URBAN DESIGN COMMISSION APPLICATION



City of Madison **Planning Division** Madison Municipal Building, Suite 017 215 Martin Luther King, Jr. Blvd.



FOR OFFICE USE ONLY: Paid Receipt # Date received Received by _____ Aldermanic District Zoning District Urban Design District ____ Submittal reviewed by Legistar #

P.O. Box 2985 Madison, WI 53701-2985 (608) 266-4635 Complete all sections of this application, including the desired meeting date and the action requested. If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately. 1. Project Information Address: _____ 2. Application Type (check all that apply) and Requested Date UDC meeting date requested _____ Alteration to an existing or previously-approved development New development Informational Final approval Initial approval 3. Project Type Project in an Urban Design District Signage Project in the Downtown Core District (DC), Urban Comprehensive Design Review (CDR) Mixed-Use District (UMX), or Mixed-Use Center District (MXC) Signage Variance (i.e. modification of signage height, Project in the Suburban Employment Center District (SEC), area, and setback) Campus Institutional District (CI), or Employment Campus Signage Exception District (EC) Planned Development (PD) Other General Development Plan (GDP) Please specify Specific Implementation Plan (SIP) Planned Multi-Use Site or Residential Building Complex 4. Applicant, Agent, and Property Owner Information Company _____ Applicant name City/State/Zip _____ Street address Telephone Project contact person _____ Company _____ Street address City/State/Zip _____ Telephone Property owner (if not applicant) Street address City/State/Zip _____

Email

Telephone

Each submittal must include

fourteen (14) 11" x 17" collated

paper copies. Landscape and

Lighting plans (if required)

must be full-sized and legible.

Please refrain from using

plastic covers or spiral binding.

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

• Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies <u>must</u> be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

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ο.	App	nicani	Dec	larations

• •		
1.	Prior to submitting this application, the applicant is requi Commission staff. This application was discussed with	
2.	The applicant attests that all required materials are included in this not provided by the application deadline, the application with consideration.	, ,
Name	of applicant	Relationship to property
Autho	rizing signature of property owner	Date

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

X Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development
 Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

URBAN DESIGN COMMISSION APPROVAL PROCESS



Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the
 UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants
 should provide details on the context of the site, design concept, site and building plans, and other relevant information
 to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- <u>Initial Approval</u>. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. Applicants/presenters are responsible for all presentation materials, AV equipment and easels.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST



The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informa	tional Presentation		
	Locator Map Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required) Contextual site information, including photographs and layout of adjacent buildings/structures Site Plan Two-dimensional (2D) images of proposed buildings or structures.	Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.	 Requirements for All Plan Sheets Title block Sheet number North arrow Scale, both written and graphic Date Fully dimensioned plans, scaled at 1"= 40" or larger ** All plans must be legible, including the full-sized landscape and lighting plans (if required)
2. Initial Ap	pproval		
	Locator Map)
X	Letter of Intent (If the project is within a the development proposal addresses the		of <u>how</u>
	Contextual site information, including pho structures	tographs and layout of adjacent bu	Providing additional information beyond these
X	Site Plan showing location of existing an lanes, bike parking, and existing trees over		es, bike minimums may generate a greater level of feedback
X	Landscape Plan and Plant List (must be leg	-	from the Commission.
X	Building Elevations in both black & white material callouts)		(include
	PD text and Letter of Intent (if applicable)		J
3. Final Ap	proval		
All the re	equirements of the Initial Approval (see ab Grading Plan	ove), <u>plus</u> :	
	Proposed Signage (if applicable)		
X	Lighting Plan, including fixture cut sheets		
	Utility/HVAC equipment location and scre		if roof-mounted)
	PD text and Letter of Intent (if applicable)		
	Samples of the exterior building materials	s (presented at the UDC meeting)	
4. Comprel	nensive Design Review (CDR) and Varian	ice Requests (<u>Signage applicatio</u>	ns only)
	Locator Map		
	Letter of Intent (a summary of <u>how</u> the prope	osed signage is consistent with the CD	DR or Signage Variance criteria is required
	Contextual site information, including phenoject site	notographs of existing signage bot	th on site and within proximity to the
	Site Plan showing the location of existing driveways, and right-of-ways	signage and proposed signage, dim	nensioned signage setbacks, sidewalks
	Proposed signage graphics (fully dimension	oned, scaled drawings, including m	aterials and colors, and night view)
	Perspective renderings (emphasis on ped	estrian/automobile scale viewshed	ds)

☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.

☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

May 19, 2021

City of Madison – Planning Department and Plan Commission Madison Municipal Building, Suite 017 Attn. Timothy Parks, Planner 215 Martin Luther King Jr. Blvd. P.O. Box 2985 Madison, WI 53701-2985

Email Address: <u>PCApplications@cityofmadison.com</u>

(and)

City of Madison – Urban Design Commission (UDC) Madison Municipal Building, Suite 017 Attn. Janine Glaeser, Urban Design Commission Secretary 215 Martin Luther King Jr. Blvd. P.O. Box 2985

Madison, WI 53701-2985

Email Address: <u>UDCApplications@cityofmadison.com</u>

RE: Letter of Intent – Joint Application Submittal for UDC and Plan Commission Review

Land-Use and UDC Applications

Certified Survey Map Approval and Demolition Permit New First and East Washington Mixed-Use Development 1858 East Washington Avenue, Madison, WI 53704

Dear Members of the Urban Design Commission and Plan Commission,

The following is submitted for review by City Staff, the Urban Design Commission and Plan Commission, for consideration of approval.

PROJECT TEAM:

Owner: Washington Plaza Capital, LLC C/O: Galway Companies, Inc., 800 West Broadway - Suite 400,

Monona, WI 53713

Architect: JLA Architects + Planners, 800 West Broadway - Suite 200, Monona, WI 53713

PROJECT OVERVIEW:

Galway Companies is proposing a multi-family/commercial mixed-use project, to be located at the corner of First and East Washington Avenue where Washington Plaza shopping center is currently located. The project as proposed would have approximately 290 residences with 15,000gsf of commercial/retail space that would include restaurants and/or retailers that embrace and support the neighborhood and public market. Galway Companies is a long-term holder and intends to build and retain ownership of this property for the long term. As such, an incredible amount of thought/design has been placed into ensuring the project is sustainable, respectful to its surroundings, and environmentally conscious. We intend on promoting the use of carbon free transportation (bicycles) as much as possible with the project as well as encourage the use of public transit. (BRT) In addition, we intend on offering numerous electrical car charging stations within the project with the ability to expand

over time as we see demand increase. The project as proposed is six stories although the building steps back after five stories along First Street and East Washington Avenue. In addition, walk up townhomes are being designed along First Street to scale the building down appropriately to the neighborhoods to the east. This will also provide individual entries to residential addresses from the public sidewalk.

Specific building areas and other pertinent information is provided in the attached drawings.

SITE:

The project is located on a 3.37-acre site at 1858 E. Washington Avenue and 1890 E. Washington Avenue, in the 12th Aldermanic District within the confines of the Emerson East Ken Park Yahara Neighborhood and East Washington Capitol Gateway Corridor. It is currently zoned Commercial Corridor – Transitional District (CC-T) and resides in Urban Design District No. 8 on Block No. 9

The project is intended to be a key implementation mechanism to further the four core development principles set out in the adopted East Washington Avenue Capitol Gateway Corridor Plan. These principles are 1) to protect the iconic view of the Capitol, 2) to respect and strengthen the existing neighborhood, 3) to establish a transit-oriented employment corridor, and 4) to create a vibrant boulevard along East Washington Avenue.

A summary of how the development proposal addresses the district criteria is as follows:

- Building Height: 6 Stories / 82' tall.
- Building Location and Orientation: Building footprint is maximized with perimeter access.
- Building setback and stepback: Per UDD 8, Block 9, Building setbacks are 15' on East and West streets and 5'-10' on North and South. Building is to step back above 5 floors on First Street and on East Washington Ave.
- Parking and Service Areas: There are a total of 42 surface parking spaces and 335 covered spaces for 290 dwelling units and 15,000gsf of commercial space.
- Landscaping and Open Space: Two green roof areas are provided as well as well landscaped perimeter.
- Building Massing and Articulation: The building has been designed to maximize efficiency and quality of views from the dwelling units with the orientation of the green roofs facing Burr Jones Park and downtown. Commercial spaces will front East Washington and walk-up units are designed to transition scale along 1st Street.
- Materials and Colors: Material palette is very simple with brick and black metal panels and black fiber cement panels.
- Windows and Entrances: Windows are intended to be black in color and have an industrial
 quality. Entrances will be provided to the commercial from both the parking area as well as the
 East Washington Street scape. Commercial users will be encouraged to prominently display
 seating, merchandise and/or offices along E. Washington Avenue to activate the corridor and
 promote vibrancy at the street level. As illustrated by the architectural imagery the E.
 Washington Avenue street scape is heavily landscaped with planter boxes and urban green
 spaces. The primary residential entrance lobby will face Burr Jones Park along the drive aisle
 that is located on the west side of the property
- Signage: A traditional signage band is provided above the ground floor commercial windows. The developer will require high quality signs that allow tenants to promote their business but ensure the signs have uniformity in signage treatment. Landlord intends to allow Tenants to

have their own colors and font with internal channel lit letter (LED only) signs but require consistency in returns, trims, and mounting.

There are currently two one-story structures on site that will be demolished prior to construction, which houses retail interior to the site as well as a car repair facility on the site's corner. The remainder of the site is predominantly asphalt parking lot with landscape islands. Photographs of the existing buildings are attached (Exhibit A).

NEIGHBORHOOD INPUT:

The project is in the Emerson East Ken Park Yahara neighborhood. The Alder was notified in writing of this project on February 11, 2021 (see attached copy). Neighborhood meetings were conducted on March 4, 2021, and April 21, 2021. We will continue to meet on an as-needed basis as the final details of the project are worked through.

ARCHITECTURE:

The building is designed with a contemporary aesthetic - meant to relate to the unique urban / industrial / residential context of the area. It will be built with a very high-quality exterior material palette, primarily consisting of masonry and metal panels. The five floors of residential units are integrated on top of an architectural podium configured in an E-shaped floor plate above at-grade commercial space fronting East Washington Avenue, Residential Lobby and Amenity space facing the park, and walk-up units facing 1st Street. These programmatic spaces veil the internal parking. Green roof courtyards fill the voids created by center of the residential "E" shaped floor plate. Upper-level parking is accessed from east and west entry points off First Street and the new private internal drive along the railroad corridor. The lower-level parking is accessed from the north side adjacent to the MMSD site and building.

REFUSE & RECYCLING:

Garbage and recycling containers serving the building will be in an interior and enclosed room adjacent to the south west parking entrance. Residential refuse chutes are located at the north corner of the building and will be collected from the lower-level parking. A private collection service will be utilized at a frequency appropriate for required volume.

SUBSIDY REQUESTED:

The applicant will be requesting a TIF subsidy to assist primarily with underground parking costs. The amount subsidy is still being discussed with city staff.

PROJECT SCHEDULE:

January 21, 2021: DAT Meeting

February 11, 2021: Pre-Application Review Meeting February 11, 2021: Notification to the District Alder

March 4, 2021: Neighborhood Meeting No. 1

March 10, 2021: Urban Design Commission - Informational Presentation March 25, 2021: ALTA/NSPS Land Title Survey with Legal Description

April 6, 2021: City's Demolition Listserv

April 16, 2021: Alder Notification and Granted Waiver April 16, 2021: Neighborhood Association Notification April 16, 2021: Business Association Notification April 19, 2021: Landmarks Commission Meeting

April 21, 2021: Neighborhood Meeting No. 2 April 26, 2021: TIA submitted to the City of Madison by TADI

May 19, 2021: Joint Application Submittal Deadline (UDC and Land-Use Application)

June 2, 2021: Demolition Permits and Certified Survey Maps Submittal Deadline

July 14, 2021: Urban Design Commission - Initial and Final Approval

July 26, 2021: Plan Commission August 3, 2021: Common Council

September 2021: Start Demolition/Construction

Spring 2023: Certificate of Occupancy

Please feel free to contact me if additional information is needed.

Sincerely, Steve Doran

Galway Companies, Inc.

on behalf of Washington Plaza Capital, LLC

Enc: Exhibit A – Photographs of Existing Buildings

Land Use Application – Instructions & Form LND-A with Listed Submittal Materials Land Use Application – Plan Sheet & Supplemental Submittal Requirements LND-B

Urban Design Commission Application UDC with Listed Submittal Materials

Urban Design Commission Approval Process UDC Urban Design Development Plans Checklist UDC

Washington Plaza Traffic Impact Analysis dated April 26, 2021 by Traffic Analysis & Design, Inc.

Cc: Janine Glaeser, City of Madison

Email Address: jqlaeser@cityofmadison.com

Colin Punt, City of Madison

Email Address: cpunt@cityofmadison.com

Alder Syed Abbas, City of Madison

Email Address: <u>district12@CityofMadison.com</u>

EXHIBIT A
Photographs of Existing Buildings











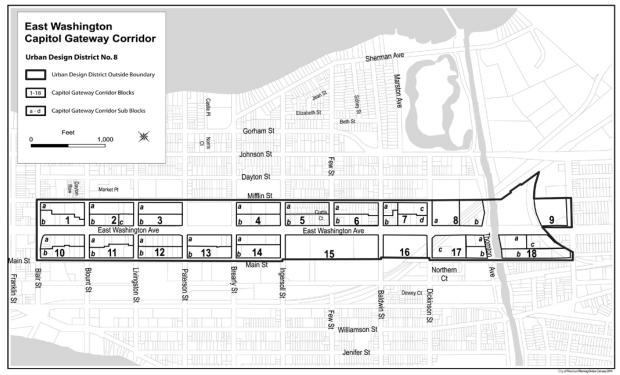


(15) <u>Urban Design District No. 8</u>.

Statement of Purpose. Urban Design District No. 8 is hereby established to improve the appearance and function of the District. It is intended to be the key implementation mechanism to further the four Core Development Principles set out in the adopted East Washington Avenue Capitol Gateway Corridor Plan. These principles are 1) to protect the iconic view of the Capitol, 2) to respect and strengthen existing neighborhoods, 3) to establish a transit-oriented employment corridor, and 4) to create a vibrant boulevard along East Washington Avenue. The Capitol Gateway Corridor is the major gateway corridor to Madison's Downtown, and is a critical street for the vitality of adjoining neighborhoods. The purpose of these design requirements and guidelines is to provide clear direction for how property owners can make improvements to their properties to collectively improve the visual character and safety of the District. When applied, they will ensure against fragmented or incompatible development and will help prevent the negative visual and functional effects of uncoordinated design decisions. requirements and guidelines are intended to preserve and enhance the property values in the District, and avoid substantial depreciation of the property values and help to ensure long-term economic vitality. The goal is not to create a uniform "style" or character for the street, but rather to allow the Capitol Gateway Corridor to evolve as a distinctive place that builds on the strengths of its culturally diverse businesses and neighborhoods. This ordinance and the Plan will guide all new development and redevelopment in the District.

Sec. 33.24(15)

- (b) <u>Property Included in the District</u>. The District shall include all properties shown in (c). If any portion of a zoning lot is in the District, the entire lot is within the District. A map of the District is available from the Department of Planning and Community and Economic Development.
- (c) <u>Map of the District</u>.



(Am. by ORD-12-00053, 4-25-12; ORD-14-00080, 4-16-14)

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- (d) Design Review Required. All development in the District (including, but not limited to, new buildings or structures, additions to existing buildings or structures, major exterior alterations of existing buildings or structures, street graphics, and new parking facilities or alterations to existing parking facilities), except residential buildings containing four (4) or fewer dwelling units, shall require approval of the Urban Design Commission and shall be designed, erected, and maintained in compliance with this ordinance, all applicable federal and other state laws, and the Building Code, Zoning Ordinance and other applicable codes of the City of Madison not in conflict with this ordinance. The Director of the Department of Planning and Community and Economic Development may approve minor alterations to existing and/or approved buildings or structures and site pursuant to Sec. 33.24(4)(g). The Director of the Department of Planning and Community and Economic Development may also approve the design of street graphics that are permissible under the Sign Ordinance. Approval of the Urban Design Commission under this subsection shall not be required for an awning unless it is part of other development requiring approval under this subsection. The applicable regulations of other codes shall continue to apply with full force and effect to all properties in the District. If this ordinance conflicts with other City regulations, however, the regulations which are more restrictive or which impose higher standards or requirements shall govern.
- (e) <u>Basis for Design Review</u>. In reviewing plans for development in the District, the Urban Design Commission shall apply the following requirements and guidelines as may be appropriate in order to implement the Core Development Principles of the East Washington Avenue Capitol Gateway Corridor Plan. The development shall meet the requirements and conform as much as possible to the guidelines. Both the requirements and guidelines apply to new buildings or structures, additions to existing buildings or structures, major exterior alterations of existing buildings or structures, street graphics, and new parking facilities or alterations to existing parking facilities unless stated otherwise for a specific item. The overall design of each development shall be of high quality.

1. Building Height.

a. Requirements.

yes, we are 6, 8 allowed i. The height of new buildings shall be as shown in 3. below.

confirmed ii. New buildings shall incorporate a front facade stepback as

shown in 3. below.

understood iii. Any non-habitable space from architectural features shall not be

included in the height calculation.

b. <u>Guidelines</u>.

na i. The Urban Design Commission may, on a case-by-case basis, reduce the minimum building height requirement provided the buildings incorporate elements such as extended parapet or tower features to convey the appearance of a taller building. Such elements shall be substantially integrated into the design of the building so they do not read as false facades.

na ii. Additions to existing buildings are expected to comply with the applicable minimum height requirements unless the applicant can demonstrate that the site, function, use, or layout of the new addition would pose structural or operational hardships due to its relationship with the existing building, in which case the Urban Design Commission may waive said requirements.

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2. Building Location and Orientation.

Requirements.

tbacks previously coordinated with city staff - we are -15' from east wash (east setback).

-ranges from 7' - 17' along first street (north setback) - not including stoops and steps which get closer and within the 5'-10' range. Due to irregular geometry, this was discussed as a unique condition of the site

-On the West side, we are 5' to the retaining wall, then there is vehicular/fire department access road for the development of additional usable public open spaces, - closest point of building to West property line is 37

on the south side - facing Burr Jones, we are 10' from property line to edge of retaining wall, then the included to maintain a uniform character in the District. (Am. by parking and drive aisle for access to parking and residential main entrance. The location of the access roads on the South and West is the most logical solution provided the scope of building and ORD-14-00081, 4-16-14) fire safety. Guidelines.

the visual and pedestrian character is dramatically inproved from current state.

provided.

The building location should be designed to provide for amenities that will enhance the visual and pedestrian character of

The setback for new buildings shall be as shown in 3. be low.

The Urban Design Commission, however, may allow greater

setbacks to allow for the articulation of long building facades or

such as p edestrian plazas, as l ong as d esign elements are

Sec. 33.24(15)(e)2.

this is consistently 10' ii. In areas with sidewalk/terrace width of nine (9) feet or less, the setback should include additional pavement to expand the sidewalk/terrace to a width of at least nine (9) feet.

iii extensive planters along east washington are terraced at different hiegths. Along First street, every opportunity will be taken to maximize landscape quality.

Walkways should be provided to connect the building entrance to the public sidewalk.

the entire width of the East Washington elevation at $\dot{1}V$. the ground floor is storefront for commercial

The front facade of the building and the primary entrance should face the primary street. If the public entrance is allowed on the side of the building, it should be positioned close to the primary street and preferably as a corner feature of the building.

Additions to existing buildings should help bring the building V. closer to the street and minimize any "gap" in the street wall.

Building Height, Location (Distance from Property Line) and Stepback. 3.

Block	Maximum Bldg. Height ¹ (stories)	Minimum & Maximum Street Level Facade Height (stories) ²	Minimum Stepback East-West Streets (feet or angle) ³	Minimum Stepback North- South Streets (feet)	Minimum & Maximum Setback East-West Streets (feet) ⁴	Minimum & Maximum Setback North-South Streets (feet) ⁵
1.a.	3 + 30*	2-3	30°	15	5-20	5-10
1.b.	8	3-5	15	15	15	5-10
2.a.	3 + 30*	2-3	30°	15	5-20	5-10
2.b.	8**	3-5	15	15	15	5-10
2.c.	10**	3-5	15	15	15	5-10
3.a.	3 + 30*	2-3	30°	15	5-20	5-10
3.b.	10**	3-5	15	15	15	5-10
4.a.	3 + 30*	2-3	30°	15	5-20	5-10
4.b.	8**	3-5	15	15	15	5-10
5.a.	3	2-3	-	-	5-20	5-10
5.b.	3	2-3	-	-	15	5-10
6.a.	3	2-3	-	-	5-20	5-10
6.b.	3	2-3	-	-	15	5-10
7.a.	3	2-3	-	-	5-20	5-10
7.b.	8	3-5	15	15	15	5-10
7.c.	3	2-3	-	-	5-20	5-10
7.d.	8	3-5	15	15	15	5-10

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Block	Maximum Bldg. Height ¹ (stories)	Minimum & Maximum Street Level Facade Height (stories) 2	Minimum Stepback East-West Streets (feet or angle) ³	Minimum Stepback North- South Streets (feet)	Minimum & Maximum Setback East-West Streets (feet) ⁴	Minimum & Maximum Setback North-South Streets (feet) ⁵
8.a.	8	3-5	45°	15	15	5-10
8 <u>.b</u> .	4	2-3	15	15	15	5-10
9	8	3-5	15	15	15	5-10
10.a.	12**	3-5	15	15	15	0-10
10.b.	12**	3-5	15	15	15	0-10
11.a.	12**	3-5	15	15	15	0-10
11.b.	12**	3-5	15	15	15	0-10
12.a.	12**	3-5	15	15	15	0-10
12.b.	8**	3-5	15	15	15	0-10
13.a.	12**	3-5	15	15	15	0-10
13.b.	8**	3-5	15	15	15	0-10
14.a.	8**	3-5	15	15	15	0-10
14.b.	6**	3-5	15	15	15	0-10
15	8**	3-5	15	15	15	0-10
16	8**	3-5	15	15	15	0-10
17.a.	4	3-4	-	-	15	0-10
17.b.	4	2-4	-	-	15	0-10
17.c.	6**	3-5	15	15	15	0-10
18.a.	4	2-4			15	0-10
18.b.	4	2-3			15	0-10
18.c.	6**	3-5	15	-	15	0-10

Height is based on an average story height of 9-12' (11-15' for the ground floor). Buildings with greater floor heights shall have fewer stories accordingly.

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[&]quot;*" – represents the required stepback angle

[&]quot;**" – represents the maximum height in stories allowed without any bonus stories. Bonus stories require the provision of elements in (e)12.

² In cases of exceptional design, the Urban Design Commission may waive the minimum street level facade height requirement for elements comprising up to twenty percent (20%) of a building's length along a street.

³ The angle is measured at a point at the top of the face of the street level facade wall between a horizontal line (0°) and a line (stepback height line) that is extended until the maximum permitted building height on the block is reached. Between the street level facade wall and the point at which the maximum building height is reached, buildings may be built up to the stepback height of the 30° line but may not exceed it.

⁴ Fifteen (15) feet on East Washington Ave.; Between five (5) and twenty (20) feet on other frontages.

⁵ Includes the eastern and western boundaries of the Yahara River Parkway and Burr Jones Field.

⁽Am. by ORD-12-00053, 4-25-12; ORD-14-00080 & ORD-14-00081, 4-16-14)

4. <u>Parking and Service Areas</u>.

a. Requirements.

the only off street parking that is not covered by structure is along the access road at the south

Off-street parking facilities for new buildings shall be located behind or on the sides of the building and the distance from the property line shall be the same as for buildings, as shown in 3. Additional access points off of East Washington shall not be permitted.

Sec. 33.24(15)(e)4.

confirmed

At least one (1) tree island, sized and landscaped pursuant to the Zoning Code, shall be provided for each twelve (12) parking spaces. This requirement is in addition to any other landscaping requirements of the Zoning Code.

they are both enclosed

iii. All trash areas shall be screened from public view.

b. Guidelines.

iii.

V.

ii.

no parking along E. Washington or 1st Street

For existing properties, parking in the front should be relocated, if possible, to the side and/or rear of the building. When not possible, walkways, landscaping, architectural features, and lighting should be provided to make these areas more attractive and inviting. Decorative fences, walls and/or landscaped edges should screen front parking areas from the public sidewalk. Screening should not exceed three and one-half (3 1/2) feet in height.

confirmed

ii. All parking areas should be well landscaped and appropriately lighted.

confirmed

All parking areas should include walkways to allow safe pedestrian access to the building entrance.

parking will be shared for utilization by tenants and iV.

Shared parking areas are encouraged. Wh enever possible, adjoining parking lots should be linked to provide internal traffic circulation.

curb cuts are reduced from existing condition and are minimal while functionality and safety

Driveways along the District should be minimized to improve traffic flow and reduce pedestrian conflicts.

confirmed VI

Pedestrian areas and customer parking areas should be separated from loading service, and drive-through areas.

confirmed VII.

. If possible, trash areas should be located inside buildings.

no new parking ramp entrance on E Washington - commercial VIII. facade will comprise ground floor on East Washington.

Any new parking ramps fronting on E ast Washington Avenue should include ground-floor commercial uses with attractive commercial facade design. The facade design for the upper stories should obscure the parking ramp and present an attractive building face for the District. The design of parking ramps should also complement the quality and design of the buildings they serve.

confirmed ix.

Entryways to parking ramps should be accessed from side streets whenever possible. Entryways/exits onto East Mifflin Street and East Main Street shall not be permitted unless no other option exists.

confirmed X.

Bicycle parking should be distributed throughout a development site. Some short-term visitor bicycle parking should be located near the building entrance.

5. <u>Landscaping and Open Space</u>.

a. <u>Requirements</u>.

Landscaping within the East Washington Avenue setbacks and terraces and medians shall follow the approved palette and design concept.

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Sec. 33.24(15)(e)5.a.ii.

agreed - street tree species and locations shall be ii. coordinated with City Forester.

The street face shall be dominated by canopy trees in both the building setback and the public right of way.

agreed 111.

The type, number, and location of canopy trees in the building setback shall be coordinated with the type, number, and location of canopy trees in the public right of way.

agreed iv.

When planted, canopy trees shall have a caliper and height relationship consistent with the provisions of Table 1 in Section 1.2.1 of the American Standard for Nursery Stock (ANSI 2 60.1-2004).

Terrace and Sidewalk on First Street and E. WashingtonV. Ave are 10' combined and property line is back of side

Terraces shall have a minimum width of ten (1) feet to accommodate growth of canopy trees.

City Forester has requested that street trees be viplanted between back-of-curb and sidewalk

If a public sidewalk is within six (6) feet of the public street, canopy trees shall be planted on the building side of the sidewalk.

orestry planting requirements are 40-55ft spacing with tall growing trees and 25-35ft for low growing trees under high voltage distribution power lines

Unless existing infrastructure interferes, canopy trees shall be planted at a spacing of no greater than forty (40) feet on center. Unless existing infrastructure interferes, canopy trees planted along street faces, in parking lots, and parking lot islands shall have a mature height of at least sixty (60) feet.

Screen fences and/or landscaped buffers shall be provided at agreed ix. property edges. Where a commercial property adjoins residential properties, this separation shall be provided pursuant to the Zoning Code.

b. Guidelines.

agreed

Property owners are encouraged to provide well-designed landscaped outdoor spaces for the use and enjoyment of employees and customers.

agreed ii

Landscaping and fencing should be designed to complement the character of the building and provide a pleasing relationship with adjoining properties and the public sidewalk.

no block face that isn't building 111

The use of attractive landscaping is encouraged to establish continuity between buildings and to define the block face where there are no buildings.

understood iv.

The use of rain gardens and bio-retention basins to collect runoff and filter pollutants is encouraged, where practical.

agreed V. Landscape islands, open spaces, and porous pavements should be provided, where practical, for additional stormwater infiltration.

understood - Street tree species and locations shall be coordinated with v_1 . understood Vii.

Canopy trees should be located in all terraces and medians. When space permits, canopy trees should be located on both

sides of the public sidewalk.

Site Lighting and Furnishings. 6.

Requirements. a.

Cut-off light fixtures shall be used to illuminate the site. agreed

Guidelines. b.

agreed i. Pedestrian use areas should be adequately, but not excessively lit. Low-level building and landscape accent lighting is encouraged, where appropriate.

Lighting and site furnishings (benches, trash receptacles, bicycle agreed ii. racks, etc.) should be designed to complement the character of the building and provide a pleasing relationship with adjoining properties and the public sidewalk.

Street tree species and locations shall be coordinated with City Forester. Vii

Street tree species and locations shall be coordinated with City Forester VIII.

7. Building Massing and Articulation.

Requirements.

i. All visible sides of the building shall be designed with details agreed that complement the front facade. Side facades that are visible from the primary street shall receive complementary design attention.

Sec. 33.24(15)(e)7.

Blank building walls with little detail or variety along primary ii. facades shall be avoided. Improvements to these buildings shall include details at the street level to create a more comfortable pedestrian scale and character.

Architectural details at the ground floor shall be provided to iii. enhance the pedestrian character of the street. Details shall include window and door trim, recessed entries, awnings, and/or other features.

Mechanical equipment shall be screened from view by using agreed iV. screen designs that are architecturally integrated with the building design.

Guidelines. b.

"Green" building design that promotes energy efficiency is encouraged.

confirmed Building facades should be designed to create a visual distinction ii. between the upper and lower floors of the building.

parapet has varied heights - otherwise building top is no different $\overbrace{111}^{\prime\prime}$ from most other recent developments on E. Washington A positive visual termination at the top of the building with decorative cornices or parapets should be provided.

> Buildings should be designed as products of their own time. iv. agreed Copying historic appearance and details is discouraged.

Franchise businesses are encouraged to modify their corporate understood V designs to fit the District's character.

Where possible, existing one-story buildings should be renovated vi. na with extended facades and parapets to increase building height and provide a more pleasing scale for the District.

New buildings and additions should complement the character of vii. adjoining buildings in the blockface.

Creative architectural designs and details are encouraged so long viii. as designs do not conflict or draw attention away from other buildings in the block.

understood New corner buildings should be located near the sidewalk edge ix. and should define the street intersection with distinctive architectural features such as towers, rounded walls, recessed entries or other design features.

8. Materials and Colors.

Requirements. a.

Exterior materials shall be durable, high-quality materials and confirmed appropriate for external use.

Guidelines. b.

Brick, stone and terra cotta are preferred primary materials for understood i new buildings or additions.

The use of "faux" sidings is discouraged. understood ii.

Color choice should complement the style and materials of the iii. understood building's facade and provide a pleasing relationship with adjoining buildings.

Painting, covering or removal of natural brick and stone is understood iv. discouraged, but staining may be acceptable.

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Sec. 33.24(15)(e)9.

9. Windows and Entrances.

a. Requirements.

understood - exceeds 60%

- The ground floors of commercial retail buildings shall have at least sixty percent (60%) of the street wall area devoted to windows to enhance the pedestrian character of the primary street.
- understood ii. Office buildings and other non-retail buildings should have at least forty percent (40%) of the street wall devoted to windows.
- understood iii. Windows on the ground floor shall be transparent and unobstructed, and shall not be darkly tinted, colored, or have a mirrored finish.

b. Guidelines.

commercial entrances are called out with canopies and signage

- i. Building entrances should be designed as the focal point of the front facade.
- understood ii. Entrances to new buildings or additions located close to the sidewalk should include recessed entries to allow for pedestrian movement.

10. <u>Signage</u>. all signage to be submitted at later date

a. Guidelines.

- understood i. Preferred sign types include building mounted signs, window signs, projecting signs, and awning signs.
- understood ii. Signs should be simple and easy to read.
- understood iii. Sign colors should relate to and complement the primary colors of the building facade.
- understood iv. Sign design and placement should fit the character of the building and not obscure architectural details.
- understood v. Signage should generally be centered within the prescribed signable area of the building.
- understood vi. Plastic box signs are highly discouraged.
- understood vii. Signs displaying illuminated copy should be designed so that when illuminated, the sign appears to have light-colored copy on a dark or nonilluminated background.
- understood viii. Individually mounted backlit letters are an encouraged form of signage.
- understood ix. The use of small, well-designed building-mounted light fixtures is a preferred method of illuminating signage.
- Freestanding signs should be attractively designed. Signs should be coordinated with adjoining properties and public street signage to avoid visual clutter.

11. na Restoration/Preservation Activities.

Several buildings within the District are older commercial structures, that have historic value and interest. The ground floors of many of these structures have been altered over time while the upper stories have generally retained their historic appearance. When considering building improvements, property owners of older commercial structures are encouraged to restore the original character of the building. This subparagraph identifies additional design requirements and guidelines to address the special conditions that exist for these sites.

a. Guidelines.

 The distinguishing features of the original building should be preserved. The removal or alteration of historic materials or distinctive architecture features should be avoided, whenever possible.

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- were part of the original building design should be restored and missing elements such as cornices, windows and storefronts that were part of the original building design should be reconstructed. If restoration is not feasible, new elements should be designed to complement the character, materials and design of the original building.
- Any inappropriate elements, signs, canopies, etc., that cover details and features of the original building should be removed.
- Painting of natural brick or stone is strongly discouraged when those materials are in good condition.

