

ELEMENT COLLECTIVE - MULTIFAMILY

421 Charmany Dr.
Madison, Wisconsin 53719



LAND USE APPLICATION

07/14/2021

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CONDITIONAL USE SUMMARY				
TRADITIONAL SHOPPING STREET (TSS) DISTRICT				
CODE SECTION	CONDITIONAL USE REQUIRING APPROVAL	APPLICABLE TO	PROPOSED	SHEET(S)
1 28.061 (1) MIXED-USE AND COMMERCIAL DISTRICT USES	MULTI-FAMILY DWELLING (>8 UNITS)	MULTIFAMILY BUILDING	179 UNITS	T-2.00 A-1.01 A-1.02
2 28.061 (1) MIXED-USE AND COMMERCIAL DISTRICT USES	OUTDOOR EATING AREA ASSOCIATED WITH FOOD & BEVERAGE ESTABLISHMENT	TERRACE OUTSIDE OF CAFE IN MULTIFAMILY BUILDING	OUTDOOR EATING AREA	A-1.P2
3 28.061 (1) MIXED-USE AND COMMERCIAL DISTRICT USES	OUTDOOR RECREATION	MULTIFAMILY BUILDING	PRIVATE POOL FOR RESIDENTS	A-1.01
4 28.061 (1) MIXED-USE AND COMMERCIAL DISTRICT USES	PARKING FACILITY, PRIVATE	PARKING PODIUM	328 STALL PRIVATE PARKING GARAGE WITH PUBLIC ACCESS	T-2.00 A-1.P1 A-1.P2
5 28.065 (3)(G) - TRADITIONAL SHOPPING STREET DISTRICT	BUILDING HEIGHT EXCEEDING 3 STORIES/40'	MULTIFAMILY BUILDING	MAX 77'-11" ABOVE GRADE (6 STORIES), MIN 51'-11" ABOVE GRADE (4 STORIES)	A-3.10 A-3.11

TRYBA ARCHITECTS

MANDEL GROUP

LAND USE
APPLICATION

07/14/2021

ELEMENT COLLECTIVE - MULTIFAMILY

421 Charmany Dr.
Madison, Wisconsin 53719

Developer
Mandel Group
330 E Kilbourn Avenue
Milwaukee, Wisconsin 53202
414.347.3600
www.mandelgroup.com

Architect
Tryba Architects
1620 Logan Street
Denver, CO 80203
303.831.4010
www.trybaarchitects.com

Lighting Designer
Enterprise Lighting, Ltd.
2007 Pewaukee Road
Waukesha, WI 53188
262.953.2700
www.enterpriselighting.com

Landscape
David J. Frank
3601 W Wells St
Milwaukee, WI 53208
262.255.4888
www.davidjfrank.com

Civil
D'Onofrio Kottke & Associates, Inc.
7530 Westward Way
Madison, WI 53717
608.833.7530
www.donofrio.cc

LOT SUMMARY:

TOTAL PARCEL AREA:		146,153 SF
TOTAL PARCEL ZONING LOT AREA - TSS:		97,517 SF
BUILDING FOOTPRINT:		73,075 SF
AREA TYPE	REQ'D	PROVIDED
MAX LOT COVERAGE*	82,899 SF	78,318 SF
USABLE OPEN SPACE** ROOF DECK PLAZA	7,160 SF	12,695 SF 11,707 SF 988 SF
MINIMUM LOT AREA (FOR EXCLUSIVE RESIDENTIAL USE)***	89,500 SF	97,517 SF
LANDSCAPED AREA PAVED AREA		19,199 SF 5,243 SF

* MAXIMUM LOT COVERAGE IS DEFINED AS 85%
PER 28.065 - TRADITIONAL SHOPPING STREET
(TSS) DISTRICT

** USABLE OPEN SPACE IS DEFINED AS 40 SF/UNIT PER 28.065 - TRADITIONAL SHOPPING STREET (TSS) DISTRICT. PER 28.140 - USABLE OPEN SPACE, WITHIN THE TSS AND MXC DISTRICTS, ROOF DECKS AND BALCONIES MAY BE USED TO MEET UP TO 100% OF THE MINIMUM OPEN SPACE REQUIREMENTS PROVIDED THAT THE DIMENSIONS SET FORTH ARE MET.

*** LOT AREA (FOR EXCLUSIVE RESIDENTIAL USE
IS DEFINED AS 500 SF/UNIT PER 28.065 -
TRADITIONAL SHOPPING STREET (TSS) DISTRICT

Occ Function	Area
LEVEL P2	
BOH	3,759 SF
CAFE	1,548 SF
OFFICE / CO-WORKING	2,844
PARKING GARAGE	58,767 SF
	67,016 SF
LEVEL P1	
AMENITY	7,303 SF
BOH	177 SF
OFFICE / CO-WORKING	659 SF
PARKING GARAGE	59,409 SF
RETAIL	3,396 SF
	70,945 SF
LEVEL 01	
AMENITY	1,185 SF
OUTDOOR AMENITY / GREEN ROOF AREA	24,845 SF
RESIDENTIAL	47,427 SF
	73,457 SF
LEVEL 02	
RESIDENTIAL	47,907 SF
	47,907 SF
LEVEL 03	
RESIDENTIAL	47,907 SF
	47,907 SF
LEVEL 04	
RESIDENTIAL	47,907 SF
	47,907 SF
	355,139 SF

EAST BUILDING

UNIT TYPE	PER FLOOR	TOTALS
CONVERTIBLE	4	17
1 BEDROOM	15	59
2 BEDROOM	4	16
2 BEDROOM + DEN	2	8
TOTAL:	25	100

WEST BUILDING

UNIT TYPE	PER FLOOR	TOTALS
CONVERTIBLE	6	23
1 BEDROOM	8	32
2 BEDROOM	6	23
2 BEDROOM + DEN	0	1
TOTAL:	20	79

RESIDENTIAL GARAGE PARKING TOTALS

LEVEL	P1	P2	TOTALS
STANDARD	139	153	292
ADA*	4	3	7
COMPACT	21	8	29
TANDEM	0	0	0
TOTAL:	164	164	328

* WISCONSIN ADMINISTRATIVE CODE 346.503: AT LEAST 2 PERCENT(7) OF ALL SPACES FOR A FACILITY OFFERING 50 TO 1,000 SPACES.
 ** 28.141 - PARKING AND LOADING STANDARDS.
 YEARS 2021-2025: 10%(33) REQUIRED EV-R SPACES
 2%(7) REQUIRED EVSE SPACES.

CITY OF MADISON - OFF STREET PARKING REQUIREMENTS

MULTI FAMILY DWELLING - 1 PER UNIT
GENERAL RETAIL - 1 PER 400SF
FOOD & BEVERAGE -15% OF CAPACITY OF PERSONS

PROJECT ASSUMPTIONS:

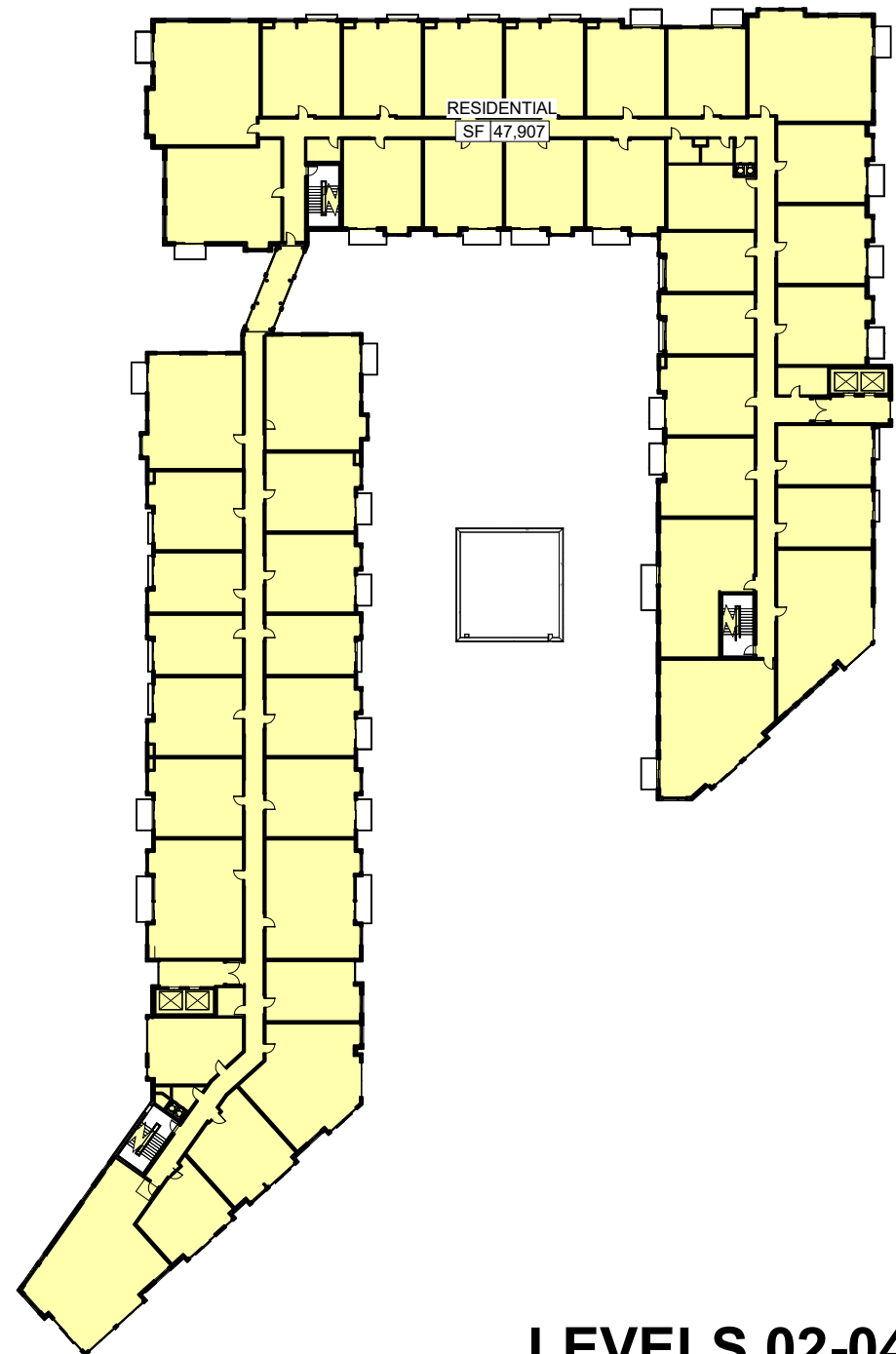
179	MULTIFAMILY: 179 UNITS
8	RETAIL ALONG CATALYST: 2,897 SF 2,897 SF at 1 per 400 = 8 SPACES (RETAIL AT MULTI-FAMILY)
24	CAFE / COWORKING SPACE: 5,002 SF 1,935 SF at LF 15 = 129 OCCUPANTS (ASSEMBLY - UNCONCENTRATED TABLES & CHAIRS) 2,576 SF at LF 100 = 26 OCCUPANTS (OFFICE) <u>491 SF at LF 300 = 2 OCCUPANTS (BACK OF HOUSE STORAGE)</u> 157 OCCUPANTS X .15 = 24 SPACES
211	TOTAL SPACES REQUIRED
328 (117)	TOTAL SPACES PROVIDED

