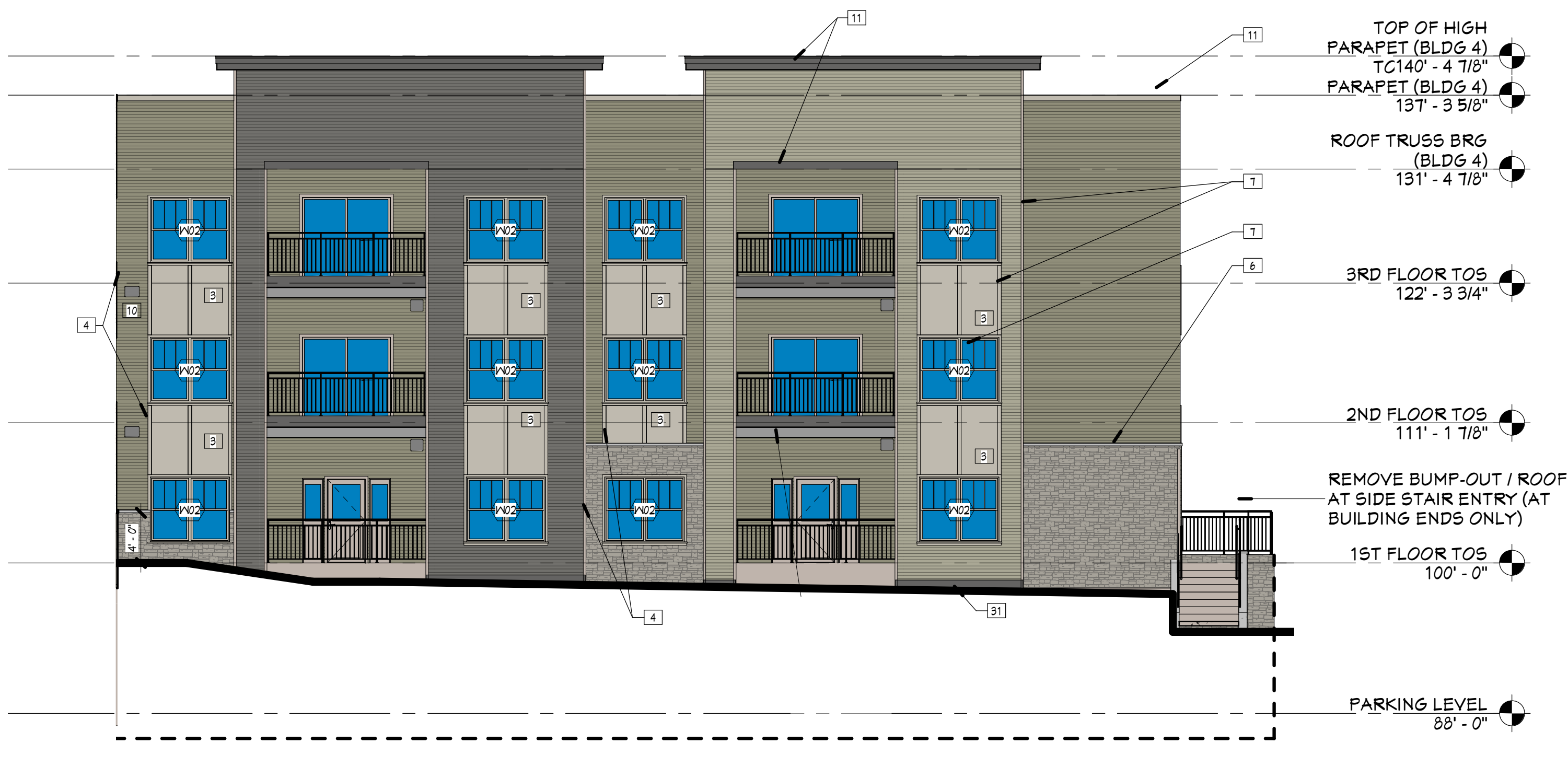
ELEVATION KEYNOTES

1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL - COLOR D
4. FIBER CEMENT TRIM - COLOR D
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE PASCIA CEMENT BOARD TRIM, COLOR E - SEE PARAPET DETAILS
12. LOUVER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. ROOF GROUND WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. GAS METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SKIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)



4 NORTH ELEVATION - BLDG 4 - CURRENT APPROVED DESIGN

PR3.3 1/8" = 1'-0"



3 NORTH ELEVATION - BLDG 4 - PROPOSED DESIGN

PR3.3 1/8" = 1'-0"



2 SOUTHWEST ELEVATION - BLDG 4 - CURRENT APPROVED DESIGN

PR3.3 1/8" = 1'-0"



1 SOUTHWEST ELEVATION - BLDG 4 - PROPOSED DESIGN

PR3.3 1/8" = 1'-0"

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
2	2020.05.15	ADDENDUM #1
12	21-0825	UDC SUBMISSION

LIST OF PROPOSED CHANGES:

1. REMOVE STEPS TO FIRST FLOOR PRIVATE PATIOS AND ASSOCIATED SIDE WALKS.
2. DECORATIVE SCONCES REMOVED (LIGHTING PLACED IN SOFFIT ABOVE WHERE APPLICABLE)

GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (6"X4" COMPOSITE TRIM, COLOR D)
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 5/4" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENING. SEE DOOR AND WINDOW DETAILS
4. REFER TO SHEET A4.1 FOR EXTERIOR MATERIALS AND COLORS

ELEVATION KEYNOTES

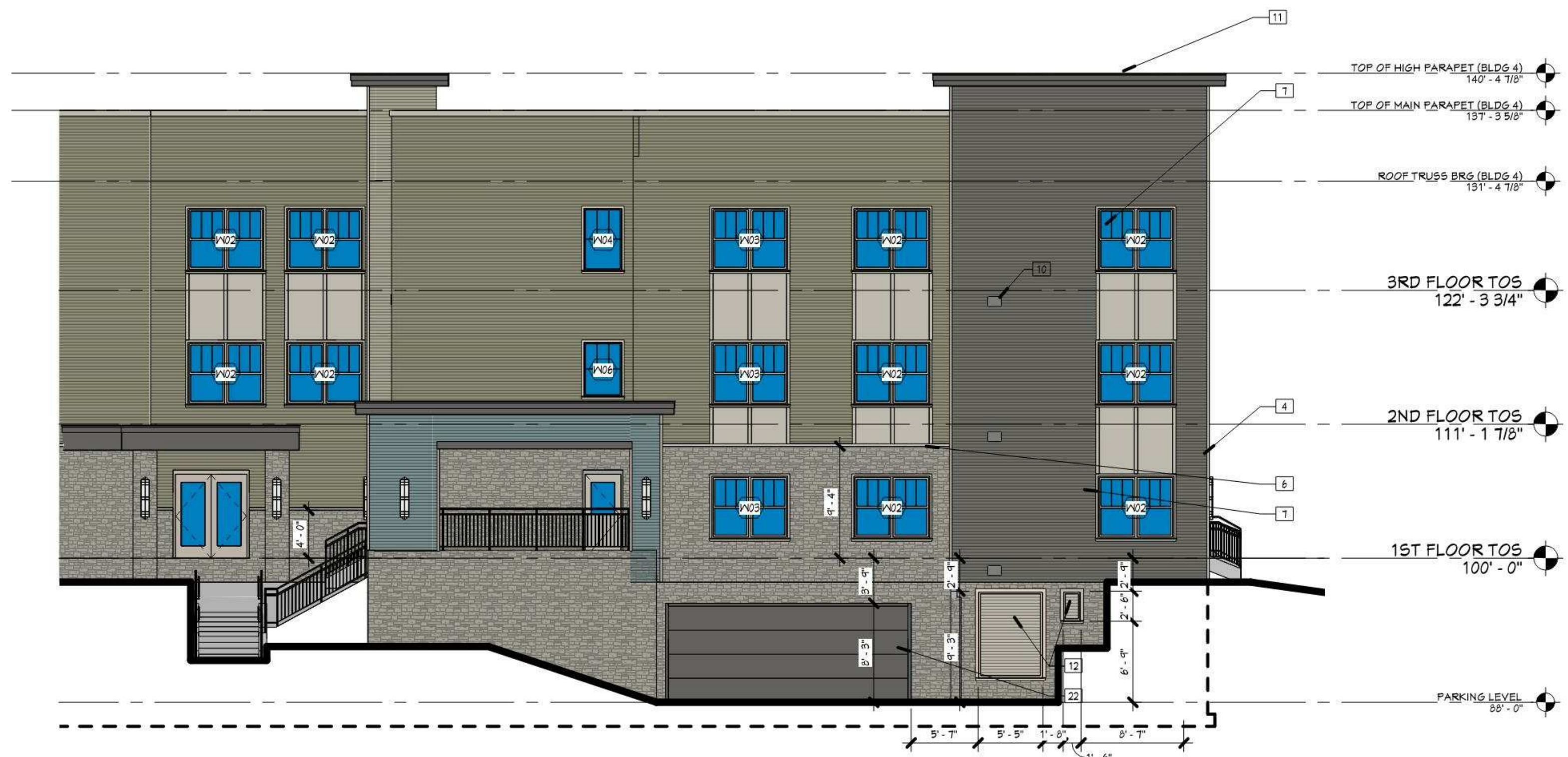
1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL, COLOR D
4. FIBER CEMENT TRIM, COLOR D
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E, SEE PARAPET DETAILS
12. LOUVER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE, SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM SHUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. GAS METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SHIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)



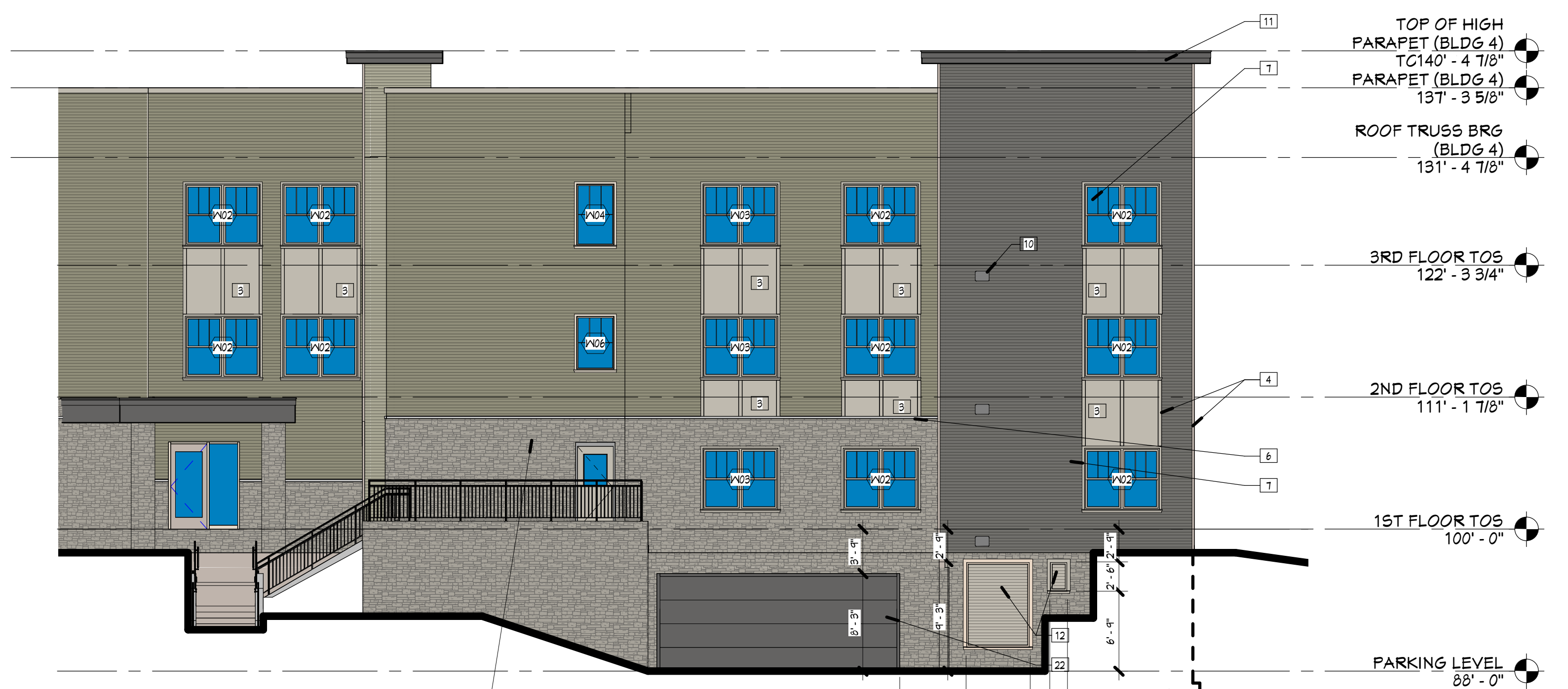
4 SOUTH ELEVATION - BLDG 4 - CURRENT APPROVED DESIGN
1/8" = 1'-0"



