

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by 7/14/21  
11:45 a.m. **RECEIVED**  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Urban Design District \_\_\_\_\_  
Submittal reviewed by \_\_\_\_\_  
Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: 341 State Street (See Attached)

Title: Core Spaces: Oliv Madison

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested: September 1, 2021

- ☒ New development      ☐ Alteration to an existing or previously-approved development  
☒ Informational      ☐ Initial approval      ☒ Final approval

## 3. Project Type

- ☐ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☒ Planned Development (PD)  
    ☒ General Development Plan (GDP)  
    ☒ Specific Implementation Plan (SIP)  
☐ Planned Multi-Use Site or Residential Building Complex

### Signage

- ☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)  
☐ Signage Exception

### Other

- ☐ Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Mark Goehausen  
**Street address** 1643 N. Milwaukee Street  
**Telephone** 913-961-4401

**Company** Core Campus Manager, LLC.  
**City/State/Zip** Chicago, IL 60647  
**Email** markg@corespaces.com

**Project contact person** Brian Munson  
**Street address** 120 East Lakeside Street  
**Telephone** 608-255-3988

**Company** Vandewalle & Associates  
**City/State/Zip** Madison, WI 53715  
**Email** bmunson@vandewalle.com

**Property owner (if not applicant)** See Attached

**Street address** \_\_\_\_\_  
**Telephone** \_\_\_\_\_

**City/State/Zip** \_\_\_\_\_  
**Email** \_\_\_\_\_

**5. Required Submittal Materials**

- ☒ **Application Form**
- ☒ **Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development Plans** (Refer to checklist on Page 4 for plan details)
- ☐ **Filing fee**
- ☒ **Electronic Submittal\***
- ☒ **Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with DAT on December 17, 2020.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Rob Bak Relationship to property Buyer/Developer

Authorizing signature of property owner See attached Date July 14, 2021

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

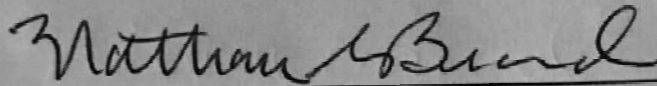
A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

January 13, 2021

To Whom It May Concern:

As an authorized signatory for Fire House Joint Venture II, which owns the property at Gorham Street, I authorize Core Campus Manager, LLC to submit the attached Urban Design Commission application for the proposed "Core Spaces: Gorham and State Project".

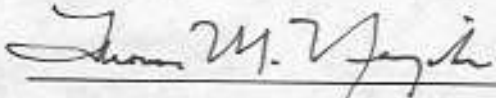


By: NATHAN S. BRAND, authorized signatory Fire House Joint Venture II

January 13, 2021

To Whom It May Concern:

As an authorized signatory for 317 West Gorham, LLC, which owns the property at 315-319 West Gorham Street, I authorize Core Campus Manager, LLC to submit the attached Urban Design Commission application for the proposed "Core Spaces: Gorham and State Project".

A handwritten signature in cursive script, appearing to read "Thomas M. Neujahr", written over a horizontal line.

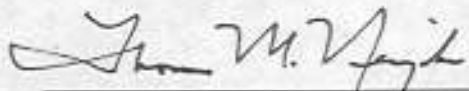
By: Thomas M. Neujahr, Member, authorized signatory for 317 West Gorham, LLC



January 13, 2021

To Whom It May Concern:

As an authorized signatory for Fire House Joint Venture II, <sup>LLP</sup> which owns the property at 321 West Gorham Street, I authorize Core Campus Manager, LLC to submit the attached Urban Design Commission application for the proposed "Core Spaces: Gorham and State Project".

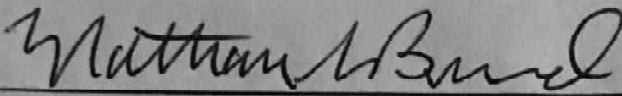


By: Thomas M. Neujahr, Partner, authorized signatory Fire House Joint Venture II <sup>LLP</sup>

January 13, 2021

To Whom It May Concern:

As an authorized signatory for 322 West Johnson Street, LLP, which owns the property at 322 West Johnson Street, I authorize Core Campus Manager, LLC to submit the attached Design Commission application for the proposed "Core Spaces: Gorham and State I

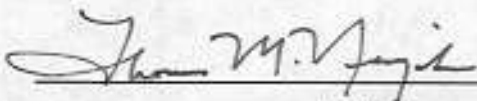
  
\_\_\_\_\_

By: NATHAN S. BRAND, authorized signatory for  
Johnson Street, LLP

January 13, 2021

To Whom It May Concern:

As an authorized signatory for McCaughey Development Associates, LLP, which owns the property at 341 State Street, I authorize Core Campus Manager, LLC to submit the attached Urban Design Commission application for the proposed "Core Spaces: Gorham and State Project".

A handwritten signature in dark ink, appearing to read "Thomas M. Newjahr", written over a horizontal line.

By: Thomas M. Newjahr, Partner, authorized signatory for McCaughey Development Associates, LLP



# VANDEWALLE & ASSOCIATES INC.

July 14, 2021

Heather Stouder  
Department of Planning & Development  
City of Madison  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53710-2985

RE: 341 State Street (See attached list)  
Core Spaces: Oliv Madison Project  
Planned Development: General Development Plan/Specific Implementation Plan  
Demolition Permit Request  
Certified Survey Map

Dear Heather,

Core Campus is pleased to present the following submittal document for a proposed mixed-use redevelopment project, Oliv Madison. This transformational project features rental apartments targeted at students and young professionals, including below-market rate housing for students of low to moderate income households, first floor retail, an entrepreneurial incubator space, tenant amenities, sustainable initiatives, and unique rooftop open spaces.

## **Project Components:**

### Rental Apartments

The residential units within the building are anticipated to offer diverse housing options focused on meeting housing needs of students and downtown residents. Units within the building will range from micro-units to five-bedroom units with single and double occupancy bedroom options. The apartments will be accessed via a lobby at the corner of Gorham and Broom and will be supported by interior and exterior tenant amenity spaces. While the majority of the residents within the building will likely be students, the vibrant urban neighborhood and amenities within the building make this a unique opportunity to appeal to young professionals and general market rate renters as well. At previous projects developed by the developer, larger units shared with multiple roommates are more appealing to the student demographic while smaller, single-occupancy or two bedroom units tend to appeal to young professional. A wide range of unit type options is being provided to appeal to a broad market demographic.

### Low and Moderate Income Student Housing

The project is working with the City of Madison and the University of Wisconsin Office of Student Financial Aid to deliver housing options for students from low- and moderate-income families. The UW suggests that students budget \$900 dollars per month for housing in Madison.

120 East Lakeside Street • Madison, Wisconsin 53715 • 608.255.3988 • 608.255.0814 Fax  
247 Freshwater Way, Suite 530 • Milwaukee, Wisconsin 53204 • 414.988.8631

[www.vandewalle.com](http://www.vandewalle.com)

Shaping places, shaping change

The proposed project seeks to deliver approximately 10% of the beds (110) within the building with a discount on rent of 30% for qualifying needs-based students, which equates to rents that could be several hundred dollars a month below the UW suggested housing budget. This pool of beds will be available for any unit within the building, allowing the qualifying resident to select any unit type regardless of placement within the building, and since beds within the building are rented individually, qualifying residents can select roommates that may or may not qualify for the discount without disclosing that they are paying a reduced rent. Qualifying tenants will have access to all amenities within the building.

The development team continues to work with City Staff to determine codification of the agreement. We are also working with the UW Office of Student Financial Aid on options to qualify applicants in partnership with the UW by using Pell Grants or other qualifying programs as a proxy for income qualification.

Delivering the proposed reduced rent housing components within the project does not rely on support from TIF or tax credit programs and is voluntarily integrated into the project to help address the issues of housing affordability for students. This component is supported financially through the request for the two additional floors in height.

#### First Floor Retail

The project extends the vibrant pedestrian experience within the abutting streets through the integration of 23,229 square feet of first floor retail frontages along State Street, West Gorham Street, and Johnson Street. Designed with flexibility for meeting different retailer needs, these spaces will be subdivided to continue the fine scale retail environment of the State Street area.

#### Retail Incubator

Core Spaces is working with Collective & Co. on integration of a student/small business incubator that will offer tenants, downtown residents, and businesses/entrepreneurs access to collaborative workspace and startup/accelerator support. Integration of this component will assist with the development of new businesses or ventures and offers a bridge from concept & incubation to future business tenants for the downtown area and provides professional development and coaching services to members of the community. Additional information can be found at <https://collectiveand.co/>.

We look forward to working with the City on the review and implementation of this project.

Sincerely,



Brian Munson  
Principal

**Project Name:**

Oliv Madison

**Applicant:**

Core Campus Manager, LLC.  
1643 North Milwaukee Street  
Chicago, Illinois 60647  
Contact: Rob Bak

[robb@corespaces.com](mailto:robb@corespaces.com)

**Owners:**

317 West Gorham Street LLC  
10 East Doty Street #300  
Madison, WI 53703

322 West Johnson Street LLP  
2 East Mifflin Street  
Suite 901  
Madison, WI 53703

McCaughey Development Associates  
10 East Doty Street #300  
Madison, WI 53703

Fire House Joint Venture II  
2 East Mifflin Street  
Suite 901  
Madison, WI 53703

**Design Team:**

Architect:

Antunovich Associates  
224 West Huron Street, Suite 7E  
Chicago, Illinois 60654  
Contact: Jeff Zelisko  
[jzelisko@antunovich.com](mailto:jzelisko@antunovich.com)

Planning:

Vandewalle & Associates  
120 East Lakeside Street  
Madison, WI 53715  
Contact: Brian Munson  
[Bmunson@vandewalle.com](mailto:Bmunson@vandewalle.com)

Civil Engineering:

Burse Surveying & Engineering  
2801 International Lane, Suite 101  
Madison, WI 53704  
Contact: Michelle Burse  
[mburse@bse-inc.net](mailto:mburse@bse-inc.net)

Landscape Architect:

Site Design Group  
888 South Michigan Avenue, Unit PH 1  
Chicago, Illinois 60605  
Contact: Mark Jirik  
[mark.jirik@site-design.com](mailto:mark.jirik@site-design.com)



TDMP: KL Engineering, Inc.  
5400 King James Way  
Suite #200  
Fitchburg, Wisconsin 53719

Contact: Mike Scarmon  
[mscarmon@klengineering.com](mailto:mscarmon@klengineering.com)

**Site Data:**

Address:	341 State Street	0709-231-0312-4
	315 West Gorham Street	0709-231-0308-3
	319 West Gorham Street	0709-231-0309-1
	321 West Gorham Street	0709-231-0310-8
	322 West Johnson Street	0709-231-0314-0

Parcel Size: 76,844 square feet (1.76 acres)

**Existing Zoning:**

Downtown Core (DC)  
Urban Mixed Use (UMX)

**Proposed Zoning:**

Planned Development General Development Plan/Specific Implementation Plan  
(PD:GDP/SIP)

**Project Summary:**

Student/Market Rate Housing	386 Units
Market Rate	991 Beds
Low/Moderate Income Student Housing	110 Beds
First Floor Retail	23,229 square feet

**Vehicle Parking:**

First Floor	54 car spaces
	1 delivery/loading zone
Lower Level:	156 car spaces
Total Car Spaces	211
Moped Spaces	79

**Bike Parking:**

First Floor Guest Parking Room	54 standard spaces
	0 structured spaces
First Floor Tenant Parking Room	57 standard spaces
	33 structured spaces
Lower-Level Tenant Parking	341 standard spaces
	97 structured spaces
Total Spaces	582

#### Loading:

All loading, deliveries, and trash/recycling collection will take place within the site. Loading for commercial tenants will have delivery and trash service via the adjoining alley as well as through the loading dock located on Johnson Street. Residential trash will be serviced from the loading dock.

Car share pickup and deliveries will have access to 5 designated short term parking stalls within the first floor enclosed parking area.

#### Usable Open Space:

Usable open space will be delivered through several unique rooftop patios with a range of amenities and configurations. These spaces will include a dog walk, pool, gathering areas, activity areas, green roof, plantings, and passive recreation areas.

Open Space Required \*: 10 square feet/bedroom  
9,430

\*note: compared against UMX requirement for reference only

#### Open Space Provided:

6 <sup>th</sup> floor roof:	3,800 sq. ft.
10 <sup>th</sup> floor roof:	11,335 sq. ft.
Additional patio areas:	8,179 sq. ft.
Total	23,314 sq. ft.

Green Roof Required (stormwater):	6,000 sq. ft.
Green Roof Supplied:	25,878 sq. ft.

#### Project Schedule:

December 2020	Initial Staff Meetings	
	Alder Notification	(12/11/21)
	CANA/CNI Notification	(12/14/20)
	DAT	(12/17/20)
January 2021	Initial CANA Neighborhood MTG	(1/11/21)
	Initial CNI Neighborhood MTG	(1/13/21)
	GSSBA MTG	(1/28/21)
	DMI MTG	(1/28/21)
February 2021	UDC Informational MTG	(2/10/21)
	Formal Zoning Notification	(2/11/21)
	Demolition Notification	(2/11/21)
	Landmarks Committee MTG	(2/15/21)
April 2021	General Neighborhood MTG	(4/19/21)
May 2021	UDC Informational MTG	(5/12/21)
June 2021	CNI/CANA Steering Committee MTG	(6/10/21)
	CNI/CANA Steering Committee MTG	(6/17/21)
	CNI/CANA Steering Committee MTG	(6/24/21)
July 2021	CNI/CANA Steering Committee MTG	(7/8/21)
Spring 2022	Construction Start	
Summer 2024	Project Completion	

## **Demolition Request:**

The project is seeking a demolition request for all of the buildings located on the site.

### **Existing Conditions:**

- 315 West Gorham Street is a two story retail building originally built as an automobile showroom. This building façade will be preserved and has been integrated into the building proposal.
- 317 West Gorham Street is a two story retail building originally built as an automobile showroom. This building originally extended to the corner of Broom and Gorham with a portion of the building being demolished and currently being used for a surface parking lot. This building façade will be preserved and has been integrated into the building proposal.
- 341 State Street two story (with lower basement) retail building.
- 322 West Johnson Street is a two story retail building originally built as an automobile showroom. A portion of the site on both sides of the building is currently being used for surface parking. This building façade will be preserved and has been integrated into the building proposal.

In an effort to help preserve the social and cultural history of Madison and to contribute to the unique historic character of the downtown neighborhood, the project incorporates the façades of 315 W Gorham, 317 W Gorham, and 322 W Johnson into the design of the project. These buildings will retain their uses as retail spaces so that they can continue to contribute to a lively streetscape and pedestrian experience downtown. These facades will be carefully deconstructed and rebuilt into the proposed building to allow below grade construction and to facilitate wider pedestrian streetscapes along West Gorham and Johnson Street. Efforts are also underway to return the re-built facades closer to their historic configurations based upon photos from their original use.

In addition to preserving the eclectic architecture on this block, we want to preserve the unique history of this block as well. We would like to work with the members of the Landmarks Commission and local historians to create signage to be installed on the proposed building that shares the social and cultural history of the block and the neighborhood, from its inception as a hub for automobile sales centers in the 1920s to a haven for music lovers in the 1960s to a critical resource for the LGBT community in the 1980s and 1990s.

See the following photos of the existing buildings.

315 West Gorham Street (to be integrated into project)



317 West Gorham Street (to be integrated into project)





341 State Street (to be demolished)



322 West Johnson Street (to be integrated into project)



## **Height Request:**

The project is designed to meet the step back requirements outlined in the Downtown Height Plan with two key departures:

- 1.) While the Downtown Height Plan allows for the frontage along State Street to rise four-stories, the Project has dropped this area to a three-story expression, one story lower than the allowed height. This reduction of height creates a more compatible streetscape addition for a block with adjoining buildings that ranges from one to three stories in height.
- 2.) The addition of two residential stories located within the area previously identified as 8 stories.

The proposed heights within the building transition from State Street to the south and west, following the prescribed height setbacks from State Street and transition from 3 stories along State Street (one story lower than allowed), up to six stories setback 30' from State Street, and up to 10 stories setback 132' from State Street. Additional setbacks and stepbacks are incorporated throughout the building to create architectural interest and break the scale of the overall building into different architectural expressions.

The proposed additional two floors allow the project the ability to include the following exceptional items:

### **1.) State Street**

The additional height allows the project to reduce the height of the buildings along State Street to three stories from 4 stories. This reduction in mass creates a more complimentary building expression that is in keeping with the existing one to three story buildings along the balance of the adjoining State Street Blocks.

### **2.) Contributing Buildings**

Reflecting input from the Landmarks Commission, the project incorporates the reconstruction of the existing facades located at 315 Gorham Street, 317 Gorham Street, and 322 West Johnson into the design of the project. Incorporation of these facades creates additional articulation along the expanded pedestrian environment while maintaining ties to the history and character of the block. The upper stories of the building have been redesigned to create additional stepbacks and setbacks above these facades per UDC input.

### **3.) Low and Moderate Income Student Housing**

Incorporation of substantial housing serving low and moderate income students without direct subsidy support has never been undertaken within the City. This project's partnership with the UW Office of Financial Aid and the City of Madison is a first step towards addressing a significant housing need within the City and is fully supported by the extra height within the building.

### **4.) Sustainability**

The building is being designed to meet the National Green Building Standard (NGBS), the only green building rating to meet the American National Standards Institute (ANSI) requirements. Sustainable components will be integrated into the mechanical systems, building lighting, and overall design.



### 5.) Useable Green Roof/Open Space Amenities

Signature open space amenities are designed as part of a comprehensive rooftop open space and green roof component of the project. These spaces offer residents a variety of outdoor spaces and significantly exceed (4 times the requirement) the stormwater management requirements for the site.

### 6.) Retail Incubator

Core Spaces is working with Collective & Co. on the integration of a retail/small business incubator space that will offer tenants, downtown residents, and business/entrepreneurs access to collaborative workspace and startup/accelerator support.

#### Building Height Comparison:

	Stories	Height
Proposed Building	3/6/10	113' (excludes mechanical)
Hypothetical Office Building	8	116' (excludes mechanical)
The Ovation	6/8/12/13	162' (immediately across the street)
The Domaine	6/12	133'
The Lux	12	131' (excludes mechanical)
The Equinox	12	154'
Capital Center Apartments	8/12/16	119'

#### PD Standards:

The project is seeking a Planned Unit Development zoning change due to the overall height and complexity of the building. The following standards analysis addresses how the building proposal meets each of the approval standards:

##### PD Standards:

- (a) Promotion of green building technologies, low-impact development techniques for stormwater management, and other innovative measures that encourage sustainable development.

The building is being designed to meet the National Green Building Standard (NGBS), the only green building rating to meet American National Standards Institute (ANSI) requirements. Sustainable components will be integrated into mechanical systems, building lighting, and overall design.

Among the standard green features are energy efficient lighting (LED), smart thermostats, low-e windows, blackout shades, ceiling fans, high efficiency plumbing fixtures, Energy Star appliances and climate resistant landscaping. Because this project will achieve NGBS certificate, it will include features that exceed these, and will be designed in coordination with a third-party NGBS consultant.

Stormwater management for the project include significant green roof systems that exceed the City requirements for on-site structural stormwater management. This extensive green roof system includes 25,878 square feet of coverage (6,000 square feet required).

- (b) Promotion of integrated land uses allowing for a mixture of residential, commercial, and public facilities along corridors and in transitional areas, with enhanced pedestrian, bicycle and transit connections and amenities.

The building's mixed use, urban infill design coupled with pedestrian activated retail, expanded sidewalks, and a bike parking room directly accessible from the sidewalk is designed to incentivize resident use of the rich multimodal network adjacent to the building. The design of the building also increases the width of the adjoining sidewalks to 15' minimum on the Johnson, Gorham, and Broom Street frontages.

- (c) Preservation and enhancement of important environmental features through careful and sensitive placement of buildings and facilities.

The project seeks to continue the vibrant urban characteristics of the State Street Area by facilitating sustainable urban infill with a range of price points, diverse unit configuration, and with expanded vibrant streetscapes along all street frontages with a careful building design and articulation that responds to the surrounding neighborhood context.

- (d) Preservation of historic buildings, structures, or landscape features through adaptive reuse of public or private preservation of land.

The project will incorporate and preserve the existing contributing facades on the site, as noted in the Demolition Request section of this document.

- (e) Provision of more adequate, usable, and suitably located open space, recreational amenities, and other public facilities than would otherwise be provided under conventional land development techniques.

Open space within the building is incorporated into shared amenity spaces located within the building, as well as on rooftop gardens and patios located on the 6<sup>th</sup> floor roof and 10<sup>th</sup> floor roof levels. These open spaces will offer a unique blend of expansive green roof, passive use areas, gathering areas, and active areas. Rooftop amenities include a dog walk, pool, gathering areas, and other program spaces.

The project is also designed to widen the existing sidewalks to 15' to create additional space for pedestrians, tree growth, streetscape enhancements, and potential outdoor cafes.

- (f) Facilitation of high-quality development that is consistent with the goals, objectives, policies, and recommendations of the Comprehensive Plan and adopted neighborhood, corridor or special area plans.

The overall building will be a high quality, sustainable redevelopment project that supports the adopted plans, creates significant tax base, and integrate sustainable residential infill development in support of the greater State Street Area.

## (2) Standards for Approval of Zoning Map Amendment.

The standards for approval of a zoning map amendment to the PD District, or any major alteration to an approved General Development Plan, are as follows:

(a) The applicant shall demonstrate that no other base zoning district can be used to achieve a substantially similar pattern of development. Planned developments shall not be allowed simply for the purpose of increasing overall density or allowing development that otherwise could not be approved unless the development also meets one or more of the objectives of (1) above. Conditions under which planned development may be appropriate include:

1. Site conditions such as steep topography or other unusual physical features; or
2. Redevelopment of an existing area or use of an infill site that could not be reasonably developed under base zoning district requirements.

The redevelopment of the site into a mixed use/student housing/market rate housing/affordable student housing project that balances all of the setbacks and uses benefits from the site-specific zoning allowed under the PD District.

(b) The PD District plan shall facilitate the development or redevelopment goals of the Comprehensive Plan and of adopted neighborhood, corridor or special area plans.

The adopted plans call for sustainable infill development that supports and extends the vibrant urban neighborhood while carefully balancing the State Street character, creating enhanced pedestrian streetscapes, integrating three of the existing building facades, and designing an overall building that compliments the existing building context.

Additional elements include:

- Maintaining the rhythm and massing of State Street through integrating first floor retail, reducing the building height to 3 stories, and maintaining multiple expressions in the architecture.
- Expanding the pedestrian realms on West Gorham, Johnson, and Broom Streets by setting the building back from the property line to create additional pedestrian space and additional growth area for existing and proposed street trees.
- Address housing diversity and price points through the creation of a wide range of unit types and a directed program for student of low and moderate family incomes.

(c) The PD District plan shall not adversely affect the economic health of the City or the area of the City where the development is proposed. The City shall be able to provide municipal services to the property where the planned development is proposed without a significant increase of the cost of providing those services or economic impact on municipal utilities serving that area.

The proposed project is well served by existing infrastructure and will create significant tax base.

(d) The PD District plan shall not create traffic or parking demands disproportionate to the facilities and improvements designed to meet those demands. A traffic demand

management plan may be required as a way to resolve traffic and parking concerns. The Plan shall include measurable goals, strategies, and actions to encourage travelers to use alternatives to driving alone, especially at congested times of day. Strategies and actions may include, but are not limited to, carpools and vanpools; public and private transit; promotion of bicycling, walking and other non-motorized travel; flexible work schedules and parking management programs to substantially reduce automobile trips.

A transportation demand management plan has been submitted as part of the packet along with a trip generation study.

(e) The PD District plan shall coordinate architectural styles and building forms to achieve greater compatibility with surrounding land uses and create an environment of sustained aesthetic desirability compatible with the existing or intended character of the area and the statement of purpose of the PD District.

The overall building approach creates multiple design expressions as it moves around the block with numerous stepbacks, façade articulations, and material changes to create an overall project that fits into the surrounding neighborhood context and character.

(g) The PD District plan shall include open space suitable to the type and character of development proposed, including for projects with residential components, a mix of structured and natural spaces for use by residents and visitors. Areas for stormwater management, parking, or in the public right of way shall not be used to satisfy this requirement.

Open space within the building is incorporated into shared amenity spaces located within the building, as well as on rooftop gardens and patios located on the 6<sup>th</sup> floor roof and 10<sup>th</sup> floor roof levels. These open spaces will offer a unique blend of expansive green roof, passive use areas, gathering areas, and active areas. Rooftop amenities include a dog walk, pool, gathering areas, and other program spaces.

(g) The PD district shall include suitable assurances that each phase could be completed in a manner that would not result in an adverse effect upon the community as a result of termination at that point.

The development team has experience building large scale redevelopment projects within the City of Madison and has secured options to purchase the entire site, has ample access to financial backing for the project, and is prepared to commence with the project upon completion of the approval process.

(h) When applying the above standards to an application for height in excess of that allowed in [Section 28.071\(2\)\(a\)](#) Downtown Height Map, except as provided for in [Section 28.071\(2\)\(a\)1.](#) and [Section 28.071\(2\)\(b\)](#), the Plan Commission shall consider the recommendations in adopted plans and no application for excess height shall be granted by the Plan Commission unless it finds that all of the following conditions are present:

1. The excess height is compatible with the existing or planned (if the recommendations in the Downtown Plan call for changes) character of the surrounding area, including but not limited to the scale, mass, rhythm, and setbacks of buildings and relationships to street frontages and public spaces.

See Height Request section of this document.

2. The excess height allows for a demonstrated higher quality building than could be achieved without the additional stories.

The additional height creates the economic framework to support the following higher quality building components:

*1. State Street*

The additional height allows the project to reduce the height of the building along State Street to three stories from the allowable 4 stories. This reduction in mass creates a more complimentary building expression that is in keeping with the existing one to three story buildings along the balance of the adjoining State Street blocks.

*2. Contributing Buildings*

Reflecting input from the Landmarks Commission, the project incorporates the reconstruction of the existing facades located at 315 W Gorham, 317 W Gorham, and 322 W Johnson into the design of the project. Incorporation of these facades creates additional articulation along the expanded pedestrian environment while maintaining ties to the history and character of the block.

*3. Low and Moderate Income Student Housing*

Incorporation of substantial housing serving low and moderate income students without direct subsidy support has never been undertaken within the City. This project's partnership with the UW Office of Financial Aid and City of Madison is a first step towards addressing a significant housing need within the City and is fully supported by the extra height within the building.

*4. Sustainability*

The building is being designed to meet the National Green Building Standard (NGBS), the only green building rating to meet American National Standards Institute (ANSI) requirements. Sustainable components will be integrated into mechanical systems, building lighting, and overall design.

*5. Useable Green Roof/Open Space Amenities*

Signature open space amenities are designed as part of a comprehensive rooftop open space and green roof component of the project. These spaces offer residents a variety of outdoor spaces and exceed the stormwater management requirements for the site.

*6. Retail Incubator*

Core Spaces is working with Collective & Co. on integration of a retail /small business incubator that will offer tenants, downtown residents, and business/entrepreneurs access to collaborative workspace and startup/accelerator support.

3. The scale, massing and design of new buildings complement and positively contribute to the setting of any landmark buildings within or adjacent to the project and create a pleasing visual relationship with them.

Not applicable.

4. For projects proposed in priority viewsheds and other views and vistas identified on the Views and Vistas Map in the City of Madison Downtown Plan, there are no negative impacts on the viewshed as demonstrated by viewshed studies prepared by the applicant.

Not applicable.

(i) When applying the above standards to an application to reduce or eliminate setbacks required by [Section 28.071\(2\)\(c\)](#) Downtown Stepback Map, the Plan Commission shall consider the recommendations in adopted plans, including the downtown plan. No application to reduce or eliminate setbacks may be granted unless it finds that all of the following conditions are present:

Not Applicable.

**Proposed PUD:GDP-SIP Zoning Text:**

Statement of Purpose:	This zoning district is established to allow for the construction of the Oliv Madison mixed use residential & retail redevelopment project.
Permitted Uses:	All permitted and conditional uses per the Urban Mixed Use and Downtown Core Districts, as outlined in the City of Madison Zoning Code.  Private parking facility is permitted. Parking within the parking deck may be leased to non-building tenants and adjoining businesses.
Lot Area:	As stated in legal description.
Floor Area Ratio:	1. Maximum floor area ratio permitted is as shown on approved plans. 2. Maximum building height shall be 10 stories or as shown on approved plans.
Yard Requirements:	Yard areas will be provided as shown on the approved plans.
Landscaping:	Site landscaping shall be provided as shown on the approved plans.
Accessory Off-Street Parking & Loading	Accessory off-street parking and loading will be provided as shown on approved plans
Lighting:	Site lighting will be provided as shown on approved plans
Signage	All signage depicted in submittal is included for illustrative purposes only. Signage will be allowed per Chapter 31 of the Madison General Ordinances as compared to the UMX zoning district and will be part of separate signage submittals.



Family Definition: The family definition of this PUD-SIP shall coincide with the definition given in Chapter 2.03(2) of the Madison General Ordinances for the UMX zoning district.

Alterations & Revisions: No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission; however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the Plan Commission.

**Legal Description:**

Part of Lots 4-6, 9 and 10, all of Lots 1-3 and 11-13, and part of a vacated Public Alley, Block 55, Original Plat of Madison, as recorded in Volume A of Plats, on page 3, Dane County Registry, located in the Northwest Quarter of the Northeast Quarter of Section 23, Township 07 North, Range 09 East, City of Madison, Dane County, Wisconsin, more fully described as follows; Commencing at the North Quarter corner of said Section 23; thence South 00 degrees 00 minutes 55 seconds West along the west line of said Northeast Quarter, 249.31 feet; thence South 89 degrees 59 minutes 05 seconds East, 461.58 feet to the southeast right of way of W. Gorham Street, also being the northeast right of way of N. Broom Street, also being the Point of Beginning; thence North 46 degrees 12 minutes 11 seconds East along said southeast right of way, 291.69 feet to the south right of way of State Street; thence South 88 degrees 34 minutes 04 seconds East along said south right of way, 98.34 feet; thence South 01 degree 38 minutes 47 seconds West, 107.45 feet to the south line of a Public Alley; thence North 84 degrees 13 minutes 01 second East along said south line, 91.94 feet to a bend in said south line; thence South 44 degrees 21 minutes 14 seconds East along said south line, 63.60 feet to the northwest right of way of W. Johnson Street; thence South 46 degrees 02 minutes 42 seconds West along said northwest right of way, 291.79 feet to the southwest line of aforementioned Lot 13; thence North 43 degrees 53 minutes 37 seconds West along said southwest line, 134.24 feet to the west corner of said Lot 13, also being the east corner of aforementioned Lot 1; thence South 46 degrees 11 minutes 30 seconds West along the southeast line of said Lot 1, 65.45 feet to the south corner of said Lot 1, also being the aforementioned northeast right of way of N. Broom Street; thence North 43 degrees 46 minutes 54 seconds West along said northeast right of way, 131.99 feet to the Point of Beginning. This description contains 76,844 square feet or 1.7641 acres.