CITY OF MADISON - BICYCLE SPACE REQUIREMENTS

MULTI FAMILY DWELLING - 1 PER UNIT UP TO 2-BD, 1/2 SPACE
PER ADDITIONAL BEDROOM, 1 GUEST SPACE PER 10 UNITS
GENERAL RETAIL - 1 PER 2,000 SF
FOOD & BEVERAGE - 5% OF CAPACITY OF PERSONS

PROJECT ASSUMPTIONS:

202	MULTIFAMILY: 202 SPACES REQUIRED
2	RETAIL ALONG CATALYST: 2,897 SF 2,897 SF at 1 per 2,000 = 2 SPACES
8	CAFE / COWORKING SPACE: 5,002 SF 1,935 SF at LF 15 = 129 OCCUPANTS (ASSEMBLY) 2,576 SF at LF 100 = 26 OCCUPANTS (OFFICE) <u>491 SF at LF 300 = 2 OCCUPANTS (STORAGE)</u> 157 OCCUPANTS X .05 = 8 SPACES
212	TOTAL SPACES REQUIRED
212	BICYCLE SPACES PROVIDED
194	MULTIFAMILY
18	CATALYST ON STREET BIKE RACK



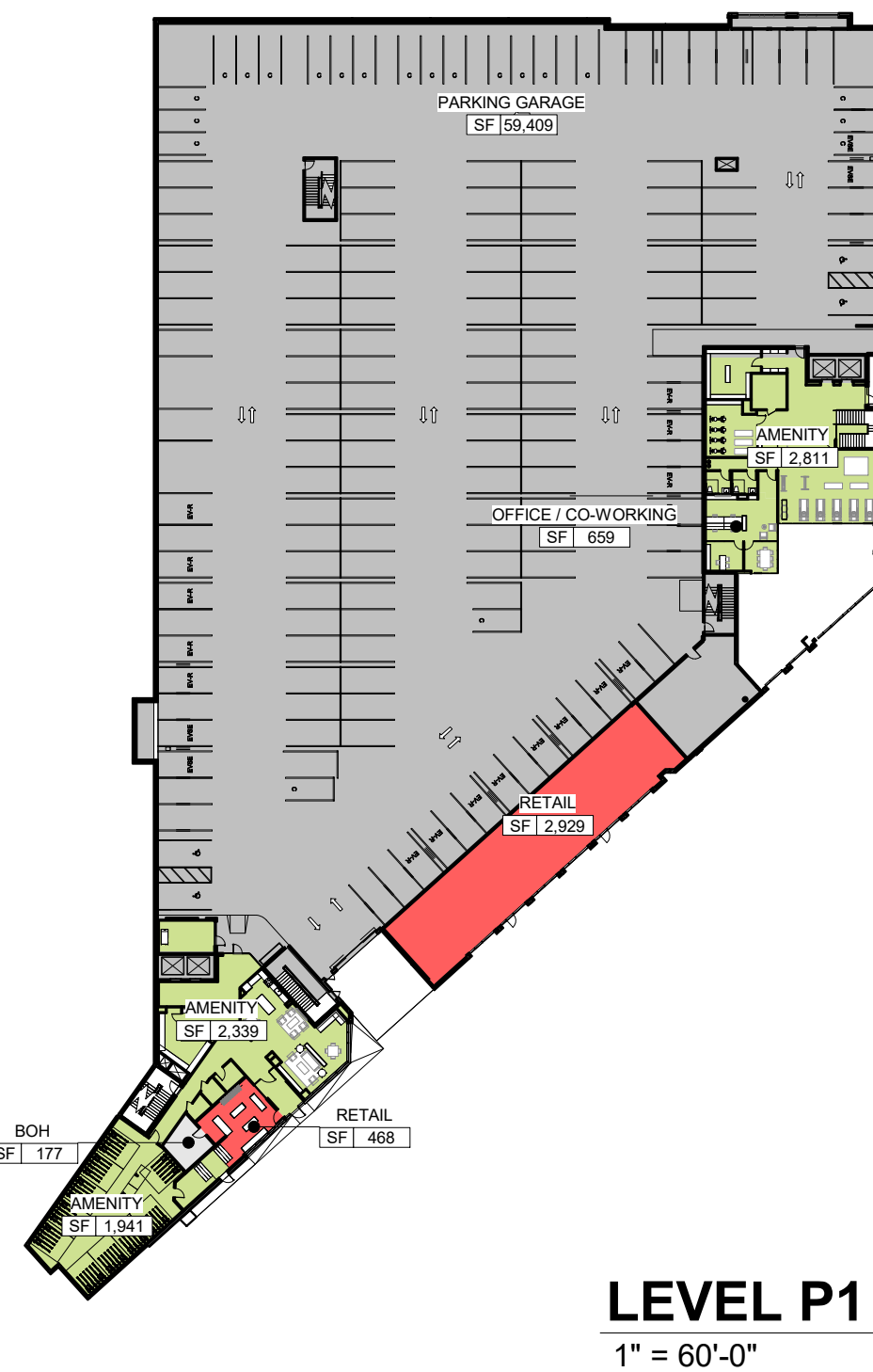
LEVELS 02-04
1" = 60'-0"



LEVEL 01
1" = 60'-0"



LEVEL P2
1" = 60'-0"



LEVEL P1
1" = 60'-0"

ELEMENT COLLECTIVE - MULTIFAMILY

TRYBA ARCHITECTS
1620 Logan Street
Denver Colorado 80203
303.831.4010

421 Charmany Dr.
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MANDEL GROUP

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ISSUE

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PROJECT NO.
1932

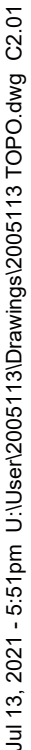
DATE:
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**ELEMENT
COLLECTIVE -
MULTIFAMILY**

T-2.00

DRAWING TITLE

PROJECT SUMMARY



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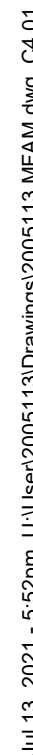
1620 Logan Street
Denver Colorado 80203
303:831.4010

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

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PROJECT NO. 1932	ELEMENT COLLECTIVE MULTIFAMILY
DATE: 07/13/2021	
	C2.01
DRAWING TITLE: EXISTING CONDITIONS	

