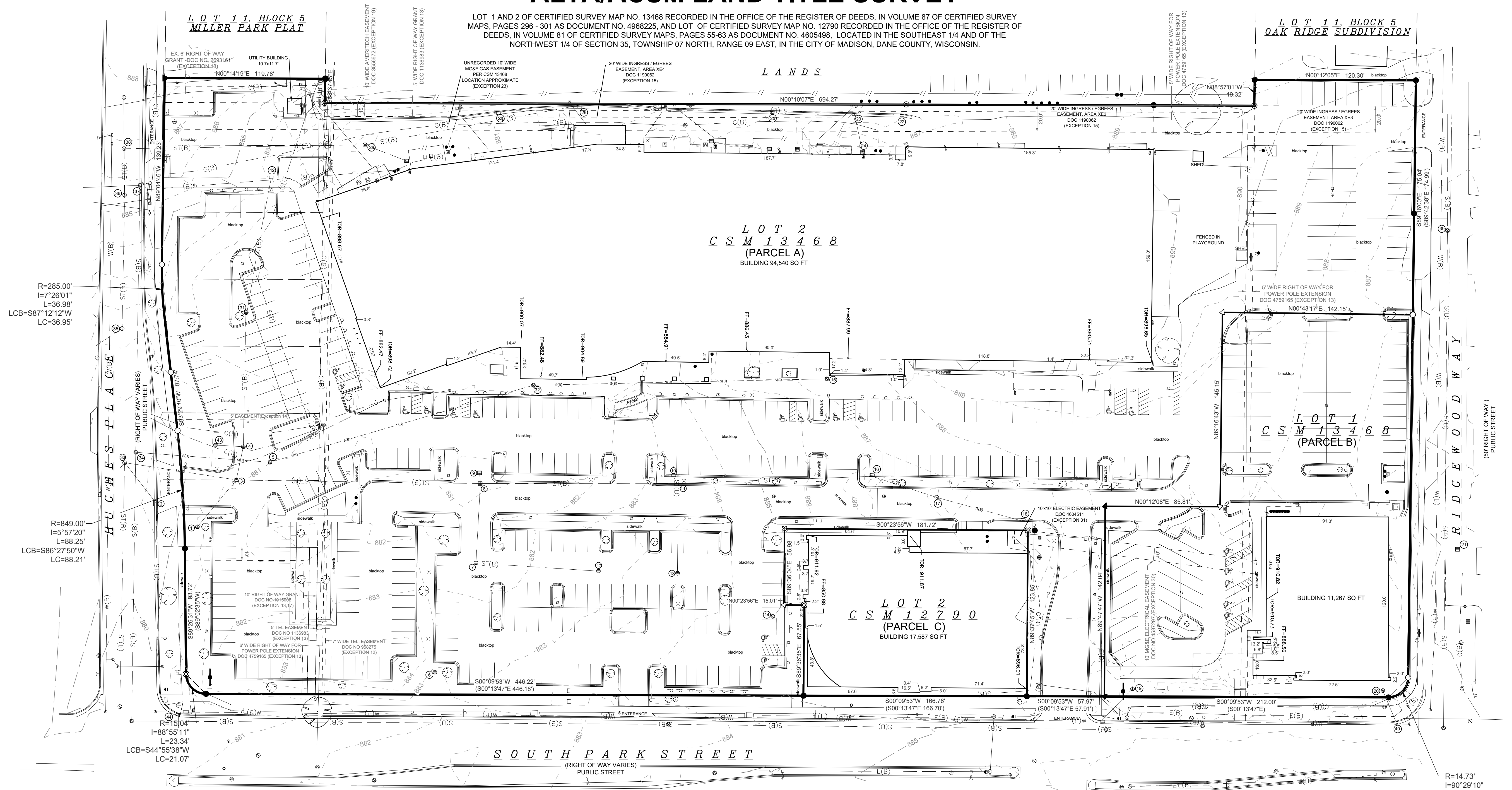


ALTA/ACSM LAND TITLE SURVEY

LOT 1 AND 2 OF CERTIFIED SURVEY MAP NO. 13468 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS, IN VOLUME 87 OF CERTIFIED SURVEY MAPS, PAGES 296 - 301 AS DOCUMENT NO. 4968225, AND LOT OF CERTIFIED SURVEY MAP NO. 12790 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS, IN VOLUME 81 OF CERTIFIED SURVEY MAPS, PAGES 55-63 AS DOCUMENT NO. 4605498, LOCATED IN THE SOUTHEAST 1/4 AND OF THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 07 NORTH, RANGE 09 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.



R=285.00'
I=7°26'01"
L=36.98'
LCB=S87°12'12"W
LC=36.95'

R=849.00'
I=5°57'20"
L=88.25'
LCB=S86°27'50"W
LC=88.21'

R=151.04'
I=88°55'11"
L=23.34'
LCB=S44°55'38"W
LC=21.07'

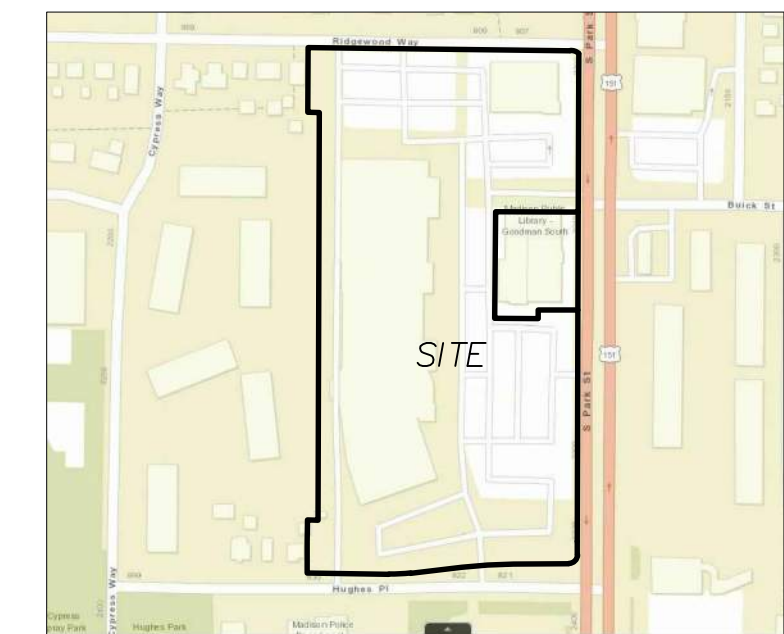
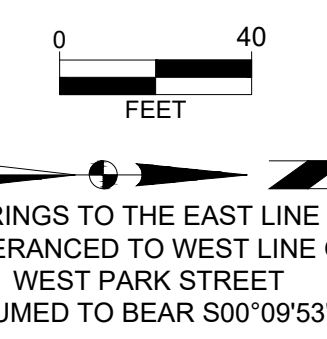
R=14.73'
I=90°29'10"
L=23.26'
LCB=S44°55'16"E
LC=20.92'

LEGEND

- FEATURES**
- PK NAIL
 - 1/2" Rebar, Cap # 11579 (Unless Otherwise Noted)
 - ROW Marker
 - ROW Rail
 - Control Point
 - Bench Mark
 - Platted Distance
 - Measured Bearing & Distance
 - Recorded As
 - Deed Distance
 - Calculated Distance
 - Minimum Protection Elevation
 - Centerline
 - Section Line
 - 1/4 Section Line
 - 1/4 1/4 Section Line
 - Easement Line

- FOUND**
- Spot Elevation
 - Contour Elevation
 - Fence (Barbed, Field, Hog)
 - Fence (Chain Link)
 - Fence (Wood)
 - Fence (Silt)
 - Tree Line
 - Tree Stump
 - Deciduous Tree \ \ Shrub
 - Coniferous Tree \ \ Shrub
 - Communication
 - Fiber Optic
 - Underground Electric
 - Overhead Electric
 - Gas Main with Size
 - High Pressure Gas Main with Size
 - Water Main with Size
 - Sanitary Sewer with Size
 - Duct Bank
 - Test Hole Location for SUE w/ID

- EXISTING**
- Sanitary Manhole
 - Storm Sewer with Size
 - Storm Manhole
 - Single Storm Sewer Intake
 - Double Storm Sewer Intake
 - Fire Hydrant
 - Fire Hydrant on Building
 - Water Main Valve
 - Water Service Valve
 - Well
 - Utility Pole
 - Guy Anchor
 - Utility Pole with Light
 - Utility Pole with Transformer
 - Street Light
 - Yard Light
 - Electric Box
 - Electric Transformer
 - Traffic Sign
 - Communication Pedestal
 - Communication Manhole
 - Communication Handhole
 - Fiber Optic Manhole
 - Fiber Optic Handhole
 - Gas Valve
 - Gas Manhole
 - Gas Apparatus
 - Fence Post or Guard Post
 - Underground Storage Tank
 - Above Ground Storage Tank
 - Sign
 - Satellite Dish
 - Mailbox
 - Sprinkler Head
 - Irrigation Control Valve
 - Soil Boring
 - Top of Roof Elevation
 - Finished Floor Elevation



VICINITY MAP
NOT TO SCALE

MARK	COMMENTS	DATE	BY
1	07-29-21 EEL		
Engineer: EEL	Checked By: CHKD	Scale: 1"=40'	
Technician: TECH	Date: 06-11-21	T-R-S: TTN-RRW-SS	
Project No: 121.0555.30			Sheet 1 of 1

ALTA / NSPS SURVEY

VILLAGE ON PARK

CITY OF MADISON, DANE COUNTY, WISCONSIN

SNYDER & ASSOCIATES, INC.

5010 VOEGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com



ALTA/ACSM LAND TITLE SURVEY

LOT 1 AND 2 OF CERTIFIED SURVEY MAP NO. 13468 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS, IN VOLUME 87 OF CERTIFIED SURVEY MAPS, PAGES 296 - 301 AS DOCUMENT NO. 4968225, AND LOT OF CERTIFIED SURVEY MAP NO. 12790 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS, IN VOLUME 81 OF CERTIFIED SURVEY MAPS, PAGES 55-63 AS DOCUMENT NO. 4605498, LOCATED IN THE SOUTHEAST 1/4 AND OF THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 07 NORTH, RANGE 09 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

SURVEYOR CERTIFICATION

To: The City of Madison, its successors and assigns First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Item 1, 2, 4, 7(a), 7(b)(1), 7(c) 8, and 11, of Table A thereof. The field work was completed on June 29th, 2021.

Date of Map: _____

Eric E. Lindaas, P.L.S. S-2919
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
608-838-0444
elindaas@snyder-associates.com

TITLE INFORMATION:

LEGAL DESCRIPTION AS DESCRIBED IN COMMITMENT NO.: NCS-1071790-MAD, COMMITMENT DATE: JUNE 10, 2021 @ 7:30 AM, ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY:

PARCEL A:

LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 13468 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON MARCH 08, 2013, IN VOLUME 87 OF CERTIFIED SURVEY MAPS, PAGES 296 - 301 AS DOCUMENT NO. 4968225, BEING ALL OF LOT 1, CERTIFIED SURVEY MAP NO. 12790, LOCATED IN THE SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 07 NORTH, RANGE 09 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:

PROPERTY ADDRESS: 2300 SOUTH PARK STREET, MADISON WI 53713
TAX PARCEL NO. 251/0709-352-0406-9

PARCEL B:

LOT ONE (1) OF CERTIFIED SURVEY MAP NO. 13468 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON MARCH 08, 2013, IN VOLUME 87 OF CERTIFIED SURVEY MAPS, PAGES 296 - 301 AS DOCUMENT NO. 4968225, BEING ALL OF LOT 1, CERTIFIED SURVEY MAP NO. 12790, LOCATED IN THE SOUTHEAST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 35, TOWNSHIP 07 NORTH, RANGE 09 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:

PROPERTY ADDRESS: 2202 SOUTH PARK STREET, MADISON WI 53713
TAX PARCEL NO. 251/0709-352-0408-5

PARCEL C:

UNIT ONE (1), TOGETHER WITH SAID UNIT'S UNDIVIDED INTEREST IN THE COMMON ELEMENTS AND THE EXCLUSIVE USE OF THE LIMITED COMMON ELEMENTS APPURTENANT TO SAID UNIT, ALL IN SOUTH MADISON COMMUNITY CONDOMINIUM, A CONDOMINIUM DECLARED AND EXISTING UNDER AND BY VIRTUE OF THE CONDOMINIUM OWNERSHIP ACT OF THE STATE OF WISCONSIN, BY A DECLARATION RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN, ON MARCH 05, 2010, AS DOCUMENT NO. 4639192; SAID CONDOMINIUM BEING LOCATED IN THE CITY OF MADISON, COUNTY OF DANE, STATE OF WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:

PROPERTY ADDRESS: 2222 SOUTH PARK STREET, MADISON WI 53713
TAX PARCEL NOS. 251/0709-352-1201-2 AND 251/0709-352-0407-7 (NOTATION PARCEL)

TABLE A:

- ADDRESS OF SURVEYED PROPERTY:**
2202, 2206, 2210, 2222, 2226, 2230, 2234, 2238, 2300, 2302, 2304, 2306, 2308, 2312, 2328
South Park Street, Madison, WI 53713
- GROSS LAND AREA**
PARCEL A (LOT 2 CSM 13468)- 338,051 SQUARE FEET (7.76 ACRES)
PARCEL B (LOT 1 CSM 13468)- 52,827 SQUARE FEET (1.21 ACRES)
PARCEL C (LOT 2 CSM 12790)- 21,736 SQUARE FEET (0.50 ACRES)
TOTAL 412,614 SQUARE FEET (9.47 ACRES)
- (a), (b)1, (c), **BUILDING DIMENSIONS:**
As labeled on Survey
- SUBSTANTIAL FEATURES OBSERVED:**
As mapped on survey.
- UTILITIES:**
Utilities shown hereon marked from a Diggers Hotline Ticket Nos. 20212209288, 20212209319, 20212209400, 212122209416, 20212209442, 20212209459 Dated 05-28-2021.
(Surveyors note- Utilities shown hereon we surveyed by the above described field markings and prints, and maps provided by the City of Madison.)