Bearings are based upon the Wisconsin County Coordinate System (Dane Zone)

Prepared By:

Burse Surveying and Engineering, Inc.  
2801 International Lane, Suite 101  
Madison WI, 53704

## PLANNED UNIT DEVELOPMENT: GENERAL DEVELOPMENT PLAN/SPECIFIC IMPLEMENTATION PLAN SUBMITTAL



**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**TITLE SHEET**

MADISON, WISCONSIN • JULY 14, 2021

**A1**

**THE ADDITIONAL HEIGHT CREATES THE ECONOMIC FRAMEWORK TO SUPPORT THE FOLLOWING HIGHER QUALITY BUILDING COMPONENTS:**

**1. STATE STREET**

The additional height allows the project to reduce the height of the building along State Street to three stories from the allowable 4 stories. This reduction in mass creates a more complimentary building expression that is in keeping with the existing one to three story buildings along the balance of the adjoining State Street blocks.

**2. CONTRIBUTING BUILDINGS**

Reflecting input from the Landmarks Commission, the project incorporates the reconstruction of the existing facades located at 315 W Gorham, 317 W Gorham, and 322 W Johnson into the design of the project. Incorporation of these facades creates additional articulation along the expanded pedestrian environment while maintaining ties to the history and character of the block.

**3. LOW AND MODERATE INCOME STUDENT HOUSING**

Incorporation of substantial housing serving low and moderate income students without direct subsidy support has never been undertaken within the City. This project's partnership with the UW Office of Financial Aid and City of Madison is a first step towards addressing a significant housing need within the City and is fully supported by the extra height within the building.

**4. SUSTAINABILITY**

The building is being designed to meet the National Green Building Standard (NGBS), the only green building rating to meet American National Standards Institute (ANSI) requirements. Sustainable components will be integrated into mechanical systems, building lighting, and overall design.

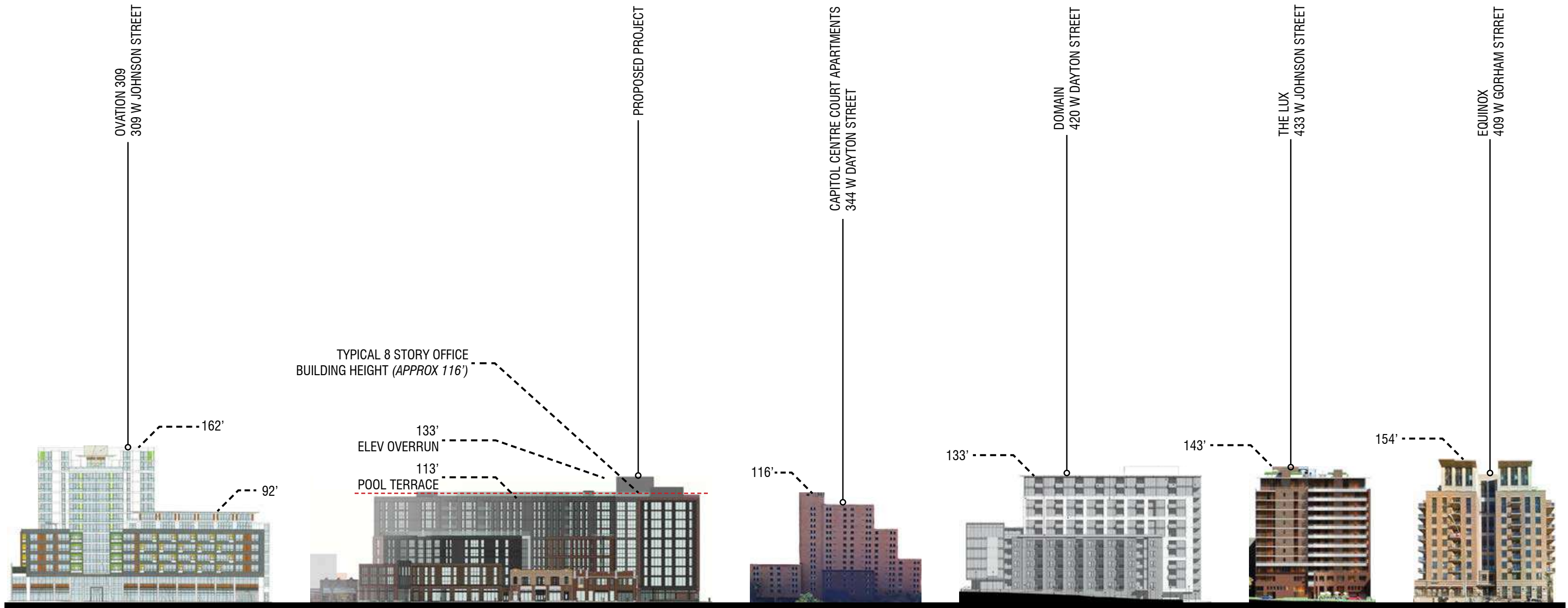
**5. USEABLE GREEN ROOF / OPEN SPACE AMENITIES**

Signature open space amenities are designed as part of a comprehensive rooftop open space and green roof component of the project. These spaces offer residents a variety of outdoor spaces and exceed the stormwater management requirements for the site.

**6. RETAIL INCUBATOR**

Core Spaces is working with Collective & Co. on integration of a retail /small business incubator that will offer tenants, downtown residents, and business/ entrepreneurs access to collaborative workspace and startup/accelerator support.









GORHAM STREET LOOKING NORTHEAST TOWARD PROJECT SITE



GORHAM STREET LOOKING SOUTHWEST TOWARD PROJECT SITE



CORNER OF BROOM STREET AND GORHAM STREET LOOKING NORTHEAST TOWARD PROJECT SITE



CORNER OF JOHNSON STREET AND BROOM STREET LOOKING NORTH TOWARD PROJECT SITE





GORHAM STREET LOOKING NORTHEAST TOWARD PROJECT SITE



GORHAM STREET LOOKING SOUTHWEST TOWARD PROJECT SITE



CORNER OF BROOM STREET AND GORHAM STREET LOOKING NORTHEAST TOWARD PROJECT SITE



CORNER OF JOHNSON STREET AND BROOM STREET LOOKING NORTH TOWARD PROJECT SITE





403 STATE STREET



409 STATE STREET (W GORHAM STREET FACADE)



326 W GORHAM STREET



303 STATE STREET (W JOHNSON ST FACADE)



301 W JOHNSON STREET



319 STATE ST





301 STATE STREET



301 STATE STREET



315 STATE STREET



346 STATE STREET



319 STATE STREET



329 STATE STREET





THE DOMAIN



OVATION



MADISON MUSEUM OF MODERN ART



THE LUX



EQUINOX





FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021)

**PREVIOUS**



**CURRENT**



FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021)

**PREVIOUS**



**CURRENT**





FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021)

**PREVIOUS**



**CURRENT**



FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021)

**PREVIOUS**



**CURRENT**





FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021)

PREVIOUS



CURRENT



FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021)

PREVIOUS



CURRENT





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A12**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A13**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A14**





**ōliv MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A15**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A16**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A17**





**ōliv MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A18**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A19**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A20**





**ōliv MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

MADISON, WISCONSIN • JULY 14, 2021

**A21**





**ōliv MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED CONCEPTUAL RENDERING**

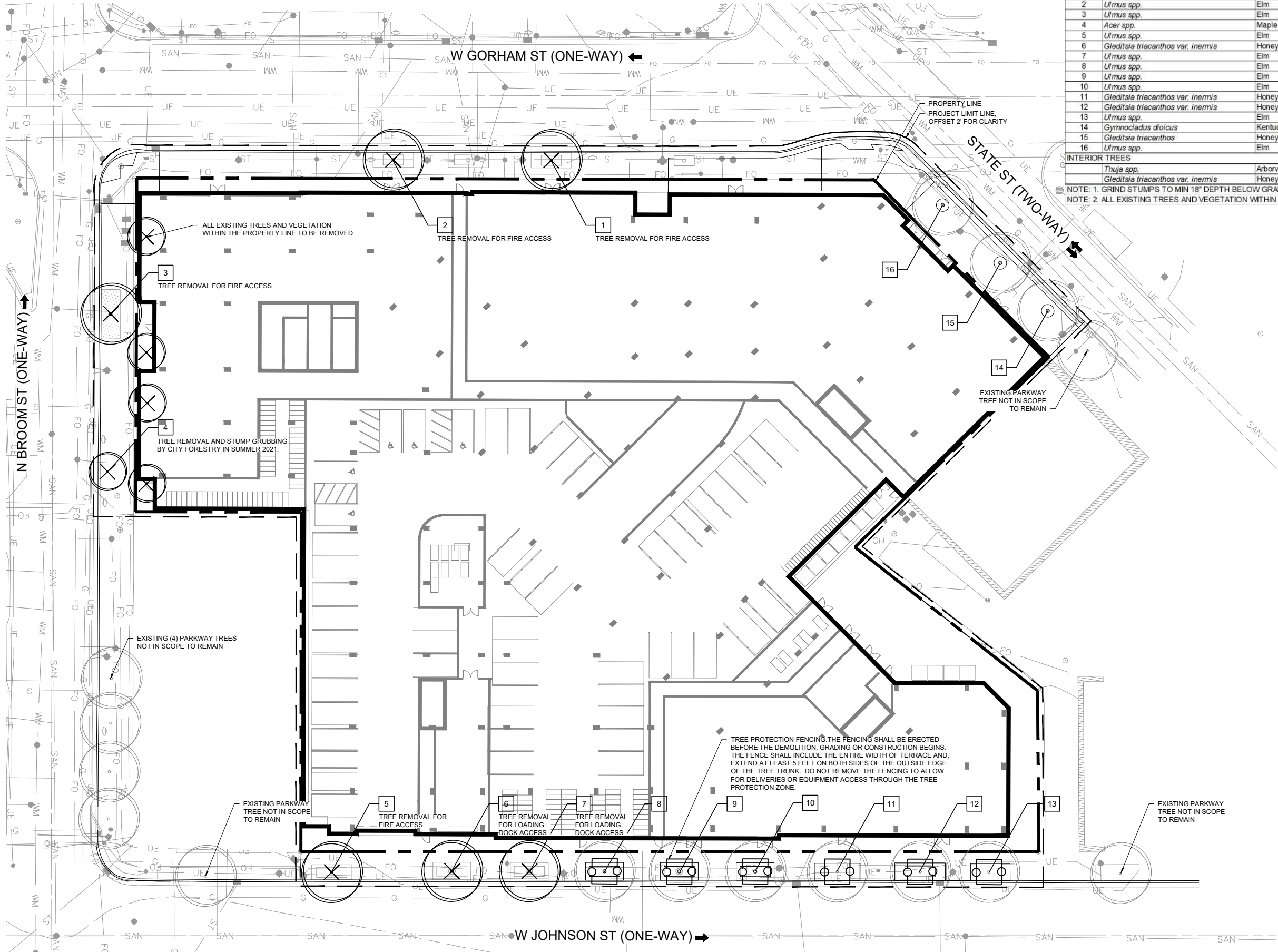
MADISON, WISCONSIN • JULY 14, 2021

**A22**









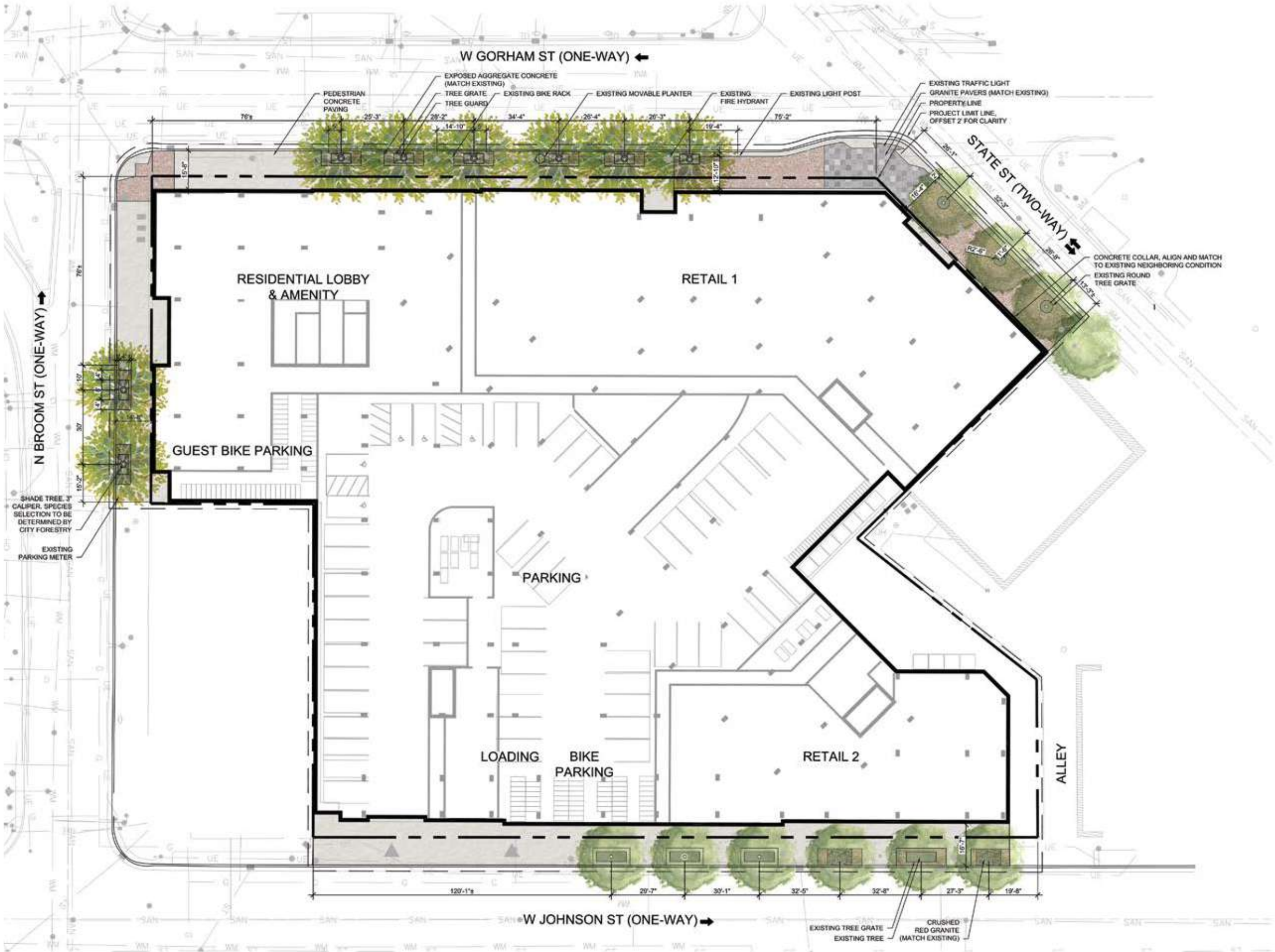
EXISTING TREE SCHEDULE					
NO.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	TO BE REMOVED
EXISTING R.O.W. TREES					
1	<i>Pyrus spp.</i>	Pear	6"	Fire access	Yes
2	<i>Ulmus spp.</i>	Elm	6"	Fire access	Yes
3	<i>Ulmus spp.</i>	Elm	7"	Fire access	Yes
4	<i>Acer spp.</i>	Maple	3"	Half dead	TBR by City Forestry
5	<i>Ulmus spp.</i>	Elm	12"	Fire access	Yes
6	<i>Gleditsia triacanthos var. inermis</i>	Honeylocust	2"	In conflict with proposed loading dock	Yes
7	<i>Ulmus spp.</i>	Elm	2"	In conflict with proposed loading dock	Yes
8	<i>Ulmus spp.</i>	Elm	12"	Damage to trunk. To remain	No
9	<i>Ulmus spp.</i>	Elm	5"	Tree guard to remain	No
10	<i>Ulmus spp.</i>	Elm	16"	To remain	No
11	<i>Gleditsia triacanthos var. inermis</i>	Honeylocust	2"	Tree guard to remain	No
12	<i>Gleditsia triacanthos var. inermis</i>	Honeylocust	2"		No
13	<i>Ulmus spp.</i>	Elm	17"	To remain	No
14	<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	7"		No
15	<i>Gleditsia triacanthos</i>	Honeylocust	6"		No
16	<i>Ulmus spp.</i>	Elm	3"		No
INTERIOR TREES					
	<i>Thuja spp.</i>	Arborvitae	-		Yes
	<i>Gleditsia triacanthos var. inermis</i>	Honeylocust	-		Yes

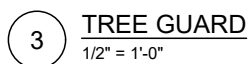
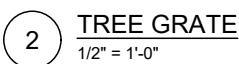
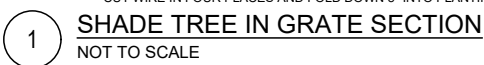
NOTE: 1. GRIND STUMPS TO MIN 18" DEPTH BELOW GRADE FOR ALL TREE/ STUMP REMOVALS  
NOTE: 2. ALL EXISTING TREES AND VEGETATION WITHIN THE PROPERTY LINE TO BE REMOVED

- NOTES:**
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
  - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
  - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
  - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION. NEAR STREET TREES, SCORING SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
  - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
  - STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
  - CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING.
  - NO LATER THAN FIVE BUSINESS DAYS PRIOR TO FORMING CONCRETE AND CONSTRUCTING TREE GRATE SITES, THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO IDENTIFY AND LOCATE UNDERGROUND CONFLICTS (UTILITIES, VAULTS, CONDUIT) OR OTHER UNDERGROUND OBSTRUCTIONS AND DETERMINE GRATE LOCATIONS. TREE GRATE TYPE: NEENAH 4X8 (R-8815-A). TREE GUARD NEENAH (R-8501-4818).
  - CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 TO ISSUE A STREET TREE REMOVAL PERMIT FOR FIVE TREES. 6" DIA PEAR TREE, 6" DIA ELM TREE, 7" DIA ELM TREE, AND 12" DIA ELM TREE REMOVAL DUE TO CONFLICT WITH PROPOSED FIRE ACCESS PLAN. 2" DIA HONEYLOCUST TREE, 2" DIA ELM TREE DUE TO CONFLICT WITH THE PROPOSED LOADING DOCK ALONG W JOHNSON STREET.
  - CONTRACTOR SHALL CONTACT CITY FORESTRY AT 266-4816 TO SCHEDULE DELIVERY OF SALVAGED TREE GRATES TO CITY FORESTRY FACILITY.



NOTES:  
1. ALL EXISTING PARKWAY FURNISHINGS SHALL BE SALVAGED AND REINSTALLED IN THE SAME LOCATION IF REMOVAL IS REQUIRED FOR PURPOSES OF CONSTRUCTION.









**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

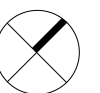
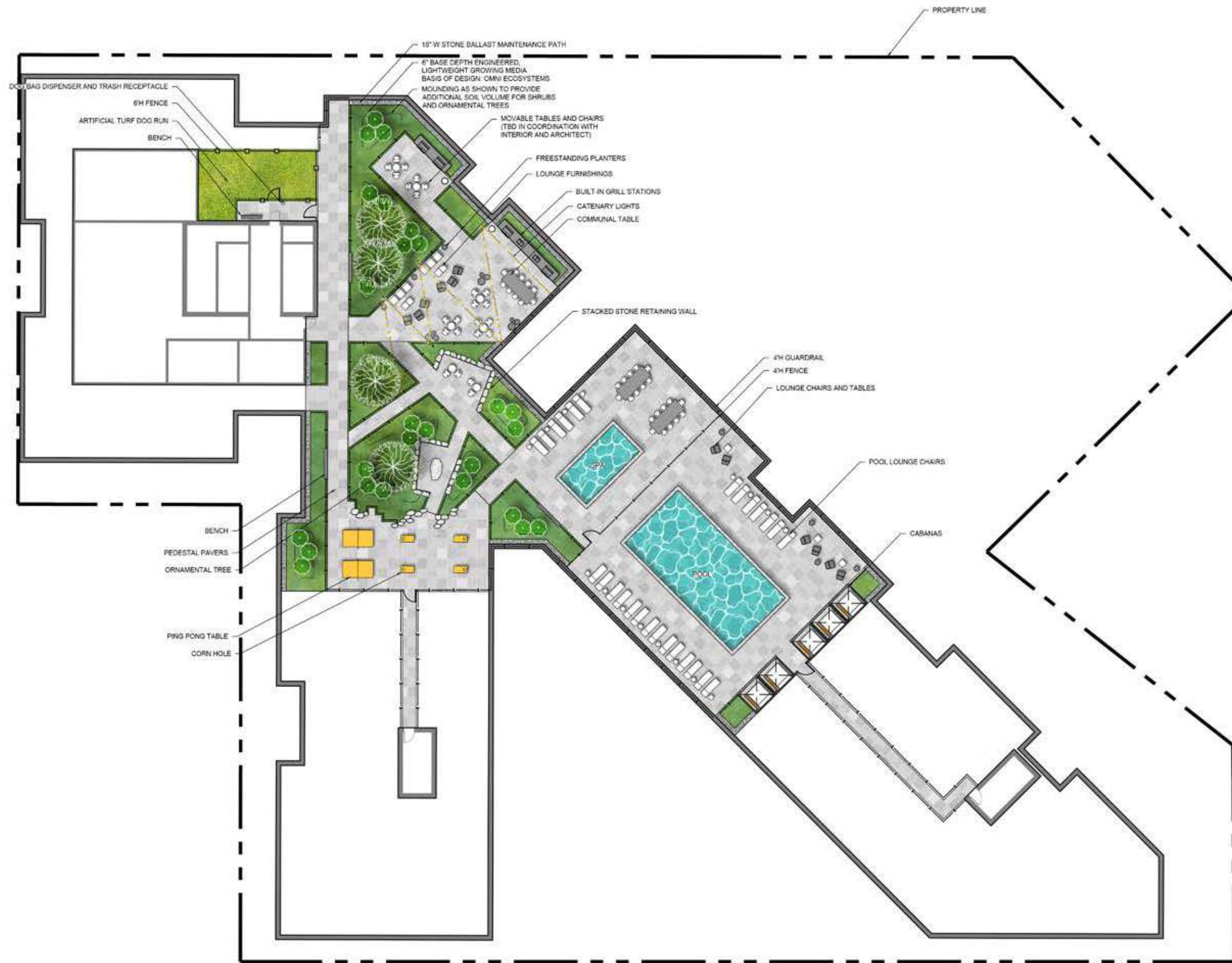
**PROPOSED LEVEL 7 LANDSCAPE PLAN**

MADISON, WISCONSIN • JULY 14, 2021



**A27**









#### LEGEND:

- |                                    |                                      |
|------------------------------------|--------------------------------------|
| <b>1</b> UNDERSTORY TREES & SHRUBS | <b>5</b> GREEN ROOF                  |
| <b>2</b> HAMMOCK AREA              | <b>6</b> LOOSE SEATING               |
| <b>3</b> MOVEABLE FURNISHINGS      | <b>7</b> SEATING STEPS               |
| <b>4</b> SEATING NOOK              | <b>8</b> SLOPED ARTIFICIAL TURF LAWN |





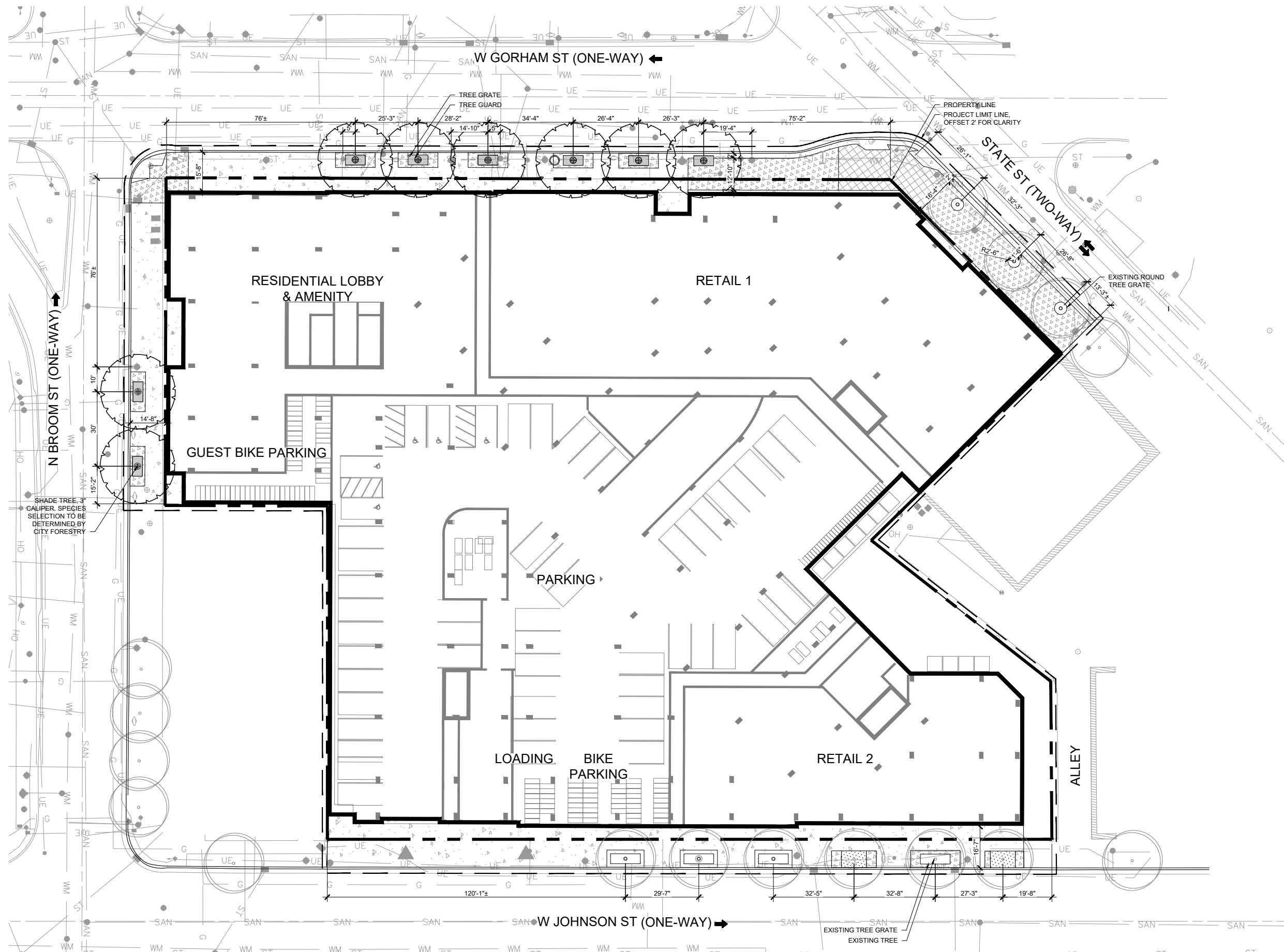


# LEGEND:

- 1** DOG RUN
- 2** GRILL STATION
- 3** UNDERSTORY TREES & SHRUBS
- 4** LOOSE SEATING
- 5** CATENARY LIGHTS
- 6** SEATING NOOK
- 7** GAME TABLES
- 8** LOOSE CHAISE LOUNGERS
- 9** SPA
- 10** POOL
- 11** CABANA







**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

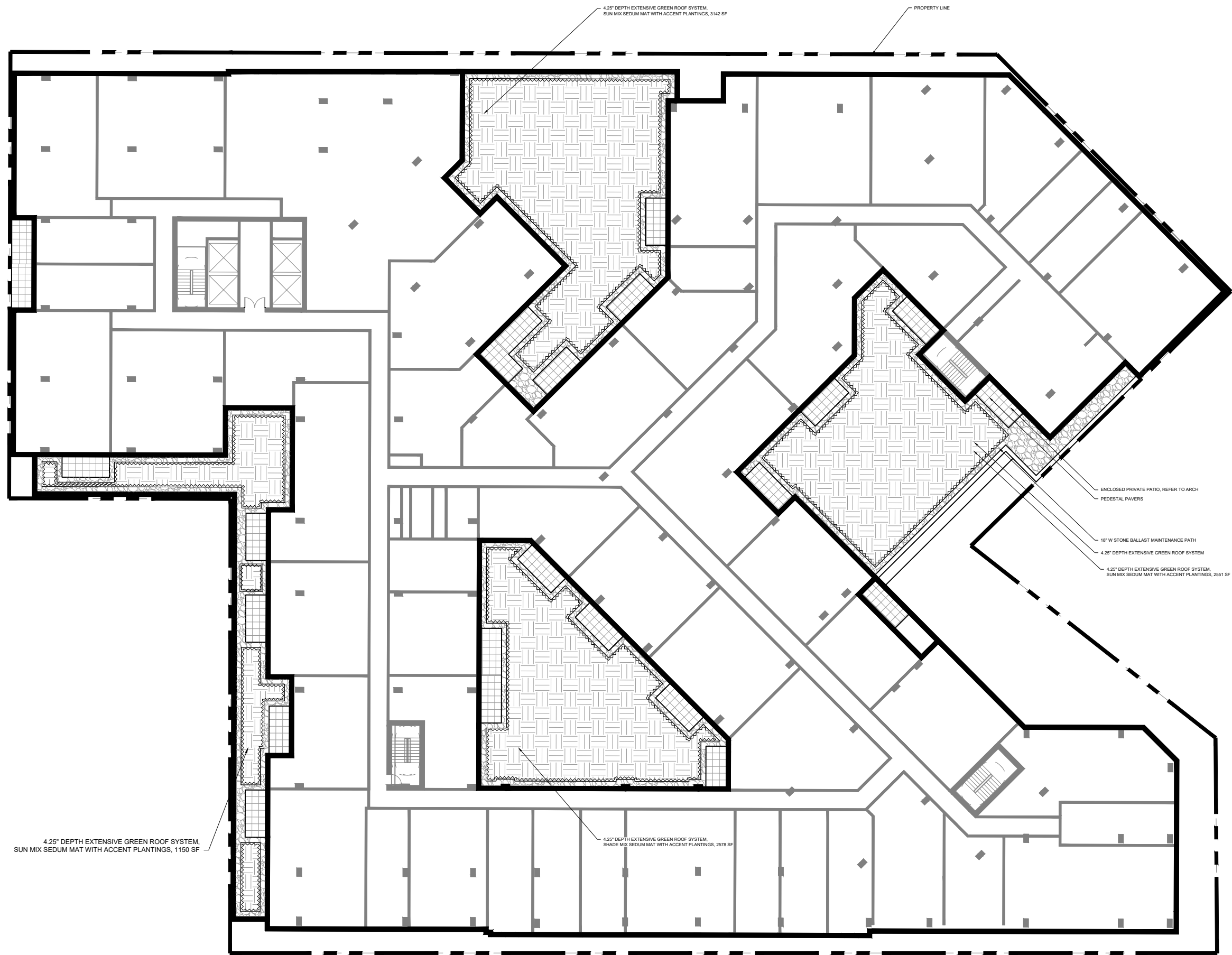
**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED SITE PLANTING PLAN**