C2.01



NO IMPROVEMENTS TO BE INSTALLED IN RIGHT-OF-WAY PRIOR TO ISSUANCE OF CERTIFIED CITY PUBLIC IMPROVEMENT PLANS

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS

SITE PLAN

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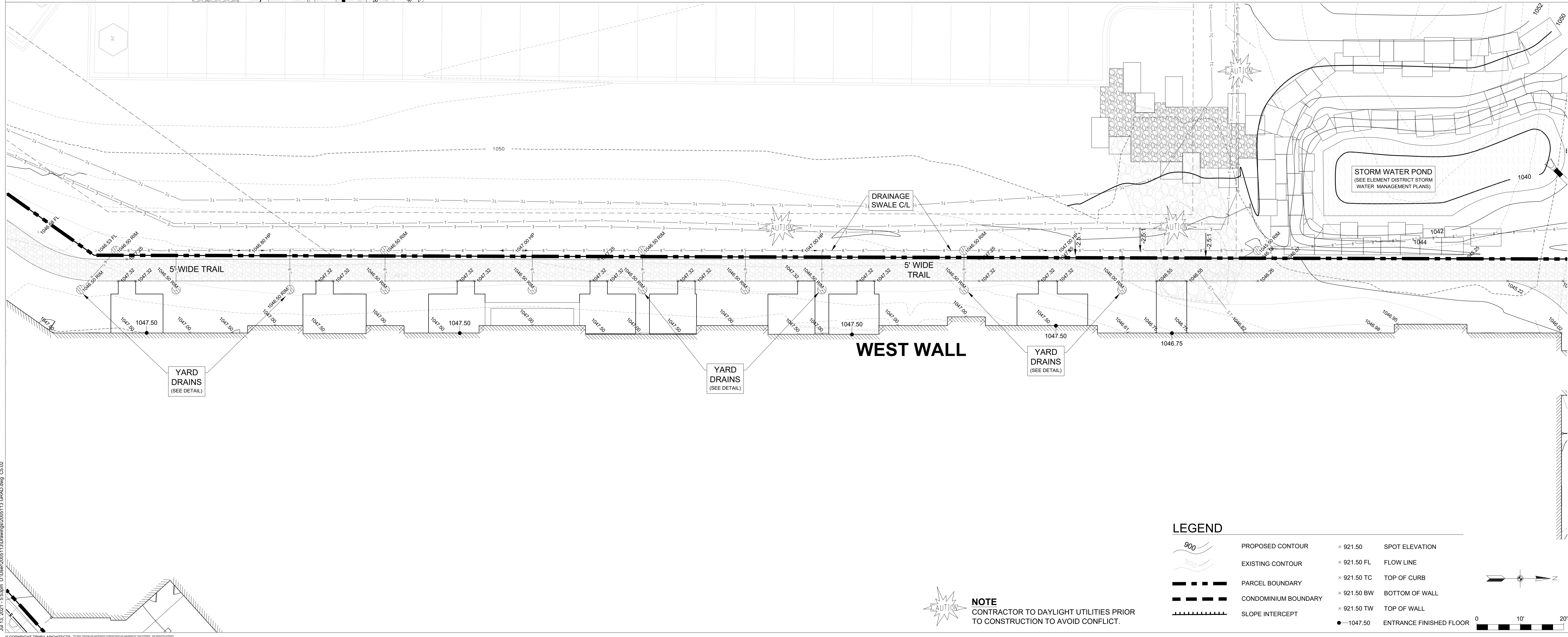
PROJECT NO.	1932
DATE:	07/13/2021

C5.01

GRADING PLAN

1. ALL WORK INCLUDING DETAILS OF CONSTRUCTION NOT SHOWN SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENTS AS NEEDED TO MATCH FIELD CONDITIONS AND RESOLVE PLAN DISCREPANCIES ENCOUNTERED DURING CONSTRUCTION
4. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL COMPLIANCE, REPORTING, AND LIMITING SOIL LOSS AND SEDIMENT DISCHARGE PER THE APPROVED STORM WATER MANAGEMENT AND EROSION CONTROL REPORT.
3. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
4. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
7. THE LOCATION OF EXISTING AND PROPOSED GRADES AS SHOWN ON THE PLANS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE TO ADJUST GRADING AS REQUIRED TO COMPLY WITH STORM WATER MANAGEMENT PLAN, MEET FIELD CONDITIONS, ADJUST GRADES AND SLOPES AS NEEDED TO MEET THE STANDARDS, AND COMPLY WITH SPECIFICATIONS AND PERMITS AS REQUIRED.
8. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
9. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
10. PROVIDE ADDITIONAL PERIMETER CONTROLS AS NEEDED FOR CONSTRUCTION PHASES TO PREVENT RUNOFF FROM SURROUNDING ACTIVE PHASES.
11. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. A FRAMED INLET PROTECTION BAG THAT WILL NOT PROJECT ABOVE THE INLET GRATE SUCH AS FLEX STORM BRAND OR EQUIVALENT IS REQUIRED.
12. INTERIM CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1. FINAL CUT AND FILL SLOPES SHALL BE NO MORE THAN 4:1 UNLESS OTHERWISE NOTED.
13. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
14. ALL INCIDENTUAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
15. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
16. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
17. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQ FT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQ FT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
18. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1601.



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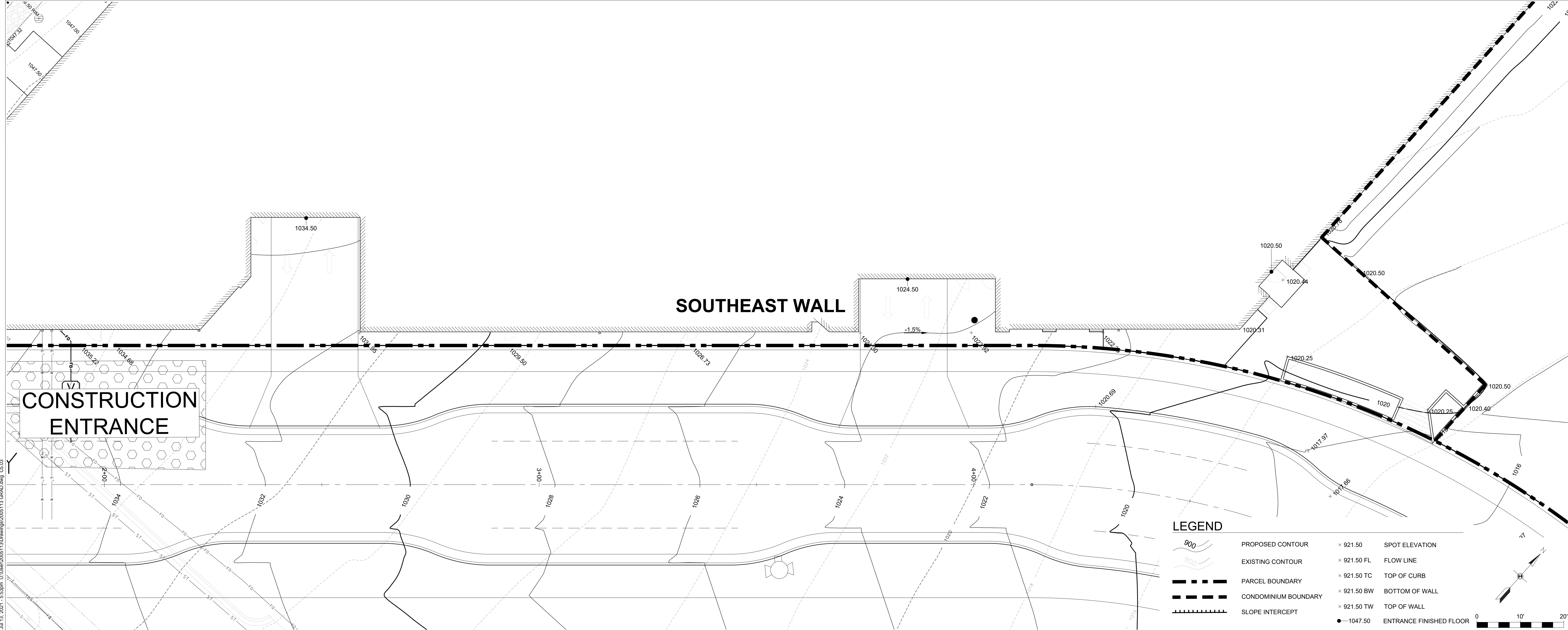
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**ELEMENT
COLLECTIVE
MULTIFAMILY**

C5.02

DRAWING TITLE:

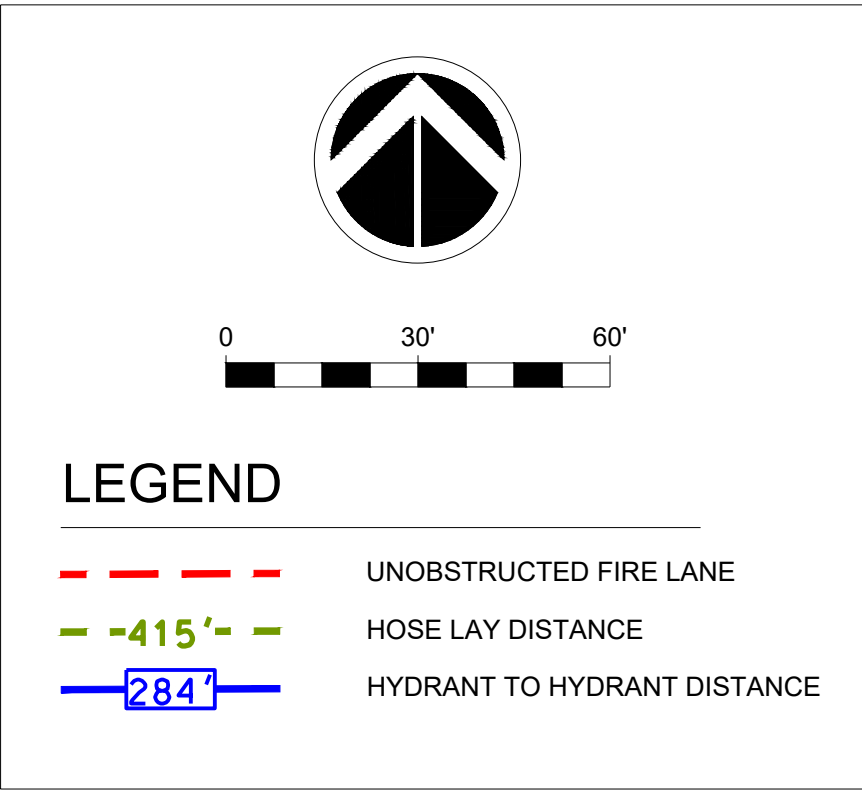
**GRADING PLAN
NORTH & WEST**



DRAWING TITLE:

