

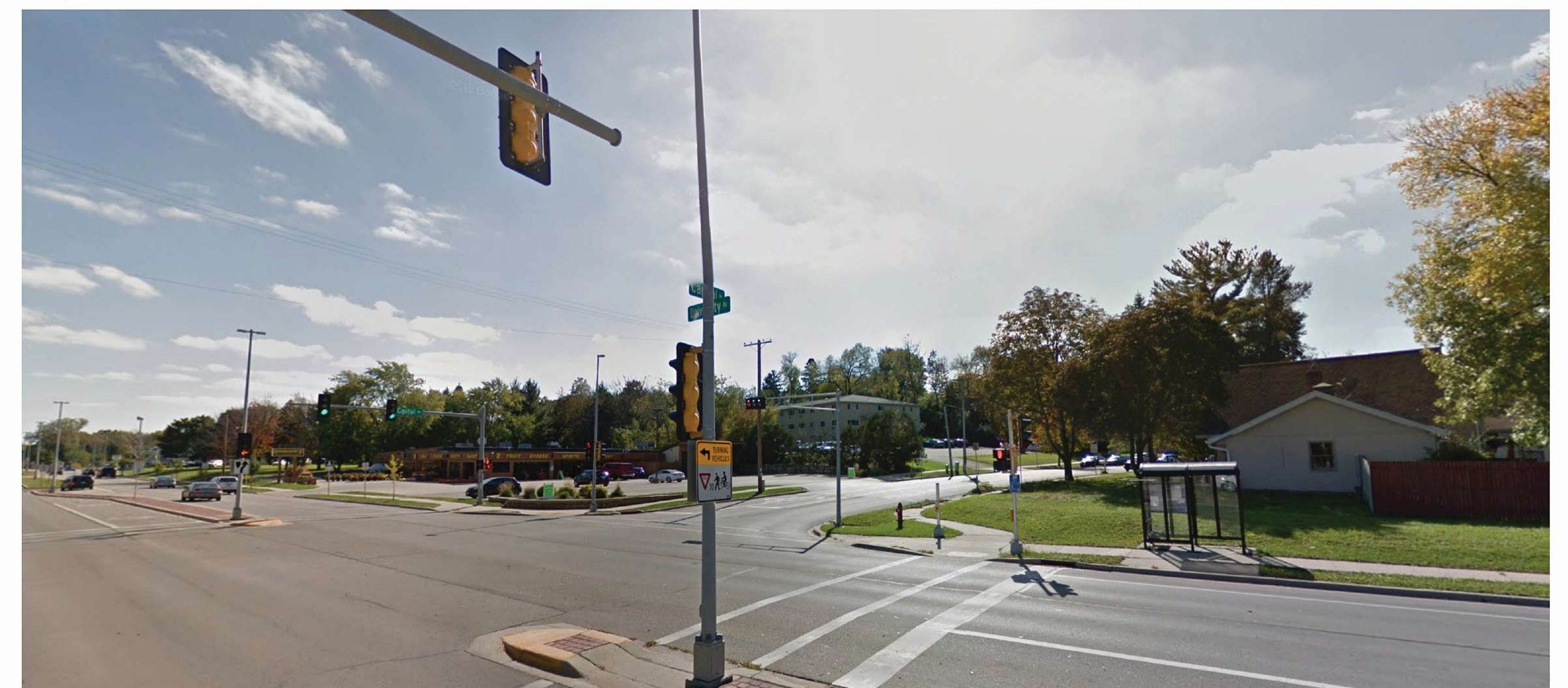


View of site from University Avenue

5533 University Ave.
October 4, 2017



Northeast View of site from University Avenue



View from corner of University and Capital Ave.



View looking down Capital Ave.



Closer View looking down Capital Ave.



Demo Photos
5533 University Ave.
October 10, 2017





knothe • bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED

Issued for Land Use & UDC - September 5, 2018
Issued for Land Use Supplement - Nov. 2, 2018
Issued for Site Plan Review - December 21, 2018
Issued Supplements-Traffic & Zoning- Feb. 1, 2019
Issued Supplements-Traffic & Zoning- 2/12/2019
Issues Supplements - Traffic & Zoning 1/16/2020
Issued for Revision to Previously Approved Plans
- April 6, 2020
Issued for Revision to Previously Approved Plans
- June 16, 2021

PROJECT TITLE

Mixed-Use
Development

5535 University Ave.
Madison, WI
(Residential)

5541, 5545 & 5549
University Ave.
(Commercial)

SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1

PROJECT NO. 1735

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A-2.3	ELEVATIONS

SITE DEVELOPMENT DATA:

DENSITIES:	
LOT AREA	48,317 SF / 1.1 ACRES
DWELLING UNITS	66 DU
LOT AREA / D.U.	735 SF / UNIT
DENSITY	61 UNITS/ACRE
GROSS COMMERCIAL AREA	APPROX. 2,735 SF
BUILDING HEIGHT	4 STORIES
LOT COVERAGE	33,360 S.F. = 68.7%
USABLE OPEN SPACE	14,197 S.F.
DWELLING UNIT MIX:	
EFFICIENCY	18
ONE BEDROOM	33
TWO BEDROOM	15
TOTAL DWELLING UNITS	66
VEHICLE PARKING:	
SURFACE	30 STALLS
UNDERGROUND/ COVERED	57 STALLS
TOTAL	87 STALLS
BICYCLE PARKING:	
SURFACE COMMERCIAL	2 STALLS
SURFACE GUEST	7 STALLS (10% OF UNITS)
UNDERGROUND GARAGE - WALL	17 STALLS (COVERED)
UNDERGROUND/SURFACE GARAGE STD. 2'X6'	49 STALLS (COVERED)
TOTAL	75 STALLS

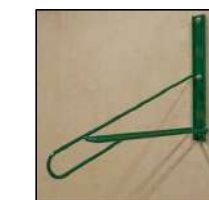
GENERAL NOTES:

- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER, 266-4816.
- EASEMENT LINES SHOWN ON THIS SHEET ARE FOR GENERAL REFERENCE ONLY - SEE CSM AND CIVIL SHEETS FOR ADDITIONAL AND MORE COMPLETE EASEMENT INFORMATION
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF THE TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

BIKE RACKS:

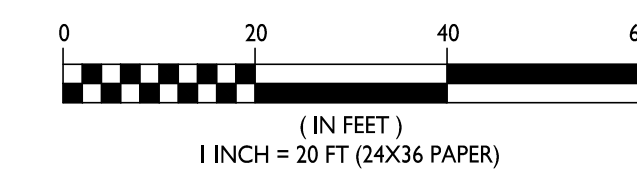


INTERIOR BIKE STALLS,
FLOOR-MOUNT:
MADRAX UX RACK



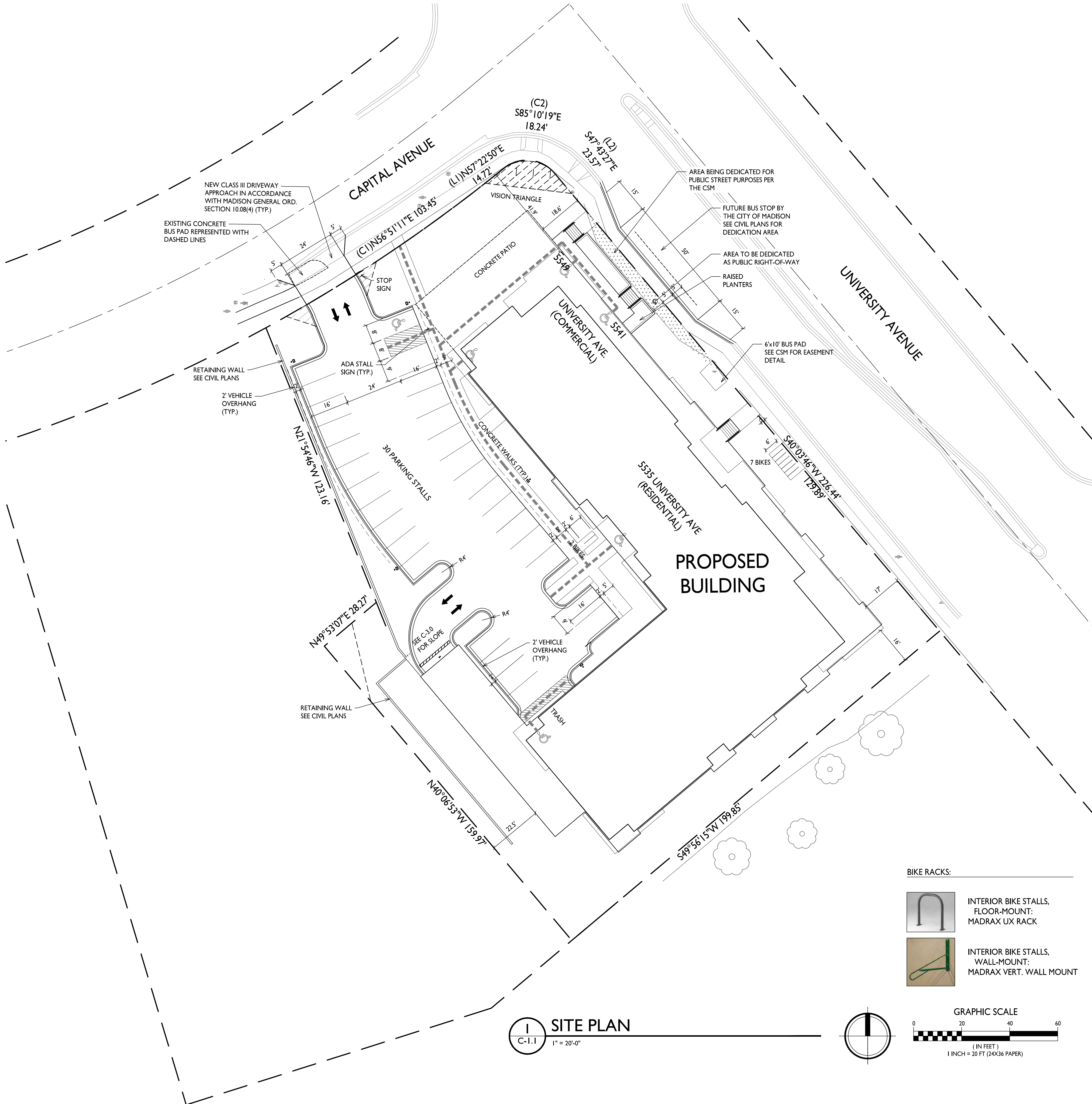
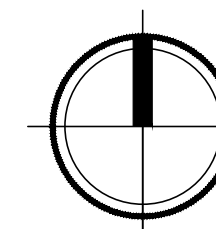
INTERIOR BIKE STALLS,
WALL-MOUNT:
MADRAX VERT. WALL MOUNT

GRAPHIC SCALE



SITE PLAN

C-1.1 1" = 20'-0"





ISSUED
 Issued for Land Use & UDC - September 5, 2018
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**Mixed-Use
Development**

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(Residential)

5541, 5545 & 5549
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




SHEET TITLE
Site Lighting Plan

SHEET NUMBER

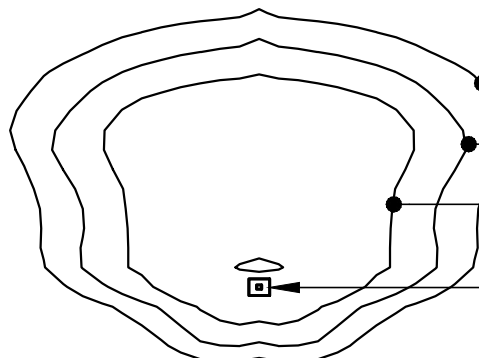
C-1.2

PROJECT NO. 1735

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LUMINAIRE SCHEDULE						
SCHEDULE LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
 A	1	LITHONIA LIGHTING	DSX0 LED P1 30K BLC MVOLT	DSX0 LED P1 30K BLC MVOLT	DSX0_LED_P1_30K_BLC_MVOLT.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE
 B	1	LITHONIA LIGHTING	DSX0 LED P1 30K BLC MVOLT	DSX0 LED P1 30K BLC MVOLT	DSX0_LED_P1_30K_BLC_MVOLT.ies	16'-0" POLE ON FLUSH CONC. BASE
 C	1	LITHONIA LIGHTING	DSX0 LED P1 30K T4M MVOLT HS	DSX0 LED P1 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSX0_LED_P1_30K_T4M_MVOLT_HS.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE
 D	1	LITHONIA LIGHTING	DSX0 LED P1 30K LCCO MVOLT	DSX0 LED P1 30K LCCO MVOLT	DSX0_LED_P1_30K_LCCO_MVOLT.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE
 E	1	LITHONIA LIGHTING	DSX0 LED P1 30K RCCO MVOLT	DSX0 LED P1 30K RCCO MVOLT	DSX0_LED_P1_30K_RCCO_MVOLT.ies	14'-0" POLE ON 2'-0" TALL CONC. BASE
 F		LITHONIA LIGHTING	WPXI LED P1 30K MVOLT	WPXI LED WALLPACK, 1500lm, 3000K COLOR TEMPERATURE, 120-277 VOLTS	WPXI_LED_P1_30K_MVOLT.ies	8'-0" ABOVE GRADE ON BUILDING