3 SOUTH ELEVATION - BLDG 4 - PROPOSED DESIGN
1/8" = 1'-0"



2 WEST ELEVATION - BLDG 4 - CURRENT APPROVED DESIGN
1/8" = 1'-0"



1 WEST ELEVATION - BLDG 4 - PROPOSED DESIGN
1/8" = 1'-0"

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GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL
2. ALL OUTSIDE AND INSIDE CORNERS TO HAVE CORNER TRIM (8" X 4" COMPOSITE TRIM), COLOR D
3. ALL WINDOWS AND DOOR OPENINGS TO HAVE 8" X 4" COMPOSITE TRIM (COLOR D) AROUND OPENING, SEE DOOR AND WINDOW DETAILS
4. REFER TO SHEET A4.1 FOR EXTERIOR MATERIALS AND COLORS

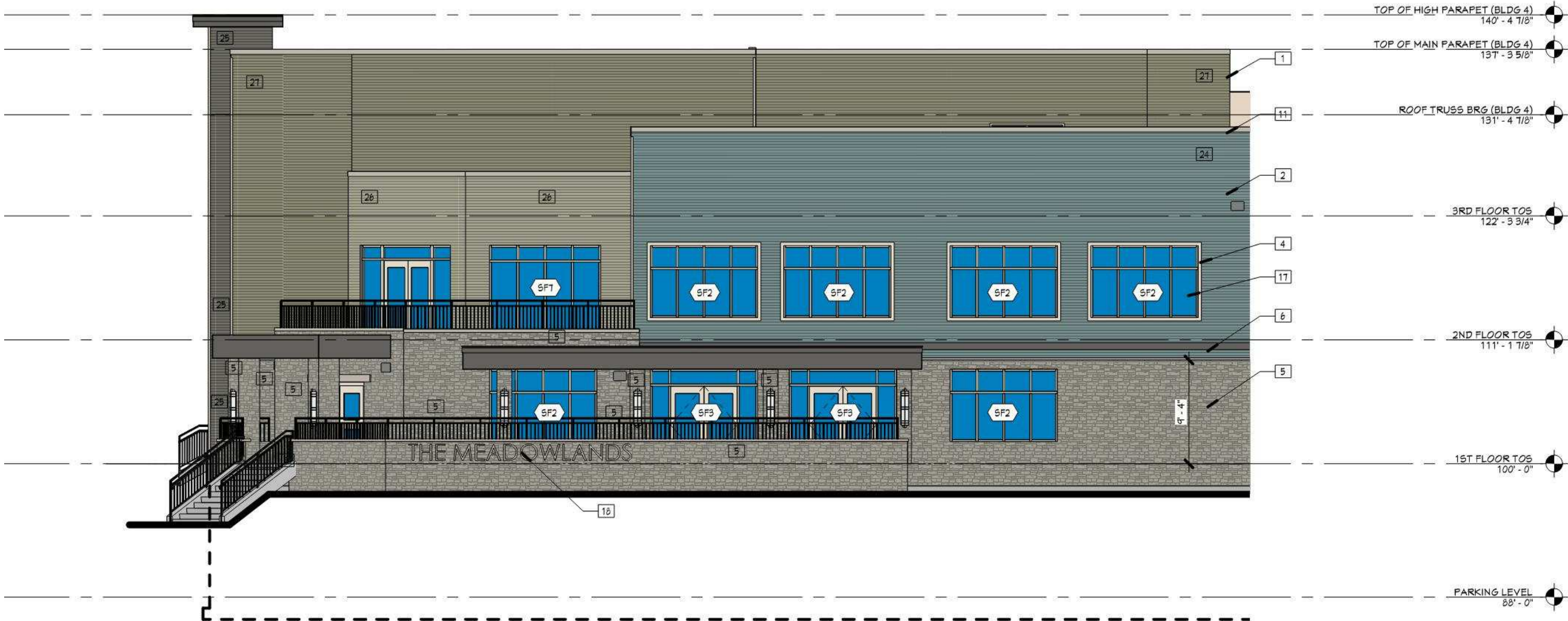
ELEVATION KEYNOTES

1. NOT USED
2. NOT USED
3. FIBER CEMENT PANEL - COLOR D
4. FIBER CEMENT TRIM - COLOR D
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL PANDOVATH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. MECHANICAL TERMINATION - COLOR TO MATCH ADJACENT SIDING - SEE MECHANICAL
11. PRE-FINISHED METAL EDGE FASCIA CEMENT BOARD TRIM, COLOR E - SEE PARAPET DETAILS
12. COVER - SEE MECHANICAL
13. DECORATIVE LIGHT FIXTURE - SEE ELECTRICAL
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS AND ALUM. GUARDRAILS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. PLUMBING PENETRATION - SEE PLUMBING
21. ASPHALT SHINGLES
22. INSULATED COVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP
24. SIDING COLOR 'A'
25. SIDING COLOR 'B'
26. SIDING COLOR 'C'
27. SIDING COLOR 'D'
28. GAS METERS - SEE PLUMBING
29. ELECTRICAL METERS - SEE ELECTRICAL
30. STONE CONTROL JOINT
31. PVC SKIRT BOARD TRIM
32. COMPOSITE TRIM, COLOR D
33. WRAP COMPOSITE TRIM AROUND DECK STRUCTURE AS SHOWN IN SECTIONS, COLOR E (TYPICAL AT ALL ABOVE GRADE DECKS)

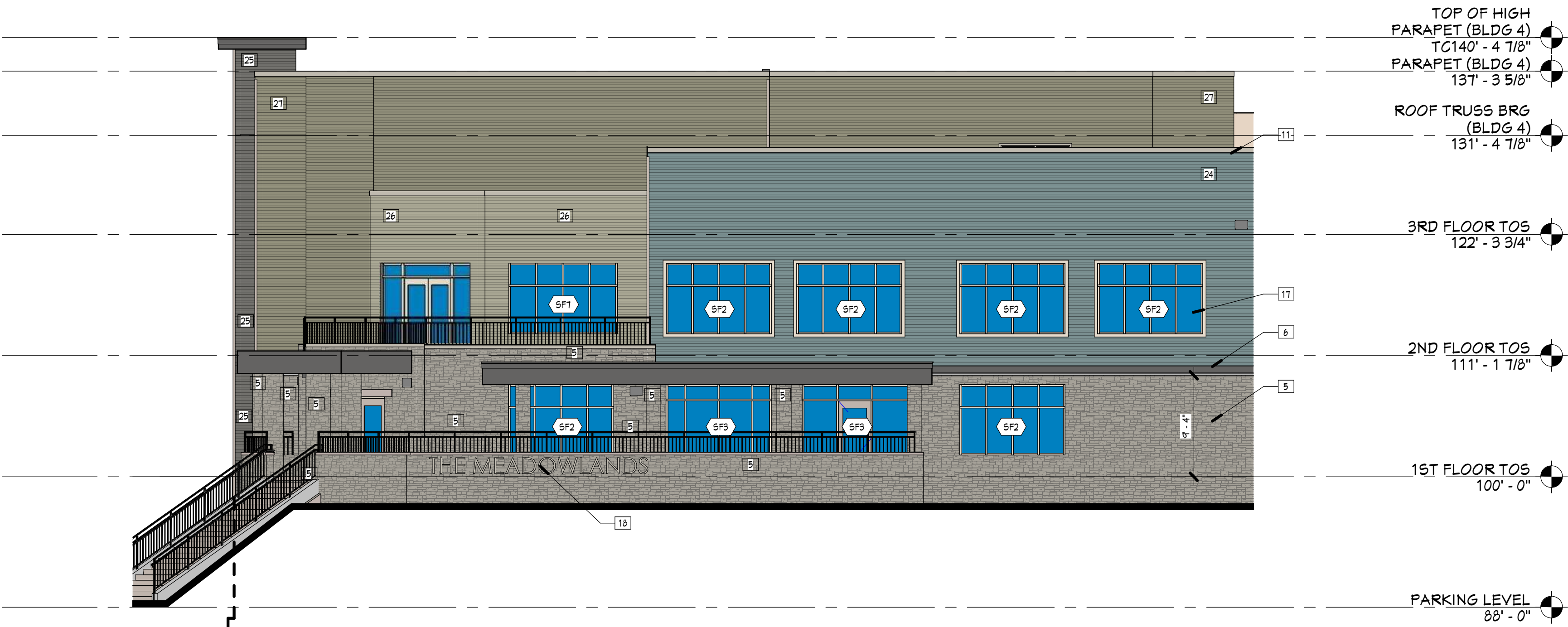


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MULTI-FAMILY HOUSING
THE MEADOWLANDS
MADISON, WI
KCG HOUSING DEVELOPMENT



2 EAST ELEVATION - BLDG 4 - CURRENT APPROVED DESIGN
1/8" = 1'-0"



3 EAST ELEVATION - BLDG 4 - PROPOSED DESIGN
1/8" = 1'-0"

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
1	2020.04.30	BIDDING / PERMIT
2	2020.05.15	ADDENDUM #1
3	2020.06.04	UDC COMMENTS
10	2021.05.19	ASI #5

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BUILDING 4
PROPOSED
CHANGES -
ELEVATIONS

PR3.5

GENERAL NOTES

1. DRAWINGS ARE INTENDED TO BE PRINTED ON 22" X 34" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
2. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. GEOTECHNICAL SOILS REPORT RECOMMENDATIONS SHALL BE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID.
5. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
6. THE CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNERS REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
9. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
10. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNERS REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
13. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBTSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
14. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
15. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
18. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
19. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
20. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
21. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.

GENERAL NOTES CONTINUED

22. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
23. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
24. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
25. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

GENERAL LANDSCAPE NOTES

1. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
4. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
5. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
6. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
7. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
8. LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY LANDSCAPE ARCHITECT. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW, ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
9. PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE-MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR LANDSCAPE ARCHITECT WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
10. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
11. ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
12. CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY AND THEFT.
13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
14. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNERS REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
15. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING. SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
16. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
17. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.

GENERAL LANDSCAPE NOTES CONTINUED

18. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
19. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" -12" AND AMENDED PER SPECIFICATIONS.
20. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
21. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
22. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
23. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
24. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNERS REPRESENTATIVE. OBTAIN APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO REMOVAL.
25. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
26. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
27. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
28. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
29. WHEN PLANTER POTS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEAVING PRIOR TO PLACEMENT OF PAVEMENT.
30. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
31. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
32. ALL TREES PLANTED WITHIN RIGHT-OF-WAY WILL INCLUDE CITY APPROVED ROOT BARRIERS.
33. REFER TO SHEET IR101-IR104 FOR THE IRRIGATION PLAN AND POINT OF CONNECTION INFORMATION.