**GRADING PLAN
SOUTHEAST**

UTILITY PLAN



	Equivalency List	Element Collective
1	Where an NFPA 13R fire sprinkler system is required, consider upgrading to provide fire sprinklers per NFPA 13 throughout the building, including balconies in R occupancies	NFPA 13 Sprinkler System inclusive of occupiable balconies will be included
2	Provide standby power generator	A battery-based emergency power system will be hard-wired to essential lighting, exit signs, and other code-required devices
3	Provide an elevator with standby power	A battery-based emergency power system will be hard-wired to elevators
4	Provide a fire-resistance-rated stair enclosure allowing firefighter access from the fire lane to the roof	One fire-resistance-rated stair enclosure per multifamily building (two total) will be included
5	Provide two-way firefighter communication services	A bi-directional antennae signal booster will be installed in those areas of the building where signal strength is insufficient to meet code
6	Where aerial access is required, consider locating 26-foot wide fire lanes on two or more sides of the building that accumulatively exceed one entire side.	Two unobstructed aerial access zones (26' wide x 60' long) are located along Catalyst Way, strategically positioned for ideal access to each multifamily building

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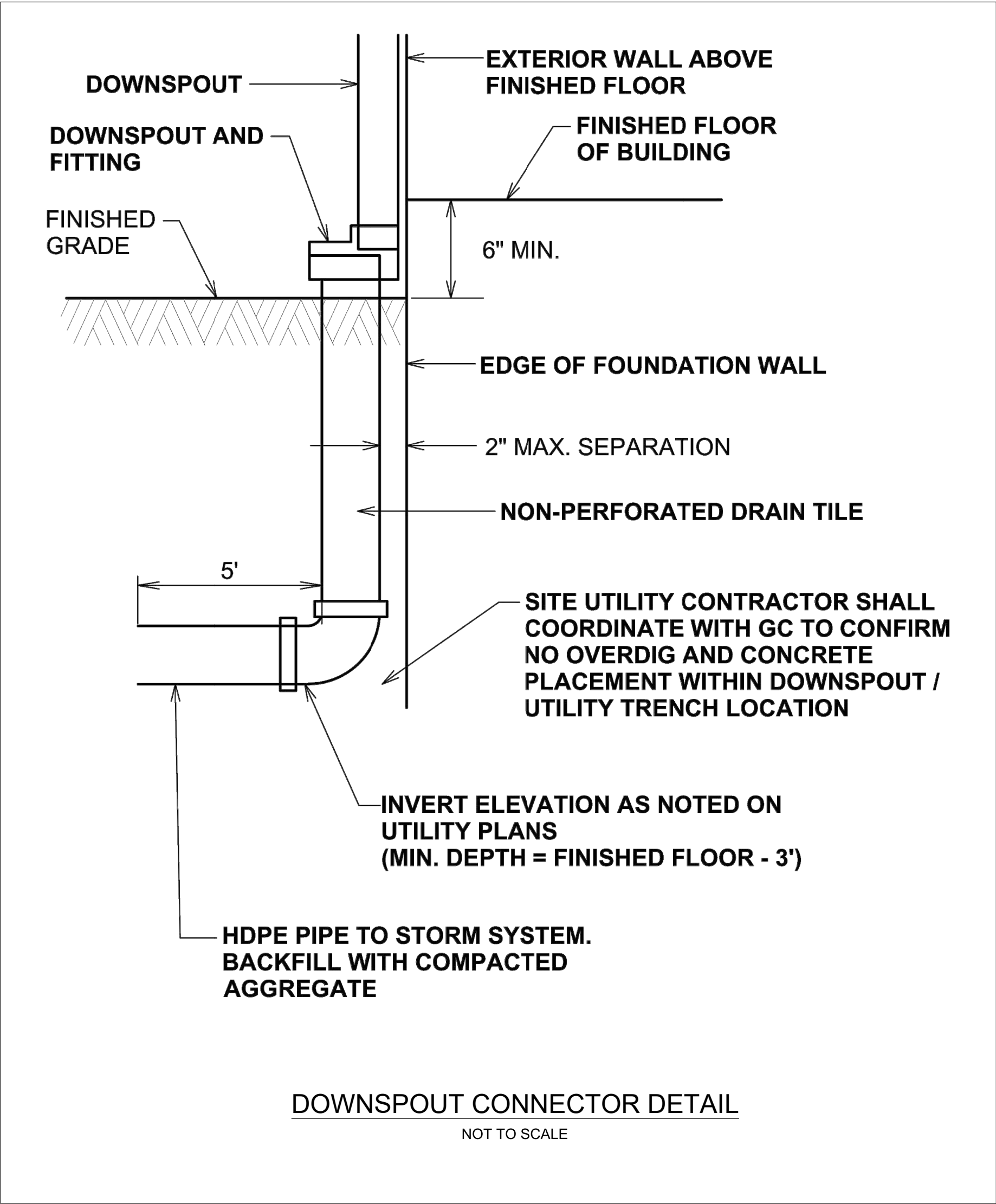
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**ELEMENT
COLLECTIVE
MULTIFAMILY**


C7.01

RAWING TITLE:

FIRE ACCESS PLAN



ADAPTER SIZE	8" BASIN	10" BASIN	12" BASIN	15" BASIN	18" BASIN	24" BASIN	30" BASIN	36" BASIN
4" - 4"	70°	55°	50°	42°	35°	25°	24°	20°
4" - 6"	75°	70°	55°	47°	40°	29°	25°	24°
4" - 8"	100°	80°	65°	55°	45°	35°	28°	27°
4" - 10"	-	95°	75°	62°	52°	40°	32°	30°
4" - 12"	-	-	85°	70°	55°	45°	40°	33°
4" - 15"	-	-	-	80°	65°	51°	44°	38°
4" - 18"	-	-	-	-	78°	60°	50°	44°
4" - 24"	-	-	-	-	-	75°	62°	55°
4" - 30"	-	-	-	-	-	-	75°	73°
4" - 36"	-	-	-	-	-	-	-	74°
6" - 6"	90°	75°	65°	55°	44°	33°	30°	27°
6" - 8"	115°	85°	75°	63°	51°	39°	34°	30°
6" - 10"	-	105°	85°	70°	55°	43°	38°	33°
6" - 12"	-	-	95°	75°	63°	48°	45°	38°
6" - 15"	-	-	-	88°	72°	56°	48°	41°
6" - 18"	-	-	-	-	84°	63°	55°	47°
6" - 24"	-	-	-	-	-	77°	66°	52°
6" - 30"	-	-	-	-	-	-	75°	76°
6" - 36"	-	-	-	-	-	-	-	76°
8" - 8"	165°	90°	80°	70°	55°	44°	35°	33°
8" - 10"	-	115°	88°	76°	63°	48°	45°	36°
8" - 12"	-	-	102°	83°	70°	52°	48°	40°
8" - 15"	-	-	-	95°	78°	60°	55°	44°
8" - 18"	-	-	-	-	90°	70°	60°	50°
8" - 24"	-	-	-	-	-	82°	70°	62°
8" - 30"	-	-	-	-	-	-	80°	69°
8" - 36"	-	-	-	-	-	-	-	75°
10" - 10"	-	160°	90°	82°	70°	53°	48°	40°
10" - 12"	-	-	115°	85°	75°	58°	50°	43°
10" - 15"	-	-	-	103°	85°	65°	58°	47°
10" - 18"	-	-	-	-	97°	72°	65°	53°
10" - 24"	-	-	-	-	-	88°	75°	65°
10" - 30"	-	-	-	-	-	-	85°	72°
10" - 36"	-	-	-	-	-	-	-	84°

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	DATE	3-10-00					
	REVISED BY	NIMH	PROJECT NO./NAME				
	DATE	4-16-19					
	DWG SIZE	A	SCALE		1:1	SHEET	1 OF 1
				DWG NO.	7001-110-012	REV	J

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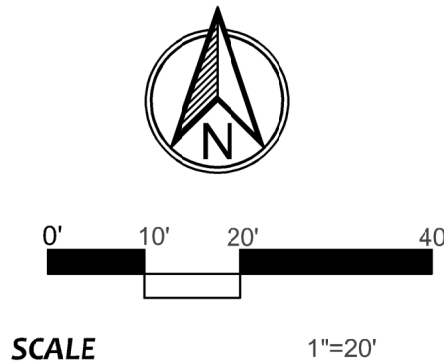
PROJECT NO.	1932
DATE:	07/13/202