EXAMPLE LIGHT FIXTURE DISTRIBUTION

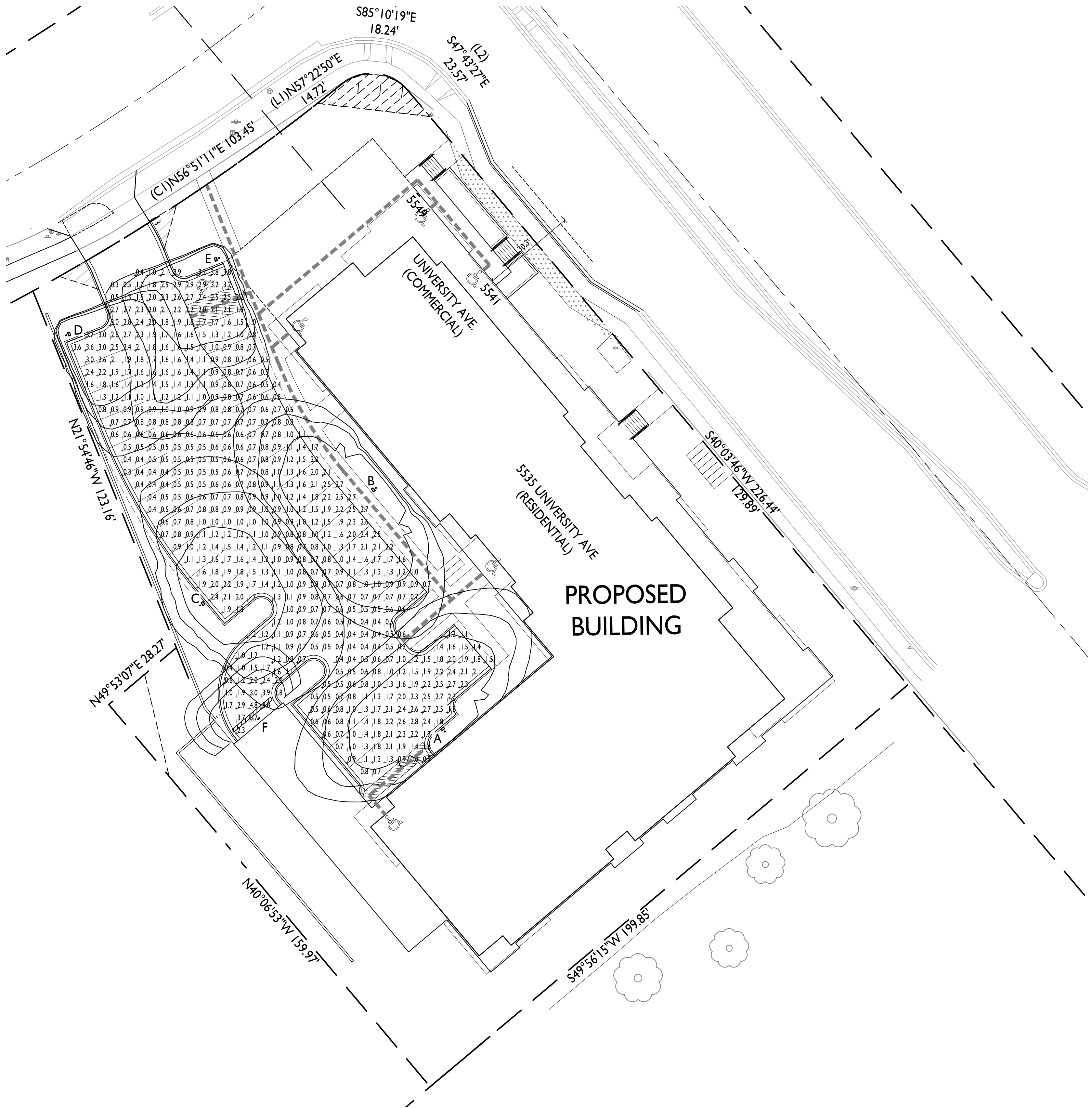


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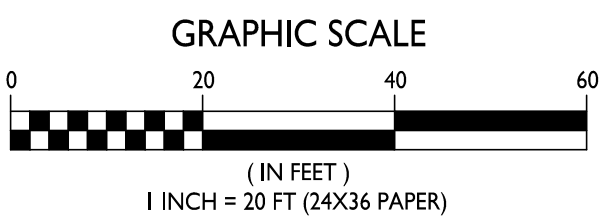
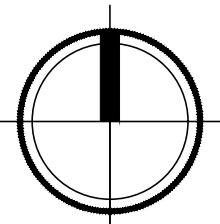
ISOLUX CONTOUR = 0.5 FC

ISOLUX CONTOUR = 1.0 FC

LIGHT FIXTURE



I SITE LIGHTING PLAN





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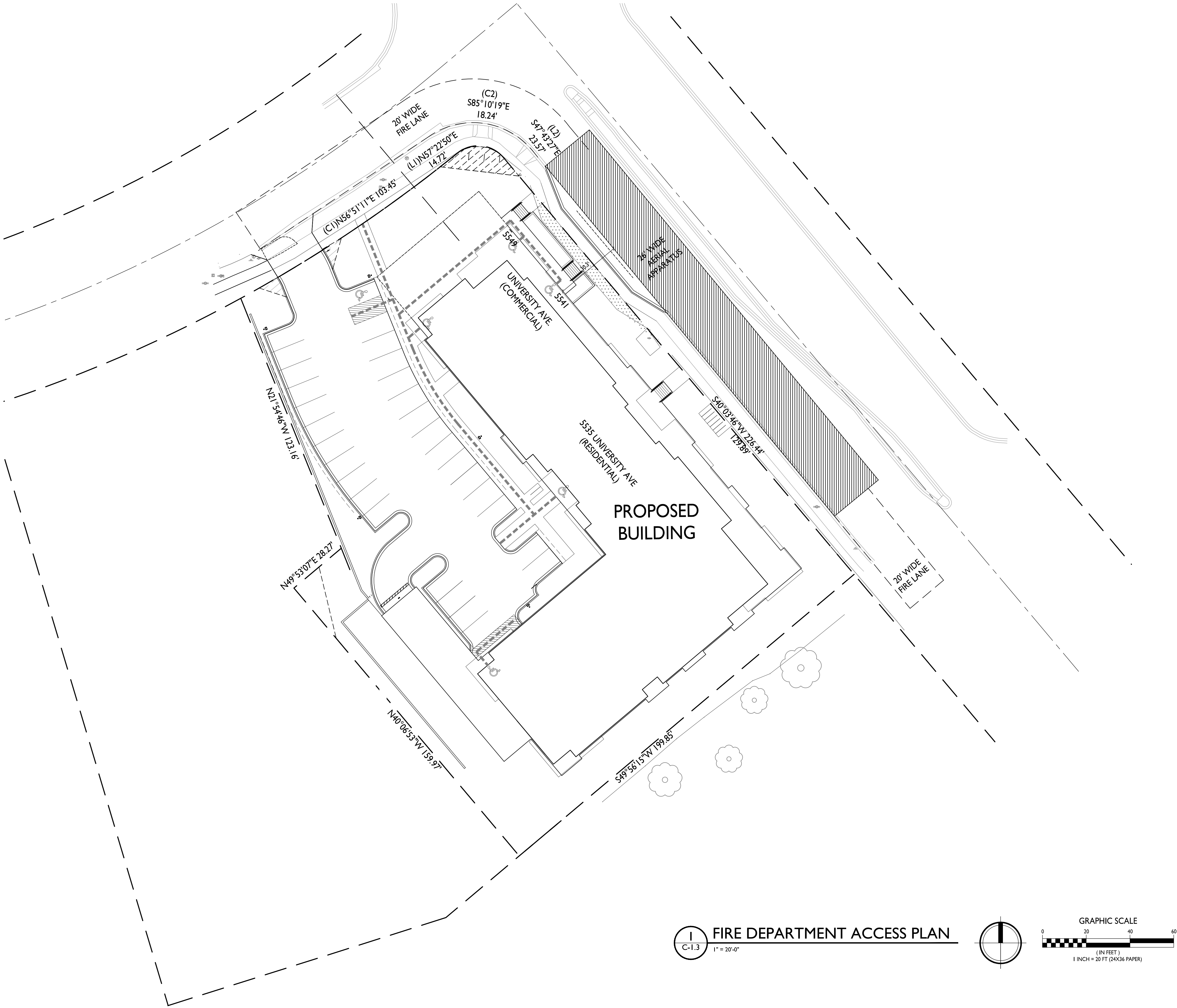
SHEET TITLE
**Fire Department
Access Plan**

SHEET NUMBER

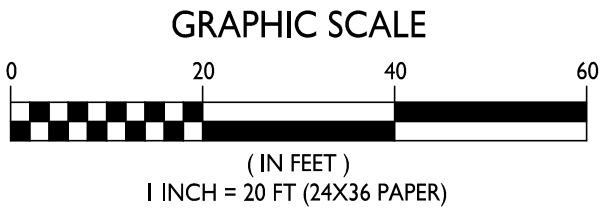
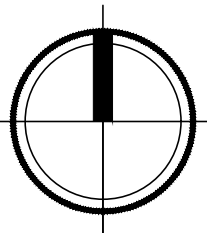
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PROJECT NO. **1735**

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FIRE DEPARTMENT ACCESS PLAN
1" = 20'-0"