PLANT SCHEDULE						
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE	COMMENTS
CANOPY TREES						
6	AG	Ginkgo biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	2 1/2" Cal.	50'h x 40'w	B&B (MALE ONLY)
5	RO	Quercus alba	WHITE OAK	2 1/2" Cal.	60'h x 60'w	B&B
9	SH	Gleditsia tricanthos var. inermis 'Skycole'	SKYLINE HONEYLOCUST	2 1/2" Cal.	50'h x 20'w	B&B
7	TE	Ulmus "Morton Glossy"	TRIUMPH ELM	2 1/2" Cal.	55'h x 45'w	B&B
5	ST	Acer miyabei 'Morton'	STATE STREET MAPLE	2 1/2" Cal.	50'h x 40'w	B&B
6	LG	Tilia cordata	GREENSPIRE LINDEN	2 1/2" Cal.	40'h x 30'w	B&B
EVERGREEN TREES						
16	SJ	Juniperus scopulorum 'Baligh'	SKYHIGH JUNIPER	4'	12'h x 5'w	B&B
5	AP	Pinus nigra	AUSTRIAN PINE	8'	50'h x 20'w	B&B
6	SP	Pinus Sylvestris	SCOTCH PINE	8'	50'h x 20'w	B&B
ORNAMENTAL TREES						
20	PC	Malus x 'Pralfire'	PRAIRIFIRE CRABAPPLE	1 1/2" Cal.	20'h x 20'w	B&B
9	FD	Cornus Florida	WHITE FLOWERING DOGWOOD	1 1/2" Cal.	25'h x 25'w	B&B
DECIDUOUS SHRUBS						
2'-4" SPREAD						
9	GM	Spiraea japonica 'Gold Mound'	JAPANESE SPIREA 'GOLD MOUND'	18" Ht.	3'h x 4'w	#3 CONT. (4' O.C.)
0	AF	Cornus stolonifera 'Farrow'	ARCTIC FIRE DOGWOOD	18" Ht.	3'h x 3'w	#3 CONT. (3' O.C.)
5'-7" SPREAD						
25	RC	Cotoneaster horizontalis var. perpusilus	ROCK COTONEASTER	6" Ht.	1.5'h x 5'w	#3 CONT. (6' O.C.)
40	SF	Forsythia x intermedia 'Mindor'	SHOW OFF FORSYTHIA	24" Ht.	6'h x 6'w	#3 CONT. (6' O.C.)
62	UC	Aronia 'Erecta'	UPRIGHT RED CHOKEBERRY	18" Ht.	5'h x 5'w	#3 CONT. (6' O.C.)
26	SN	Nipponica 'Snowmound'	SNOWMOUND SPIREA	24" Ht.	3'h x 5'w	#3 CONT. (6' O.C.)
7' + SPREAD						
9	AS	Amelanchier x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	36" Ht.	15'h x 10'	CLUMP #15 CONT.
30	HC	Viburnum opulus var. americanum	AMERICAN CRANBERRY BUSH	36" Ht.	8'h x 8w'	#3 CONT. (8' O.C.)
44	HY	Hydrangea paniculata 'Quick Fire'	QUICK FIRE HARDY HYDRANGEA	36" Ht.	7'h x 7'w	#3 CONT. (7' O.C.)
41	FS	Rhus aromatica	FRAGRANT SUMAC	24" Ht.	5'h x 8'w	#3 CONT. (7' O.C.)
35	BV	Virburnum prunifolium	BLACKHAW VIBURNUM	24" Ht.	12'h x 12'w	#3 CONT. (10' O.C.)
9	RW	Syringa pubescens ssp. microphylla 'Superba'	SUPERBA LITTLELEAF ULAC	24" Ht.	6'h x 7'w	#3 CONT. (6' O.C.)
EVERGREEN SHRUBS						
2'-4" SPREAD						
8	JJ	Juniperus procumbens 'Nana'	DWARF JAPANESE GARDEN JUNIPER	12" Ht.	1.5'h x 4'w	#3 CONT. (4' O.C.)
5'-7" SPREAD						
44	JA	Juniperus horizontalis 'Plumosa'	ANDORRA JUNIPER	6" Ht.	18'h x 5'w	#3 CONT. (6' O.C.)
25	DY	T. Cuspidata 'Nana'	DWARF YEW (BREVIFOLIA)	18" Ht.	3'h x 6'w	#3 CONT. (6' O.C.)
0	BR	Juniperus horizontalis 'Wiltonii'	BLUE RUG JUNIPER	6" Ht.	6'h x 7'w	#3 CONT. (7' O.C.)
7' + SPREAD						
50	MP	Pinus mugo var. pumilio	DWARF MUGO PINE	24" Ht.	4'h x 10w	#3 CONT. (8' O.C.)
35	TY	T. x media 'tauntoni'	TAUNTON YEW	24" Ht.	4'h x 7'w	#3 CONT. (6' O.C.)
ORNAMENTAL GRASSES						
0	BA	Bouteloua gracilis 'blonde ambition'	BLONDE AMBITION BLUE GRAMA GRASS	8" Ht.	36" Ht.	#1 CONT. (3' O.C.)
53	SS	Panicum virgatum 'shenandoah'	SHENANDOAH SWITCH GRASS	8" Ht.	48" Ht.	#1 CONT. (6' O.C.)
28	PD	Sporobolus heterolepis	PRAIRIE DROPSEED	8" Ht.	36" Ht.	#1 CONT. (3' O.C.)
75	LB	Schizachyrium scoparium	LITTLE BLUESTEM	8" Ht.	36" Ht.	#1 CONT. (3' O.C.)

LANDSCAPE CALCULATIONS AND DISTRIBUTION

STREET FRONTAGE REQUIREMENTS:
REQUIREMENT: 1 OVERSTORY TREE AND 5 SHRUBS PER 30 LF OF FRONTAGE

ADVANTAGE DRIVE: 269 LF/30 LF
REQUIRED: 8.96 OVERSTORY TREES AND 44.8 SHRUBS
PROPOSED*: 5 TREES (10 ORNAMENTAL/EVERGREEN TREES COUNTED AS 5) AND 96 SHRUBS
*EASEMENTS RESTRICT THE ADDITION OF 4 CANOPY TREES.

WIND STONE DRIVE (WEST SIDE OF STREET): 525 LF/30LF
REQUIRED: 17.5 OVERSTORY TREES AND 87.5 SHRUBS
PROPOSED*: 7 TREES (3 OVERSTORY AND 8 ORNAMENTAL/ EVERGREENS COUNTED AS 4) AND 54 SHRUBS
*EASEMENTS RESTRICT THE ADDITION OF 11 CANOPY TREES AND SHRUBS.

WIND STONE DRIVE (EAST SIDE OF STREET): 487 LF/30LF
REQUIRED: 16.2 OVERSTORY TREES AND 81.6 SHRUBS
PROPOSED*: 8 (6 OVERSTORY TREES AND 4 ORNAMENTAL/EVERGREEN TREES COUNTED AS 2) AND 83 SHRUBS
*EASEMENTS RESTRICT THE ADDITION OF 8 CANOPY TREES

MILWAUKEE STREET: 390 LF/30LF
REQUIRED: 13 OVERSTORY TREES AND 65 SHRUBS
PROPOSED: 13 TREES (9 OVERSTORY TREES AND 8 ORNAMENTAL TREES COUNTED AS 4) AND 117 SHRUBS

MEADOWS LAND DRIVE (NORTH SIDE OF STREET): 70 LF/30LF
REQUIRED: 2.3 OVERSTORY TREES AND 11.6 SHRUBS
PROPOSED*: 2 TREES (4 EVERGREEN/ORNAMENTAL TREES COUNTED AS 2) AND 12 SHRUBS
*EASEMENTS RESTRICT THE ADDITION OF CANOPY TREES

MEADOWS LAND DRIVE (SOUTH SIDE OF STREET) 70 LF/30LF
REQUIRED: 2.3 OVERSTORY TREES AND 11.6 SHRUBS
PROPOSED: 1 TREES (2 EVERGREEN/ORNAMENTAL TREES COUNTED AS 1) AND 12 SHRUBS
*EASEMENTS RESTRICT THE ADDITION OF 1 CANOPY TREES

INTERIOR PARKING LOT REQUIREMENTS:
REQUIREMENT: 8% OF PAVEMENT AREA TO BE USED AS LANDSCAPED AREAS
1 DECIDUOUS TREE FOR EVERY 160 SF OF LANDSCAPE AREA
42,820 SF X 8% = 3,427 REQUIRED (5,970 SF PROVIDED)

REQUIREMENT: 1 SHADE TREE PER 160 SF OF REQUIRED LANDSCAPED AREA
3,426 SF /160 SF = 21 TREES REQUIRED
PROPOSED: 19 (2 ORNAMENTAL TREES COUNTED AS 1, EXISTING GAS EASEMENTS RESTRICT THE AVAILABLE SPACE FOR REQUIRED TREES)

DEVELOPED LOT REQUIREMENTS:
REQUIREMENT: 5 POINTS PER 300 SF OF DEVELOPED AREA FOR 5 ACRES AND 1 POINT PER 100 SF FOR ADDITIONAL ACRES
TOTAL DEVELOPED AREA: 87,1102 SF
FIRST 5 ACRES = 3,630 POINTS
REMAINING 2 ACRES = 871.20 POINTS
TOTAL POINTS = 4,202
TOTAL PROPOSED = 4,260

THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

LANDSCAPE NOTES

MADISON, WI

SNYDER & ASSOCIATES, INC.

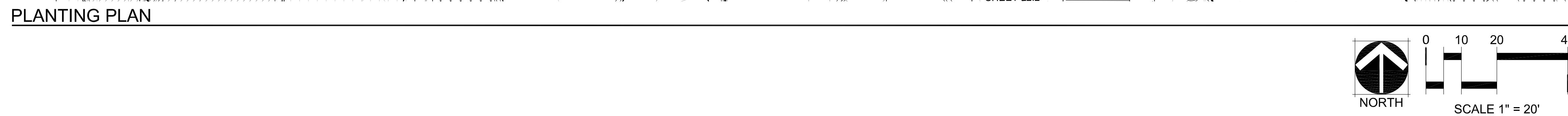
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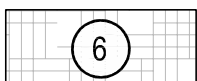
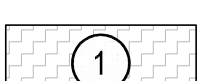
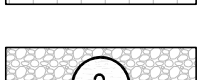



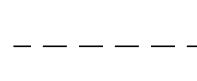
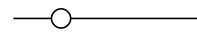



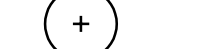


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LANDSCAPE LEGEND

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	SHRUB BED WITH HARDWOOD MULCH, REFER TO CONSTRUCTION NOTES FOR TYPE
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	DECIDUOUS SHRUBS
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	UPRIGHT EVERGREEN
	ORNAMENTAL GRASSES
	LANDSCAPE BOULDERS

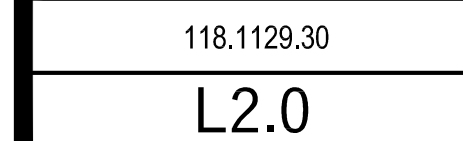
THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