12. <u>Upper Level Development Standards.</u>

a.

confirmed - exception where parapet steps up for varied top edge - this is approx. 43 degrees. For buildings on Blocks 2b,, 2c, 3b, 4b, 10-16, and 17c, any mass above five (5) stories that exceeds a footprint of one hundred thirty (130) feet on any side parallel to East Washington Avenue and two hundred (200) feet on any side perpendicular to East Washington Avenue shall have a stepback of forty-five degrees (45°), unless the Urban Design Commission approves a maximum of ten percent (10%) increase in the footprint due to structural or other constraints. (Am. by ORD-12-00053, 4-25-12)

- b. Bonus stories may be allowed as follows:
 - i. Two (2) bonus stories on Blocks 2b, 2c, 3b, 4b, 12b, 13b, 14a, 14b, 15, 16, 17c, and 18c. (Am. by ORD-12-00053, 4-25-12)
 - ii. Three (3) bonus stories on Blocks 10a, 10b, 11a, 11b, 12,a, and 13a.
 - iii. Four (4) bonus stories on up to fifteen percent (15%) of the area of Block 3b. (Cr. by ORD-14-00080, 4-16-14)
- na c. Bonus stories may be granted if it is determined that the provision of at least one (1) element from i. or a combination of elements from ii. provides sufficient public benefit to warrant the additional height.
 - i. --LEED Gold certification, or equivalent
 - --Inclusion of at least fifteen percent (15%) of dwelling units for families with incomes not greater than sixty (60%) Area Median Income (AMI) for rental units and/or an income not greater than eighty percent (80%) AMI for owner-occupied units. A rea Median Income is the median annual income calculated by the U.S. Department of Housing and Urban Development for the metropolitan area that includes the City of Madison.
 - --Structured parking that includes space shared by multiple users from multiple lots and that accommodates a su bstantial space for public use by patrons of both on- and off-site uses.
 - --On-site, publicly accessible plazas and/or pocket parks that are visible from the street and provide seating, landscaping, public art and/or other public amenities. For each one (1) square foot of plaza or park that is provided, five (5) square feet of bonus area is available.
 - ii. --Mid-block and through-block public pedestrian, bike, and/or vehicular connections.
 - --Substantial amount of family-supporting housing, including at least ten percent (10%) of dwelling units with three (3) or more bedrooms, outdoor recreation spaces, and/or other family-related amenities.

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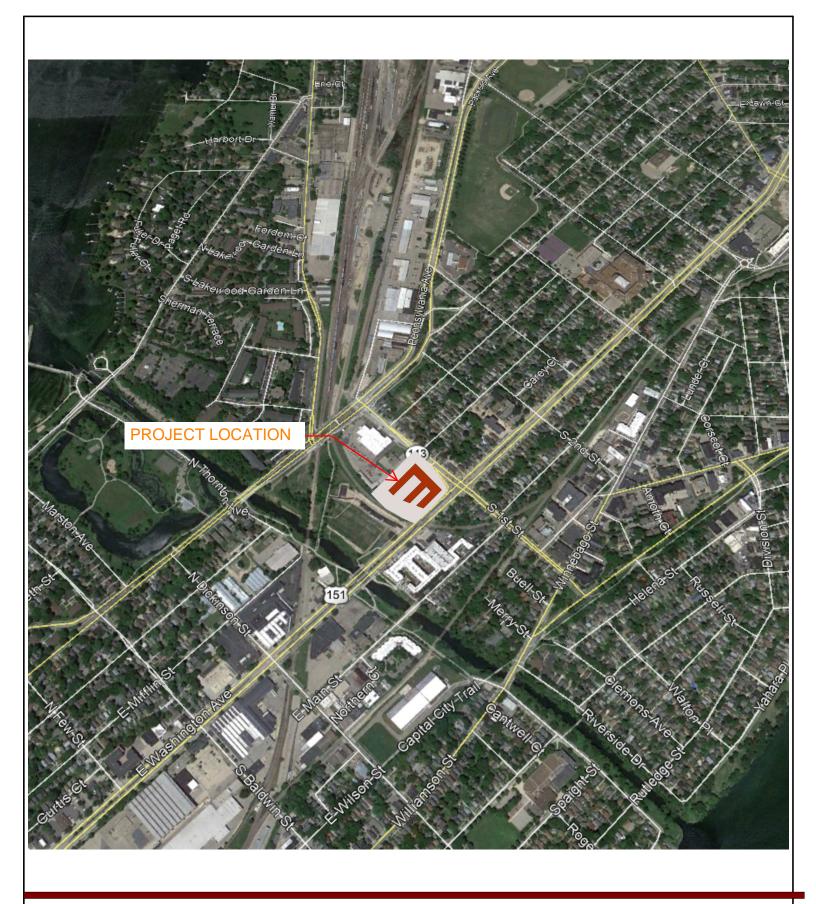
- --On sites with designated historic structures and/or structures eligible for designation, the incorporation, preservation, or rehabilitation of such structures in the development.
- --Adequately sized community meeting rooms available free of charge for neighborhood, public, or other community meetings or on-site daycare facilities in conjunction with family-supportive housing or employment uses.
- --Minimum of fifty percent (50%) vegetative roof cover.
- --LEED Silver certification or equivalent.
- --On-site, publicly accessible plazas and/or pocket parks that are visible from the street and provide seating, landscaping, public art and/or other public amenities. For each one (1) square foot of plaza or park that is provided, ten (10) square feet of bonus area is available.

(Sec. 33.24(15) Cr. by ORD-09-00155, 11-20-09)

understood(16)

Enforcement and Penalty. This ordinance shall be enforced by the Director of the Building Building Inspection Division of the Department of Planning and Community and Economic Development or her/his designee. Any person who violates Sec. 33.02(7)(b), Sec. 33.02(8)(c), Sec. 33.02(9)(b), Sec. 33.02(10)(c), Sec. 33.02(11)(c), or Sec. 33.02(12)(c) of this chapter shall upon conviction thereof forfeit not less than one dollar (\$1) nor more than two hundred dollars (\$200), and in addition shall pay all costs and expenses involved in the case. Each day such violation continues shall be considered a separate offense. (Cr. by Ord. 12,650, 7 -28-00; Renumbered by Ord. 13,216, 12-20-02; Am. by ORD-08-00109, 10-7-08; Renum. by ORD-09-00155, 11-20-09)

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FIRST AND EAST WASHINGTON

SITE PHOTO - VICINITY MAP

MAP

JLA PROJECT No: 19-0802





FIRST AND EAST WASHINGTON

MADISON, WISCONSIN



PROGRESS DOCUMENTS

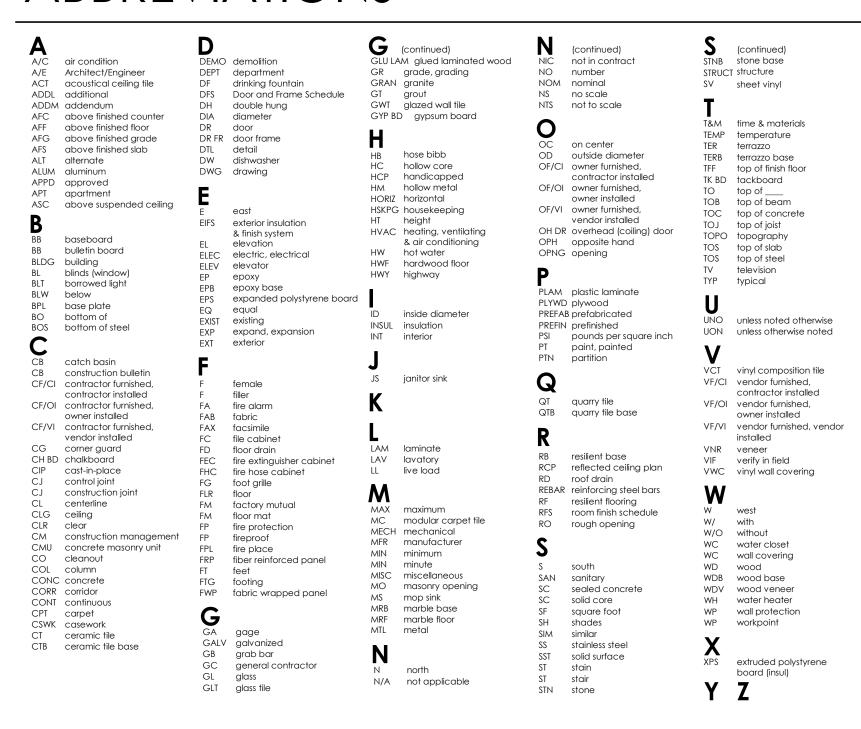
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LAND USE APPLICATION

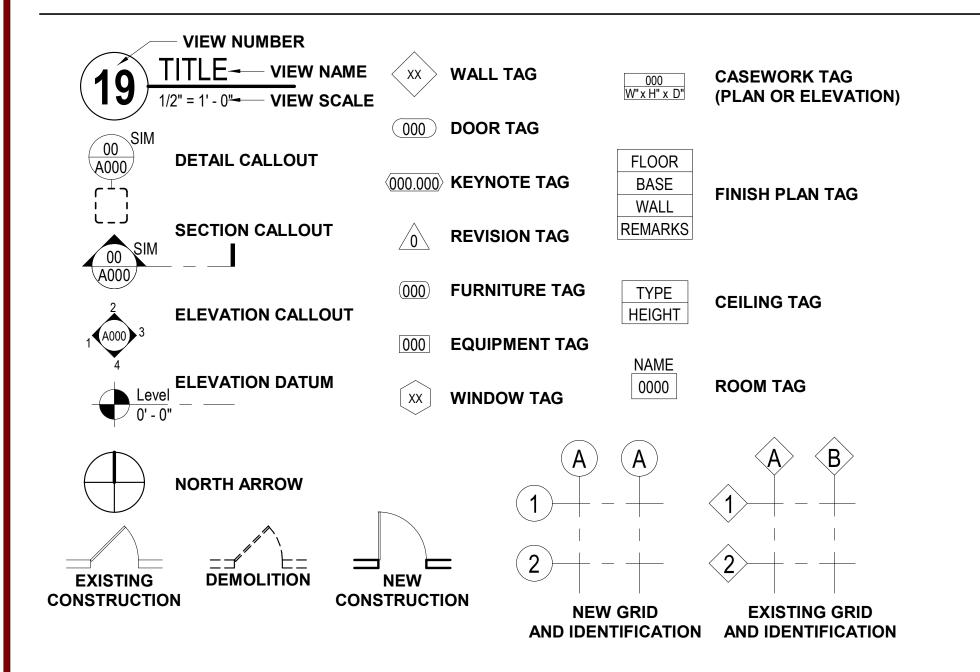


MAY 19, 2021

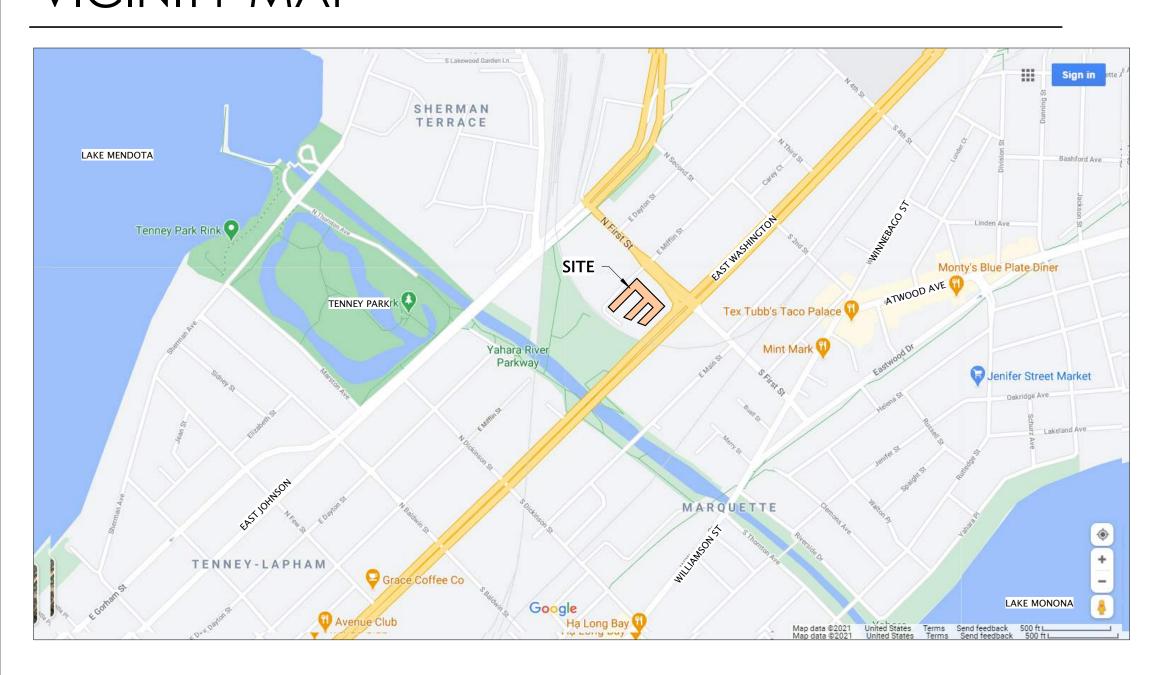
ABBREVIATIONS



SYMBOL LEGEND



VICINITY MAP



PROJECT ADDRESS

FIRST AND EAST WASHINGTON MADISON, WISCONSIN

OWNER INFORMATION

WASHINGTON PLAZA CAPITAL, LLC

800 W BROADWAY, SUITE 400 MONONA, WI 53713

CONTACT: STEVE DORAN
EMAIL: SDORAN@GALWAYCOMPANIES.COM

MAIN: 608.327.4006

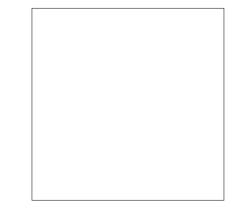
PROJECT TEAM

ARCHITECTURAL

JLA ARCHITECTS & PLANNERS

800 WEST BROADWAY - SUITE 200 MONONA, WISCONSIN 53713 CONTACT: ADAM FREDENDALL EMAIL: AFREDENDALL@JLA-AP.COM MAIN: 608.442.3823

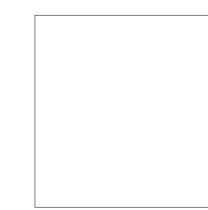
CIVIL ENGINEERING



GRAEF, INC.

1010 EAST WASHINGTON AVE, SUITE 202 CONTACT: LOEI BADREDDINE, PE EMAIL: LOEI.BADREDDINE@GRAEF-USA.COM MAIN: 608.242.1550

STRUCTURAL ENGINEERING



GRAEF, INC.

1010 EAST WASHINGTON AVE, SUITE 202
CONTACT: LOEI BADREDDINE, PE

EMAIL: LOEI.BADREDDINE@GRAEF-USA.COM MAIN: 608.242.1550

SET ISSUE

LAND USE APPLICATION
MAY 19, 2021

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JLA PROJECT NUMBER: 19-080





FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE

MAY 19, 202

REVISION SCHEDULE

Mark Description Date

TITLE

INDEX SHEET

VIDER

G001

FLOOR	TOTAL GROSS	PARKING /	FINISHED NON-	RESIDENTIAL	RESIDENTIAL	COMMERCIAL	FFFICENCY				UN	ITS				PAR	KING PROVID	ED	RATIOS	
FLOOR	AREA (SF)	UNFINISHED	LEASABLE	AMENITY	LEASABLE	LEASABLE	EFFICENCY	STUDIO	1BR	1BR+	2BR	2BR+	TH	TOTAL	BRs	COVERED	EXTERIOR	TOTALS	PER UNIT	PER
																				
6	47,890		9,275	1,180	36,145	1,290	80.63%	12	24	1	11	0	0	48	59			-		
5	57,303		10,833		46,470		81.10%	16	25	5	15	0	0	61	76			-		
4	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77			-		
3	57,303		10,833		46,470		81.10%	16	25	4	16	0	0	61	77			-		
2	57,767		12,607	7,800	37,360		78.18%	16	19	5	13	0	0	53	66			-		
SUB-TOTALS	277,566	-	54,381	8,980	212,915	1,290	80.41%													
1ST FLOOR TOTAL	87,480																			
L1 RESTAURANT						3,530														
L1 COMMERCIAL			450			10,830														
L1 RES. UNITS					7,430		NR	0	1	0	1	0	4	6	15					
L1 RES. AMENITY			3,000	4,350							•	•								
L1 PARKING		57,890									•					139	42	181		
LL PARKING	87,480	87,477	-	-	-	-					-					196		196		
TOTALS	452,526	145,367	57,831	13,330	220,345	15,650		76	119	19	72	0	4	290	370	335	42	377	1.30	1.0
				İ			İ	26.2%	41.0%	6.6%	24.8%	0.0%	1.4%	Ì	•					

BUILDING DATA:

ADDRESS: 1858 EAST WASHINGTON AVE., MADISON WI

CURRENT ZONING - CCT

SETBACKS PER ZONING CODE:
FRONT: 5'
SIDE: 5'
REAR: 5'

BUILDING HEIGHT: 82 ft.

TOTAL SITE AREA: 3.45 ac

LOT COVERAGE: 58.7%

VEHICLE PARKING STALLS
EXTERIOR: 42
COVERED: 196 + 138 = 334
TOTAL PARKING: 376

BIKE PARKING STALLS
OUTDOOR - 30
INDOOR/COVERED - 364



JLA PROJECT NUMBER:



GALWAY

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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REVISION SCHEDULE

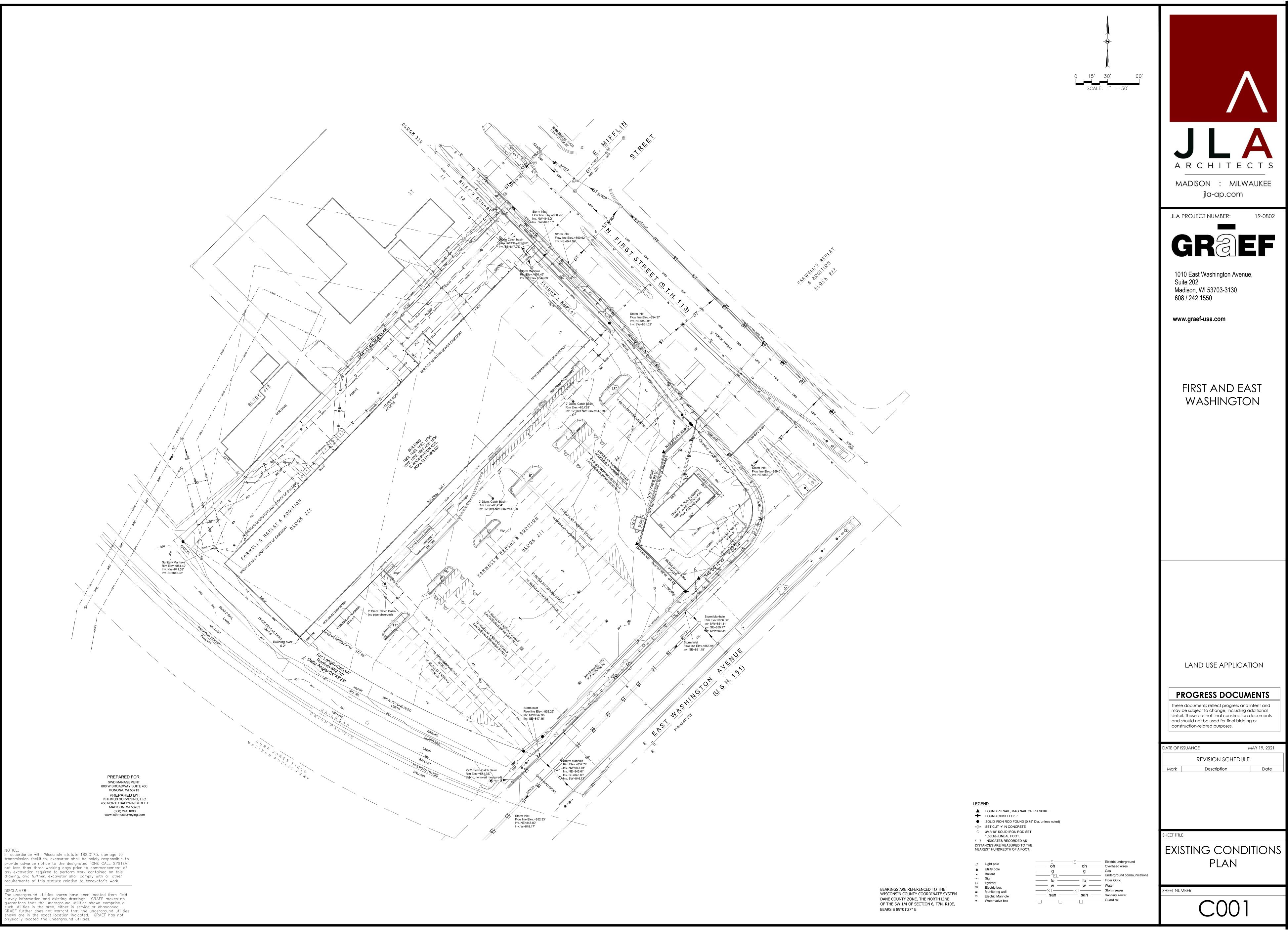
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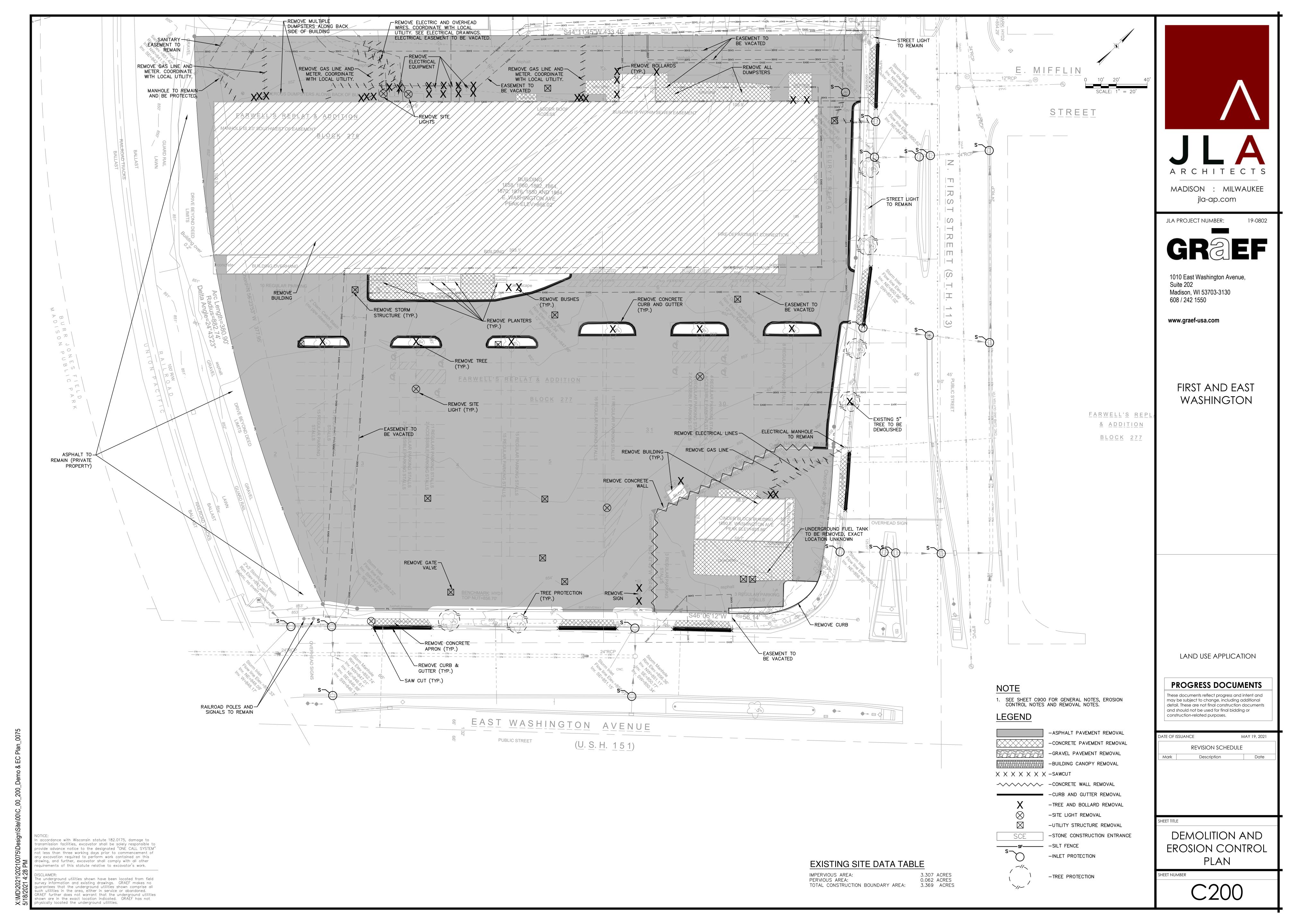
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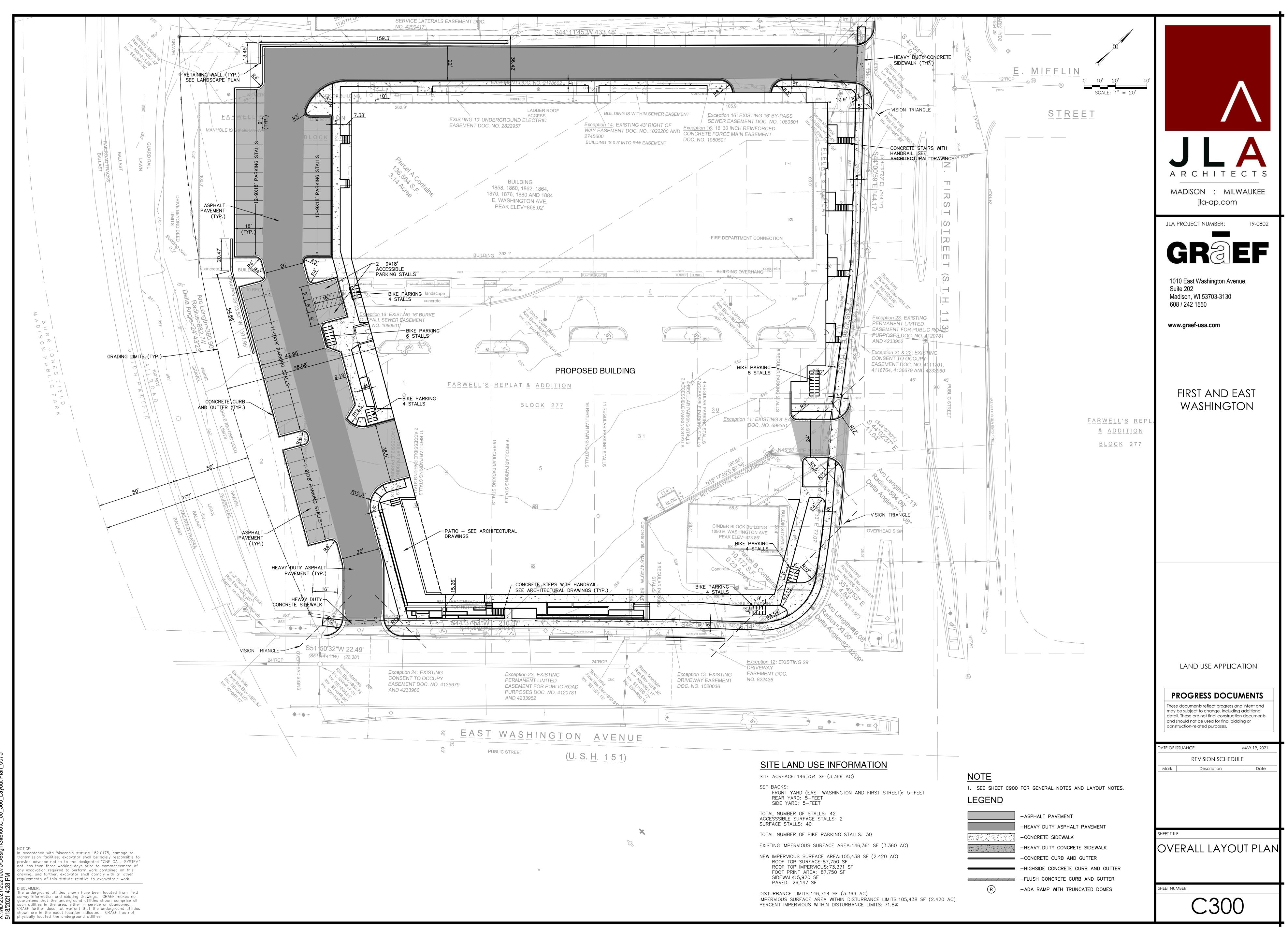
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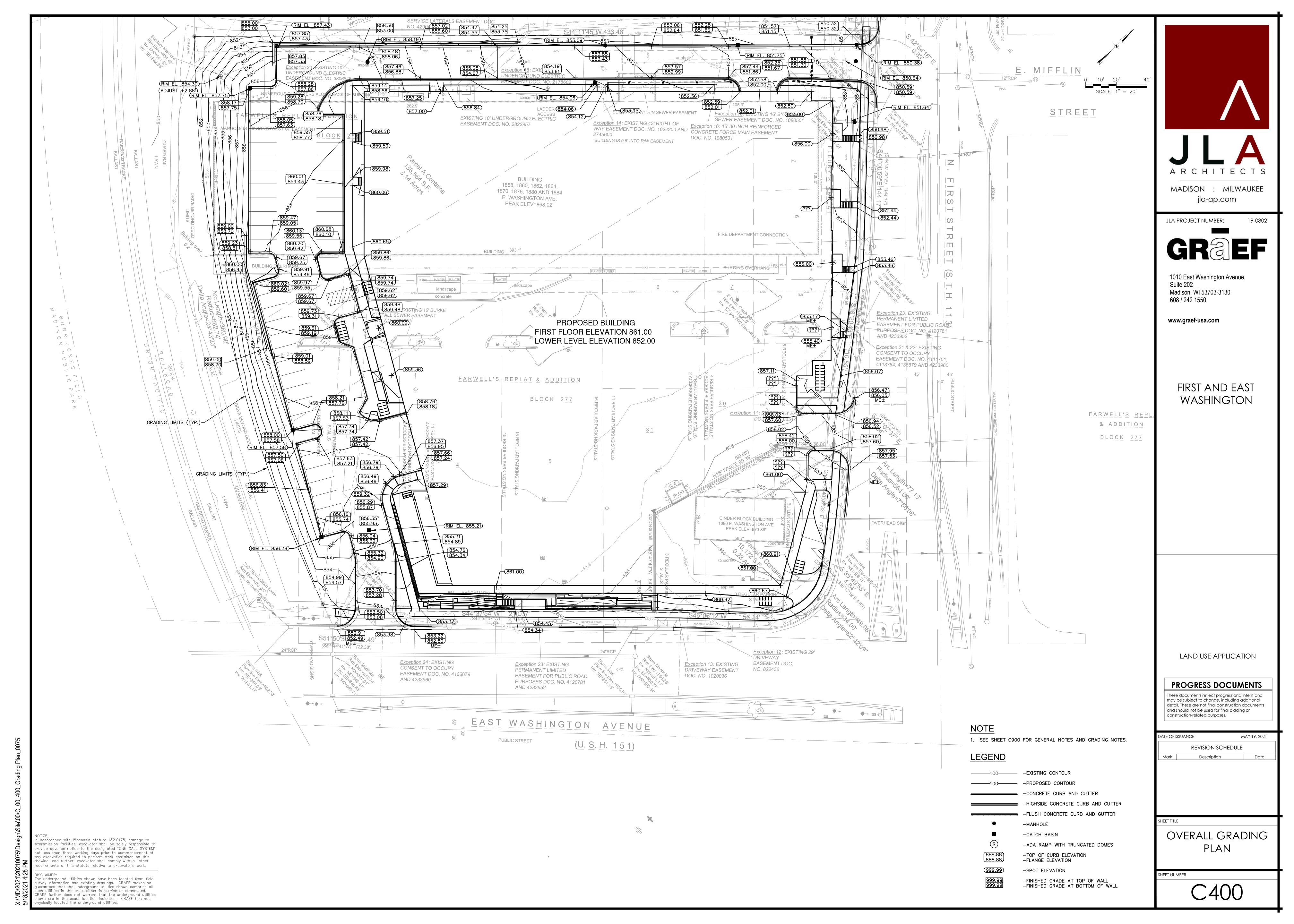
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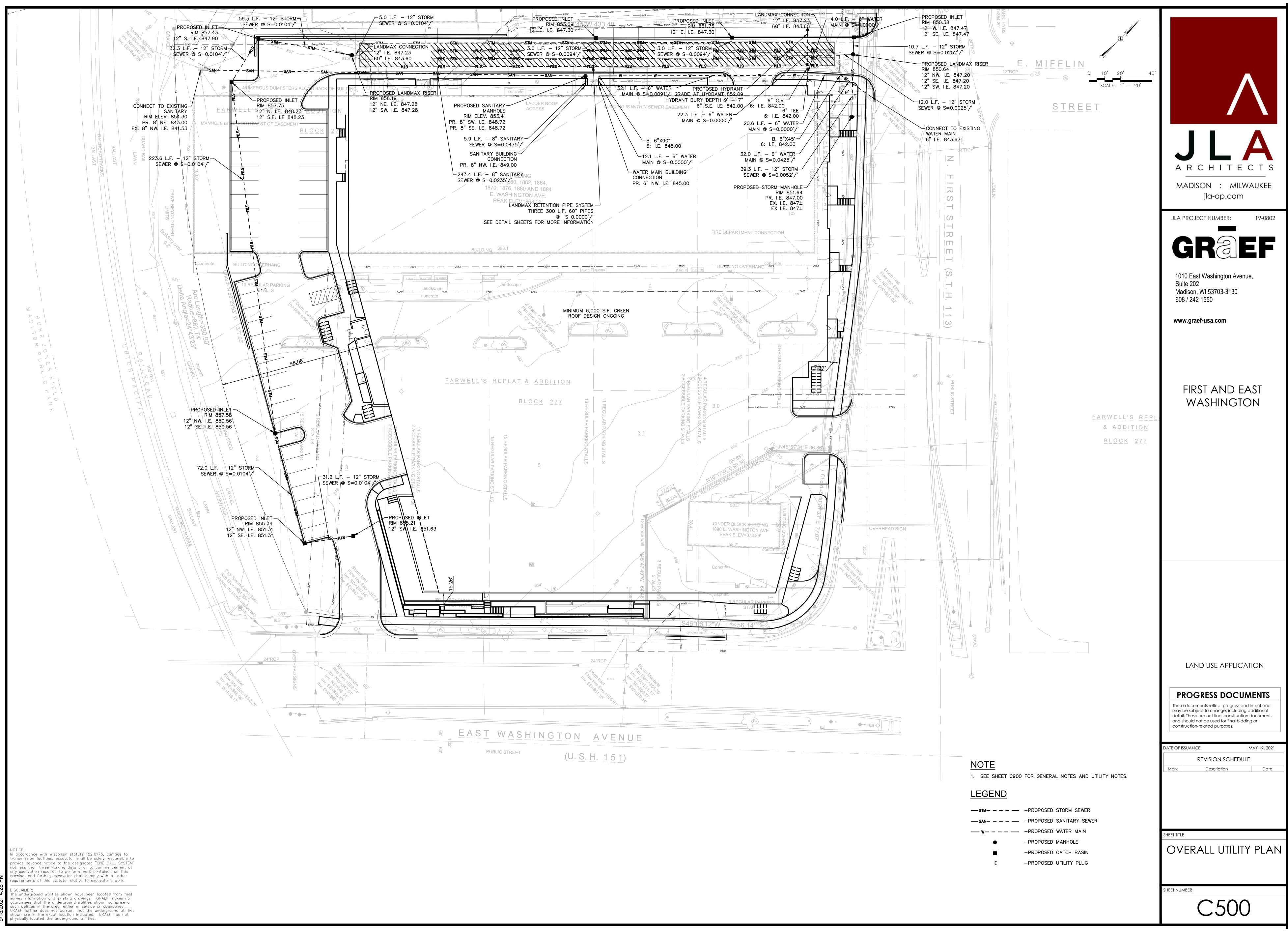