MADISON, WISCONSIN • JULY 14, 2021

**A31**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

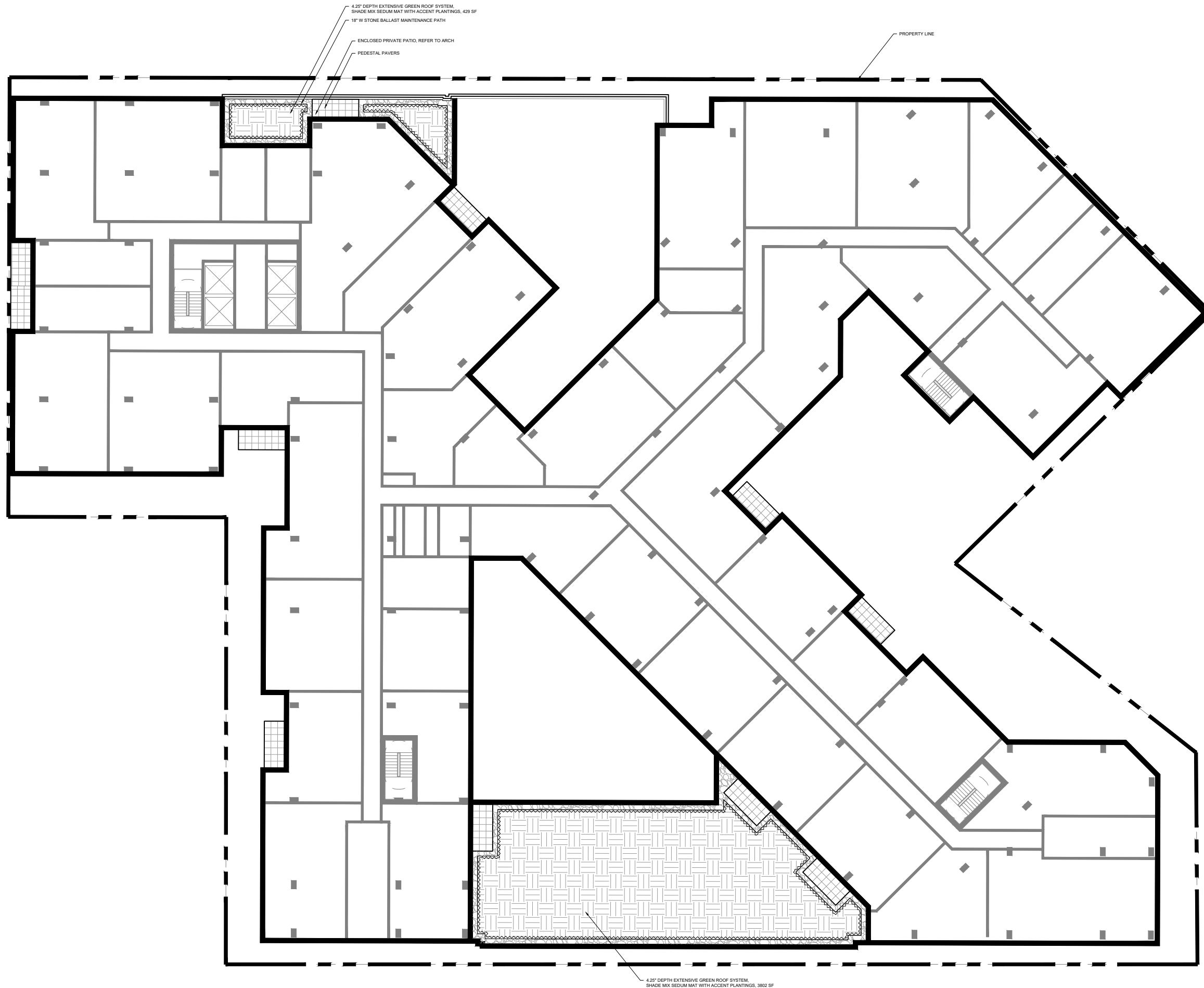
**PROPOSED LEVEL 2 PLANTING PLAN**

MADISON, WISCONSIN • JULY 14, 2021



**A32**





**ōliv MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

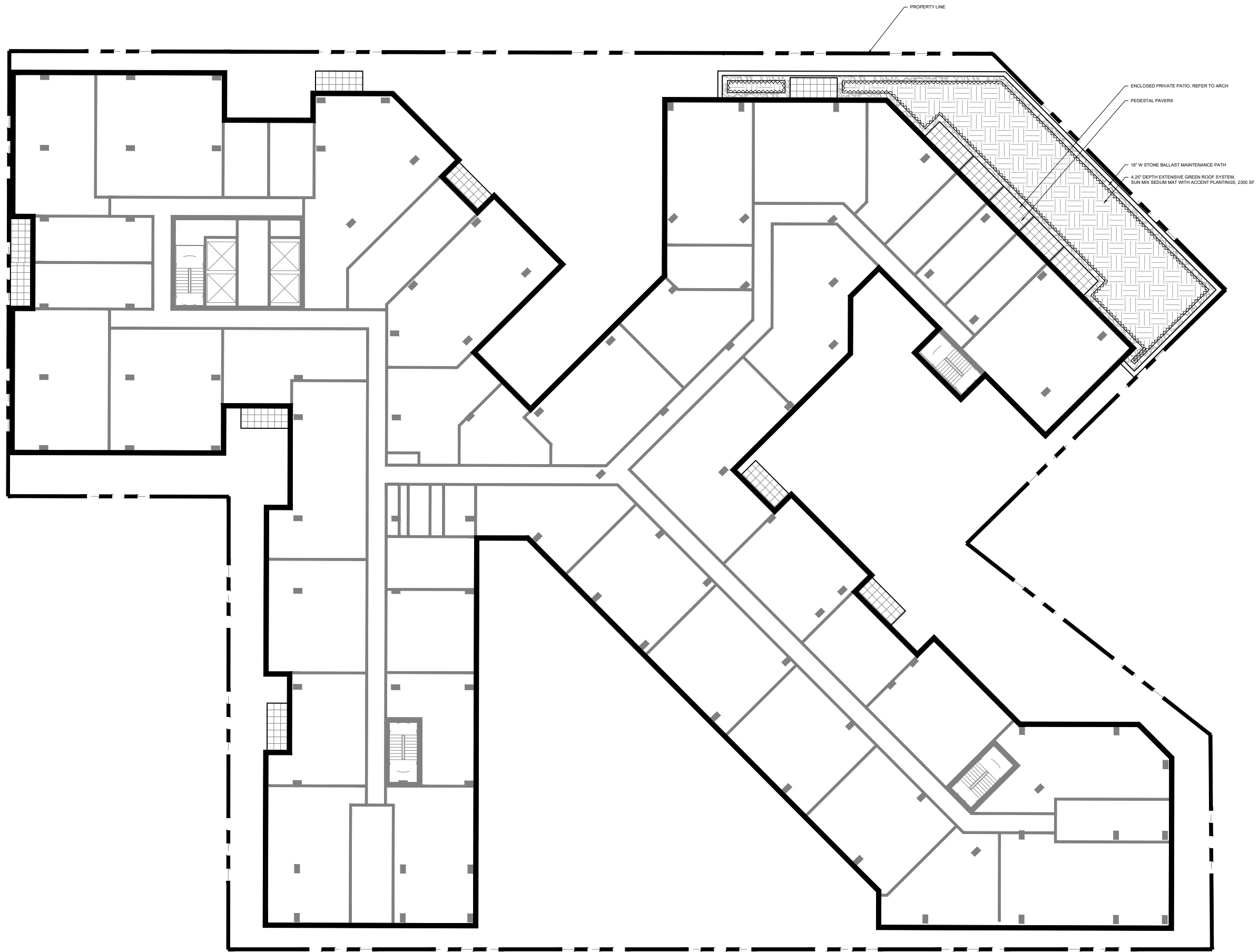
**PROPOSED LEVEL 3 PLANTING PLAN**

MADISON, WISCONSIN • JULY 14, 2021



**A33**

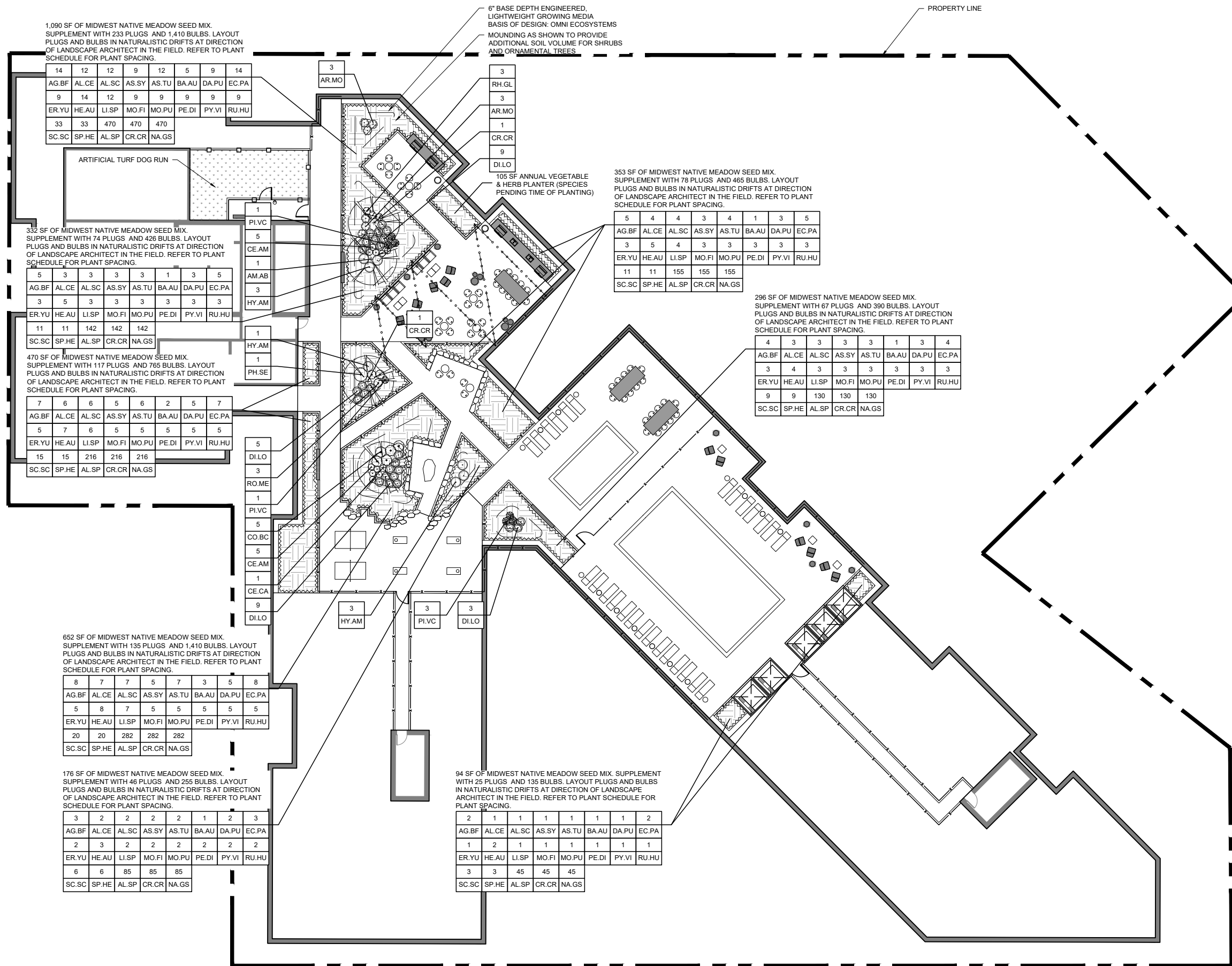
















PLANT SCHEDULE - LEVEL 2						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHADE MIX SEDUM MAT WITH ACCENT PLANTINGS						
-	6,844 SF	Sedum mat with 1 accent plant per 2 SF	As supplied by LiveRoof or approved equal			min. 95% coverage
-	380	Allium cernuum	Nodding Onion	4" pot	plug	accent
-	380	Aquilegia canadensis	Red Columbine	4" pot	plug	accent
-	380	Aster cordifolius	Heart Leaved Aster	4" pot	plug	accent
-	380	Carex eburnea	Bristleleaf Sedge	4" pot	plug	accent
-	380	Carex pennsylvanica	Pennsylvania Sedge	4" pot	plug	accent
-	380	Carex radiata	Eastern Star Sedge	4" pot	plug	accent
-	380	Geranium maculatum	Wild Geranium	4" pot	plug	accent
-	380	Heuchera americana	American Alumroot	4" pot	plug	accent
-	380	Phlox divaricata	Wild Blue Phlox	4" pot	plug	accent
-	-	Sedum album 'Green Tide'	Green Tide Stonecrop	carpet	-	
-	-	Sedum ellacombianum	Yellow Stonecrop	carpet	-	
-	-	Sedum hybridum 'Immergrunchen'	Little Evergreen Stonecrop	carpet	-	
-	-	Sedum kamtschaticum	Orange Stonecrop	carpet	-	
-	-	Sedum spurium 'John Creech'	John Creech Stonecrop	carpet	-	
-	-	Sedum spurium 'Royal Pink'	Royal Pink Stonecrop	carpet	-	
-	-	Sedum spurium 'Bronze Beauty'	Bronze Beauty Stonecrop	carpet	-	
-	-	Sedum spurium 'Cinnabar'	Cinnabar Stonecrop	carpet	-	
SUN MIX SEDUM MAT WITH ACCENT PLANTINGS						
-	2,578 SF	Sedum mat with 1 accent plant per 2 SF	As supplied by LiveRoof or approved equal			min. 95% coverage
-	86	Allium cernuum	Nodding Onion	4" pot	plug	accent
-	86	Allium schoenoprasum 'Forescate'	Forescate Chives	4" pot	plug	accent
-	86	Antennaria neglecta	Prairie Pussytoes	4" pot	plug	
-	86	Coreopsis lanceolata	Lanceleaf Coreopsis	4" pot	plug	accent
-	86	Dalea purpureus	Purple Prairie Clover	4" pot	plug	accent
-	86	Eragrostis spectabilis	Purple Lovegrass	4" pot	plug	accent
-	86	Fragaria virginiana	Wild Strawberry	4" pot	plug	accent
-	86	Geum triflorum	Prairie Smoke	4" pot	plug	
-	86	Heuchera richardsonii	Richard's Coral Bells	4" pot	plug	
-	86	Koeleria macrantha	Prairie June Grass	4" pot	plug	
-	86	Ruellia humilis	Wild Petunia	4" pot	plug	
-	86	Schizachyrium scoparium	Little Bluestem	4" pot	plug	
-	86	Sporobolus heterolepis	Prairie Dropseed	4" pot	plug	
-	86	Talinum calycinum	Rock Pink	4" pot	plug	accent
-	86	Tradescantia ohiensis	Ohio Spiderwort	4" pot	plug	accent
-	-	Sedum album 'Purple Ice'	Purple Ice Stonecrop	carpet	-	
-	-	Sedum album 'Coral Carpet'	Coral Carpet Stonecrop	carpet	-	
-	-	Sedum spurium 'Bronze Beauty'	Bronze Beauty Stonecrop	carpet	-	
-	-	Sedum spurium 'Cinnabar'	Cinnabar Stonecrop	carpet	-	
-	-	Sedum spurium 'Wood Rose'	Wood Rose Stonecrop	carpet	-	

PLANT SCHEDULE NOTES:  
SUBMIT PLANT MATERIAL PRODUCT DATA FOR REVIEW AND APPROVAL BY LA, AOR, & OWNER'S REP PRIOR TO PURCHASE AND INSTALLATION.  
INCLUDE PHOTOS AND NOTE HEIGHTS AND WIDTHS OF ALL PLANT MATERIAL.  
PROVIDE PLANT LIST AND SUPPLYING NURSERIES / GROWERS FOR EACH ITEM.  
ALL PLANT LOCATIONS SHALL BE FINALIZED, FACED, AND APPROVED BY LA IN THE FIELD PRIOR TO INSTALLATION.  
ACCENT PLUGS MAY BE PRE-GROWN INTO SEDUM MATS IN LIEU OF BEING 'PLUGGED' INTO SEDUM MATS ON-SITE.

PLANT SCHEDULE - LEVEL 3						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHADE MIX SEDUM MAT WITH ACCENT PLANTINGS						
-	4,231 SF	Sedum mat with 1 accent plant per 2 SF	As supplied by LiveRoof or approved equal			min. 95% coverage
-	235	Allium cernuum	Nodding Onion	4" pot	plug	accent
-	235	Aquilegia canadensis	Red Columbine	4" pot	plug	accent
-	235	Aster cordifolius	Heart Leaved Aster	4" pot	plug	accent
-	235	Carex eburnea	Bristleleaf Sedge	4" pot	plug	accent
-	235	Carex pennsylvanica	Pennsylvania Sedge	4" pot	plug	accent
-	235	Carex radiata	Eastern Star Sedge	4" pot	plug	accent
-	235	Geranium maculatum	Wild Geranium	4" pot	plug	accent
-	235	Heuchera americana	American Alumroot	4" pot	plug	accent
-	235	Phlox divaricata	Wild Blue Phlox	4" pot	plug	accent
-	-	Sedum album 'Green Tide'	Green Tide Stonecrop	carpet	-	
-	-	Sedum ellacombianum	Yellow Stonecrop	carpet	-	
-	-	Sedum hybridum 'Immergrunchen'	Little Evergreen Stonecrop	carpet	-	
-	-	Sedum kamtschaticum	Orange Stonecrop	carpet	-	
-	-	Sedum spurium 'John Creech'	John Creech Stonecrop	carpet	-	
-	-	Sedum spurium 'Royal Pink'	Royal Pink Stonecrop	carpet	-	
-	-	Sedum spurium 'Bronze Beauty'	Bronze Beauty Stonecrop	carpet	-	
-	-	Sedum spurium 'Cinnabar'	Cinnabar Stonecrop	carpet	-	

PLANT SCHEDULE NOTES:  
SUBMIT PLANT MATERIAL PRODUCT DATA FOR REVIEW AND APPROVAL BY LA, AOR, & OWNER'S REP PRIOR TO PURCHASE AND INSTALLATION.  
INCLUDE PHOTOS AND NOTE HEIGHTS AND WIDTHS OF ALL PLANT MATERIAL.  
PROVIDE PLANT LIST AND SUPPLYING NURSERIES / GROWERS FOR EACH ITEM.  
ALL PLANT LOCATIONS SHALL BE FINALIZED, FACED, AND APPROVED BY LA IN THE FIELD PRIOR TO INSTALLATION.  
ACCENT PLUGS MAY BE PRE-GROWN INTO SEDUM MATS IN LIEU OF BEING 'PLUGGED' INTO SEDUM MATS ON-SITE.

PLANT SCHEDULE - LEVEL 4						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SUN MIX SEDUM MAT WITH ACCENT PLANTINGS						
-	2,300 SF	Sedum mat with 1 accent plant per 2 SF	As supplied by LiveRoof or approved equal			min. 95% coverage
-	77	Allium cernuum	Nodding Onion	4" pot	plug	accent
-	77	Allium schoenoprasum 'Forescate'	Forescate Chives	4" pot	plug	accent
-	77	Antennaria neglecta	Prairie Pussytoes	4" pot	plug	
-	77	Coreopsis lanceolata	Lanceleaf Coreopsis	4" pot	plug	accent
-	77	Dalea purpureus	Purple Prairie Clover	4" pot	plug	accent
-	77	Eragrostis spectabilis	Purple Lovegrass	4" pot	plug	accent
-	77	Fragaria virginiana	Wild Strawberry	4" pot	plug	accent
-	77	Geum triflorum	Prairie Smoke	4" pot	plug	
-	77	Heuchera richardsonii	Richard's Coral Bells	4" pot	plug	
-	77	Koeleria macrantha	Prairie June Grass	4" pot	plug	
-	77	Ruellia humilis	Wild Petunia	4" pot	plug	
-	77	Schizachyrium scoparium	Little Bluestem	4" pot	plug	
-	77	Sporobolus heterolepis	Prairie Dropseed	4" pot	plug	
-	77	Talinum calycinum	Rock Pink	4" pot	plug	accent
-	77	Tradescantia ohiensis	Ohio Spiderwort	4" pot	plug	accent
-	-	Sedum album 'Purple Ice'	Purple Ice Stonecrop	carpet	-	
-	-	Sedum album 'Coral Carpet'	Coral Carpet Stonecrop	carpet	-	
-	-	Sedum spurium 'Bronze Beauty'	Bronze Beauty Stonecrop	carpet	-	
-	-	Sedum spurium 'Cinnabar'	Cinnabar Stonecrop	carpet	-	
-	-	Sedum spurium 'Wood Rose'	Wood Rose Stonecrop	carpet	-	

PLANT SCHEDULE NOTES:  
SUBMIT PLANT MATERIAL PRODUCT DATA FOR REVIEW AND APPROVAL BY LA, AOR, & OWNER'S REP PRIOR TO PURCHASE AND INSTALLATION.  
INCLUDE PHOTOS AND NOTE HEIGHTS AND WIDTHS OF ALL PLANT MATERIAL.  
PROVIDE PLANT LIST AND SUPPLYING NURSERIES / GROWERS FOR EACH ITEM.  
ALL PLANT LOCATIONS SHALL BE FINALIZED, FACED, AND APPROVED BY LA IN THE FIELD PRIOR TO INSTALLATION.  
ACCENT PLUGS MAY BE PRE-GROWN INTO SEDUM MATS IN LIEU OF BEING 'PLUGGED' INTO SEDUM MATS ON-SITE.





PLANT SCHEDULE - LEVEL 7						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
UNDERSTORY TREES						
AM.AB	2	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	BB	8-10' ht	7-13 cane; rootball shall not exceed 48" dia. & 24" depth
BE.FV	2	<i>Betula nigra</i> 'Fox Valley'	Little King River Birch	B&B/cont	6-8' ht	5-7 cane; rootball shall not exceed 30" dia. & 24" depth
CE.CA	3	<i>Cercis canadensis</i>	Eastern Redbud	B&B/cont	6-8' ht	nothern strain only; 5-7 cane; rootball shall not exceed 30" dia. & 24" depth
CR.CR	1	<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	B&B/cont	1.5" - 2" cal.	rootball shall not exceed 30" dia. & 24" depth
DECIDUOUS SHRUBS						
AR.MO	9	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Chokeberry	cont	#3; min 24" ht	30" o.c.
CE.AM	0	<i>Ceanothus americanus</i>	New Jersey Tea	cont	#3; min 15" ht	24" o.c.
CO.BC	10	<i>Cornus sericea</i> 'Bergeson Compact'	Bergeson Compact Redosier Dogwood	cont	#3; min 24" ht	36" o.c.
DI.LO	32	<i>Diervilla lonicera</i>	Dwarf Bush-honeysuckle	cont	#3; min 15" ht	30" o.c.
HY.AM	12	<i>Hypericum kalmianum</i> 'Ames'	Ames St. Johnswort	cont	#3; min 15" ht	36" o.c.
PH.SE	4	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Ninebark	cont	#3; min 24" ht	48" o.c.
PR.AM	5	<i>Prunus americana</i>	American Plum	cont	#7; min 36" ht	48" o.c.
RH.GL	16	<i>Rhus aromatica</i> 'Gro-Low'	Grow Low Fragrant Sumac	cont	#2; min 15" ht	30" o.c.
RH.BA	3	<i>Rhus typhina</i> 'Bailtiger'	Tiger Eyes Cutleaf Staghorn Sumac	cont	#7; min. 36" ht	48" o.c.
RH.TY	6	<i>Rhus typhina</i>	Staghorn Sumac	B&B/cont	4' - 8' ht	rootball shall not exeed 18" dia. x 18" depth; vary sizes equally; 60" o.c.
RO.ME	3	<i>Rosa rugosa</i> 'Meitozaure'	Raspberry Rugostar Rose	cont	#3; min 15" ht	30" o.c.
EVERGREEN SHRUBS						
JU.VI	7	<i>Juniperus chinensis</i> var. <i>sargentii</i> 'Viridis'	Green Sargent Juniper	cont	#5; min 18" w	24" o.c.
PI.VC	1	<i>Pinus mugo</i> 'Valley Cushion'	Valley Cushion Mugo Pine	cont	18-24" ht x 18" w	24" o.c.
ORNAMENTAL GRASSES, PERENNIALS, & GROUNDCOVERS						
AG.BF	72	<i>Agastache</i> 'Blue Fortune'	Blue Fortune Anise Hyssop	plug	4" cell	18" o.c.
AL.CE	47	<i>Allium cernuum</i>	Nodding Onion	plug	4" cell	8" o.c.
AL.SC	47	<i>Allium schoenoprasum</i> 'Forescate'	Forescate Chives	plug	4" cell	12" o.c.
AS.SY	40	<i>Asclepias syriaca</i>	Common Milkweed	plug	4" cell	12" o.c.
AS.TU	52	<i>Asclepias tuberosa</i>	Butterfly Weed	plug	4" cell	12" o.c.
BA.AU	28	<i>Baptisia australis</i>	Blue False Indigo	cont	#3	24" o.c.
DA.PU	40	<i>Dalea purpurea</i>	Purple Prairie Clover	plug	4" cell	8" o.c.
EC.PA	72	<i>Echinacea pallida</i>	Pale Coneflower	plug	4" cell	15" o.c.
ER.YU	40	<i>Eryngium yuccifolium</i>	Rattlesnake Master	plug	4" cell	15" o.c.
HE.AU	72	<i>Heuchera</i> 'Autumn Bride'	Autumn Bride Heuchera	cont	#1	15" o.c.
LI.SP	47	<i>Liatris spicata</i>	Dense Blazing Star	plug	4" cell	12" o.c.
MO.FI	40	<i>Monarda fistulosa</i>	Wild Bergamot	plug	4" cell	18" o.c.
MO.PU	40	<i>Monarda punctata</i>	Horse Mint	plug	4" cell	12" o.c.
PE.DI	40	<i>Penstemon digitalis</i>	Foxglove Beardtongue	plug	4" cell	15" o.c.
PY.VI	40	<i>Pycnanthemum virginianum</i>	Mountain Mint	plug	4" cell	18" o.c.
RU.HU	40	<i>Ruellia humilis</i>	Wild Petunia	plug	4" cell	12" o.c.
SC.SC	132	<i>Schizachyrium scoparium</i>	Little Bluestem	plug	4" cell	18" o.c.
SP.HE	132	<i>Sporobolus heterolepis</i>	Prairie Dropseed	plug	4" cell	18" o.c.
MIDWEST NATIVE MEADOW SEED MIX (APPROX. 3,443 SF)						
-	-	<i>Coreopsis lanceolata</i>	Lance-leaved Coreopsis	seed	-	-
-	-	<i>Coreopsis tinctoria</i>	Plains Coreopsis	seed	-	-
-	-	<i>Dalea candida</i>	White Prairie Clover	seed	-	-
-	-	<i>Dalea purpurea</i>	Purple Prairie Clover	seed	-	-
-	-	<i>Echinacea pallida</i>	Pale Coneflower	seed	-	-
-	-	<i>Echinacea purpurea</i>	Purple Coneflower	seed	-	-
-	-	<i>Eupatorium perfoliatum</i>	Common Boneset	seed	-	-
-	-	<i>Helioopsis helianthoides</i>	Early Sunflower	seed	-	-
-	-	<i>Liatris spicata</i>	Dense Blazing Star	seed	-	-
-	-	<i>Monarda fistulosa</i>	Wild Bergamont	seed	-	-
-	-	<i>Panicum virgatum</i>	Switchgrass	seed	-	-
-	-	<i>Ratibida pinnata</i>	Yellow Coneflower	seed	-	-
-	-	<i>Rudbeckia hirta</i>	Black-eyed Susan	seed	-	-
-	-	<i>Solidago canadensis</i>	Canada Goldenrod	seed	-	-
-	-	<i>Symphyotrichum ericoides</i>	Heath Aster	seed	-	-
-	-	<i>Symphyotrichum laeve</i>	Smooth Blue Aster	seed	-	-
-	-	<i>Symphyotrichum novae-angliae</i>	New England Aster	seed	-	-
-	-	<i>Symphyotrichum oolentangiense</i>	Sky Blue Aster	seed	-	-
-	-	<i>Verbena hastata</i>	Blue Vervain	seed	-	-
-	-	-	Wheat (annual cover crop)	seed	-	cover crop sown with seed mix
BULBS						
AL.SP	1702	<i>Allium sphaerocephalon</i>	Drumstick Allium	bulb	6 cm +	plant 3" deep; 9 per sf; clusters of 40-50
CR.HC	1702	<i>Crocus</i> 'Hokus Crocus' MIX	Hocus Crocus Crocus Mix	bulb	9-10 cm	plant 3" deep; 9 per sf; clusters of 40-50
NA.GS	1702	<i>Narcissus</i> 'Gold Shoulder' MIX	Gold Shoulder Daffodil Mix	bulb	14-16 cm	plant 6" deep; 3-4 per sf; clusters of 30-40

PLANT SCHEDULE NOTES:  
SUBMIT PLANT MATERIAL PRODUCT DATA FOR REVIEW AND APPROVAL BY LA, AOR, & OWNER'S REP PRIOR TO PURCHASE AND INSTALLATION.  
INCLUDE PHOTOS AND NOTE HEIGHTS AND WIDTHS OF ALL PLANT MATERIAL.  
PROVIDE PLANT LIST AND SUPPLYING NURSERIES / GROWERS FOR EACH ITEM.  
ALL PLANT LOCATIONS SHALL BE FINALIZED, FACED, AND APPROVED BY LA IN THE FIELD PRIOR TO INSTALLATION.  
ANTICIPATED 80% SEED COVERAGE WITHIN 9 WEEKS OF INSTALLATION.