**ELEMENT
COLLECTIVE
MULTIFAMILY**

C9.02

DRAWING TITLE:

UTILITY DETAILS



City Street Tree Inventory					
ID #	Species	Size (DBH)	Location	Protect/Remove	Reason for Protection/Removal
1	<i>Acer platanoides</i>	9"	Mineral Point Road R.O.W	Protect	No project impact
2	<i>Acer platanoides</i>	9"	Mineral Point Road R.O.W	Protect	No project impact
3	<i>Gymnocladus dioica</i>	5"	Mineral Point Road R.O.W	Protect	No project impact
4	<i>Acer platanoides</i>	14"	Mineral Point Road R.O.W	Protect	No project impact
5	<i>Gleditsia tricanthos</i>	18"	Mineral Point Road R.O.W	Protect	No project impact
6	<i>Gleditsia tricanthos</i>	12"	Mineral Point Road R.O.W	Protect	No project impact
7	<i>Gleditsia tricanthos</i>	13"	Mineral Point Road R.O.W	Protect	No project impact
8	<i>Gleditsia tricanthos</i>	14"	Mineral Point Road R.O.W	Protect	No project impact
9	<i>Gleditsia tricanthos</i>	22"	Mineral Point Road R.O.W	Protect	No project impact
10	<i>Gleditsia tricanthos</i>	16"	Mineral Point Road R.O.W	Protect	No project impact
11	<i>Gleditsia tricanthos</i>	12"	Mineral Point Road R.O.W	Remove	Conflict with new Element Way street entrance
12	<i>Gleditsia tricanthos</i>	15"	Mineral Point Road R.O.W	Remove	Conflict with new Element Way street entrance

421 Charmany Dr.
Madison, Wisconsin 53719

David J. Frank
Landscape Contracting
N120 W21350 Freistadt Road
Germantown, Wisconsin 53022

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CONSTRUCTION
PROGRESS SET ONLY

[illegible]

ELEMENT
COLLECTIVE -
MULTIFAMILY

STREET TREE PLAN

L1.01 & L6.01
L1.02 & L6.02

11

14

GRILLING STATION

GAS FIRE PIT

ROOF PAVERS AND PEDESTALS

POOL FENCE
SEE ARCHITECTURAL PLANS

PARKING GARAGE PEDESTRIAN ENTRY

PARKING GARAGE ENTRY

R.O.W. PLANTS (N.I.C.)

HARDSCAPING BETWEEN
RETAIL ENTRANCES

RETAIL ENTRANCE

PARKING GARAGE PEDESTRIAN ENTRY

PARKING GARAGE ENTRY

R.O.W. PLANTS (N.I.C.)

R.O.W. PLANTS (N.I.C.)

R.O.W. PLANTS (N.I.C.)

L1.04 & L6.04

SYMBOL	DESCRIPTION	DETAIL
1	The Contractor is required to notify Diggers Hotline (811 or 800-242-8511) to have site marked at least 2 business days prior to digging.	
2	Contractor is required to confirm all plant quantities shown on Plant & Material List and landscape planting symbols and list any inconsistencies/concerns to General Contractor.	
3	Plantings must comply with standards as defined in American Standard of Nursery Stock - 260.1 ANSI. The Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, under-sized, and diseased, improperly transported, installed incorrectly or damaged. Any potential plant substitutions that are "B Grade" or "Park Grade" plant material must be approved by Landscape Architect	
4	Plantings must be planted as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any deviations to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.	
5	Plantings are to be watered comprehensively at the time of planting, through construction and upon completion of project as required. See specifications () for clarifications	
6	Topsoil ought to be placed to within 3" of finish grade by general / grading contractor during rough grading procedures. All parking lot islands (if applicable) to be backfilled with topsoil to a minimum depth of 18" and crown all planting islands and beds a minimum of 6" to allow proper drainage (unless otherwise specified).	
7	Mulching: All tree and shrub planting beds to receive a 3" deep layer of shredded hardwood bark mulch.	
8	Mulching: perennial planting areas (groupings) shall receive a 3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch.	
9	Manual Edging: All planting beds will be bordered with a 3" deep spade edge using a flat landscape spade and a 3" deep spade edge. A clear definition between landscape beds and lawn is required. Bed lines are to be cut crisp, smooth.	
10	Aluminum Edging: to be placed For material and installation see spec ()	
11	Stone maintenance strip to be installed 3-inches deep above weed material with (aluminum) edging. Contractor to install maintenance strip 2-feet wide along building edge, where indicated and in compliance to spec(s)	
12	Plant bed amendment composition: All perennial, groundcover and annual areas are required to receive a blend of soil amendments before installation. For mixtures and installation see spec ()	
13	Seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Formulate the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Erosion control actions are to be used to prevent erosion in excess of 1:3 and where applicable as seen in () Drawings. Means of installation may differ and are at the discretion of the Landscape Contractor on higher responsibility to establish and warrant a smooth, uniform, quality turf.	
14	Sodded turf grass areas: Supplier to prepare topsoil and sod bed, removing all debris and stones 12" and larger. Apply lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI and ASPA Standards. Contractor is responsible to deliver a smooth, uniform, healthy turf.	
15	Fine Fescue seed areas: fine fescue seed mix with annual ryegrass nurse crop (available at Nursery 608-296-3679) or approved comparable mix from a reputable seed mix provider with landscape architect endorsement. Prepare seed bed and soil as specified in item () above.	
16	Native Prairie Seed Mix to be Pollinator/Habitat for Dry Soils by Prairie Nursery. As listed on the Plant and Material List and/or other seeding schedules outlined in Spec(s) Prepare soil and seed bed as in item #12 above.	
17	The Landscape Contractor is accountable for the watering and maintenance of all landscape areas for a period of 90 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed. Work also includes weeding, edging, mulching fertilizing, and trimming, sweeping up grass clippings, pruning and deadheading.	
18	Project Completion: Landscape Contractor is accountable to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative.	
19	Walking path: Rustic Granite Stone from Kafka Granite.	
20	Site bollard see specifications	
21	West Walking path to be Gun Metal Marble stabilized granite from Kafka Granite	

-

David J. Frank
Landscape Contracting

N120 W21350 Freistadt Road
Germantown, WI/Isconsin 53022
(762) 255-4888

TRYBA ARCHITECTS

NOT FOR
CONSTRUCTION
PROGRESS SET ONLY

[illegible]

**ELEMENT
COLLECTIVE -
MULTIFAMILY**

DRAWING TITLE:

**LAYOUT AND MATERIALS
PLAN**

L1.03 & L6.03

Catalyst Way

UPLIGHTS

R.O.W. PLANTS (N.I.C.)

PARKING GARAGE PEDESTRIAN ENTRY

PARKING GARAGE ENTRY

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— R.O.W. PLANTS (N.I.C.)

- PARKING GARAGE PEDESTRIAN ENTRY

- PARKING GARAGE
ENTRY

	SYMBOL	DESCRIPTION	DRAWING
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19		Walking path: Rustic Granite Stone from Kafka Granite.	
20		Site bollard see specifications	
21		West Walking path to be Gun Met Marble stabilized granite from Kafka Granite.	

- | | SYMBOL | DESCRIPTION | DRAWING |
|----|--------|---|---------|
| 1 | | The contractor is required to notify Diggers Hotline (811 or 800-242-8511) to have site marked at least 2 business days prior to digging. | |
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| 18 | | Project Completion: Landscape Contractor is accountable to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative. | |
| 19 | | Walking path: Rustic Granite Stone from Kafka Granite. | |
| 20 | | Site bollard see specifications | |
| 21 | | West Walking path to be Gun Met Marble stabilized granite from Kafka Granite. | |

- Fine Fescue

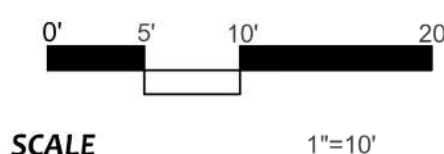
Sod

Native Prairie

Crushed Kafka Granite

Vehicle Entry

Pedestrian Entry

**SCALE** $1^{\circ}=10'$

421 Charmany Dr.
Madison, Wisconsin 53719

1620 Logan Street
Denver Colorado 80203
303:831.4010

N120 W21350 Freilstadt Road
Germantown, Wisconsin 53022

STAMP:

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CONSTRUCTION
PROGRESS SET ONLY

[illegible]

PROJECT NO.