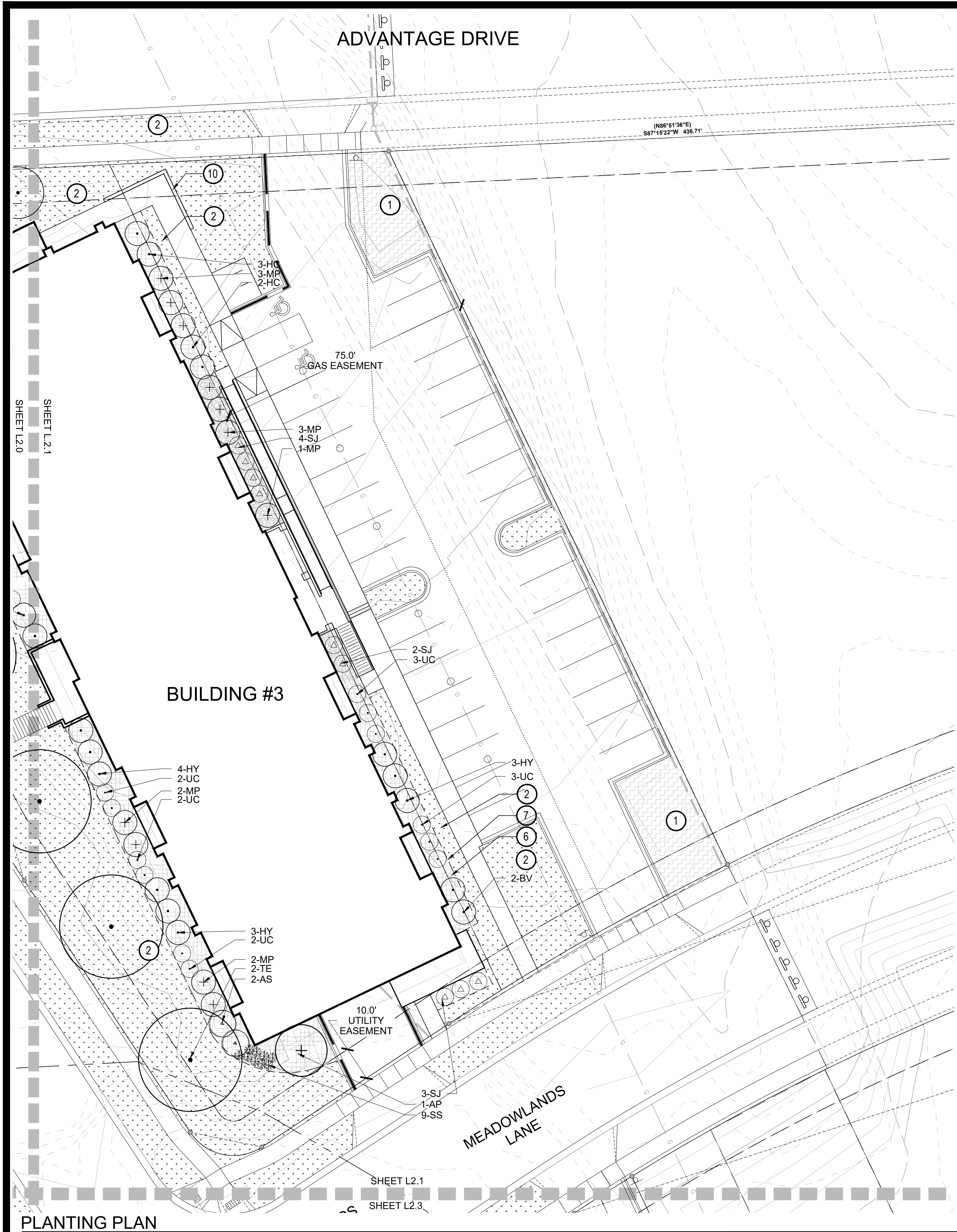
LANDSCAPE PLAN

MADISON, WI

SNYDER & ASSOCIATES, INC.

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PLANTING PLAN

LANDSCAPE PLAN CONSTRUCTION NOTES

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PLANT SCHEDULE

KEY	COMMON NAME
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AG	AUTUMN GOLD GINKGO
RO	WHITE OAK
SH	SKYLINE HONEYLOCUST
TE	TRIUMPH ELM
ST	STATE STREET MAPLE
LG	GREENSPIRE LINDEN
EVERGREEN TREES	
SJ	SKYHIGH JUNIPER
AP	AUSTRIAN PINE
SP	SCOTCH PINE
ORNAMENTAL TREES	
PC	PRAIRIFIRE CRABAPPLE
FD	WHITE FLOWERING DOGWOOD
AC	AMUR CHOCKCHERRY
BW	WHITESPIRE BIRCH TWIN
DECIDUOUS SHRUBS	
2'-4' SPREAD	
GM	JAPANESE SPIREA 'GOLD MOUND'
GS	GLOW GIRL SPIREA
AF	ARCTIC FIRE DOGWOOD
5'-7' SPREAD	
RC	ROCK COTONEASTER
SF	SHOW OFF FORSYTHIA
UC	UPRIGHT RED CHOKEBERRY
SN	SNOWMOUND SPIREA
7' + SPREAD	
AS	AUTUMN BRILLIANCE SERVICEBERRY
HC	AMERICAN CRANBERRY BUSH
HY	QUICK FIRE HARDY HYDRANGEA
FS	FRAGRANT SUMAC
BV	BLACKHAW VIBURNUM
RW	SUPERBA LITTLELEAF LILAC
EVERGREEN SHRUBS	
2'-4' SPREAD	
JJ	DWARF JAPANESE GARDEN JUNIPER
5'-7' SPREAD	
JA	ANDORRA JUNIPER
DY	DWARF YEW (BREVIFOLIA)
BR	BLUE RUG JUNIPER
7' + SPREAD	
MP	DWARF MUGO PINE
TY	TAUNTON YEW
ORNAMENTAL GRASSES	
BA	BLONDE AMBITION BLUE GRAMA GRASS
SS	SHENANDOAH SWITCH GRASS
PD	PRAIRIE DROPSEED
BB	BIG BLUESTEM
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LANDSCAPE LEGEND

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THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

LANDSCAPE PLAN

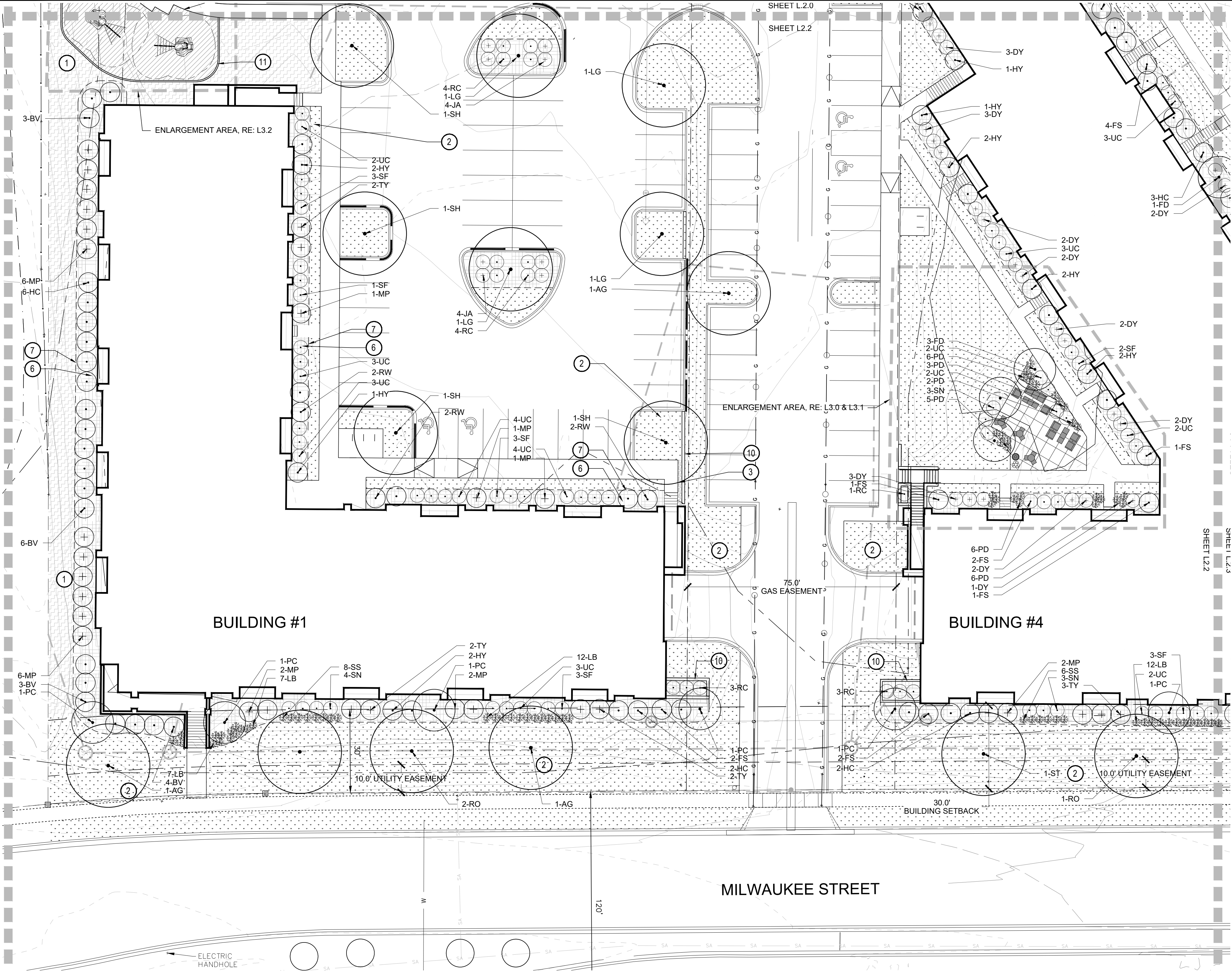
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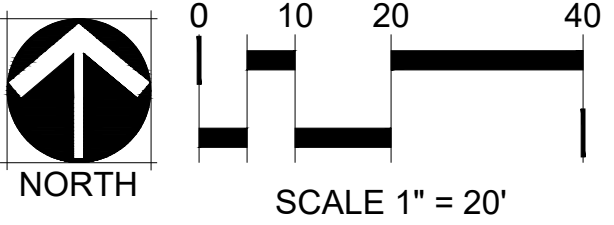
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Technician: BCA	Date: 01-07-2019	Field Bk:		Pg:	
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PLANTING PLAN



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THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

LANDSCAPE PLAN

MADISON, WI

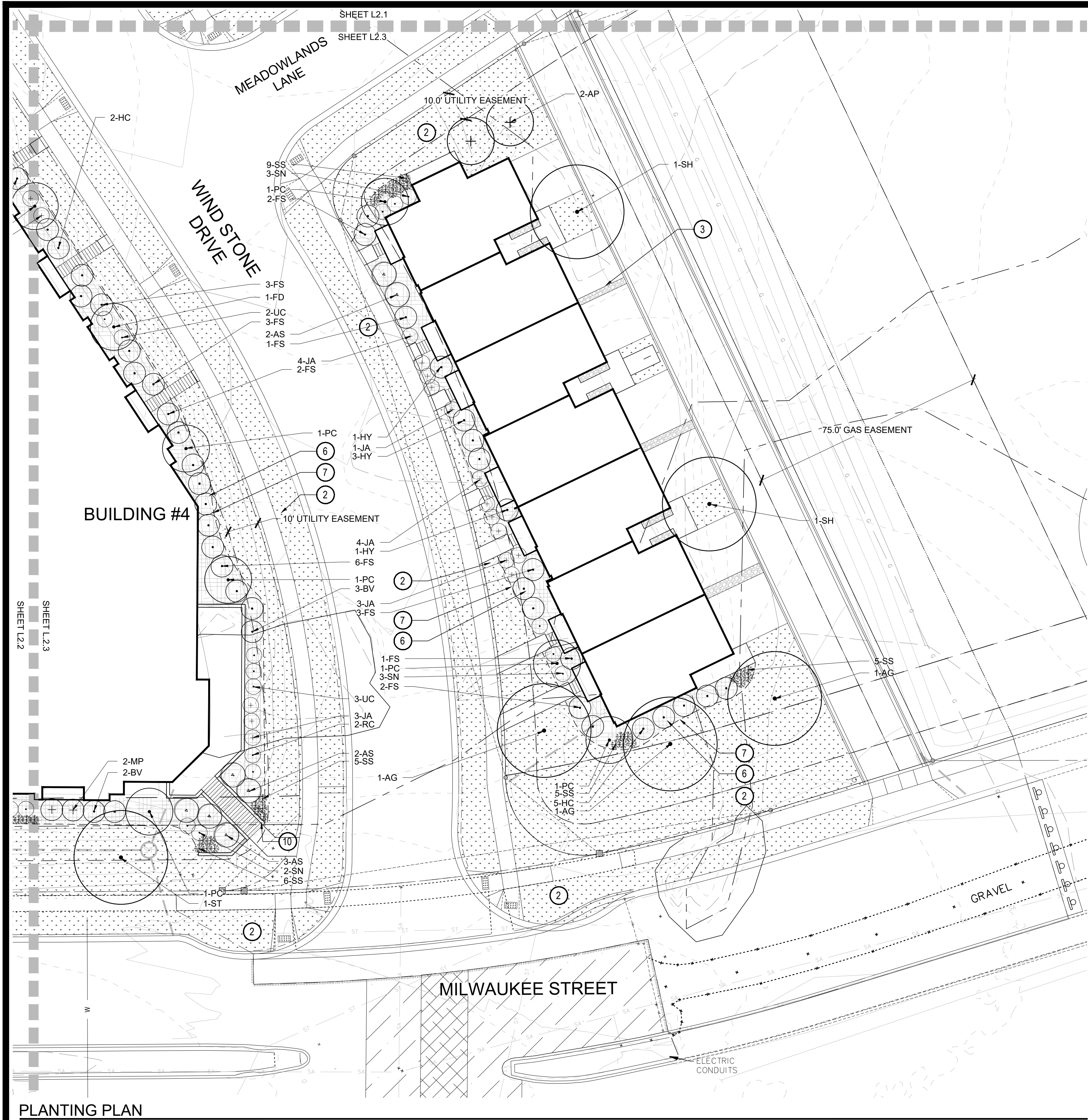
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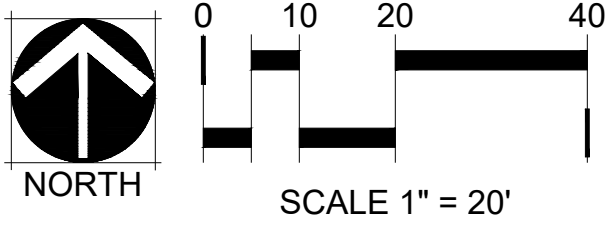