PLANT SCHEDULE - ROOF LEVEL						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
UNDERSTORY TREES						
AM.AB	1	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	BB	8-10' ht	7-13 cane; rootball shall not exceed 48" dia. & 24" depth
CE.CA	1	<i>Cercis canadensis</i>	Eastern Redbud	B&B/cont	6-8' ht	nothern strain only; 5-7 cane; rootball shall not exceed 30" dia. & 24" depth
CR.CR	2	<i>Crataegus crus-galli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	B&B/cont	1.5" cal.	rootball shall not exceed 30" dia. & 24" depth
DECIDUOUS SHRUBS						
AR.MO	6	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Chokeberry	cont	#3; min 24" ht	30" o.c.
CE.AM	10	<i>Ceanothus americanus</i>	New Jersey Tea	cont	#3; min 15" ht	24" o.c.
CO.BC	5	<i>Cornus sericea</i> 'Bergeson Compact'	Bergeson Compact Redosier Dogwood	cont	#3; min 24" ht	36" o.c.
DI.LO	26	<i>Diervilla lonicera</i>	Dwarf Bush-honeysuckle	cont	#3; min 15" ht	30" o.c.
HY.AM	7	<i>Hypericum kalmianum</i> 'Ames'	Ames St. Johnswort	cont	#3; min 15" ht	36" o.c.
PH.SE	1	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Ninebark	cont	#3; min 24" ht	48" o.c.
RH.GL	3	<i>Rhus aromatica</i> 'Gro-Low'	Grow Low Fragrant Sumac	cont	#2; min 15" ht	30" o.c.
RO.ME	3	<i>Rosa rugosa</i> 'Meitozaure'	Raspberry Rugostar Rose	cont	#3; min 15" ht	30" o.c.
EVERGREEN SHRUBS						
PI.VC	5	<i>Pinus mugo</i> 'Valley Cushion'	Valley Cushion Mugo Pine	cont	18-24" ht x 18" w	24" o.c.
ORNAMENTAL GRASSES, PERENNIALS, & GROUNDCOVERS						
AG.BF	48	<i>Agastache</i> 'Blue Fortune'	Blue Fortune Anise Hyssop	plug	4" cell	18" o.c.
AL.CE	38	<i>Allium cernuum</i>	Nodding Onion	plug	4" cell	8" o.c.
AL.SC	38	<i>Allium schoenoprasum</i> 'Forescate'	Forescate Chives	plug	4" cell	12" o.c.
AS.SY	31	<i>Asclepias syriaca</i>	Common Milkweed	plug	4" cell	12" o.c.
AS.TU	38	<i>Asclepias tuberosa</i>	Butterfly Weed	plug	4" cell	12" o.c.
BA.AU	15	<i>Baptisia australis</i>	Blue False Indigo	cont	#3	24" o.c.
DA.PU	31	<i>Dalea purpurea</i>	Purple Prairie Clover	plug	4" cell	8" o.c.
EC.PA	48	<i>Echinacea pallida</i>	Pale Coneflower	plug	4" cell	15" o.c.
ER.YU	31	<i>Eryngium yuccifolium</i>	Rattlesnake Master	plug	4" cell	15" o.c.
HE.AU	48	<i>Heuchera</i> 'Autumn Bride'	Autumn Bride Heuchera	cont	#1	15" o.c.
LI.SP	38	<i>Liatris spicata</i>	Dense Blazing Star	plug	4" cell	12" o.c.
MO.FI	31	<i>Monarda fistulosa</i>	Wild Bergamot	plug	4" cell	18" o.c.
MO.PU	31	<i>Monarda punctata</i>	Horse Mint	plug	4" cell	12" o.c.
PE.DI	31	<i>Penstemon digitalis</i>	Foxglove Beardtongue	plug	4" cell	15" o.c.
PY.VI	31	<i>Pycnanthemum virginianum</i>	Mountain Mint	plug	4" cell	18" o.c.
RU.HU	31	<i>Ruellia humilis</i>	Wild Petunia	plug	4" cell	12" o.c.
SC.SC	108	<i>Schizachyrium scoparium</i>	Little Bluestem	plug	4" cell	18" o.c.
SP.HE	108	<i>Sporobolus heterolepis</i>	Prairie Dropseed	plug	4" cell	18" o.c.
MIDWEST NATIVE MEADOW SEED MIX (APPROX. 3,570 SF)						
-	-	<i>Coreopsis lanceolata</i>	Lance-leaved Coreopsis	seed	-	-
-	-	<i>Coreopsis tinctoria</i>	Plains Coreopsis	seed	-	-
-	-	<i>Dalea candida</i>	White Prairie Clover	seed	-	-
-	-	<i>Dalea purpurea</i>	Purple Prairie Clover	seed	-	-
-	-	<i>Echinacea pallida</i>	Pale Coneflower	seed	-	-
-	-	<i>Echinacea purpurea</i>	Purple Coneflower	seed	-	-
-	-	<i>Eupatorium perfoliatum</i>	Common Boneset	seed	-	-
-	-	<i>Helioopsis helianthoides</i>	Early Sunflower	seed	-	-
-	-	<i>Liatris spicata</i>	Dense Blazing Star	seed	-	-
-	-	<i>Monarda fistulosa</i>	Wild Bergamont	seed	-	-
-	-	<i>Panicum virgatum</i>	Switchgrass	seed	-	-
-	-	<i>Ratibida pinnata</i>	Yellow Coneflower	seed	-	-
-	-	<i>Rudbeckia hirta</i>	Black-eyed Susan	seed	-	-
-	-	<i>Solidago canadensis</i>	Canada Goldenrod	seed	-	-
-	-	<i>Symphyotrichum ericoides</i>	Heath Aster	seed	-	-
-	-	<i>Symphyotrichum laeve</i>	Smooth Blue Aster	seed	-	-
-	-	<i>Symphyotrichum novae-angliae</i>	New England Aster	seed	-	-
-	-	<i>Symphyotrichum oolentangiense</i>	Sky Blue Aster	seed	-	-
-	-	<i>Verbena hastata</i>	Blue Vervain	seed	-	-
-	-	-	Wheat (annual cover crop)	seed	-	cover crop sown with seed mix
BULBS						
AL.SP	1525	<i>Allium sphaerocephalon</i>	Drumstick Allium	bulb	6 cm +	plant 3" deep; 9 per sf; clusters of 40-50
CR.HC	1525	<i>Crocus</i> 'Hokus Crocus' MIX	Hocus Crocus Crocus Mix	bulb	9-10 cm	plant 3" deep; 9 per sf; clusters of 40-50
NA.GS	1525	<i>Narcissus</i> 'Gold Shoulder' MIX	Gold Shoulder Daffodil Mix	bulb	14-16 cm	plant 6" deep; 3-4 per sf; clusters of 30-40

PLANT SCHEDULE NOTES:  
SUBMIT PLANT MATERIAL PRODUCT DATA FOR REVIEW AND APPROVAL BY LA, AOR, & OWNER'S REP PRIOR TO PURCHASE AND INSTALLATION.  
INCLUDE PHOTOS AND NOTE HEIGHTS AND WIDTHS OF ALL PLANT MATERIAL.  
PROVIDE PLANT LIST AND SUPPLYING NURSERIES / GROWERS FOR EACH ITEM.  
ALL PLANT LOCATIONS SHALL BE FINALIZED, FACED, AND APPROVED BY LA IN THE FIELD PRIOR TO INSTALLATION.  
ANTICIPATED 80% SEED COVERAGE WITHIN 9 WEEKS OF INSTALLATION.



\*\*FOR FULL LIST OF PROPOSED SPECIES, SEE PLANT SCHEDULES

UNDERSTORY TREES



**Autumn Brilliance Serviceberry**  
*Amelanchier x grandiflora* 'Autumn Brilliance'



**Little King River Birch**  
*Betula nigra* 'Fox Valley'



**Eastern Redbud**  
*Cercis canadensis*



**Thornless Cockspur Hawthorn**  
*Crataegus crus-galli* var. *inermis*



**Quaking Aspen**  
*Populus tremuloides*

DECIDUOUS SHRUBS



**Iroquois Beauty Chokeberry**  
*Aronia melanocarpa* 'Morton'



**Dwarf Bush-honeysuckle**  
*Diervilla lonicera*



**Ames St. Johnswort**  
*Hypericum kalmianum* 'Ames'



**Staghorn Sumac**  
*Rhus typhina*



**Raspberry Rugostar Rose**  
*Rosa rugosa* 'Meitozaure'



\*\*FOR FULL LIST OF PROPOSED SPECIES, SEE PLANT SCHEDULES

ORNAMENTAL GRASSES, GROUNDCOVERS, AND PERENNIALS



**Butterfly Weed**  
*Asclepias tuberosa*



**Blue False Indigo**  
*Baptisia australis*



**Pale Coneflower**  
*Echinacea pallida*



**Wild Bergamot**  
*Monarda fistulosa*



**Little Bluestem**  
*Schizachyrium scoparium*

MIDWEST NATIVE MEADOW SEED MIX

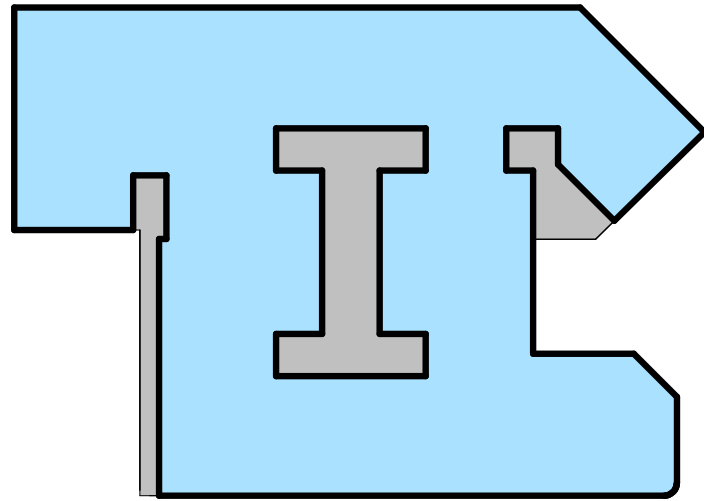


**Prairie Dropseed**  
*Sporobolus heterolepis*

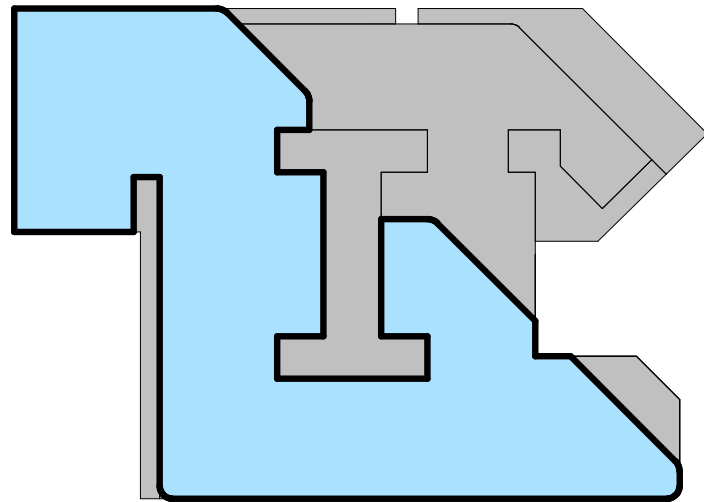


**Midwest Native Meadow Seedmix**

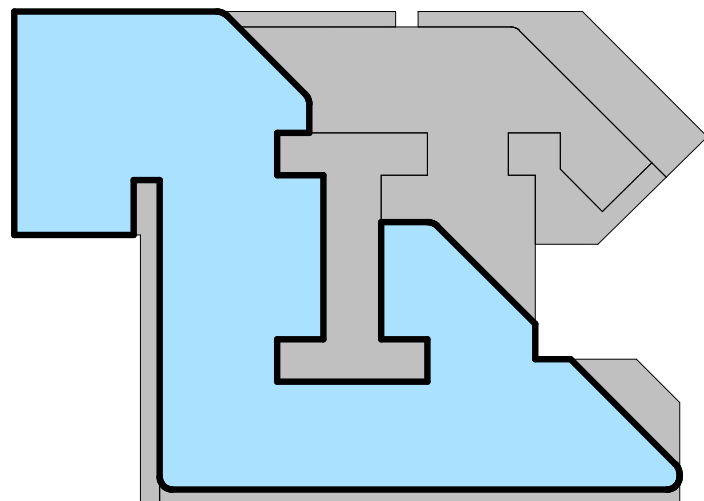




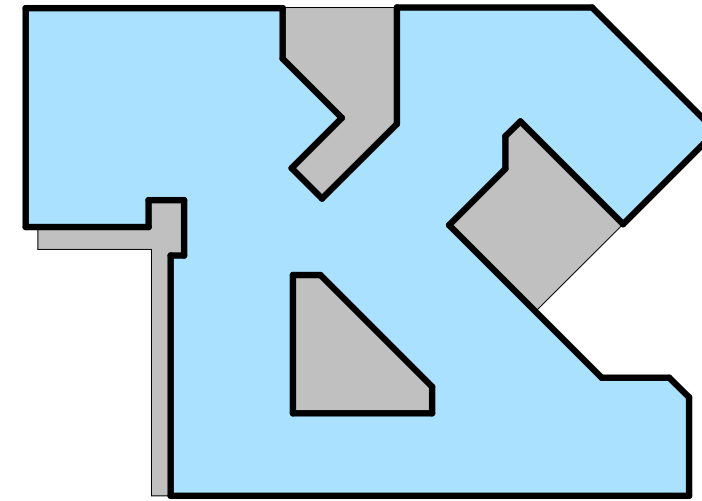
FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021) **LEVEL 02 PREVIOUS**



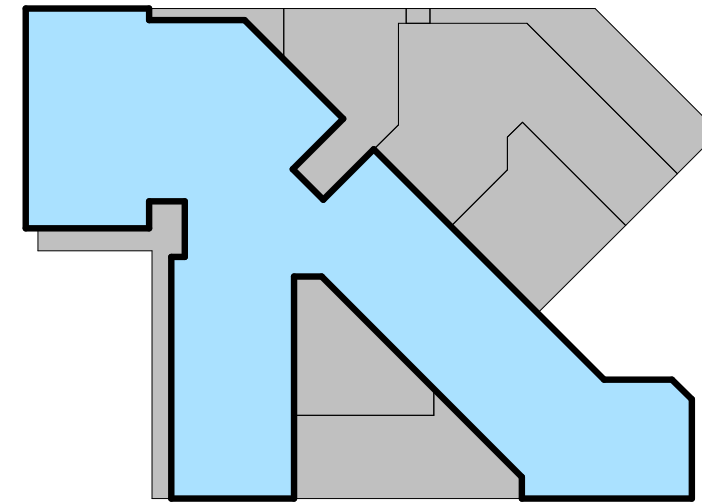
FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021) **LEVEL 07 PREVIOUS**



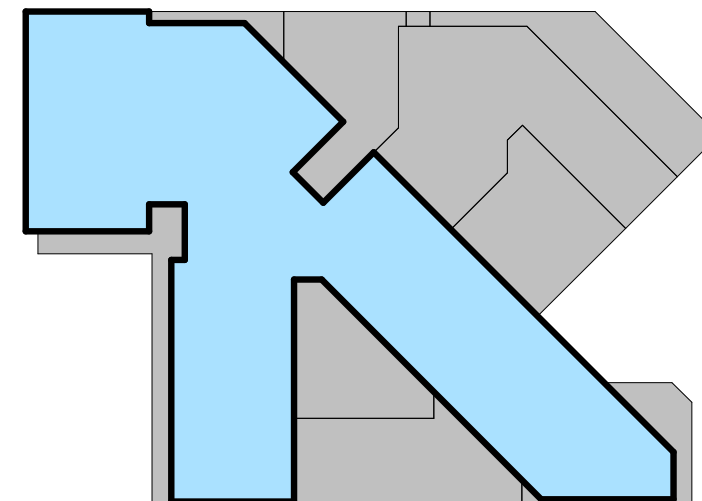
FROM UDC INFORMATIONAL PRESENTATION R1 (MAY, 12 2021) **LEVEL 10 PREVIOUS**



**LEVEL 02 CURRENT**



**LEVEL 07 CURRENT**



**LEVEL 10 CURRENT**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

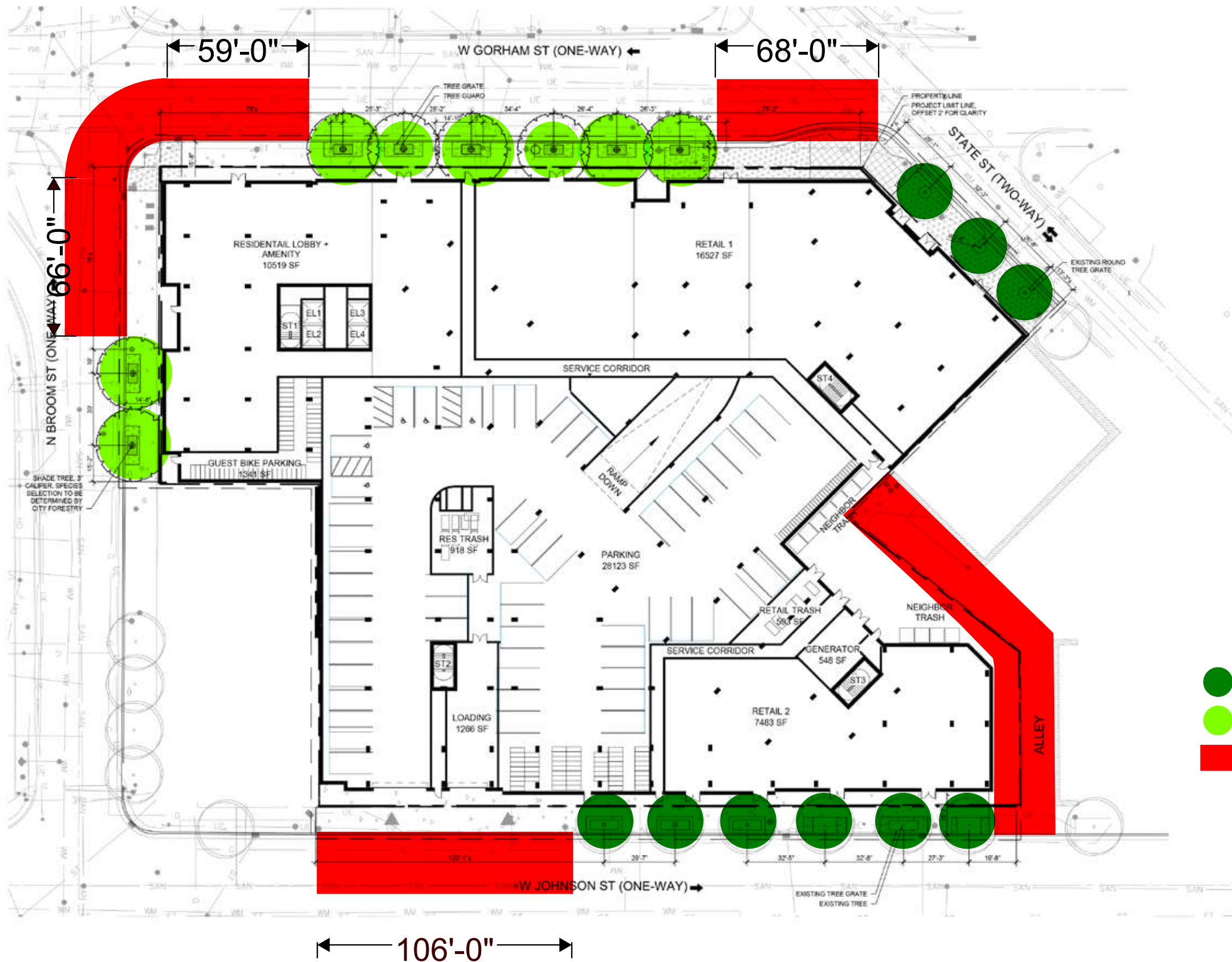
**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED LEVEL 1/SITE PLAN**

MADISON, WISCONSIN • JULY 14, 2021

**A42**





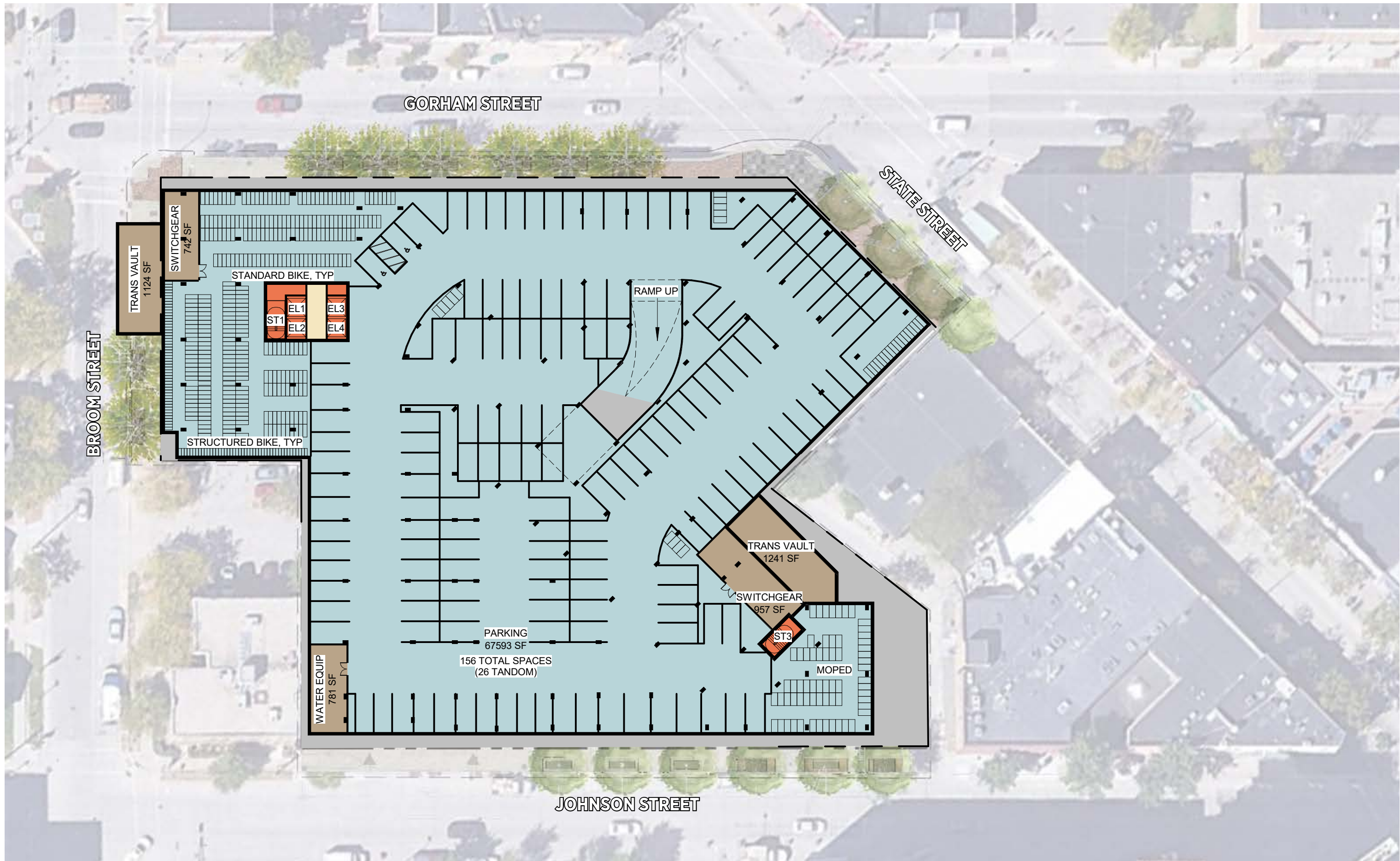
**NOTES:**

1. ALL EXISTING PARKWAY FURNISHINGS SHALL BE SALVAGED AND REINSTALLED IN THE SAME LOCATION IF REMOVAL IS REQUIRED FOR PURPOSES OF CONSTRUCTION.