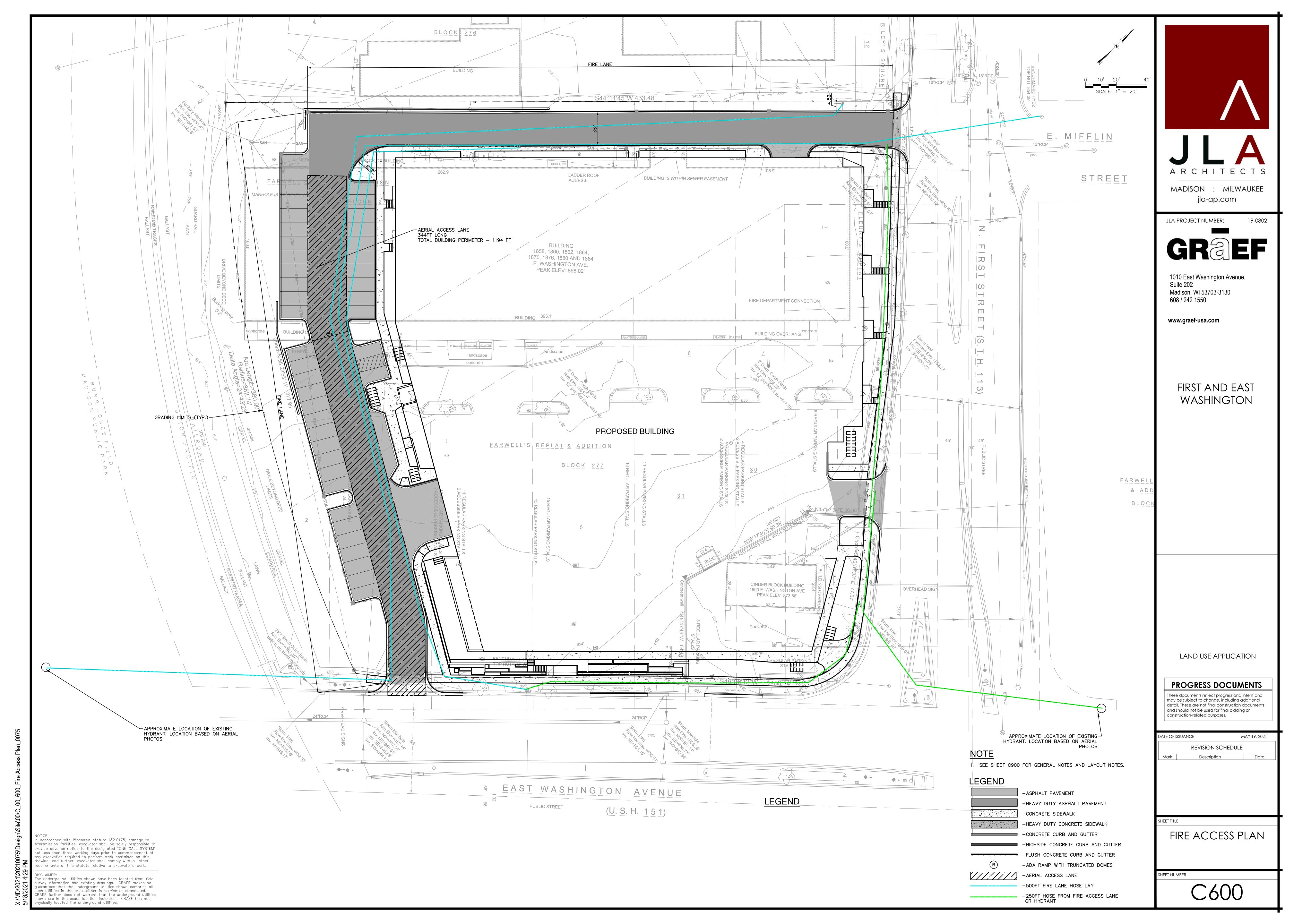
MAY 19, 2021











GENERAL NOTES

- 1. THE BASE SURVEY WAS PREPARED BY ISTHMUS SURVEYING IN APRIL 2021. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE
- 2. REFER TO SHEET COO1 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
- 3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING

EROSION CONTROL NOTES

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MADISON, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
- 2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- 3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
- 4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- 5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AS PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- 6. CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
- 7. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- 8. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
- 9. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES. NOTIFY CITY OF MADISON OF ANY NEW STOCKPILE LOCATIONS.
- 10. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES: INSTALL STABILIZED CONSTRUCTION ENTRANCE. INSTALL SILT FENCE AND INLET PROTECTION.
- 3. STRIP TOPSOIL IN TEMPORARY SEDIMENT BASIN AREA 4. INSTALL SEDIMENT BASIN AND OUTLET CONTROL STRUCTURE.
- STABILIZE IMMEDIATELY AFTER INSTALLATION. 5. STRIP TOPSOIL AND INSTALL TEMPORARY DIVERSIONS TO
- DIRECT RUNOFF TO SEDIMENT BASIN. STRIP TOPSOIL FROM REMAINDER OF SITE.
- PERFORM ROUGH GRADING AND BUILDING EXCAVATION. ADJUST DIVERSION DITCHES AS NEEDED TO MAINTAIN

9. CONSTRUCT BUILDING.

FULLY STABILIZED.

- DRAINAGE TO SEDIMENT BASIN. 8. INSTALL UTILITIES. INSTALL INLET PROTECTION ON NEW INLETS. INSTALL RIPRAP AT NEW OUTFALLS.
- 10. INSTALL PAVEMENTS. 11. INSTALL LANDSCAPING ON COMPLETED SITE WITHIN 7 DAYS OF COMPLETING CONSTRUCTION.
- 12. REMOVE TEMPORARY SEDIMENTATION BASIN 13. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS
- 11. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS
- 12. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 13. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE SPECIFIED IN THE WDNR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". NOTIFY CITY OF MADISON FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- 14. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE THE WORK DAY.
- 15. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED. A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- 16. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY EITHER CRIMPING OR BY APPLYING A TACKIFIER.
- 17. PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
- 18. 1USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS I TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
- 19. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS. PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS.
- 20. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
- 21. NOTIFY THE CITY WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- 22. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
- 23. OBTAIN PERMISSION IN WRITING FROM THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WDNR AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL
- 24. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- 25. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE. INTERSECTING DIRECTIONS.

REMOVAL NOTES

- 1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
- 2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LINES NOTED FOR ABANDONMENT OR REMOVAL. EXISTING UTILITIES THAT ARE TO BE ABANDONED OR REMOVED SHALL BE RESPECTIVELY ABANDONED OR REMOVED TO THE LOCATIONS INDICATED ON THIS PLAN. ALL UTILITY STRUCTURES LOCATED ALONG REMOVED UTILITY LINES SHALL BE REMOVED IN THEIR ENTIRETY.
- 3. ASPHALT PAVEMENT NOTED FOR REMOVAL SHALL BE SAW CUT TO FULL DEPTH PRIOR TO REMOVAL.
- 4. CONCRETE CURB AND GUTTER AND SIDEWALK NOTED FOR REMOVAL SHALL BE REMOVED AT THE NEAREST JOINT.
- 5. ITEMS SCHEDULED FOR REMOVAL AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ANY APPLICABLE REGULATIONS.
- 6. CONTRACTOR IS RESPONSIBLE FOR SECURING THE JOB SITE TO PROTECT THE PUBLIC.
- 7. CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, RULES AND REGULATIONS APPLICABLE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO EROSION CONTROL, AIR POLLUTION, NOISE POLLUTION, AND WASTE DISPOSAL.
- 8. CONTRACTOR SHALL REPLACE PAVEMENT, CURB AND GUTTER, TREES, LAWN AREA, ANY ABOVE GROUND APPURTENCES, OR ANY OTHER ITEM THAT WAS DAMAGED AS A RESULT OF CONSTRUCTION RELATED ACTIVITIES AS DEEMED BY OWNERS REPRESENTATIVE THAT WAS NOT CALLED OUT FOR REMOVAL OR REPLACEMENT. CONTRACTOR SHALL REPLACE/REPAIR DAMAGED ITEM TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- 9. TREE PROTECTION FENCING LOCATIONS SHOWN ARE APPROXIMATE. ALL EXISTING TREES OUTSIDE OF GRADING LIMITS ARE INTENDED TO REMAIN. FINAL LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD AND AS IDENTIFIED ON CONSTRUCTION DETAILS. ADDITIONAL FENCING MAY BE REQUIRED. COORDINATE WITH OWNER'S REPRESENTATIVE. TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

LAYOUT NOTES

- 1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
- 2. SITE LIGHTS ARE SHOWN FOR REFERENCE PURPOSES ONLY AND THE CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR DETAIL DESIGN INFORMATION, CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL ENGINEER ON STAKING OF THE SITE LIGHTS.
- 3. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
- 4. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
- 5. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
- 6. REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
- 7. HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
- 8. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE: POUR SEQUENCE, LOCATION OF CONSTRUCTION, ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.

GRADING NOTES

- 1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
- 2. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.

UTILITY NOTES

- 1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
- 2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- 3. CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
- 4. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
- 5. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
- 6. WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC

UNLESS INDICATED OTHERWISE

- 7. ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE CITY ENGINEER.
- 8. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN
- 9. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
- 10. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
- 11. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
- 12. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.



JLA PROJECT NUMBER:



19-0802

1010 East Washington Avenue, Suite 202 Madison, WI 53703-3130 608 / 242 1550

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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS

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MAY 19, 2021

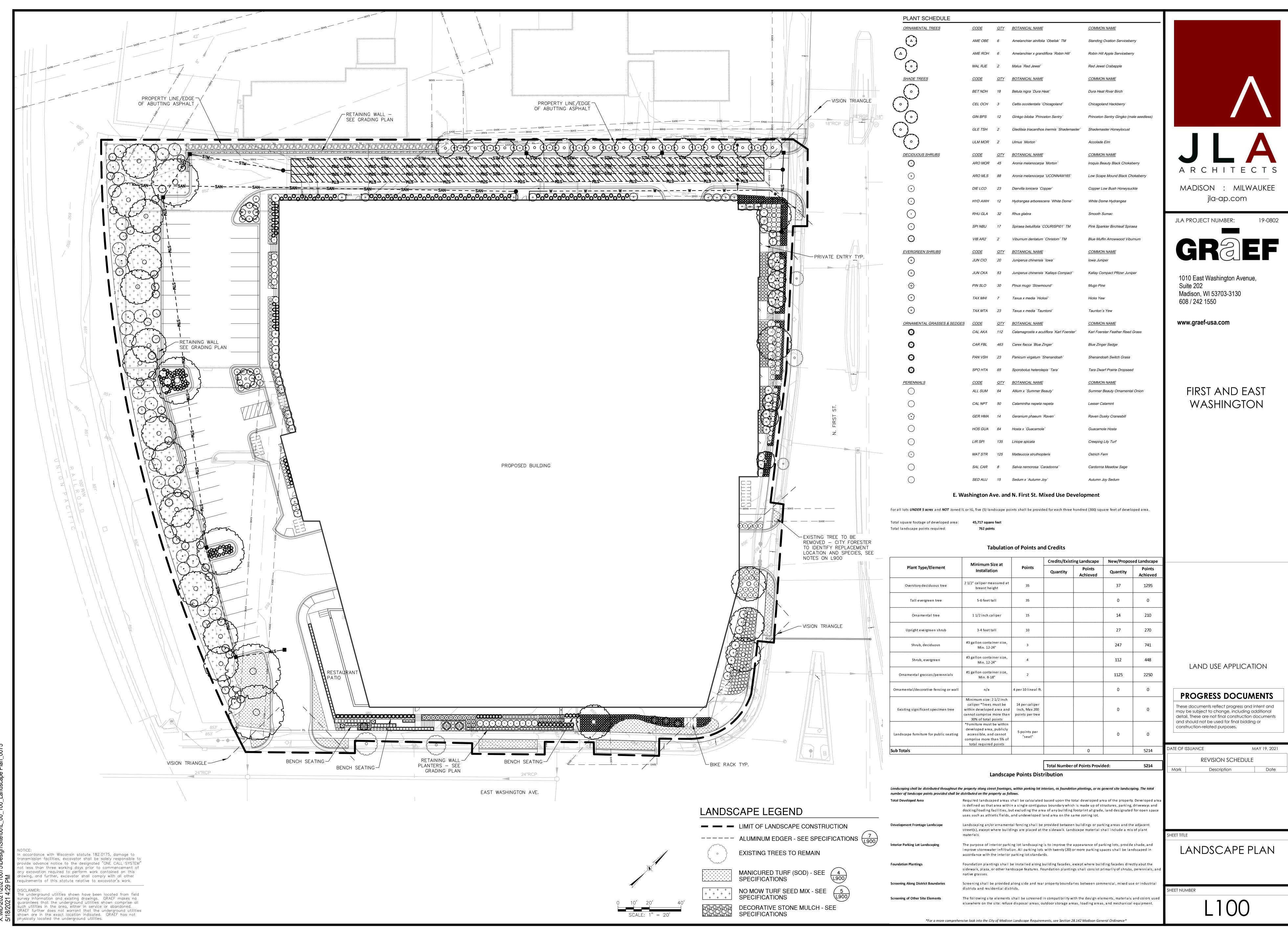
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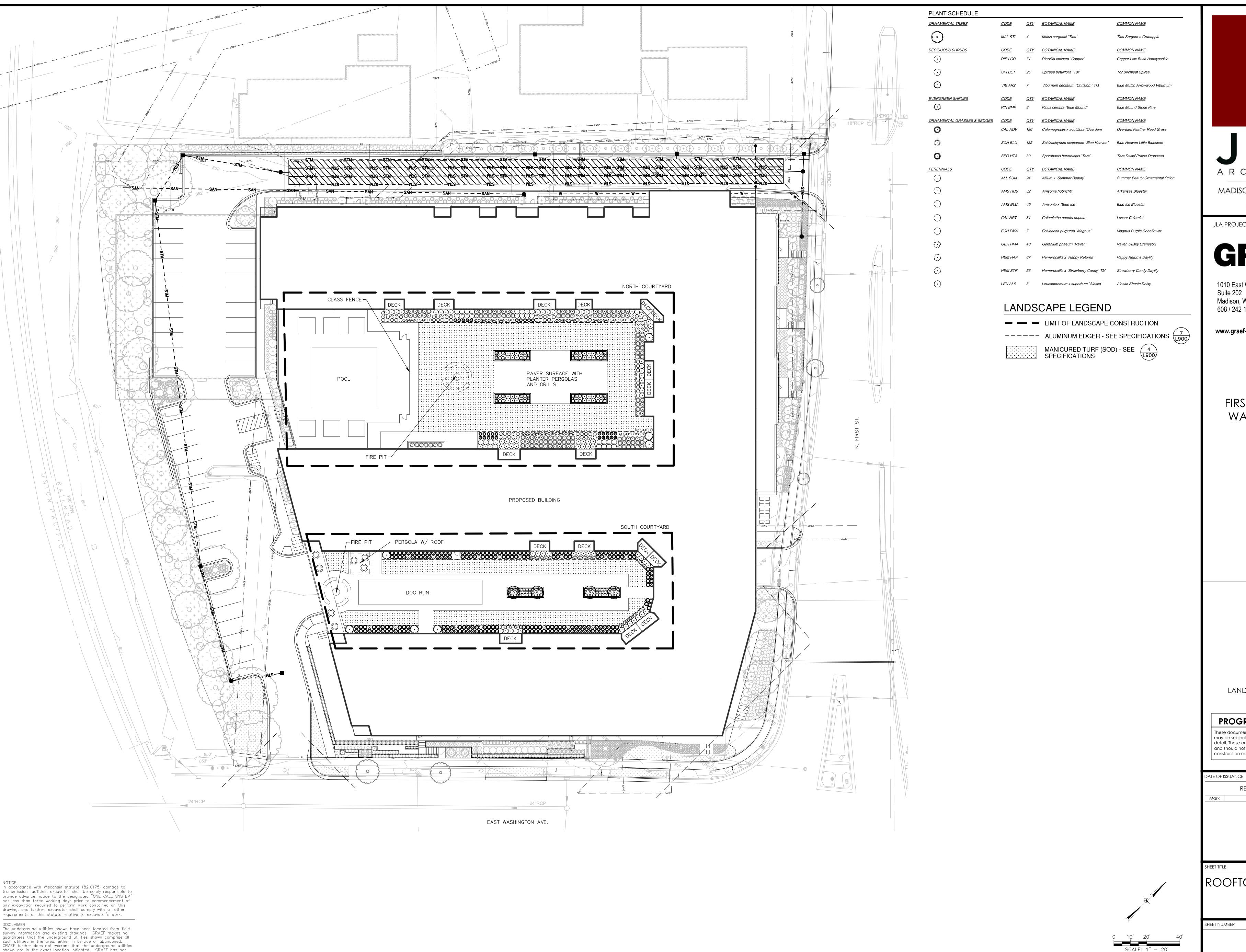
construction-related purposes.

REVISION SCHEDULE

CONSTRUCTION NOTES

SHEET NUMBER





hysically located the underground utilities.

ARCHITECTS MADISON : MILWAUKEE jla-ap.com

JLA PROJECT NUMBER:

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FIRST AND EAST WASHINGTON

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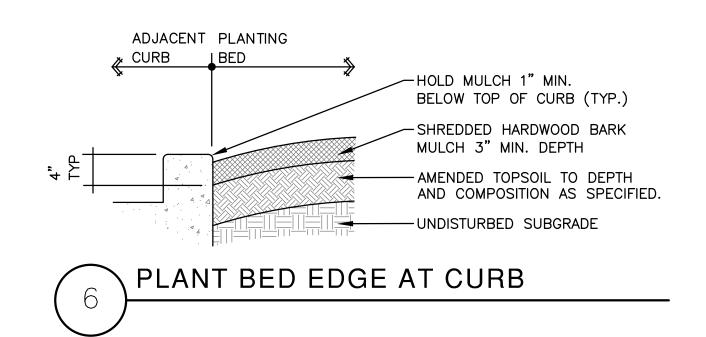
MAY 19, 2021 REVISION SCHEDULE

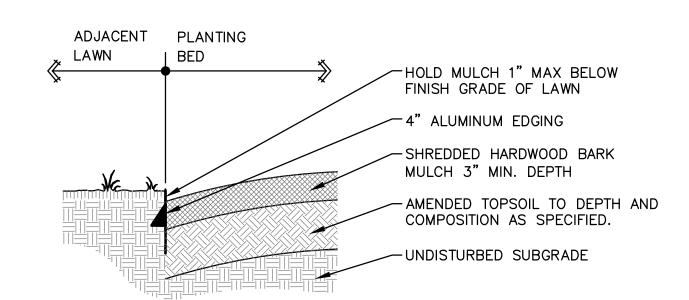
Description

ROOFTOP LANDSCAPE PLAN

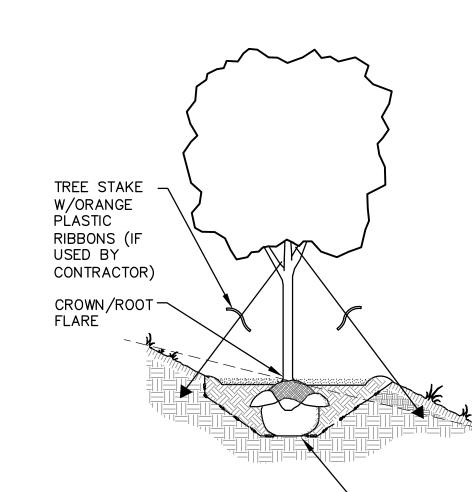
-TOPSOIL SHALL CONFORM TO PROPERTIES AS SPECIFIED. -CONTRACTOR TO PROVIDE FINISHED TURF GRADE PER DRAWINGS WITH UNIFORM, NATURAL SLOPES PRIOR TO THE SOWING OF SEED. SEED BLEND & APPLICATION PROCEDURES ARE DESCRIBED IN WRITTEN SPECIFICATION -LANDSCAPE CONTRACTOR SHALL ESTABLISH VIGOROUS GROWTH AND MOW & MAINTAIN AS SPECIFIED.

NO MOW TURF SEEDING





ALUMINUM PLANT BED EDGE



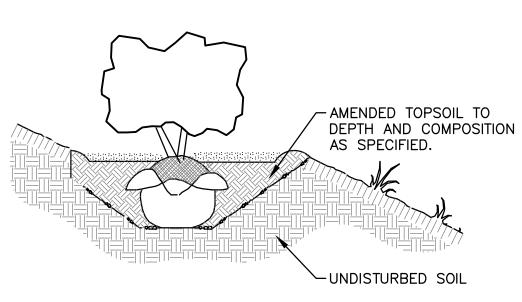
- EXCAVATE PLANTING PIT 3-TIMES THE DIA. & APPROXIMATELY THE HEIGHT OF ROOT BALL DEPTH. ROOT FLARE SHALL BE AT OR
- SLIGHTLY HIGHER THAN ADJACENT F.G. - LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY. - SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL AND PLACE IN PLANTING PIT.
- CUT AND REMOVE ALL STRING AND WIRE AND UNWRAP TOP HALF OF ROOT BALL. BACKFILL PLANTING PIT WITH EXISTING SOIL UP TO BASE OF ROOT FLARE.
- PACK BACKFILL AROUND BASE OF ROOT BALL TO STABILIZE IT. - BACKFILL REMAINDER OF PLANTING HOLE USING WATER PERIODICALLY TO REDUCE AIR POCKETS. - FORM 3" HT. SAUCER IN 6'-0" DIAMETER AROUND TREE & FILL WITH 3" SHREDDED HARDWOOD BARK MULCH. ONLY APPLY MULCH WHEN TREE IS IN MANICURED TURF AREAS.

- KEEP MULCH 1-2 INCHES AWAY FROM TRUNK. WATER IMMEDIATELY & FREQUENTLY. - PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE.

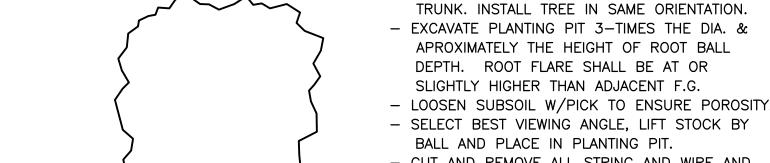
SET ROOT BALL ONTO UNDISTURBED SOIL

TREE PLANTING ON SLOPE DETAIL

-EXCAVATE PLANTING PIT TWICE THE DIAMETER OF BALL & EQUAL IN DEPTH. -LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY -PLACE PLANTING SOIL IN PLANTING PIT & FOOT TAMP. -SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL & PLACE IN PLANTING PIT. -UNWRAP TOP HALF OF ROOT BALL. -BACKFILL TO FINISHED GRADE WITH AMENDED TOPSOIL & TAMP -FORM 3" SAUCER TO ENCIRCLE STOCK & FILL WITH 3" SHREDDED BARK MULCH. -WATER IMMEDIATELY & FREQUENTLY. -PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE



SHRUB PLANTING ON SLOPE DETAIL



- SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL AND PLACE IN PLANTING PIT. CUT AND REMOVE ALL STRING AND WIRE AND UNWRAP TOP HALF OF ROOT BALL. BACKFILL PLANTING PIT WITH EXISTING SOIL UP TO BASE TREE STAKE W/ORANGE-OF ROOT FLARE. PLASTIC RIBBONS (IF PACK BACKFILL AROUND BASE OF ROOT BALL USED BY CONTRACTOR) TO STABILIZE IT. CROWN/ROOT

ACCEPTABLE.

- BACKFILL REMAINDER OF PLANTING HOLE USING WATER PERIODICALLY TO REDUCE AIR POCKETS. - FORM 3" HT. SAUCER IN 6'-0" DIAMETER AROUND TREE & FILL WITH 3" SHREDDED HARDWOOD BARK MULCH. ONLY APPLY MULCH WHEN TREE IS IN MANICURED TURF AREAS. - KEEP MULCH 1-2 INCHES AWAY FROM TRUNK. WATER IMMEDIATELY & FREQUENTLY. - PLANT SIZES SPECIFIED ARE MINIMUM

- PRIOR TO DIGGING TREE, MARK NORTH SIDE OF

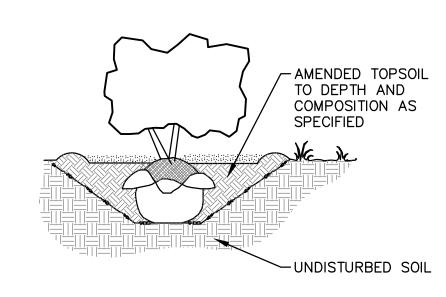
TREE PLANTING DETAIL

-EXCAVATE PLANTING PIT TWICE THE DIAMETER OF BALL & EQUAL IN DEPTH -LOOSEN SUBSOIL W/PICK TO ENSURE -PLACE PLANTING SOIL IN PLANTING PIT & FOOT TAMP -SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL & PLACE IN PLANTING PIT

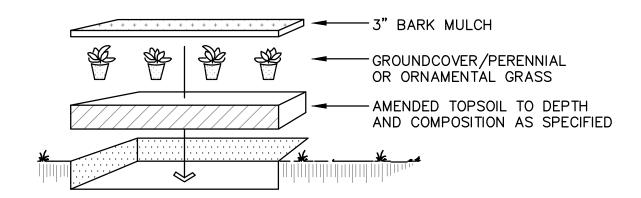
SET ROOT BALL ONTO-

UNDISTURBED SOIL

-UNWRAP TOP HALF OF ROOT BALL -BACKFILL TO FINISHED GRADE WITH AMENDED TOPSOIL & TAMP -FORM 3" SAUCER TO ENCIRCLE STOCK & FILL WITH 3" SHREDDED BARK MULCH -WATER IMMEDIATELY & FREQUENTLY. -PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE

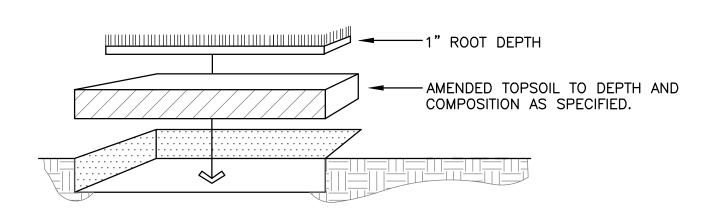


SHRUB PLANTING DETAIL



-LAYOUT PLANT MATERIAL AT SPACING AS SHOWN PER PLANT MATERIALS SCHEDULE -HAND BROADCAST UNIFORM 3" HARDWOOD MULCH THROUGHOUT GROUNDCOVER / PERENNIAL / ORNAMENTAL GRASS BED. -FLOOD IMMEDIATELY & WATER FREQUENTLY PER WRITTEN SPECIFICATIONS -PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE

GROUND COVER / ORNAMENTAL GRASS / PERENNIAL PLANTING DETAIL



-TOPSOIL SHALL CONFORM TO PROPERTIES AS SPECIFIED. -CONTRACTOR TO PROVIDE FINISHED TURF GRADE PER DRAWINGS WITH UNIFORM, NATURAL SLOPES PRIOR TO LAYING SOD. SOD BLEND & APPLICATION PROCEDURES ARE DESCRIBED IN WRITTEN SPECIFICATION -LAY SOD IN 'RUNNING BOND' FASHION (W/ALTERNATE JOINTS), COMPRESS EACH BUTT JOINT TO REDUCE SHRINKAGE CRACKS. ANCHOR SOD APPLICATIONS ON SLOPES GREATER THAN 1:3 W/10" WOOD PEGS. -LANDSCAPE CONTRACTOR SHALL ESTABLISH VIGOROUS GROWTH AND MOW & MAINTAIN AS SPECIFIED.

MANICURED TURF SOD

LANDSCAPING NOTES:

- 1. VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
- 2. INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO, THE LIMITS OF CONSTRUCTION. PROVIDE DIGITAL COPIES OF PHOTOGRAPHS TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE SUBMITTAL PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- 3. REFER TO GEOTECHNICAL REPORT, IF ONE EXISTS, FOR INFILTRATION RATES AND SOIL TYPES / CONDITIONS.
- 4. SEE WRITTEN SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, MATERIALS, EXECUTION AND PLANT PROTECTION, PLANT STAKING METHODS, PLANT PIT DIMENSIONS, BACKFILL AND OTHER RELATED REQUIREMENTS.
- 5. PLANT PLACEMENT IS REQUIRED AS SHOWN ON THE LAYOUT, PLANTING, AND OTHER DRAWINGS.
- 6. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/COMMON NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
- 7. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES ARE FOR INFORMATION ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CONDUCT QUANTITY TAKE-OFFS FOR PLANT MATERIALS AND SIZES SHOWN ON PLANS. PLANT SYMBOLS INDICATED ON THE PLAN TAKE PRECEDENCE IN CASE OF DISCREPANCIES BETWEEN CALLOUTS AND THE PLANT LIST.
- 8. MAINTAIN AND WARRANT PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
- 9. PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH PER WRITTEN SPECIFICATIONS AND DETAILS.
- 10. FORM 72-INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND TREES WHEN THEY ARE INSTALLED IN MANICURED TURF AREAS. SEE PLANTING DETAILS.
- 11. FINE GRADE, RAKE, AND ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND THROUGHOUT SITE WITHIN THE LIMITS OF CONSTRUCTION, WITH ACCURATELY SET FLOW LINES. LOW SPOTS OR PONDING OF SURFACE WATER WILL NOT BE ACCEPTED IN THE FINAL WORK. ROCKS OR DEBRIS WILL NOT BE ACCEPTED. FINAL GRADE TOLERANCES ARE +/-0.1 FOOT MAXIMUM.
- 12. COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB AND RELATED STRUCTURES WITH OTHER TRADES.
- 13. RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- 14. ALL PLANT BED AREAS SHALL BE PREPARED AS DESCRIBED IN WRITTEN SPECIFICATIONS. PROVIDE ANY SOIL AMENDMENTS REQUIRED TO ADEQUATELY ESTABLISH PLANT MATERIAL AND PREVENT REPLACEMENT.
- 15. PROVIDE (2) FERTILIZATION APPLICATIONS TO PLANT BEDS WITHIN THE FIRST GROWING SEASON.
- 16. TAKE NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, OR OTHER DAMAGE TO PLANTS.
- 17. PLANTING BEDS ARE TO BE SEPARATED FROM ADJACENT TURF AREAS WITH ALUMINUM EDGING PER WRITTEN SPECIFICATIONS. INSTALL AT LOCATIONS INDICATED ON DRAWINGS AND PER LANDSCAPE DETAILS.
- 18. CONTRACTOR SHALL DETERMINE THE NEED FOR TREE STAKING. IF DETERMINED NECESSARY, PROVIDE TREE STAKING AS DESCRIBED IN WRITTEN SPECIFICATIONS.
- 19. PROVIDE WARRANTY OF PLANT MATERIALS AS DESCRIBED IN WRITTEN SPECIFICATIONS.
- 20. DECORATIVE STONE MULCH: "MISSISSIPPI, MEDIUM SIZE" AS PRODUCED BY HALQUIST STONE COMPANY (OR APPROVED EQUAL), 3" THICK. CONTACT JOSH KAYSAR @ 262-246-9000.
- 21. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN 100 MILES FROM THE PROJECT SITE. ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
- 22. FOR ANY TREES TO BE INSTALLED OR THAT MAY NEED TO BE REPLACED DUE TO CONSTRUCTION DAMAGE WITHIN THE RIGHT OF WAY, CITY FORESTER TO PROVIDE RECOMMENDED LOCATIONS AND SPECIES.