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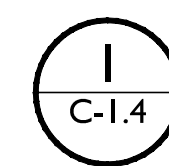
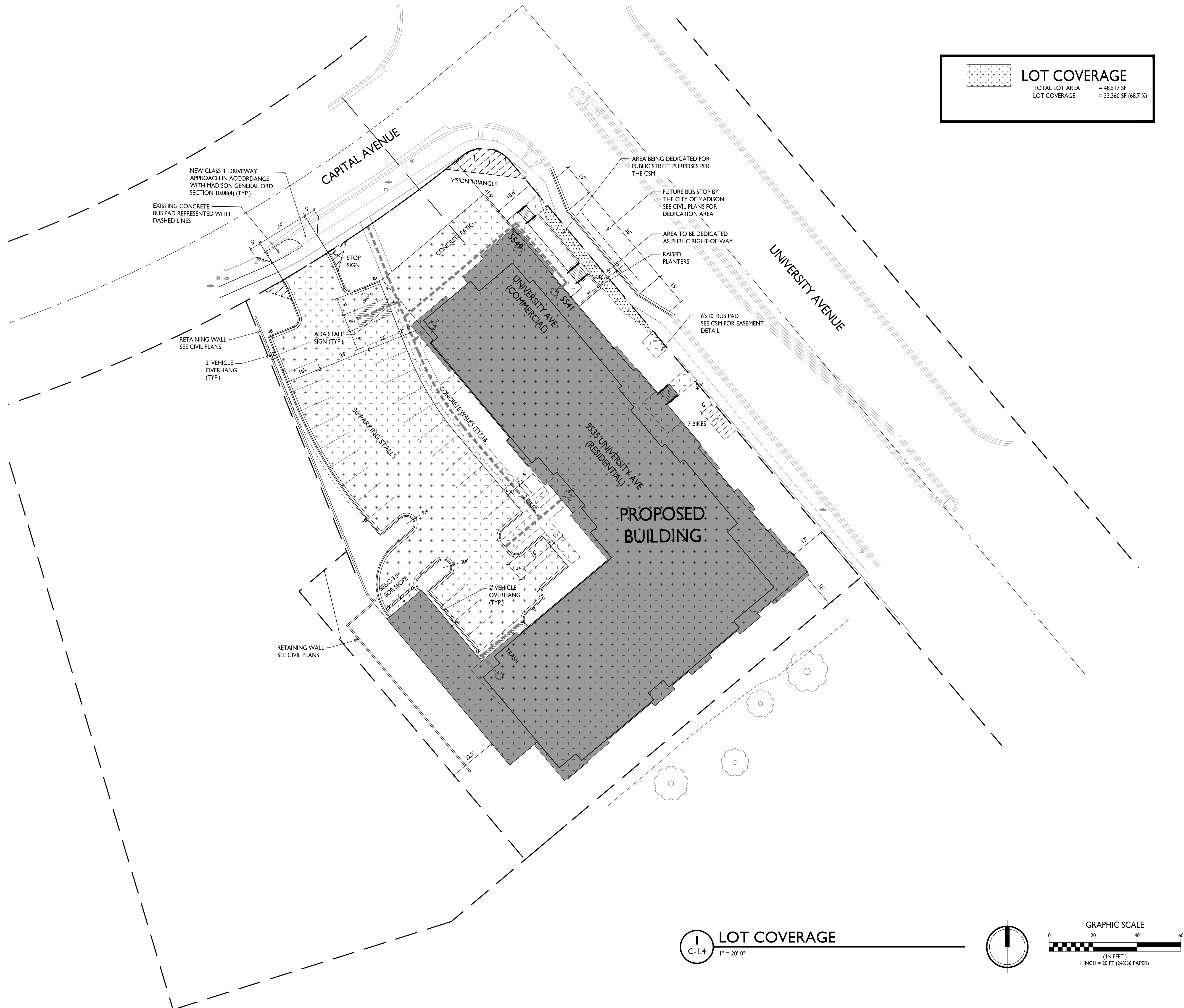
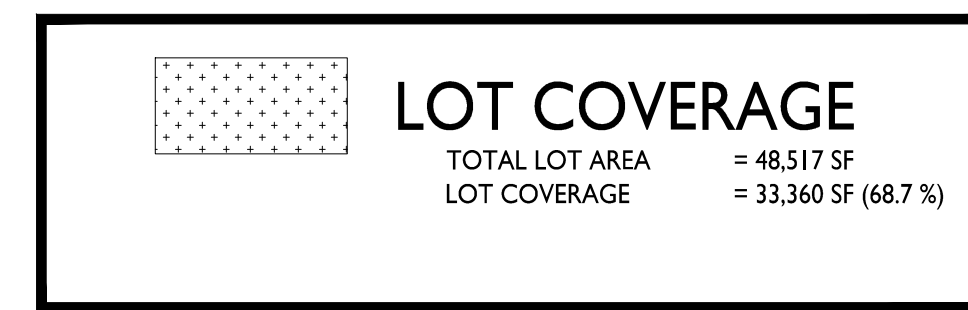
SHEET TITLE
Lot Coverage

SHEET NUMBER

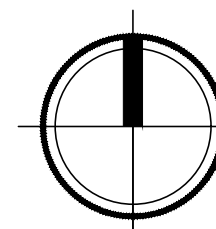
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PROJECT NO. 1735

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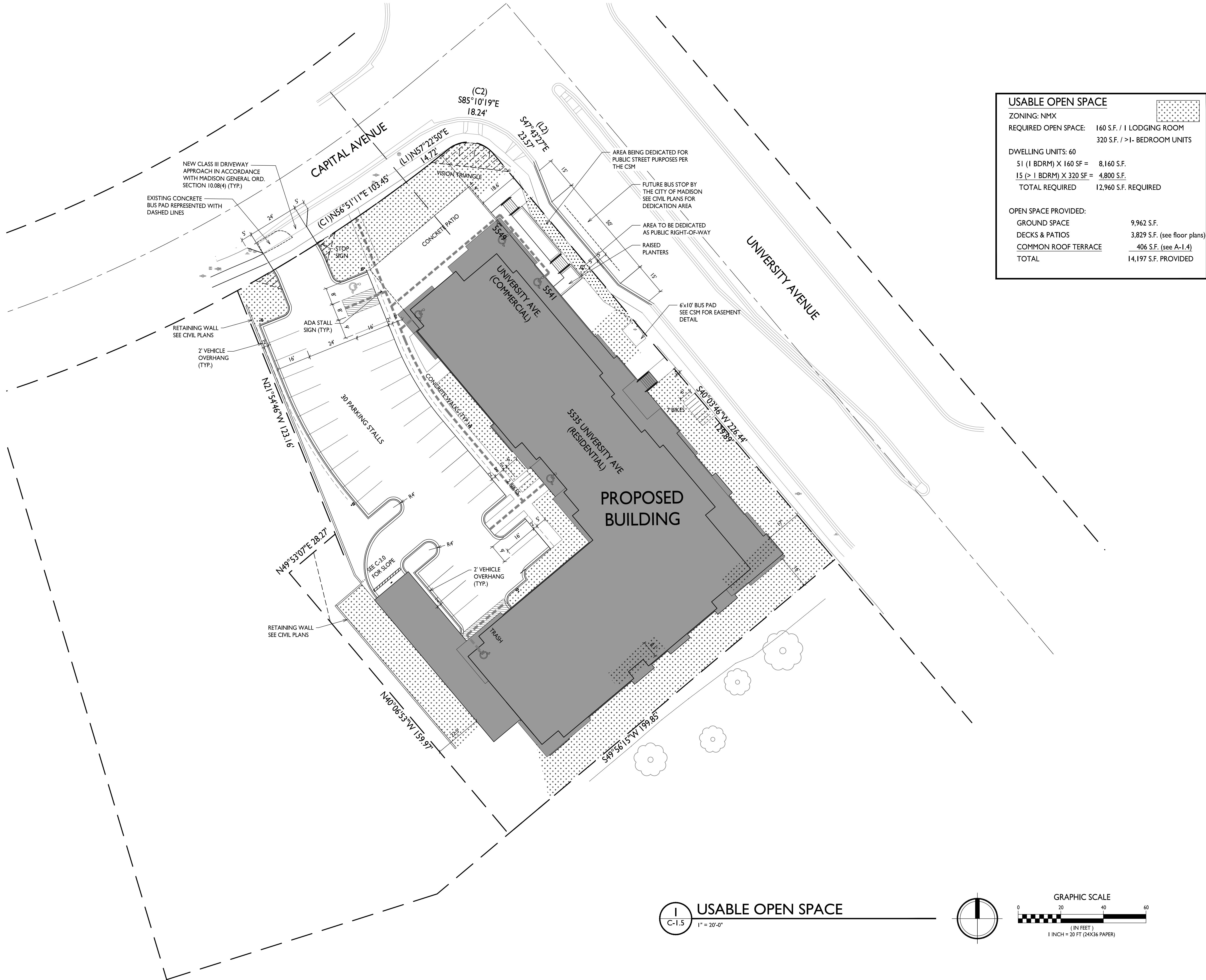
LOT COVERAGE



GRAPHIC SCALE



(IN FEET)
1 INCH = 20 FT (24X36 PAPER)



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

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Madison, WI
(Residential)

5541, 5545 & 5549
University Ave.
(Commercial)