DATE: 07/14/2021

**ELEMENT
COLLECTIVE -
MULTIFAMILY**

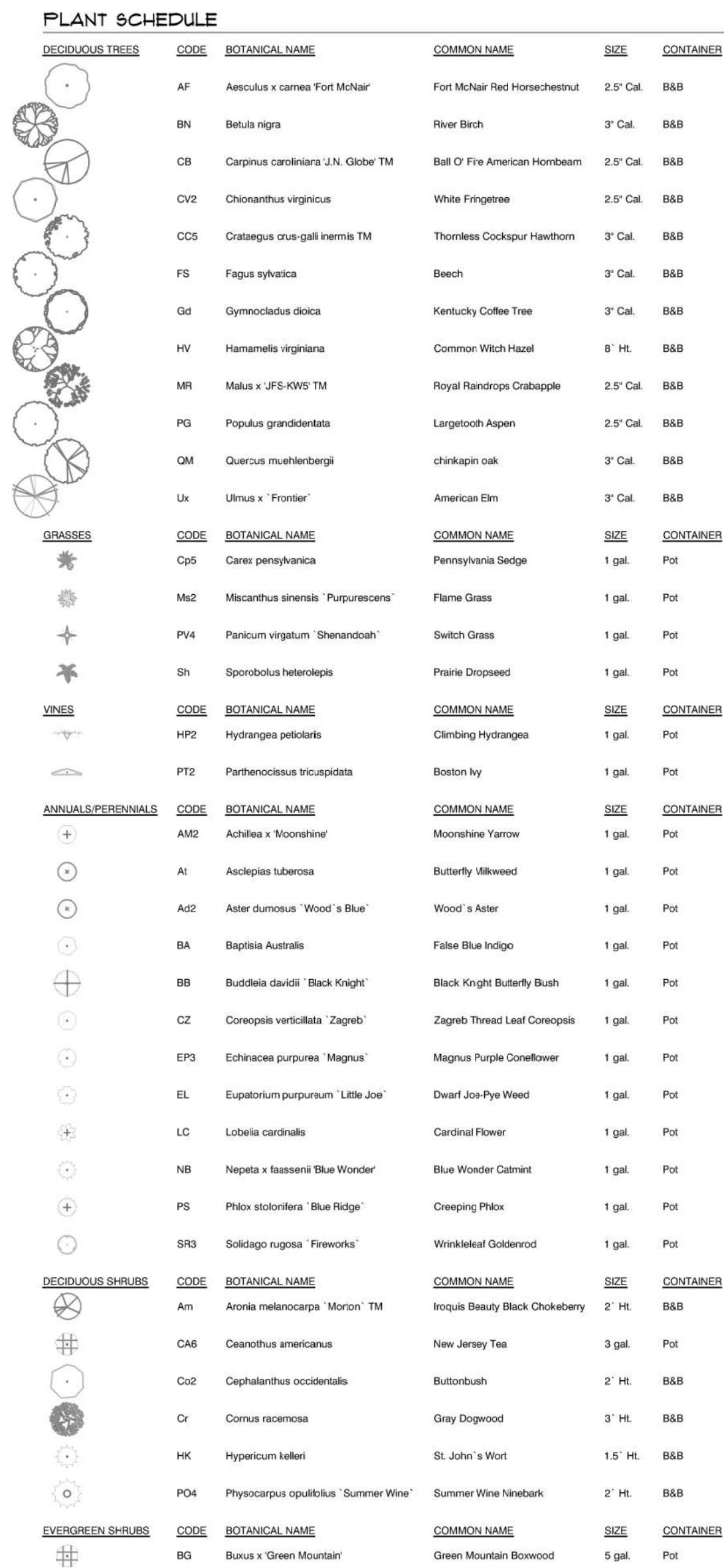
L-1.03

DRAWING TITLE:

LAYOUT AND MATERIALS PLAN



EVERGREEN SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	POINTS	MATURE HEIGHT	MATURE WIDTH
	BG	Buxus x 'Green Mountain'	Green Mountain Boxwood	5 gal.	Pot	20	80	3 - 6' ht.	1 - 3' w.



**ELEMENT COLLECTIVE -
MULTIFAMILY**

421 Charmany Dr.
Madison, Wisconsin 53719

TRYBA ARCHITECTS
1620 Logan Street
Denver Colorado 80202
303.831.4010

David J. Frank
Landscape Contracting
N120 W21350 Freisstadt Road
Germantown, Wisconsin 53022

STAMP:

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CONSTRUCTION
PROGRESS SET ONLY

ISSUE

[illegible]

PROJECT NO.	1932
DATE:	07/14/2021

ELEMENT
COLLECTIVE -
MULTIFAMILY

L-6.01

DRAWING TITLE:

PLANTING PLAN

L1.01 & L6.01
L1.02 & L6.02

L1.04 & L6.04

GRILLING STATION

GAS FIRE PIT

POOL FENCE
SEE ARCHITECTURAL PLANS

ROOF PAVERS
AND PEDESTALS

PARKING GARAGE
PEDESTRIAN ENTRY

PARKING GARAGE
ENTRY

R.O.W. PLANTS (N.I.C.)

R.O.W. PLANTS (N.I.C.)

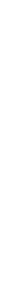
R.O.W. PLANTS (N.I.C.)

HARDSCAPING BETWEEN
RETAIL ENTRANCES

RETAIL ENTRANCE

PARKING GARAGE
PEDESTRIAN ENTRY

PARKING GARAGE
ENTRY

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	AF	Aesculus x comes 'Fort Meier'	For Meier Red Horsechestnut	2.5' Cal.	B&B	
	BN	Betula nigra	River Birch	3' Cal.	B&B	
	CB	Carpinus caroliniana 'J.N. Globe' TM	Ball O' Fire American Hornbeam	2.5' Cal.	B&B	
	CV2	Chionanthus virginicus	White Fringetree	2.5' Cal.	B&B	
	CC5	Crataegus crus-galli inermis TM	Thornless Cockspur Hawthorn	3' Cal.	B&B	
	FS	Fagus sylvatica	Beech	3' Cal.	B&B	
	Gd	Gymnocladus dioica	Kentucky Coffee Tree	3' Cal.	B&B	
	HW	Hamelis virginiana	Common Witch Hazel	8' Ht.	B&B	
	MR	Malus x JFS-KWS TM	Royal Redroutis Crabapple	2.5' Cal.	B&B	
	PG	Populus grandidentata	Largetooth Aspen	2.5' Cal.	B&B	
	QM	Quercus muehlenbergi	chinkapiin oak	3' Cal.	B&B	
	Ux	Ulmus x 'Frontier'	American Elm	3' Cal.	B&B	
	GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
		CP6	Ceres pernyiavica	Pennsylvania Sedge	1 gal.	Pot
		Ma2	Miscanthus sinensis 'Purpureoscens'	Flame Grass	1 gal.	Pot
PK4		Panicum virgatum 'Shenandoah'	Switch Grass	1 gal.	Pot	
Sh		Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot	
VINES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	HP2	Hydrangea petiolaris	Climbing Hydrangea	1 gal.	Pot	
	PT2	Parthenocissus truncupdata	Boston Ivy	1 gal.	Pot	
ANNUAL/SUPERBIENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	AM2	Achillea x 'Moonshine'	Moonshine Yarrow	1 gal.	Pot	
	At	Asclepias tuberosa	Butterfly Milkweed	1 gal.	Pot	
	Ast2	Aster dumosus 'Wood's Blue'	Wood's Aster	1 gal.	Pot	
	BA	Baptisia Australis	False Blue Indigo	1 gal.	Pot	
	BB	Buddleia davidii 'Black Knight'	Black Knight Butterfly Bush	1 gal.	Pot	
	CZ	Coreopsis verticillata 'Zagreb'	Zagreb Thread Leaf Coreopsis	1 gal.	Pot	
	EP3	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gal.	Pot	
	EL	Eupatorium purpureum 'Lifte Joe'	Dwarf Joe-Pye Weed	1 gal.	Pot	
	LC	Lobelia cardinalis	Cardinal Flower	1 gal.	Pot	
	NB	Nepeta x faassoni 'Blue Wonder'	Blue Wonder Catmint	1 gal.	Pot	
	PS	Phlox stolonifera 'Blue Ridge'	Creeping Phlox	1 gal.	Pot	
	SR3	Solidago rugosa 'Fireworks'	Wrinkleleaf Goldenrod	1 gal.	Pot	
	DECIDUOUS SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
		Am	Aronia melanocarpa 'Morton' TM	Ironqu Beauty Black Chokeberry	2' Ht.	B&B
		CA6	Ceanothus americanus	New Jersey Tea	3 gal.	Pot
Co2		Cephalanthus occidentalis	Butterbush	2' Ht.	B&B	
Cr		Cornus racemosa	Gray Dogwood	3' Ht.	B&B	
HK		Hypericum kelleri	St. John's Wort	1.5' Ht.	B&B	
PO4	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	2' Ht.	B&B		
EVERGREEN SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	BG	Buxus x 'Green Mountain'	Green Mountain Boxwood	5 gal.	Pot	

421 Charmany Dr.
Madison, Wisconsin 53719



David J. Frank
Landscape Contracting

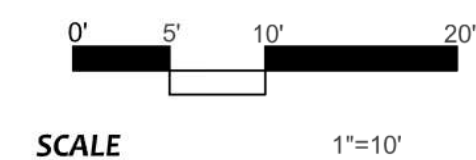
NOT FOR
CONSTRUCTION
PROGRESS SET ONLY

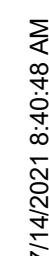
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**ELEMENT
COLLECTIVE -
MULTIFAMILY**

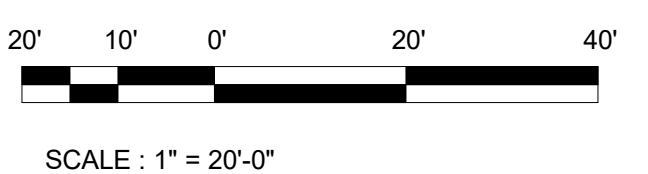
DRAWING TITLE:

PLANTING PLAN





PROJECT NO. 1932	ELEMENT COLLECTIVE - MULTIFAMILY
DATE: 07/14/2021	
	A-1.P2
DRAWING TITLE: OVERALL FLOOR PLAN - LEVEL P2	



1. REFER TO SHEET A0.01 FOR ARCHITECTURAL SYMBOLS
2. GROUND FLOOR ELEVATION IS 100'-0" (XXXX'XX)
3. ROOM NUMBERING IS FOR WAY-FINDING ONLY
4. EXTERIOR DIMENSIONAL REFERENCES REFER TO FACE OF STONE OR FACE OF GLASS UNLESS NOTED OTHERWISE
5. INTERIOR DIMENSIONAL REFERENCES REFER TO FINISHED FACE OF PARTITION, UNLESS NOTED OTHERWISE
6. ALL ROOF ELEVATIONS ARE TO TOP OF ROOF UNLESS NOTED OTHERWISE.
7. ALL DOORS TO BE OFFSET 6" TYPICAL, U.N.O.