ARCHITECTS

MADISON : MILWAUKEE jla-ap.com

JLA PROJECT NUMBER: 19-0802

1010 East Washington Avenue, Madison, WI 53703-3130

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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

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DATE OF ISSUANCE MAY 19, 2021

REVISION SCHEDULE

Description

LANDSCAPE NOTES & **DETAILS**

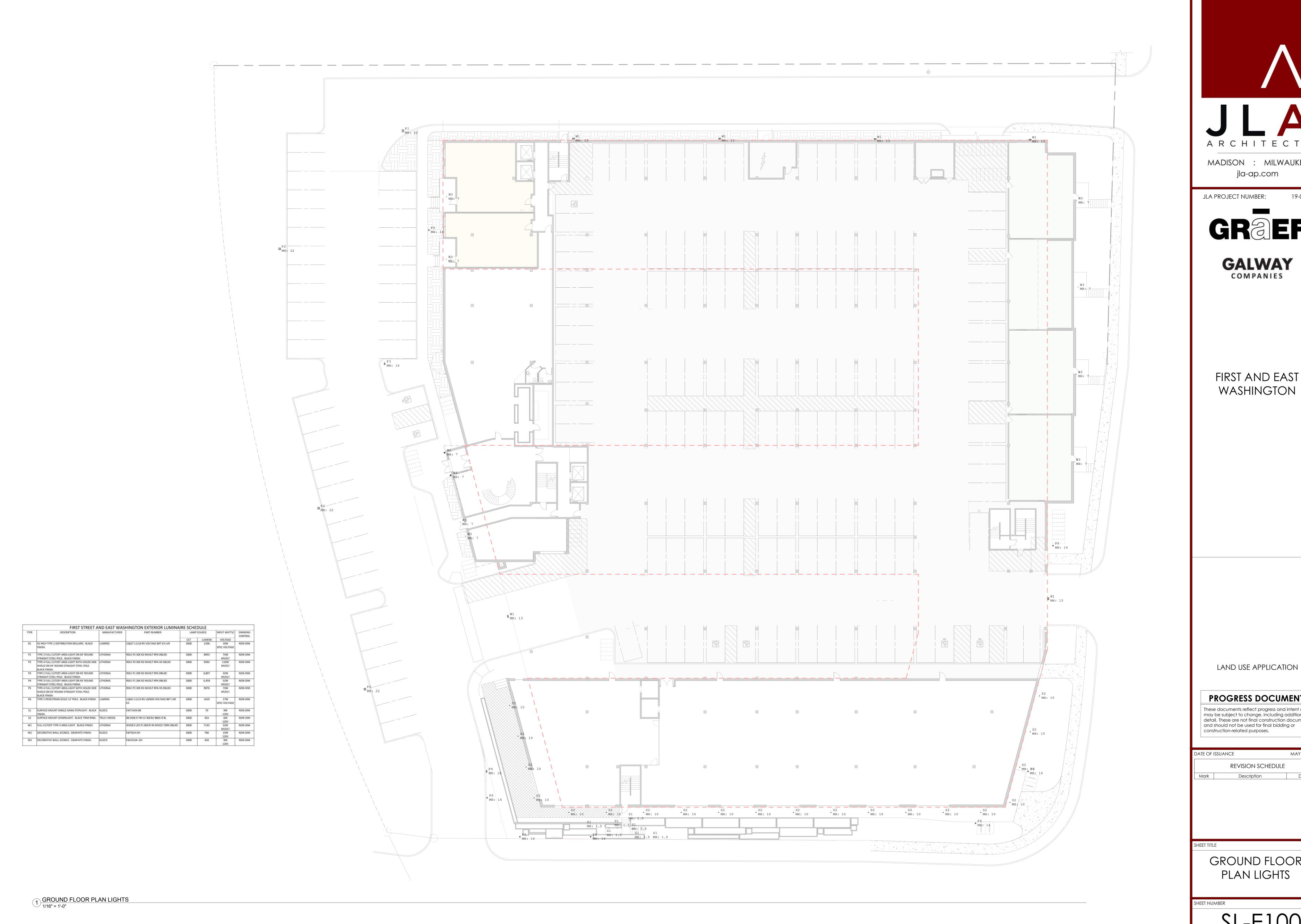
SHEET NUMBER

n accordance with Wisconsin statute 182.0175, damage to

transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work. The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantees that the underground utilities shown comprise all ch utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities

shown are in the exact location indicated. GRAEF has not

hysically located the underground utilities.







GALWAY

FIRST AND EAST WASHINGTON

PROGRESS DOCUMENTS

MAY 19, 2021

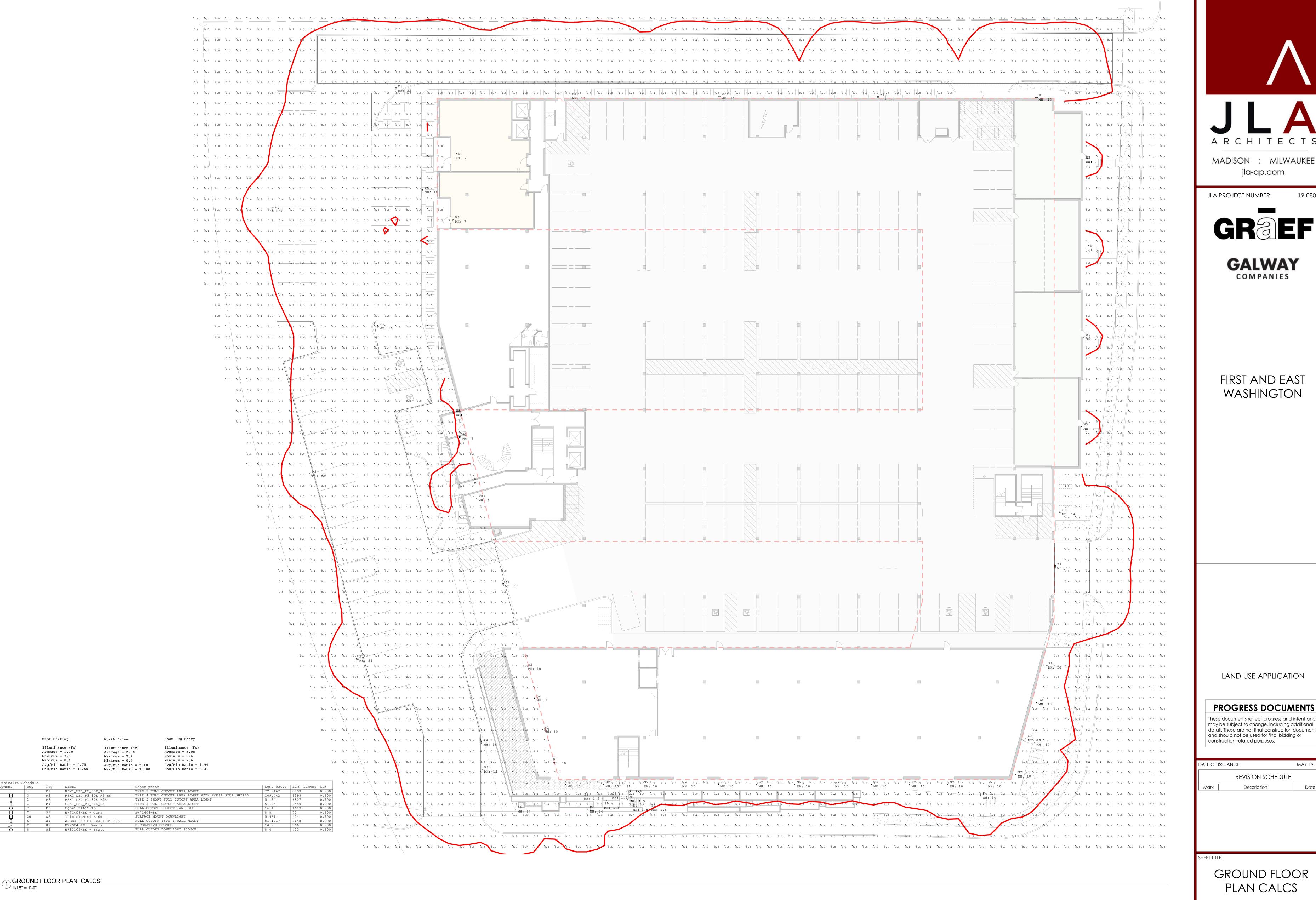
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REVISION SCHEDULE

Description

GROUND FLOOR PLAN LIGHTS

SL-E100



JLA PROJECT NUMBER:



jla-ap.com

GALWAY COMPANIES

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

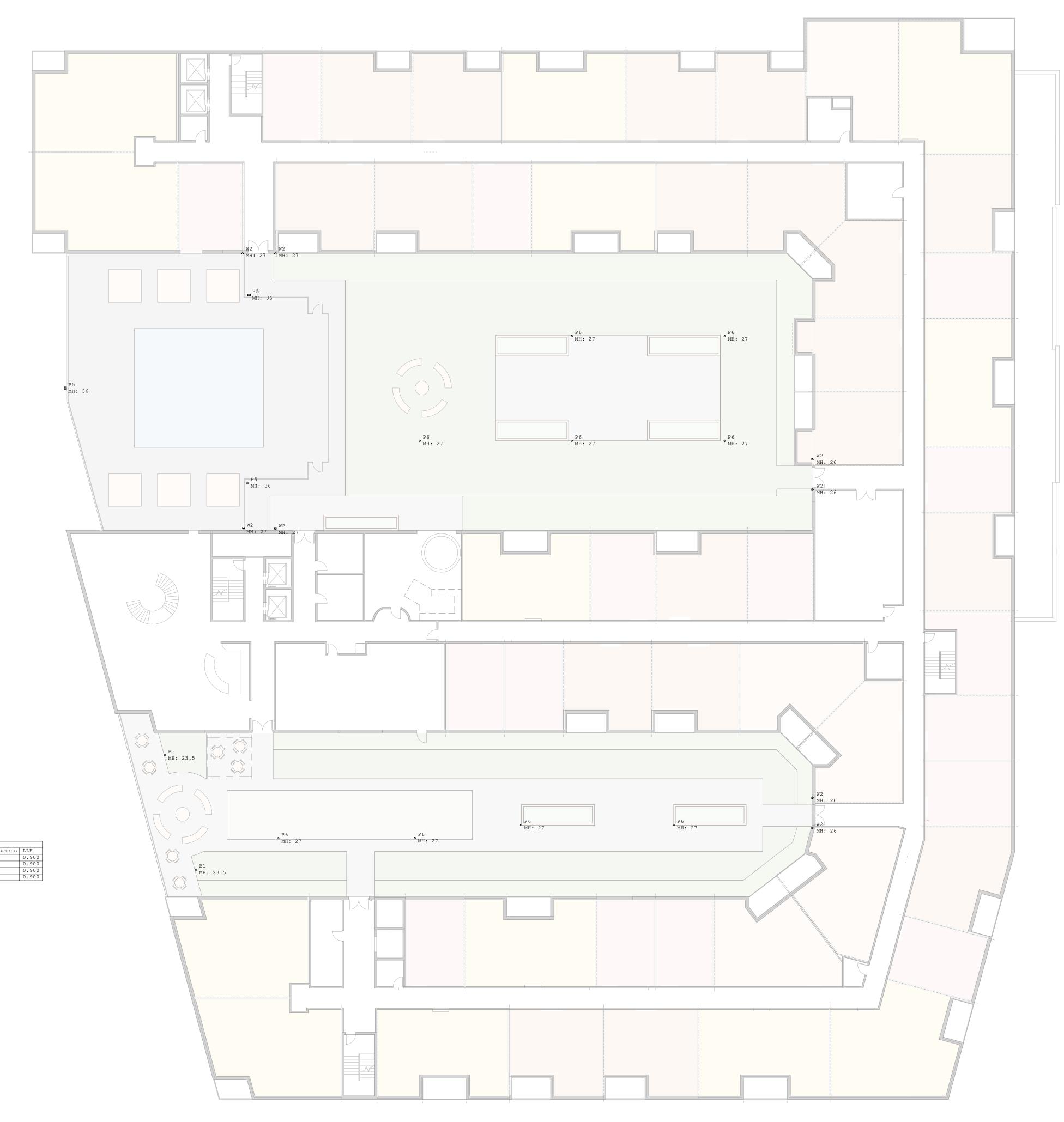
PROGRESS DOCUMENTS These documents reflect progress and intent and

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DATE OF ISSUANCE MAY 19, 202 REVISION SCHEDULE Description

> GROUND FLOOR PLAN CALCS

SHEET NUMBER



MADISON : MILWAUKEE jla-ap.com

JLA PROJECT NUMBER:

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REVISION SCHEDULE Description

LEVEL 2 TERRACE PLAN LIGHTS

SL-E102

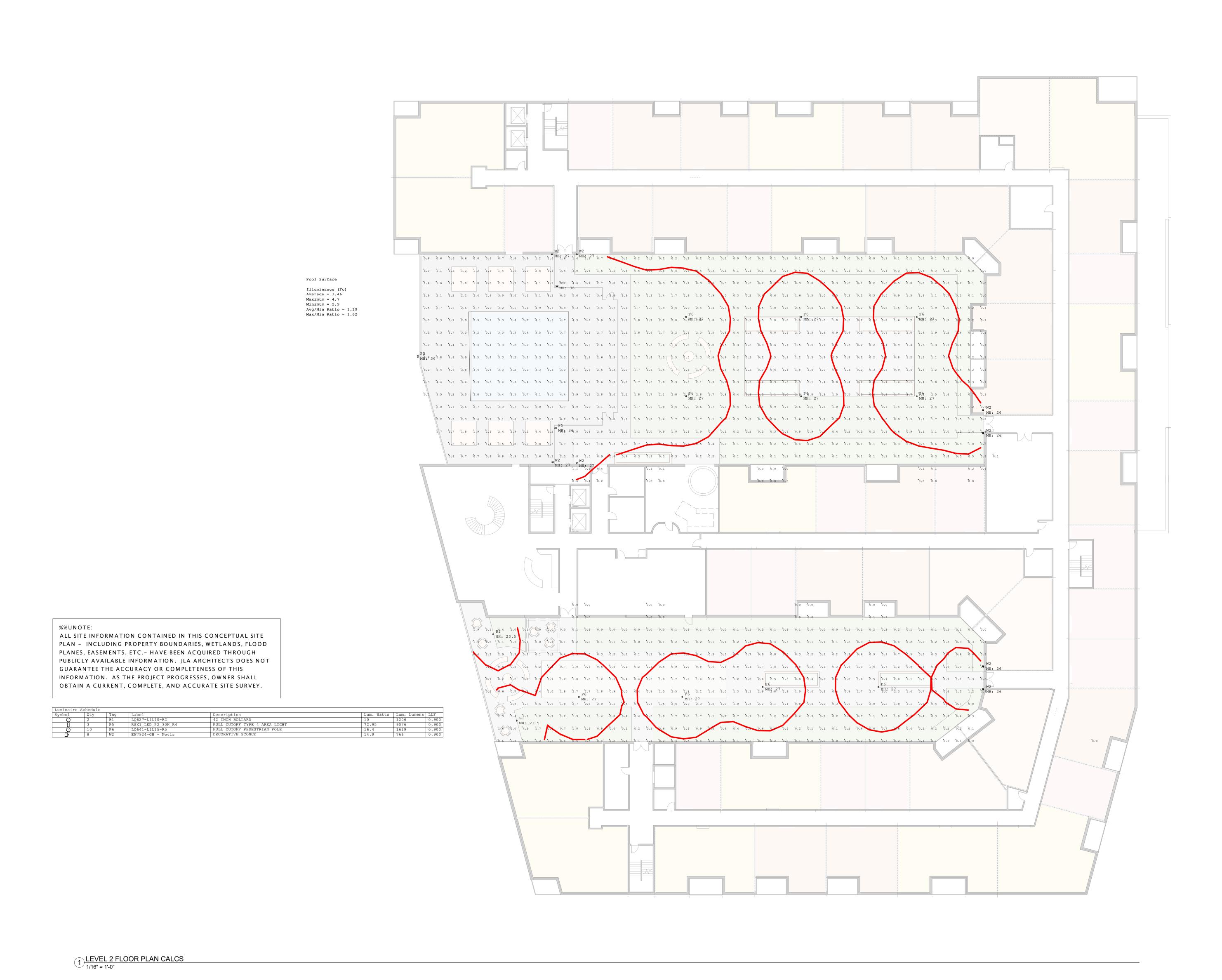
%%UNOTE:

1) LEVEL 2 FLOOR PLAN LIGHTS
1/16" = 1'-0"

ALL SITE INFORMATION CONTAINED IN THIS CONCEPTUAL SITE PLAN - INCLUDING PROPERTY BOUNDARIES, WETLANDS, FLOOD PLANES, EASEMENTS, ETC.- HAVE BEEN ACQUIRED THROUGH PUBLICLY AVAILABLE INFORMATION. JLA ARCHITECTS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. AS THE PROJECT PROGRESSES, OWNER SHALL

OBTAIN A CURRENT, COMPLETE, AND ACCURATE SITE SURVEY.

Luminaire	Schedule						
Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LI
0	2	B1	LQ627-L1L10-R2	42 INCH BOLLARD	10	1206	0.
-	3	P5	RSX1_LED_P2_30K_R4	FULL CUTOFF TYPE 4 AREA LIGHT	72.95	9076	0.
0	10	P6	LQ641-L1L15-R5	FULL CUTOFF PEDESTRIAN POLE	16.4	1619	0.
□→	8	W2	EW7924-GH - Nevis	DECORATIVE SCONCE	14.9	766	0.





JLA PROJECT NUMBER:



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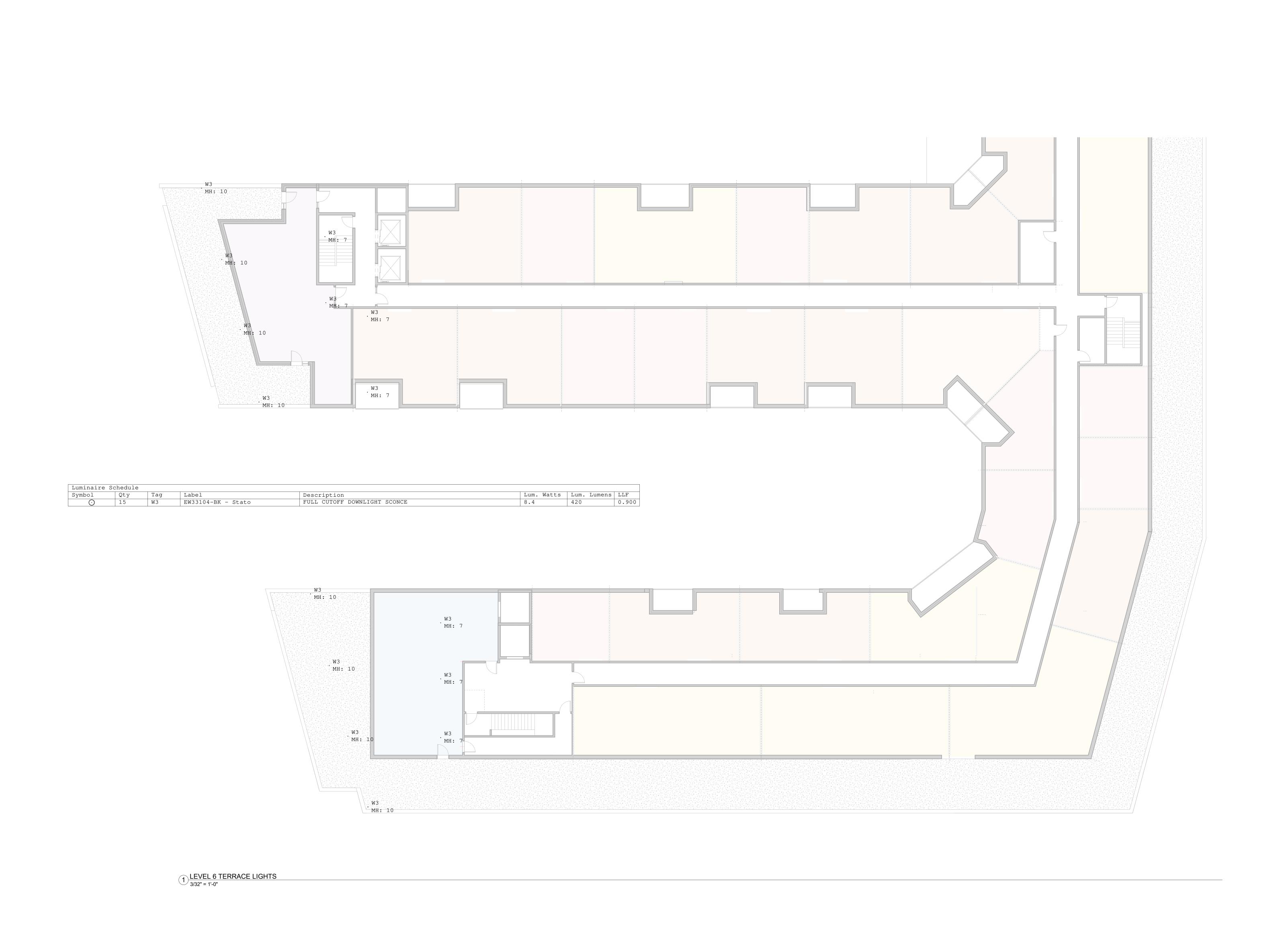
REVISION SCHEDULE

Mark Description Date

SHEET TITLE

LEVEL 2 TERRACE
PLAN CALCS

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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

PROGRESS DOCUMENTS These documents reflect progress and intent and

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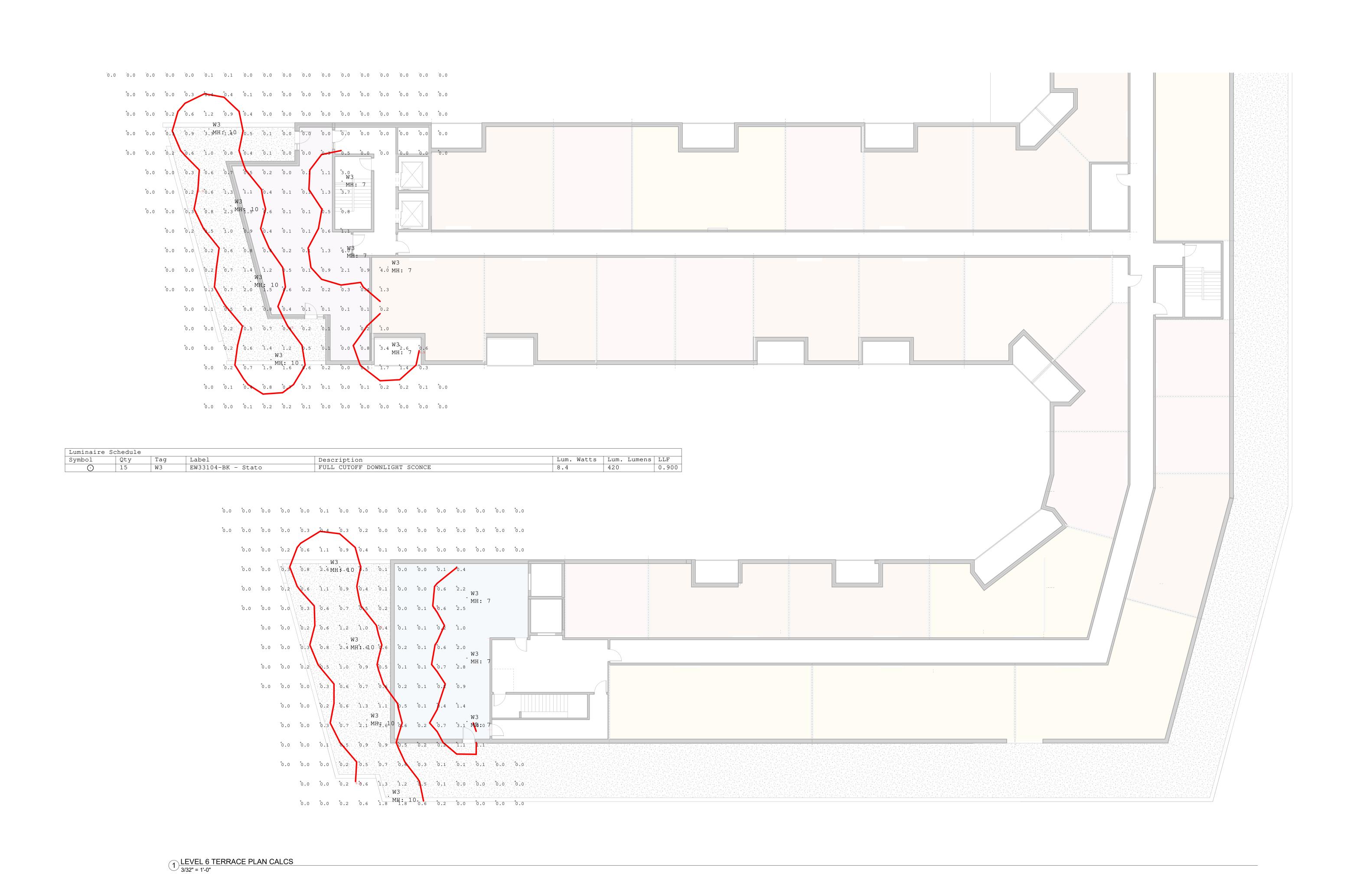
REVISION SCHEDULE

Mark Description Date

SHEET TIT

LEVEL 6 TERRACE PLAN LIGHTS

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JLA PROJECT NUMBER:



GALWAY

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

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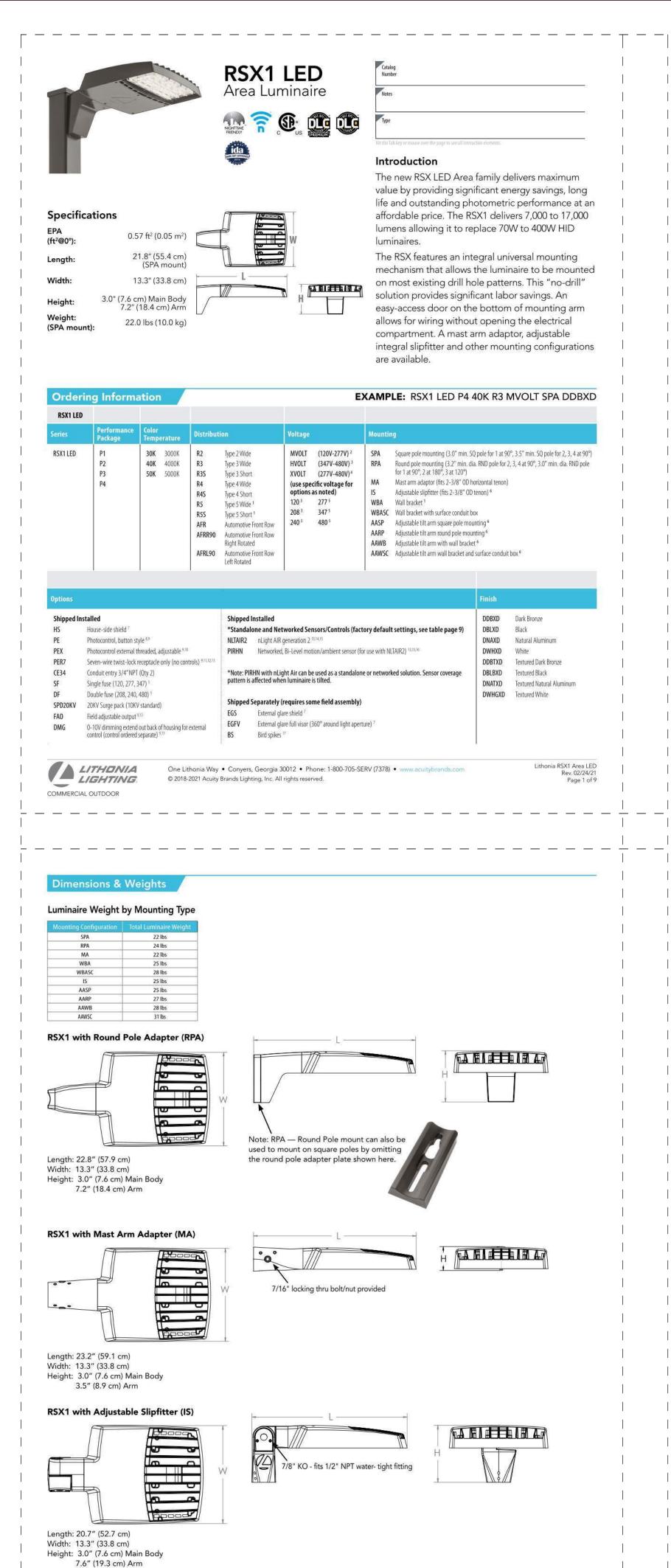
REVISION SCHEDULE

Mark Description Date

SHEET TITLE

LEVEL 6 TERRACE
PLAN CALCS

SHEET NUMBER



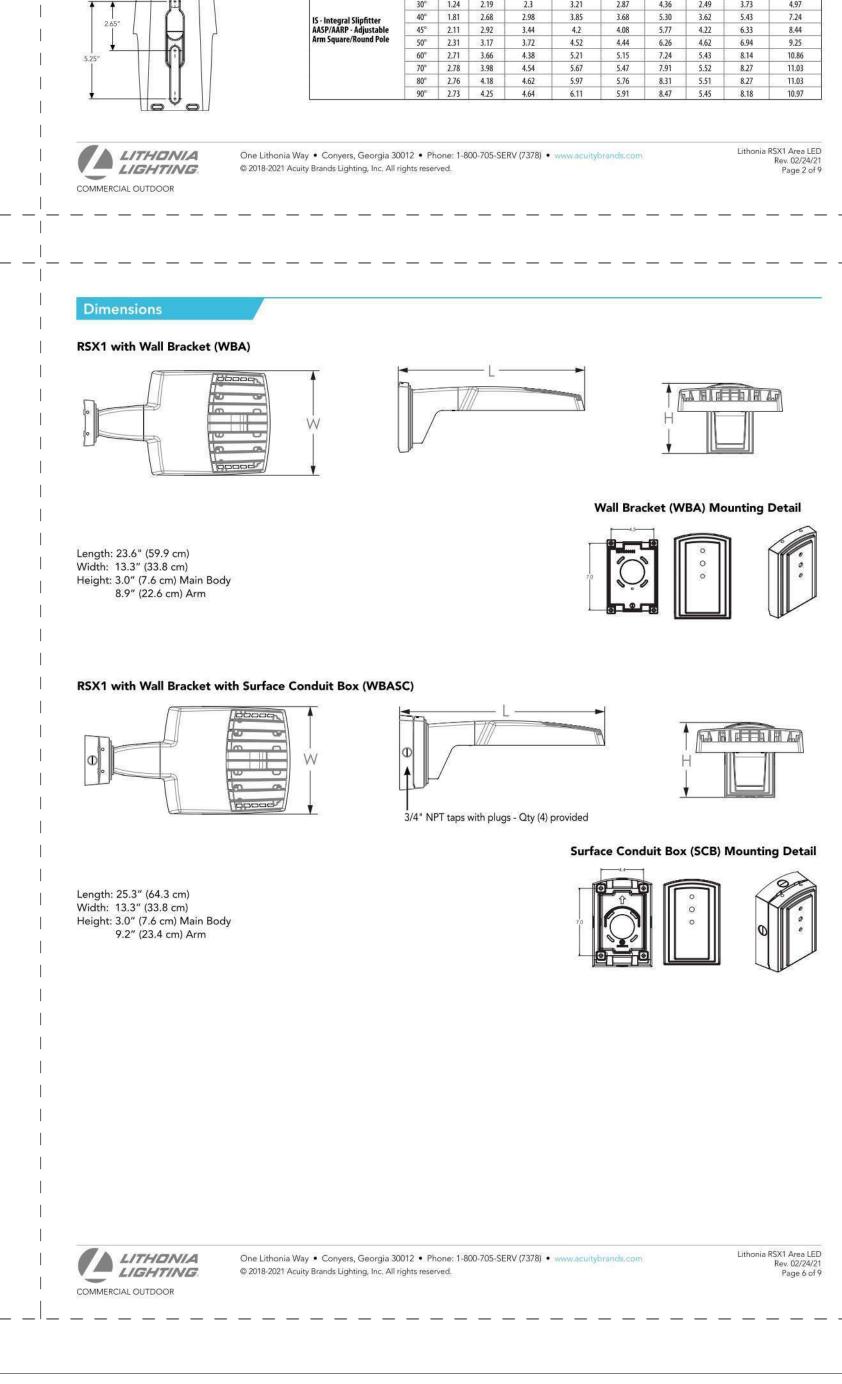
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LITHONIA LIGHTING

RSX1 LED CUT SHEETS

COMMERCIAL OUTDOOR



NOTES

1 Any Type 5 distribution, is not available with WBA.
2 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
3 HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
4 XVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
5 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
6 Maximum tilt is 90° above horizontal.
7 It may be ordered as an accessory.
8 Requires MVOLT or 347V.
9 Not available in combination with other light sensing control options following options cannot be combined: PE, PEX, PER7, FAO, DMG, PIRHN.
9 PIRHN.
1 Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
1 Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
2 Drimming leads capped for future use.
2 For units with option PER7, the mounting must be restricted to +/-45° from horizontal mer PANSI C136.10-2010.
3 Two or more of the following options cannot be combined including DMG, PER7, FAO and PIRHN.
3 Requires MYOLT or 347V.
4 Nust be ordered with NLTAIR2. For additional information on PIRHN visit here.
4 Nust be ordered with NLTAIR2. For additional information on PIRHN visit here.
4 Nust be ordered with NLTAIR2. For additional information on PIRHN visit here.
4 Nust be ordered with NLTAIR2. For additional information on PIRHN visit here.
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4 Nust be ordered with NLTAIR2. For additional information on PIRHN visit here.

 RPA, AARP
 A53-5 190
 A53-5 280
 A53-5 290
 A53-5 320
 A53-5 390
 A53-5 490

 RPA, AARP
 A5T25-190
 A5T25-280
 AST25-290
 AST25-320
 AST25-390
 AST25-490

RPA, AARP AST35-190 AST35-280 AST35-290 AST35-320 AST35-390 AST35-490

10 Requires 120V, 208V, 240V or 277V.

External Glare Shield

Accessories including bullhorns, cross arms and other adpaters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page.

Round Tenon Mount - Pole Top Slipfitters

Drill/Side Location by Configuration Type

RSX1 - Luminaire EPA

SPA - Square Pole Adaptor RPA - Round Pole Adaptor

Accessories

RSX1EGS (FINISH) U External glares hield (specify finish) RSX1EGFV (FINISH) U External glare full visor (specify finish) RSXRPA (FINISH) U RSX Universal round pole adaptor plate (specify finish) RSXWBA (FINISH) U RSX WBA wall bracket (specify finish) 1

DLL127F 1.5 JU Photocell -SSL twist-lock (120-277V) 18

DLL480F 1.5 CUL JU Photocell -SSL twist-lock (480V) 18 DSHORT SBK U Shorting cap 18

Click here to visit Accessories.