TITLE EXCEPTIONS:

The policy to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company as described in title commitment file no.: NCS-1071790, Commitment Date: June 10, 2021 @ 7:30 AM, issued by First American Title Insurance Company:

- Exceptions 1-11, 20-22, 34, 38-39, 42-61 do not apply to this survey or are not plottable.
- Easement granted to Wisconsin Telephone Company and conditions as set forth in instrument recorded May 23, 1958 in Volume 319 of Misc., Page 138 as Document Number 958275. (As shown on map)
 - Utility Easement to Wisconsin Telephone Company, dated June 25, 1965, recorded/ filed July 22, 1965 in Volume 429 of Misc., Page 553 as Document No. 1136993. (As shown on map)
 - Conveyance of Rights in Land by Madison Gas and Electric Company, a Wisconsin corporation recorded on April 21, 2011 as Document No. 4759165.
 - Easement granted to Wisconsin Telephone Company and conditions as set forth in instrument recorded July 22, 1965 in Volume 429 of Misc., Page 555 as Document Number 1136984. (As shown on map)
 - Non-exclusive easements for ingress and egress and use of North Wall and South Wall as set forth in Warranty Deed recorded July 19, 1967 in Volume 468 of Misc., Page 201 as Document Number 1190062, subject to Declaration of Release of Existing Cross Access Easement recorded November 7, 2008 as Document Number 4480413. (As shown on map)
 - Easement granted to the City of Madison and conditions as set forth in instrument recorded September 14, 1982 in Volume 3846, Records Page 13 as Document Number 1751859. (Not located in this survey, easement located in South Park Street right of way)
 - Right of Way Grant to Madison Gas and Electric Company and conditions as set forth in instrument recorded December 26, 1985 in Volume 7629 of Records, Page 32 as Document Number 1915008. (As shown on map)
Conveyance of Rights in Land by Madison Gas and Electric Company, a Wisconsin corporation recorded on April 21, 2011 as Document No. 4759165.
Partial Release of Easement recorded November 18, 2010 as Document No. 4716000.
 - Right of Way Grant recorded August 3, 1995 in Volume 30446, Records Page 53 as Document Number 2693161. (As shown on map)
 - Easement granted to Ameritech General and conditions as set forth in instrument recorded September 30, 2002 as Document Number 3556672. (As shown on map)
 - Unrecorded easements of 5 feet and 10 feet wide to MG&E as shown on Exhibit "B" of Declaration of Release of Existing Cross Access Easement recorded November 07, 2008 in the Office of the Register of Deeds for Dane County, Wisconsin as Document No. 4480413 and on Certified Survey Map No. 13468 and Certified Survey Map No. 12790. (As shown on map. Location approximate, location not defined on CSM. (Affects Parcels A and B)
Partial Release as set forth on Grant of Underground Electric Line Easements and Release of Underground Electric and Partial Release of Overhead Electric Line and Pole Easement recorded August 28, 2014 as Document No. 5094684.
 - Notes as disclosed by Certified Survey Map No. 12600, recorded on December 18, 2008 as Document No. 4487383; as corrected by Affidavit of Correction recorded on January 09, 2009 as Document No. 4492149. (Affidavit of Correction does not affect this survey)
(Affects Parcels A and C)
 - Declaration of Conditions and Covenants for the Certified Survey Map No. 12600 recorded January 12, 2009 as Document No. 4482666. (Declaration affects surveyed property but is not a survey matter)
(Affects Parcels A, B and C)
 - Declaration of Conditions and Covenants for the Certified Survey Map No. 12600 recorded January 12, 2009 as Document No. 4492669. (Declaration affects surveyed property but is not a survey matter)
(Affects Parcels A, B and C)
 - Declaration of Conditions, Covenants and Restrictions for Maintenance of Stormwater Management Measures recorded March 26, 2009 as Document No. 4523135. (Affects surveyed property, not plottable refer to document)
(Affects Parcels A and C)
Partial Release of Declaration recorded March 11, 2013 as Document No. 4968443. (Affects Parcel B)
 - Terms, conditions, restrictions and provisions relating to the use and maintenance of the Operation and Easement Agreement recorded on April 01, 2009, as Document No. 4525865. (Affects Parcels, is not plottable)
(Affects Parcels A, B and C)
Modification and/or amendment by instrument: First Amendment to Operation and Easement Agreement Recording Information: March 11, 2013 as Document No. 4968445
 - Declaration Establishing a No-Build Easement Area recorded on April 28, 2009 as Document No. 4538078. (Not plottable, refer to document)
(Affects Parcels A and C)
Modification and/or amendment by instrument: First Amendment to Declaration Establishing a No-Build Easement Area Recording Information: November 08, 2012 as Document No. 4931073
 - Underground Electric Easement granted to Madison Gas and Electric Company and conditions as set forth in instrument recorded August 19, 2009 as Document Number 4587297; as corrected by Affidavit of Correction recorded September 2, 2009 as Document Number 4591782. (As shown on map)
 - Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated May 04, 2009, recorded/ filed October 21, 2009 as Document No. 4604511. (As shown on map)
(Affects Parcel C)
 - Notes as disclosed by Certified Survey Map No. 12790 recorded October 26, 2009 in Volume 81 of Certified Survey Maps, Page 55 as Document No. 4605498 as corrected by Affidavit of Correction recorded December 30, 2009 as Document No. 4623128. (Affects surveyed property, not plottable refer to document)
(Affects Parcels A and C)
 - Covenants, conditions, restrictions, easements, limitations, reservations, terms, lien rights, provisions and charges, including, but not limited to, the use of, and the rights of others in and to the use of the limited common elements, contained in Declaration of Condominium of South Madison Community Condominium, recorded March 05, 2010, as Document No. 4639192, and any and all subsequent amendments thereto. (Affects surveyed property, not plottable refer to document)
Statutory Reserve Account Statement South Madison Community Condominium recorded March 11, 2010 as Document No. 4640593.
(Affects Parcel C)
 - Notes as disclosed by Certified Survey Map No. 13468 recorded on March 08, 2013 in Volume 87 of Certified Survey Maps, Page 296 as Document No. 4968225. (Not plottable refer to document)
(Affects Parcels A and B)

- Terms, conditions, restrictions and provisions relating to the use and maintenance of the Perpetual Subsurface Parking Easement Agreement recorded on March 11, 2013, as Document No. 4968446.
(Affects Parcels A and B)
- Declaration of Conditions and Covenants for Certified Survey Map No. 13468 recorded March 11, 2013 as Document No. 4968447.
(Affects Parcel B)
- Declaration of Conditions, Covenants and Restrictions for Maintenance of Stormwater Management Measures recorded November 12, 2013 as Document No. 5037380.
(Affects Parcel B)
- Utility Easement to Madison Gas and Electric Company, a Wisconsin corporation, dated August 25, 2014, recorded/ filed August 28, 2014 as Document No. 5094684.

STORM SEWER							
No	Type	RIM ELEV	IE	IE	IE	IE	Notes
①	Inlet	880.70	NW=876.60' 6" HDPE	E=876.57' 6" HDPE			
②	Rectangular Inlet	878.69	W=876.72' 8" PVC	E=876.72' 8" PVC	S=876.28' 12" RCP		
③	Inlet	880.82	W=875.24' HDPE	N=875.18' RCP	SE=875.58' HDPE	S=875.39' RCP	
④	Inlet	880.62	Could not measure.				
⑤	Inlet	882.70	Could not measure.				
⑥	Inlet	881.03	N=877.77 12" RCP	W= 877.47 12" RCP	BOT. MH =874.21		
⑦	Rectangular Inlet	880.81	S=876.52' RCP	W=877.61' 8" PVC	N=876.50' RCP	E=876.37' 12" RCP	
⑧	Rectangular Inlet	880.64	Could not measure.				
⑨	Curb Inlet		NE=878.94' 6" PVC				
⑩	Curb Inlet		S=877.30' 18" RCP	NW= Could not measure. 6" PVC	N= Could not measure. 8" PVC	E= Could not measure. RCP	
⑪	Inlet	882.32	SW=879.02' RCP				
⑫	Inlet	883.21	W=878.79' to flange invert. 12" RCP with 16" Flange				
⑬	Curb Inlet	886.97	N= 880.57' 8" PVC	S= 880.77' 8" PVC			
⑭	Stand Pipe	885.90	Center= 1" 8" PVC				Below manhole grate is a vertically oriented PVC pipe centered in structure.
⑮	Curb Inlet		Could not measure.				
⑯	Beehive	886.94	SE= 884.89' 8" HDPE				
⑰	Beehive	886.98	NW= 885.23' 6" HDPE	NE= 884.03' 12" PVC	SW= 884.38' 8" PVC		
⑱	???Culvert???	884.26	Could not measure.				
⑲	Curb Inlet		S= 882.09' 15" HDPE				
⑳	Curb Inlet		N= 880.86' 15" HDPE	S= 880.82' 15" HDPE	E= 880.86' 14" RCP		
㉑	Rectangular Inlet	885.77	W= 882.30' 12" PVC				
㉒	Curb Inlet		N= 879.95' 15" HDPE	S= 879.38' 24" HDPE			
㉓	Curb Inlet		N= 875.38' 24" HDPE	S= 874.97' 30" HDPE			
㉔	Curb Inlet		E= 876.03' 12" PVC				
㉕	Inlet	880.64	Center= 873.78'	N= Could not measure.	S= Could not measure.		
㉖	Inlet	881.23	NW= 876.23' 18" HDPE	E= 876.16' 18" HDPE	SW= 876.34' 6" HDPE		
㉗	Manhole	879.40	Center= 875.24'	N= 875.48'	E= 875.28', 30" RCP		Field verify, pipes are recessed in manhole.
㉘	Manhole	881.40	Center= 873.98'	W= Could not measure. 42" RCP	W= Could not measure. 42" RCP	S= Could not measure.	
㉙	Manhole	885.62	Center= 871.41'	W= Could not measure. 42" RCP	E= Could not measure. 42" RCP		
㉚	Manhole	886.90	Center= 873.35'	NW= Could not measure. 36"	W= Could not measure. 24"	E= Could not measure. 42" RCP	
㉛	Curb Inlet	885.70	SW= 882.95' 12" HDPE	E= 882.90' 15" RCP			Concrete buildup in bottom of structure.
㉜	Curb Inlet	884.04	NE=876.89' 6" HDPE	SE=876.56' 15" HDPE			
㉝	Inlet	879.83	S=876.10' 6" HPDE	N=876.14' 15" HDPE			
㉞	Curb Inlet	880.67	E=877.84' 12" RCP				

SANITARY SEWER							
No	Type	RIM ELEV	IE	IE	IE	IE	Notes
①	Manhole	881.10	N=871.68'	S=871.57'			
②	Manhole	886.83	Could not measure.				Could not remove lid.
③	Manhole	882.38	S=873.25'	N= could not measure, pipe plugged	NW= could not measure.		
④	Manhole	879.30	Center= 872.83'	S=872.53'	N=872.44'		
⑤	Manhole	885.93	N=871.46'	E=871.16' 8" VP	W=871.24' 8" VP		
⑥	Manhole	885.93	Center=876.44'	E= 876.4 8" Clay	W= 876.40 8" Clay		
⑦	Manhole	886.52	Center=877.32'	E= Could not measure.	W= Could not measure.		

ALTA / NSPS SURVEY

VILLAGE ON PARK

CITY OF MADISON, DANE COUNTY, WISCONSIN

SNYDER & ASSOCIATES, INC.



Project No: 121.0555.30

Sheet 1 of 1

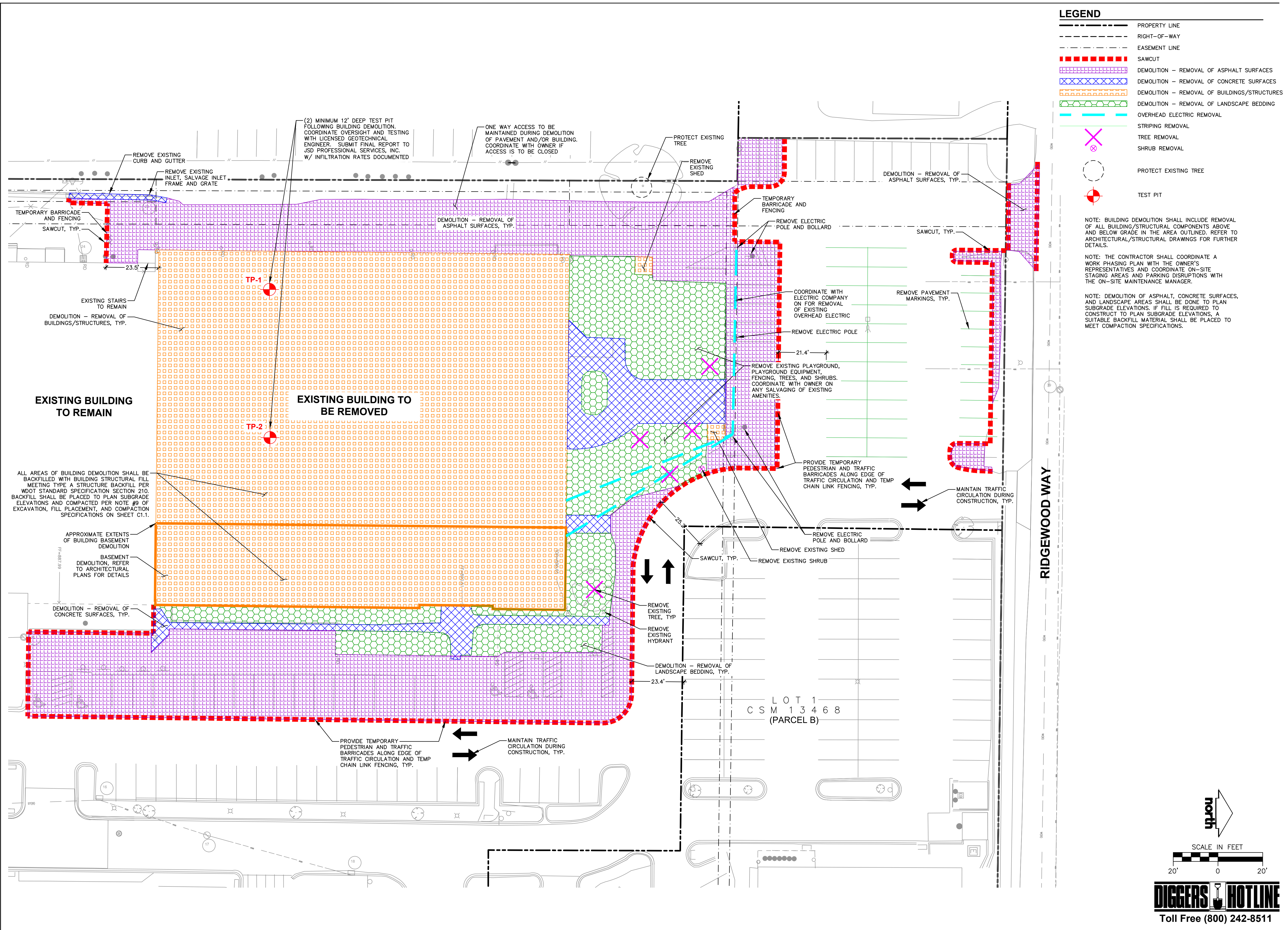
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

Project No: 121.0555.30

Sheet 1 of 1

08-20-21	EEL	UPDATE/INVERT INFORMATION
07-29-21	REVISION	COMMENTS
DATE	DATE	DATE
BY	BY	BY
Checked By: CHKD	Scale: 1" = 40'	
Engineer: EEL	Technician: TECH	
Date: 06-11-21	T-R-S: TTN-RRW-SS	

File: I:\2021\10461 - Parking Bldg\DWG\Civil Sheets\21-10461 C2.0-Demolition Plan.dwg Layout: C2.0 User: cdumond Plotted: Aug 26, 2021 - 4:35pm Xref's:



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- SAWCUT
- DEMOLITION - REMOVAL OF ASPHALT SURFACES
- DEMOLITION - REMOVAL OF CONCRETE SURFACES
- DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
- DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
- OVERHEAD ELECTRIC REMOVAL
- STRIPING REMOVAL
- TREE REMOVAL
- SHRUB REMOVAL
- PROTECT EXISTING TREE
- TEST PIT

NOTE: BUILDING DEMOLITION SHALL INCLUDE REMOVAL OF ALL BUILDING/STRUCTURAL COMPONENTS ABOVE AND BELOW GRADE IN THE AREA OUTLINED. REFER TO ARCHITECTURAL/STRUCTURAL DRAWINGS FOR FURTHER DETAILS.