## LEGEND

- EXISTING STREET TREE
- NEW STREET TREE
- 26'-0" WIDE FIRE APPARATUS ACCESS LANE





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED LOWER LEVEL**

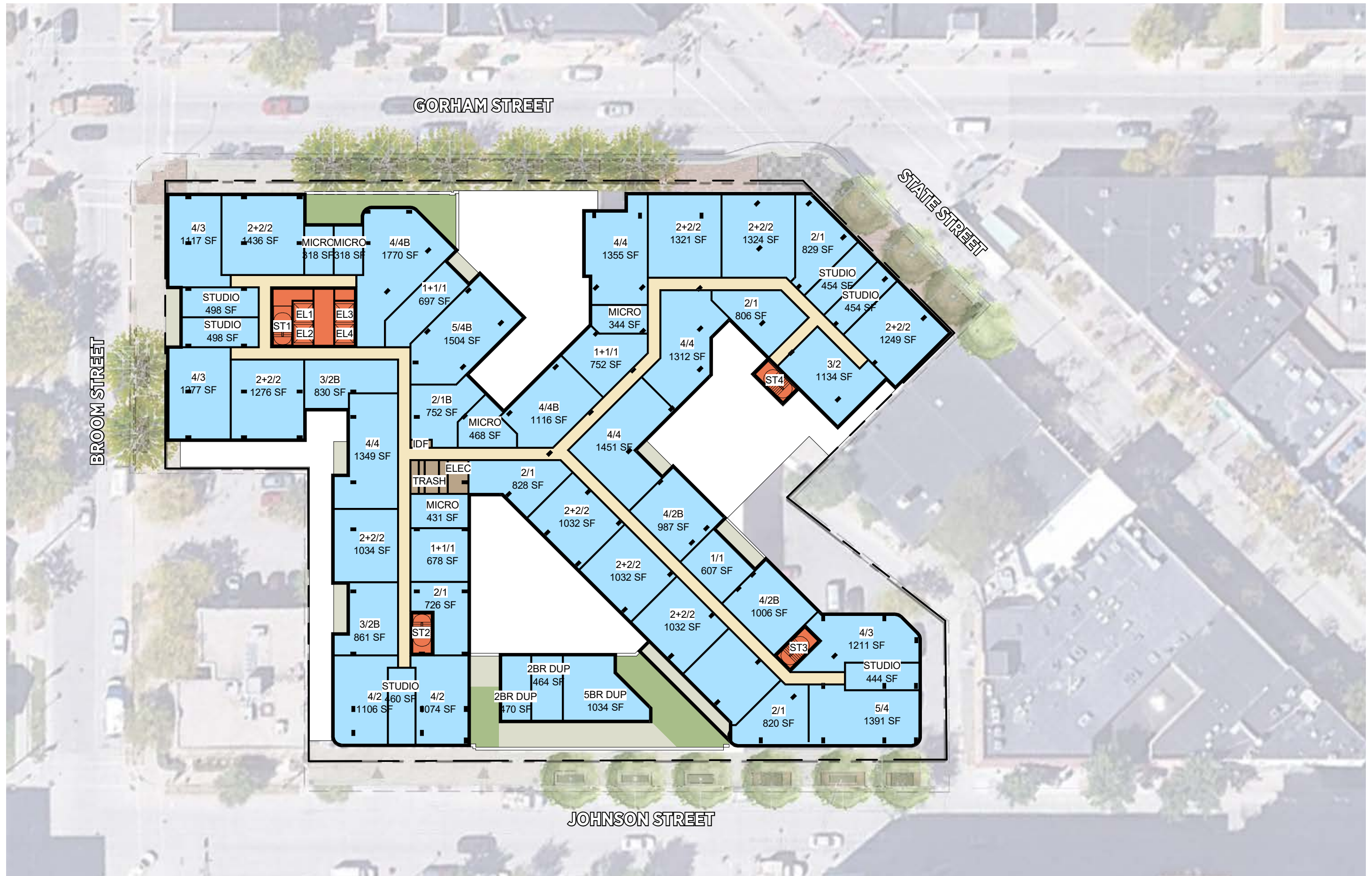
MADISON, WISCONSIN • JULY 14, 2021

**A44**

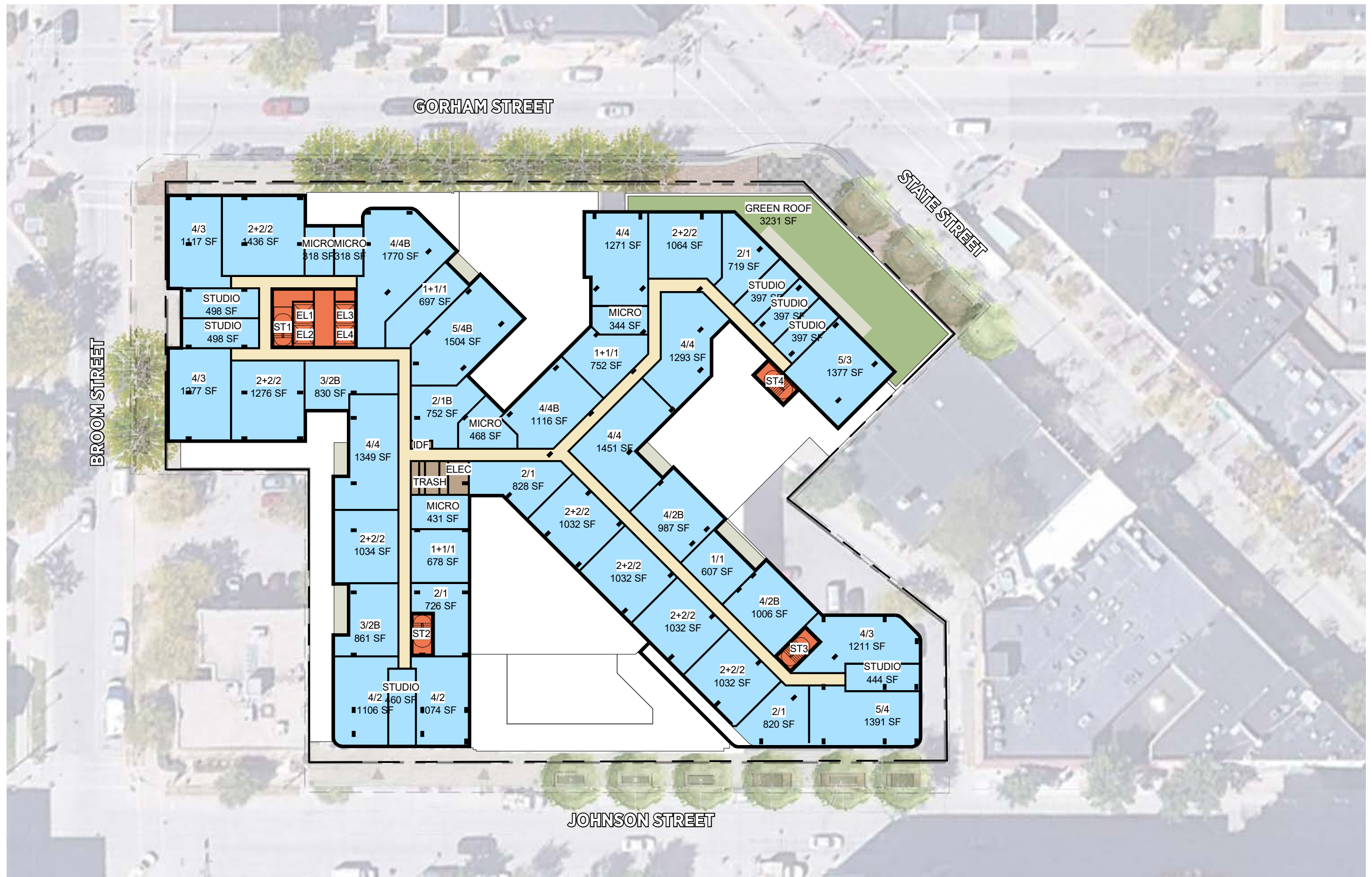




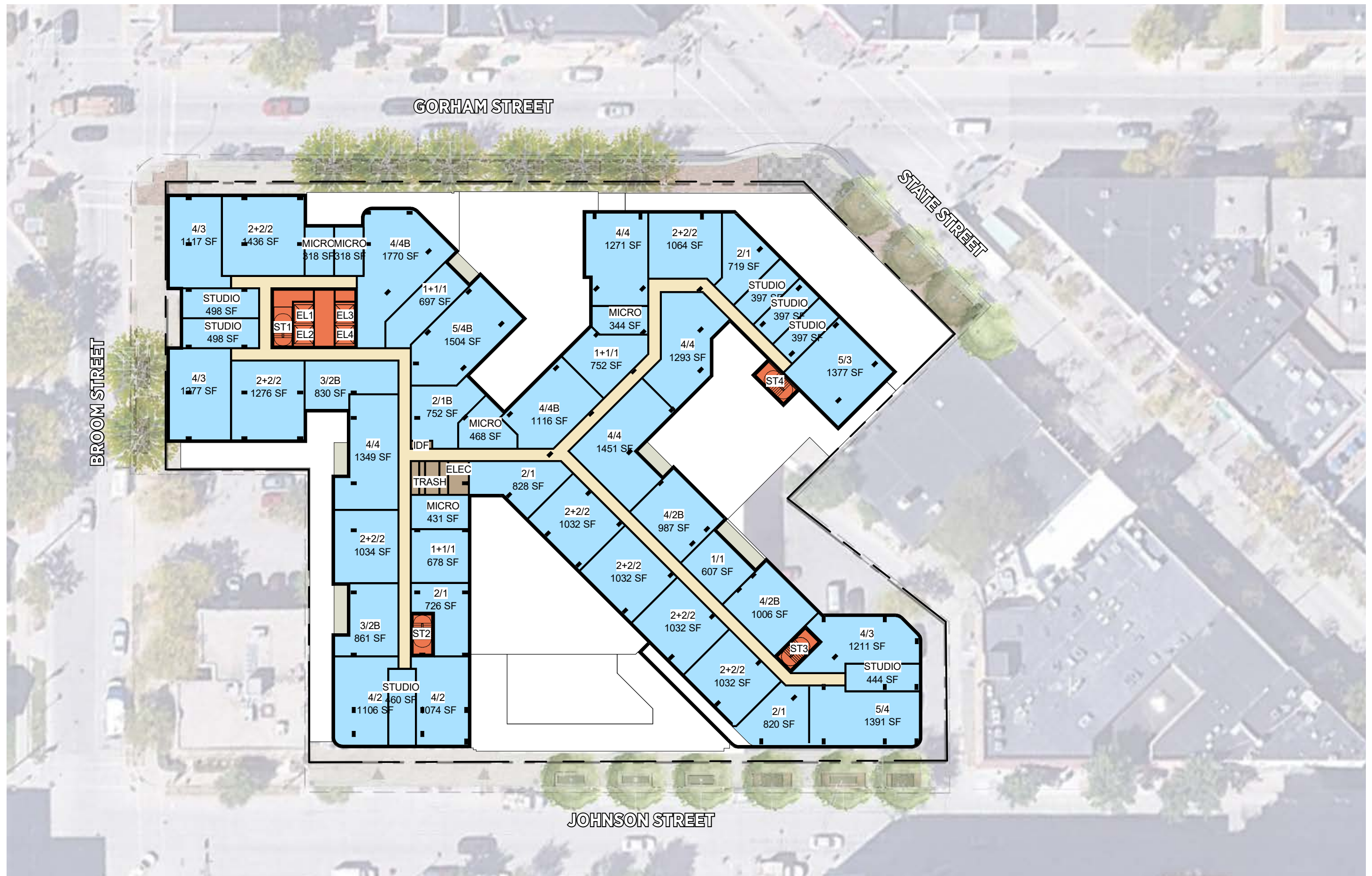




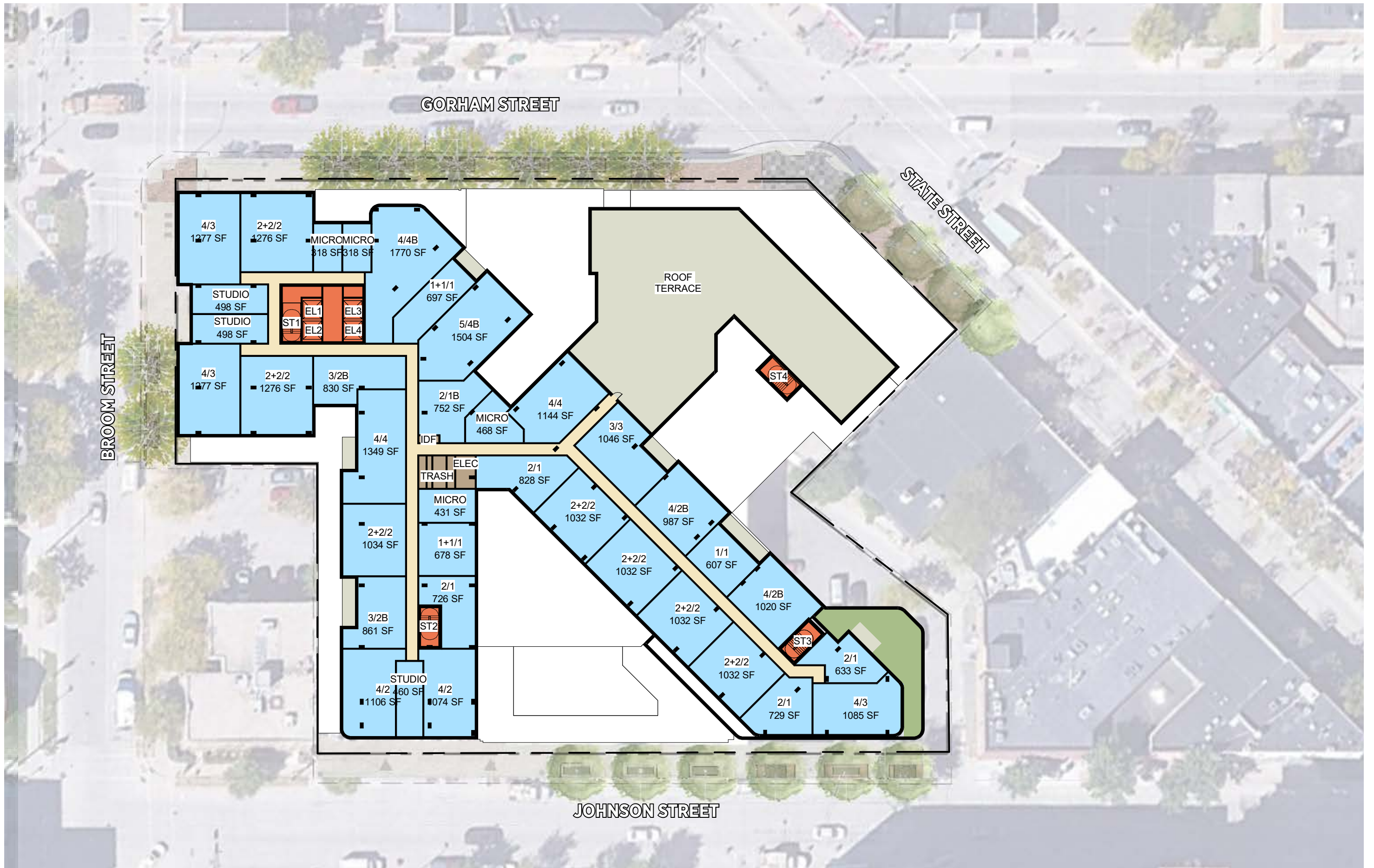








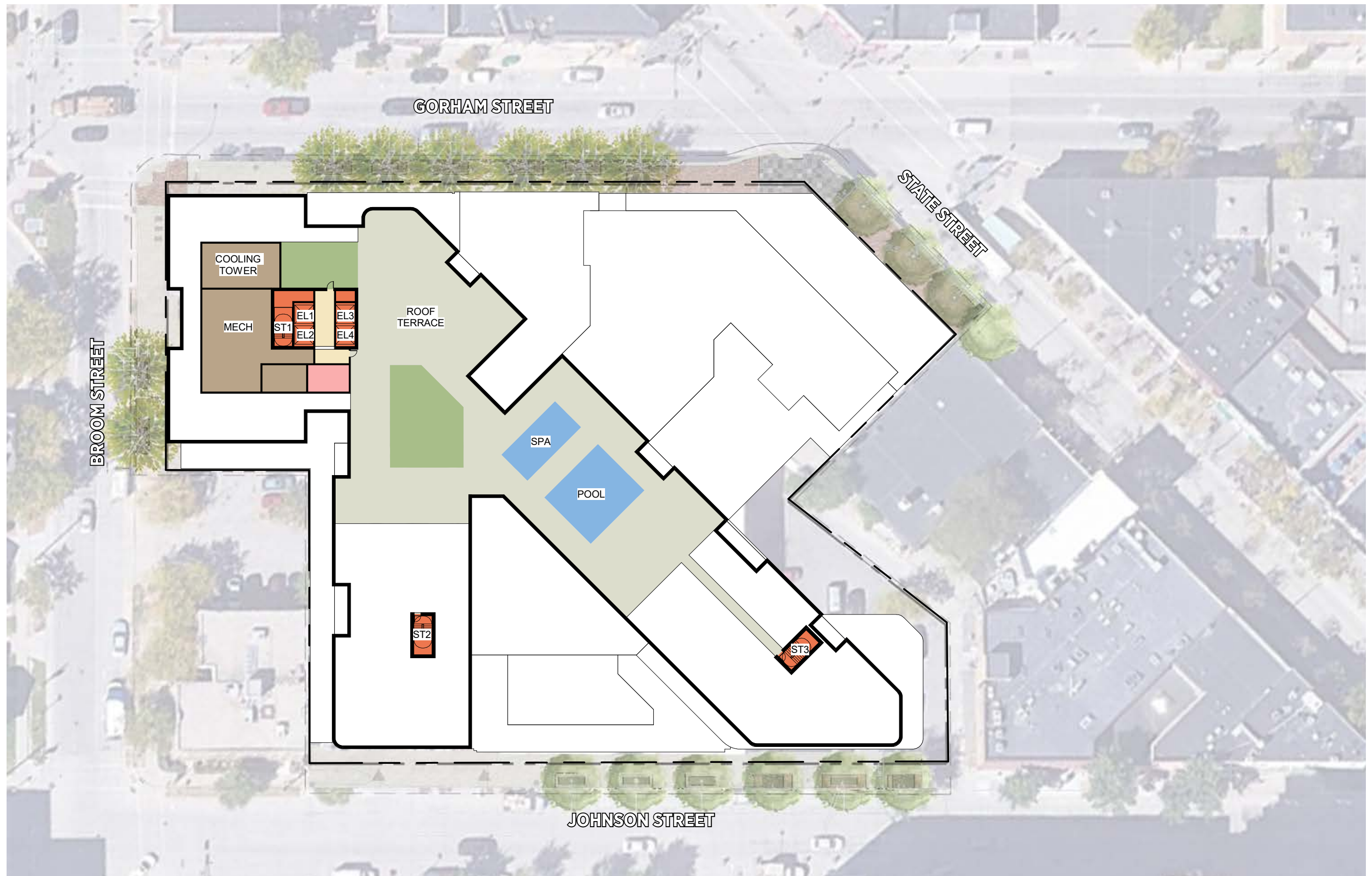












**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED RESIDENTIAL POOL-ROOF TERRACE**

MADISON, WISCONSIN • JULY 14, 2021

**A51**





**OLIV MADISON**

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

**PROPOSED STATE ST RETAIL ELEVATION**

MADISON, WISCONSIN • JULY 14, 2021

**A52**





- GL-01 ALUMINUM WINDOW SYSTEM
- GL-02 ALUMINUM STOREFRONT SYSTEM
- GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK
- BR-02 BRICK
- BR-03 BRICK
- BR-04 BRICK
- BR-05 BRICK (REBUILD)
- BR-06 BRICK (REBUILD)
- BR-07 BRICK (REBUILD)
- BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL
- MP-02 METAL PANEL





- GL-01 ALUMINUM WINDOW SYSTEM
- GL-02 ALUMINUM STOREFRONT SYSTEM
- GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK
- BR-02 BRICK
- BR-03 BRICK
- BR-04 BRICK
- BR-05 BRICK (REBUILD)
- BR-06 BRICK (REBUILD)
- BR-07 BRICK (REBUILD)
- BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL
- MP-02 METAL PANEL





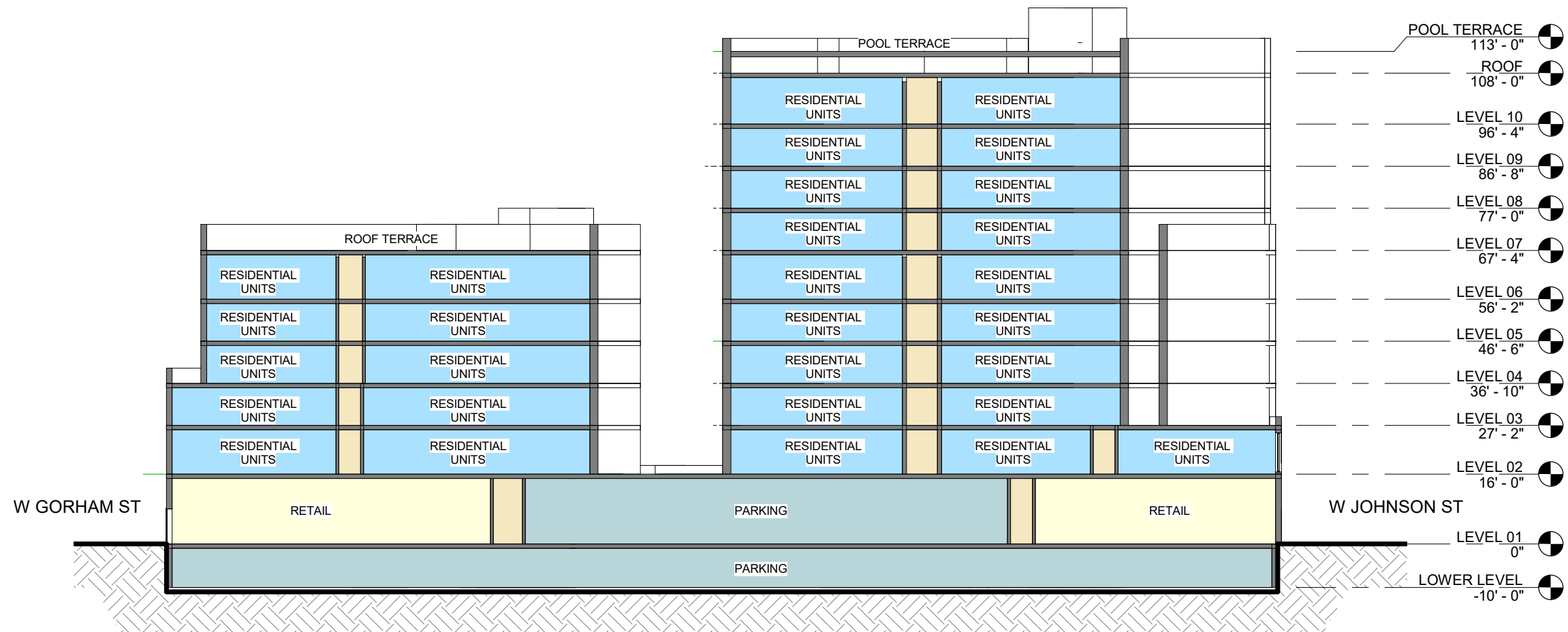
- GL-01 ALUMINUM WINDOW SYSTEM
- GL-02 ALUMINUM STOREFRONT SYSTEM
- GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK
- BR-02 BRICK
- BR-03 BRICK
- BR-04 BRICK
- BR-05 BRICK (REBUILD)
- BR-06 BRICK (REBUILD)
- BR-07 BRICK (REBUILD)
- BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL
- MP-02 METAL PANEL



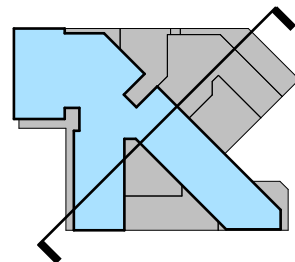
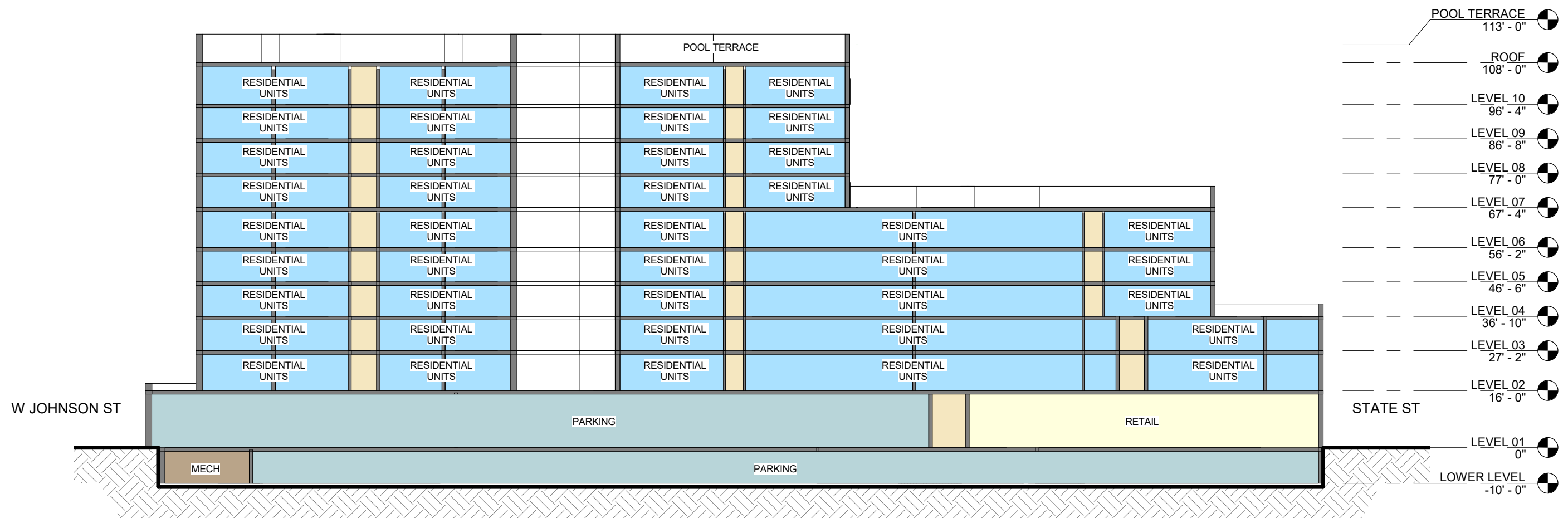


- GL-01 ALUMINUM WINDOW SYSTEM
- GL-02 ALUMINUM STOREFRONT SYSTEM
- GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK
- BR-02 BRICK
- BR-03 BRICK
- BR-04 BRICK
- BR-05 BRICK (REBUILD)
- BR-06 BRICK (REBUILD)
- BR-07 BRICK (REBUILD)
- BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL
- MP-02 METAL PANEL











																					OCCUPANTS																							
	5/4B (5 BR / 4 BA)	5/4 DUP (5BR / 4BA)	5/4 (5 BR / 4 BA)	5/3 (5BR / 3 BA)	4/4B (4BR / 4 BA)	4/4 (4BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2B (4 BR / 2 BA)	4/2 (3BR / 3BA)	3/3 (3BR 2BA)	3/2B (3BR 2BA)	3/2 (3BR 2BA)	2+2/2 (2 BR / 2 BA)	2/1B (2 BR / 1 BA)	2/2 DUP (2 BR / 1 BA)	2/1 (2 BR / 1 BA)	1+1/1 (1 BR / 1 BA)	1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL UNITS	5/4B (5 BR / 4 BA)	5/4 DUP (5BR / 4BA)	5/4 (5 BR / 4 BA)	5/3 (5BR / 3 BA)	4/4B (4BR / 4 BA)	4/4 (4BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2B (4 BR / 2 BA)	4/2 (3BR / 3BA)	3/3 (3BR 2BA)	3/2B (3BR 2BA)	3/2 (3BR 2BA)	2+2/2 (2 BR / 2 BA)	2/1B (2 BR / 1 BA)	2/2 DUP (2 BR / 1 BA)	2/1 (2 BR / 1 BA)	1+1/1 (1 BR / 1 BA)	1/1 (1 BR / 1 BA)	STUDIO	MICRO	TOTAL OCCUPANTS		
10	1	0	1	0	1	1	3	2	2	1	2	0	7	1	0	4	2	1	3	4	36	5	5	5	5	4	4	4	4	4	3	3	3	4	2	2	2	2	1	1	1	1	1	105
9	1	0	1	0	1	1	3	2	2	1	2	0	7	1	0	4	2	1	3	4	36	5	0	5	0	4	4	12	8	8	3	6	0	28	2	0	8	4	1	3	4	105		
8	1	0	1	0	1	1	3	2	2	1	2	0	7	1	0	4	2	1	3	4	36	5	0	5	0	4	4	12	8	8	3	6	0	28	2	0	8	4	1	3	4	105		
7	1	0	0	0	1	2	3	2	2	1	2	0	7	1	0	4	2	1	3	4	36	5	0	0	0	4	8	12	8	8	3	6	0	28	2	0	8	4	1	3	4	104		
6	1	0	1	1	2	4	3	2	2	0	2	0	8	1	0	4	3	1	7	5	47	5	0	5	5	8	16	12	8	8	0	6	0	32	2	0	8	6	1	7	5	134		
5	1	0	1	1	2	4	3	2	2	0	2	0	8	1	0	4	3	1	7	5	47	5	0	5	5	8	16	12	8	8	0	6	0	32	2	0	8	6	1	7	5	134		
4	1	0	1	1	2	4	3	2	2	0	2	0	8	1	0	4	3	1	7	5	47	5	0	5	5	8	16	12	8	8	0	6	0	32	2	0	8	6	1	7	5	134		
3	1	0	1	0	2	4	3	2	2	0	2	1	10	1	0	5	3	1	6	5	49	5	0	5	0	8	16	12	8	8	0	6	3	40	2	0	10	6	1	6	5	141		
2	1	1	1	0	1	4	3	2	2	1	0	3	1	8	2	2	4	2	1	12	52	5	5	5	0	4	16	12	8	4	0	9	3	32	4	4	8	4	1	12	3	139		
Total:	9	1	8	3	13	25	27	18	17	4	19	2	70	10	2	37	22	9	51	39	386	45	5	40	15	52	100	108	72	68	12	57	6	280	20	4	74	44	9	51	39	1101		
	2.3%	0.3%	2.1%	0.8%	3.4%	6.5%	7.0%	4.7%	4.4%	1.0%	4.9%	0.5%	18.1%	2.6%	0.5%	9.6%	5.7%	2.3%	13.2%	10.1%	100%	4.1%	0.5%	3.6%	1.4%	4.7%	9.1%	9.8%	6.5%	6.2%	1.1%	5.2%	0.5%	25.4%	1.8%	0.4%	6.7%	4.0%	0.8%	4.6%	3.5%	100%		

UNIT TYPE AND BATHROOM RATIO																					
5/4B (5 BR / 4 BA)	5/4 DUP (5BR / 4BA)	5/4 (5 BR / 4 BA)	5/3 (5BR / 3 BA)	4/4B (4BR / 4 BA)	4/4 (4BR / 4 BA)	4/3 (4 BR / 3 BA)	4/2B (4 BR / 2 BA)	4/2 (3BR / 3BA)	3/3 (3BR 2BA)	3/2B (3BR 2BA)	3/2 (3BR 2BA)	2+2/2 (2 BR / 2 BA)	2/1B (2 BR / 1 BA)	2/2 DUP (2 BR / 1 BA)	2/1 (2 BR / 1 BA)	1+1/1 (1 BR / 1 BA)	1/1 (1 BR / 1 BA)	STUDIO	MICRO		
4	4	4	3	4	4	3	2	2	3	2	2	2	1	2	1	1	1	1	1		
9	1	8	3	13	25	27	18	17	4	19	2	70	10	2	37	22	9	51	39		
Total	36.0	4.0	32.0	9.0	52.0	100.0	81.0	36.0	34.0	12.0	38.0	4.0	140.0	10.0	4.0	37.0	22.0	9.0	51.0	39.0	750



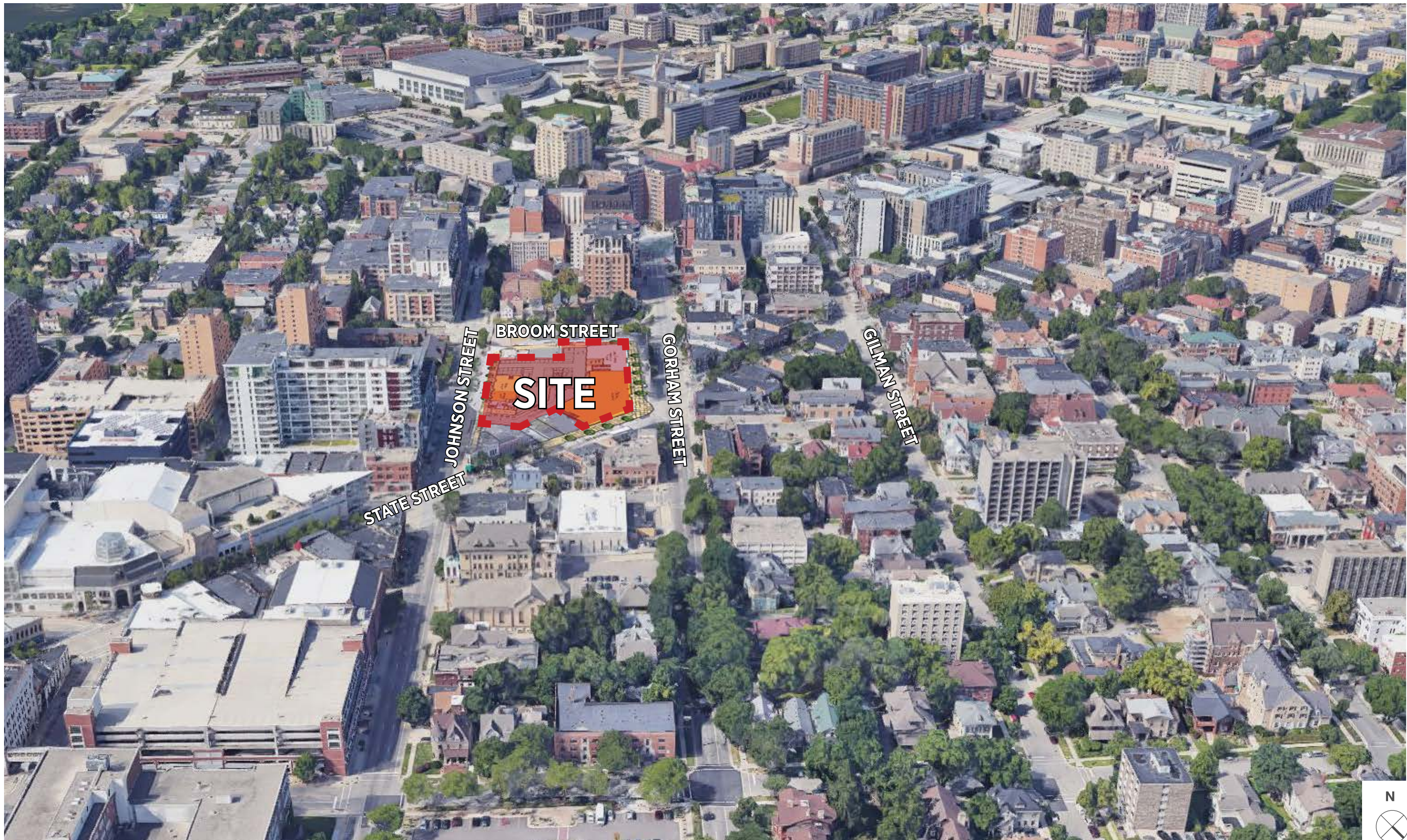
PROJECT AREA ANALYSIS																			
LEVEL	FLOOR HEIGHT	OVERALL HEIGHT	RESIDENTIAL										RETAIL	PARKING / LOADING				GROSS BUILDABLE AREA	GROSS ENCLOSED AREA
			UNITS	BEDS	RSF	COMMON	AMENITY /LOBBY	GSF	PRIVATE TERRACE	PUBLIC TERRACE	GREEN ROOF	ENCLOSED MECHANICAL AREA	AREA	AREA	BIKE SPACES	MOPED SPACES	CAR SPACES		
Mech PH / Pool Ter	25'-0"	133'-0"	-	-	-	1,781	-	1,781	-	11,335	-	2,659	-	-	-	-	-	15,775	4,440
10	11'-8"	108'-0"	36	105	32,880	4,969	-	37,849	658	-	-	-	-	-	-	-	-	38,507	37,849
9	9'-8"	96'-4"	36	105	32,880	4,969	-	37,849	658	-	-	-	-	-	-	-	-	38,507	37,849
8	9'-8"	86'-8"	36	105	32,880	4,969	-	37,849	658	-	-	-	-	-	-	-	-	38,507	37,849
7	9'-8"	77'-0"	36	104	32,705	5,368	-	38,073	742	3,800	5,087	-	-	-	-	-	-	47,702	38,073
6	11'-2"	67'-4"	47	134	42,408	6,236	-	48,644	658	-	-	-	-	-	-	-	-	49,302	48,644
5	9'-8"	56'-2"	47	134	42,408	6,236	-	48,644	658	-	-	-	-	-	-	-	-	49,302	48,644
4	9'-8"	46'-6"	47	134	42,408	6,236	-	48,644	1,142	-	3,147	-	-	-	-	-	-	52,933	48,644
3	9'-8"	36'-10"	49	141	47,698	6,544	-	54,242	927	-	5,356	-	-	-	-	-	-	60,525	54,242
2	11'-2"	27'-2"	52	139	45,739	7,454	3,949	57,142	2,078	-	12,288	-	-	-	-	-	-	71,508	57,142
1	16'-0"	16'-0"	-	-	-	7,027	10,519	17,546	-	-	-	-	23,229	30,591	156	-	55	71,366	71,366
LL	10'-0"	-10'-0"	-	-	-	5,983	-	5,983	-	-	-	-	-	65,032	439	79	156	71,015	71,015
TOTAL			386	1,101	352,006	67,772	14,468	434,246	8,179	15,135	25,878	2,659	23,229	95,623	595	79	211	604,949	555,757

PROJECT INFORMATION		
Average Unit Size:	912	sf
NSF Per Bed:	320	sf
Bed Per Unit:	2.9	beds
Site Area:	76,793	sf

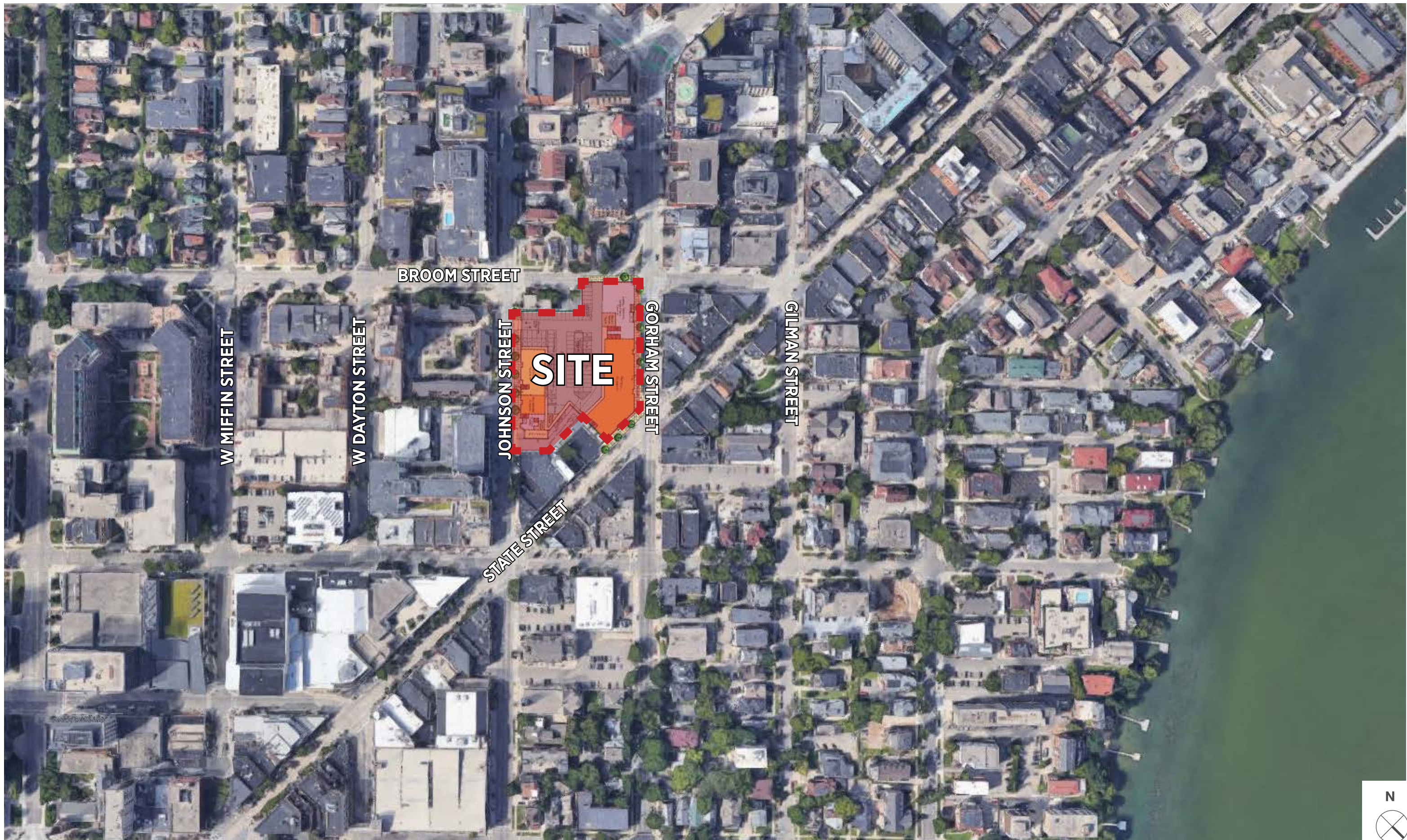
BIKE PARKING SUMMARY			
Retail:	23,229	gsf	
Residential:	386	units	
Bike Parking Requirements			
Retail:	12	spaces	1 per 2,000 SF - General Retail
Residential:	530	spaces	Per Unit Mix
Guest:	53	spaces	1 per 10 Units
Total Required:	595	spaces	
Total Provided:	595	spaces	