HANDHOLE ORIENTATION

D

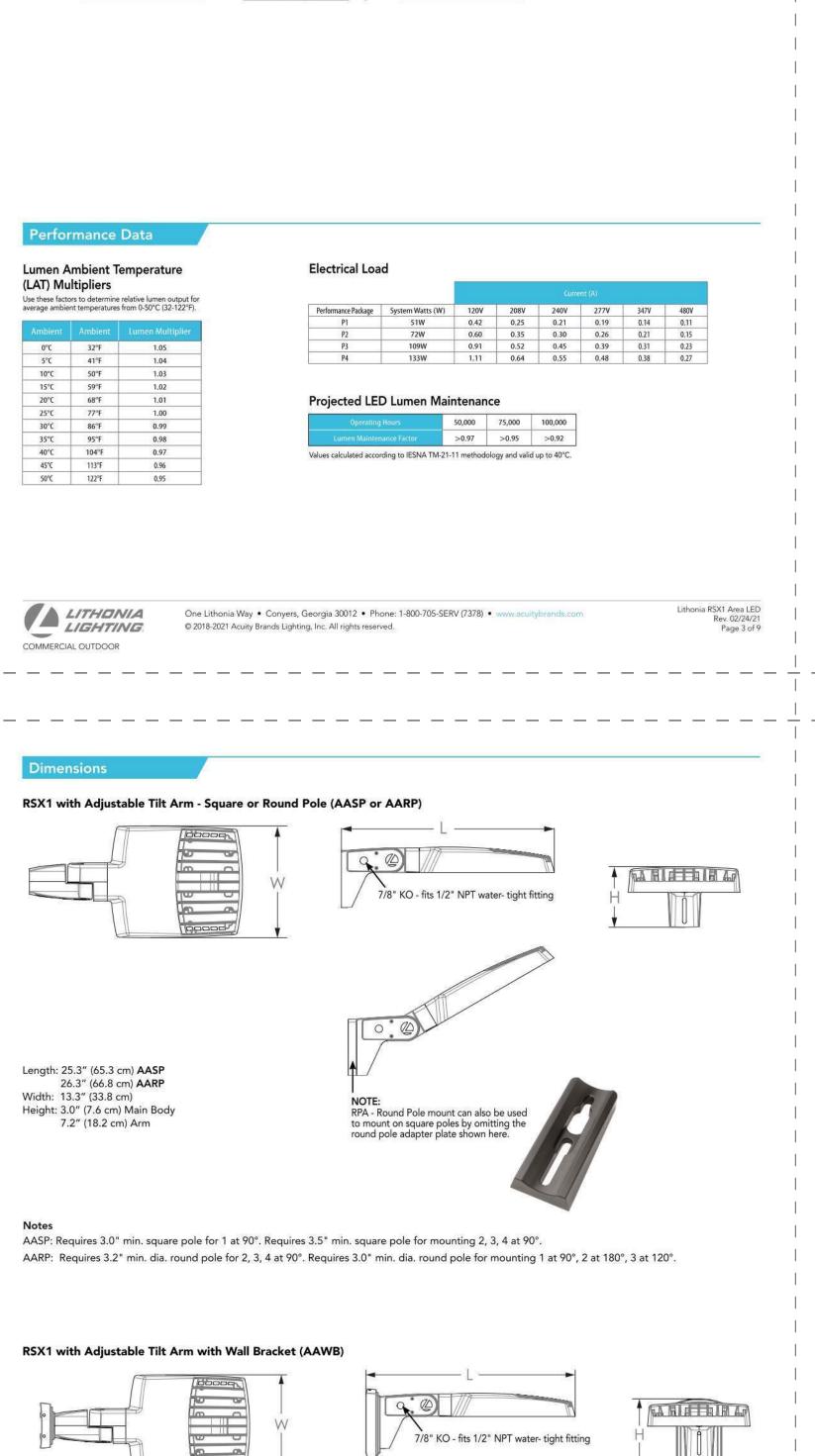
RSX POLE DRILLING

RSX STANDARD ARM & ADJUSTABLE ARM

Template #8 Top of Pole

RSX1 House side shield (includes 1 shield) RSX1HSAFRR U RSX1 House side shield for AFR rotated optics (includes 1 shield)

RSXSCB (FINISH) U RSX Surface conduit box (specify finish, for use with WBA, WBA not included)



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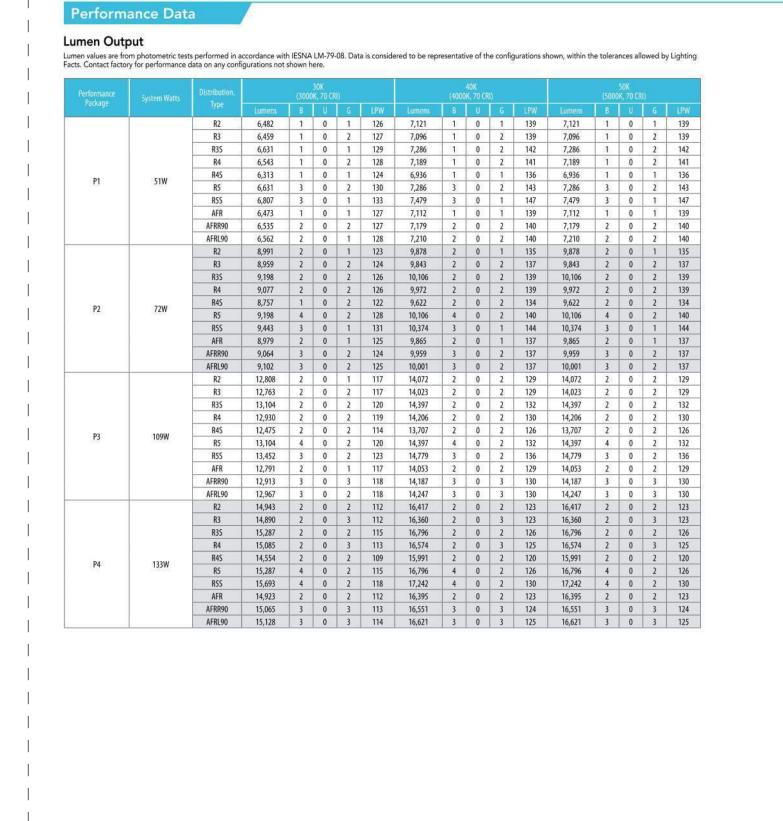
Length: 27.1" (68.8 cm) Width: 13.3" (33.8 cm)

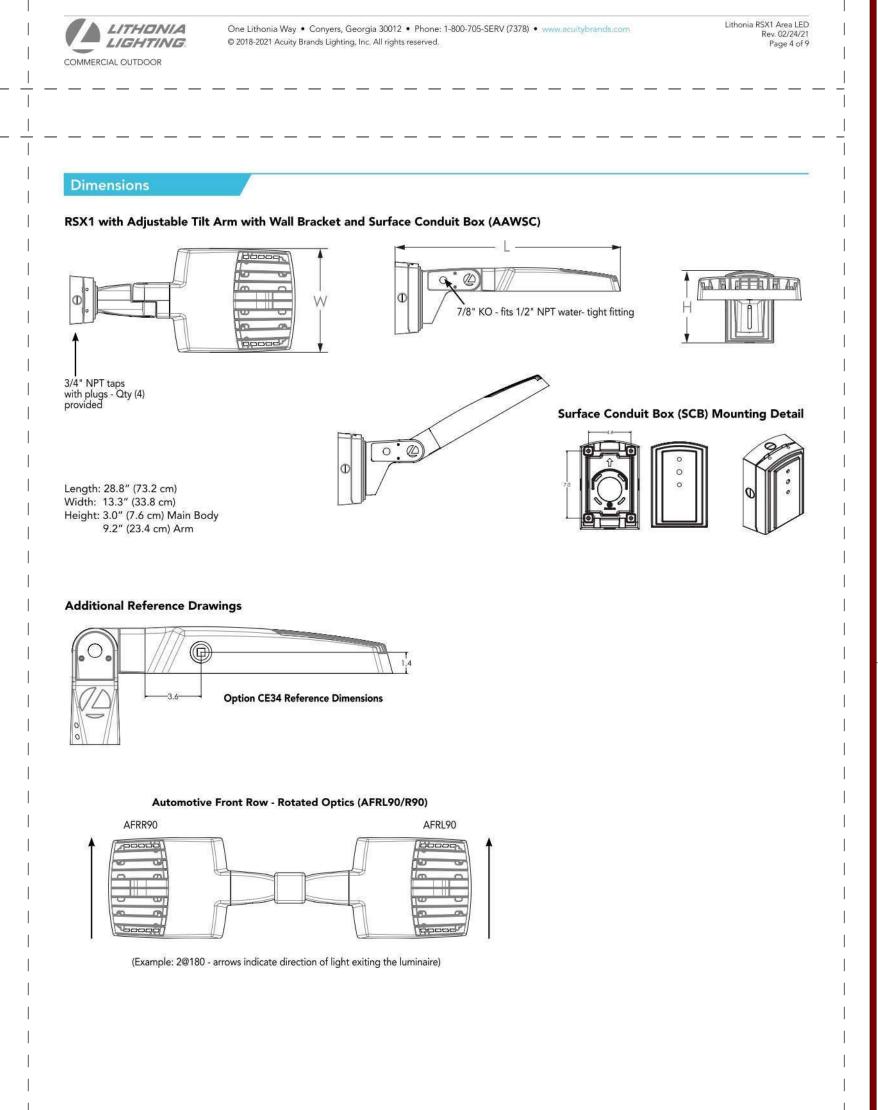
Height: 3.0" (7.6 cm) Main Body

LITHONIA LIGHTING

8.9" (22.6 cm) Arm

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RSX Area homepage.





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LITHONIA LIGHTING

COMMERCIAL OUTDOOR



MADISON : MILWAUKEE jla-ap.com

JLA PROJECT NUMBER:

GALWAY COMPANIES

FIRST AND EAST WASHINGTON

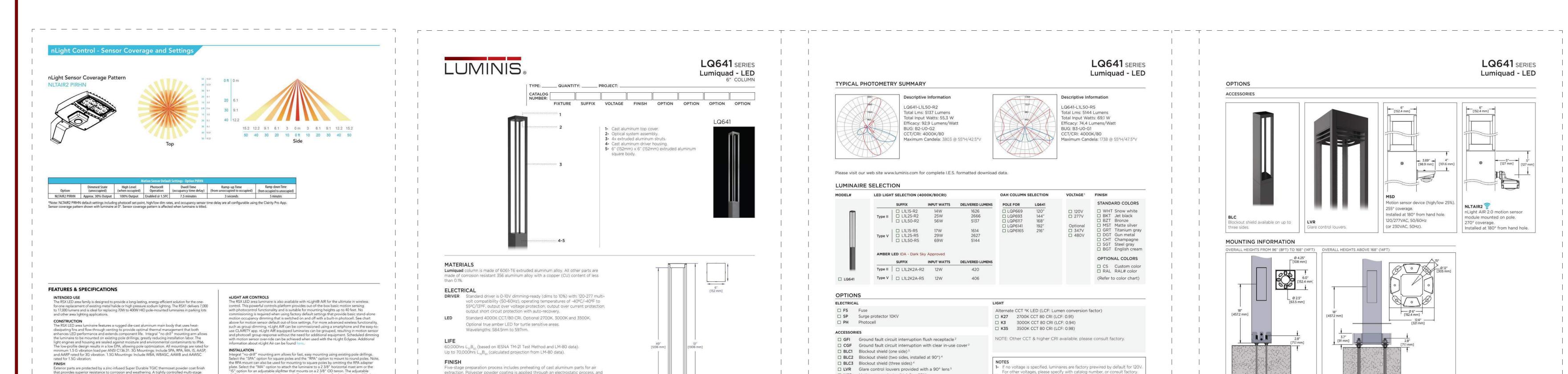
LAND USE APPLICATION

PROGRESS DOCUMENTS

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LIGHTING CUT SHEETS



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slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for 40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC

qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm

which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 $^{\circ}$ C.

direct-to-pole and wall and a surface conduit box for wall mount applications.

products on this page utilizing 3000K color temperature only.

5-year limited warranty. Complete warranty terms located at:

Specifications subject to change without notice.

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing

Type 2, Type 3, Type 35, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row), and AFR outsted AFRR90 and AFFL90.

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards

and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >1,92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily

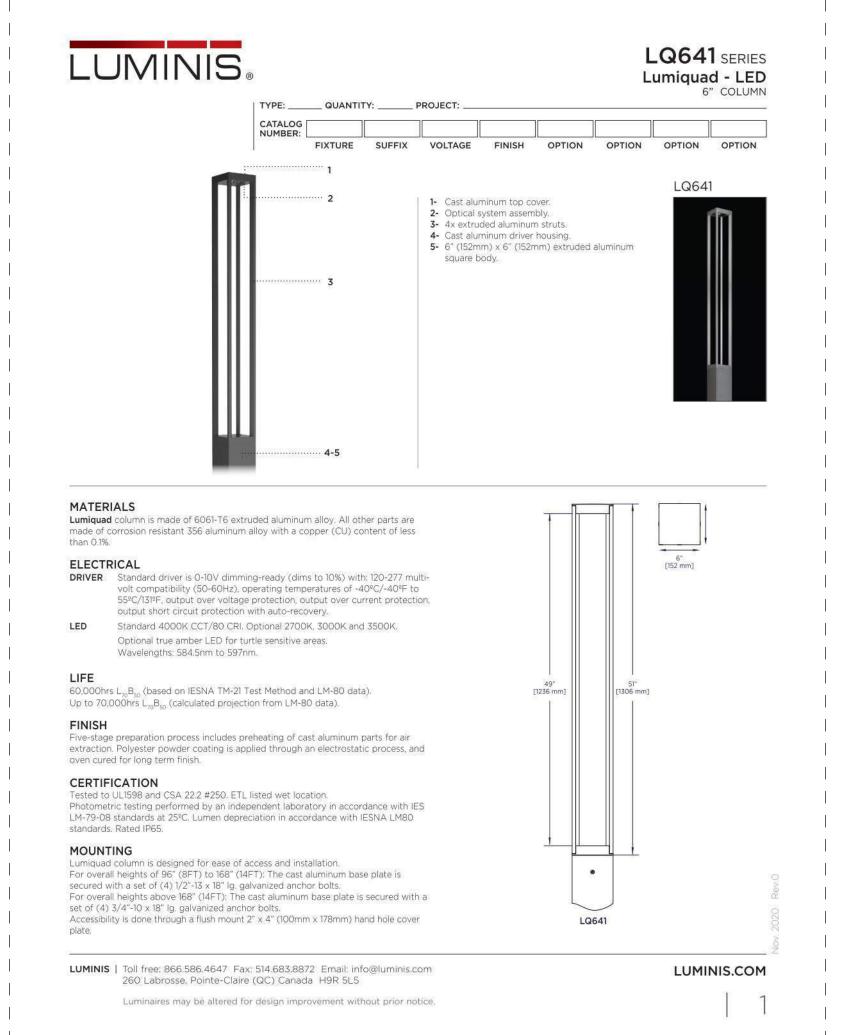
serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/ IEEE C62.41.2).

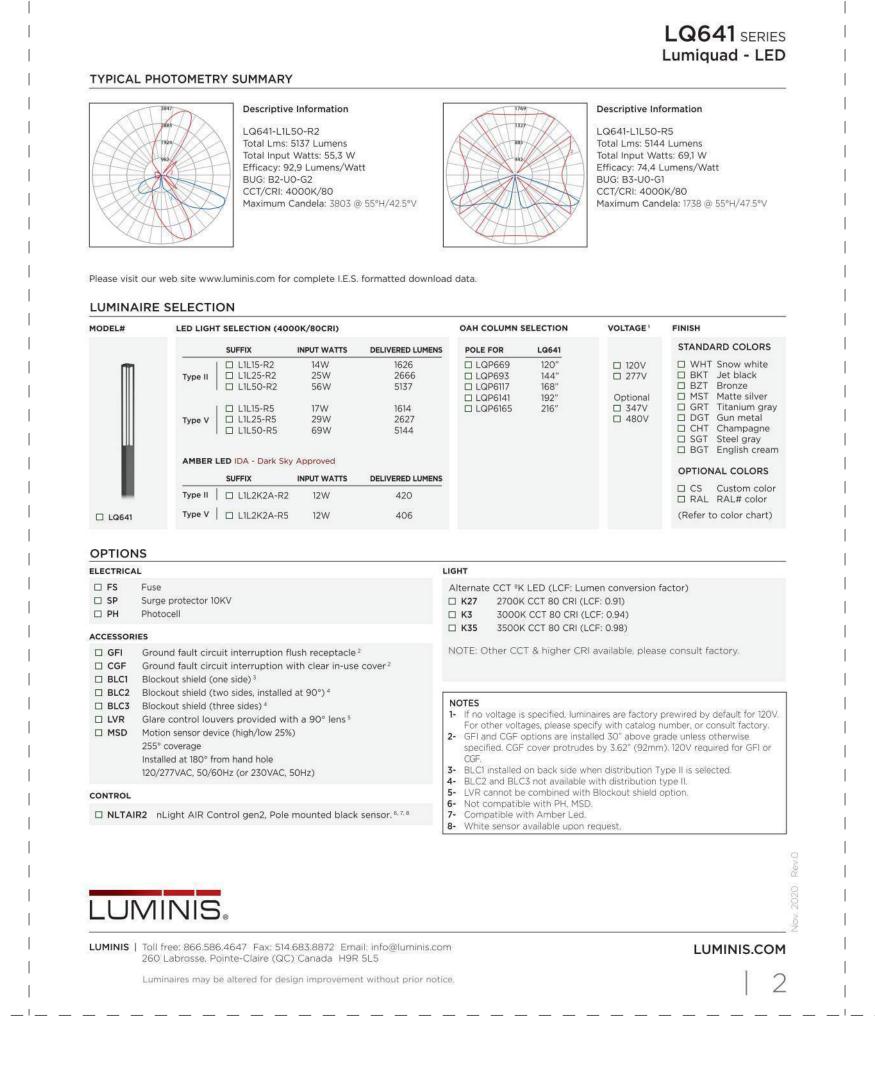
include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

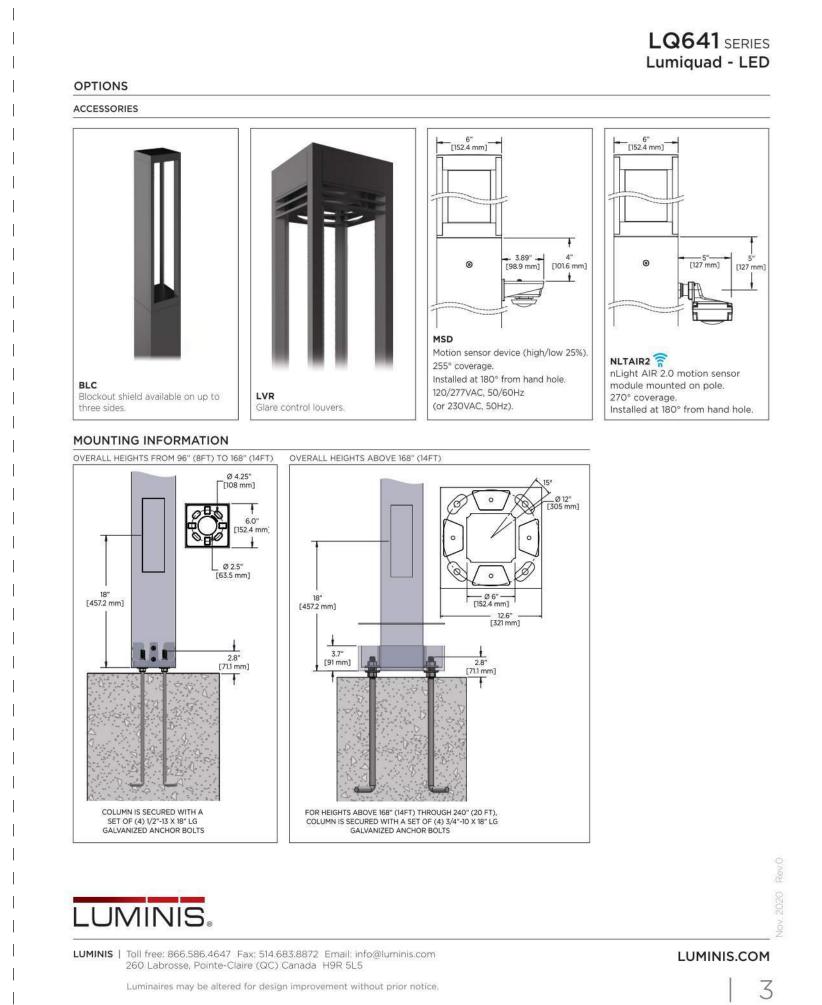
STANDARD CONTROLS

LITHONIA LIGHTING

COMMERCIAL OUTDOOR









GALWAY COMPANIES

FIRST AND EAST WASHINGTON

LAND USE APPLICATION

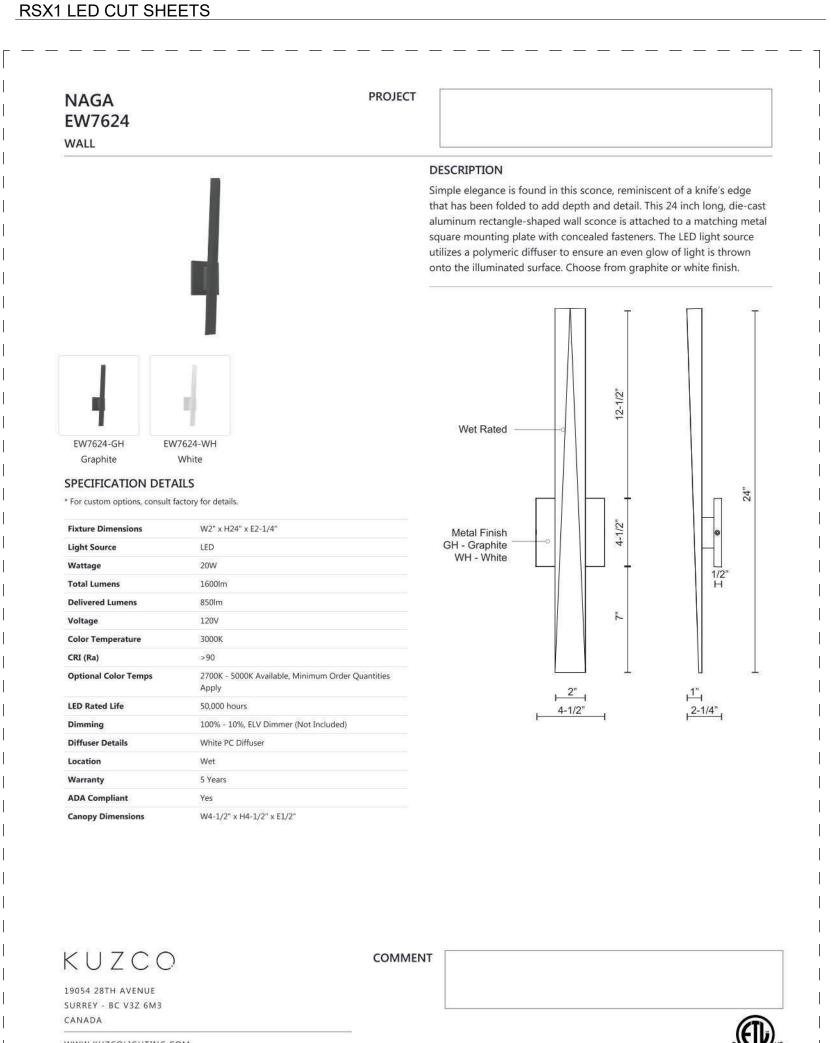
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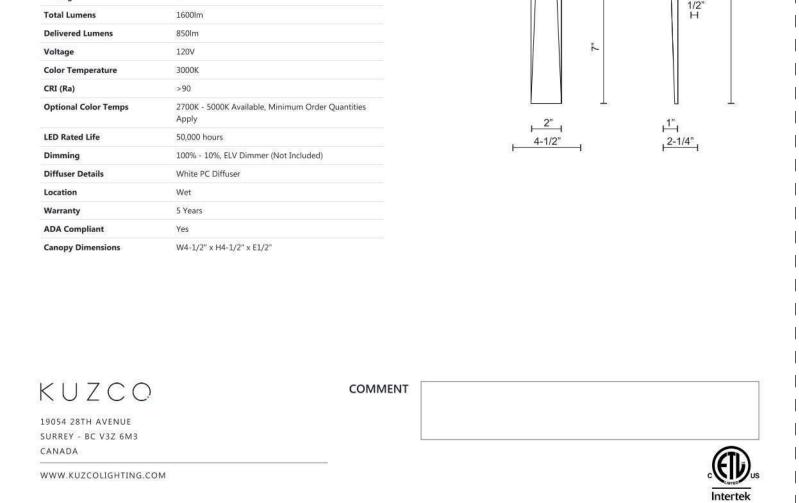
DATE OF ISSUANCE MAY 19, 202 **REVISION SCHEDULE**

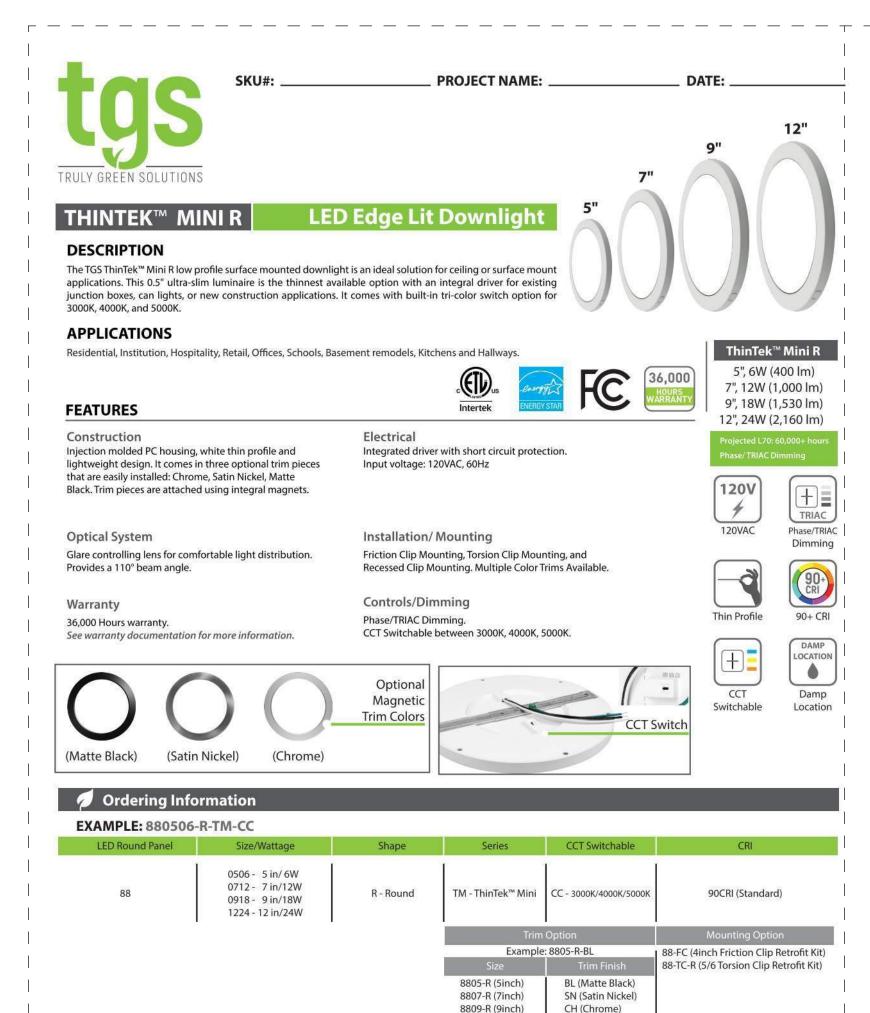
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LIGHTING CUT SHEETS



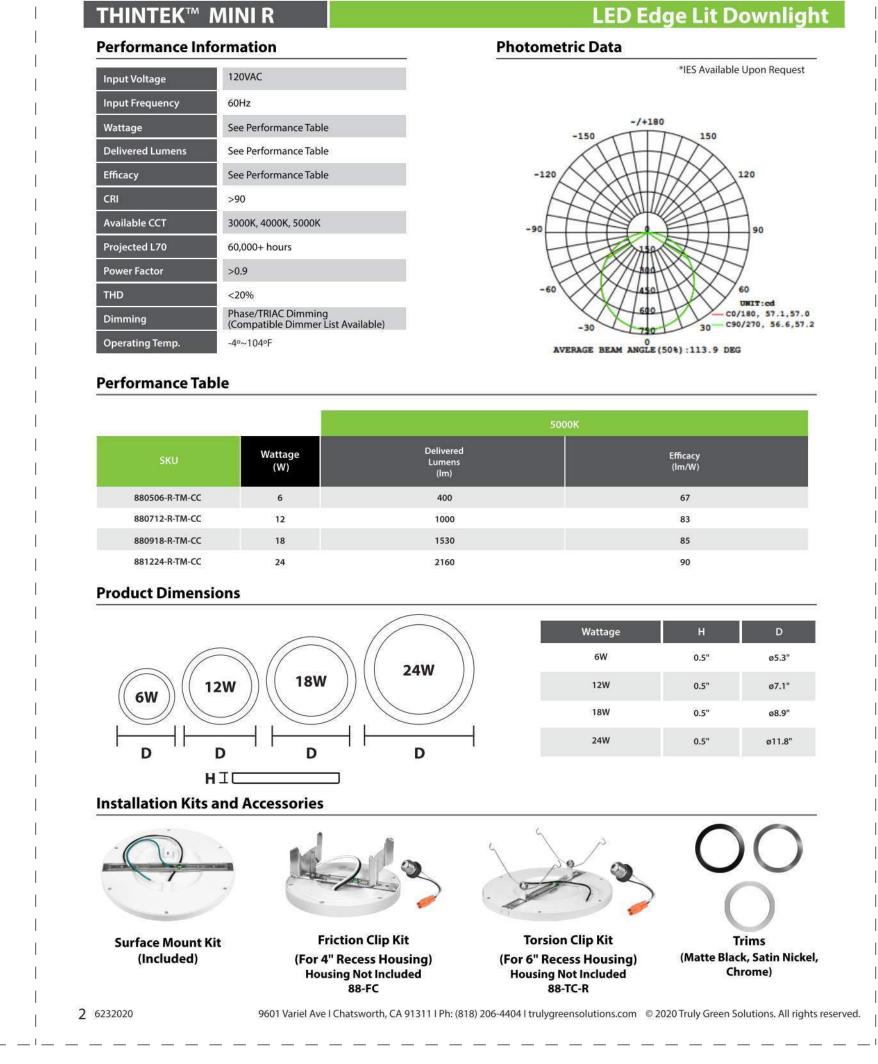




8812-R (12inch)

9601 Variel Ave | Chatsworth, CA 91311 | Ph: (818) 206-4404 | trulygreensolutions.com © 2020 Truly Green Solutions. All rights reserved.

Optional Trim and Mounting Options are purchased separately.