SHEET TITLE

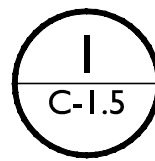
Usable Open Space

SHEET NUMBER

C-1.5

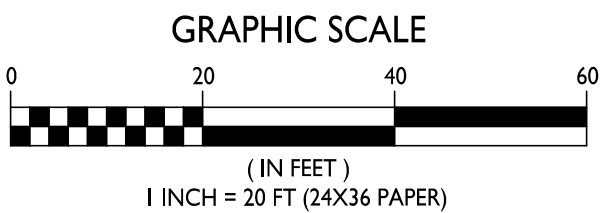
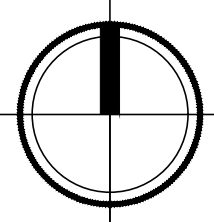
PROJECT NO. 1735

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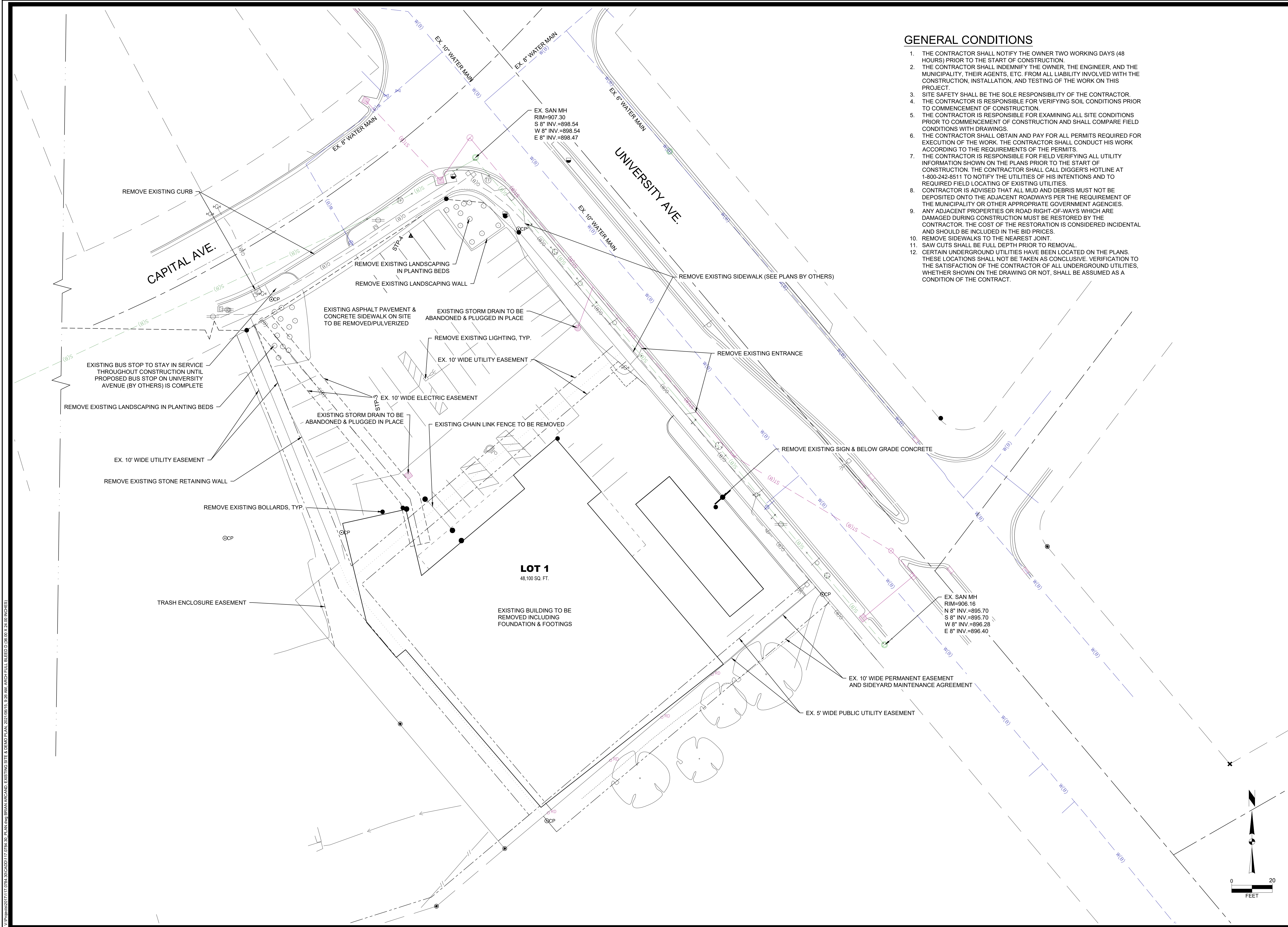


USABLE OPEN SPACE

1" = 20'-0"



V:\Projects\2017\117.0784 - 30' CAD\117.0784.DWG BRYAN ARONOLD - EXISTING SITE & DEMO PLAN, 20210615, 9:26 AM ARCH FULL BLEED D (36.00 X 24.00 INCHES)



GENERAL CONDITIONS

1. THE CONTRACTOR SHALL NOTIFY THE OWNER TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS AND TO REQUIRED FIELD LOCATING OF EXISTING UTILITIES.
8. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE BID PRICES.
10. REMOVE SIDEWALKS TO THE NEAREST JOINT.
11. SAW CUTS SHALL BE FULL DEPTH PRIOR TO REMOVAL.
12. CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT.