NOTE: THE CONTRACTOR SHALL COORDINATE A WORK PHASING PLAN WITH THE OWNER'S REPRESENTATIVES AND COORDINATE ON-SITE STAGING AREAS AND PARKING DISRUPTIONS WITH THE ON-SITE MAINTENANCE MANAGER.

NOTE: DEMOLITION OF ASPHALT, CONCRETE SURFACES, AND LANDSCAPE AREAS SHALL BE DONE TO PLAN SUBGRADE ELEVATIONS. IF FILL IS REQUIRED TO CONSTRUCT TO PLAN SUBGRADE ELEVATIONS, A SUITABLE BACKFILL MATERIAL SHALL BE PLACED TO MEET COMPACTION SPECIFICATIONS.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
811 E WASHINGTON AVE, SUITE 200
MADISON, WI 53703

PROJECT:
**CDA-VILLAGE ON PARK
NORTH BUILDING
DEMOLITION & SURFACE
PARKING LOT BUILD
BACK**

PROJECT LOCATION:
2300 SOUTH PARK STREET
MADISON, WI 53715
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.30.21	CD REVIEW SET
2	08.13.21	90% CD
3	08.27.21	PERMIT SET
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

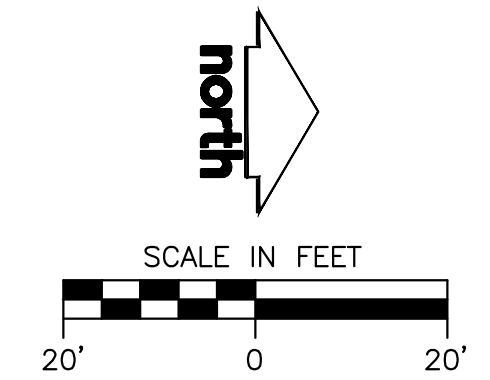
Designed By: MSS, CTD
Reviewed By: MRH
Approved By: MRH

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C2.0

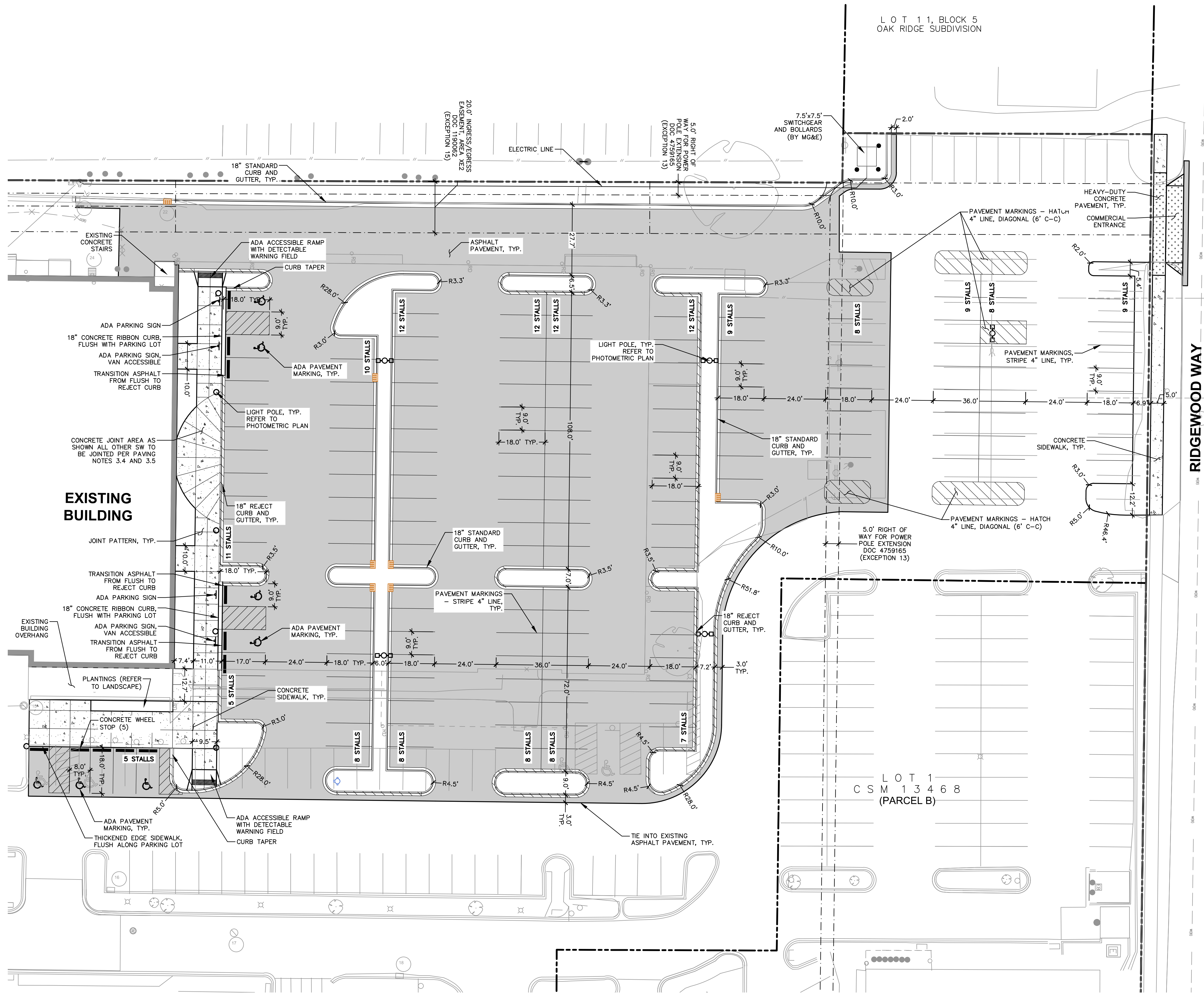
JSD PROJECT NO: 21-10461

PRELIMINARY NOT FOR CONSTRUCTION



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2021\10461 - Parking BDDWG\Civil Sheets\21-10461_C3.0_Site Plan.dwg Layout: C3.0 User: cdiamond Plotted: Aug 27, 2021 - 9:34am Xrefs:



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ==== EDGE OF PAVEMENT
- ==== STANDARD CURB AND GUTTER
- ==== REJECT CURB AND GUTTER
- ==== 18" CONCRETE RIBBON CURB
- ==== ASPHALT PAVEMENT
- ==== CONCRETE PAVEMENT
- ==== HEAVY DUTY CONCRETE PAVEMENT
- ADA PARKING SIGN
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- BOLLARD

SITE INFORMATION BLOCK

SITE ADDRESS	811 EAST WASHINGTON AVE, SUITE 200
PROPERTY ACREAGE	X.XX ACRES
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	154
ACCESSIBLE	7
TOTAL SURFACE	161
NUMBER OF BICYCLE STALLS:	X
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	XX,XXX SF
EXISTING PERVIOUS SURFACE AREA	XX,XXX SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.XX
PROPOSED IMPERVIOUS SURFACE AREA	XX,XXX SF
PROPOSED PERVIOUS SURFACE AREA	XX,XXX SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.XX

JSD
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Engineers • Surveyors • Planners

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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
STRANG

CLIENT ADDRESS:
**811 E WASHINGTON AVE, SUITE 200
MADISON, WI 53703**

PROJECT:
**CDA-VILLAGE ON PARK
NORTH BUILDING
DEMOLITION & SURFACE
PARKING LOT BUILD
BACK**

PROJECT LOCATION:
**2300 SOUTH PARK STREET
MADISON, WI 53715
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.30.21	CD REVIEW SET
2	08.13.21	90% CD
3	08.27.21	PERMIT SET
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Designed By: MSS, CTD
Reviewed By: MRH
Approved By: MRH

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C3.0

JSD PROJECT NO: 21-10461

**PRELIMINARY NOT FOR
CONSTRUCTION**

North

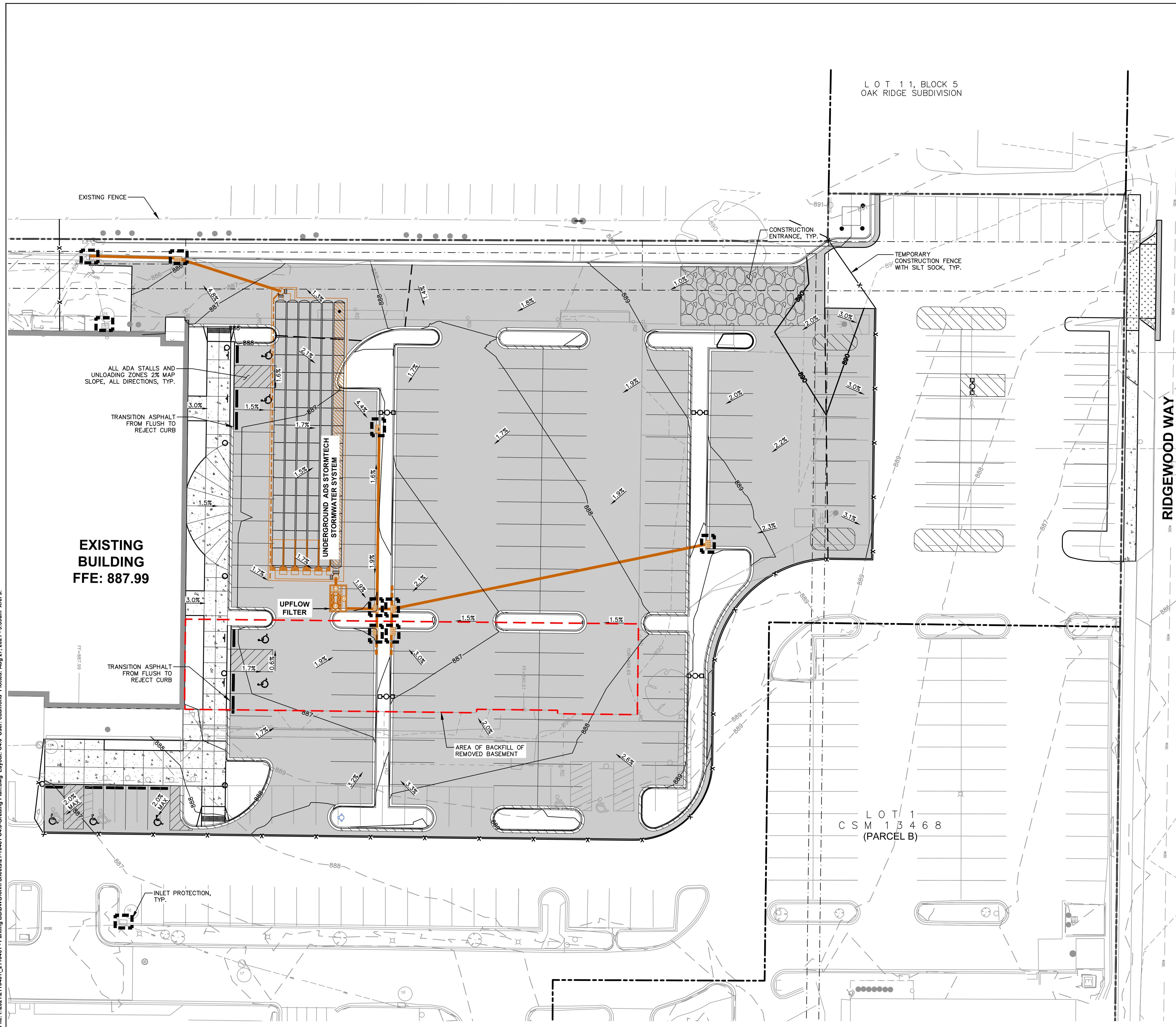
SCALE IN FEET

20' 0 20'

DIGGERS HOTLINE
Toll Free (800) 242-8511

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File: I:\2021\10461 - Parking BDDWG\Civil Sheets\21-10461 C4.0-Grading Plan.dwg Layout: C4.0 User: cdiamond Plotted: Aug 27, 2021 - 9:33am Xrefs:



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- - - BUILDING OVERHANG
- - - BUILDING SETBACK LINE
- - - PAVEMENT SETBACK LINE
- - - EDGE OF PAVEMENT
- ==== STANDARD CURB AND GUTTER
- ==== REJECT CURB AND GUTTER
- ==== 18" CONCRETE RIBBON CURB
- ==== ASPHALT PAVEMENT
- ==== CONCRETE PAVEMENT
- ==== HEAVY DUTY CONCRETE PAVEMENT
- ▲ ADA PARKING SIGN
- 959--- PROPOSED 1 FOOT CONTOUR
- 960--- PROPOSED 5 FOOT CONTOUR
- 959--- EXISTING 1 FOOT CONTOUR
- 960--- EXISTING 5 FOOT CONTOUR
- PROPOSED STORM SEWER
- PROPOSED STORM UNDERDRAIN
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- PROPOSED HYDRANT
- DRAINAGE DIRECTION
- GRADE BREAK
- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- CONSTRUCTION FENCE WITH SILT SOCK



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CLIENT ADDRESS:
**811 E WASHINGTON AVE, SUITE 200
MADISON, WI 53703**

PROJECT:
**CDA-VILLAGE ON PARK
NORTH BUILDING
DEMOLITION & SURFACE
PARKING LOT BUILD
BACK**

PROJECT LOCATION:
**2300 SOUTH PARK STREET
MADISON, WI 53715
DANE COUNTY**

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Designed By: MSS, CTD
Reviewed By: MRH
Approved By: MRH

SHEET TITLE:
**GRADING AND EROSION
CONTROL PLAN**

SHEET NUMBER:
C4.0

JSD PROJECT NO: 21-10461

**PRELIMINARY NOT FOR
CONSTRUCTION**

north

SCALE IN FEET

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CLIENT ADDRESS:
811 E WASHINGTON AVE, SUITE 200
MADISON, WI 53703

PRELIMINARY NOT FOR
CONSTRUCTION

PROJECT:
CDA-VILLAGE ON PARK
NORTH BUILDING
DEMOLITION & SURFACE
PARKING LOT BUILD
BACK

PROJECT LOCATION:
2300 SOUTH PARK STREET
MADISON, WI 53715
DANE COUNTY

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Designed By: MSS, CTD
Reviewed By: MRH
Approved By: MRH