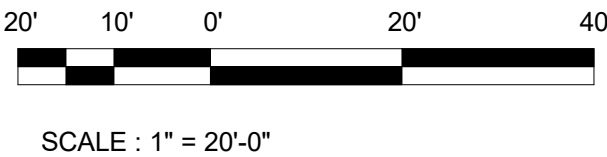


MANDEL GROUP

NOT FOR
CONSTRUCTION
PROGRESS SET ONLY

[illegible]

OVERALL FLOOR PLAN - LEVEL P1



1. REFER TO SHEET A0.01 FOR ARCHITECTURAL SYMBOLS
2. GROUND FLOOR ELEVATION IS 100'-0" (XXXXXX)
3. ROOM NUMBERING IS FOR WAY-FINDING ONLY
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421 Chantry Dr.
Madison, Wisconsin 53719

MANDEL GROUP

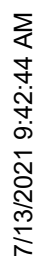
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PROGRESS SET ONLY

[illegible]

**ELEMENT
COLLECTIVE -
MULTIFAMILY**

DRAWING TITLE:

**OVERALL FLOOR PLAN -
LEVEL 1**



1. REFER TO SHEET A0.01 FOR ARCHITECTURAL SYMBOLS
2. GROUND FLOOR ELEVATION IS 100'-0" (XXXX.XX)
3. ROOM NUMBERING IS FOR WAY-FINDING ONLY
4. EXTERIOR DIMENSIONAL REFERENCES REFER TO FACE OF STONE OR FACE OF GLASS UNLESS NOTED OTHERWISE
5. INTERIOR DIMENSIONAL REFERENCES REFER TO FINISHED FACE OF PARTITION, UNLESS NOTED OTHERWISE
6. ALL ROOF ELEVATIONS ARE TO TOP OF ROOF UNLESS NOTED OTHERWISE.
7. ALL DOORS TO BE OFFSET 6" TYPICAL, U.N.O.

MANDEL GROUP

421 Charmany Dr.
Madison, Wisconsin 53719

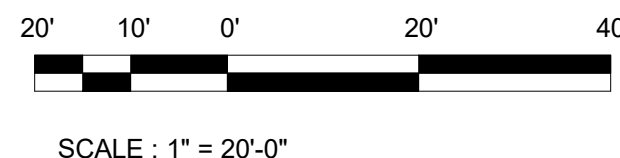
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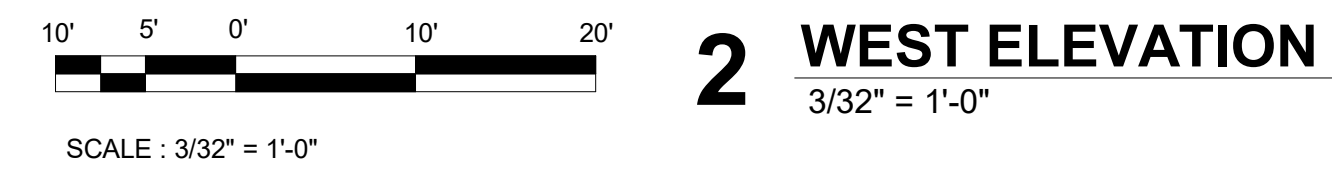
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

**OVERALL FLOOR PLAN -
LEVEL 2-4**



1. REFER TO SHEET A0.01 FOR ARCHITECTURAL SYMBOLS
2. GROUND FLOOR ELEVATION IS 100'-0" (XXXX-XX)
3. ROOM NUMBERING IS FOR WAY-FINDING ONLY
4. EXTERIOR DIMENSIONAL REFERENCES REFER TO FACE OF STONE OR FACE OF GLASS UNLESS NOTED OTHERWISE
5. INTERIOR DIMENSIONAL REFERENCES REFER TO FINISHED FACE OF PARTITION, UNLESS NOTED OTHERWISE
6. ALL ROOF ELEVATIONS ARE TO TOP OF ROOF UNLESS NOTED OTHERWISE.
7. ALL DOORS TO BE OFFSET 6" TYPICAL, U.N.O.



ELEVATION LEGEND

	BRICK
	STONE
	COMPOSITE METAL PANEL
	FIBER CEMENT PANEL
	VISION GLAZING

BUILDING HEIGHT CALCULATIONS		
BUILDING FACADE	BUILDING HEIGHT*	CONDITIONAL USE APPROVAL REQUIRED FOR BUILDING HEIGHT EXCEEDING 3 STORIES/40'
SOUTHEAST	67'-2"	
WEST	51'-11"	
NORTH	58'-10"	
EAST	77'-11"	
AVERAGE	63'-11 1/2"	

*28.134 - HEIGHT AND BULK REGULATIONS 1(B): HEIGHT IS THE AVERAGE OF ALL BUILDING FACADES. FOR EACH FACADE, HEIGHT IS MEASURED FROM THE MIDPOINT OF THE EXISTING GRADE TO THE HIGHEST POINT ON THE ROOF OF THE BUILDING OR STRUCTURE. NO INDIVIDUAL FACADE SHALL BE MORE THAN 15% HIGHER THAN THE MAXIMUM HEIGHT OF THE ZONING DISTRICT.

[illegible]

PROJECT NO. 1932	ELEMENT COLLECTIVE - MULTIFAMILY
DATE: 07/14/2021	
	A-3.10
DRAWING TITLE: OVERALL BUILDING ELEVATIONS	



ELEVATION KEYNOTES

03.11	EXPOSED STRUCTURAL CONCRETE WALL: CLEAN, PATCH AND TROWEL SMOOTH; APPLY SILOXANE SEALER
04.01	BRICK VENEER WALL SYSTEM
04.02	BRICK SOLDIER WINDOW HEAD
04.06	NORMAN BRICK SOLDIER COURSE
05.04	COMPOSITE METAL PANEL CANOPY
05.08	PREFINISHED ALUMINUM BALCONY RAILING ASSEMBLY
05.13	PREFINISHED ALUMINUM GUARDRAIL ASSEMBLY
05.14	PREFABRICATED HUNG JULIET BALCONY ASSEMBLY
07.07	PREFINISHED ALUMINUM COPING
07.09	INSET FIBER CEMENT PANEL
07.10	COMPOSITE METAL PANEL WALL SYSTEM
07.11	PREFINISHED ALUMINUM COPING BY METAL PANEL SUPPLIER
07.15	FIBER CEMENT PANEL WALL SYSTEM
08.09	FIBERGLASS WINDOW SYSTEM
08.10	FIBERGLASS SLIDING GLASS DOOR ASSEMBLY
08.12	PREFINISHED PARKING GARAGE EXHAUST LOUVER

ELEVATION LEGEND

BUILDING HEIGHT CALCULATIONS

BUILDING FAÇADE	BUILDING HEIGHT*	CONDITIONAL USE APPROVAL REQUIRED FOR BUILDING HEIGHT EXCEEDING 3 STORIES/40'
SOUTHEAST	67'-2"	
WEST	51'-11"	
NORTH	58'-10"	
EAST	77'-11"	
AVERAGE	63'-11 1/2"	

*28.134 - HEIGHT AND BULK REGULATIONS 1(B): HEIGHT IS THE AVERAGE OF ALL BUILDING FAÇADES. FOR EACH FAÇADE, HEIGHT IS MEASURED FROM THE MIDPOINT OF THE EXISTING GRADE TO THE HIGHEST POINT ON THE ROOF OF THE BUILDING OR STRUCTURE. NO INDIVIDUAL FAÇADE SHALL BE MORE THAN 15% HIGHER THAN THE MAXIMUM HEIGHT OF THE ZONING DISTRICT.