5535 UNIVERSITY AVENUE

EXISTING SITE & DEMO PLAN

CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC. |

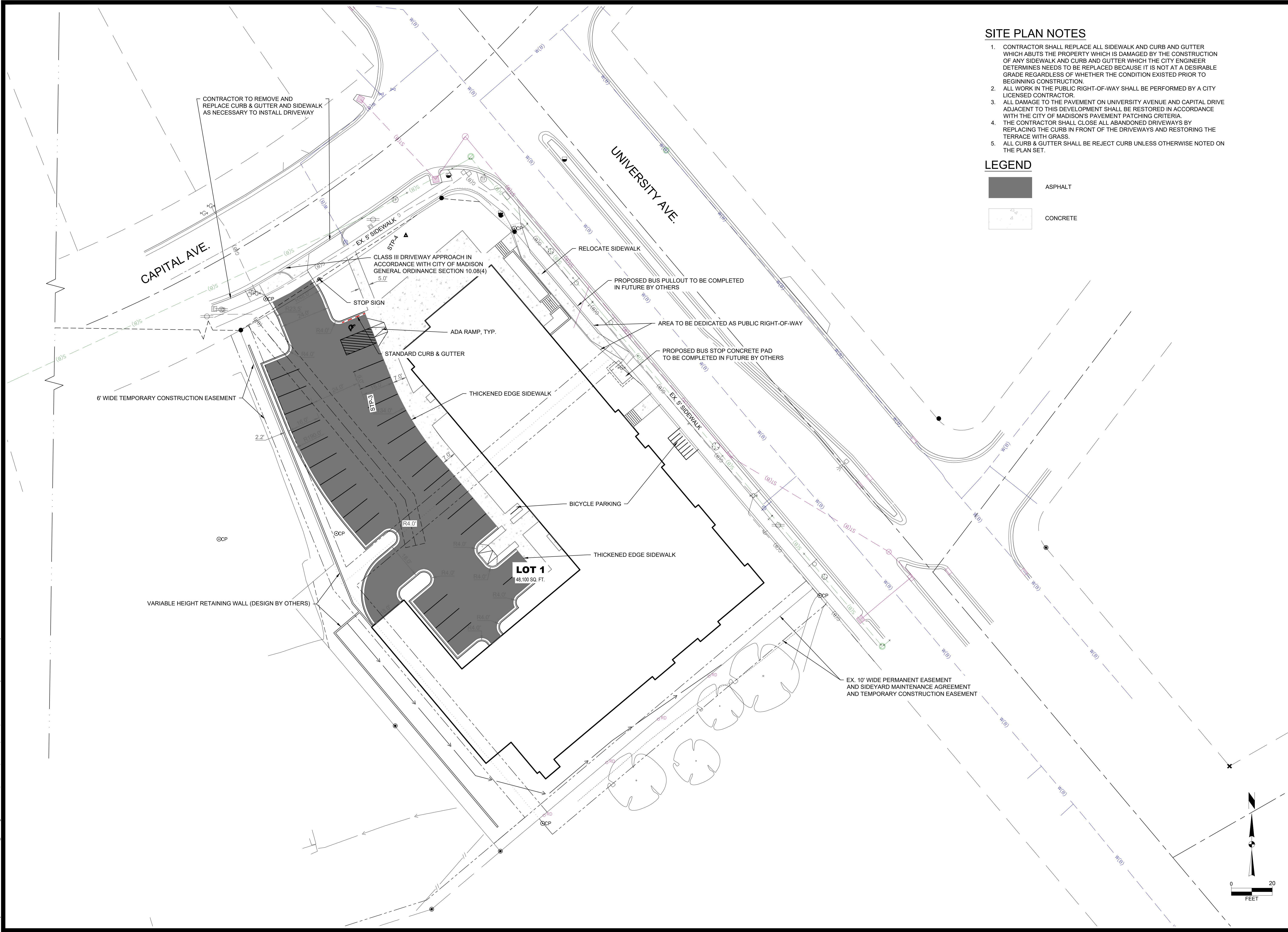


Project No: 117.0784.30

Sheet C 2.1

MARK	SITE UPDATES		06-16-2022	BCA
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	CITY COMMENTS		02-06-2018	BCA
Engineer: BCA	REVISION		DATE	BY
	Checked By: MLC		Scale: 1" =	
	Technician: TECH		Date: 12-06-2017	T-R-S: TTN-RRW-SS
Project No: 117.0784.30				
Sheet C 2.1				

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SITE PLAN NOTES

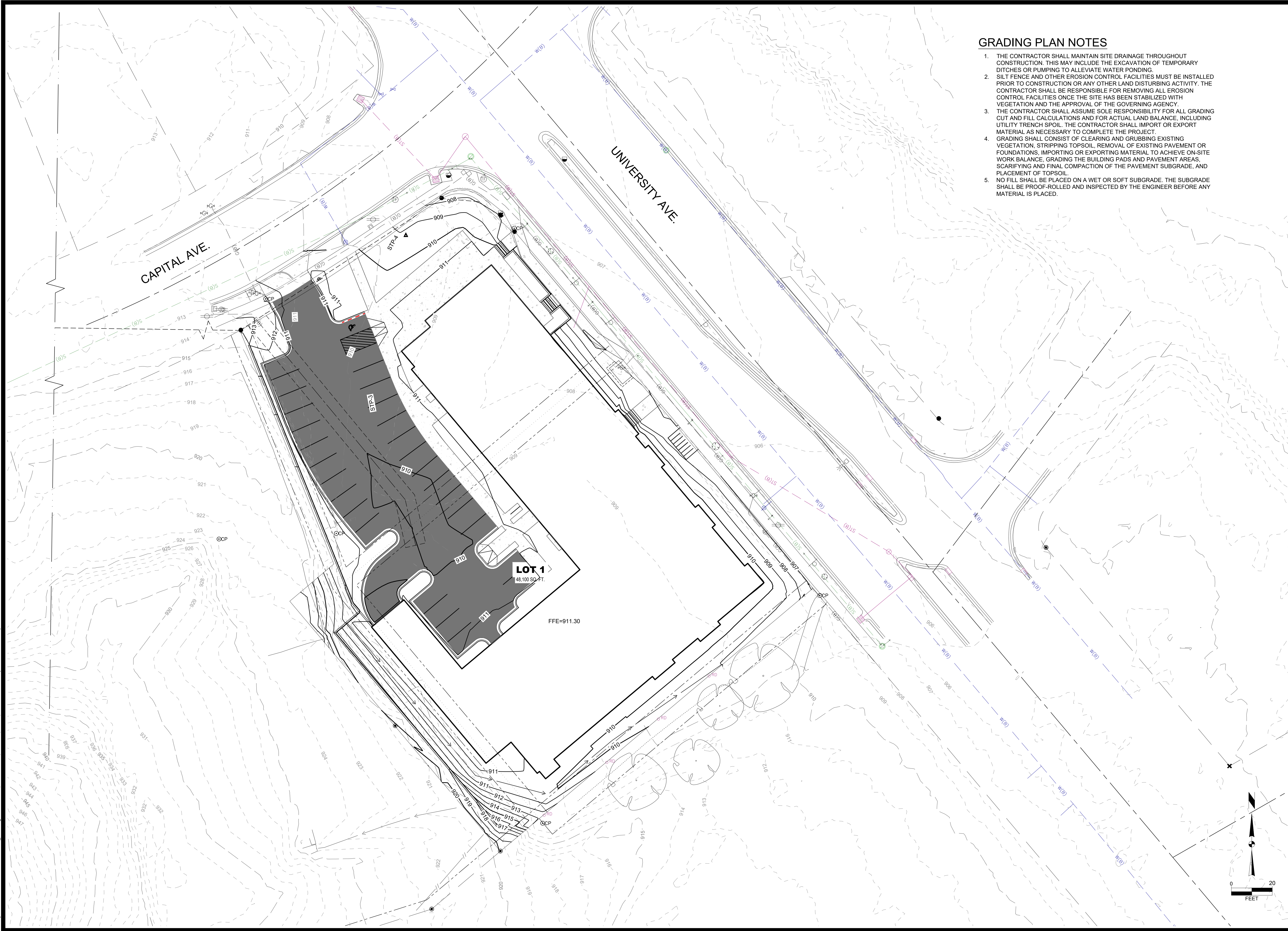
1. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OF ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON UNIVERSITY AVENUE AND CAPITAL DRIVE ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. THE CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
5. ALL CURB & GUTTER SHALL BE REJECT CURB UNLESS OTHERWISE NOTED ON THE PLAN SET.

LEGEND

	ASPHALT
	CONCRETE

5535 UNIVERSITY AVENUE		CITY OF MADISON, DANE COUNTY, WI		5010 VOSES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com	
SITE PLAN		Snyder & Associates, Inc.		Project No: 117.0784.30	
		Sheet C 2.2		Sheet C 2.2	
Project No: 117.0784.30		Sheet C 2.2		Sheet C 2.2	

V:\Projects\2017\17.0784_30\CA00117.0784_30\BRIAN.BRAND GRADING PLAN 20210615 3:28 AM ARCH FULL BLEED D (36.00 X 24.00 INCHES)




GRADING PLAN NOTES

1. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
2. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH VEGETATION AND THE APPROVAL OF THE GOVERNING AGENCY.
3. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL GRADING CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
4. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE ON-SITE WORK BALANCE, GRADING THE BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
5. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE ENGINEER BEFORE ANY MATERIAL IS PLACED.