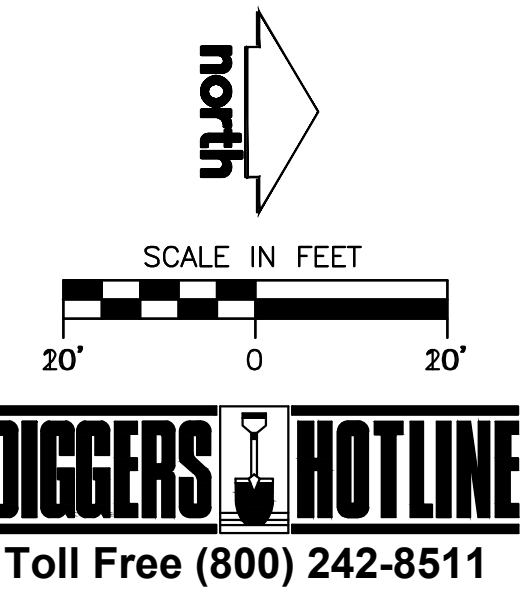
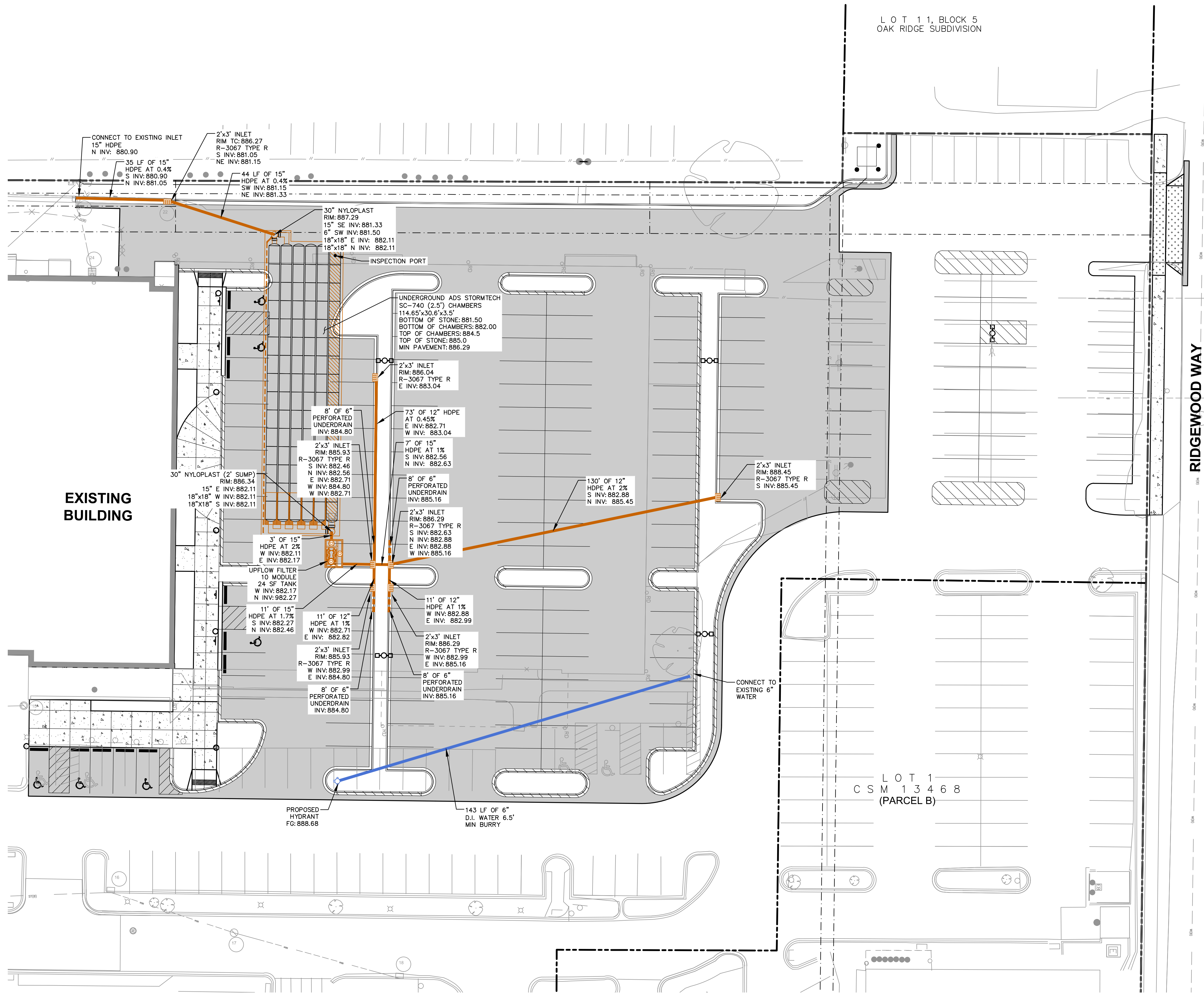
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UTILITY PLAN

SHEET NUMBER:
C5.0

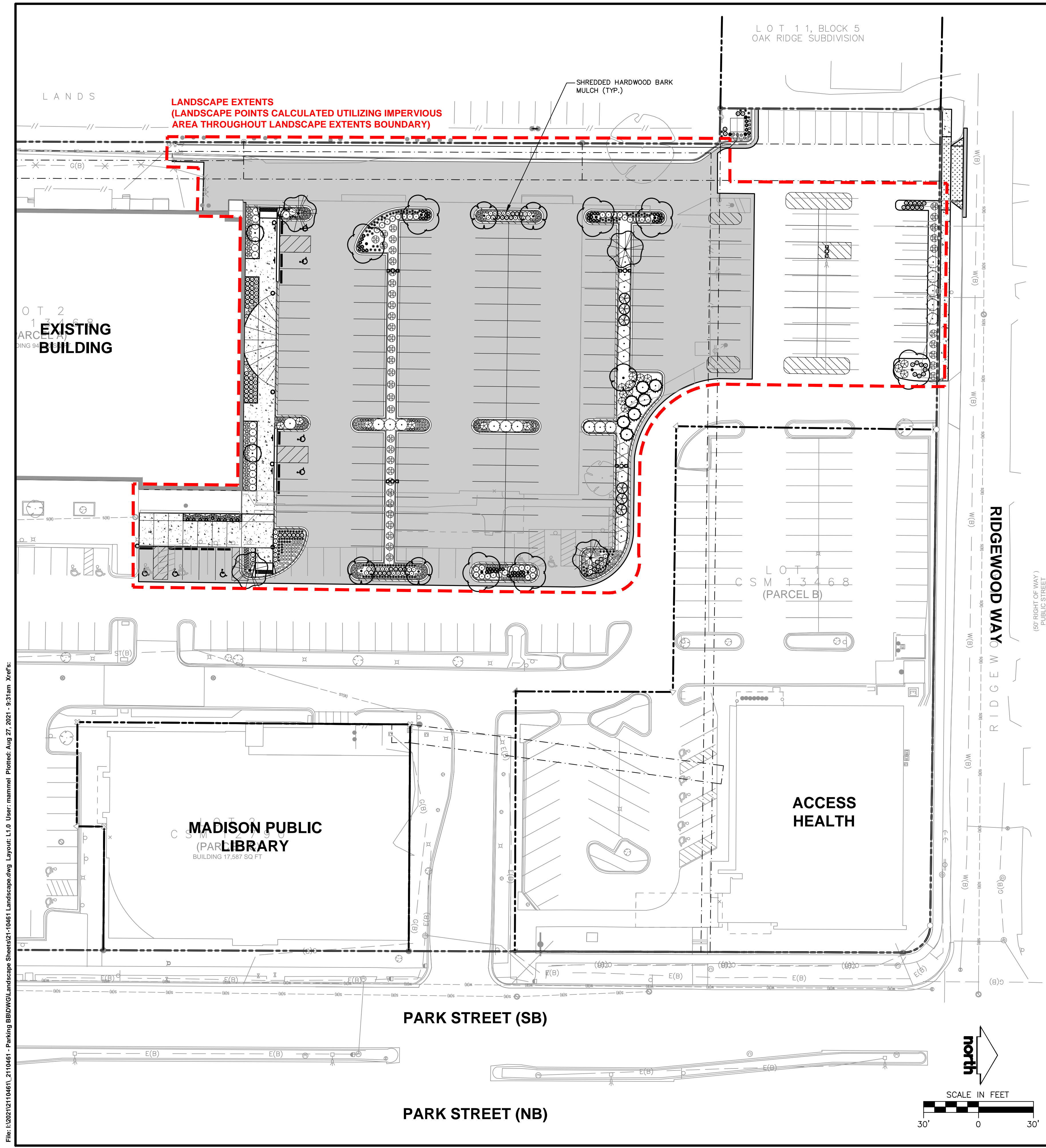
JSD PROJECT NO: 21-10461

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OVERHANG
	BUILDING SETBACK LINE
	PAVEMENT SETBACK LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	ADA PARKING SIGN
	PROPOSED STORM SEWER
	PROPOSED STORM UNDERDRAIN
	PROPOSED STORM INLET
	PROPOSED STORM MANHOLE
	PROPOSED WATER
	PROPOSED HYDRANT



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GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- 8" CONCRETE RIBBON CURB
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING STORM SEWER
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- POLYETHYLENE EDGING

PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	AO	Amenchier alnifolia 'Obelisk' TM / Standing Ovation Serviceberry	B & B	Min. 6" Ht.	15	6
	CJ	Carpinus caroliniana 'J.N. Upright' TM / Firespire American Hornbeam	B & B	1.5" Cal	15	2
	SI	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	1.5" Cal	15	5
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	AA	Acer rubrum 'Armstrong' / Armstrong Red Maple	B & B	2.5" Cal	35	4
	GB	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	B & B	2.5" Cal	35	7
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	JC	Juniperus chinensis 'Iowa' / Iowa Juniper	B & B	Min. 6" Ht.	18	7
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	CR	Clethra alnifolia 'Ruby Spice' / Ruby Spice Clethra	#3	Min. 18" Ht.	3	22
	CB	Cornus baileyi / Bailey's Red-twig Dogwood	#5	Min. 36" Ht.	3	11
	IR	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	#3	Min. 24" Ht.	3	28
	RG2	Rhus aromatica 'Gra-Low' / Gra-Low Fragrant Sumac	#3	Min. 12" Ht.	3	42
	RG	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	#3	Min. 18" Ht.	3	26
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	JS	Juniperus sabina 'Mini-Arcadia' / Mini Arcadia Juniper	#3	Min. 24" wide	4	18
	JS2	Juniperus x pfitzeriana 'Sea Green' / Sea Green Pfitzer Juniper	#5	Min. 24"-36"	4	15
	MD	Microbiota decussata / Siberian Carpet Cypress	#3	Min. 24" wide	4	18
	TG	Taxus x media 'Greenwave' / Greenwave Anglo-Japanese Yew	#3	Min. 24" wide	4	32
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	AR	Achillea millefolium 'Red Beauty' / Red Beauty Common Yarrow	#1	Min. 8"-18"	2	25
	AS	Allium x 'Summer Beauty' / Summer Beauty Allium	#1	Min. 8"-18"	2	67
	CN	Calamintha nepeta 'Monrose White' / Monrose White Catmint	#1	Min. 8"-18"	2	48
	EW	Echinacea purpurea 'PAS782917' TM / PawWow Wild Berry Coneflower	#1	Min. 8"-18"	2	36
	EP2	Echinacea purpurea 'PAS782918' TM / PawWow White Coneflower	#1	Min. 8"-18"	2	58
	EP	Echinacea x 'CBG Cone 2' TM / Pixie Meadowbrite Purple Coneflower	#1	Min. 8"-18"	2	68
	HA2	Heuchera villosa 'Autumn Bride' / Autumn Bride Hairy Alumroot	#1	Min. 8"-18"	2	12
	HG	Heuchera villosa 'Georgia Peach' / Georgia Peach Hairy Alumroot	#1	Min. 8"-18"	2	12
	LM	Lonicera sempervirens 'Major Wheeler' / Major Wheeler Trumpet Honeysuckle	#1	18" Min. Ht.	2	4
	NW	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	#1	Min. 8"-18"	2	67
	PV	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"	2	47
	PN	Panicum virgatum 'Northwind' / Northwind Switch Grass	#1	Min. 8"-18"	2	18
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	2	172



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VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
**811 E WASHINGTON AVE, SUITE 200
MADISON, WI 53703**

PROJECT:
**CDA-VILLAGE ON PARK
NORTH BUILDING
DEMOLITION & SURFACE
PARKING LOT BUILD
BACK**

PROJECT LOCATION:
**2300 SOUTH PARK STREET
MADISON, WI 53715
DANE COUNTY**

PLAN MODIFICATIONS:

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Designed By: MRA
Reviewed By: KJY
Approved By: KJY

SHEET TITLE:
**LANDSCAPE PLAN -
OVERALL**

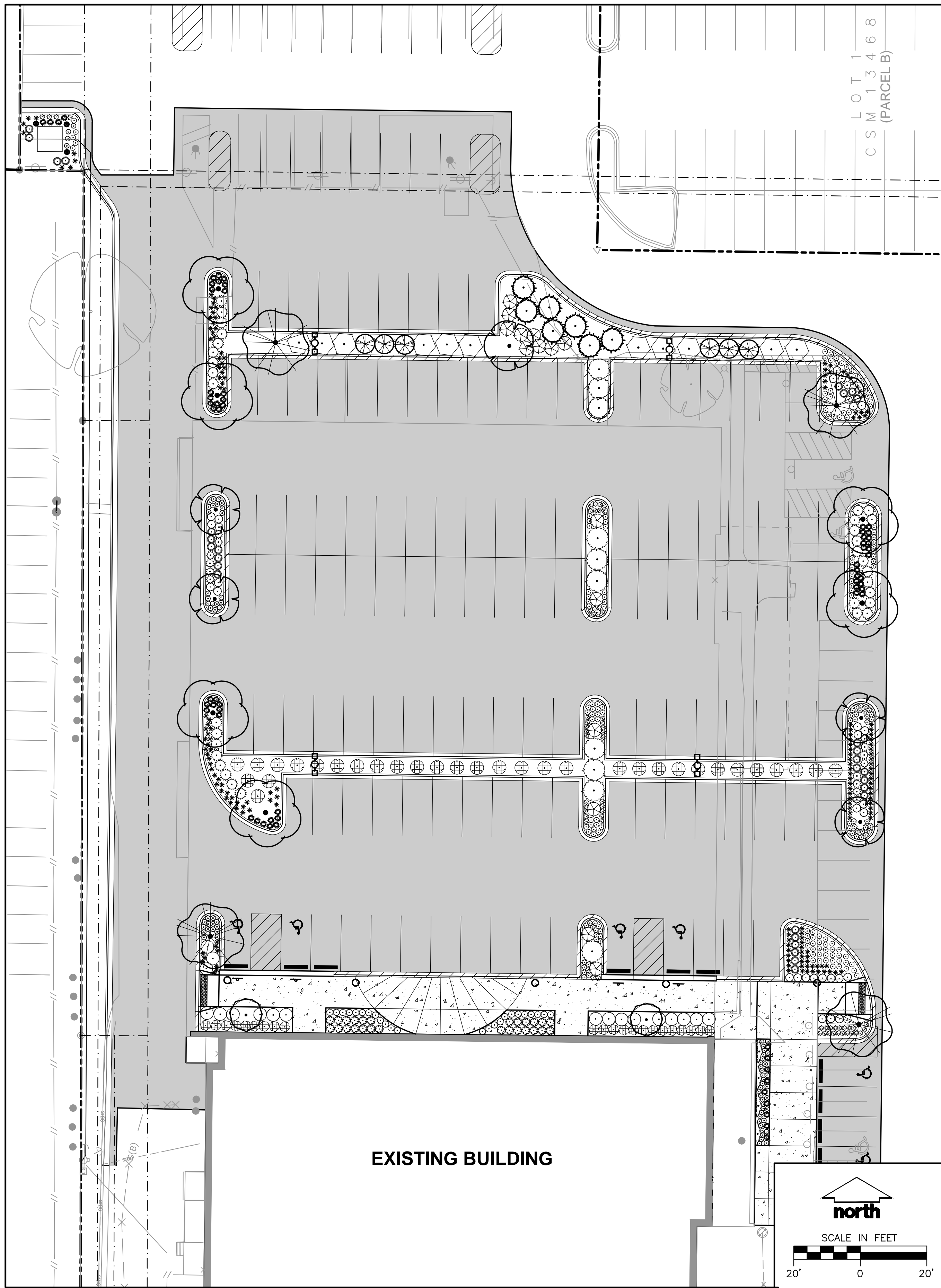
SHEET NUMBER:
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JSD PROJECT NO: 21-10461