UNIT MIX SUMMARY			
Unit Type	# Units	Spaces Req'd per unit	Req'd Spaces
1BR	121	1	121
2BR	119	1	119
3BR	25	1.5	38
4BR	100	2	200
5BR	21	2.5	53
TOTAL	386		530

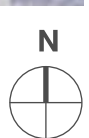












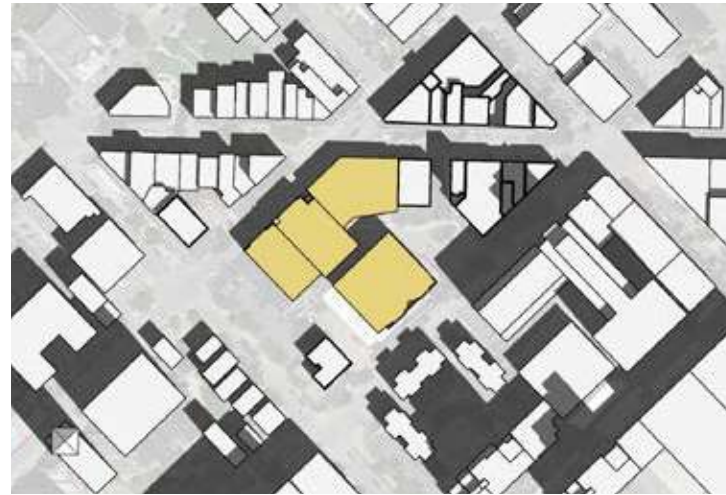
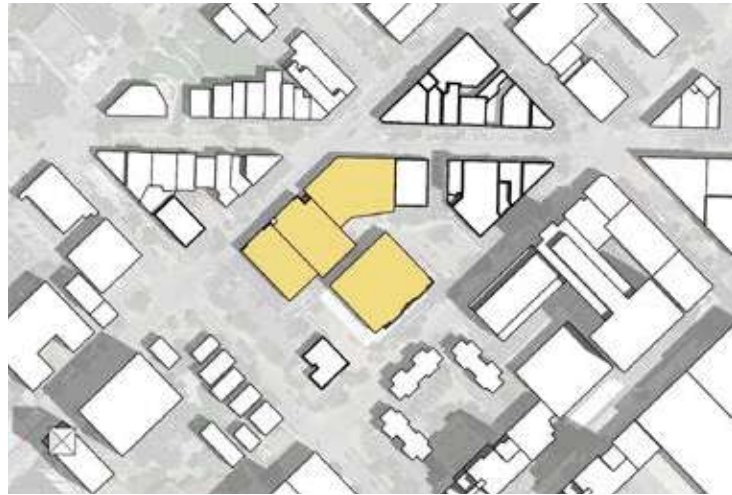


SUMMER SOLSTICE  
June 21

EQUINOX  
March 20 and September 22

WINTER SOLSTICE  
December 21

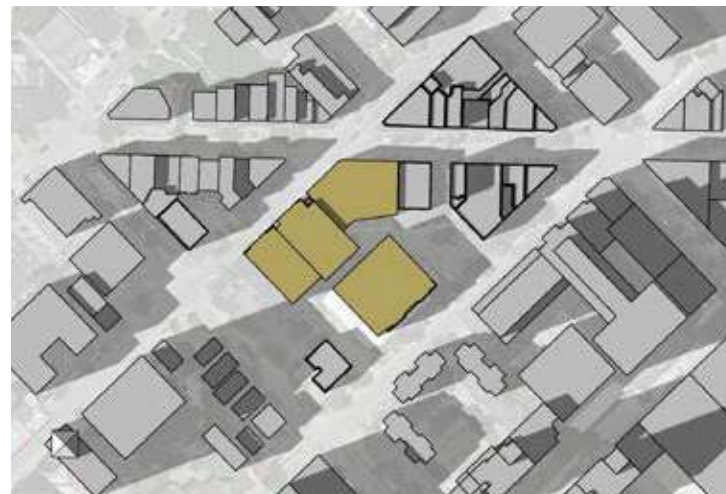
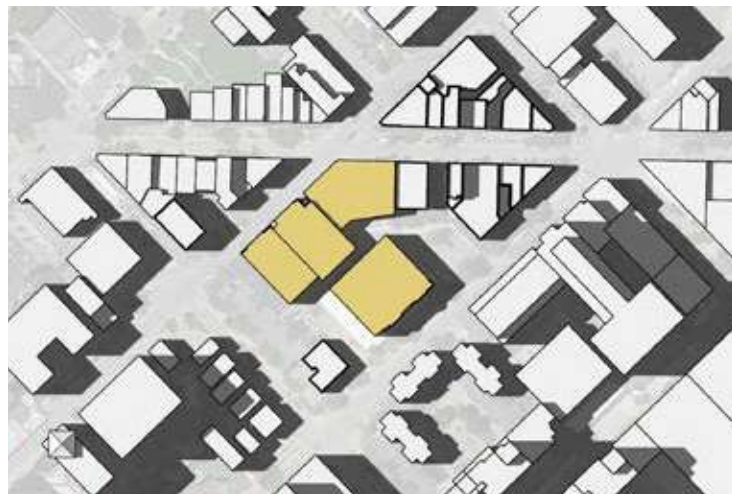
10:00 AM



12:00 PM



4:00 PM



EXISTING  
BUILDINGS



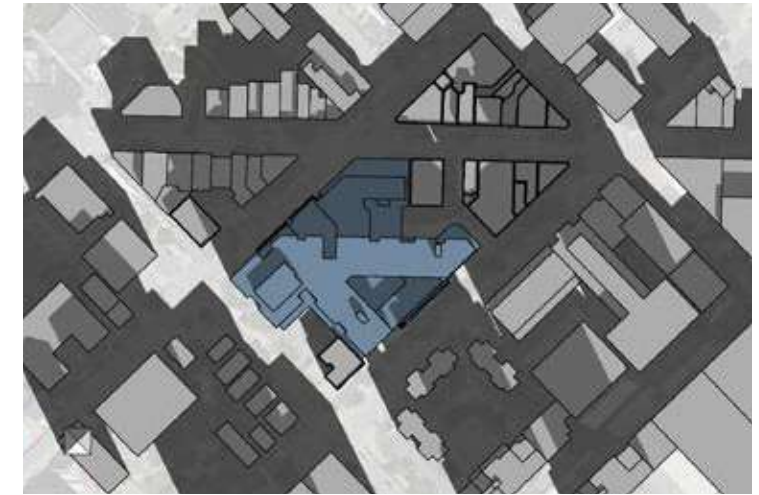
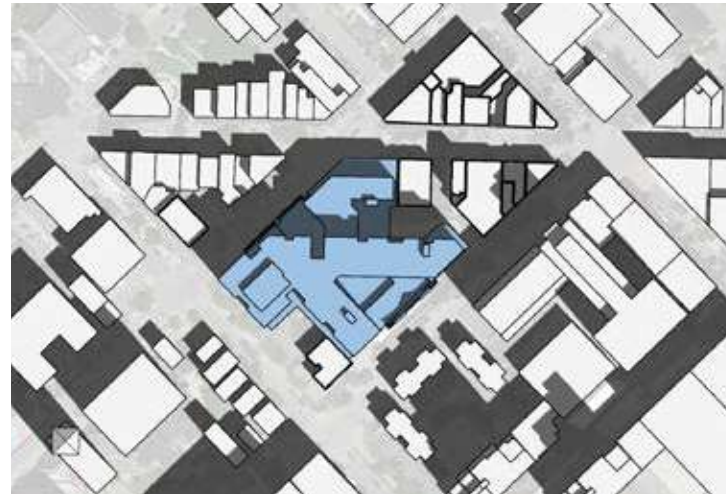
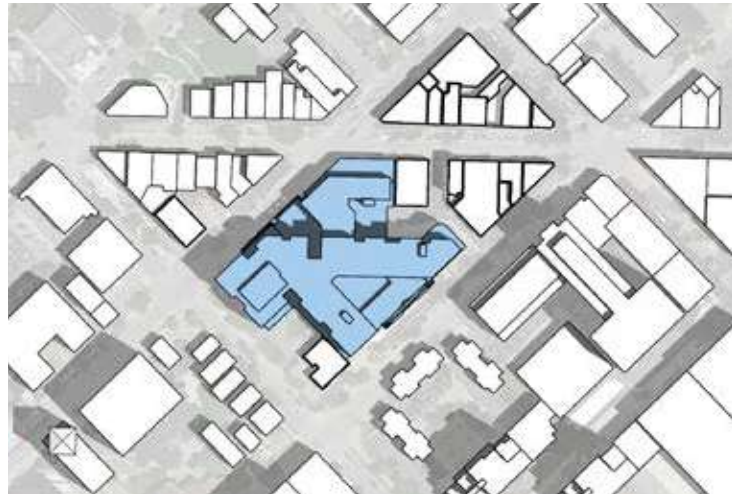


SUMMER SOLSTICE  
June 21

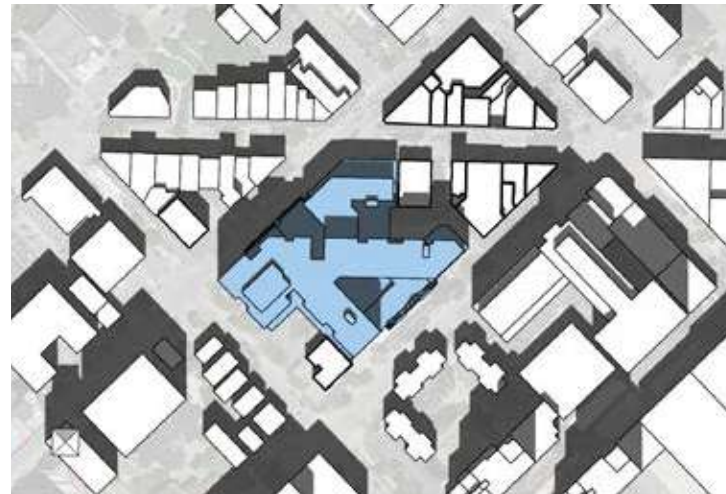
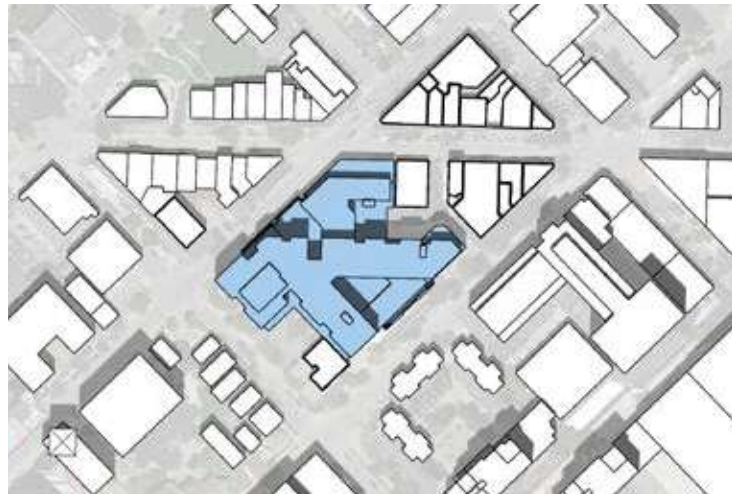
EQUINOX  
March 20 and September 22

WINTER SOLSTICE  
December 21

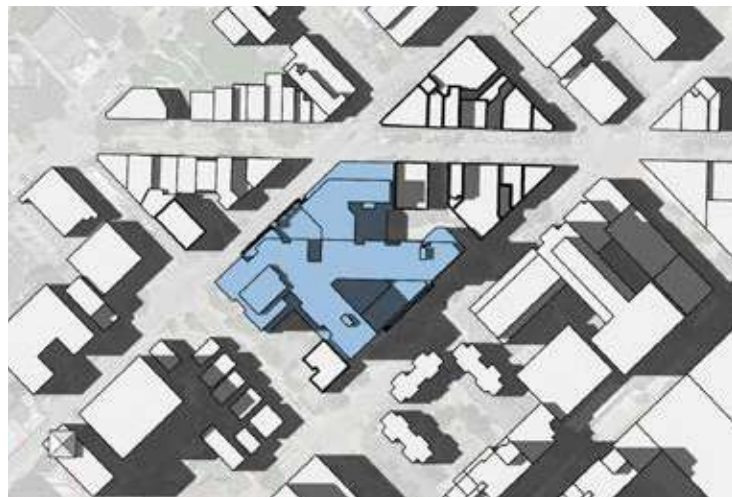
10:00 AM



12:00 PM



4:00 PM



PROPOSED  
BUILDING







WINDOW FRAMES



GLAZING



METAL PANEL



CORRUGATED METAL PANEL



BRICK 01



BRICK 02



BRICK 03



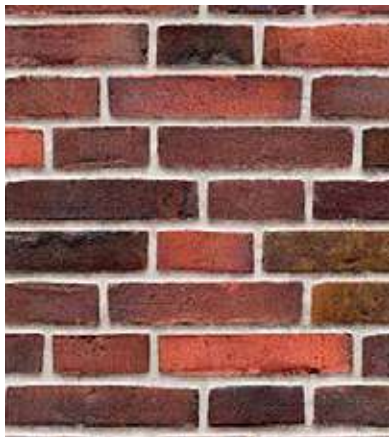
BRICK 04



EXISTING FACADE BRICK



EXISTING FACADE BRICK



EXISTING FACADE BRICK





1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, DEPTH, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CITY ENGINEER.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
5. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
6. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT THE CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. A SIGN, AS REQUIRED BY THE CITY OF MADISON, SHALL BE INSTALLED AT THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107-13.3 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. <http://www.cityofmadison.com/business/twp/documents/stdspecs/2018/part1.pdf>. ANY TREE REMOVALS SHALL BE APPROVED BY THE CITY OF MADISON. THE TREE REMOVAL DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BRUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORGING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE UTILITY COMPANIES OF THE LOCATION OF ALL EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETTED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL APPLICABLE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.

EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.

2. THE EROSION CONTROL SHALL BE RESPONSIBLE FOR RECONSTRUCTING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

3. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY AND WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WS. ADM. CODE AND CITY OF MADISON REPORTING REQUIREMENTS.

4. CONSTRUCTION ENTRANCES – PROVIDE A STONE TRACKING PAD AT EACH POINT OF ACCESS. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/TCOPIC/STORMWATER/STANDARDS/CONST\\_STANDARDS.HTML](http://dnr.wi.gov/TCOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML). THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.

5. SOIL STOCKPILES – A ROW OF SILT FENCE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM THE STOCKPILE SHALL PROTECT ALL STOCKPILES. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 7 CLOSURE DAYS SHALL BE COVERED WITH MULCH, EROSION MAT, POLYMER, OR COVERED WITH TOPSOIL OR SIMILAR MATERIAL. NO STOCKPILE SHALL BE PLACED WITHIN 20 FEET OF A DRAINAGE WAY.

6. DEWATERING – WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE PAD, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATION OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1081 FOUND AT: [HTTP://DNR.WI.GOV/TCOPIC/STORMWATER/STANDARDS/CONST\\_STANDARDS.HTML](http://dnr.wi.gov/TCOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML). THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.

PUMP SIZE (MAX GPM)	TYPE I BAG SIZE (SQ-FT)
50	25
100	50
150	75

7. STORM SEWER INLETS – PROVIDE WDOT TYPE "C" CATCHALL INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: [HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGSERV/PAL.htm](http://www.dot.wisconsin.gov/business/engserv/pal.htm). INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL SITE STABILIZATION IS COMPLETE.

8. BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(BM).

9. NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.

10. EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: [HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTDS.htm](http://dnr.wi.gov/runoff/STORMWATER/TECHSTDS.htm) AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.

11. ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEP OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.

12. ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.

13. ALL DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED, AND MULCH. SEED MIXTURES SHALL BE SELECTED APPROPRIATE TO THE INTENDED FUNCTION. A QUALIFIED LANDSCAPING CONTRACTOR, LANDSCAPE ARCHITECT OR NURSERY CAN BE CONSULTED FOR RECOMMENDATIONS. SEEDING RATES SHALL BE SHOWN IN POUNDS OR OUNCES OF PURE LIVE SEED PER 1000 SQUARE FEET. FERTILIZER AND MULCH TO BE APPLIED TO SUBSTRATE SHALL BE APPLIED TO HELP PROMOTE GROWTH, BUT A SOIL TEST IS RECOMMENDED TO DETERMINE THE TYPE AND AMOUNT OF FERTILIZER TO BE APPLIED. ALL SEEDING AND RESTORATION SHALL BE IN CONFORMANCE TO WDNR TECHNICAL STANDARD 1059 FOUND AT [HTTP://DNR.WI.GOV/TCOPIC/STORMWATER/STANDARDS/CONST\\_STANDARDS.HTML](http://dnr.wi.gov/TCOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML). SEEDING AND SOODING MAY ONLY BE USED FROM MAY 1ST TO SEPTEMBER 15TH OF ANY YEAR. TEMPORARY SEED SHALL BE USED AFTER SEPTEMBER 15. IF TEMPORARY SEED IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.

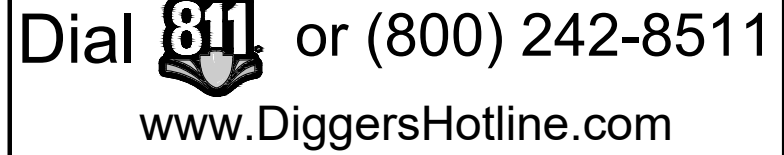
14. FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

15. PAVEMENT AROUND BUILDING FOOTPRINT TO REMAIN IN PLACE UNTIL GRADING AND SITE RESTORATION IS SCHEDULED TO TAKE PLACE. IF PAVEMENT IS TO BE REMOVED IT SHALL BE REPLACED WITH BREAKER RUN IN ORDER TO STABILIZE EXISTING SOILS.

CONTRACTOR: FINDORFF & SONS, INC.  
300 S BEDFORD STREET  
MADISON, WI 53703  
BUSINESS PHONE: (608) 442-7044  
BUSINESS FAX: (608) 257-5306

AUGUST 1, 2021	INSTALL SILT FENCE AND CONSTRUCTION ENTRANCE. BEGIN LAND DISTURBANCE.
JUNE 30, 2023	CONSTRUCTION COMPLETE. LANDSCAPE ALL DISTURBED AREAS.
AUGUST 31, 2023	SITE STABILIZED AND VEGETATION ESTABLISHED.

SHEET INDEX TABLE	
SHEET NUMBER	SHEET TITLE
C-001	CIVIL PLAN DETAILS
C-100	EXISTING CONDITIONS
C-200	DEMOLITION PLAN
C-300	CIVIL SITE PLAN
C-400	EROSION CONTROL PLAN
C-500	SITE GRADING PLAN
C-600	SITE UTILITY PLAN



1. PAVEMENT DESIGN SHALL BE PER THE RECOMMENDATION OF THE SOILS CONSULTANT.
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY ENGINEER AND CITY ENGINEERING DEPARTMENTS.
3. TRAFFIC CONTROL SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODE, WHICHEVER HAS JURISDICTION.
4. CITY SIDEWALK AND CURB DAMAGED IN THE COURSE OF CONSTRUCTION TO BE REPLACED PER GRADING PLAN AND PER CITY OF MADISON STANDARD SPECIFICATIONS.
5. NEW APPROPRIATE SHALL BE CONSTRUCTED AND PLACED IN CONFORMANCE WITH THE CITY OF MADISON STANDARD DETAIL 3.02 FOR COMMERCIAL OPENINGS.
6. PAVEMENT MARKINGS AND SIGNAGE PERTAINING TO ACCESSIBLE PARKING STALLS AND ROUTES SHALL CONFORM TO CURRENT ADA REGULATIONS.
7. ALL PAINT STRIPING SHALL HAVE A 4 INCH WIDTH.

1. ALL WORK WITHIN THE CITY RIGHT OF WAY AND EASEMENTS SHALL BE COMPLIANT WITH THE CITY OF MADISON STANDARD SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION.

**AS**  
**MOBE**  
 623 RAILROAD ST  
 MADISON, WI 53703  
 CONTACT: HOLLY POWELL  
 PHONE: 608-252-7222  
 EMAIL: hpowell@mcg.com

**ELECTRIC**  
**MOBE**  
 623 RAILROAD ST  
 MADISON, WI 53703  
 CONTACT: MICHAEL BEELER  
 OFFICE: 608-252-7087  
 CELL: 262-252-7695  
 EMAIL: Mbeeler@mcg.com

**ELECTRIC TRANSMISSION**  
**ATO AMERICAN TRANSMISSION COMPANY**  
 2485 RINDEN RD  
 CONTACT: JOHN CALLAWAY  
 OFFICE: 608-836-4040  
 CELL: 608-513-7596  
 EMAIL: jcallaw@ato.com

**COMMUNICATIONS (PHONE, INTERNET, TV)**  
**CHARTER COMMUNICATIONS**  
 2701 DANIELS ST  
 MADISON, WI 53718  
 CONTACT: JON MARSCHECH  
 PHONE: 608-288-6848  
 CELL: 608-288-6802  
 EMAIL: jon.marischech@charter.com  
 CONTACT: NICOLAS BROWNING  
 OFFICE: 608-288-6802  
 CELL: 608-444-0869  
 EMAIL: nicolas.browning@charter.com

**TDS TELECOM**  
 525 JUNCTION RD  
 MADISON, WI 53717  
 CONTACT: JERRY MYERS  
 PHONE: 608-684-4404  
 EMAIL: jerry.myers@tdsnet.com

**SUPRANET COMMUNICATIONS**  
 800 EXCELSIOR DR  
 MADISON, WI 53717  
 CONTACT: BOB STONE  
 OFFICE: 608-836-0282  
 DIRECT: 608-272-7635  
 EMAIL: bob@supernet.net

CONTACT: VINCE FUMUSA  
 OFFICE: 608-252-7627  
 CELL: 262-279-2448  
 EMAIL: vince@tds@supernet.net

**AT&T**  
 316 W. WASHINGTON AVE  
 MADISON, WI 53703  
 CONTACT: JIM SAGATIS  
 PHONE: 608-888-5588  
 EMAIL: jsh88@att.net

**WM, LLC**  
 4955 BULLIS FARM RD  
 EAU CLAIRE, WI 54701  
 CONTACT: TODD ELLIKSON  
 OFFICE: 715-832-3750  
 CELL: 608-852-4072  
 EMAIL: todd.ellikson@winetchnology.com

**LUMEN**  
 3235 IVERSON RD, SUITE 600  
 BROOKFIELD, WI 53005  
 CONTACT: KEVIN ZICKERT  
 PHONE: 608-716-9559  
 EMAIL: kevin.zickert@lumen.com

CONTACT: JASON BUSSE  
 PHONE: 414-224-6713  
 EMAIL: jason.busse@worldnet.att.net

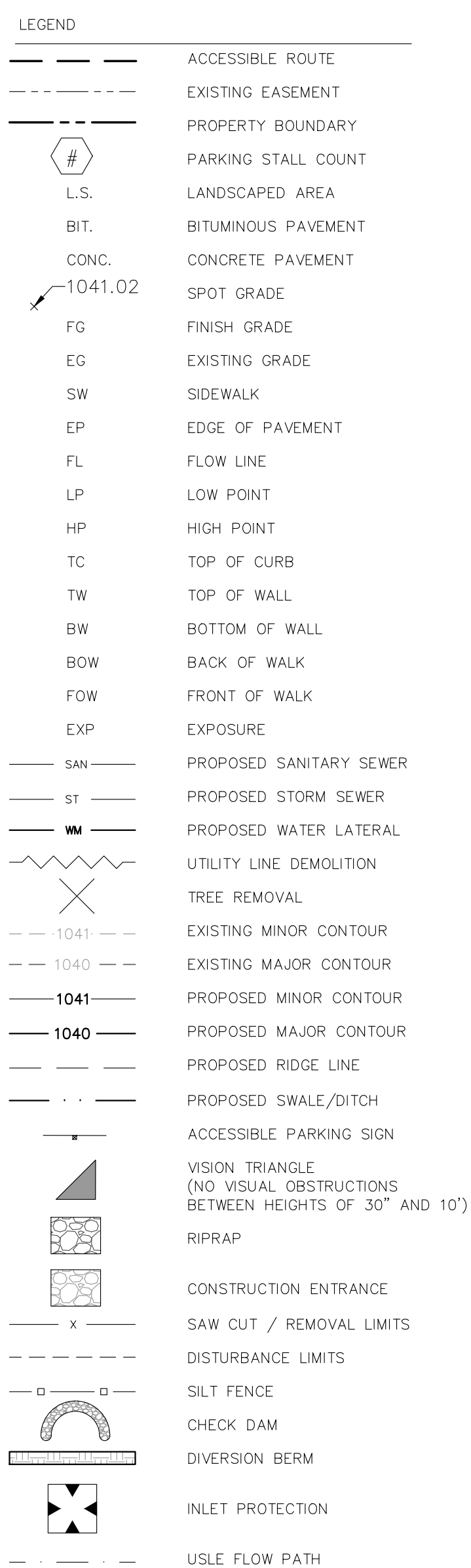
**INTELLIGENT TRANSMISSION SYSTEMS**  
**WSDOT ITS**  
 433 W. SAINT PAUL AVE, SUITE 300  
 MILWAUKEE, WI 53203  
 CONTACT: DONALD SCHELL  
 PHONE: 414-227-2148  
 EMAIL: donald.schell@dot.wi.gov

**CITY OF MADISON ENGINEERING**  
 2100 MARTIN LUTHER KING JR BOULEVARD  
 MADISON, WI 53703  
**ASSISTANT CITY ENGINEER**  
 CONTACT: GREG FIEB  
 PHONE: (608) 267-1199  
 EMAIL: greg@cityofmadison.com

**WATER**  
 PHONE: (608) 266-4651  
 EMAIL: water@cityofmadison.com

**SANITARY SEWER**  
 CONTACT: MARK MODER  
 PHONE: (608) 261-9920  
 EMAIL: mmoder@cityofmadison.com

**STORM SEWER**  
 CONTACT: JANET SCHMIDT  
 PHONE: (608) 261-9688  
 EMAIL: jschmidt@cityofmadison.com



**GENERAL NOTES:**

THE CURB CUT IS NOT CONSTRUCTED WITH THE INITIAL CURB AND GUTTER CONSTRUCTION. THE CURB CUT CAN BE MADE BY REMOVING AND REPLACING THE ENTIRE CURB AND GUTTER SECTION OR BY SAWCUTTING THE EXISTING CURB HEAD BY MEANS OF A SPECIAL SAW DESIGNED TO MEET THE DETAILS ABOVE FOR MADISON STANDARD CURB CUTS.