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PLANTING PLAN



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LANDSCAPE PLAN

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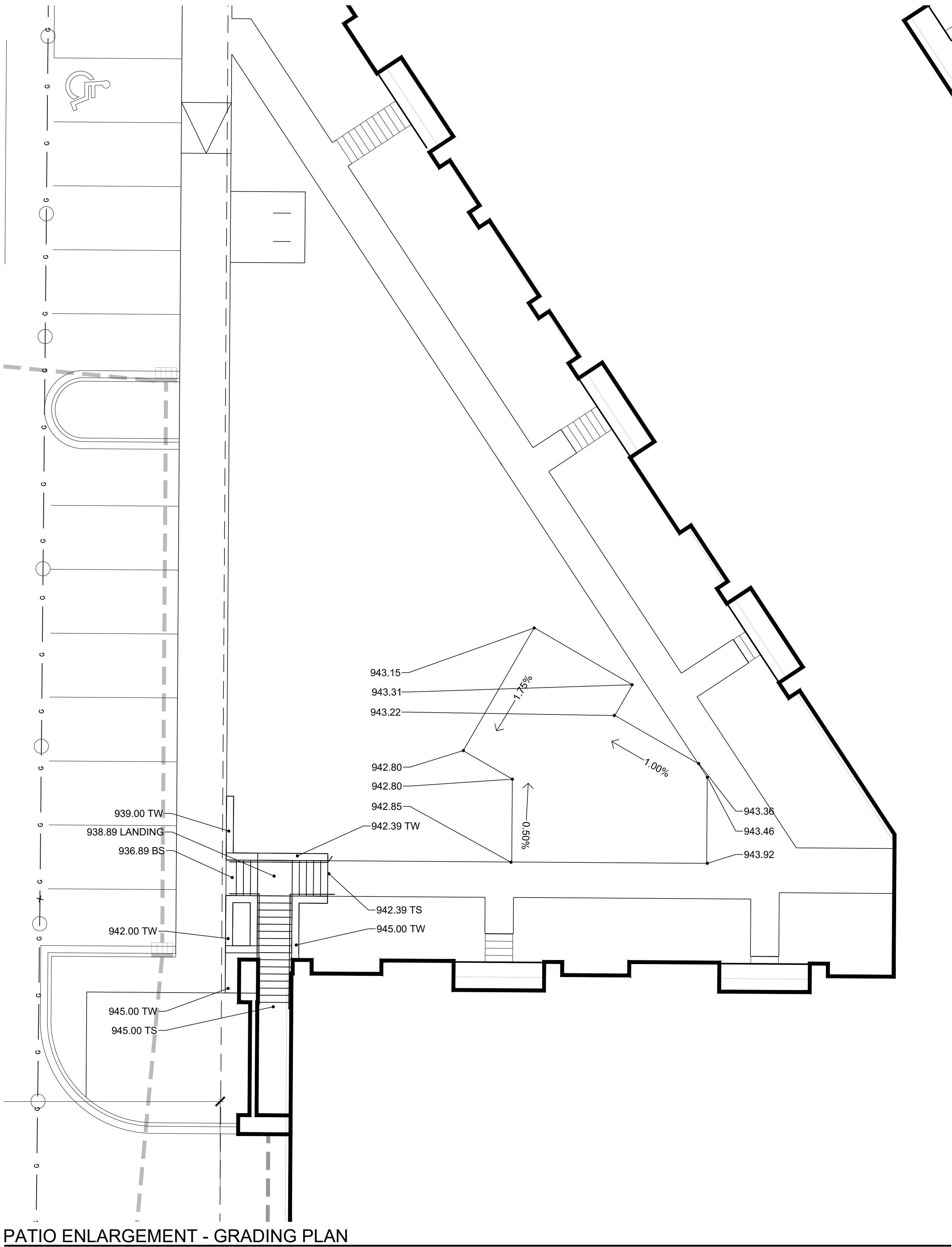


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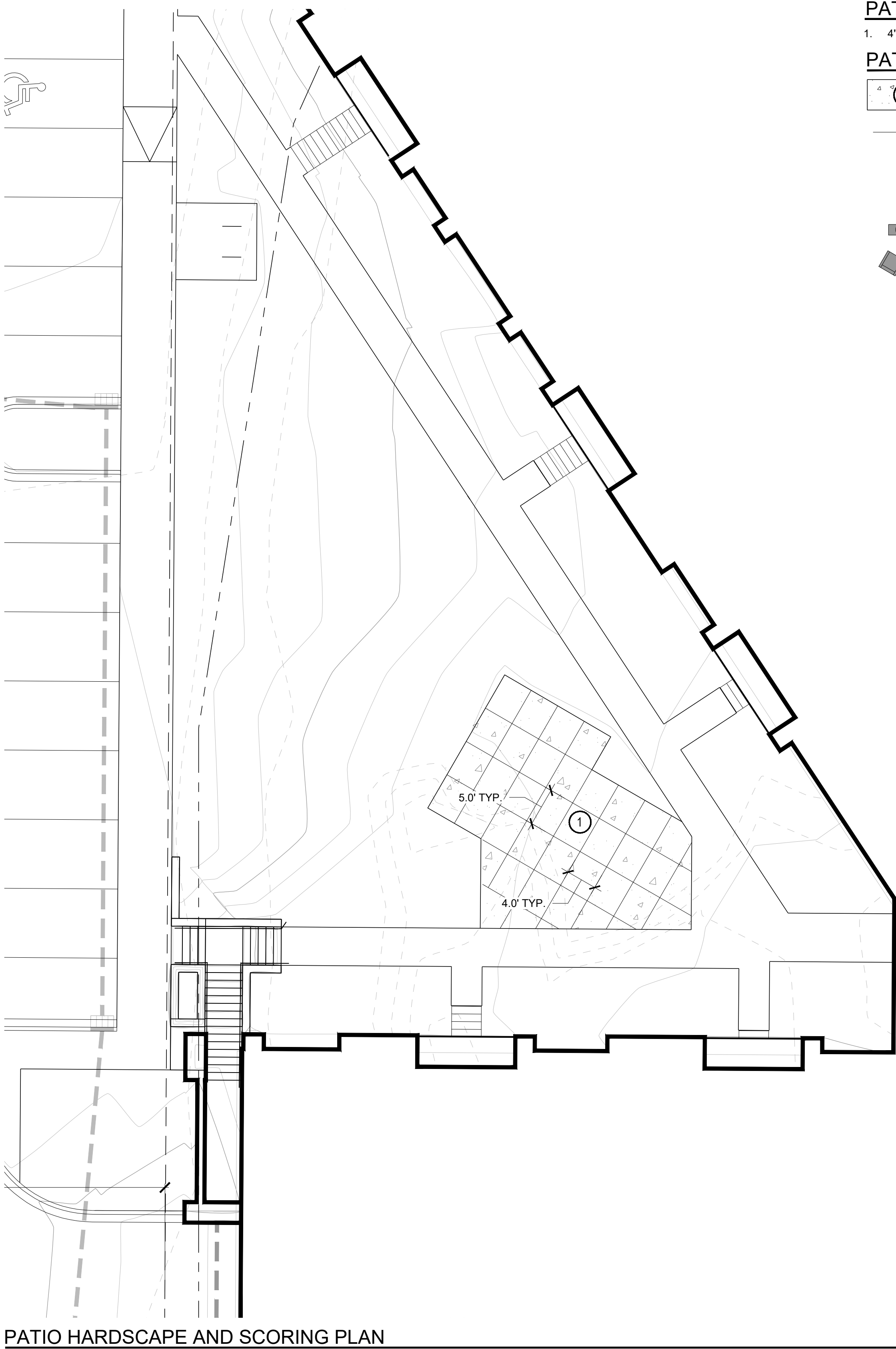
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PATIO ENLARGEMENT - GRADING PLAN

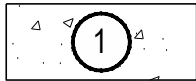


PATIO HARDSCAPE AND SCORING PLAN

PATIO CONSTRUCTION NOTES

1. 4" CONCRETE - COLOR: STANDARD GRAY, BROOM FINISH

PATIO LEGEND

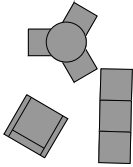


4" CONCRETE - COLOR: STANDARD GRAY, BROOM FINISH

SCORE LINE (RE: HARDSCAPE & SCORING PLAN)



TRASH AND RECYCLING RECEPTACLE (BY OWNER)



SITE FURNISHINGS (BY OWNER)

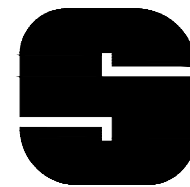
THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

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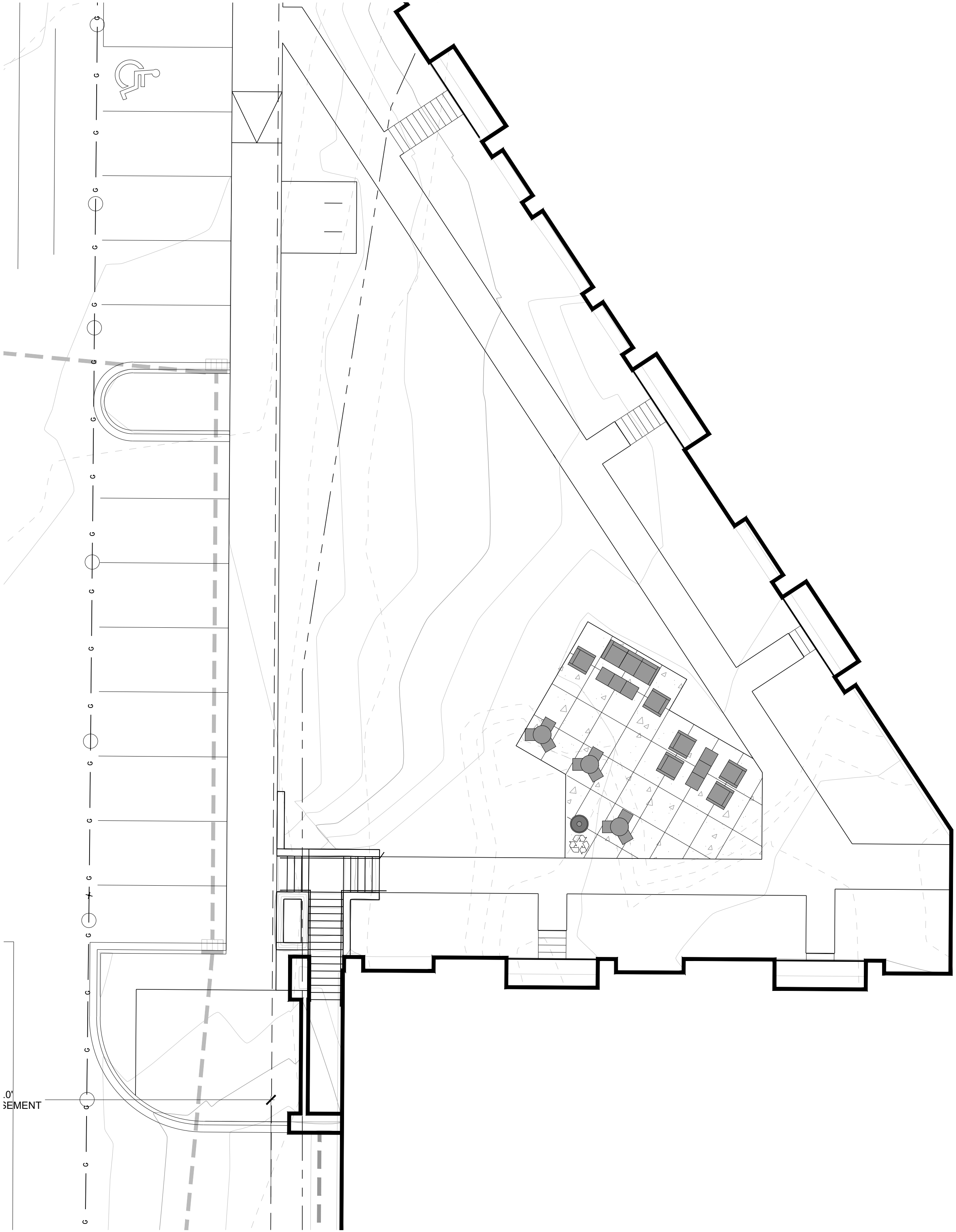