ELEMENT COLLECTIVE - MULTIFAMILY

421 Charmany Dr.
Madison, Wisconsin 53719

TRYBA ARCHITECTS

1620 Logan Street
Denver Colorado 80203
303:831.4010

MANDEL GROUP

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ISSUE

[illegible]

PROJECT NO.
1932

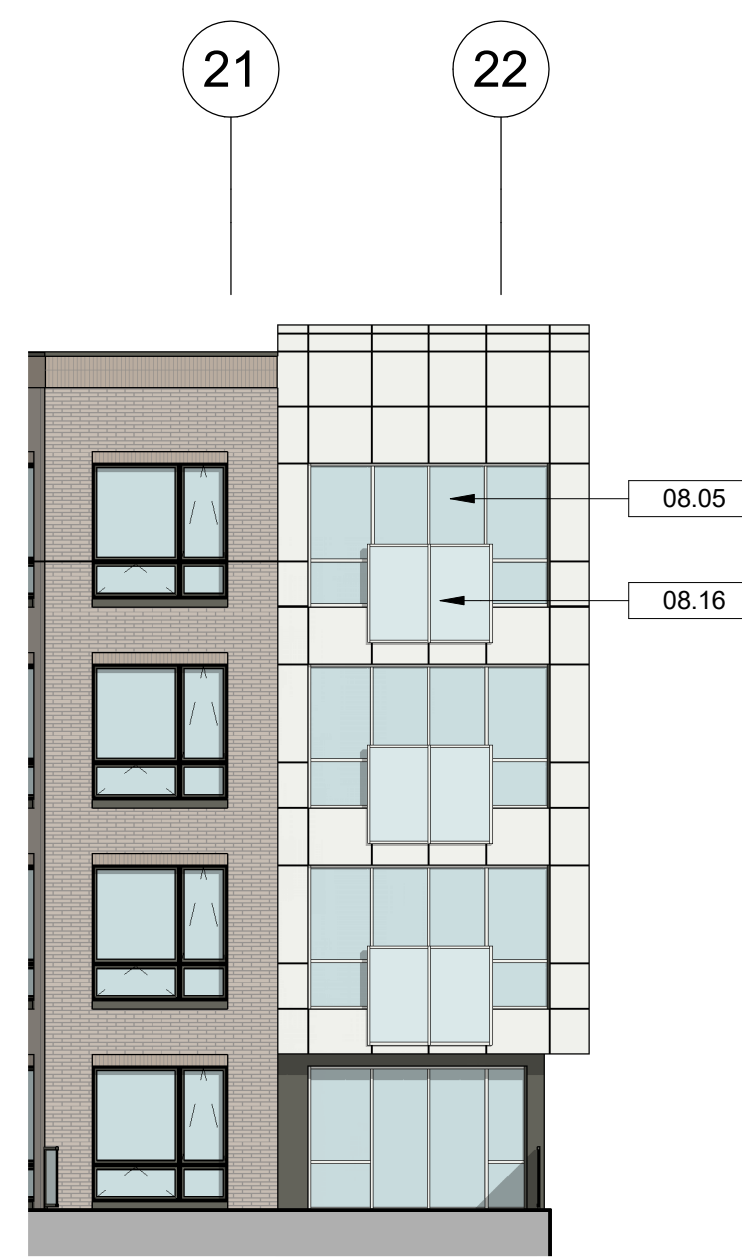
DATE:
07/14/2021

**ELEMENT
COLLECTIVE -
MULTIFAMILY**

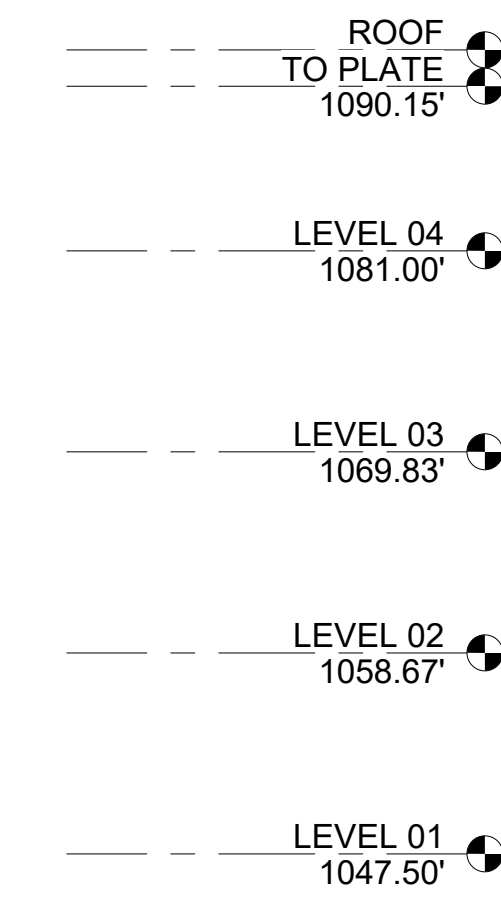
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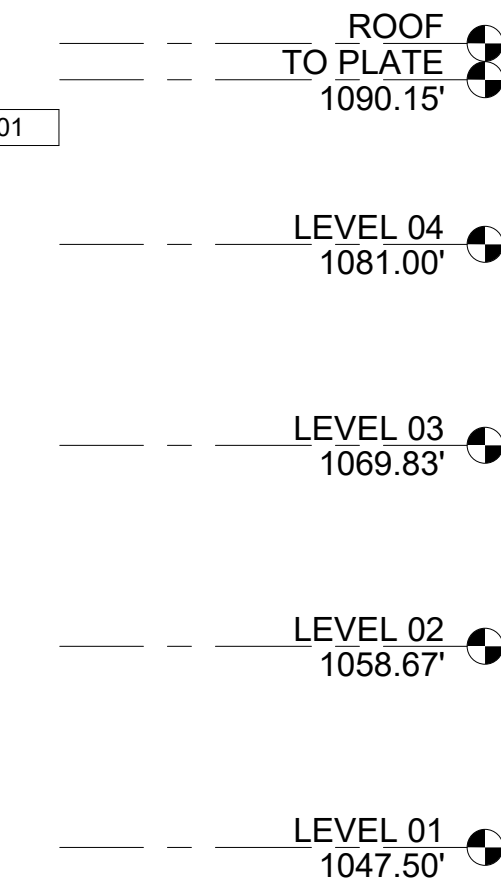
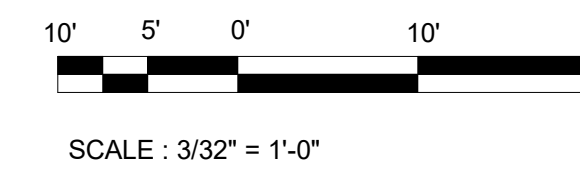
OVERALL BUILDING ELEVATIONS



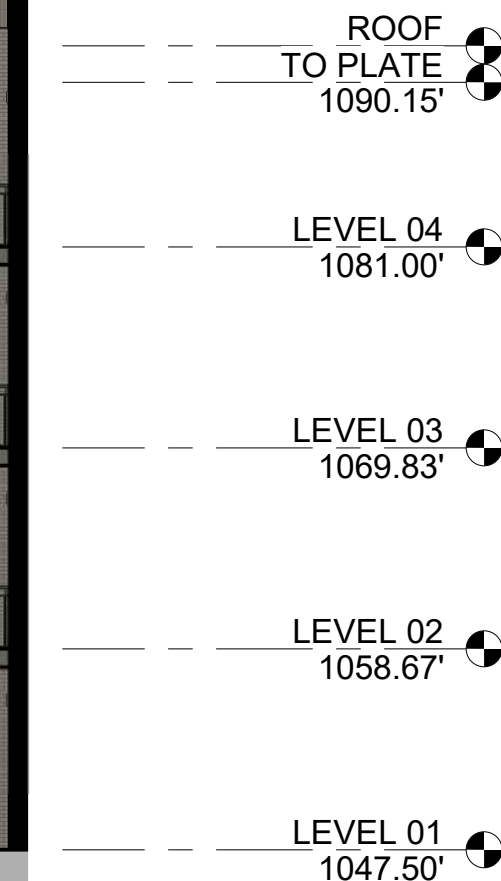
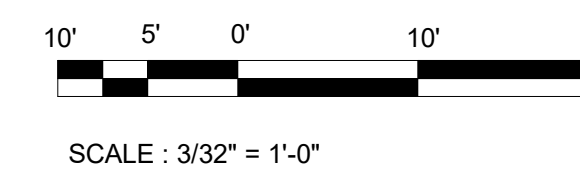
4 SOUTHWEST ELEVATION



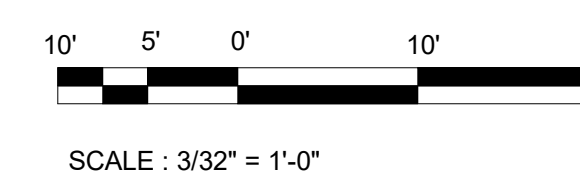
20' **2 COURTYARD NORTH ELEVATION**
3/32" = 1'-0"



20' **3 COURTYARD EAST ELEVATION**
3/32" = 1'-0"



20' **1 COURTYARD WEST ELEVATION**
3/32" = 1'-0"



-  BRICK
-  STONE
-  COMPOSITE METAL PANEL
-  FIBER CEMENT PANEL
-  VISION GLAZING



MANDEL GROUP

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DRAWING TITLE:

**OVERALL BUILDING
ELEVATIONS**