MSCL-OP153M

DVW-603PGH

PD-6WCL

SCL-153P

CTCL-153P

ecommended dimmers

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LED Edge Lit Downlight

Leviton

DSL06-1LZ

6674-P0W

IPL06-10Z

6672-1LW

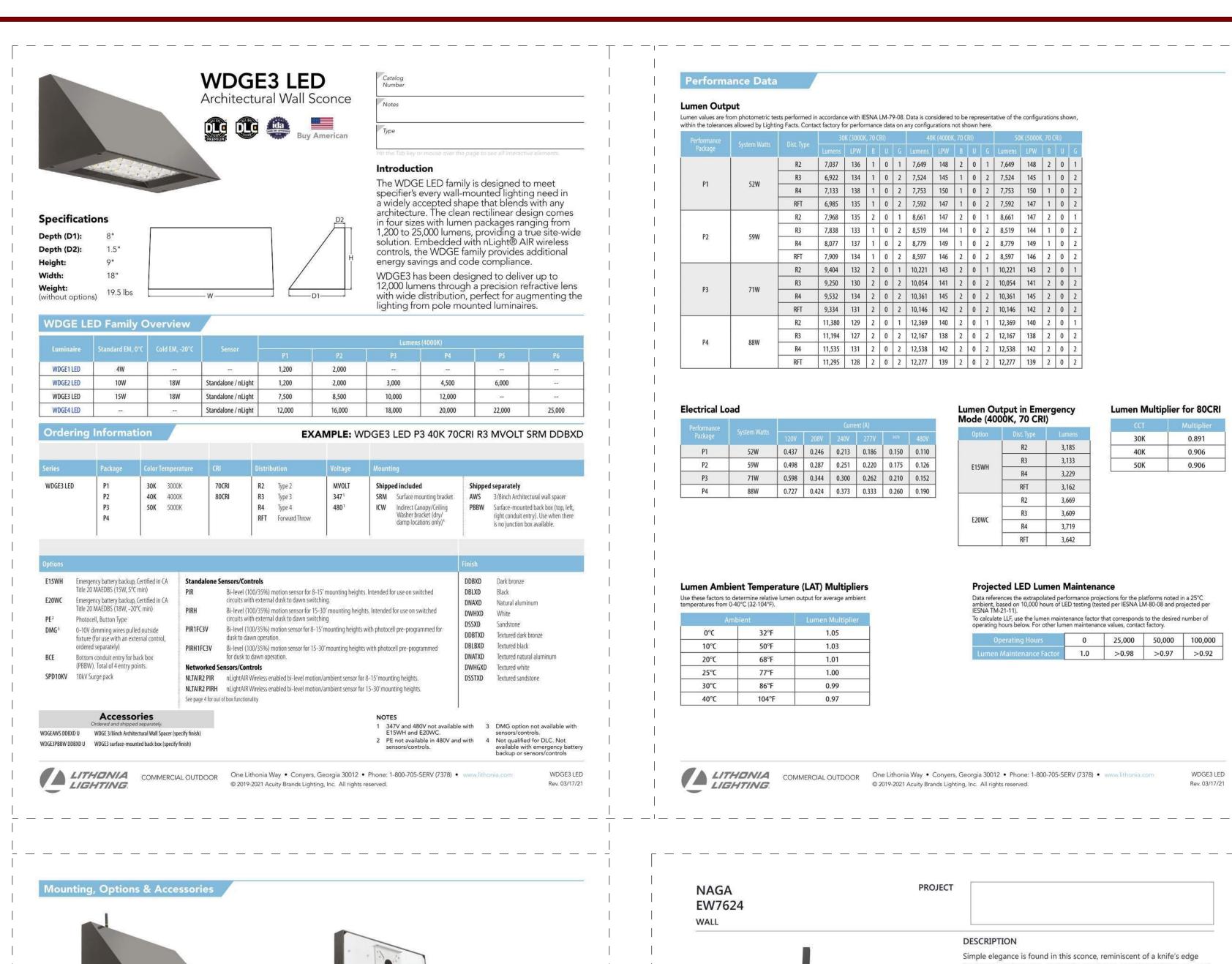
S2 TRULY GREEN CUT SHEETS

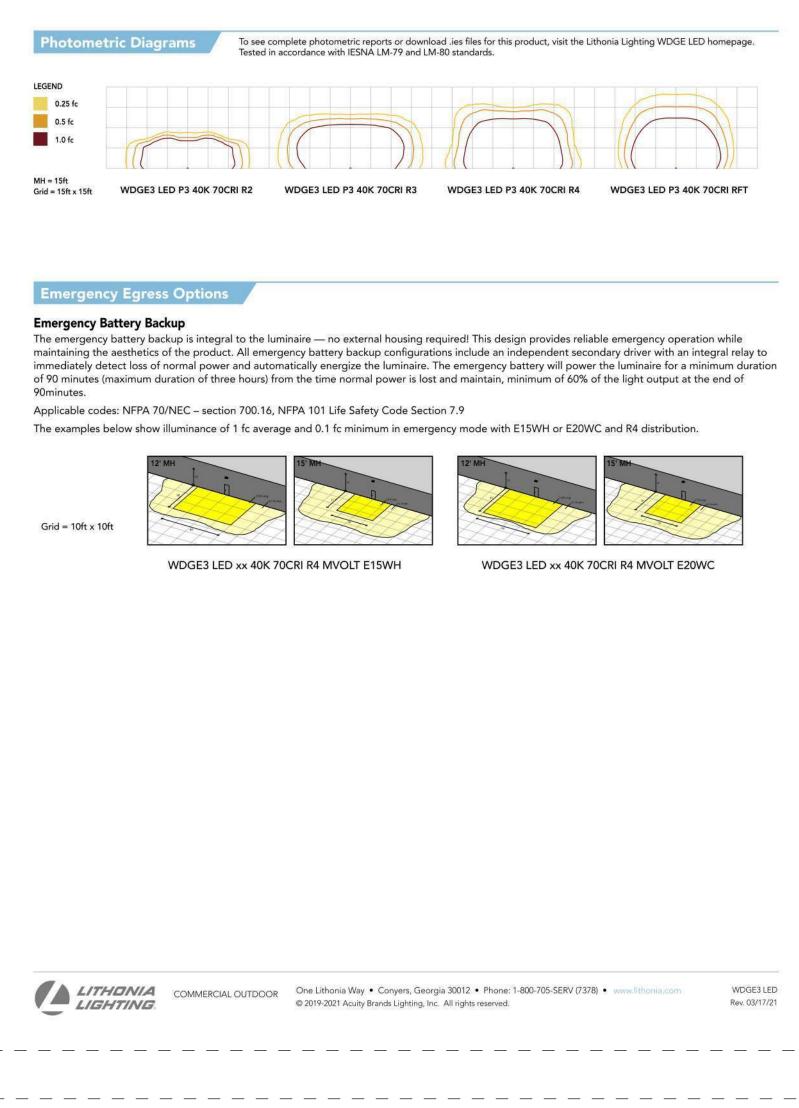
Specifications and Dimensions subject to change without notice.

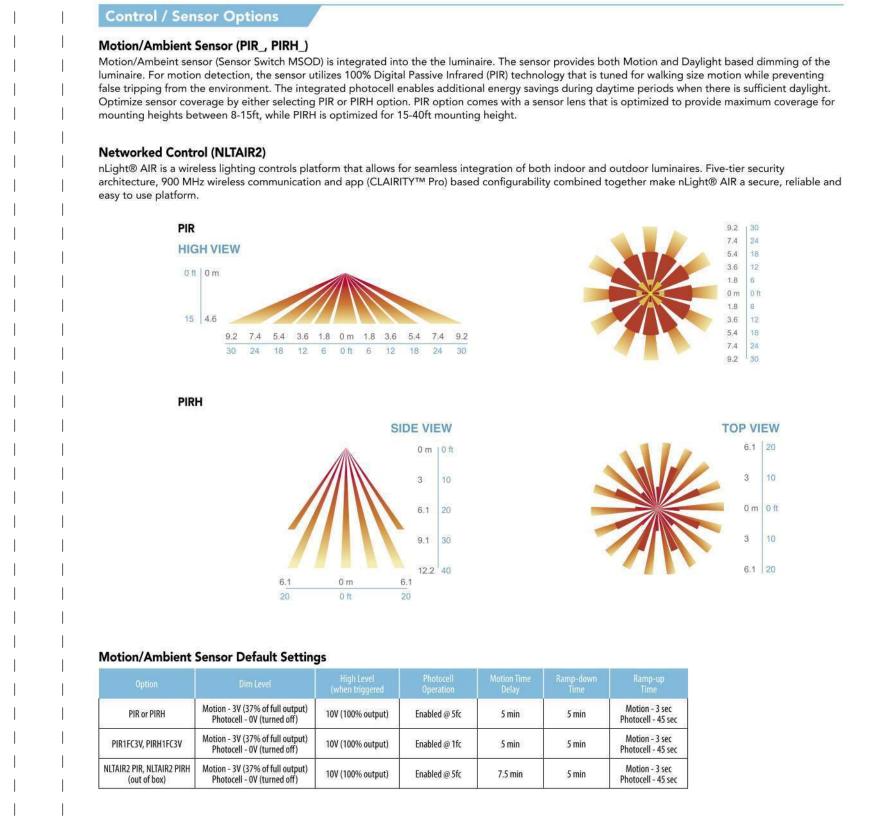
*MOQ and longer lead times may apply, please contact customer service for more information.

LQ641 LED CUT SHEETS

NAGA EW7624 CUT SHEETS







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LIGHTING



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LAND USE APPLICATION

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Mark Description Date

HEET TITLE

LIGHTING CUT SHEETS

SHEET NUMBER

SL-E602



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Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to

maximize heat dissipation and promote long life (up to L92/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in

6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62 41 2)

WDGE3 LED CUT SHEETS

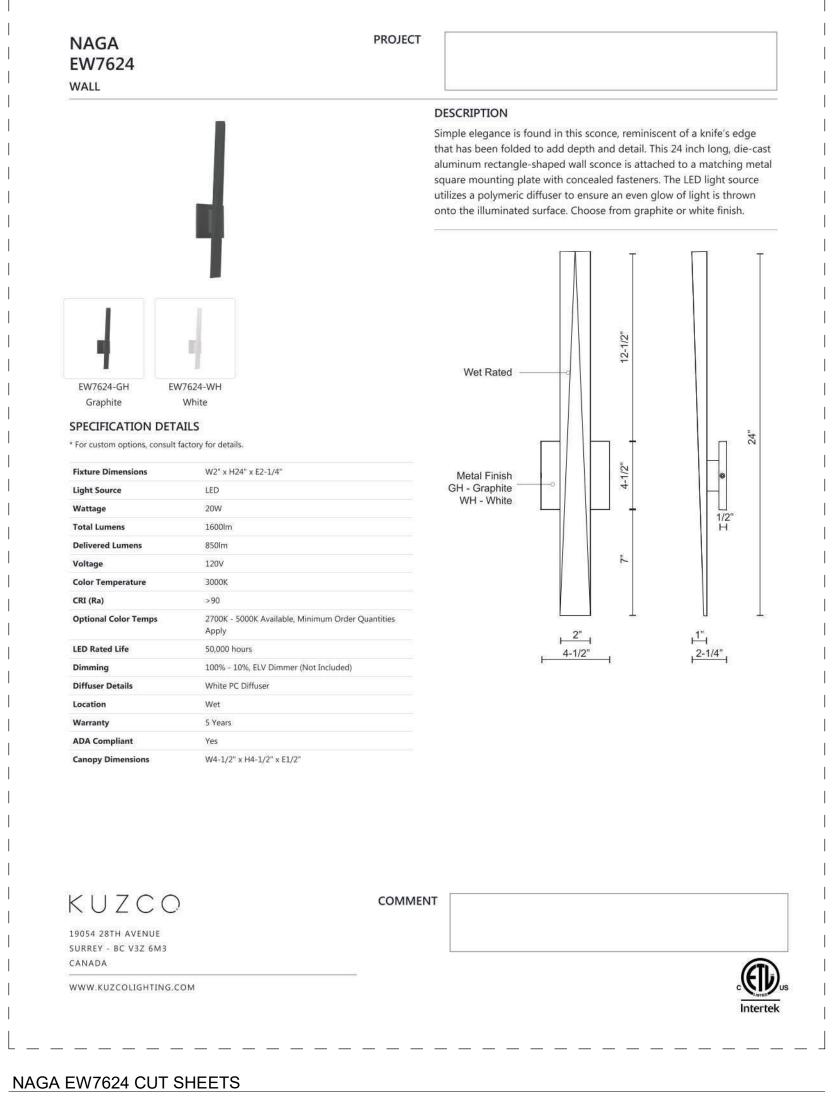
Note: Actual performance may differ as a result of end-user environment and application.

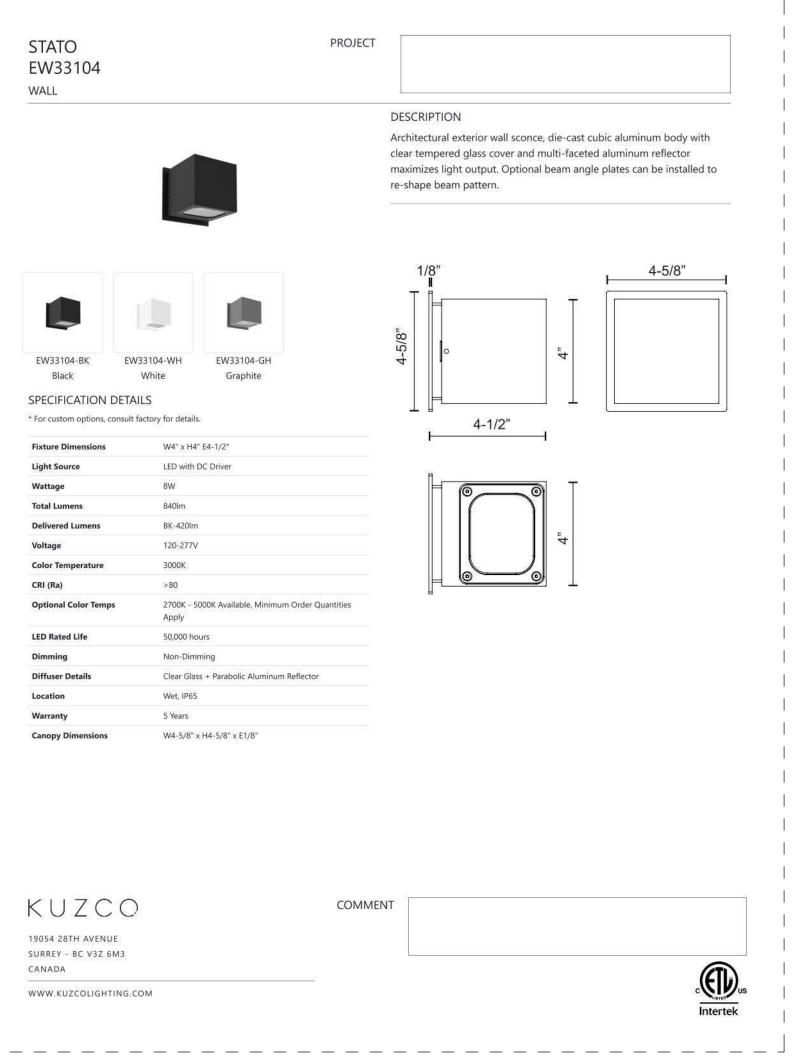
WDGE3 LED

Rev. 03/17/21

All values are design or typical values, measured under laboratory conditions at 25 °C.

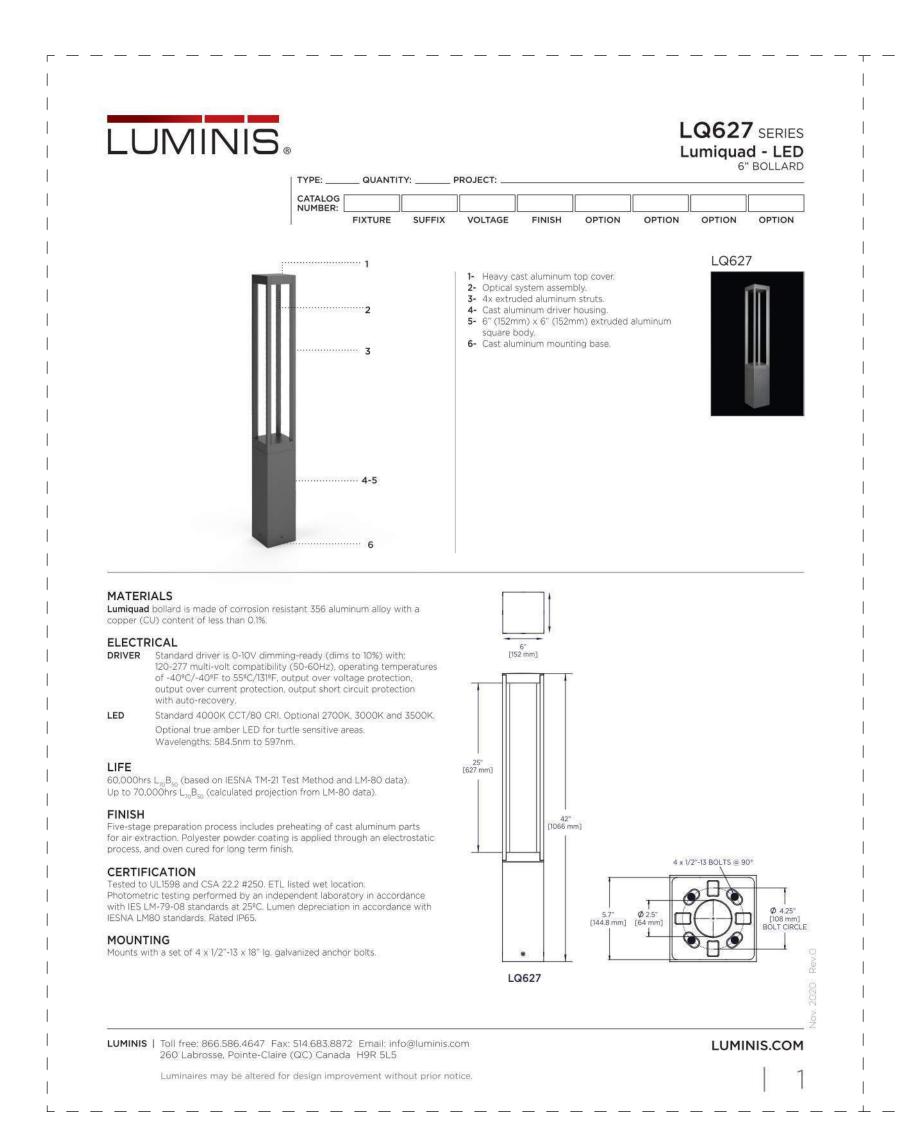
Specifications subject to change without notice.

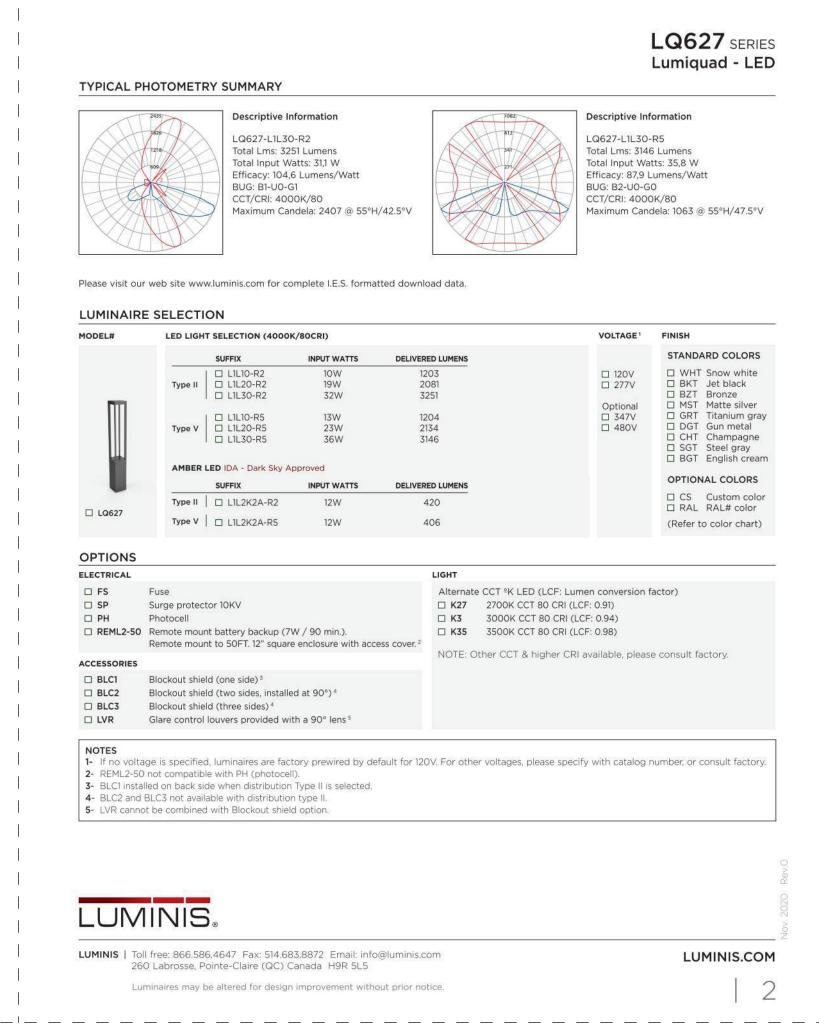


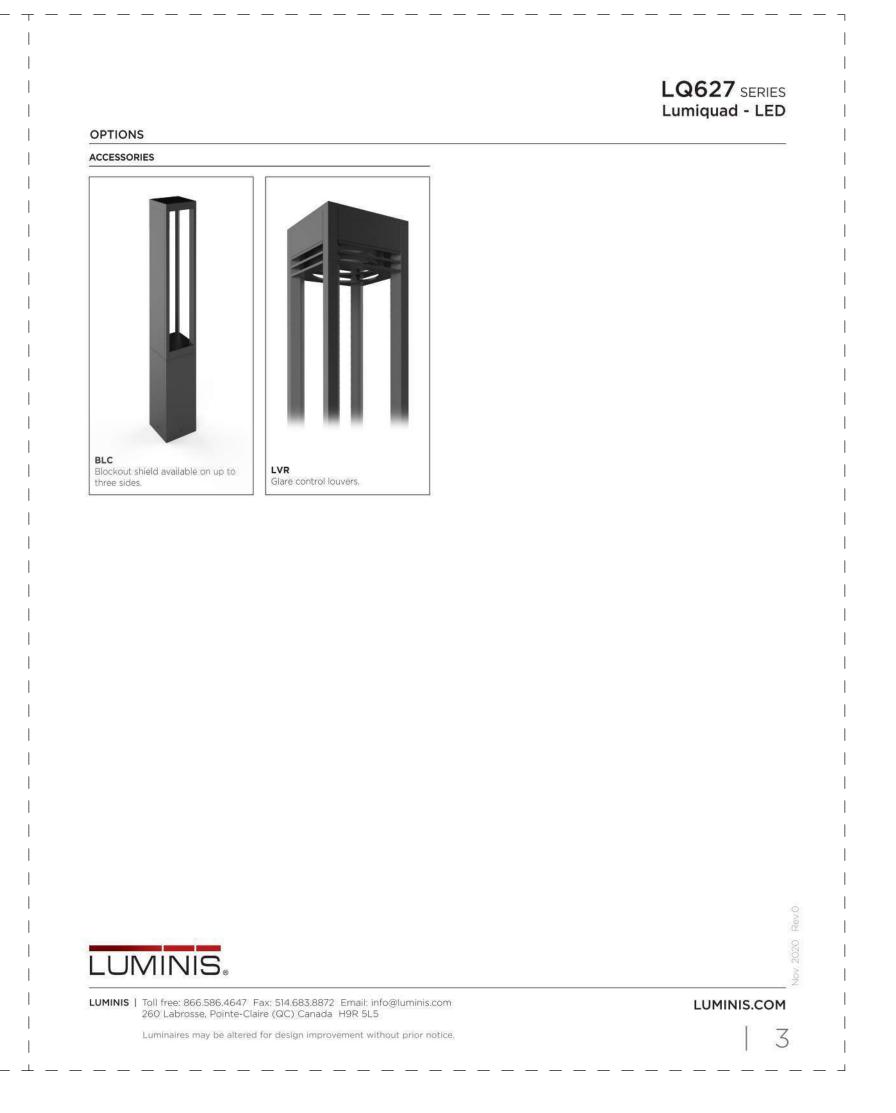


STATO EW33104 CUT SHEETS

8/2021 11:33:11 PM







LQ627 LED CUT SHEETS (B1)



JLA PROJECT NUMBER: 19-080



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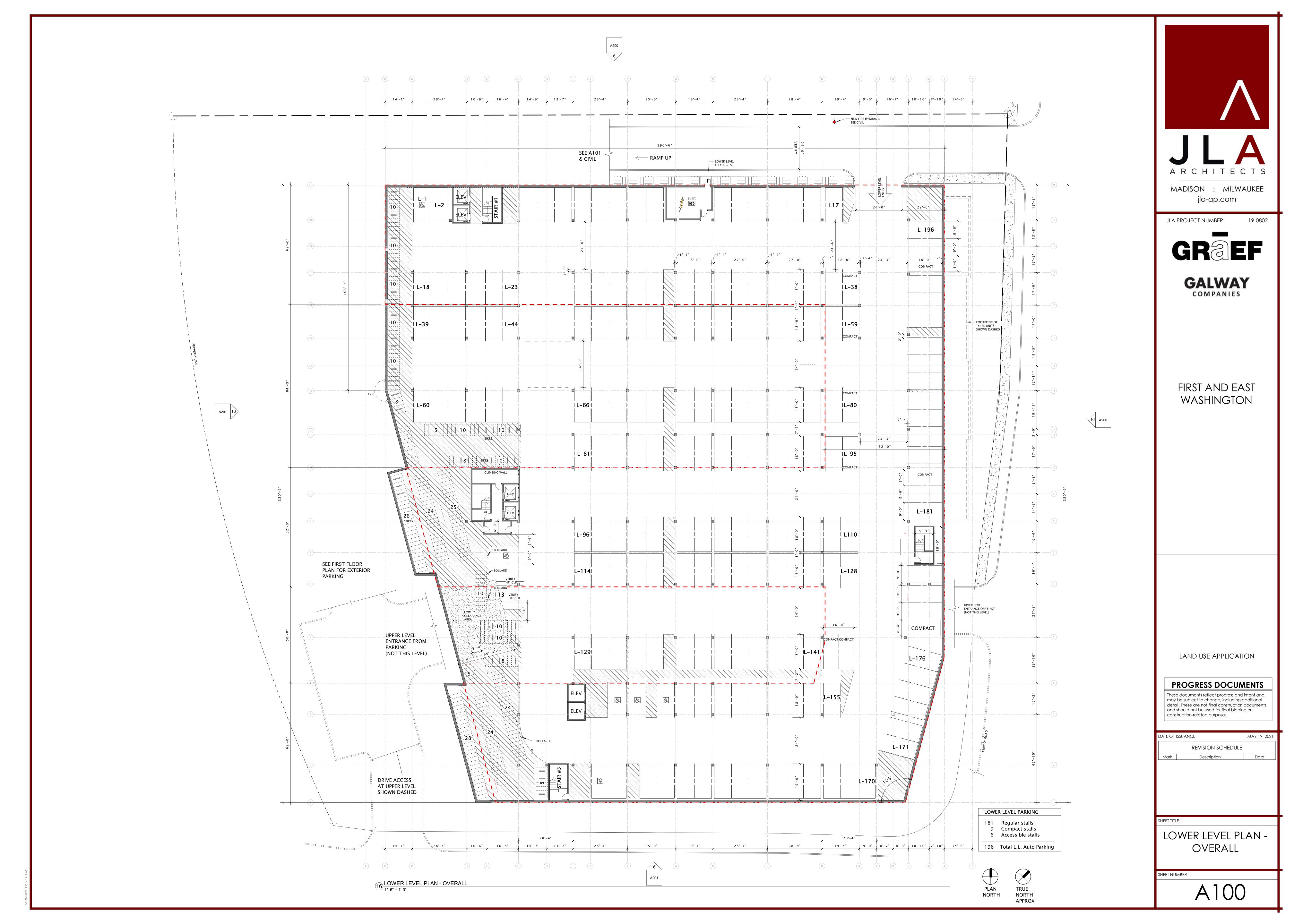
REVISION SCHEDULE

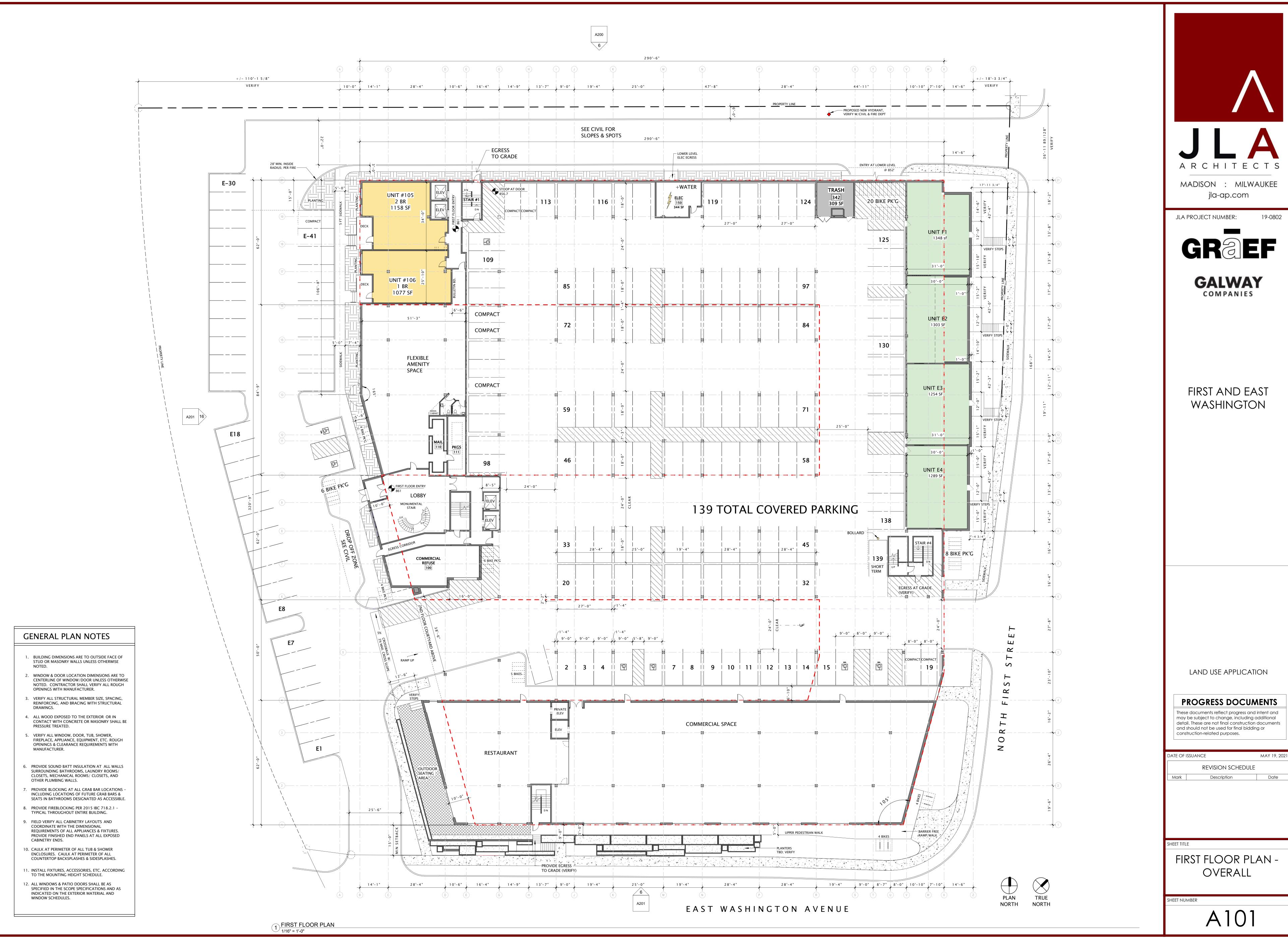
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LIGHTING CUT SHEET

sheet number





GENERAL PLAN NOTES

- 1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE
- 2. WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH
- 3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL

OPENINGS WITH MANUFACTURER.

PRESSURE TREATED.

- 4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE
- 5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND
- OTHER PLUMBING WALLS.

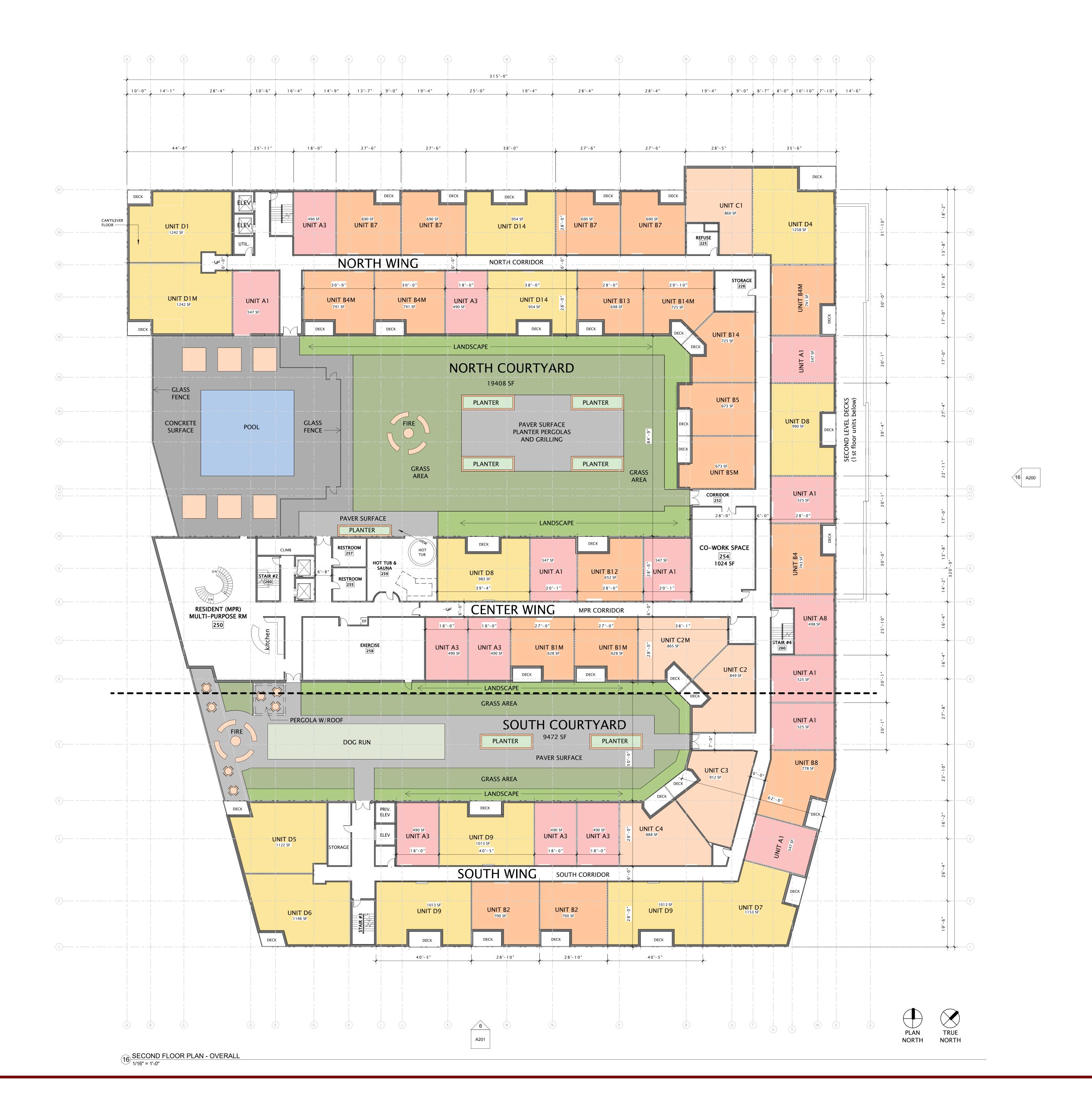
 7. PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS INCLUDING LOCATIONS OF FUTURE GRAB BARS &
- SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.

 8. PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 –
- FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED

CABINETRY ENDS.

TYPICAL THROUGHOUT ENTIRE BUILDING.

- 10. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
- 11. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- 12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.