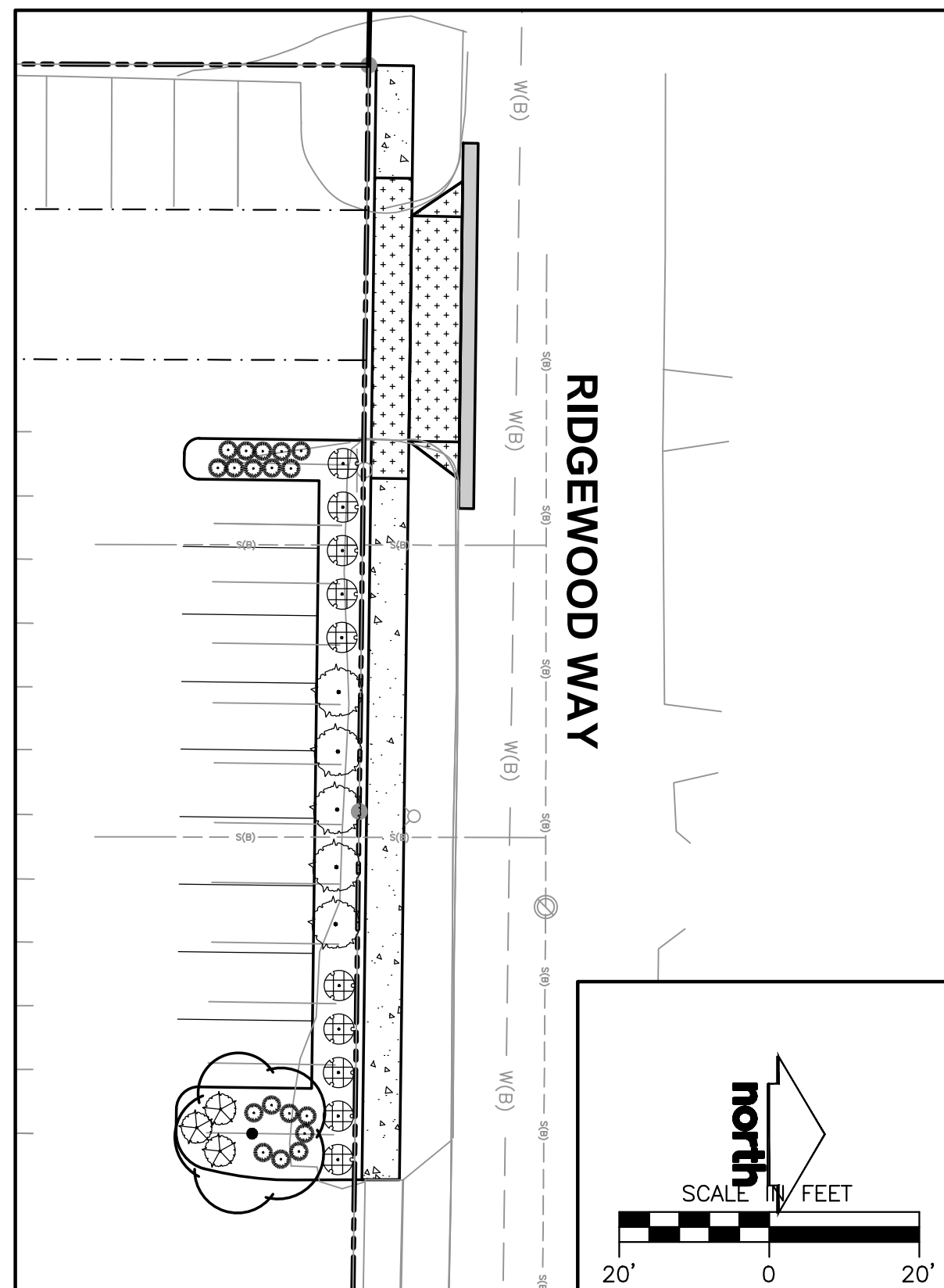
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1 LANDSCAPE PLAN - PARKING LOT
L1.1



2 LANDSCAPE PLAN - RIDGEWOOD
L1.1 BUFFER

PLANT SCHEDULE		
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AO	<i>Amelanchier alnifolia</i> 'Obelisk'™ / Standing Ovation Serviceberry
	CJ	<i>Cornus caroliniana</i> 'J.N. Upright'™ / Firespire American Hornbeam
	SI	<i>Syringa reticulata</i> 'Ivory Silk' / Ivory Silk Japanese Tree Lilac
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	AA	<i>Acer rubrum</i> 'Armstrong' / Armstrong Red Maple
	GB	<i>Ginkgo biloba</i> 'Autumn Gold'™ / Autumn Gold Maidenhair Tree
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME
	JC	<i>Juniperus chinensis</i> 'Iowa' / Iowa Juniper
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	CR	<i>Clethra alnifolia</i> 'Ruby Spice' / Ruby Spice Clethra
	CB	<i>Cornus baileyi</i> / Bailey's Red-twig Dogwood
	IR	<i>Ilex verticillata</i> 'Red Sprite' / Red Sprite Winterberry
	RG2	<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac
	RG	<i>Ribes alpinum</i> 'Green Mound' / Green Mound Alpine Currant
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	JS	<i>Juniperus sabiniana</i> 'Mini-Arcadia' / Mini Arcadia Juniper
	JS2	<i>Juniperus x pfitzeriana</i> 'Sea Green' / Sea Green Pfitzer Juniper
	MD	<i>Microbiota decussata</i> / Siberian Carpet Cypress
	TG	<i>Taxus x media</i> 'Greenwave' / Greenwave Anglo-Japanese Yew
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	AR	<i>Achillea millefolium</i> 'Red Beauty' / Red Beauty Common Yarrow
	AS	<i>Allium x 'Summer Beauty'</i> / Summer Beauty Allium
	CN	<i>Calamintha nepeta</i> 'Monrose White' / Monrose White Catmint
	EW	<i>Echinacea purpurea</i> 'PAS702917'™ / PowWow Wild Berry Coneflower
	EP2	<i>Echinacea purpurea</i> 'PAS702918'™ / PowWow White Coneflower
	EP	<i>Echinacea x 'CBG Cone 2'</i> ™ / Pixie Meadowbrite Purple Coneflower
	HA2	<i>Heuchera villosa</i> 'Autumn Bride' / Autumn Bride Hairy Alumroot
	HG	<i>Heuchera villosa</i> 'Georgia Peach' / Georgia Peach Hairy Alumroot
	LM	<i>Lonicera sempervirens</i> 'Major Wheeler' / Major Wheeler Trumpet Honeysuckle
	NW	<i>Nepeta x faassenii</i> 'Walkers Low' / Walkers Low Catmint
	PV	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass
	PN	<i>Panicum virgatum</i> 'Northwind' / Northwind Switch Grass
	SH	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed



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PRELIMINARY NOT FOR CONSTRUCTION

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CDA-VILLAGE ON PARK
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PARKING LOT BUILD
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DANE COUNTY

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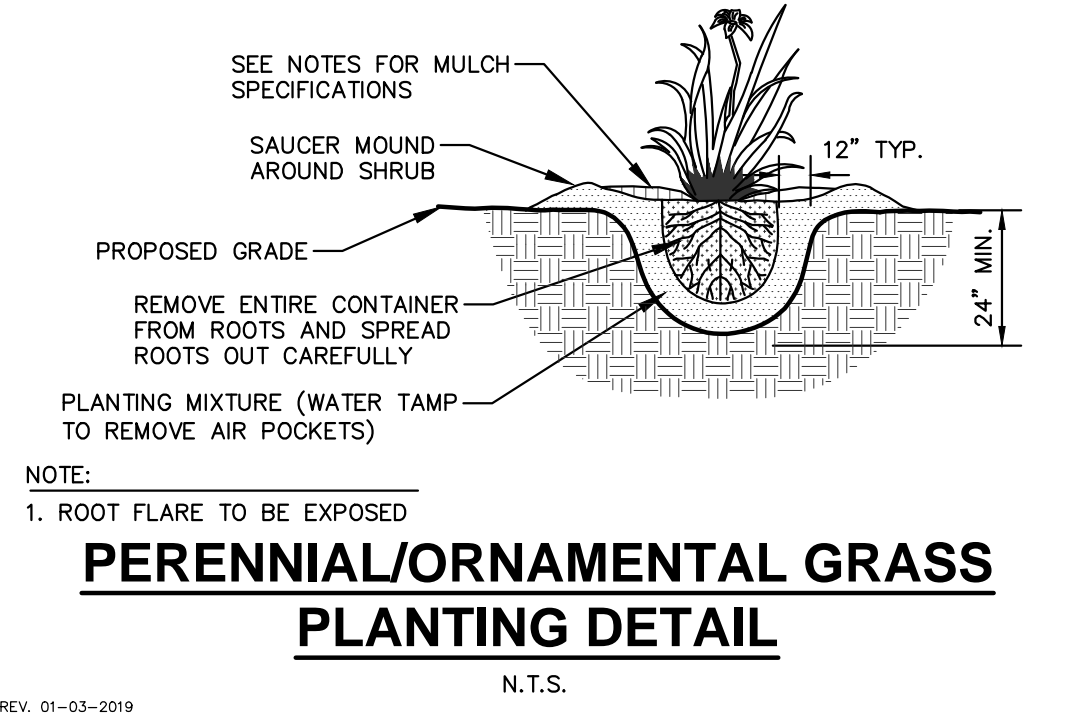
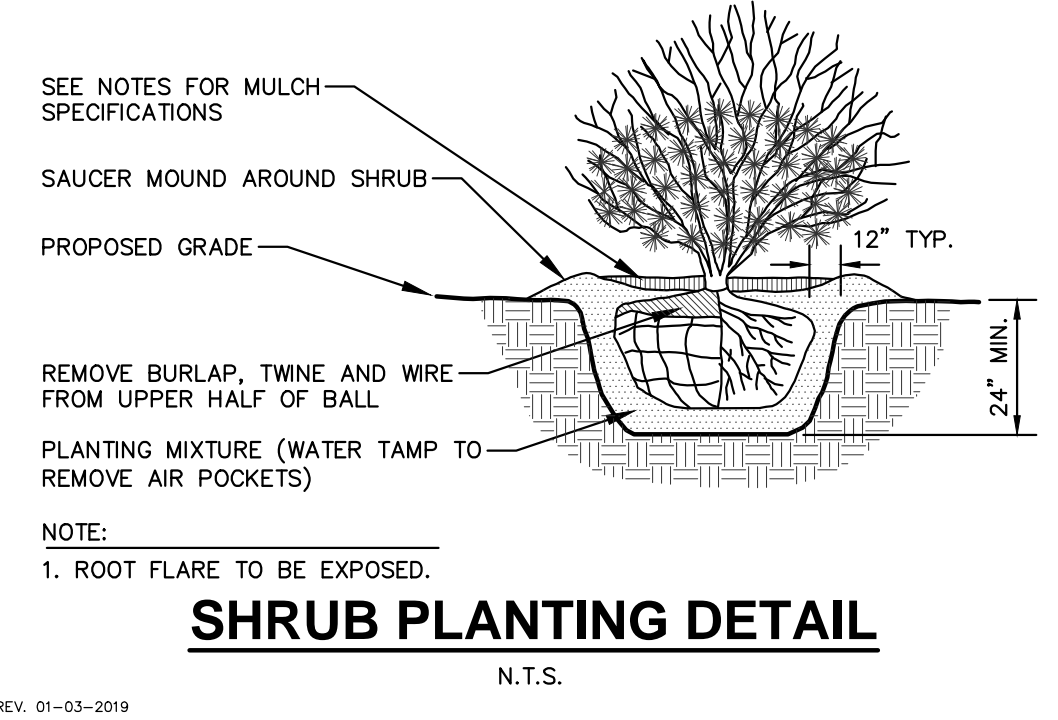
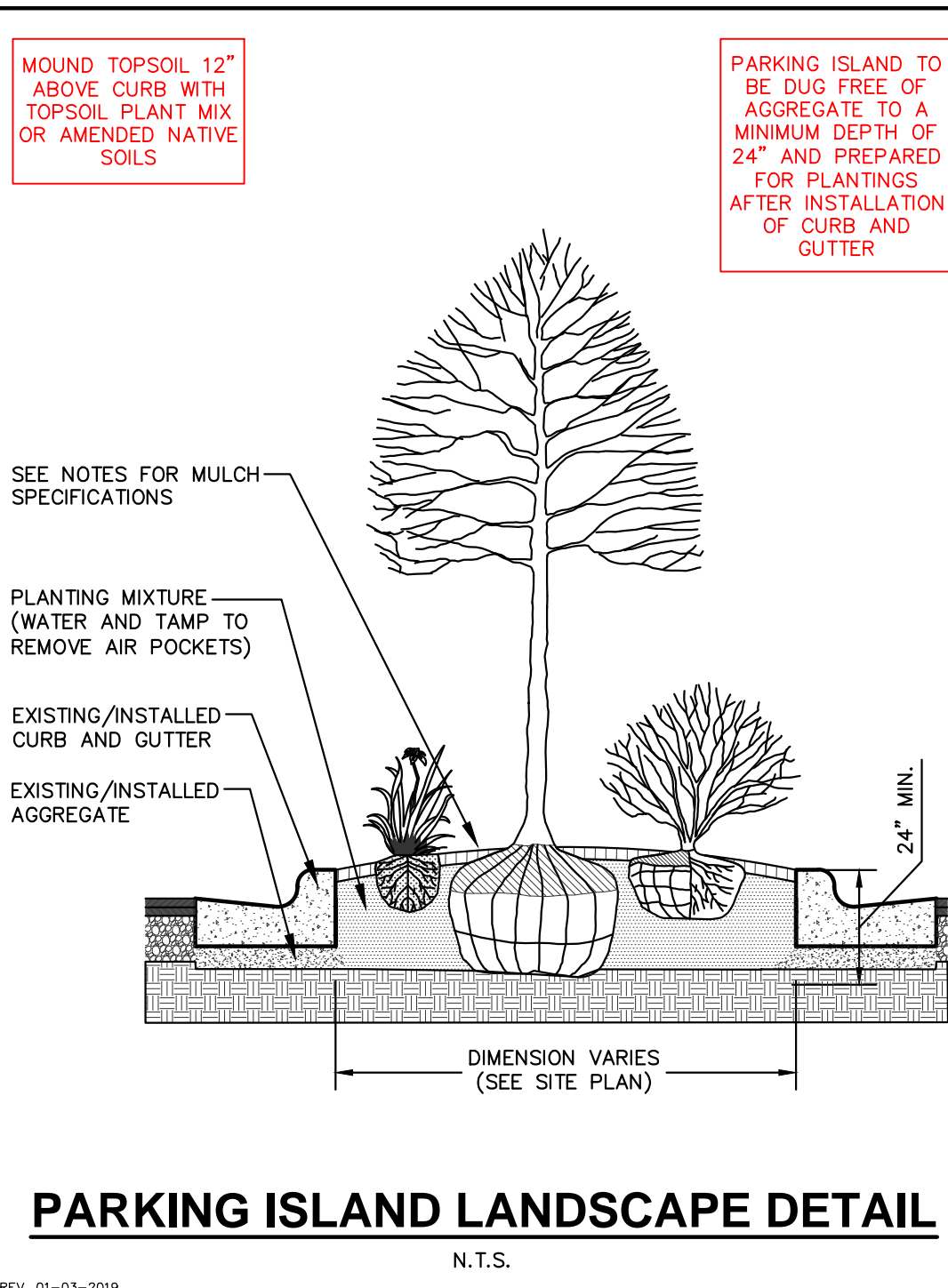
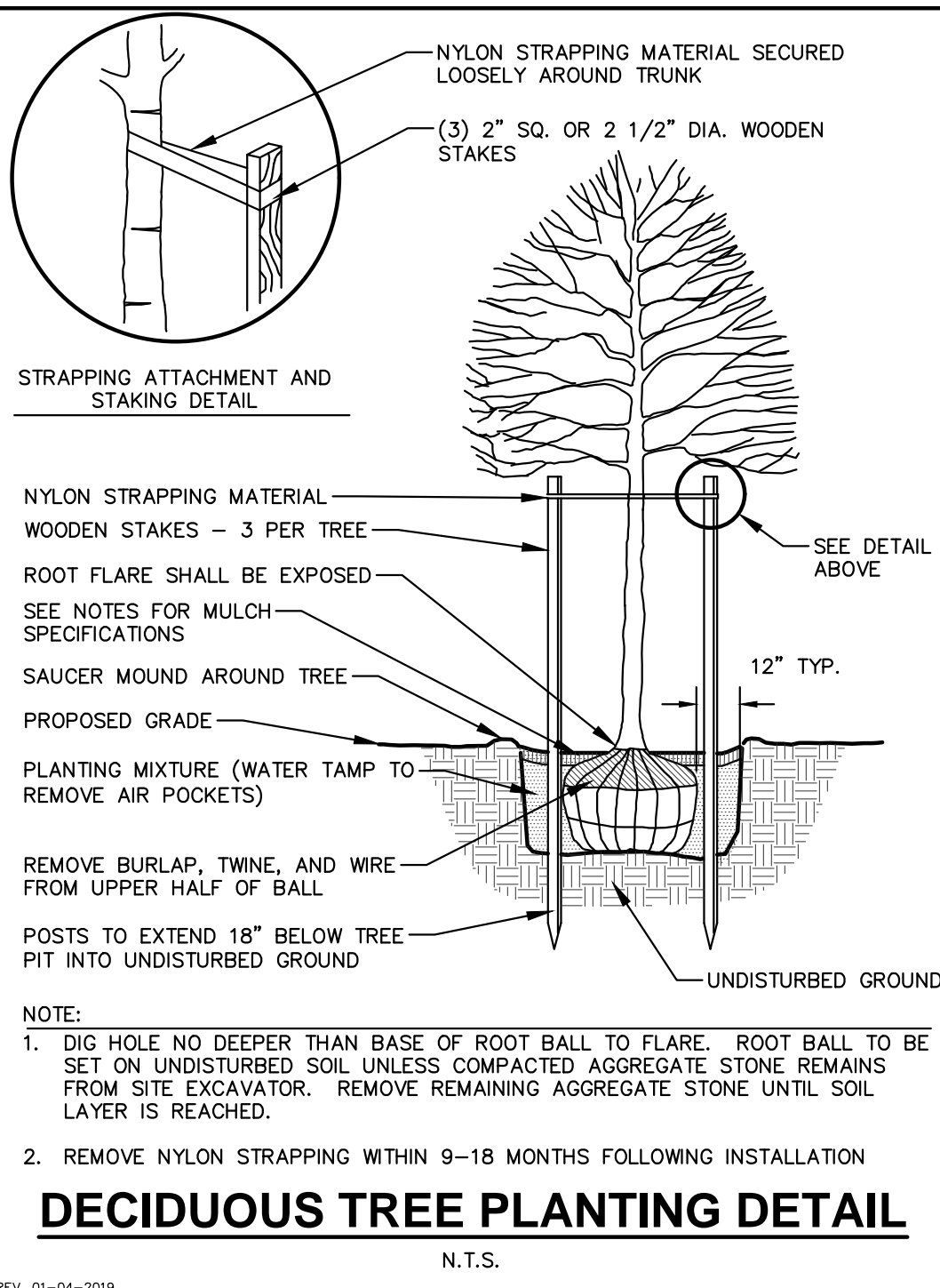
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Reviewed By: KJY
Approved By: KJY