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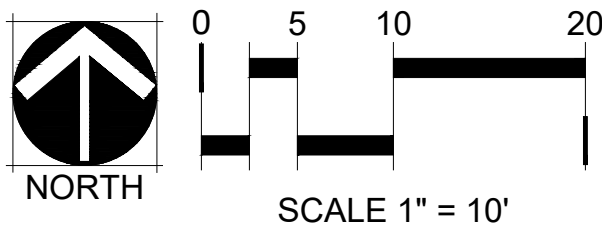
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PATIO ENLARGEMENT - AMENITY PLAN



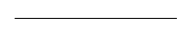
PATIO CONSTRUCTION NOTES

1. 4" CONCRETE - COLOR: STANDARD GRAY, BROOM FINISH

PATIO LEGEND



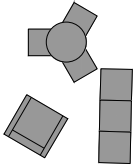
4" CONCRETE - COLOR: STANDARD GRAY, BROOM FINISH



SCORE LINE (RE: HARDSCAPE & SCORING PLAN)



TRASH AND RECYCLING RECEPTACLE (BY OWNER)



SITE FURNISHINGS (BY OWNER)

THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

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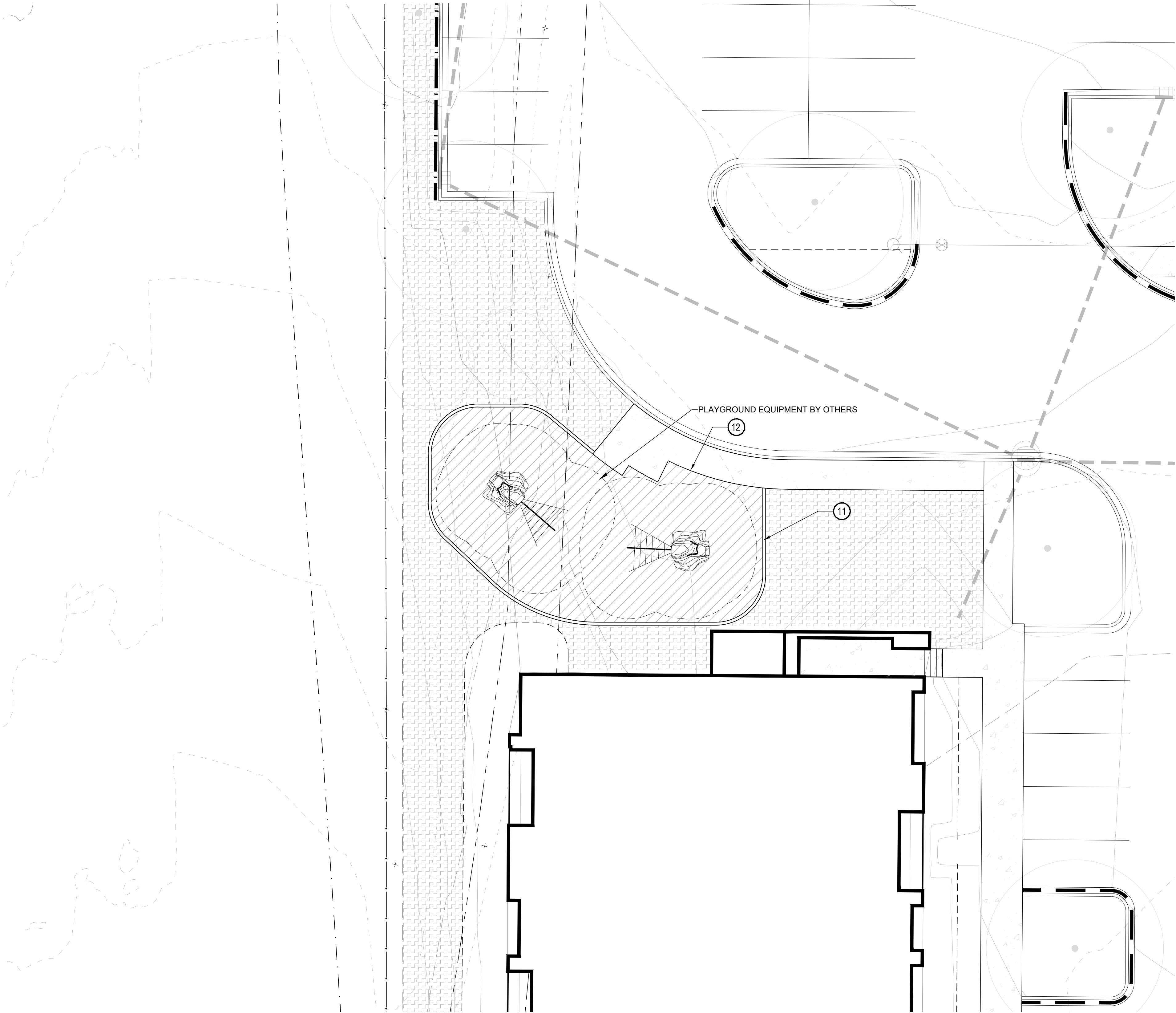


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Technician: BCA						
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PLAYGROUND ENLARGEMENT AREA

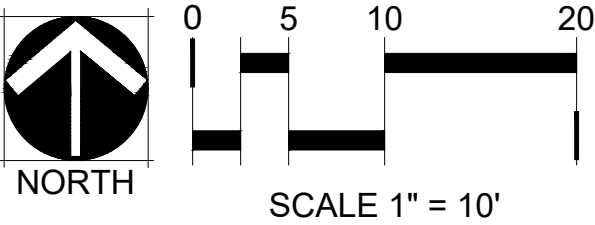


PLAYGROUND LEGEND

PLAYGROUND SURFACING, DESIGN BY OTHERS

LANDSCAPE CONSTRUCTION NOTES

1. TURF SEED MIX SHALL BE VELVET GREEN TURF MIX BY HERITAGE SEED COMPANY OR APPROVED EQUAL. MIX SHALL INCLUDE 40% KENTUCKY BLUEGRASS, 40% PERENNIAL RYEGRASS, 20% FINE FESCUE.
2. BLACK BEAUTY TALL FESCUE KENTUCKY BLUEGRASS (TFKB SOD) PROVIDED BY PAUL'S TURF & TREE NURSERY (608.655.3600) OR APPROVED EQUAL.
3. 2-6" COBBLE MULCH PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
4. SUGAR AND SPICE STABILIZED DECOMPOSED GRANITE MIX PROVIDED BY KAFKA GRANITE (715-997-7636) OR APPROVED EQUAL.
5. AQUA BLUE BOULDERS APPROXIMATELY 3' X 3' X 3' PROVIDED BY MIDWEST DECORATIVE STONE & LANDSCAPE SUPPLY (608.273.9787) OR APPROVE EQUAL. SUBMIT PHOTO SAMPLES PRIOR TO PURCHASE.
6. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
7. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
8. RAISED WOOD PLANTER BED, REFER TO DETAIL 4/L4.0
9. 2-RAIL FENCE WITH WIRE MESH, REFER TO DETAIL 5/L4.0
10. CAST IN PLACE CONCRETE WALL, REFER TO DETAIL 5/L4.1
11. PLAYGROUND CURB, REFER TO DETAIL 6/L4.1
12. PLAYGROUND MONOLITHIC CURB, REFER TO DETAIL 7/L4.1



THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

PLAYGROUND ENLARGEMENT

MADISON, WI



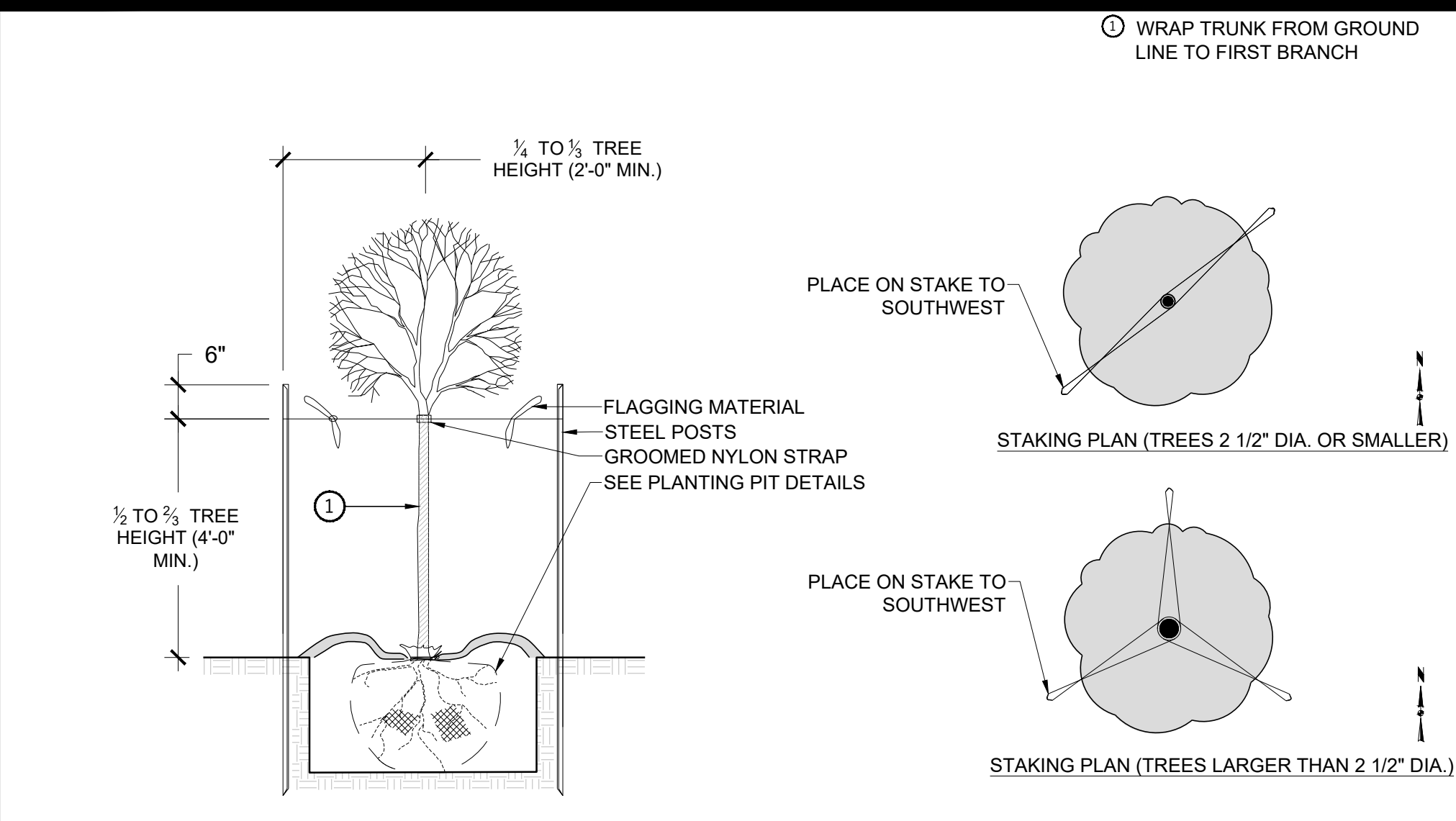
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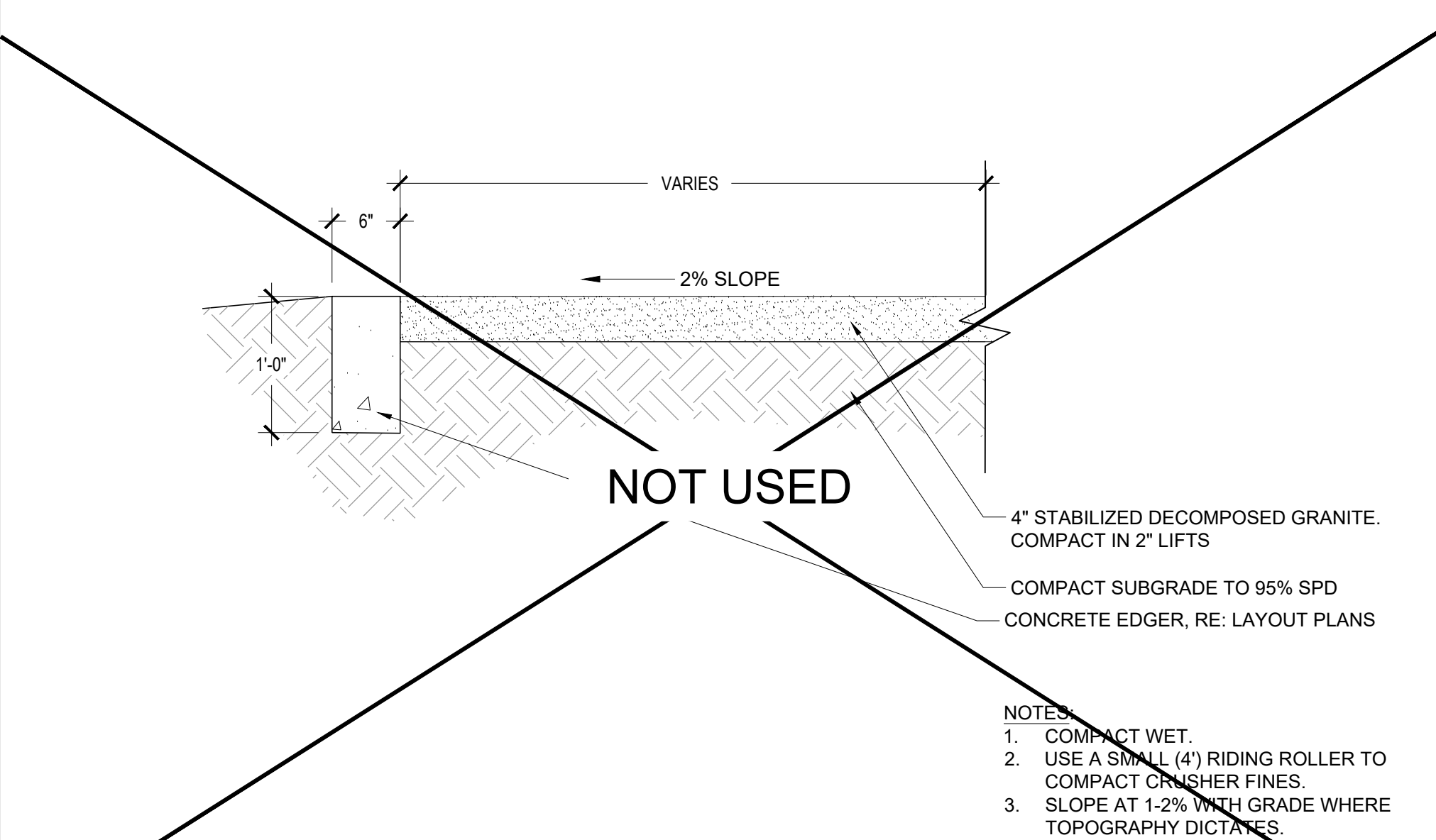
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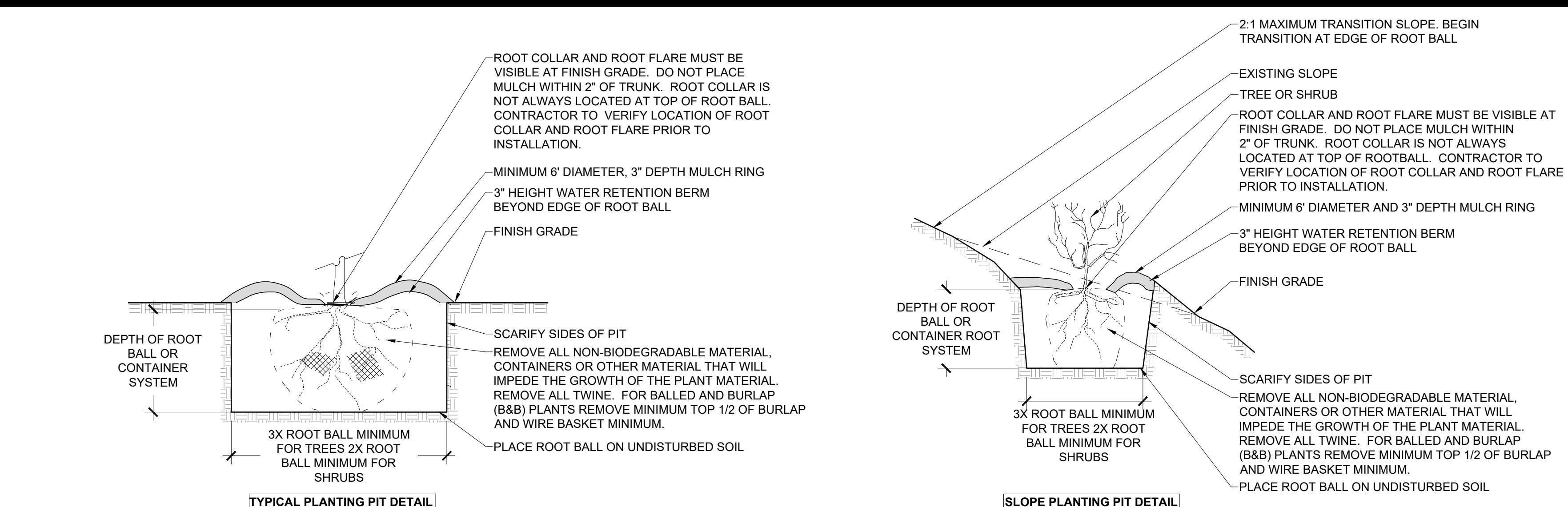
#	#	#	#	#	#	BY
#	#	#	#	#	#	DATE
#	#	#	#	#	#	NOTED
#	#	#	#	#	#	Scale: 1" =
#	#	#	#	#	#	Field Bk: Pg:
#	#	#	#	#	#	118.1129.30
MARK	Engineer: BCA	Checked By: MLC	REVISION	Date: 01.07.2019		
Technician: BCA						