JLA PROJECT NUMBER: 19-0802



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FIRST AND EAST WASHINGTON

LAND USE APPLICATION

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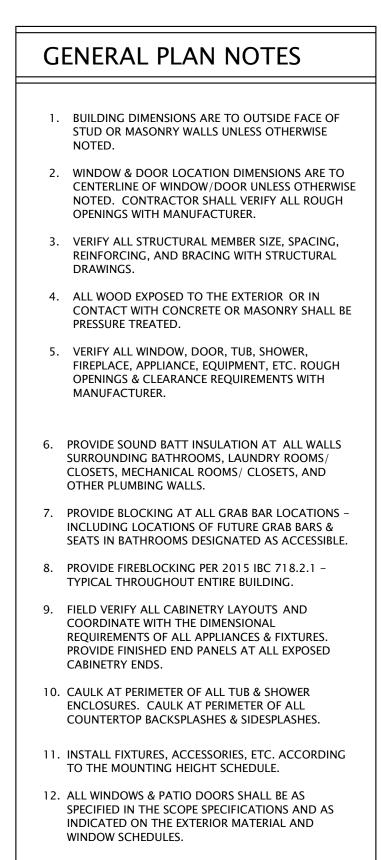
REVISION SCHEDULE

Mark Description Date

ET TITI E

SECOND FLOOR PLAN - OVERALL

SHEET NUMBER







JLA PROJECT NUMBER: 19-0802



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PROGRESS DOCUMENTS

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DATE OF ISSUANCE

REVISION SCHEDULE

Mark Description Date

SHEET TITLE

THIRD FLOOR PLAN - OVERALL

SHEET NUMBER

GENERAL PLAN NOTES

- 1. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY WALLS UNLESS OTHERWISE
- WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- 3. VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL
- 4. ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE
- 5. VERIFY ALL WINDOW, DOOR, TUB, SHOWER, FIREPLACE, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- 6. PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LAUNDRY ROOMS/ CLOSETS, MECHANICAL ROOMS/ CLOSETS, AND OTHER PLUMBING WALLS.
- . PROVIDE BLOCKING AT ALL GRAB BAR LOCATIONS -INCLUDING LOCATIONS OF FUTURE GRAB BARS &
- SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE. 8. PROVIDE FIREBLOCKING PER 2015 IBC 718.2.1 -

TYPICAL THROUGHOUT ENTIRE BUILDING.

- 9. FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINETRY ENDS.
- 10. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
- 11. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.
- 12. ALL WINDOWS & PATIO DOORS SHALL BE AS SPECIFIED IN THE SCOPE SPECIFICATIONS AND AS INDICATED ON THE EXTERIOR MATERIAL AND WINDOW SCHEDULES.





JLA PROJECT NUMBER:

19-0802



GALWAY COMPANIES

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LAND USE APPLICATION

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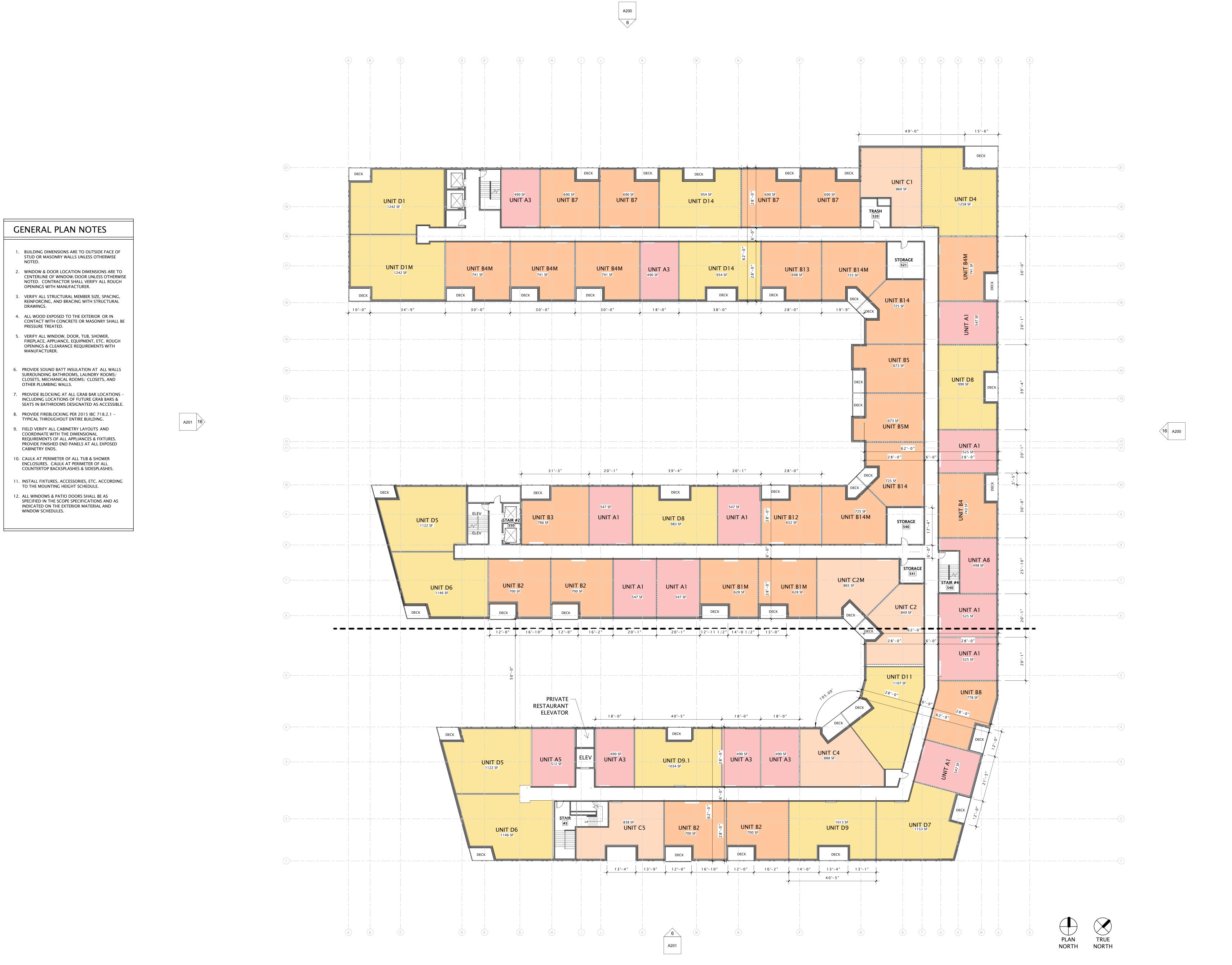
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FOURTH FLOOR PLAN - OVERALL

SHEET NUMBER





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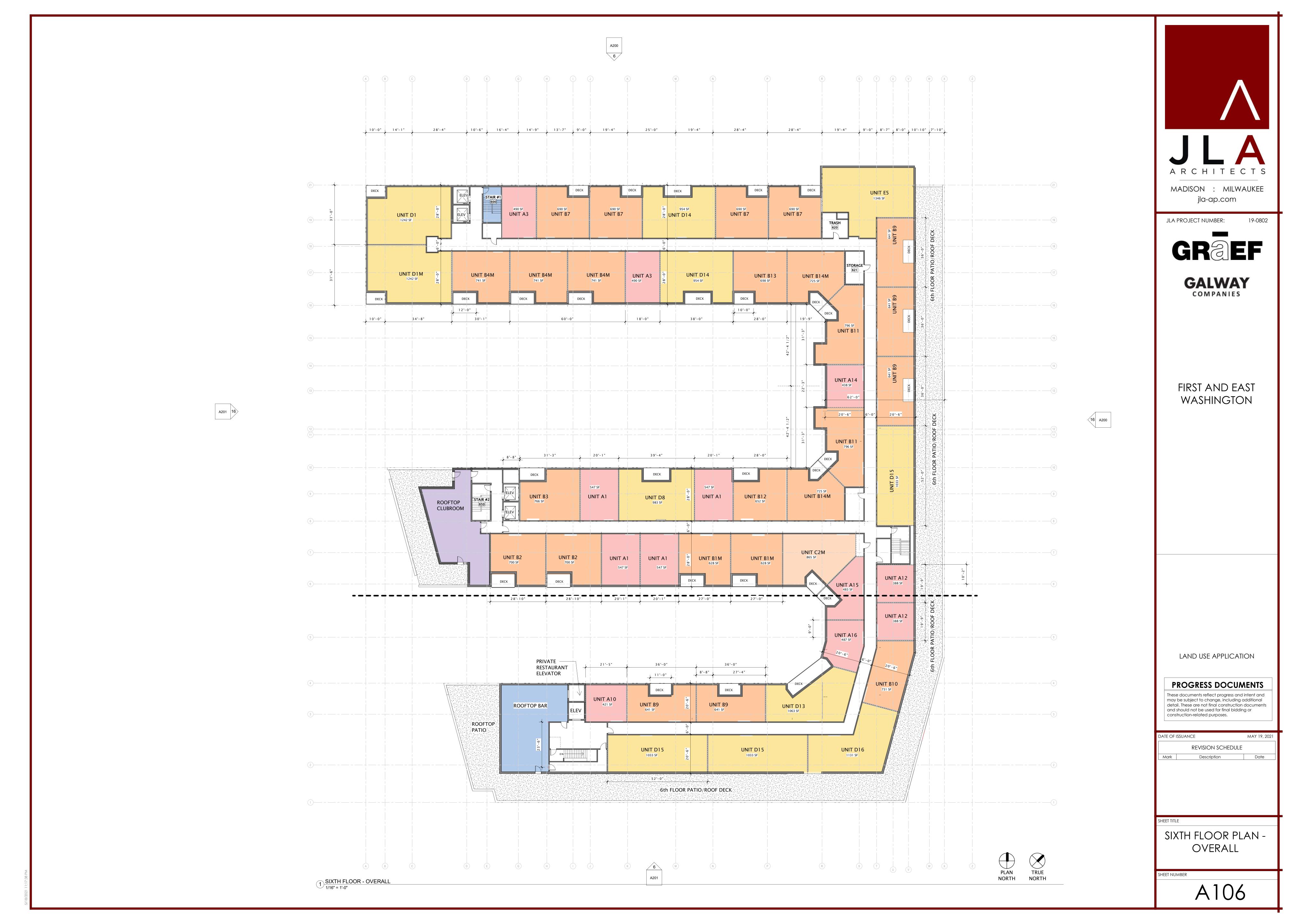
REVISION SCHEDULE

Mark Description Date

EET TITLE

FIFTH FLOOR PLAN -OVERALL

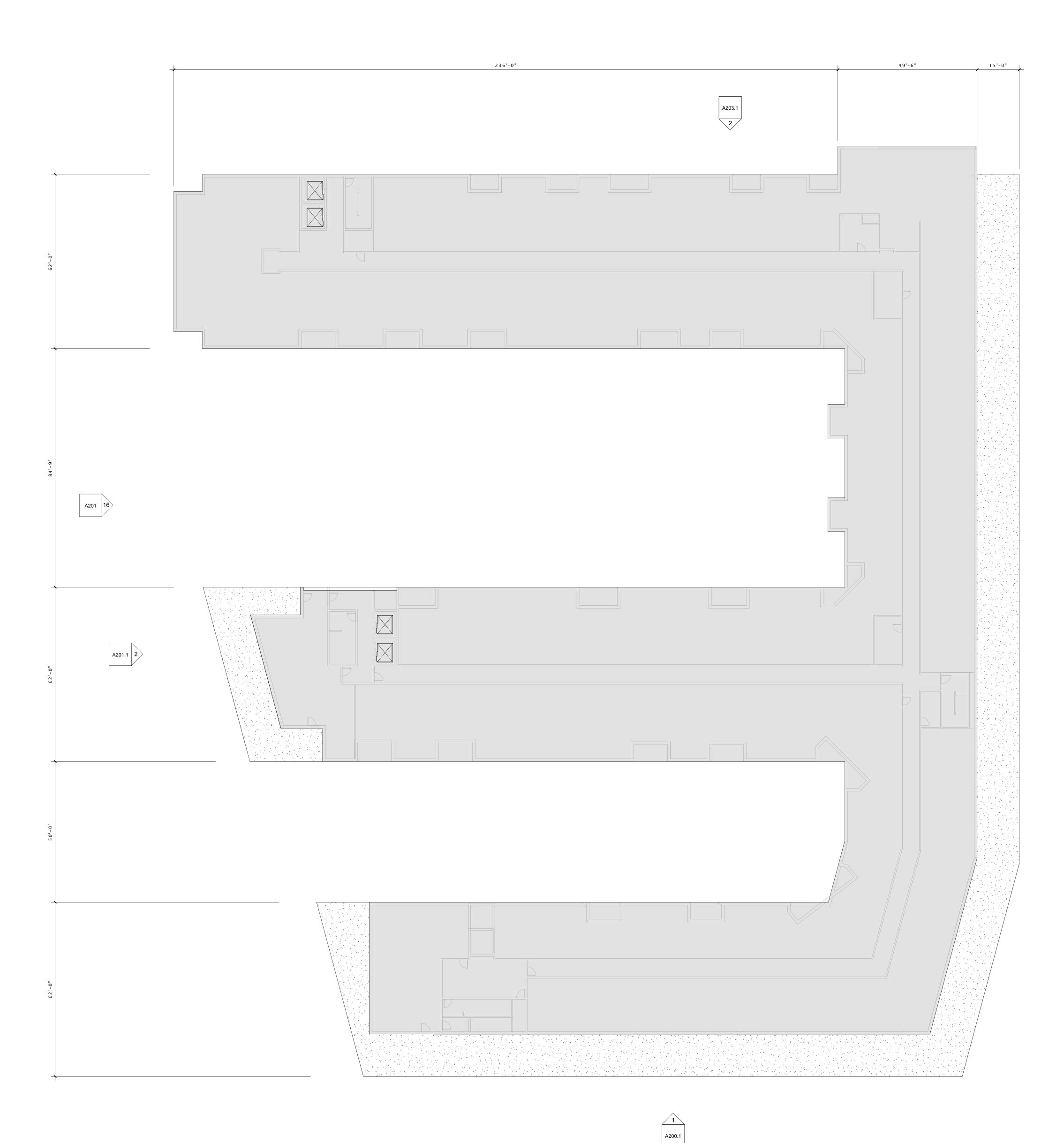
SHEET NUMBER



ROOF NOTES

- 1. ROOF SHALL BE ROOF ASSEMBLY WR1–X, UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AT 1/4" PER FOOT (MINIMUM) TO PROVIDE ROOF DRAINAGE. SEE A501 FOR FOR ROOF ASSEMBLY
- 2. PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM PITCH FOR TAPERED INSULATION SADDLES AND/ OR CRICKETS WHERE NECESSARY.
- 3. ROOF DRAINS ARE SHOWN FOR INTENT ONLY. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4. AT ALL FIRE WALLS, PROVIDE NON-COMBUSTIBLE ROOF SHEATHING EXTENDING TO A DISTANCE OF 48" (MINIMUM) FROM BOTH SIDES OF FIRE
- 5. PROVIDE WATERTIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS.
- 6. VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER'S DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
- 7. DESIGN / BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHERTIGHT COVERS FOR OPENING
- UNTIL PLACEMENT OF FINISHED WORK OR COVERING.

 8. OVERHANGS (IF ANY) SHALL BE AS SHOWN ON ROOF PLAN.
- 9. PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS INDICATED ON ROOF PLAN. EXTEND DRAFTSTOPPING FULLY INTO SOFFITS AND PENETRATIONS. SEAL ALL JOINTS WITH CAULK AND/ OR TAPE AS NEEDED TO PROVIDE SMOKETIGHT SEAL.
- 10. ALL DRYERS SHALL BE VENTED WITH U.L. CLASSIFIED DRYER BOX & VENT. PROVIDE POWER BOOSTER FAN/ VENT IF VENT RUN EXCEEDS 25'-0".
- 11. PLUMBING DESIGN-BUILD CONTRACTOR TO COORDINATE THE LOCATION OF ROOF FROST PROOF HOSE BIB WITH OWNER. COORDINATE LOCATION WITH TRUSS LAYOUT AND UNIT LAYOUT BELOW
- 12. PROVIDE PREFINISHED SHEET METAL COPINGS AND/ OR GRAVEL STOPS PER PLANS. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS.
- 13. PROVIDE PREFINISHED SHEET METAL DOWNSPOUTS WHERE INDICATED. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. DESIGN/BUILD PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF DOWNSPOUTS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 14. *ROOF DRAINS AND/ OR DOWNSPOUTS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL ROOF DRAIN/ DOWNSPOUT SIZES AND LOCATIONS BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING SUB-CONTRACTOR.



16 ROOF PLAN - OVERALL
1/16" = 1'-0"



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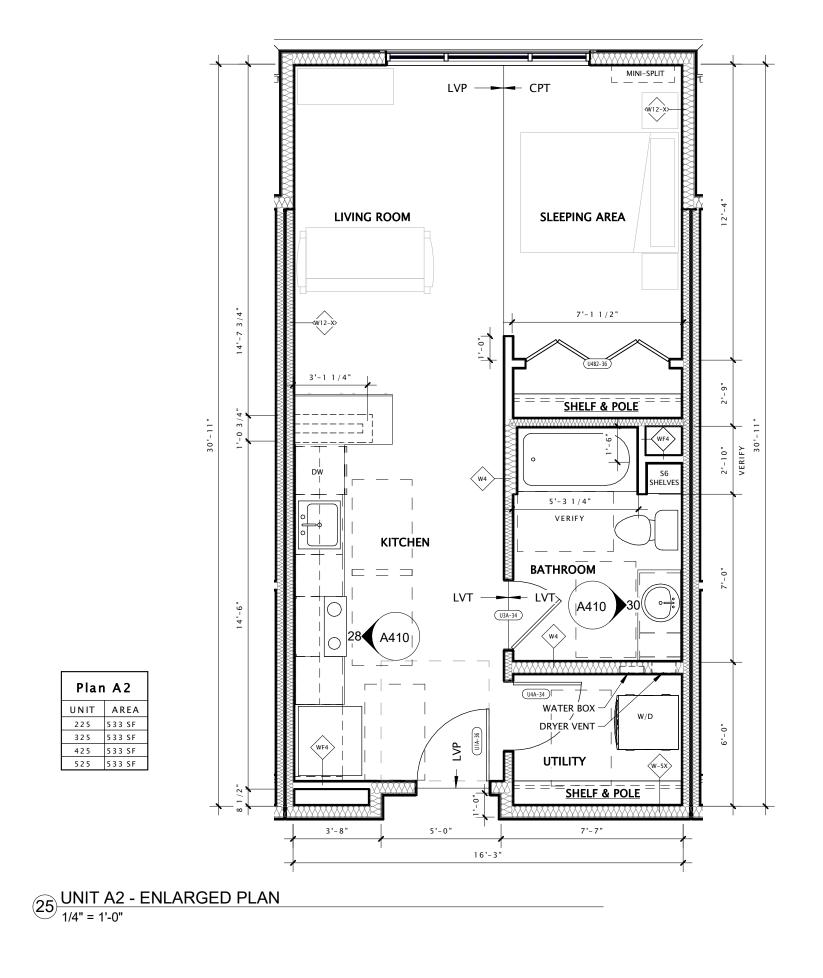
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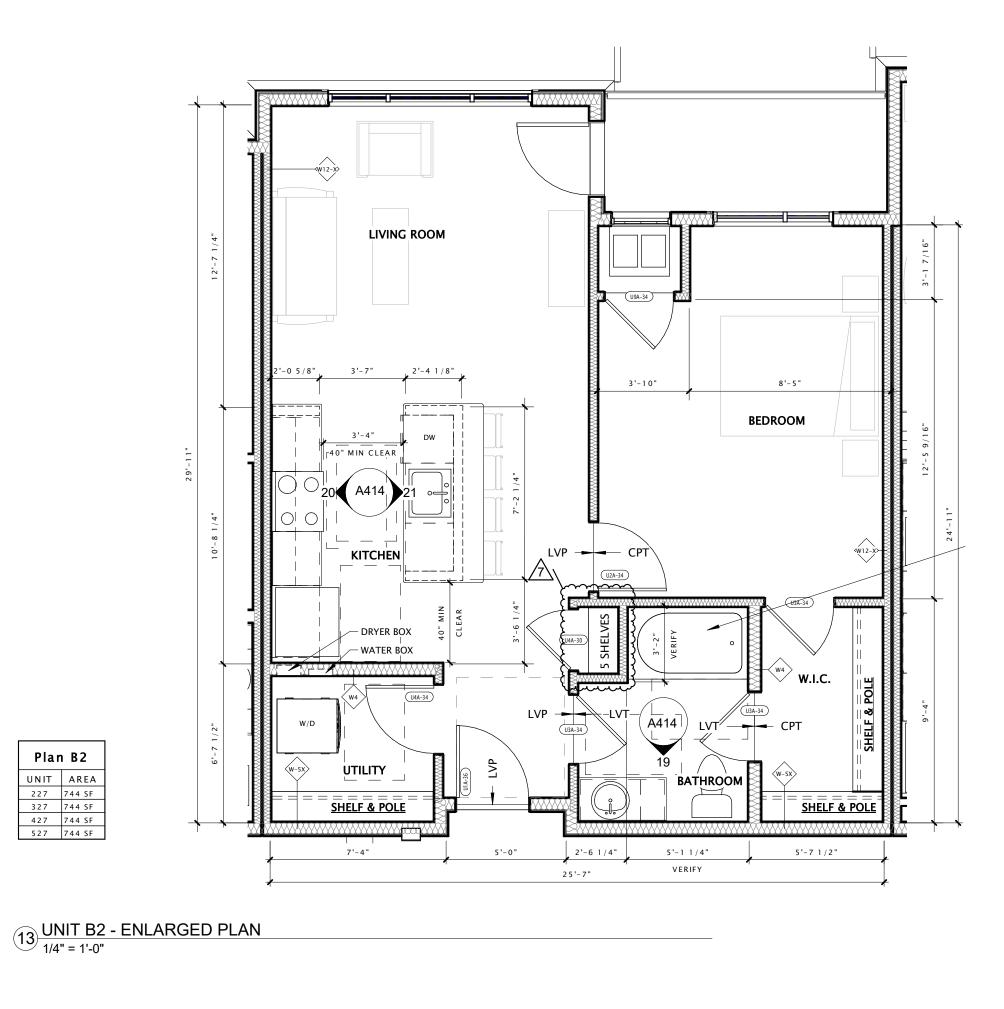
ROOF PLAN OVERALL

SHEET NUMBER

TYPICAL STUDIO UNIT

TYPICAL 1 BEDROOM UNIT





UNIT PLAN NOTES

- 1. DIMENSIONS ARE TO FACE OF STUD UNLESS 8. ALL APPLIANCES, EQUIPMENT, ETC IN ADA OTHERWISE NOTED.
- 2. SEE OVERALL PLANS FOR EXTERIOR DOOR & WINDOW LOCATIONS. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- 3. ALL INTERIOR WALLS SHALL BE TYPE W2 UNLESS OTHERWISE NOTED.
- 4. ALL UNITS SHALL HAVE PLUMBING ROUGHED IN FOR LAUNDRY APPLIANCES.
- 5. VERIFY ALL TUB AND SHOWER ROUGH OPENINGS WITH MANUFACTURER.
- 6. PROVIDE SOUND BATT INSULATION WITHIN ALL STUD WALLS AS INDICATED ON ENLARGED UNIT PLANS.
- 7. ALL UNIT BATHROOMS SHALL MEET THE ACCESSIBILITY REQUIREMENTS OF G006 AND G007.

- (TYPE 'A') UNITS SHALL HAVE ACCESSIBLE OPERABLE PARTS PER ANSI 117.1 – SECTION
- 9. PROVIDE BLOCKING AT ALL TOWEL BAR & GRAB BAR LOCATIONS - INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- 10. FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHED END PANELS AT ALL EXPOSED CABINETRY ENDS.
- 11. TYPICAL CLOSETS SHALL HAVE CLOSET SYSTEM BY CALIFORNIA CLOSETS. LINEN & PANTRY CLOSETS SHALL HAVE 5 WIRE SHELVES. SHELVES THAT TERMINATE INTO AN ANGLED WALL SHALL BE LAMINATE SHELVING.
- 12. CAULK AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES. CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
- 13. SEE SCOPE SPECIFICATIONS FOR BATHROOM ACCESSORIES THAT ARE TO BE PROVIDED.
- 14. INSTALL MOISTURE RESISTANT, PAPERLESS GYPSUM WALL BOARD AT WALLS BEHIND ALL
- 15. INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE.

PLUBING FIXTURES.



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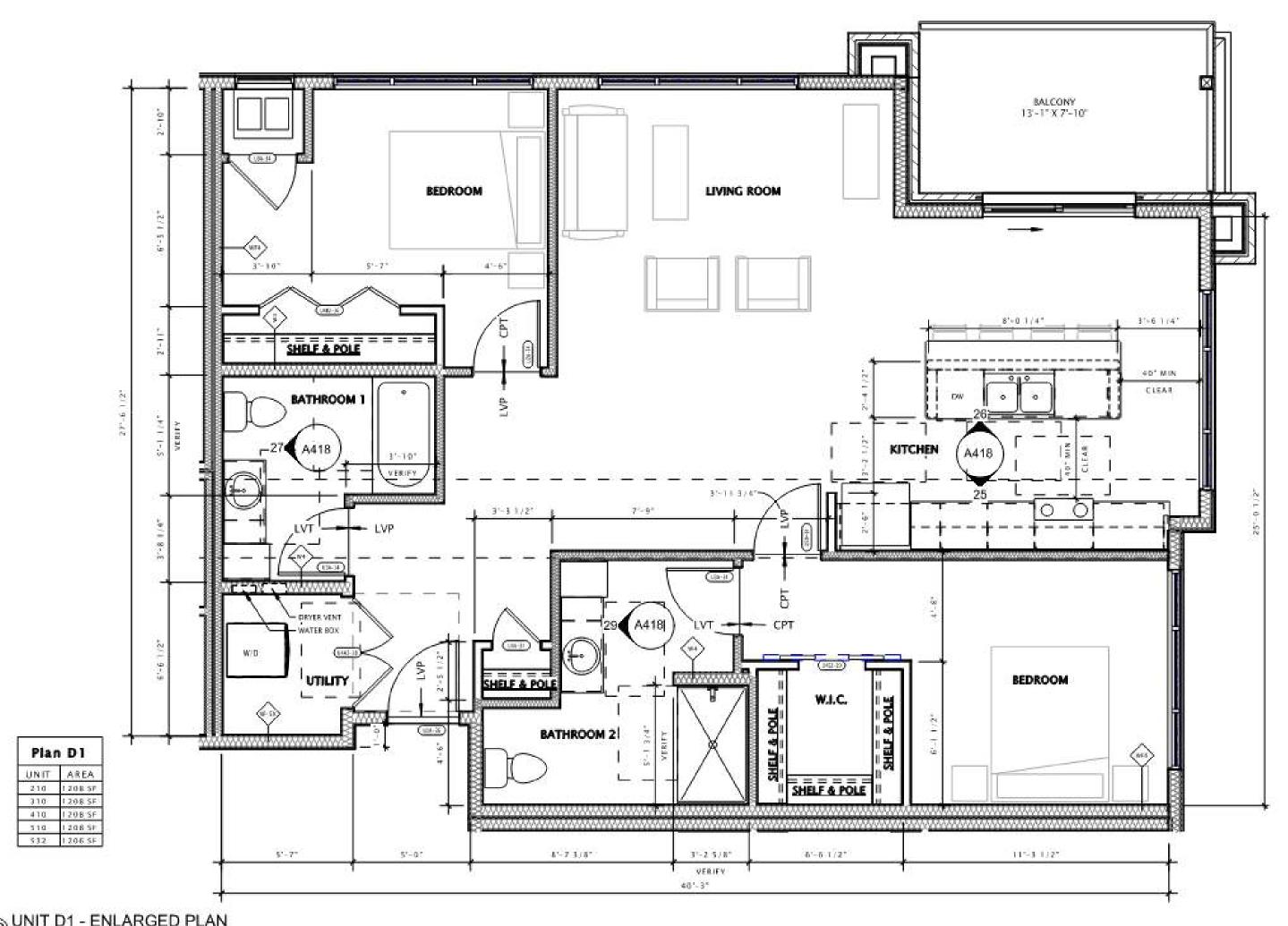
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ENLARGED UNIT PLANS

SHEET NUMBER

A140

TYPICAL 2 BEDROOM UNIT



13 UNIT D1 - ENLARGED PLAN



BRICK 1 – PRIMARY BRICK
EMPEROR SIZE (2.25" X 15 5/8")



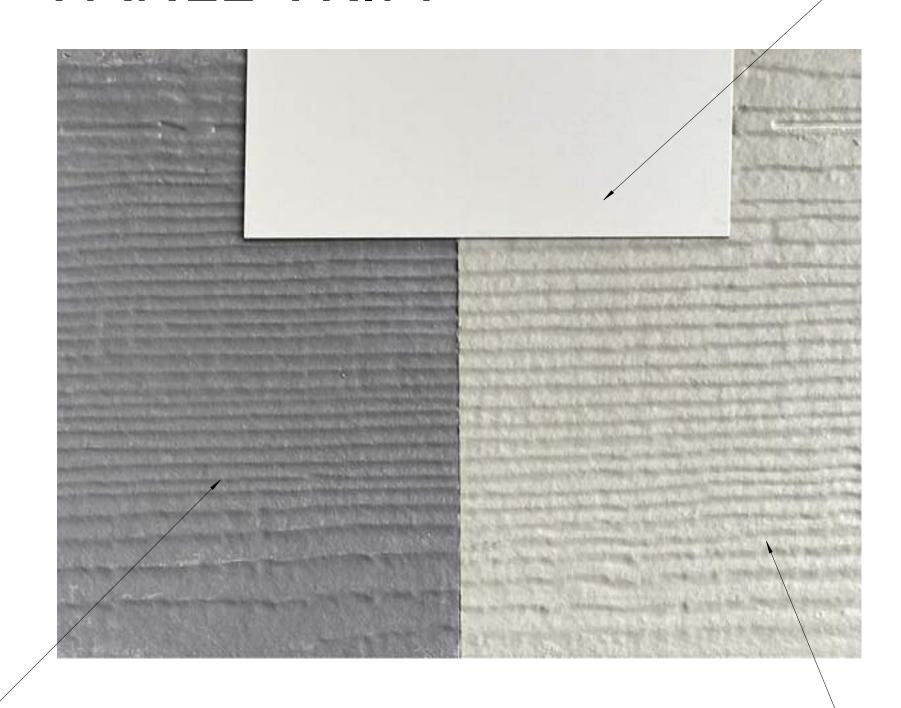
BRICK 2 – BASE BRICK MONTEREY TOUPE MOUNTAIN CEDAR EMPEROR SIZE (3 9/16" X 15 5/8")