5535 UNIVERSITY AVENUE

GRADING PLAN



SNYDER & ASSOCIATES

CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC. |

Project No: 117.0784.30

Sheet C 3.0

SITE UPDATES

06-16-2021 BCA

CITY COMMENTS

2-21-2014 BCA

CITY COMMENTS

02-06-2014 BCA

REVISION

DATE

BY

Engineer: BCA

Checked By: MLC

Scale: 1" =

Technician: TECH

Date: 12-06-2017

T-R-S: TTN-RRW-SS

Sheet C 3.0

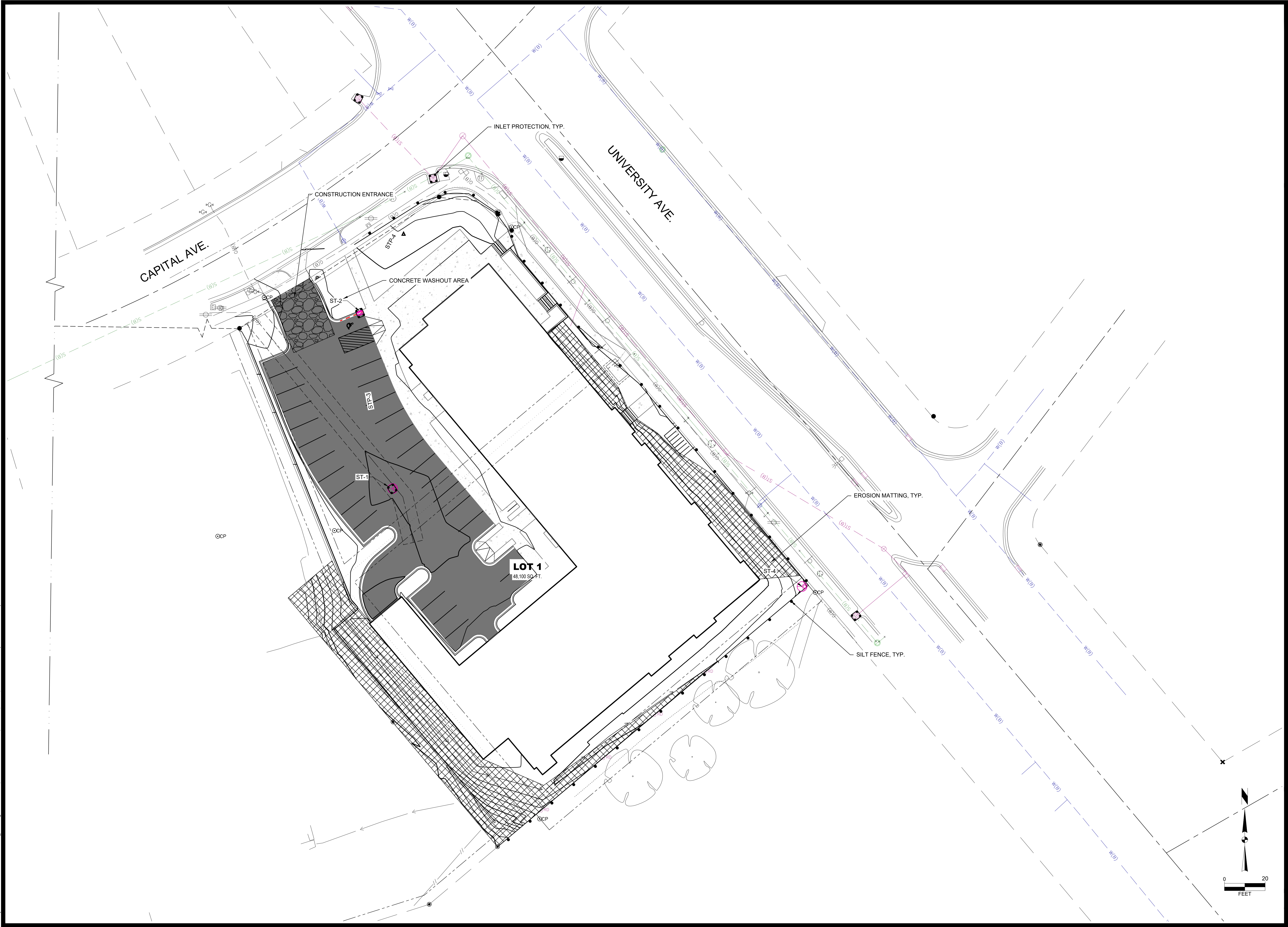
Project No: 117.0784.30

5510 VOGES ROAD

MADISON, WISCONSIN 53718

608-838-0444 | www.snyder-associates.com

V:\Projects\2017\117.0784 - 30 CAD\117.0784.dwg BRYAN ARCADE EROSION CONTROL PLAN 2017/06/15 02:24 AM ARCH FULL BLEED D (36.00 X 24.00 INCHES)



5535 UNIVERSITY AVENUE

EROSION CONTROL PLAN

CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.



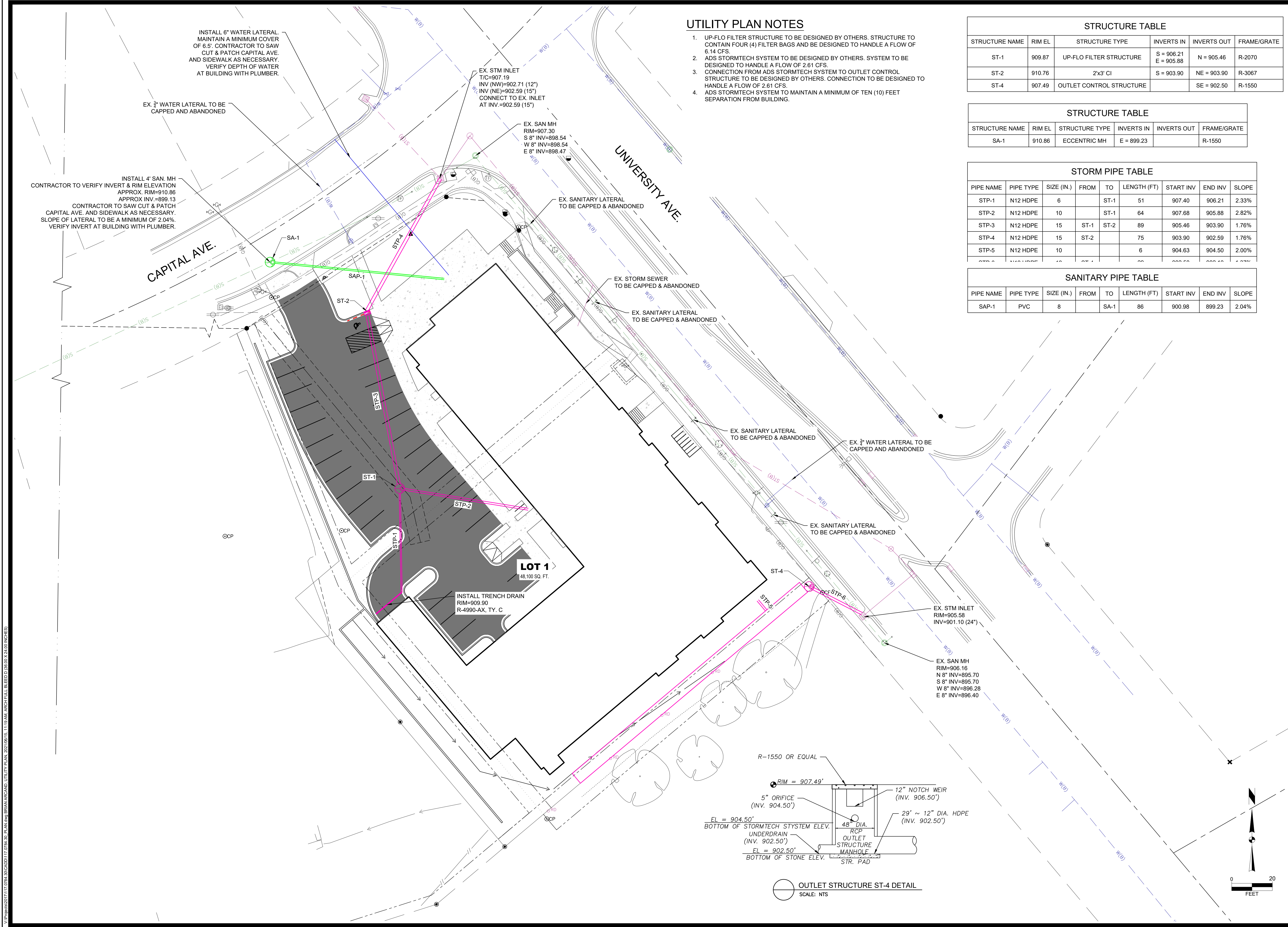
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Sheet C 3.2

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		CITY COMMENTS	02-06-2018	BCA
MARK		REVISION	DATE	BY
	Engineer: BCA	Checked By: MLC	Scale: 1" =	
	Technician: TECH	Date: 12-06-2017	T-R-S: TTN-RRW-SS	
Project No: 117.0784.30				
Sheet C 3.2				

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

V:\Projects\2017\17.0784_30\CAD\17.0784_30_Plan.dwg BRIAN ARNDT UTILITY PLAN 20210615 11:19 AM ARCH FULL BLEED D (36.00 X 24.00 INCHES)



UTILITY PLAN NOTES

- UP-FLO FILTER STRUCTURE TO BE DESIGNED BY OTHERS. STRUCTURE TO CONTAIN FOUR (4) FILTER BAGS AND BE DESIGNED TO HANDLE A FLOW OF 6.14 CFS.
- ADS STORMTECH SYSTEM TO BE DESIGNED BY OTHERS. SYSTEM TO BE DESIGNED TO HANDLE A FLOW OF 2.61 CFS.
- CONNECTION FROM ADS STORMTECH SYSTEM TO OUTLET CONTROL STRUCTURE TO BE DESIGNED BY OTHERS. CONNECTION TO BE DESIGNED TO HANDLE A FLOW OF 2.61 CFS.
- ADS STORMTECH SYSTEM TO MAINTAIN A MINIMUM OF TEN (10) FEET SEPARATION FROM BUILDING.