SHEET TITLE:
**LANDSCAPE PLAN -
DETAILED**

SHEET NUMBER:
L1.1

JSD PROJECT NO: 21-10461

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CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.**
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.**

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area with a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.
- Total square footage of developed area: **69,301 SQUARE FEET**
- Total landscape points required: **1,115 POINTS**
- (B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.
- Total square footage of developed area: _____
- Five (5) acres = _____
- First five (5) developed acres = _____
- Remainder of developed area: _____
- Total landscape points required _____
- (C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
- Total square footage of developed area: _____
- Total landscape points required: _____

TABULATION OF LANDSCAPE CREDITS AND POINTS

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5' CAL MIN.	35	0	0	11	385
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	0	0
ORNAMENTAL TREE	1.5' CAL MIN.	15	0	0	13	195
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	7	70
SHRUB, DECIDUOUS	#3 CONT., MIN. 12" x 24"	3	0	0	129	387
SHRUB, EVERGREEN	#3 CONT., MIN. 12" x 24"	4	0	0	83	332
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8" - 18"	2	0	0	634	1268
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE	14 POINTS / CAL (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITH PUBLICLY ACCESSIBLE DEVELOPED AREA, CANNOT COMPRISE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL				0		2,637
TOTAL NUMBER OF POINTS PROVIDED				2,637		

GENERAL NOTES

- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER CONTRACTORS. CONTRACTOR IS RESPONSIBLE FOR STAKING PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL, PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP:** THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SEAL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.**
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.**

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE:** ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL:** TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - POLYETHYLENE EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - TREE PROTECTION:** ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
811 E WASHINGTON AVE, SUITE 200
MADISON, WI 53703

PROJECT:
CDA-VILLAGE ON PARK
NORTH BUILDING
DEMOLITION & SURFACE
PARKING LOT BUILD
BACK

PROJECT LOCATION:
2300 SOUTH PARK STREET
MADISON, WI 53715
DANE COUNTY

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.30.21	CD REVIEW SET
2	08.13.21	90% CD
3	08.27.21	PERMIT SET
4		
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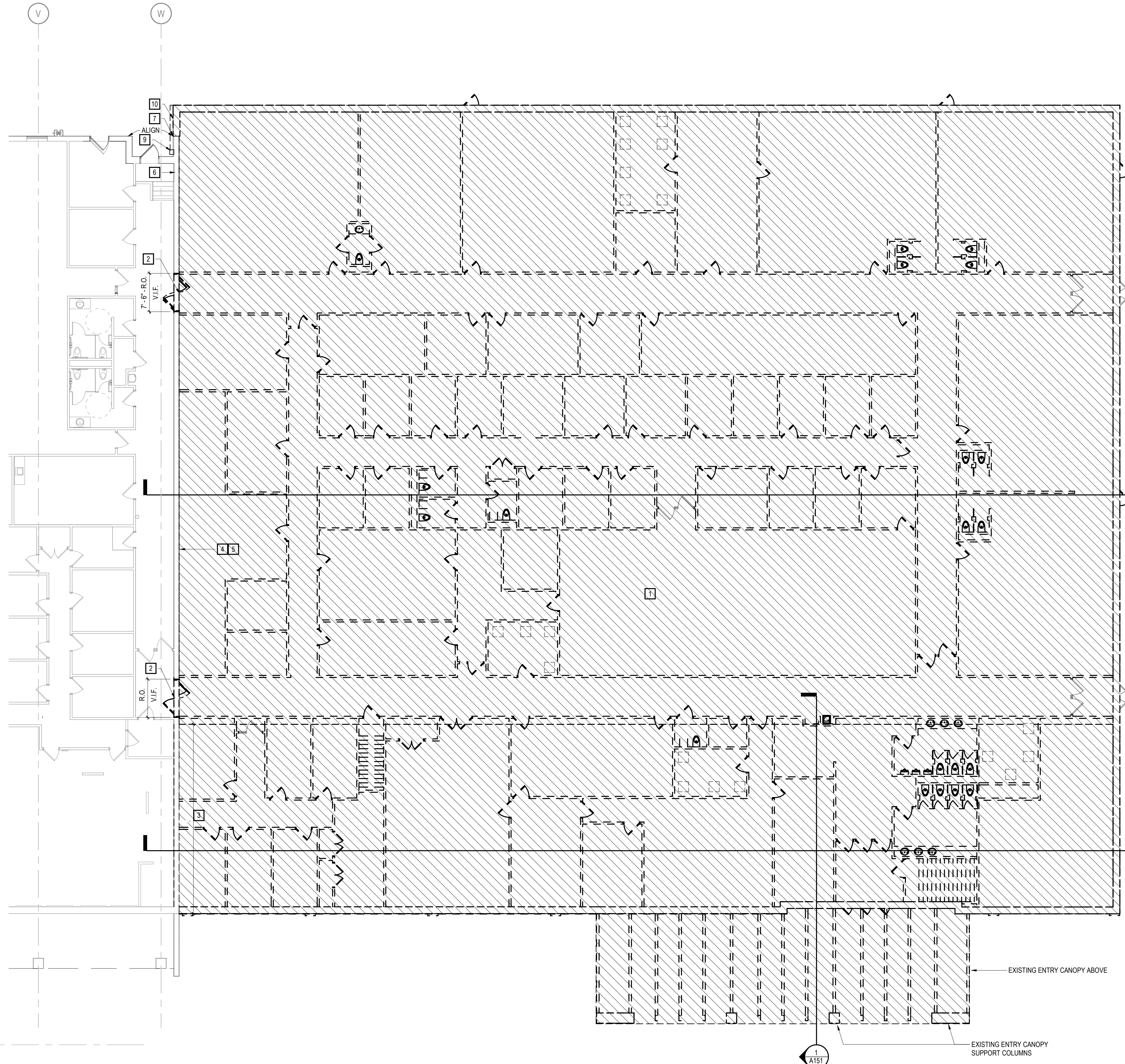
Designed By: MRA
Reviewed By: KJY
Approved By: KJY

SHEET TITLE:
**LANDSCAPE
DETAILS & NOTES**

SHEET NUMBER:

L2.0

JSD PROJECT NO: 21-10461



GENERAL DEMOLITION PLAN NOTES

- 1 MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING. COORDINATE DISRUPTIONS IN SERVICE WITH OWNER.
- 2 PROTECT IN PLACE DURING ENTIRE CONSTRUCTION PROCESS: ALL FLOORING, SURFACES AND ITEMS TO REMAIN.
- 3 COORDINATE THE AVAILABILITY OF AREAS REQUIRING DEMOLITION WITH OWNER. SEQUENCE WORK ACCORDINGLY AND COORDINATE W/ ALL TRADES.
- 4 AREA OF DEMOLITION IS SHOWN HATCHED. CONSTRUCTION AND EQUIPMENT TO BE REMOVED IS SHOWN WITH DASHED LINES.
- 5 PATCH, PREPARE, REPAIR AND / OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
- 6 VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- 7 DEMOLITION PLANS ARE NOT NECESSARILY INCLUSIVE OF ALL ITEMS NEEDING REMOVAL. COORDINATE WITH ALL OTHER DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
- 8 COORDINATE DEMOLITION DIMENSIONS ON THIS PLAN WITH OTHER DRAWINGS AND EXISTING CONDITIONS.
- 9 REFER TO HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DEMOLITION AND MODIFICATIONS REQUIRED FOR HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS.
- 10 UNLESS OTHERWISE NOTED, EXISTING EXITS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES DURING CONSTRUCTION.
- 11 PROVIDE PLASTIC SHEETING CONSTRUCTION BARRIER TO ISOLATE PROJECT FROM ADJACENT EXISTING AREAS OF THE BUILDING.
- 12 CONTRACTOR SHALL CONFIRM AND COORDINATE ALL OWNER DEMOLITION WORK PRIOR TO THE START OF CONSTRUCTION.

SPECIFIC DEMOLITION PLAN NOTES

- 1 IN HATCHED AREA, REMOVE ALL ELEMENTS INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, BUILDING STRUCTURE, FLOOR SLABS, WALLS, CEILINGS AND MEP EQUIPMENT. COORDINATE WITH MEP DRAWINGS AS REQUIRED. PREPARE AREA FOR GRADE INFILL - SEE CIVIL DRAWINGS.
- 2 REMOVE DOOR, FRAME & ASSOCIATED HARDWARE. REVISE EXISTING ROUGH OPENING WIDTH AND HEIGHT TO NEW DOOR FRAME ROUGH OPENING.
- 3 SAWCUT CONCRETE SLAB WHERE IT NOTCHES INTO FOUNDATION WALL. COORDINATE WITH STRUCTURAL.
- 4 EXISTING WALL TO REMAIN. REMOVE ANY ATTACHED BASE, ELECTRICAL WIRING, OR WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- 5 SEE STRUCTURAL DRAWINGS FOR TEMPORARY SHORING OR BRACING FOR EXISTING WALL TO REMAIN.
- 6 REMOVE PORTION OF EXISTING WALL CONSTRUCTION AS REQUIRED FOR REPAIR OF WATER DAMAGED WALL.
- 7 SAWCUT EXISTING WALL.
- 8 IN HATCHED AREA, REMOVE ALL ELEMENTS INCLUDING, BUT NOT LIMITED TO, BUILDING STRUCTURE, WALLS, CEILINGS AND MEP EQUIPMENT. COORDINATE WITH MEP DRAWINGS AS REQUIRED. STRIP FOOTINGS OF BASEMENT WALLS MAY REMAIN. BASEMENT SLAB-ON-GRADE MAY REMAIN AT CONTRACTOR'S OPTION. BUT THE SLAB MUST BE FRACTURED SUCH THAT THERE IS AT LEAST ONE FRACTURE LINE THROUGH EACH 3'-0"X3'-0" SECTION AND FRACTURES MUST BE IN NATURE OF 1/8" MINIMUM WIDTH SO THAT SLAB DRAINS. PREPARE AREA FOR GRADE INFILL - SEE CIVIL DRAWINGS.
- 9 REMOVE LOWER GUTTER/DOWNSPOUT. SALVAGE FOR RELOCATION.
- 10 REMOVE LIGHT. SALVAGE FOR RELOCATION. SEE ELECTRICAL DWGS.