* APPEARANCE OF EXTERIOR MATERIALS IN FOLLOWING IMAGES

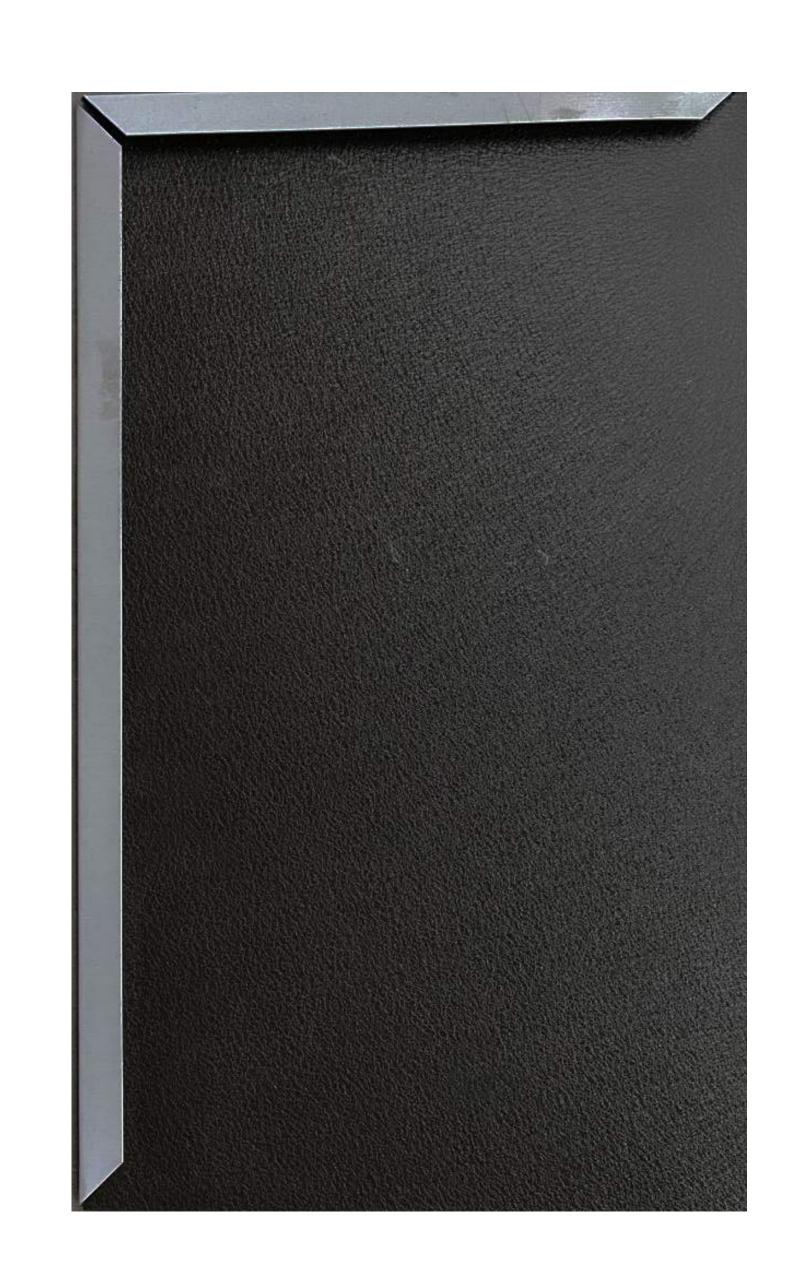


MATTE FINISH – BLACK
CORRUGATED METAL
PANELS

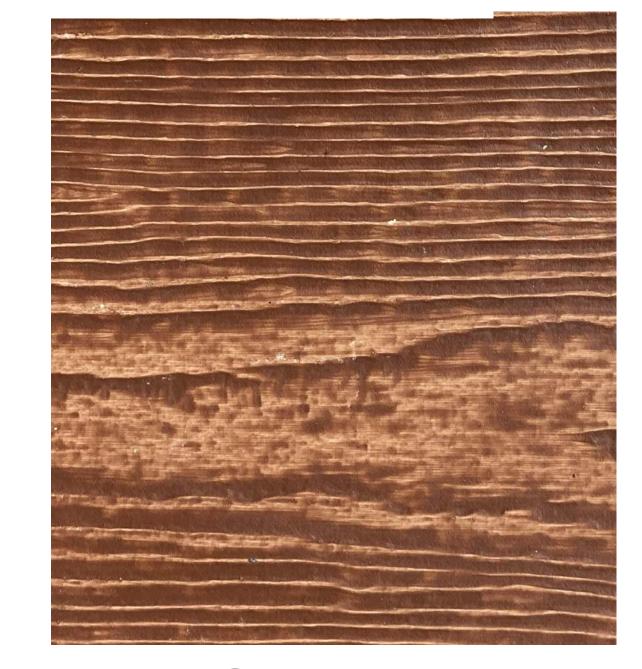
LIGHT GREY METAL
PANEL TRIM



FIBER CEMENT PANELAGED PEWTER
FIBER CEMENT PANELMONTEREY TOUPE



MATTE FINISH – BLACK
INTERLOCKING FLAT
METAL PANELS



FIBER CEMENT PANELS – MOUNTAIN CEDAR



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EXTERIOR MATERIALS

MAY APPEAR INCONSISTENT DUE TO TRUE DAYLIGHT PARAMETERS. A200.0





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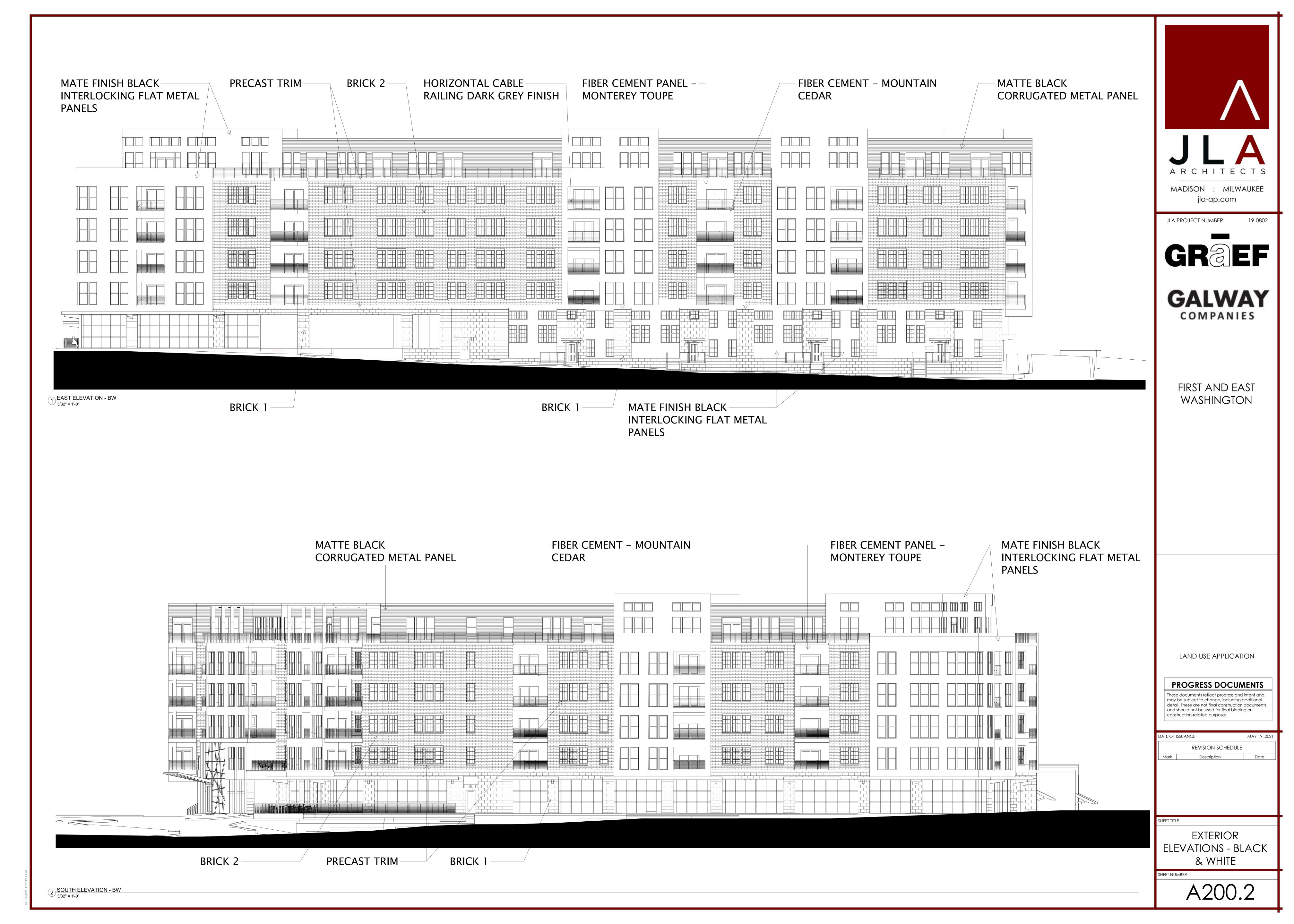
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HEET TITLE

EXTERIOR ELEVATIONS -PERIMETER

SHEET NUMBER

1 SOUTH ELEVATION - IMAGE
3/32" = 1'-0"







PRECAST TRIM

BRICK 1

CLIMBING LANDSCAPE **TRELLIS**



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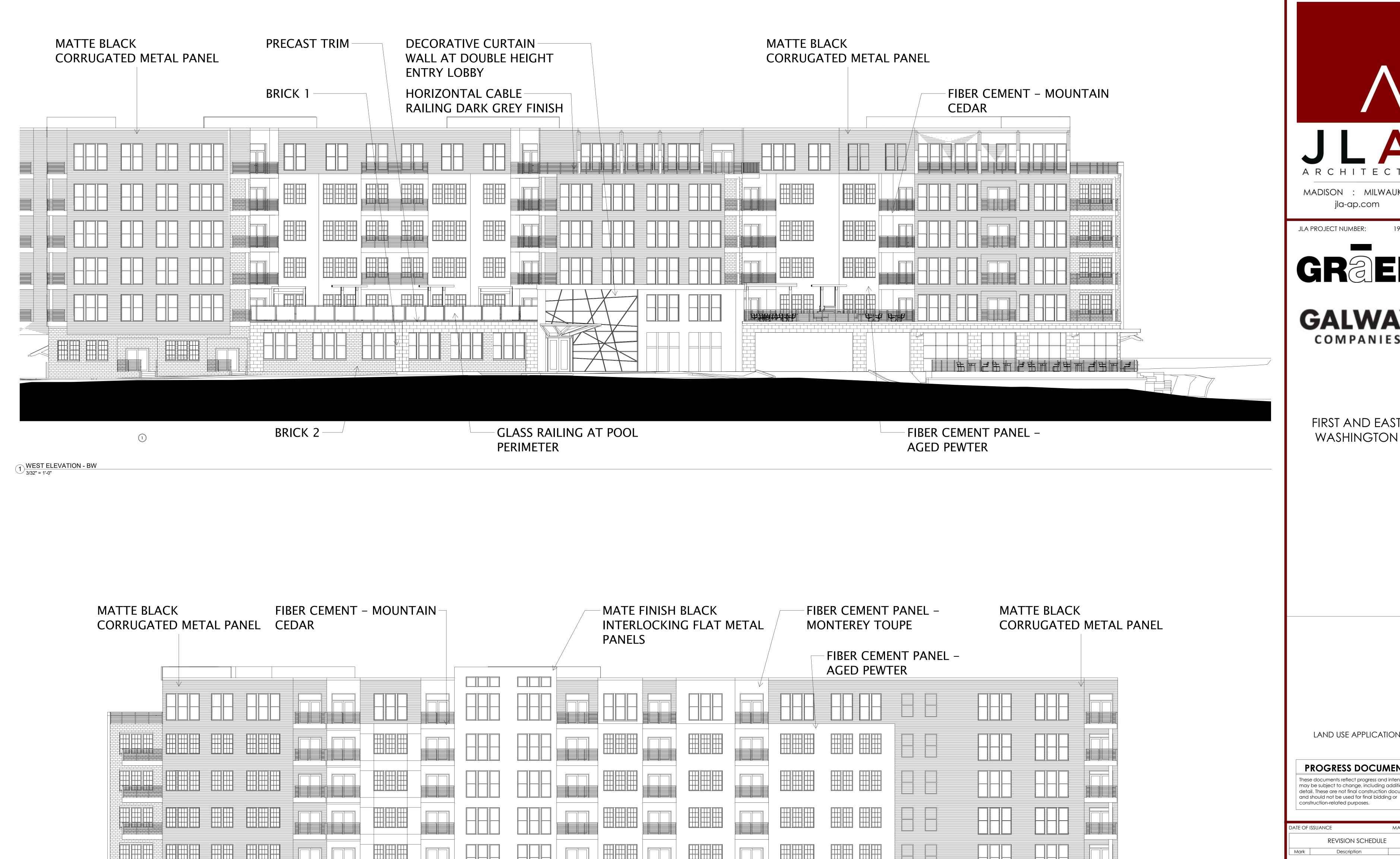
PROGRESS DOCUMENTS

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EXTERIOR ELEVATIONS -PERIMETER

A201.1

NORTH ELEVATION - IMAGE
3/32" = 1'-0"



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EXTERIOR ELEVATIONS - BLACK & WHITE

A201.2

BRICK 1



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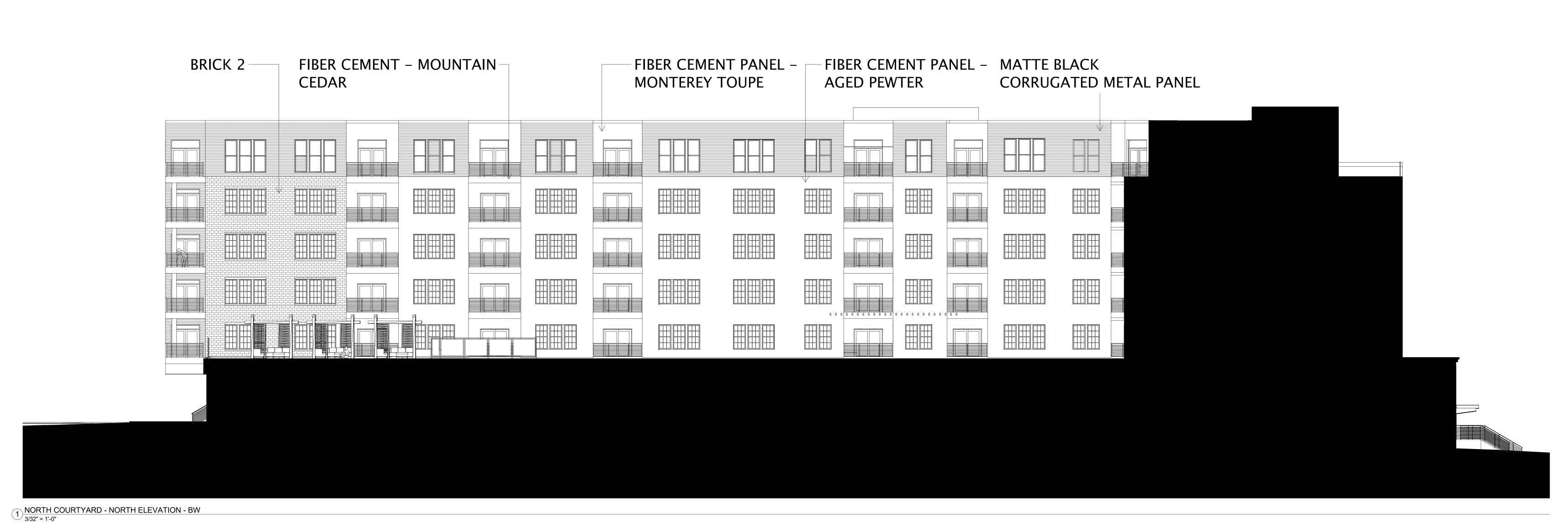
EXTERIOR ELEVATIONS - NORTH COURTYARD

SHEET NUMBER

A202.1



HORIZONTAL CABLE





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construction-related purposes.

EXTERIOR ELEVATIONS - BLACK & WHITE

2 NORTH COURTYARD - SOUTH ELEVATION - BW 3/32" = 1'-0"

FIBER CEMENT PANEL -

MONTEREY TOUPE

MATTE BLACK

CORRUGATED METAL PANEL

FIBER CEMENT PANEL -

AGED PEWTER

FIBER CEMENT - MOUNTAIN -

CEDAR



SOUTH COURTYARD - NORTH ELEVATION
3/32" = 1'-0"



J L A
ARCHITECTS

MADISON: MILWAUKEE
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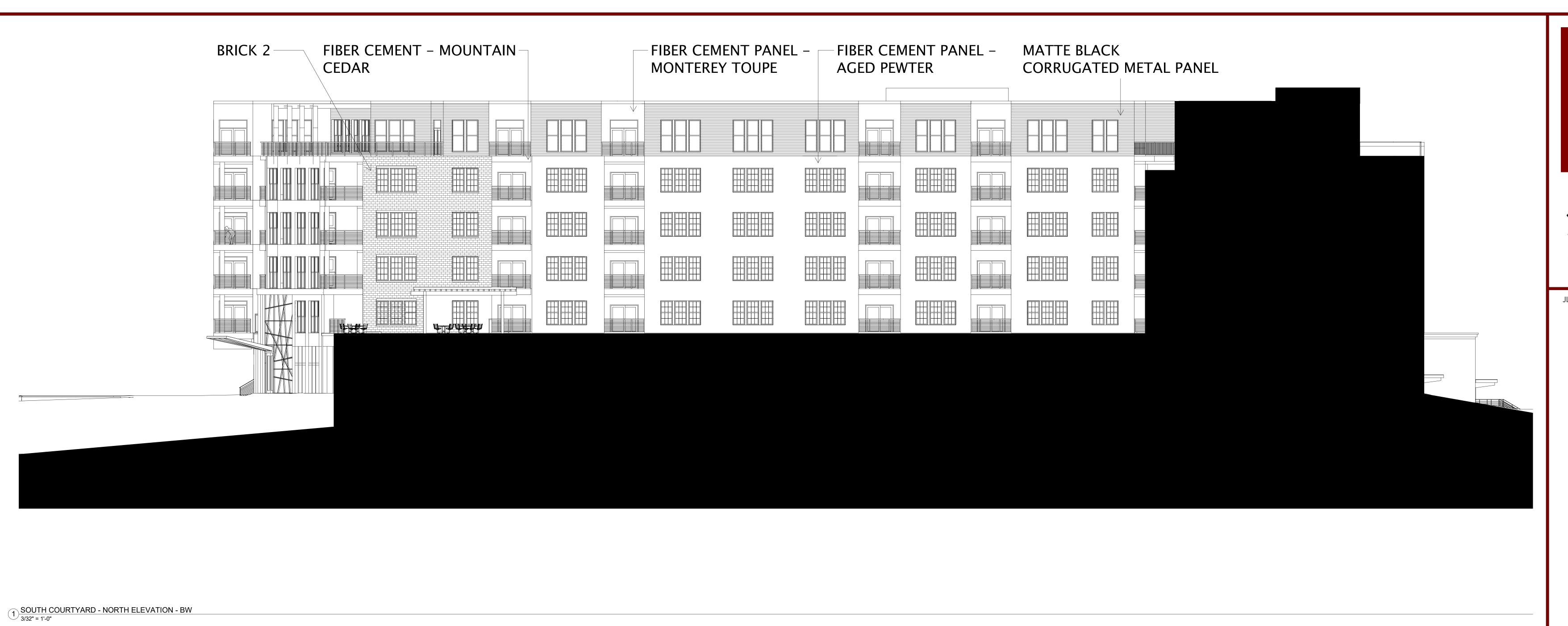
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EXTERIOR ELEVATIONS - SOUTH COURTYARD

SHEET NUMBER

(203.1



FIBER CEMENT PANEL -

AGED PEWTER

MATTE BLACK

CORRUGATED METAL PANEL

FIBER CEMENT - MOUNTAIN -

CEDAR



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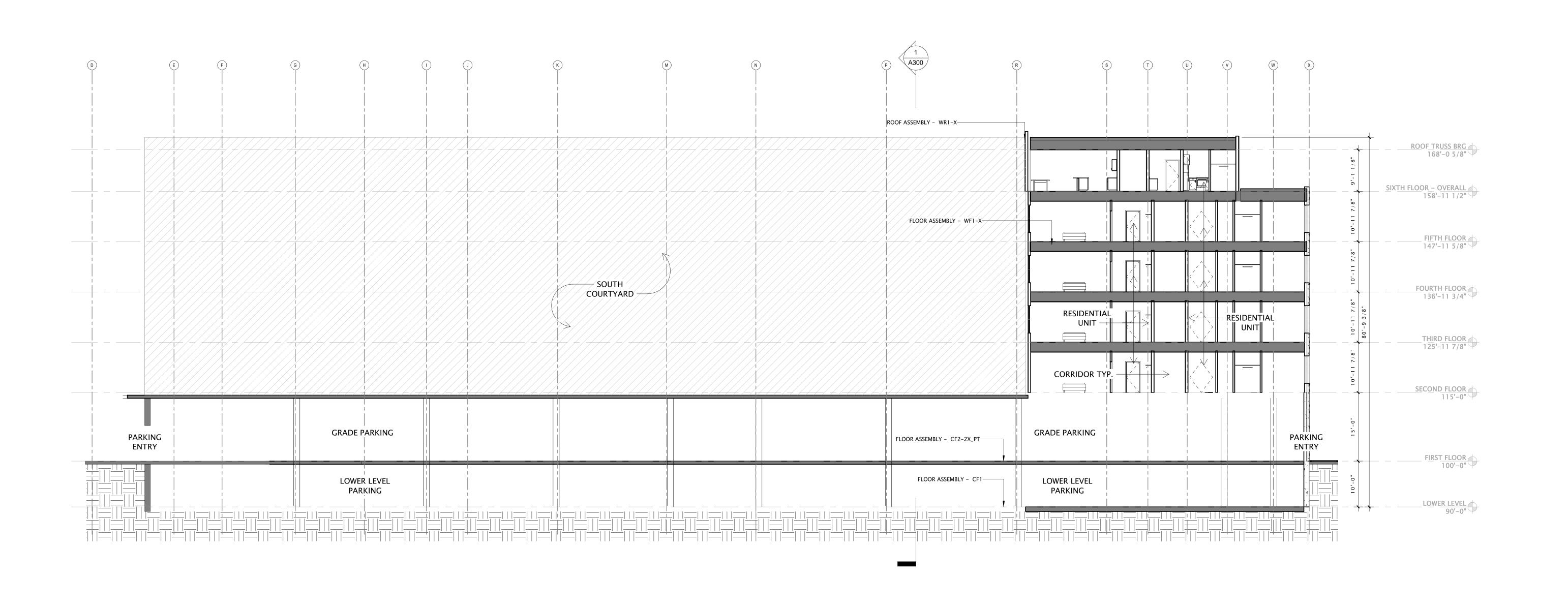
EXTERIOR ELEVATIONS - BLACK & WHITE

SHEET NUMBER

2 SOUTH COURTYARD - SOUTH ELEVATION - BW 3/32" = 1'-0"

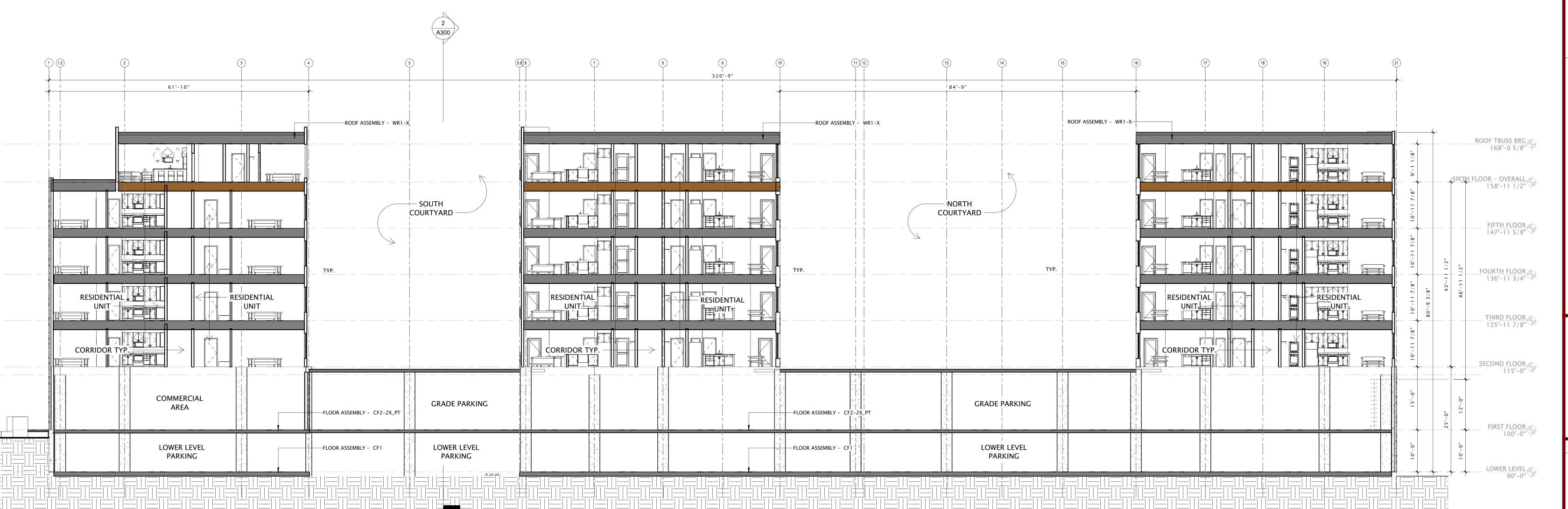
FIBER CEMENT PANEL -

MONTEREY TOUPE



2 OVERALL BUILDING SECTION B
3/32" = 1'-0"

1 OVERALL BUILDING SECTION A
3/32" = 1'-0"





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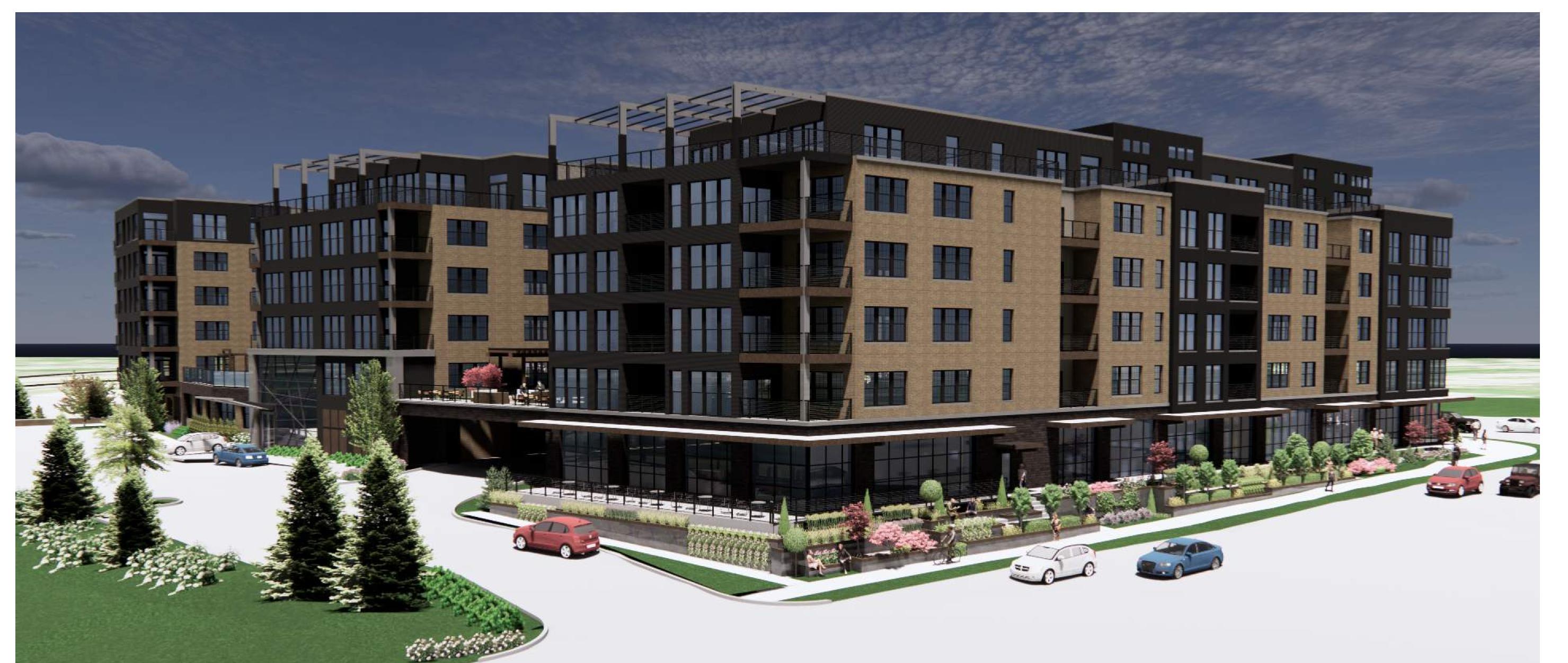
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OVERALL BUILDING
SECTIONS

SHEET NUMBER



PERSPECTIVE 1 – FROM SE







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BUILDING PERSPECTIVES

SHEET NUMBE



PERSPECTIVE 3 – FROM NE





A PROJECT NUMBER:



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BUILDING PERSPECTIVES

SHEET NUMBE



PERSPECTIVE 5 – FROM NW





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PERSPECTIVE 7 – FROM NE







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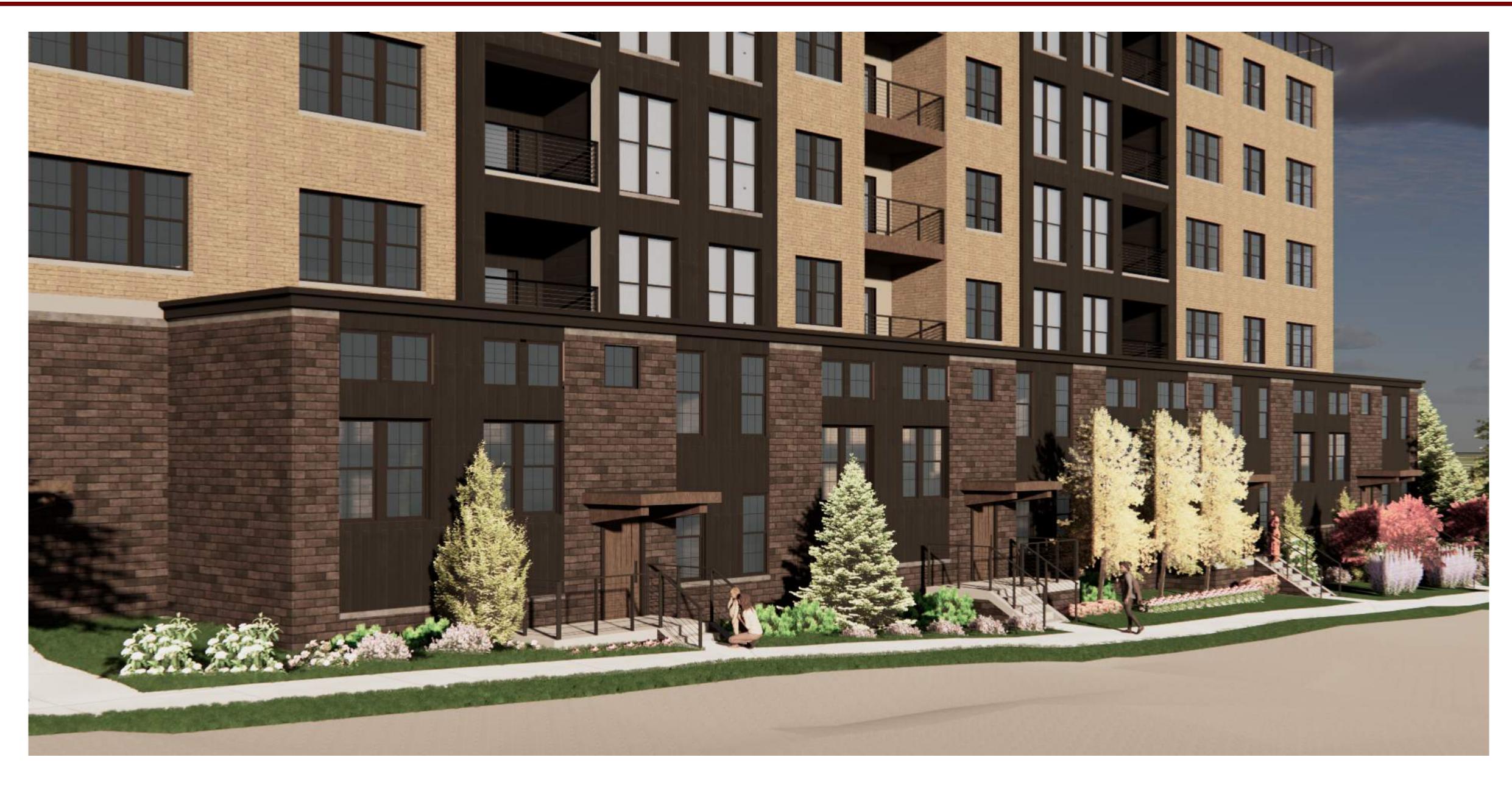
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BUILDING PERSPECTIVES



PERSPECTIVE 9 – EYE LEVEL TOWNHOMES



PERSPECTIVE 10 – EYE LEVEL ALONG EAST WASHINGTON



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CLIEFT TITLE

BUILDING PERSPECTIVES

SHEET NIIIMBE



PERSPECTIVE 11 – FROM SOUTHWEST



PERSPECTIVE 13 – CLOSE UP AT CORNER OF E. WASHINGTON AND 1ST STREET



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Description

SHEET TITLE

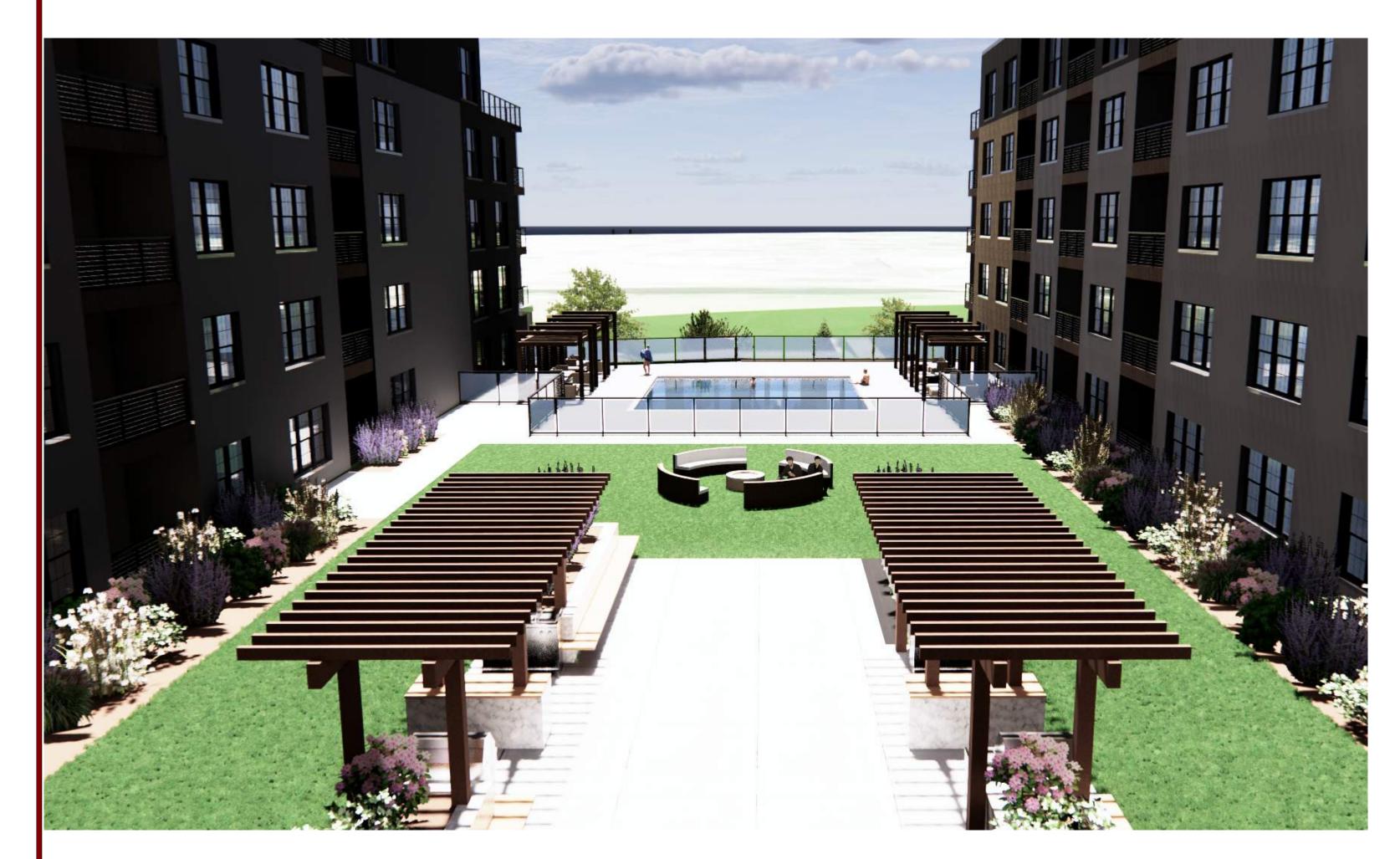
BUILDING PERSPECTIVES

SHEET NUMBER

PERSPECTIVE 12 - RESIDENTIAL AND PARKING ENTRY



PERSPECTIVE 14 – TOWNHOMES FROM NORTH



PERSPECTIVE 15 - NORTH COURTYARD



PERSPECTIVE 16 – NORTH ACCESS ROAD



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Mark Description Date

SHEET

BUILDING PERSPECTIVES

SHEET NUMBER

<u>NOON</u> <u>5 PM</u> <u>9 AM</u>

SPRING EQUINOX



SUMMER SOLSTICE



AUTUMN EQUINOX



WINTER SOLSTICE





















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SOLAR SHADE ANALYSIS