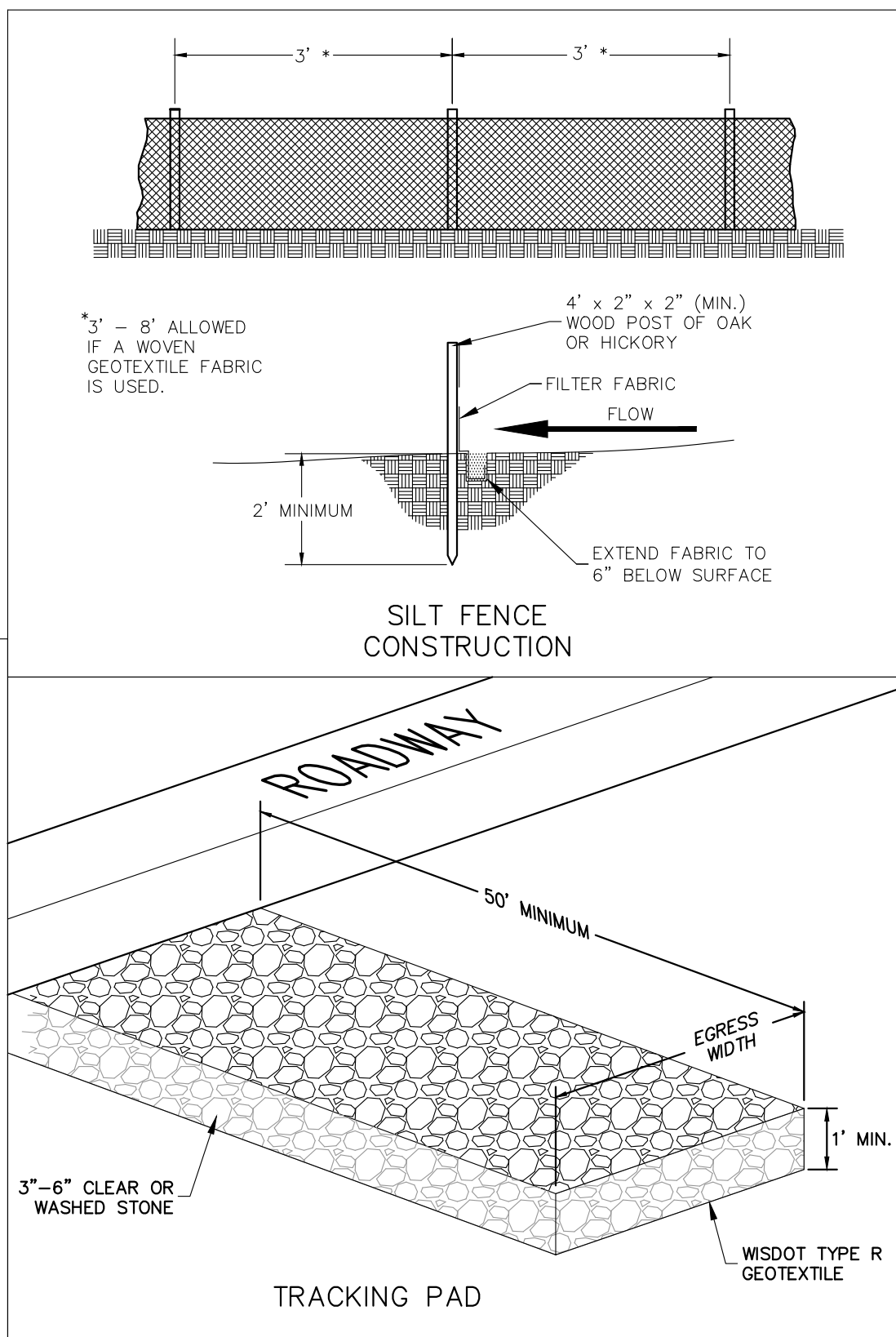
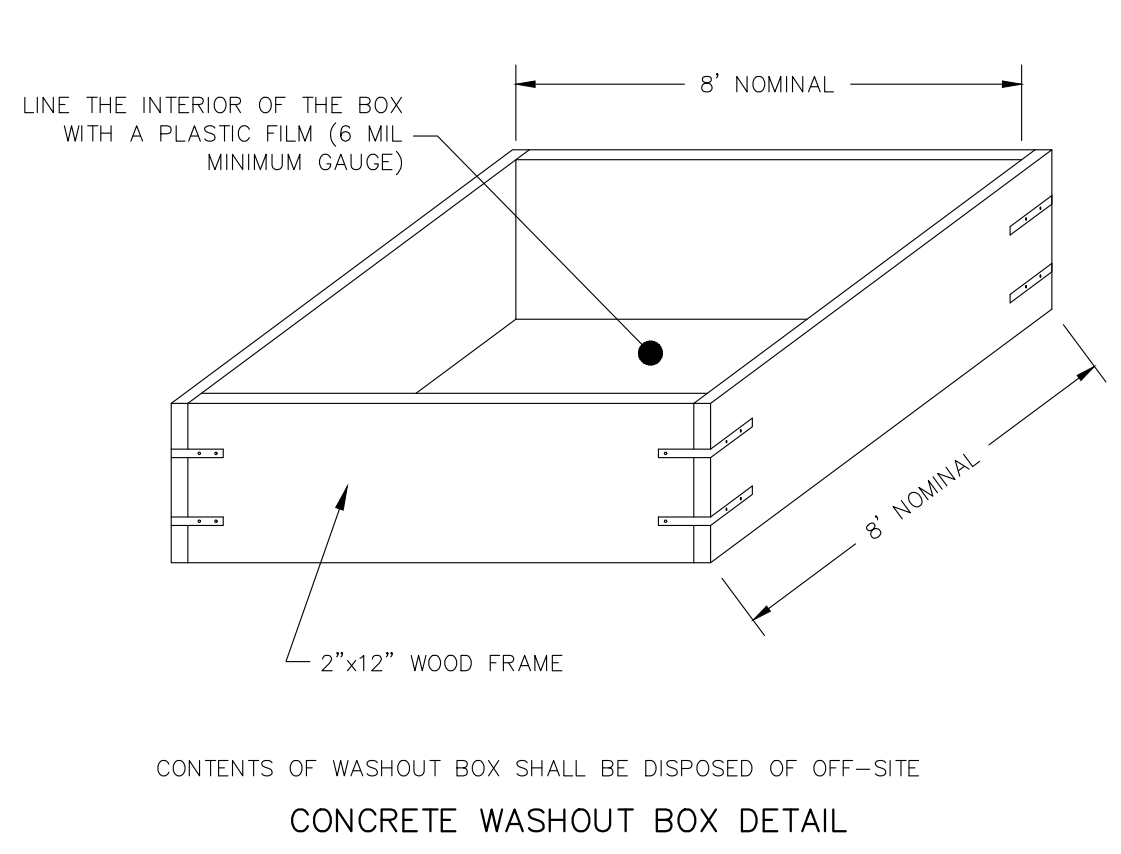
**SECTION A-A**

**PLAN**

**PROFILE**

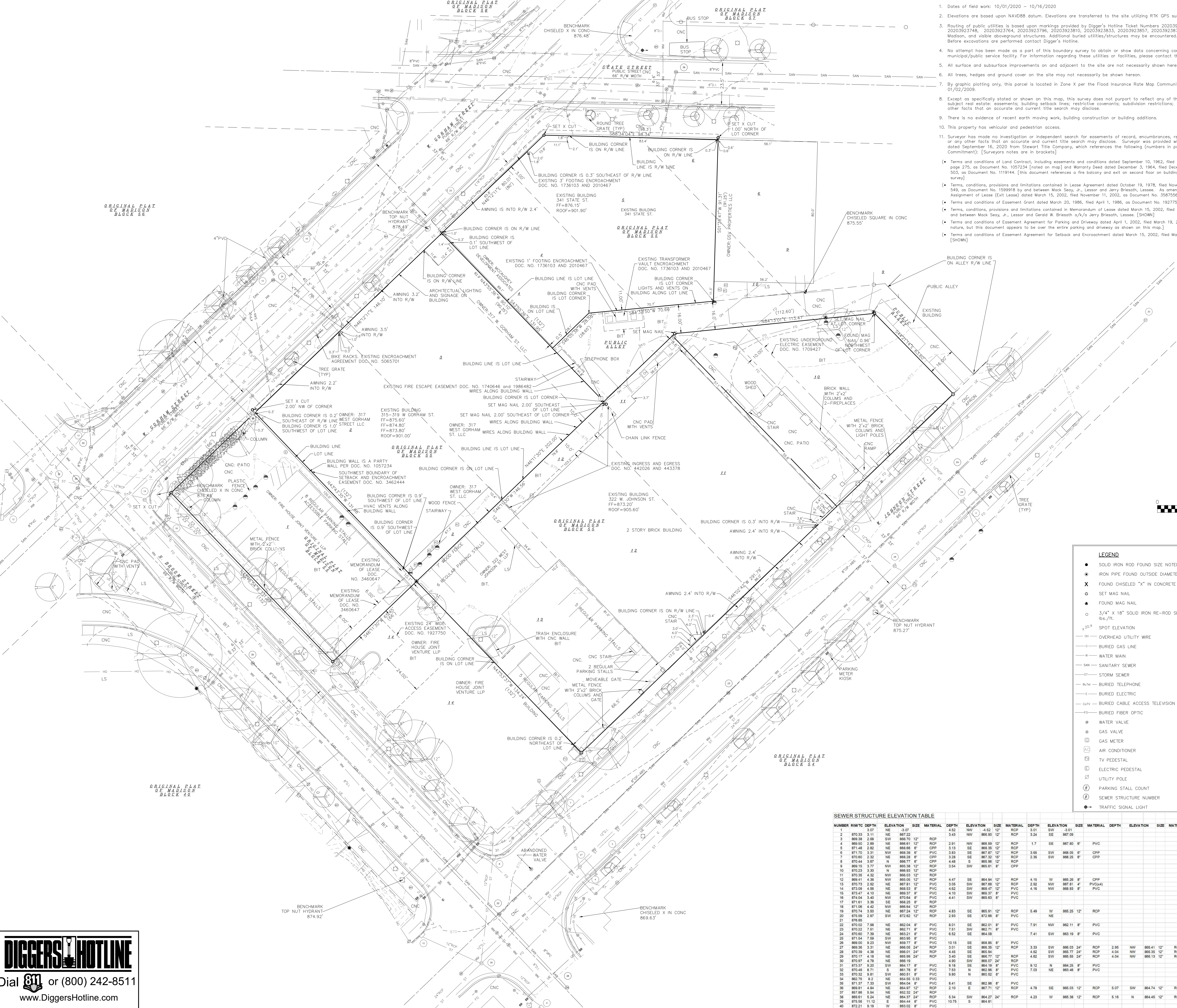
**DETAILS:**

- 1/2" EXPANSION JOINT AT SIDEWALK
- 5' TYP
- 7" CONCRETE APPROACH
- FLOWLINE
- CONCRETE CURB AND GUTTER
- 1" EXPANSION JOINT
- 18"
- 1/2" EXPANSION JOINT (IF CONCRETE)
- 7" CONCRETE SIDEWALK (IF NEW OR REPLACEMENT CONSTRUCTION)
- 5' TYPICAL (SEE PERMIT)
- 18"
- 1.0" MIN. FULL HEIGHT CURB BETWEEN APRON
- OPTIONAL FLOWLINE (TYPE "X" CURB)
- SLOPE 1/4" PER FT.
- 1/4" / FT. NOR. SLOPE
- MAX GRADE 8%
- CRUSHED AGGREGATE BASE COURSE
- 6"-GRANULAR MATERIAL INCIDENTAL TO SIDEWALK AND DRIVEWAY CONSTRUCTION

[illegible]



PART OF LOTS 4-6, 9 AND 10, ALL OF LOTS 1, 2, 3, AND 11 - 13, BLOCK 55, PRITCHETTE PLAT, CITY OF MADISON, LOCATED IN THE NW QUARTER OF THE NE QUARTER OF SECTION 23, T07N, R09E, DANE COUNTY, WISCONSIN.



NOTES:

- Dates of field work: 10/01/2020 - 10/16/2020
- Elevations are based upon NAVD88 datum. Elevations are transferred to the site utilizing RTK GPS surveying while observing the WISCORS Network.
- Routing of public utilities is based upon markings provided by Digger's Hotline Ticket Numbers 20203923707, 20203923721, 20203923734, 20203923748, 20203923764, 20203923796, 20203923810, 20203923833, 20203923857, 20203923872, drawings obtained from the City of Madison, and visible aboveground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- By graphic plotting only, this parcel is located in Zone X per the Flood Insurance Rate Map Community Panel Number 55025C04096, dated 01/02/2009.
- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- There is no evidence of recent earth moving work, building construction or building additions.
- This property has vehicular and pedestrian access.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. Surveyor was provided with a Title Commitment Number 20000031267 dated September 16, 2020 from Stewart Title Company, which references the following (numbers in parenthesis match exceptions of said Commitment): [Surveyors notes are in brackets]

- Terms and conditions of Land Contract, including easements and conditions dated September 10, 1962, filed September 17, 1962, in Volume 381 of Misc., page 275, as Document No. 1057234 [noted on map] and Warranty Deed dated December 3, 1964, filed December 4, 1964, in Volume 790 of Deeds, page 503, as Document No. 1119144. [This document references a fire balcony and exit on second floor on building Lot 1. This was not present at the time of survey]
- Terms, conditions, provisions and limitations contained in Lease Agreement dated October 19, 1978, filed November 10, 1978, in Volume 1012 of Records, page 549, as Document No. 1599918 by and between Mack Seay, Jr., Lessor and Jerry Briesath, Lessee. As amended by Assignment and Acceptance to Assignment of Lease (a/k/a Lease) dated March 15, 2002, filed November 11, 2002, as Document No. 3587556. [not mapable]
- Terms and conditions of Easement Grant dated March 20, 1986, filed April 1, 1986, as Document No. 1927750. [SHOWN]
- Terms, conditions, provisions and limitations contained in Memorandum of Lease dated March 15, 2002, filed March 15, 2002, as Document No. 3460647 by and between Mack Seay, Jr., Lessor and Gerald W. Briesath a/k/a Jerry Briesath, Lessee. [SHOWN]
- Terms and conditions of Easement Agreement for Parking and Driveway dated April 1, 2002, filed March 19, 2002, as Document No. 3462443. [General in nature, but this document appears to be over the entire parking and driveway as shown on this map.]
- Terms and conditions of Easement Agreement for Setback and Encroachment dated March 15, 2002, filed March 19, 2002, as Document No. 3462444. [SHOWN]

APPROVAL STAMPS:

2	07.12.21	UDC SUBMITTAL
1	02.17.21	PROGRESS DRAWINGS
No.	Date	Description
SUBMISSIONS & REVISIONS		
OWNER		
CORE		
1643 N MILWAUKEE AVE CHICAGO, IL 60647 WWW.CORESPPACES.COM		
ARCHITECT		
ANTONOVICH ASSOCIATES		
224 WEST HURON STREET, SUITE 7E CHICAGO, ILLINOIS 60610 WWW.ANTONOVICH.COM		
INTERIOR DESIGNER		
STRUCTURAL ENGINEER		
FIRE PROTECTION		
PLUMBING ENGINEER		
MECHANICAL ENGINEER		
ELECTRICAL ENGINEER		
CIVIL ENGINEER		
LANDSCAPE ARCHITECT		
DESIGN TEAM CONSULTANTS		
GENERAL CONTRACTOR		
KEY PLAN		
PROJECT		

1643 N MILWAUKEE AVE  
CHICAGO, IL 60647  
WWW.CORESPPACES.COM

ARCHITECT  
**ANTONOVICH ASSOCIATES**  
224 WEST HURON STREET, SUITE 7E  
CHICAGO, ILLINOIS 60610  
WWW.ANTONOVICH.COM

INTERIOR DESIGNER

STRUCTURAL ENGINEER

FIRE PROTECTION

PLUMBING ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

LANDSCAPE ARCHITECT

DESIGN TEAM CONSULTANTS

GENERAL CONTRACTOR

KEY PLAN

PROJECT

oLiv  
Madison  
STATE & GORHAM  
MADISON, WI 53703

EXISTING  
CONDITIONS

DATE:

DRAWN BY:

CHECKED BY:

PROJECT NO:

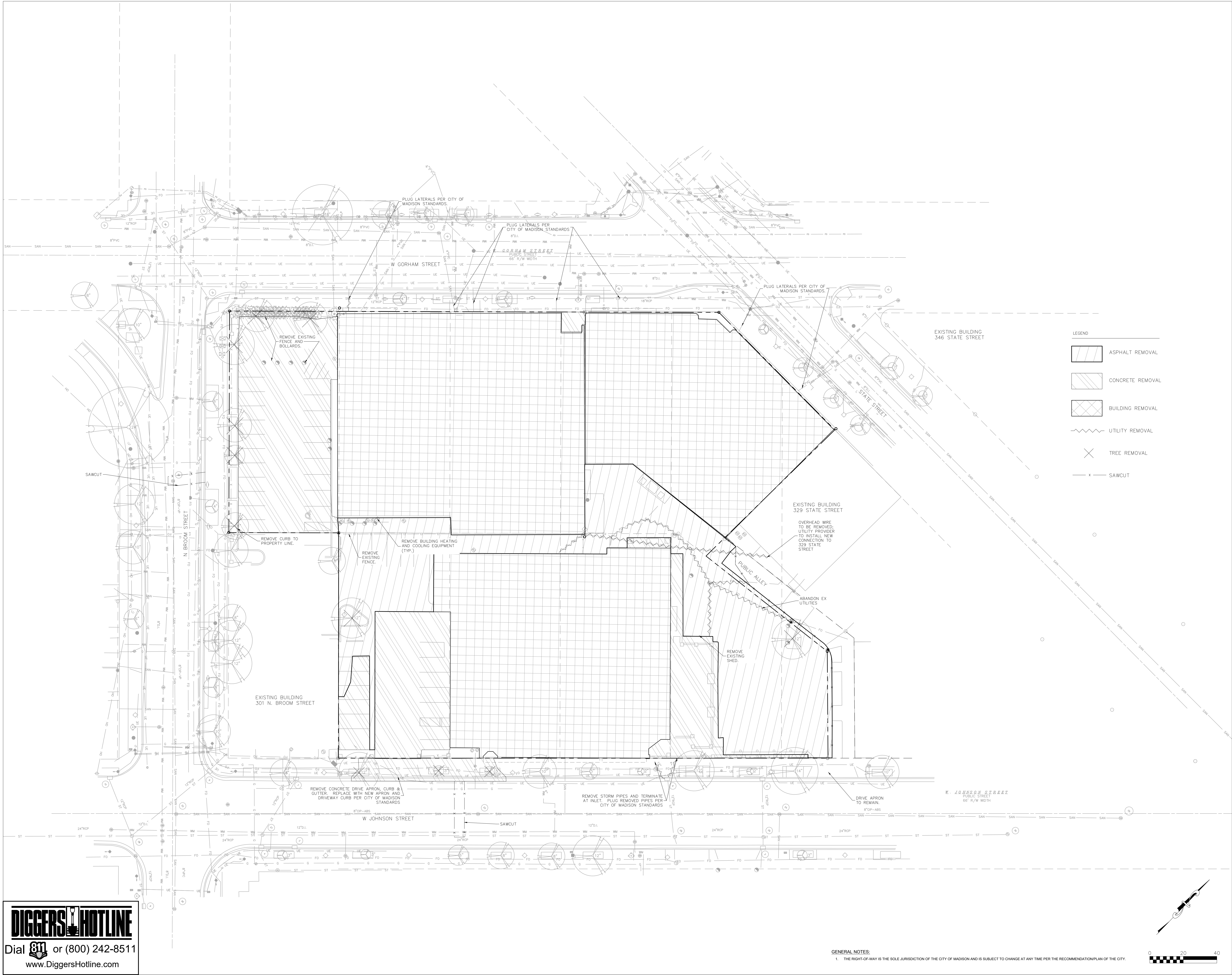
WING NO:

C-100

COPYRIGHT 2021

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com





**DIGGERSHOTLINE**

Dial 811 or (800) 242-8511

www.DiggersHotline.com

GENERAL NOTES:  
1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.

APPROVAL STAMPS:

No.	Date	Description
2	07.12.21	UDC SUBMITTAL
1	02.17.21	PROGRESS DRAWINGS

SUBMISSIONS & REVISIONS

OWNER

**CORE**  
1643 N MILWAUKEE AVE  
CHICAGO, IL 60647  
WWW.CORESAPACES.COM

ARCHITECT

**ANTONOVICH ASSOCIATES**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
224 WEST HURON STREET, SUITE 700  
CHICAGO, ILLINOIS 60610  
WWW.ANTONOVICH.COM

INTERIOR DESIGNER

STRUCTURAL ENGINEER

FIRE PROTECTION

PLUMBING ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

**Burse**  
2801 INTERNATIONAL LANE  
SUITE 100  
MADISON, WI 53704  
Phone: 608.254.5555  
Fax: 608.254.5566  
e-mail: Mburse@BSE-PC.net  
www.burseengineering.com

LANDSCAPE ARCHITECT

888 SOUTH MICHIGAN AVENUE, SUITE 1000  
CHICAGO, ILLINOIS 60605  
WWW.SITE-DESIGN.COM

DESIGN TEAM CONSULTANTS

GENERAL CONTRACTOR

KEY PLAN

PROJECT

**oLiv Madison**  
STATE & GORHAM  
MADISON, WI 53703

DRAWING TITLE

**DEMOLITION PLAN**

SEAL

DATE:  
7/12/2021  
DRAWN BY:  
-  
CHECKED BY:  
-  
PROJECT NO:  
-

DRAWING NO:

**C-200**

COPYRIGHT 2021



CITY OF MADISON  
PARKING LOT PLAN SITE INFORMATION BLOCK

EXISTING SITE ADDRESSES: 341 STATE ST., 315-319 W GORHAM ST., 322 W. JOHNSON ST.  
SITE ACREAGE (TOTAL): 1.76 ACRES

NUMBER OF BUILDING STORIES (ABOVE GRADE): 10 STORIES  
BUILDING HEIGHT: 108 FT  
DILHR TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS)  
TOTAL SQUARE FOOTAGE OF BUILDING: FIRST FLOOR = 71,700 SF

USE OF PROPERTY: MIX USE BUILDING WITH PARKING, RETAIL & MULTIFAMILY HOUSING.  
GROSS SQUARE FEET OF OFFICE: 750SF LEASING OFFICE  
GROSS SQUARE FEET OF RETAIL AREA: 22,962 SF

NUMBER OF BICYCLE STALLS SHOWN: 453 REGULAR, 151 STRUCTURE, 61 GUEST STALLS

NUMBER OF PARKING STALLS: 207 STALLS

ONE SIZE FITS ALL: 207 STALLS  
ACCESSIBLE: 7 STALL

NUMBER OF TREES SHOWN: 0

APPROVAL STAMPS:

[illegible]

	07.12.21	UDC SUBMITTAL
	02.17.21	PROGRESS DRAWINGS
No.	Date	Description

## SUBMISSIONS & REVISIONS

WINNER

**CORE**

1643 N MILWAUKEE AVE  
CHICAGO, IL 60647  
[WWW.CORESPPACES.COM](http://WWW.CORESPPACES.COM)

ROCHITECT

**A** **ANTUNOVICH ASSOCIATES**  
ARCHITECTURE • PLANNING • INTERIOR DESIGN  
224 WEST HURON STREET, SUITE 7E  
CHICAGO, ILLINOIS 60610  
[WWW.ANTUNOVICH.COM](http://WWW.ANTUNOVICH.COM)  
INTERIOR DESIGNER

STRUCTURAL ENGINEER

## FIRE PROTECTION

LUMBERING ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

**CIVIL ENGINEER**

 **Burse**

2801 INTERNATIONAL LANE  
SUITE 101  
MADISON, WI 53704  
Phone: 608-250-9263  
Fax: 608-250-9266  
e-mail: [MBurse@BSE-INC.net](mailto:MBurse@BSE-INC.net)  
[www.burseengineering.com](http://www.burseengineering.com)

LANDSCAPE ARCHITECT



888 SOUTH MICHIGAN AVENUE, SUITE 1000  
CHICAGO, ILLINOIS 60605  
WWW.SITE-DESIGN.COM

DESIGN TEAM CONSULTANTS

GENERAL CONTRACTOR

## KEY PLAN

PROJECT

oLiv  
Madison

STATE & GORHAM  
MADISON, WI 53703

# CIVIL SITE PLAN

EAL	DATE:
	7/12/2021
	DRAWN BY:
	-
	CHECKED BY:
	-
	PROJECT NO:
	-

DRAWING NO:

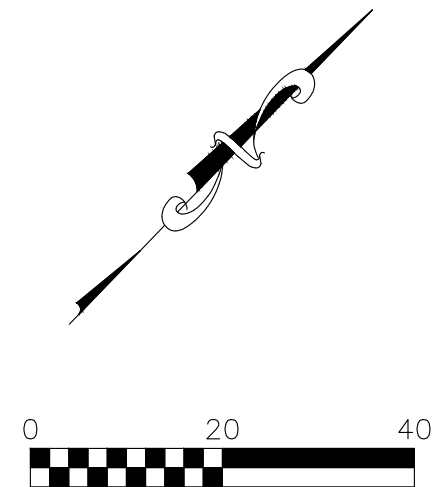
**C-300**

COPYRIGHT 2021

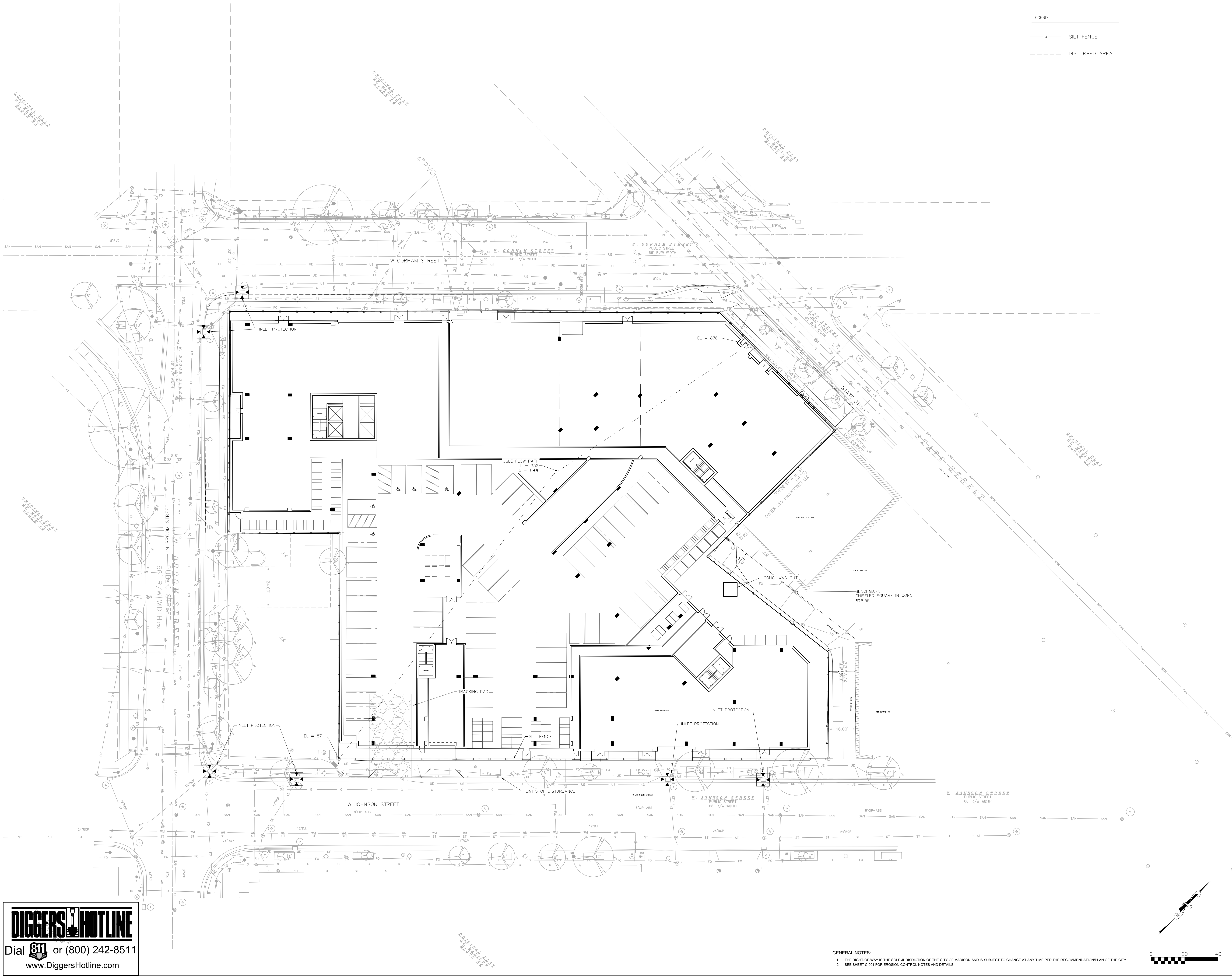
**DIGGERS HOTLINE**  
Dial **811** or (800) 242-8511  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

GENERAL NOTES:

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.







**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

GENERAL NOTES:  
1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.  
2. SEE SHEET C-001 FOR EROSION CONTROL NOTES AND DETAILS

LEGEND  
— o — SILT FENCE  
- - - - - DISTURBED AREA

APPROVAL STAMPS:

No.	Date	Description
2	07.12.21	UDC SUBMITTAL
1	02.17.21	PROGRESS DRAWINGS

SUBMISSIONS & REVISIONS

OWNER  
**CORE**  
1643 N MILWAUKEE AVE  
CHICAGO, IL 60647  
WWW.CORESAPACES.COM

ARCHITECT  
**ANTONOVICH ASSOCIATES**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
224 WEST HURON STREET, SUITE 7E  
CHICAGO, ILLINOIS 60610  
WWW.ANTONOVICH.COM  
INTERIOR DESIGNER

STRUCTURAL ENGINEER

FIRE PROTECTION

PLUMBING ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER  
**Burse**  
2801 INTERNATIONAL LANE  
SUITE 100  
MADISON, WI 53704  
Phone: 608.259.5005  
Fax: 608.259.5000  
e-mail: Mburse@BSE-PC.net  
www.burseengineering.com

LANDSCAPE ARCHITECT  
**oLiv Madison**  
888 SOUTH MICHIGAN AVENUE, SUITE 1000  
CHICAGO, ILLINOIS 60605  
WWW.SITE-DESIGN.COM  
DESIGN TEAM CONSULTANTS

GENERAL CONTRACTOR

KEY PLAN

PROJECT  
**oLiv Madison**  
STATE & GORHAM  
MADISON, WI 53703

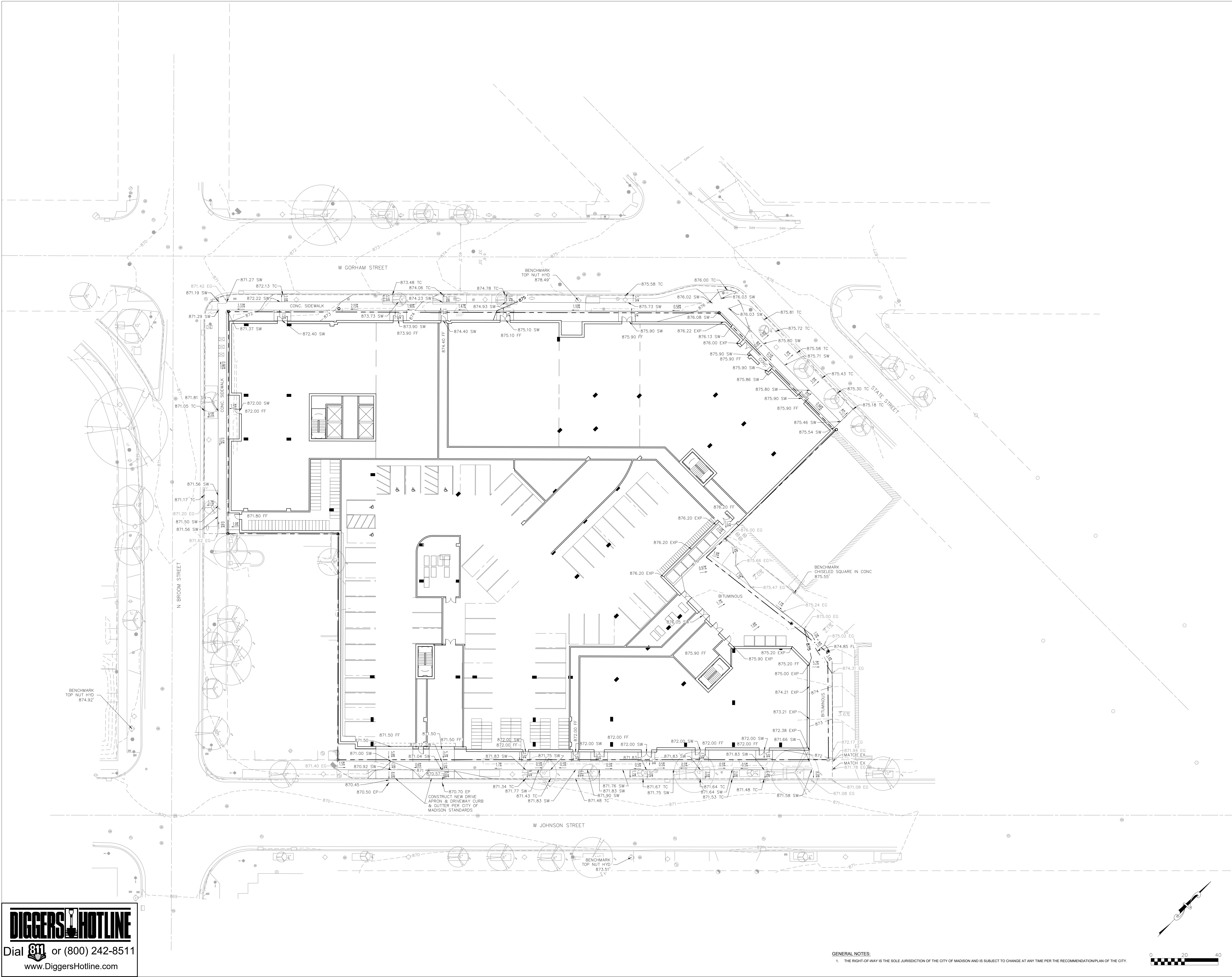
DRAWING TITLE  
**EROSION CONTROL PLAN**

SEAL  
DATE: 7/12/2021  
DRAWN BY:  
CHECKED BY:  
PROJECT NO:

DRAWING NO.  
**C-400**

COPYRIGHT 2021





**DIGGERSHOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

GENERAL NOTES:  
1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.