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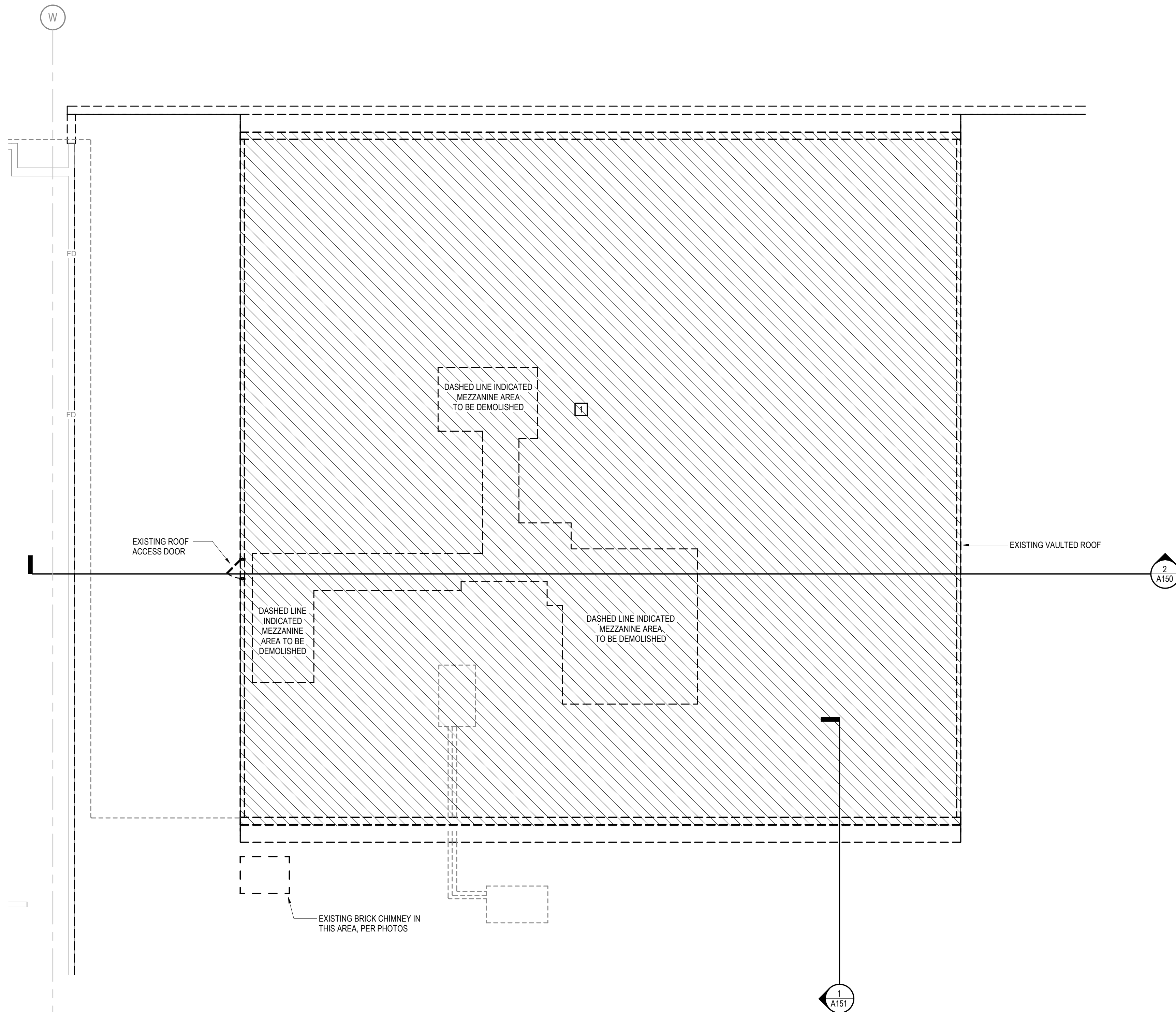
REVISIONS	NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

CDA-VILLAGE ON PARK NORTH BUILDING DEMOLITION & SURFACE PARKING LOT BUILD BACK
200 S. WILSON STREET
MADISON, WI 53715

DATE: 06/27/2021
DRAWING SET: PERMIT SET
PROJECT NO.: 2021/072

FIRST FLOOR DEMOLITION PLAN



GENERAL DEMOLITION PLAN NOTES

- 1 MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING. COORDINATE DISRUPTIONS IN SERVICE WITH OWNER.
- 2 PROTECT IN PLACE DURING ENTIRE CONSTRUCTION PROCESS: ALL FLOORING, SURFACES AND ITEMS TO REMAIN.
- 3 COORDINATE THE AVAILABILITY OF AREAS REQUIRING DEMOLITION WITH OWNER. SEQUENCE WORK ACCORDINGLY AND COORDINATE W/ ALL TRADES.
- 4 AREA OF DEMOLITION IS SHOWN HATCHED. CONSTRUCTION AND EQUIPMENT TO BE REMOVED IS SHOWN WITH DASHED LINES.
- 5 PATCH, PREPARE, REPAIR AND / OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
- 6 VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- 7 DEMOLITION PLANS ARE NOT NECESSARILY INCLUSIVE OF ALL ITEMS NEEDING REMOVAL. COORDINATE WITH ALL OTHER DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
- 8 COORDINATE DEMOLITION DIMENSIONS ON THIS PLAN WITH OTHER DRAWINGS AND EXISTING CONDITIONS.
- 9 REFER TO HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DEMOLITION AND MODIFICATIONS REQUIRED FOR HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS.
- 10 UNLESS OTHERWISE NOTED, EXISTING EXITS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES DURING CONSTRUCTION.
- 11 PROVIDE PLASTIC SHEETING CONSTRUCTION BARRIER TO ISOLATE PROJECT FROM ADJACENT EXISTING AREAS OF THE BUILDING.
- 12 CONTRACTOR SHALL CONFIRM AND COORDINATE ALL OWNER DEMOLITION WORK PRIOR TO THE START OF CONSTRUCTION.

SPECIFIC DEMOLITION PLAN NOTES

- 1 IN HATCHED AREA, REMOVE ALL ELEMENTS INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, BUILDING STRUCTURE, FLOOR SLABS, WALLS, CEILINGS AND MEP EQUIPMENT. COORDINATE WITH MEP DRAWINGS AS REQUIRED. PREPARE AREA FOR GRADE INFILL - SEE CIVIL DRAWINGS.
- 2 REMOVE DOOR, FRAME & ASSOCIATED HARDWARE. REVISE EXISTING ROUGH OPENING WIDTH AND HEIGHT TO NEW DOOR FRAME ROUGH OPENING.
- 3 SAWCUT CONCRETE SLAB WHERE IT NOTCHES INTO FOUNDATION WALL. COORDINATE WITH STRUCTURAL.
- 4 EXISTING WALL TO REMAIN. REMOVE ANY ATTACHED BASE, ELECTRICAL WIRING, OR WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- 5 SEE STRUCTURAL DRAWINGS FOR TEMPORARY SHORING OR BRACING FOR EXISTING WALL TO REMAIN.
- 6 REMOVE PORTION OF EXISTING WALL CONSTRUCTION AS REQUIRED FOR REPAIR OF WATER DAMAGED WALL.
- 7 SAWCUT EXISTING WALL.
- 8 IN HATCHED AREA, REMOVE ALL ELEMENTS INCLUDING, BUT NOT LIMITED TO, BUILDING STRUCTURE, WALLS, CEILINGS AND MEP EQUIPMENT. COORDINATE WITH MEP DRAWINGS AS REQUIRED. STRIP FOOTINGS OF BASEMENT WALLS MAY REMAIN. BASEMENT SLAB-ON-GRADE MAY REMAIN AT CONTRACTOR'S OPTION. BUT THE SLAB MUST BE FRACTURED SUCH THAT THERE IS AT LEAST ONE FRACTURE LINE THROUGH EACH 3'-0"X3'-0" SECTION AND FRACTURES MUST BE IN NATURE OF 1/8" MINIMUM WIDTH SO THAT SLAB DRAINS. PREPARE AREA FOR GRADE INFILL - SEE CIVIL DRAWINGS.
- 9 REMOVE LOWER GUTTER/DOWNSPOUT. SALVAGE FOR RELOCATION.
- 10 REMOVE LIGHT. SALVAGE FOR RELOCATION. SEE ELECTRICAL DWGS.



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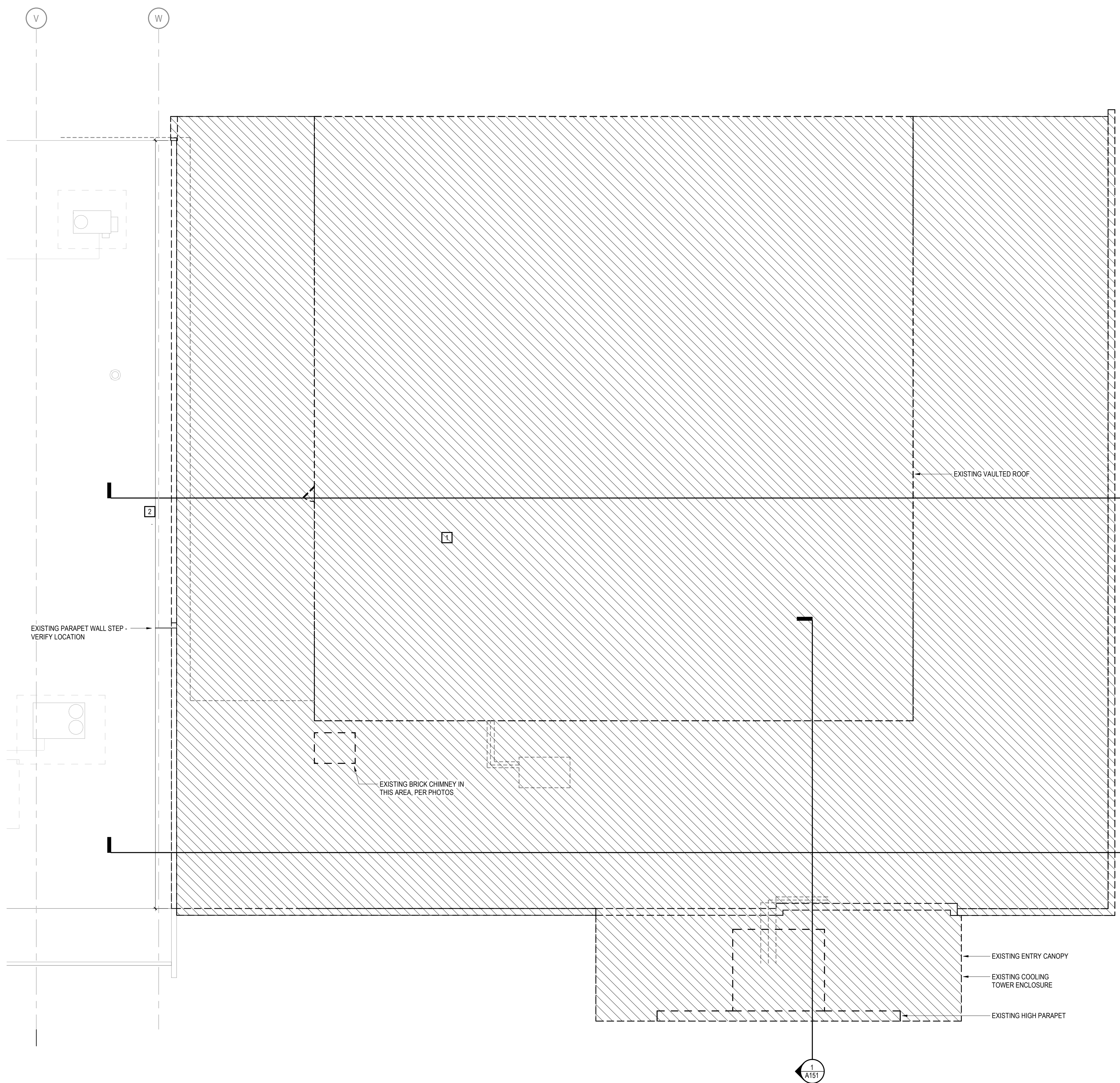
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NOT FOR CONSTRUCTION

CDA-VILLAGE ON PARK NORTH BUILDING DEMOLITION & SURFACE PARKING LOT BUILD BACK
 200 S. PARKWAY STREET
 MADISON, WI 53715

DATE: 06/27/2021
 DRAWING SET: PERMIT SET
 PROJECT NO.: 2021/072

SECOND FLOOR DEMOLITION PLAN



GENERAL DEMOLITION PLAN NOTES

- 1 MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING. COORDINATE DISRUPTIONS IN SERVICE WITH OWNER.
- 2 PROTECT IN PLACE DURING ENTIRE CONSTRUCTION PROCESS: ALL FLOORING, SURFACES AND ITEMS TO REMAIN.
- 3 COORDINATE THE AVAILABILITY OF AREAS REQUIRING DEMOLITION WITH OWNER. SEQUENCE WORK ACCORDINGLY AND COORDINATE W/ ALL TRADES.
- 4 AREA OF DEMOLITION IS SHOWN HATCHED. CONSTRUCTION AND EQUIPMENT TO BE REMOVED IS SHOWN WITH DASHED LINES.
- 5 PATCH, PREPARE, REPAIR AND / OR RESTORE SURFACES SCHEDULED TO REMAIN INTACT THAT ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
- 6 VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS.
- 7 DEMOLITION PLANS ARE NOT NECESSARILY INCLUSIVE OF ALL ITEMS NEEDING REMOVAL. COORDINATE WITH ALL OTHER DRAWINGS AND FIELD VERIFY EXISTING CONDITIONS.
- 8 COORDINATE DEMOLITION DIMENSIONS ON THIS PLAN WITH OTHER DRAWINGS AND EXISTING CONDITIONS.
- 9 REFER TO HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL DEMOLITION AND MODIFICATIONS REQUIRED FOR HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS.
- 10 UNLESS OTHERWISE NOTED, EXISTING EXITS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES DURING CONSTRUCTION.
- 11 PROVIDE PLASTIC SHEETING CONSTRUCTION BARRIER TO ISOLATE PROJECT FROM ADJACENT EXISTING AREAS OF THE BUILDING.
- 12 CONTRACTOR SHALL CONFIRM AND COORDINATE ALL OWNER DEMOLITION WORK PRIOR TO THE START OF CONSTRUCTION.

SPECIFIC DEMOLITION ROOF PLAN NOTES

- 1 IN HATCHED AREA, REMOVE ALL ELEMENTS INCLUDING, BUT NOT LIMITED TO, BUILDING ROOF STRUCTURE, WALLS, AND MEP EQUIPMENT. COORDINATE WITH MEP DRAWINGS AS REQUIRED.
- 2 REMOVE COPING COMPLETELY ENTIRE LENGTH OF PARAPET. REMOVE ROOF MEMBRANE AND ROOF INSULATION AS REQUIRED FOR INSTALLATION OF NEW PARAPET COPING.