1 DECIDUOUS TREE STAKING NO SCALE



3 DECOMPOSED GRANITE WITH CURB SCALE: 1" = 4'-0"

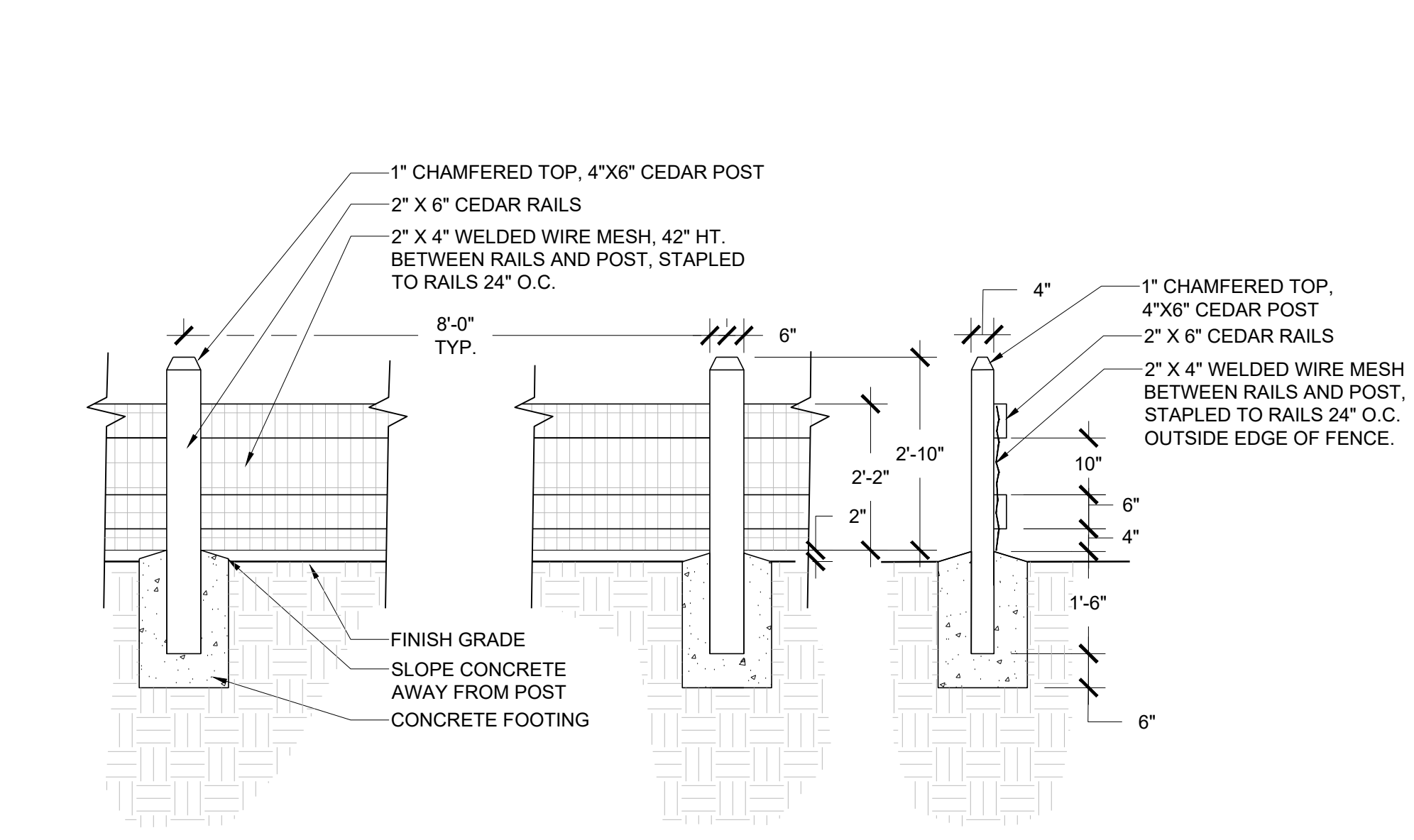


2 PLANTING PIT DETAILS NO SCALE



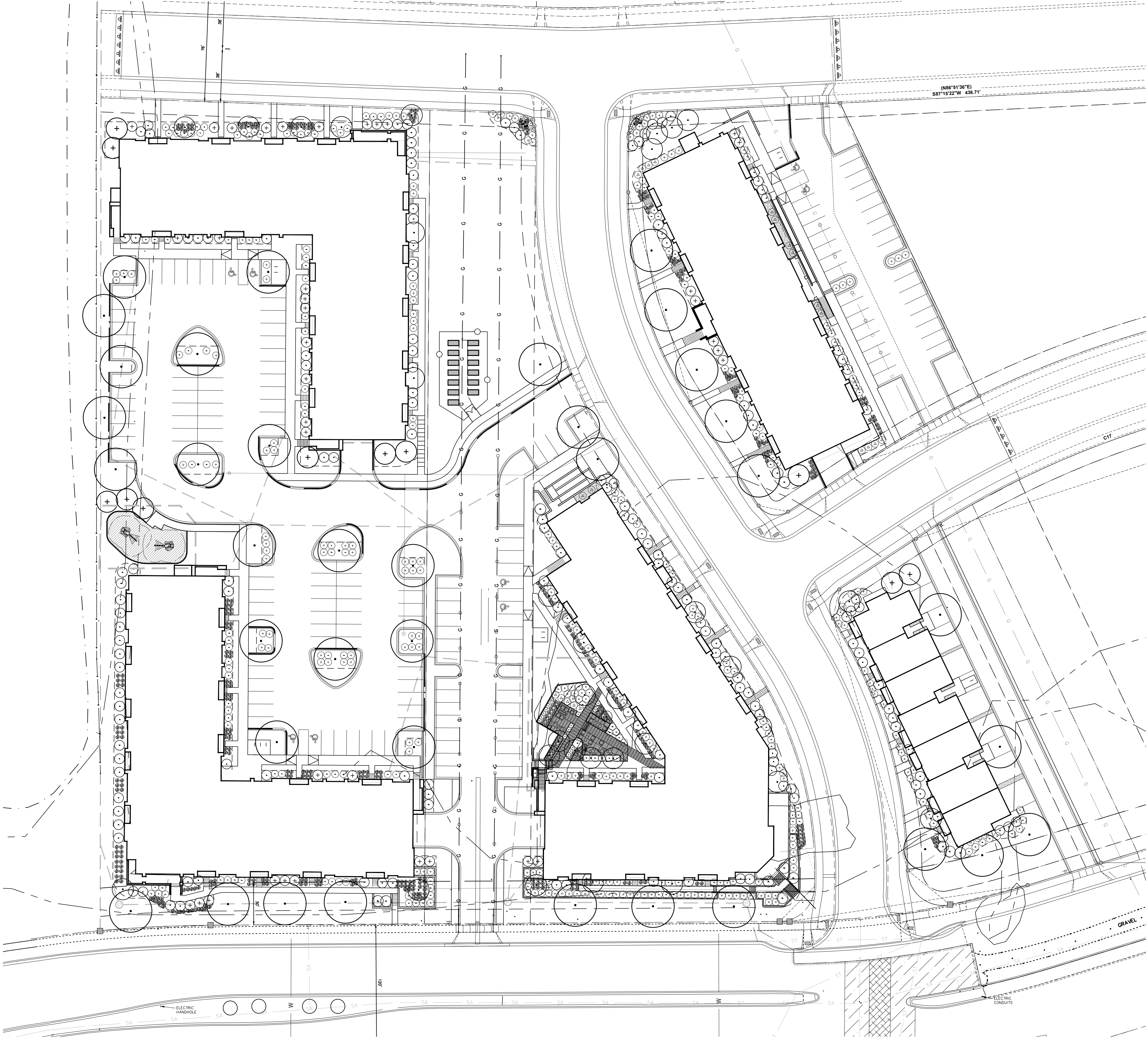
TYPICAL 4X8 RAISED WOOD PLANTER BED

4 4X8 RAISED WOOD PLANTER BED NO SCALE



5 2 RAIL FENCE WITH WIRE MESH SCALE: 1/2" = 1'-0"

PREVIOUS LANDSCAPE PLAN



LANDSCAPE LEGEND

- DECIDUOUS CANOPY TREE
- LARGE DECIDUOUS ORNAMENTAL TREE
- EVERGREEN
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- UPRIGHT EVERGREEN
- ORNAMENTAL GRASSES

PLANT TOTALS
TOTAL TREES = 99
TOTAL SHRUBS = 651
TOTAL GRASSES = 450
TOTAL POINTS REQUIRED: 4,202
TOTAL POINTS PROVIDED: 5,425

THE MEADOWLANDS - PROPOSED SITE PLAN CHANGES

PREVIOUS LANDSCAPE PLAN

MADISON, WI

SNYDER & ASSOCIATES, INC.



118.1129.30

EXBT

MARK	REVISION	DATE	BY
#	#	#	#
#	#	#	#
#	#	#	#
#	#	#	#
Engineer: BCA	Checked By: MLC	Date: 01-07-2019	NOTED
Technician: BCA		Field Bk:	Pg:
118.1129.30			



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address _____
Name of Project The Meadowlands - Proposed Site Plan Changes
Owner / Contact KCG
Contact Phone _____ Contact Email _____

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area 87,102 SF

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area 2 ACRES

Total landscape points required 4,202

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			38	1330
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			11	385
Ornamental tree	1 1/2 inch caliper	15			29	435
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			16	160
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			330	990
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			162	648
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			156	312
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						4260

Total Number of Points Provided 4260

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

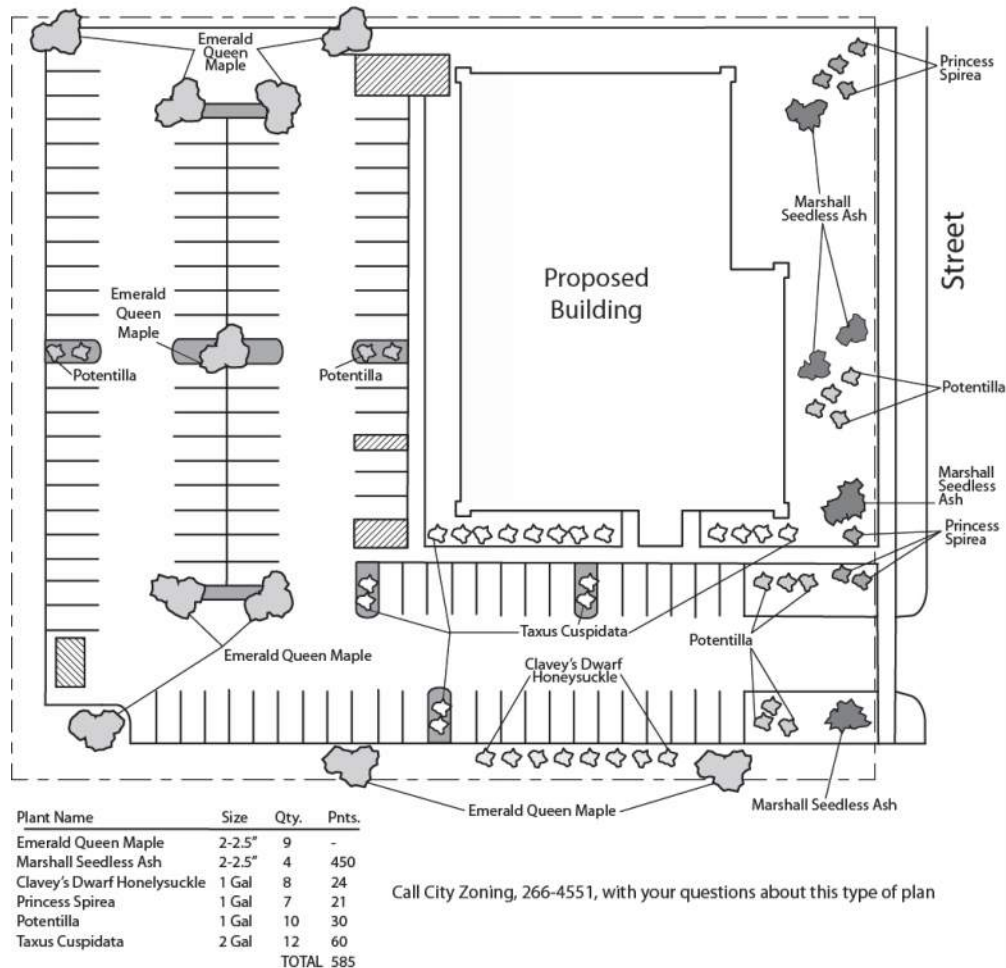
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 - 3. Storage areas including trash and loading.
 - 4. Lighting (landscape, pedestrian or parking area).
 - 5. Irrigation.
 - 6. Hard surface materials.
 - 7. Labeling of mulching, edging and curbing.
 - 8. Areas of seeding or sodding.
 - 9. Areas to remain undisturbed and limits of land disturbance.
 - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 - 11. Existing trees eight (8) inches or more in diameter.
 - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address _____
Name of Project The Meadowlands - Proposed Site Plan Changes
Owner / Contact KCG
Contact Phone _____ Contact Email _____

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Total landscape points required _____

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Remainder of developed area 2 ACRES

Total landscape points required 4,202

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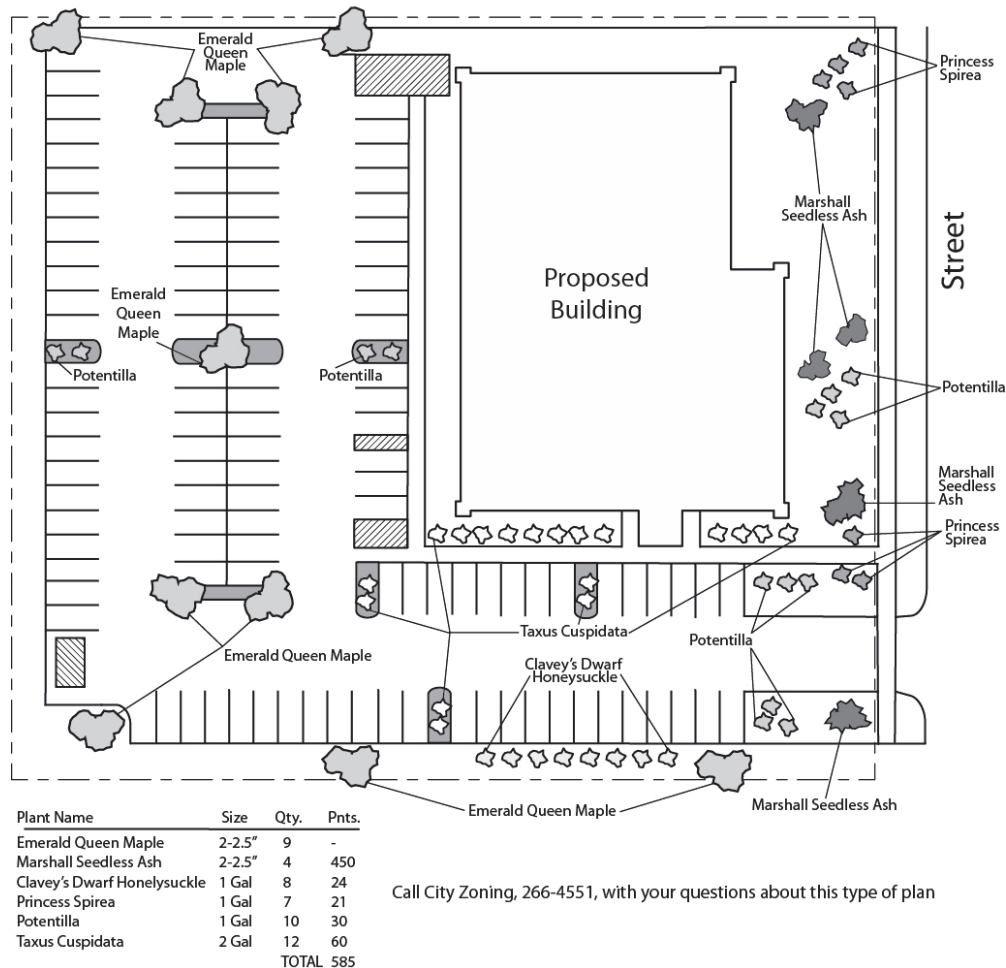
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 - 3. Storage areas including trash and loading.
 - 4. Lighting (landscape, pedestrian or parking area).
 - 5. Irrigation.
 - 6. Hard surface materials.
 - 7. Labeling of mulching, edging and curbing.
 - 8. Areas of seeding or sodding.
 - 9. Areas to remain undisturbed and limits of land disturbance.
 - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 - 11. Existing trees eight (8) inches or more in diameter.
 - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
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- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
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- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

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- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

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Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.