APPROVAL STAMPS:

No.	Date	Description
2	07.12.21	UDC SUBMITTAL
1	02.17.21	PROGRESS DRAWINGS

SUBMISSIONS & REVISIONS

OWNER  
**CORE**  
1643 N MILWAUKEE AVE  
CHICAGO, IL 60647  
WWW.CORESAPACES.COM

ARCHITECT  
**ANTONOVICH ASSOCIATES**  
ARCHITECTURE PLANNING INTERIOR DESIGN  
224 WEST HURON STREET, SUITE 7E  
CHICAGO, ILLINOIS 60610  
WWW.ANTONOVICH.COM

INTERIOR DESIGNER

STRUCTURAL ENGINEER

FIRE PROTECTION

PLUMBING ENGINEER

MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER  
**Burse**  
2801 INTERNATIONAL LANE  
SUITE 100  
MADISON, WI 53705  
Phone: 608.559.5000  
Fax: 608.559.5000  
e-mail: Mburse@BSE-PC.net  
www.burseengineering.com

LANDSCAPE ARCHITECT  
**Site Design**  
888 SOUTH MICHIGAN AVENUE, SUITE 1000  
CHICAGO, ILLINOIS 60605  
WWW.SITE-DESIGN.COM

DESIGN TEAM CONSULTANTS

GENERAL CONTRACTOR

KEY PLAN

PROJECT  
**oLiv Madison**  
STATE & GORHAM  
MADISON, WI 53703

DRAWING TITLE  
**SITE GRADING PLAN**

SEAL  
DATE: 7/12/2021  
DRAWN BY:  
CHECKED BY:  
PROJECT NO:

DRAWING NO:  
**C-500**

COPYRIGHT 2021



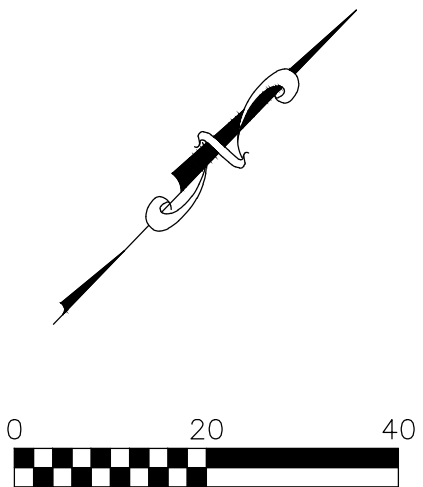
[illegible]





GENERAL NOTES:

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY



COPYRIGHT 2021



## ADDENDUM 1

### PLANNED UNIT DEVELOPMENT: GENERAL DEVELOPMENT PLAN/SPECIFIC IMPLEMENTATION PLAN SUBMITTAL



**ōliv MADISON**

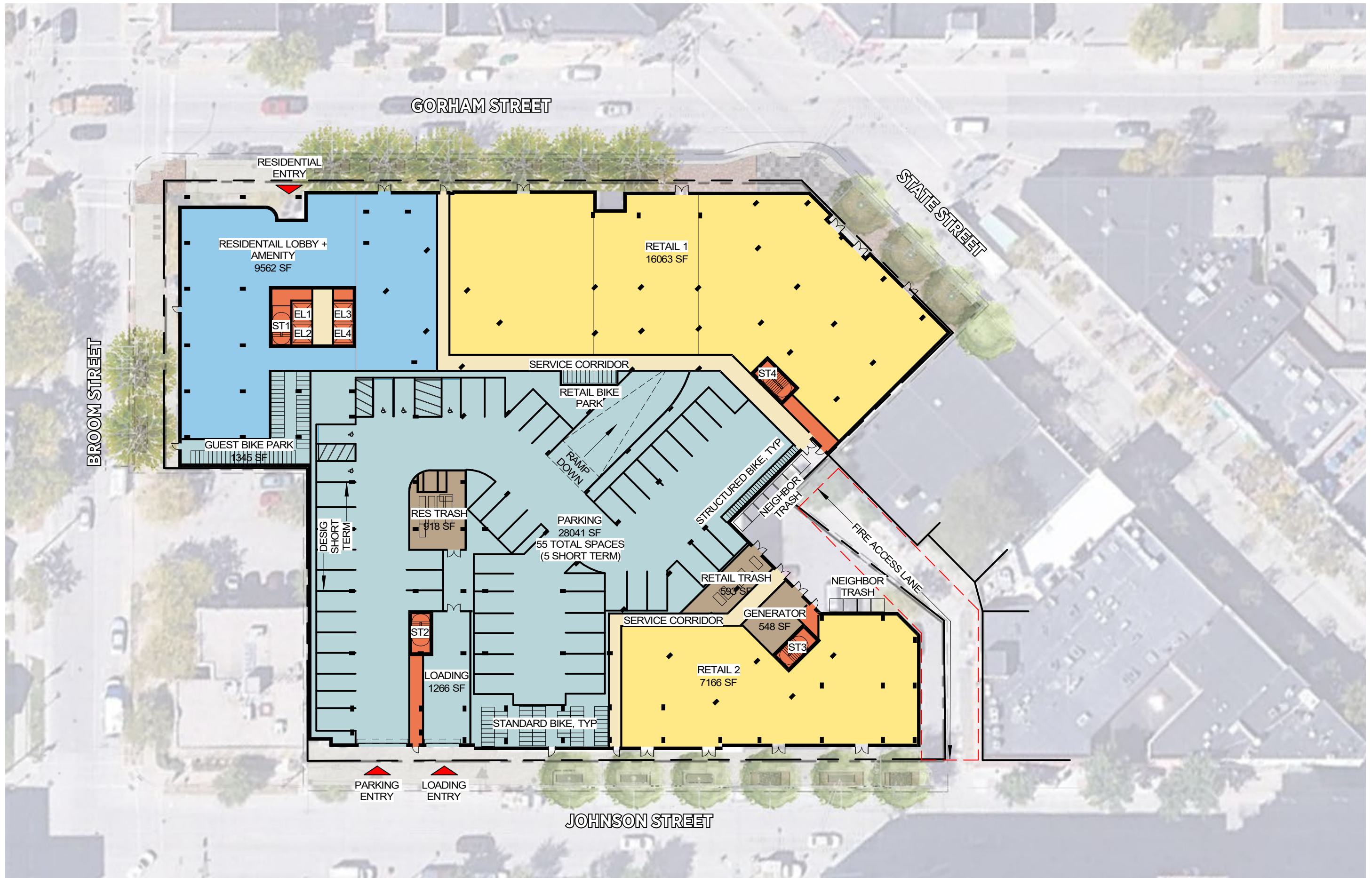
ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER

**TITLE SHEET**

MADISON, WISCONSIN • AUGUST 19, 2021

**A1**





# ADDENDUM 1

PLANNED UNIT DEVELOPMENT:  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

PROPOSED LEVEL 1/SITE PLAN

MADISON, WISCONSIN • AUGUST 19, 2021



OLIV MADISON

ANTUNOVICH ASSOCIATES • ARCHITECTURE, PLANNING, INTERIOR DESIGN • CORE SPACES • DEVELOPER





- GL-01 ALUMINUM WINDOW SYSTEM  
GL-02 ALUMINUM STOREFRONT SYSTEM  
GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK  
BR-02 BRICK  
BR-03 BRICK  
BR-04 BRICK  
BR-05 BRICK (REBUILD)  
BR-06 BRICK (REBUILD)  
BR-07 BRICK (REBUILD)  
BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL  
MP-02 METAL PANEL

**ADDENDUM 1**  
**PLANNED UNIT DEVELOPMENT:**  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

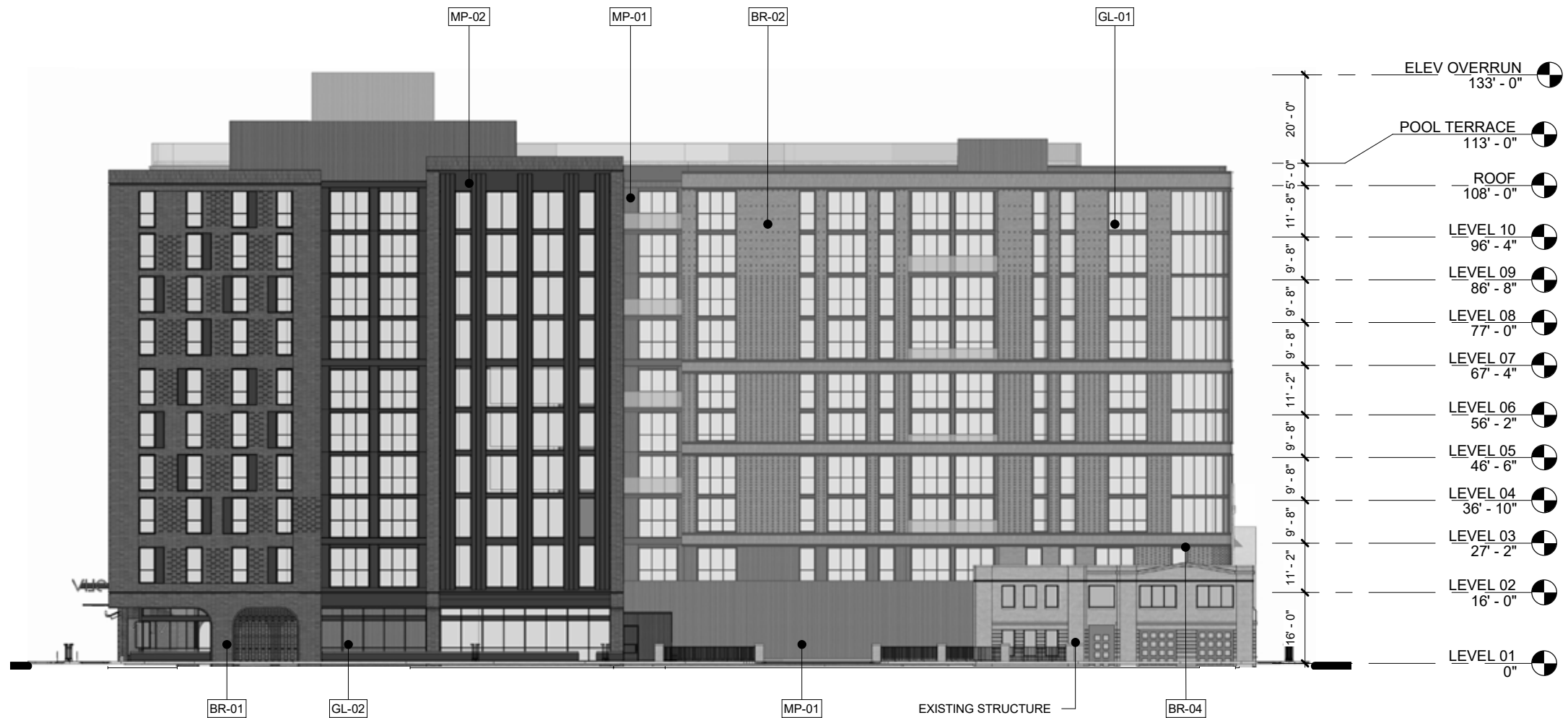




- GL-01 ALUMINUM WINDOW SYSTEM
- GL-02 ALUMINUM STOREFRONT SYSTEM
- GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK
- BR-02 BRICK
- BR-03 BRICK
- BR-04 BRICK
- BR-05 BRICK (REBUILD)
- BR-06 BRICK (REBUILD)
- BR-07 BRICK (REBUILD)
- BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL
- MP-02 METAL PANEL

ADDENDUM 1  
PLANNED UNIT DEVELOPMENT:  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL





- GL-01 ALUMINUM WINDOW SYSTEM
- GL-02 ALUMINUM STOREFRONT SYSTEM
- GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK
- BR-02 BRICK
- BR-03 BRICK
- BR-04 BRICK
- BR-05 BRICK (REBUILD)
- BR-06 BRICK (REBUILD)
- BR-07 BRICK (REBUILD)
- BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL
- MP-02 METAL PANEL

#### ADDENDUM 1

PLANNED UNIT DEVELOPMENT:  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL



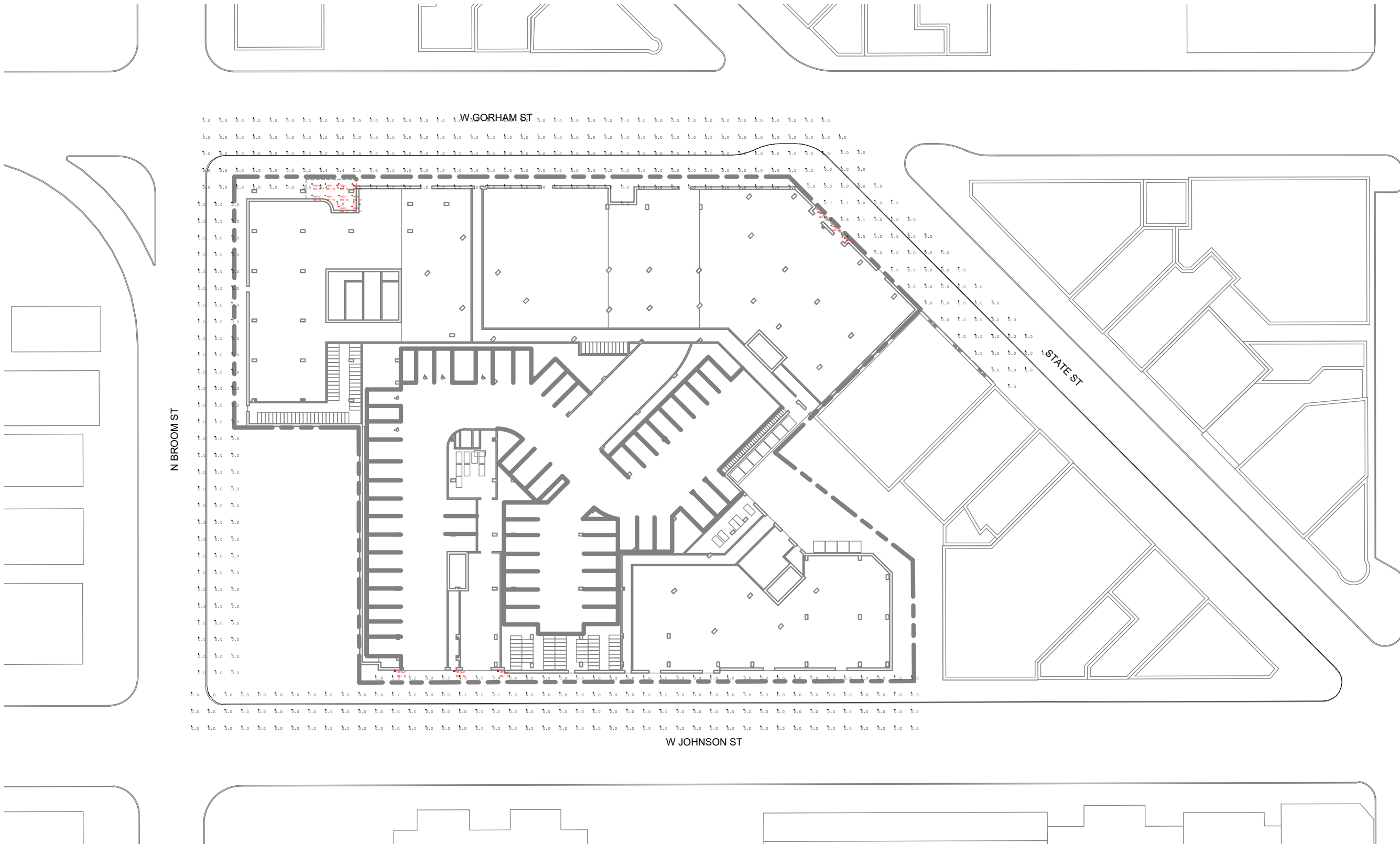


- GL-01 ALUMINUM WINDOW SYSTEM
- GL-02 ALUMINUM STOREFRONT SYSTEM
- GL-03 METAL & GLASS GUARDRAIL
- BR-01 BRICK
- BR-02 BRICK
- BR-03 BRICK
- BR-04 BRICK
- BR-05 BRICK (REBUILD)
- BR-06 BRICK (REBUILD)
- BR-07 BRICK (REBUILD)
- BR-08 BRICK (REBUILD)
- TC-01 TERRA COTTA (REBUILD)
- MP-01 CORRUGATED METAL PANEL
- MP-02 METAL PANEL

## ADDENDUM 1

PLANNED UNIT DEVELOPMENT:  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL






Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
N BROOM ST	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
STATE ST	Illuminance	Fc	0.14	3.6	0.0	N.A.	N.A.
W GORHAM ST	Illuminance	Fc	0.18	6.8	0.0	N.A.	N.A.
W JOHNSON ST	Illuminance	Fc	0.09	5.3	0.0	N.A.	N.A.
SIDEWALK	Illuminance	Fc	0.23	6.8	0.0	N.A.	N.A.

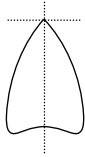
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Lumens	Watts
⊕	13	Gotham Evo 2in Downlight	Single	EVO2 30_05 AR LD MWD 90CRI	HEX-1	0.850	447	6.3347
⊗	3	Gotham Evo 6in Wall Cylinder	Single	EVO6WC 30_05 AR MWD LSS	HEX-2	0.850	494	6.2

ADDENDUM 1  
PLANNED UNIT DEVELOPMENT:  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL



	HARTRANFT LIGHTING DESIGN, LLC													
	PAULA ZIEGENBEIN: PAULA@ADHLIGHTING.COM													
	NORA LUDDEN: NORA@ADHLIGHTING.COM													
ARCHITECTURAL LIGHTING FIXTURE SCHEDULE												REVISION: REV.#		
PROJECT: CORE SPACES OLIV MADISON									PROJECT #:			DATE: 08 18 2021		
NOTES														
1	SHOULD THE CONTRACTOR WISH TO HAVE PRODUCTS OTHER THAN THOSE SPECIFIED CONSIDERED, THE ITEMS MUST BE SUBMITTED (14) DAYS IN ADVANCE OF THE BID. FAILURE TO SUBMIT WITHIN THAT DEADLINE CONSTITUTES A GUARANTEE THAT THE SPECIFIED PRODUCTS WILL BE SUPPLIED.													
2	CONTRACTOR SHALL PROVIDE A COMPLETE LIST OF ALL LAMPS WHICH WILL BE FURNISHED ON THE PROJECT. THIS LIST SHALL BE ORGANIZED ALPHABETICALLY BY LUMINAIRE TYPE INDICATED ON THE LUMINAIRE SCHEDULE, AND INCLUDE THE MANUFACTURER AND EXACT MODEL ORDERING CODE OF EACH LAMP.													
3	THE CONTRACTOR SHALL PROVIDE AN ADDITIONAL 10% OF ALL LAMPS LISTED AT PROJECT TURN OVER. LAMPS ARE FOR SPARE REPLACEMENT LAMPS. LIST OF SPARE LAMPS TO BE INCLUDED IN SUBMITTAL DOCUMENTATION.													
4	ALL EMERGENCY AND EXIT LIGHTING SHALL BE DESIGNED AND SPECIFIED BY THE ELECTRICAL ENGINEER													
5	0-10V DIMMING REQUIRES 5 WIRES.													
6	CONFIRM WITH ARCHITECT THE EXACT MOUNTING HEIGHT AFF													
7	CONTRACTOR MUST PROVIDE UNIT PRICING TO THE ARCHITECT- FOR EACH FIXTURE TYPE COMPLETE WITH ALL ACCESSORIES AND LAMP.													
FIXTURE TYPE	DESCRIPTION	LAMP	MANUFACTURER	CATALOG NUMBER	POWER SUPPLY	SYSTEM WATTS	VOLTS	CONE	APER. SIZE	MOUNTING				NOTES
										SURFACE	FINISH	RECESS	DEPTH	
HEX-1	RECESSED DOWNLIGHT	3000K, 500 LM 85 CRI	GOTHAM	EVO2 30/05 AR LSS MWD MVOLT UGZ	INTEGRAL LED POWER SUPPLY, 0-10V DIMMING	6.3W	BY EE		2"			X	5-1/8"	ARCHITECT TO CONFIRM FINISH AND MOUNTING.
HEX-2	CYLINDER SCONCE	3000K, 500 LM 85 CRI	GOTHAM	EVO6WC 30/05 AR MWD LSS MVOLT GZ1	INTEGRAL LED POWER SUPPLY, 0-10V DIMMING	6.2W	BY EE		6"	X				ARCHITECT TO CONFIRM FINISH AND MOUNTING.





Luminaire Type:   
Catalog Number:



General Illumination Round Downlight

2"



Feature Set

- Batwing distribution with feathered edges provides even illumination on horizontal and vertical surfaces
- Bounding Ray™ optical design
- 50° Cutoff to source and source image
- Field interchangeable optic
- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional
- Fixtures are wet location, covered ceiling
- ENERGY STAR® Certified product

Distribution



Superior Performance

Nominal lumens	250	500	750	1000	1500	2000
Delivered	265	540	802	1073	1537	2094
Wattage	3.4	6.3	9.7	12.7	21.2	31.7
Efficacy	78	85	83	84	73	66

\*Based on 3500K 80CRI 150 AR LSS

Coordinated Apertures | Multiple Layers of Light



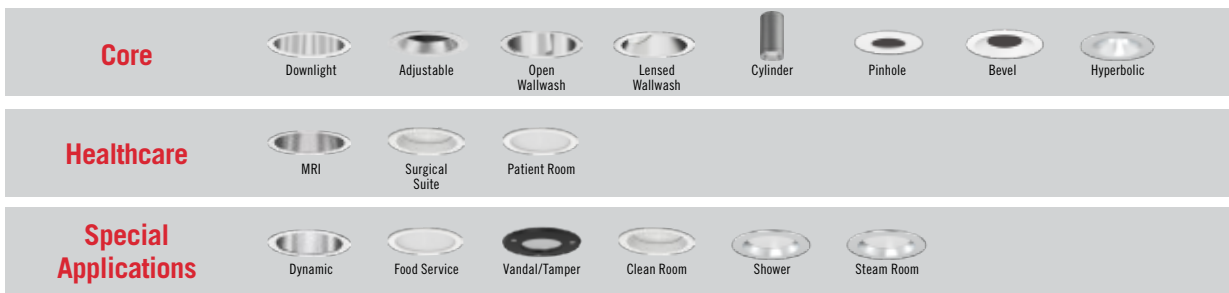
General Illumination Layer | EVO



High Center Beam Layer | Incito



EVO + Incito — Multiple Layers of Light

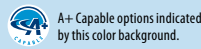


EVO2  
page 1 of 8  
GOTHAM ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Conyers, GA 30012 | P 800-705-SERV (7378) | gothamlighting.com  
© 2014-2021 Acuity Brands Lighting Inc. All Rights Reserved. Rev. 03/04/21 Specifications subject to change without notice.  
The product images shown here are for illustration purposes only and may not be an exact representation of the product.

HARTRANFT LIGHTING DESIGN

2"

General Illumination Round Downlight



Luminaire Type:   
Catalog Number:

EXAMPLE: EV02 35/20 AR LSS ND MVOLT UGZ

Series	Color Temperature	Lumens	Reflector Color	Flange Type	Reflector Finish	Distribution
EV02	27/ 2700 K 30/ 3000 K 35/ 3500 K 40/ 4000 K 50/ 5000 K	02 250 lumens 05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens	AR Clear PR Pewter WTR Wheat GR Gold WR <sup>2</sup> White painted BR <sup>2</sup> Black BZR <sup>2</sup> Dark Bronze painted	(blank) Self-flanged FL Flangeless	LSS Semi-specular LD Matte diffuse	ND Narrow (0.8 s/mh) MWD Medium Wide (1.0 s/mh) WD Wide (1.2 s/mh)

Voltage	Driver	Control Interface <sup>5</sup>	Options
MVOLT 120V - 277V 120 120V 277 277V	UGZ <sup>2</sup> Universal dimming to 1% (0-10V, 120V TRIAC or ELV) ECOD <sup>4</sup> Lutron® EcoSystem® digital Hi-Lume <1% soft-on, fade to black. Min: 500LM; Max: 1500LM	(blank) NLT nLight® dimming pack. NLTER <sup>6</sup> nLight® dimming pack for fixtures on emergency circuit NLTAIR2 nLight® AIR dimming pack. NLTAIRER2 <sup>6</sup> nLight® AIR dimming pack for fixtures on emergency circuit NLTAIREM2 nLight® AIR dimming pack for fixtures on emergency circuit	90CRI <sup>1</sup> High CRI (90+) NCH <sup>7</sup> Structural reinforcement pan ICAT <sup>8</sup> IC/Airtight housing construction CP <sup>9</sup> Chicago Plenum HAO <sup>9</sup> High ambient (40°C) N80 <sup>12</sup> nLight Lumen Compensation TRW <sup>10</sup> White painted flange TRBL <sup>11</sup> Black painted flange

ACCESSORIES — order as separate catalog numbers (shipped separately)

HS258	2-5/8" Hole saw
HS234FL	Hole saw for flangeless trim option
SDT 347/120 75VA	347V/120V, 75VA step down transformer. Must be remote mounted.

ORDERING NOTES

- 5000K CCT not available with 90CRI
- Not available with Reflector Finish
- Refer to [Tech 24Q](#) for compatible dimmers.
- Not available with Control Interfaces (nLight). Not compatible with spray foam with 1000LM, 1500LM, or 2000LM options.
- Field installed. Access required to location of remote mounted device
- ER for use with generator supply power. Will require an emergency hot feed and normal hot feed.
- NCH is required for T-grid ceilings or where code requires.
- Not available with 1500lm or 2000lm
- Not available with 2000lm
- For use with different reflector finish only (i.e. AR, PR, WTR, GR options). Not available with WR (White Reflector). Not available with FL.
- For use with different reflector finish only (i.e. AR, PR, WTR, GR options). Not available with BR (Black Reflector). Not available with FL.
- Requires NLT or NLTER.

EVO2  
page 2 of 8  
GOTHAM ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Conyers, GA 30012 | P 800-705-SERV (7378) | gothamlighting.com  
© 2014-2021 Acuity Brands Lighting Inc. All Rights Reserved. Rev. 03/04/21 Specifications subject to change without notice.  
The product images shown here are for illustration purposes only and may not be an exact representation of the product.

HARTRANFT LIGHTING DESIGN

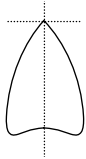
ADDENDUM 1

PLANNED UNIT DEVELOPMENT:  
GENERAL DEVELOPMENT PLAN/SPECIFIC  
IMPLEMENTATION PLAN SUBMITTAL

FIXTURE CUT SHEET

MADISON, WISCONSIN • AUGUST 19, 2021





Luminaire Type:   
Catalog Number:



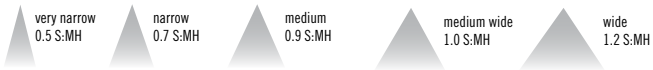
## General Illumination Wall Mount Cylinder

6"

### Feature Set

- Batwing distribution with feathered edges provides even illumination on horizontal and vertical surfaces
- Bounding Ray™ optical design
- 45° cutoff to source and source image
- Fully serviceable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 SDCM; 85 CRI typical, 90+ CRI optional
- Fixtures are damp location standard; wet location option (WL), covered ceiling, IP66 option available, covered ceiling not required.
- 20 standard colors in textured and gloss finish; custom or RAL colors also available
- Field configurable surface junction box conduit covers available
- ENERGY STAR® Certified product

### Distribution



### Superior Performance

Nominal Lumens	250	500	750	1000	1500	2000	2500	3000	3500	4000	4500	5000	6000	8000
Delivered Lumens	297	519	776	994	1471	2006	2537	3077	3542	4027	4533	5256	6371	8247
Wattage	3.4	6.2	8.2	9.6	14.7	19.7	24.7	29.5	33.8	39.0	47.3	48.7	57.6	74.9
Lumens per Watt	87.4	83.7	94.6	103.5	100.1	101.8	102.7	104.3	104.8	103.3	95.8	107.9	110.6	110.1

### Coordinated Apertures | Multiple Layers of Light



General Illumination Layer | EVO



High Center Beam Layer | Incito



EVO + Incito — Multiple Layers of Light

### Core



### Healthcare

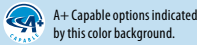


### Special Applications



6"

General Illumination Wall Mount Cylinder



Luminaire Type:   
Catalog Number:

EXAMPLE: EVO6WC 35/15 AR MWD LSS MVOLT EZ1 JBX DN DWHG

Series	Color Temperature	Lumens	Reflector Color	Distribution	Reflector Finish	Voltage
EVO6WC	27/ 2700 K 30/ 3000 K 35/ 3500 K 40/ 4000 K 50/ 5000 K	02 250 lumens 05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 35 3500 lumens 40 4000 lumens 45 4500 lumens 50 5000 lumens 60 6000 lumens 80 8000 lumens	AR Clear PR Pewter WTR Wheat GR Gold WR¹ White painted BR¹ Black WRAMF¹ White anti-microbial BZR¹ Dark Bronze painted	ASYM² Asymmetric VND Very narrow (0.5 s/mh) ND Narrow (0.7 s/mh) MD Medium (0.9 s/mh) MWD Medium wide (1.0 s/mh) WD Wide (1.2 s/mh)	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT 120V - 277V 120 120V 277 277V 347³ 347V

Driver⁴	Mounting	Fixture Orientation
GZ10 GZ1 EZ10 EZ1 EZB EDAB⁵ EDXB⁵⁶ ECOS2⁵ ECOD⁵ ELV⁵	JBX Integral driver, Recessed or Surface J-box JBXCC Integral driver, Surface J-box with Conduit Covers	DN Mounted with reflector pointing down UP⁷ Mounted with reflector pointing up

Control Interface <sup>8</sup>		Options		Architectural Colors - Powder Paint <sup>13</sup>			
(blank)	No controls	SF	Single fuse. Specify 120V or 277V..	DDB	Gloss Dark Bronze	DDBT	Textured Dark Bronze
NLT	nLight® dimming pack.	90CRI N80	High CRI (90+) nLight Lumen Compensation	DBL	Matte Black	DBLB	Textured Black
NLTER <sup>9</sup>	nLight® dimming pack for fixtures on emergency circuit			DWH	Gloss White	DWHG	Textured White
NLTAIR2	nLight® AIR dimming pack.			DMB	Matte Medium Bronze	DBNH	Textured Bronze
NLTAIRER2 <sup>9</sup>	nLight® AIR dimming pack for fixtures on emergency circuit			DNA	Gloss Natural Aluminum	DNAT	Textured Natural Aluminum
		HAO <sup>10</sup>	HAO High Ambient Option (40°C)	DSS	Gloss Sandstone	DSST	Textured Sandstone
		WL <sup>11</sup>	Wet Location	DGC	Gloss Charcoal Grey	DSPD	Textured Dark Grey
		IP66 <sup>12</sup>	Lensed, IP66 rated	DTG	Gloss Tennis Green	DSPE	Textured Green
				DBR	Gloss Bright Red	DSPH	Textured Light Red
				DSB	Gloss Steel Blue	DWHAMF	Gloss White with Anti-microbial finish

### ACCESSORIES — order as separate catalog numbers (shipped separately)

GCOLORS KIT Architectural colors chip kit, consisting of powder-coat and plated finishes

### ORDERING NOTES

- Not Available with Finishes.
- Requires UP option.
- Factory supplied step down transformer must be remote mounted. Access required to location of remote mounted device.
- Refer to [Tech 240](#) for compatible dimmers.
- Not Available with Control Interfaces.
- Includes terminator resistor.
- For indoor use, damp location only.
- Field installed. Access required to location of remote mounted device.
- For use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Only available up to 3500 lumens; not available with WL or ECOS2.
- Not available with UP. Max: 3500LM.
- IP66 should be selected if Wet Location is required with UP fixture orientation.
- For details on RAL and Custom colors please see [Architectural colors](#)