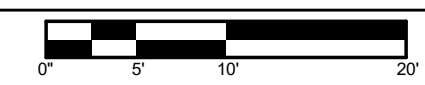
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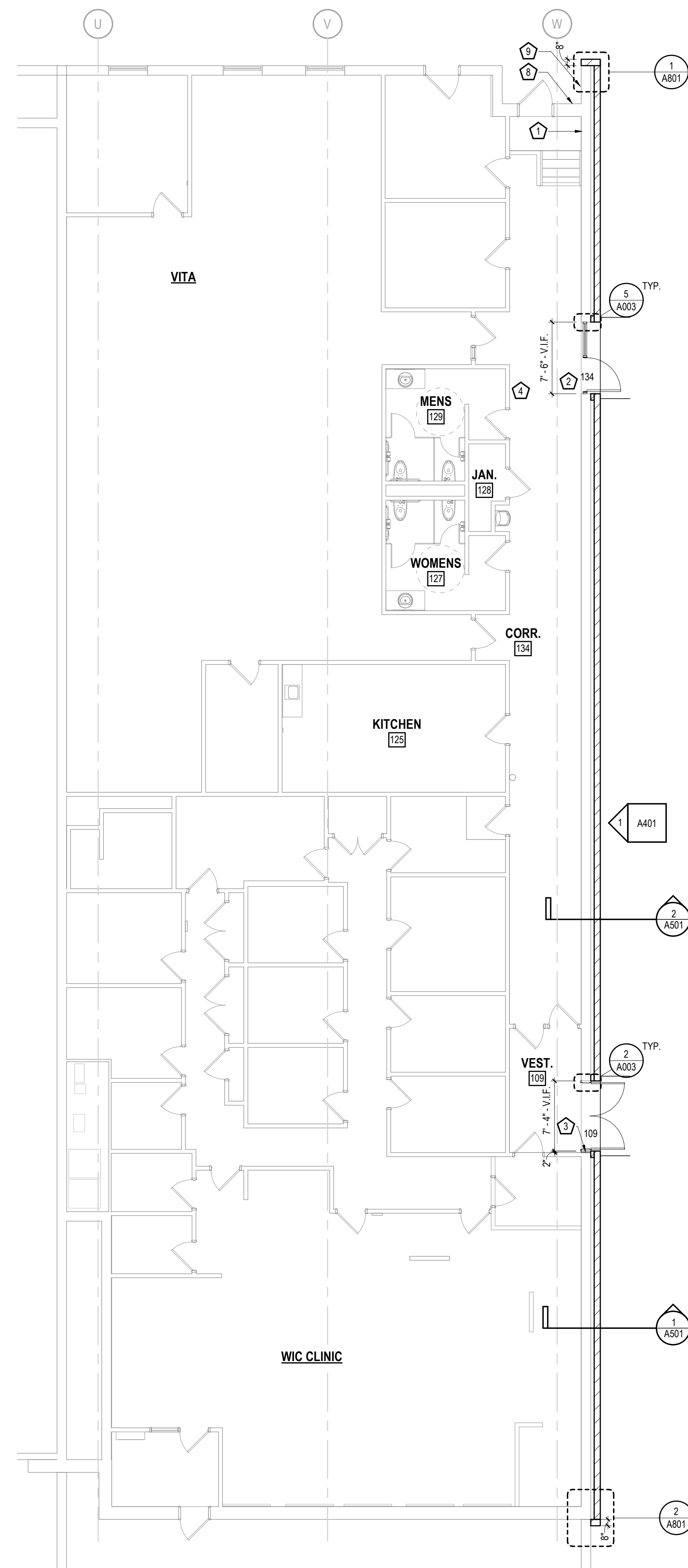
REVISIONS	NO.	DESCRIPTION	DATE

CDA-VILLAGE ON PARK NORTH BUILDING DEMOLITION & SURFACE PARKING LOT BUILD BACK
 200 S. WISCONSIN STREET
 MADISON, WI 53715

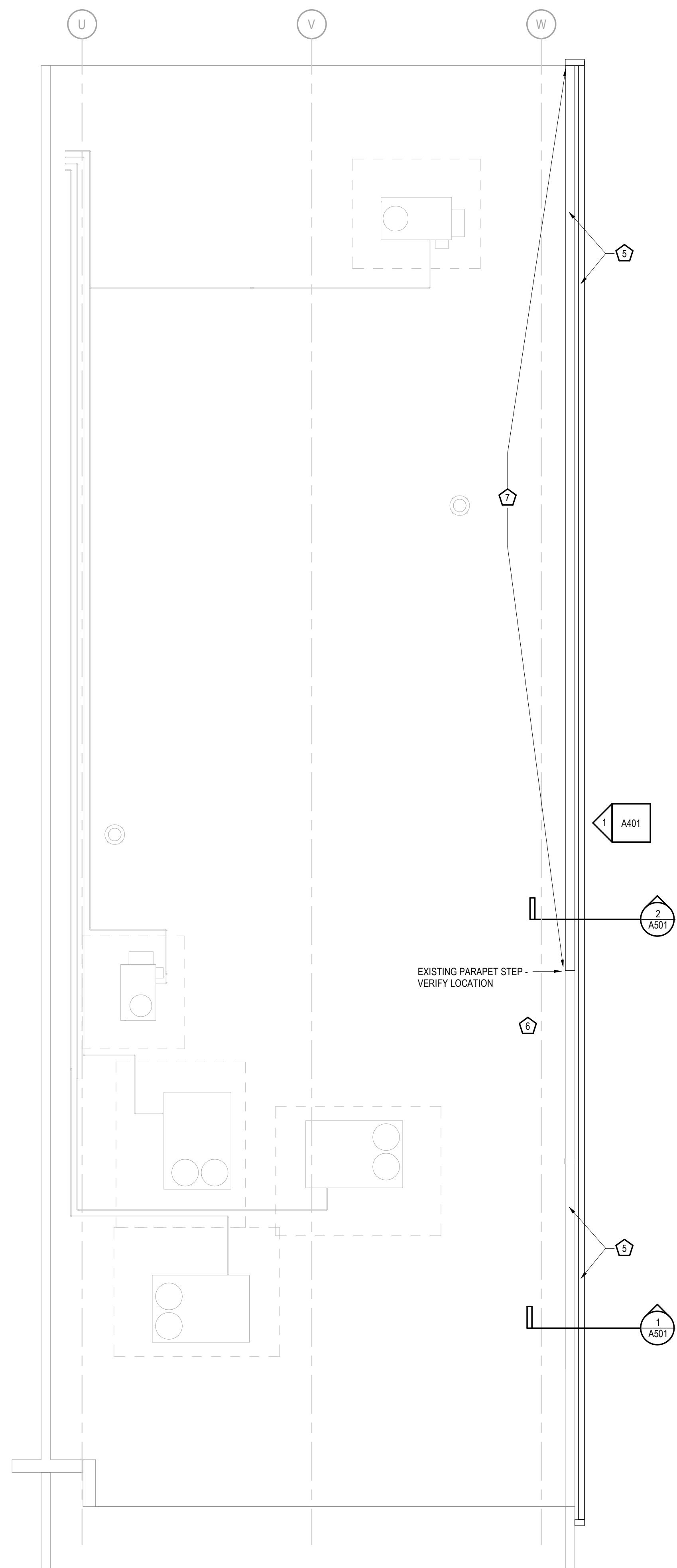
DATE: 06/27/2021
 DRAWING SET: PERMIT SET
 PROJECT NO.: 2021072

NOT FOR CONSTRUCTION
 ROOF DEMOLITION PLAN





FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

- ALL DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING THE WORK OF THE CONTRACT DOCUMENTS. CAREFULLY STUDY AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF WORK. PROMPTLY REPORT INCONSISTENCIES IN THE DRAWINGS TO THE ARCHITECT FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. VERIFY ALL CONDITIONS AND DIMENSIONS AT THE PROJECT SITE PRIOR TO THE START OF CONSTRUCTION. ANY INCONSISTENCIES DISCOVERED BY THE CONTRACTOR SHALL BE REPORTED PROMPTLY TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING THE WORK. DIMENSIONS ARE GIVEN FROM FACE TO FACE OF WALLS. SEE WALL SECTIONS AND PARTITION TYPES FOR EXACT CONSTRUCTION DETAILS.
- WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED FROM DOCUMENTS CONSULT THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- PATCH, PREPARE AND / OR RESTORE WORK SCHEDULED TO REMAIN THAT IS DAMAGED AS A RESULT OF DEMOLITION WORK. RESTORATION AND PATCHING WORK SHALL BE DONE IN A MANNER THAT MAINTAINS FIRE RATING OF RATED BUILDING COMPONENTS.
- PROTECT WORK IN PLACE DURING CONSTRUCTION
- COORDINATE THE AVAILABILITY OF AREAS REQUIRING WORK WITH THE OWNER.
- REFER TO HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL WORK AND MODIFICATIONS REQUIRED FOR HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS.

SPECIFIC FLOOR PLAN NOTES

- NEW WALL CONSTRUCTION AS REQUIRED TO REPAIR EXISTING WATER DAMAGED WALL. PATCH AND FINISH TO MATCH EXISTING.
- NEW ILLUMINATED EXIT SIGN. REFER TO ELECTRICAL DRAWINGS FOR MORE INFO.
- NEW WALL CONSTRUCTION TO MATCH EXISTING.
- NEW TENANT SIGNAGE TO MATCH EXISTING SIGNAGE IN VESTIBULE 109.
- NEW PREFINISHED SHEET METAL COPING. FINISHED TO MATCH EXISTING, TYP.
- PROVIDE NEW ROOF MEMBRANE AND INSULATION AS REQUIRED TO EXTEND ROOF MEMBRANE OVER NEW WALL AND UNDER NEW ROOF COPING, TYP.
- PROVIDE NEW WOOD BLOCKING TO MATCH HEIGHT OF EXISTING ADJACENT HIGHER PARAPET. FIELD VERIFY HEIGHT REQUIRED.
- REINSTALL SALVAGED LIGHT. SEE ELECTRICAL DWGS.
- REINSTALL SALVAGED GUTTER/DOWNSPOUT.



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REVISIONS	NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

FIRST FLOOR & ROOF PLAN

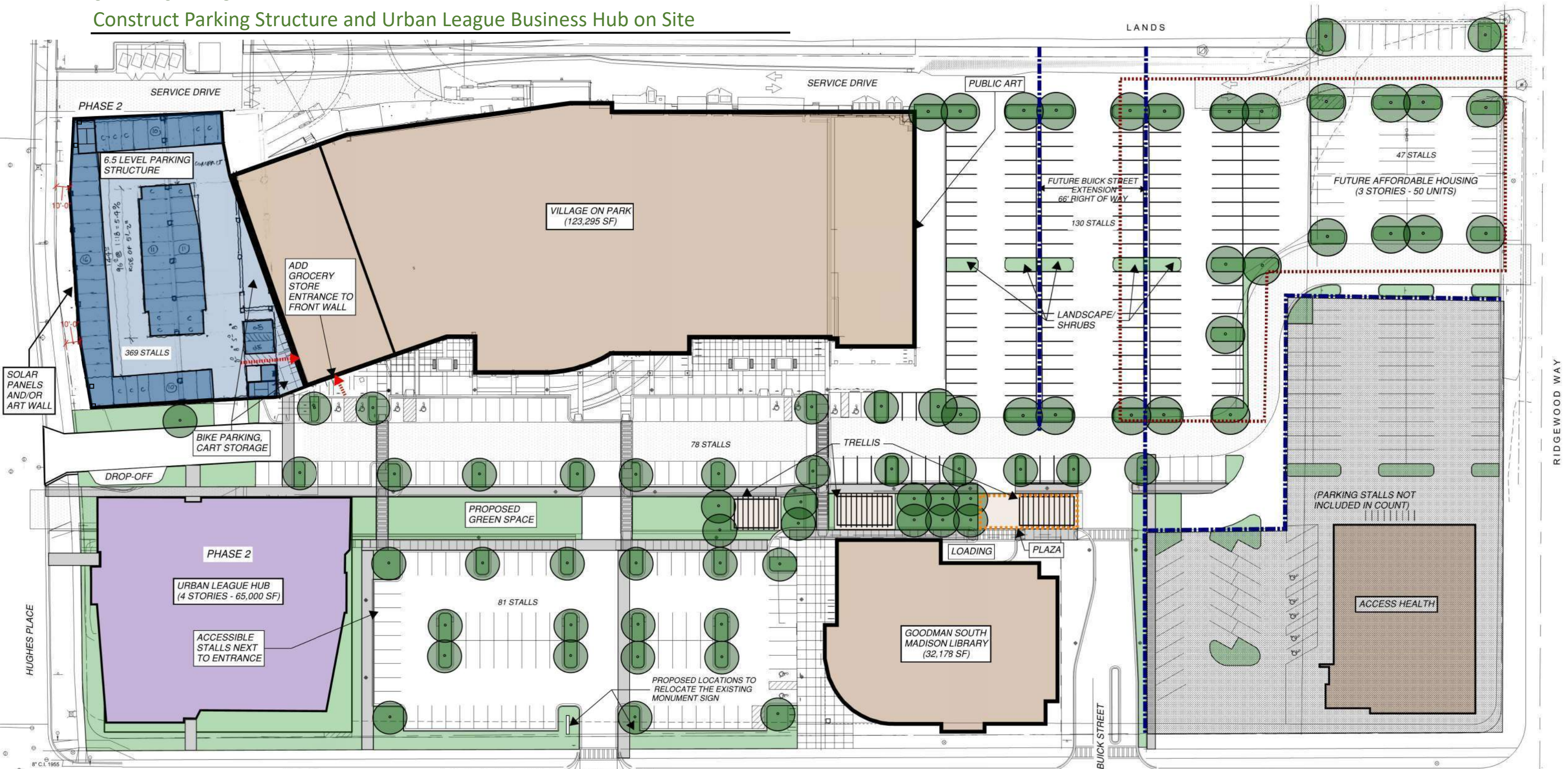
DATE: 06/27/2021
DRAWING SET: PERMIT SET
PROJECT NO.: 2021072

CDA-VILLAGE ON PARK NORTH BUILDING DEMOLITION & SURFACE PARKING LOT BUILD BACK
1700 S. WISCONSIN STREET
MADISON, WI 53715

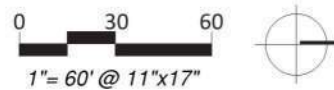
PROPOSED PHASE TWO MASTER SITE PLAN FOR REFERENCE

3.2 PHASE TWO

Construct Parking Structure and Urban League Business Hub on Site



VILLAGE ON PARK
PROPOSED SITE PLAN - PHASE 2
 07/13/2021



Project Phases	
Phase 1:	-Demolish North Side of Village on Park -Construct North Parking Lot
Phase 2:	-Construct Urban League Hub -Construct Parking Structure
Phase 3:	-Construct Housing along Ridgewood Way
Phase 4:	-Construct Buick Street Extension

Parking #	Surface	Structure** (6.5 Level)	Total	Stalls/K
Existing:	357	0	357	1.9
Phase 1:	457	0	457	2.9
Phase 2:	336	369	705	3.2
Phase 3:	278	369	647	2.4
Phase 4:	258	369	627	2.3

EXISTING				
Parking Req.	SF	Min.*	Max.*	
Office	153,312	383	613	
Retail	17,422	44	87	
Medical	8,134	27	40	
Library	12,000	0	30	
Total	190,868	454	770	

PARK STREET

PHASE 1: North Pkg Lot				
Parking Req.	SF	Min.*	Max.*	
Office	117,917	294	471	
Retail	17,422	44	87	
Medical	8,134	27	40	
Library	12,000	0	30	
Total	155,473	365	628	

PHASE 2: Urban Lge/Pkg Structure				
Parking Req.	SF	Min.*	Max.*	
Office	172,677	431	690	
Retail	27,662	44	87	
Medical	8,134	28	42	
Library	12,000	0	30	
Total	220,473	502	847	

PHASE 3: Affordable Housing				
Parking Req.	SF	Min.*	Max.*	
Office	172,677	431	690	
Retail	27,662	44	87	
Medical	8,134	28	42	
Library	12,000	0	30	
Res. 50 Units	52,000	50	50	
Total	272,473	552	897	

*Note: Minimums and maximums per Madison Zoning Code
 **Note: A 4 story Urban League Hub building is 56' high, which is equivalent to:
 1) A 6.5 level structure without a green roof (Only the Stair & Elevator towers are an additional 10')
 2) A 5.5 level structure with a green roof



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