STRUCTURE TABLE

STRUCTURE NAME	RIM EL	STRUCTURE TYPE	INVERTS IN	INVERTS OUT	FRAME/GRATE
ST-1	909.87	UP-FLO FILTER STRUCTURE	S = 906.21 E = 905.88	N = 905.46	R-2070
ST-2	910.76	2'x3' CI	S = 903.90	NE = 903.90	R-3067
ST-4	907.49	OUTLET CONTROL STRUCTURE		SE = 902.50	R-1550

STRUCTURE TABLE

STRUCTURE NAME	RIM EL	STRUCTURE TYPE	INVERTS IN	INVERTS OUT	FRAME/GRATE
SA-1	910.86	ECCENTRIC MH	E = 899.23		R-1550

STORM PIPE TABLE

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
STP-1	N12 HDPE	6		ST-1	51	907.40	906.21	2.33%
STP-2	N12 HDPE	10		ST-1	64	907.68	905.88	2.82%
STP-3	N12 HDPE	15	ST-1	ST-2	89	905.46	903.90	1.76%
STP-4	N12 HDPE	15	ST-2		75	903.90	902.59	1.76%
STP-5	N12 HDPE	10			6	904.63	904.50	2.00%

SANITARY PIPE TABLE

PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
SAP-1	PVC	8		SA-1	86	900.98	899.23	2.04%

5535 UNIVERSITY AVENUE

UTILITY PLAN

CITY OF MADISON, DANE COUNTY, WI



Project No: 117.0784.30

Sheet C 4.0

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Project No: 117.0784.30

SITE UPDATES	06-16-2022	BCA
CITY COMMENTS	12-21-2018	BCA
CITY COMMENTS	02-06-2018	BCA
REVISION	DATE	BY
Checked By: MLC	Scale: 1" =	
Engineer: BCA	Technician: TTN-RRW-SS	
Date: 12-06-2017		

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CONSTRUCTION SEQUENCE

1. INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT'S AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. ADDITIONALLY INSTALL CONSTRUCTION EQUIPMENT PARKING AREAS. STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE. THE TEMPORARY ACCESS POINT SHALL BE PLACED IN THE LOCATION SHOWN ON THE GRADING AND EROSION CONTROL PLAN. THE ENTRANCE/EXITS WILL BE INSPECTED DAILY. IF THE AGGREGATE WITHIN THE TEMPORARY ACCESS PADS BECOMES COVERED WITH SOIL OR IF SIGNIFICANT QUANTITIES OF SOIL ARE TRACKED ONTO THE EXISTING ROADWAY THEN ADDITIONAL AGGREGATE WILL BE INSTALLED TO ALLOW THE ENTRANCE/EXITS TO FUNCTION PROPERLY.
2. INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN. THE BARRIERS MUST BE INSTALLED PARALLEL TO THE SITE CONTOURS TO THE EXTENT PRACTICABLE WITH THE ENDS EXTENDED UPSLOPE ONE TO TWO FEET TO PREVENT FLANKING OF THE RUNOFF. AT NO TIME FROM THE START OF ROUGH GRADING UNTIL SITE STABILIZATION SHALL AN UNBROKEN SLOPE EXIST BETWEEN DISTURBED AREAS AND THE RECEIVING WATERS. THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL WILL BE REFERENCED FOR THE PROPER INSTALLATION AND MAINTENANCE OF SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES ON THE SITE.
3. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED. PLACE SOIL STOCKPILES AT LEAST 25 FEET AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, OR DITCH. ALL TOPSOIL PILES WILL HAVE SILT FENCE PLACED ON THEIR DOWNSLOPE SIDES. TOPSOIL PILES WILL BE SEEDED WITH ANNUAL RYE IF THEY ARE IN PLACE FOR MORE THAN 7 DAYS. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS WILL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH.
4. GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS. THE INTENT OF THESE GRADING RESTRICTIONS IS TO PROVIDE AN UNDISTURBED BUFFER AREA ALLOWING ADDITIONAL EROSION AND SEDIMENTATION PROTECTION DURING CONSTRUCTION.
5. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS MUST BE STABILIZED IMMEDIATELY.
6. INSTALL ANY UTILITIES.
7. COMPLETE FINAL GRADING FOR PARKING LOT & ROADWAY AND STABILIZE WITH GRAVEL.
8. COMPLETE FINAL GRADE OF THE SITE.
9. UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED, FERTILIZED, SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH OTHER GRADING ACTIVITIES SO THAT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
10. WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED. TOPSOIL SHALL BE UNIFORMLY PLACED, GRADED SMOOTH AND SCARIFIED FOR SEEDING.
11. FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED ABOVE IN ITEM 11. SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEEDING MIXTURE:

30.50 LBS/ACRE OF KENTUCKY BLUEGRASS17.50 LBS/ACRE OF RED FESCUE17.50 LBS/ACRE OF HARD FESCUE22.00 LBS/ACRE OF PERENNIAL RYE GRASS

THE OWNER RESERVES THE RIGHT TO REVISE THE SEEDING MIXTURE SUBJECT TO APPROVAL BY THE LOCAL MUNICIPALITY.

SOD MAY BE SUBSTITUTED FOR SEEDING ON ALL AREAS TO BE SEEDED AND IS RECOMMENDED FOR ALL AREAS WITH SLOPES OF 5:1 OR STEEPER. MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE.

FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30, TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE. ADDITIONAL EROSION CONTROL BARRIERS MAY BE NEEDED DOWNSLOPE OF THESE AREAS UNTIL FINAL SEEDING OR SODDING IS COMPLETED IN SPRING (BY JUNE 1). ANY AREAS WITH SLOPES GREATER THAN 6:1 MUST BE SEEDED AND MULCHED BUT NOT TOPSOILED. AREAS WITH SLOPED LESS THAN 6:1 MUST BE TOPSOILED, SEEDED AND MULCHED. ALL AREAS MUST BE TOPSOILED, SEEDED AND MULCHED AS DESCRIBED ABOVE IN THE FOLLOWING SPRING.

12. WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
13. SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS ON THE UPSLOPE SIDE ON THE SILT FENCES SHALL BE REMOVED WHEN THE DEPOSITS REACH HALF THE HEIGHT OF THE SILT FENCE.
14. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY. TRACKING PADS MAY REQUIRE PERIODIC CLEANING TO MAINTAIN THE EFFECTIVENESS OF THE PRACTICE, WHICH MAY INCLUDE THE REMOVAL AND RE-INSTALLATION OF THE STONE.

EROSION CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
3. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WisDNR) TECHNICAL STANDARD, FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
6. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
7. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WisDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
8. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WISDNR TECHNICAL STANDARD 1050.
9. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WISDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WISDNR TECHNICAL STANDARD 1063.
12. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WISDNR TECHNICAL STANDARD 106B.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.

15. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
16. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.
17. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
18. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WISDNR TECHNICAL STANDARDS.
19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
20. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1, USE CLASS I URBAN, TYPE A EROSION CONTROL MATTING. FOR SLOPES GREATER THAN 4:1 BUT LESS THAN 2.5:1, USE CLASS I URBAN TYPE B. FOR SLOPES GREATER THAN 2.5:1 USE CLASS I TYPE B. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WISDNR TECHNICAL STANDARDS.
21. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. ELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WISDNR TECHNICAL STANDARDS.
22. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COVERED WITH A BIO-DEGRADABLE EROSION MAT INCLUDING BIO-DEGRADABLE STAPLES.
23. ALL BIO-DEGRADABLE EROSION MAT SHALL BE CURLEX NET FREE OR APPROVED EQUAL.
24. WATERING OF NEW SEEDING SHALL BE OF A DURATION AND FREQUENCY ADEQUATE TO ENSURE PROPER ESTABLISHMENT OF NEW SEEDING.
25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

5535 UNIVERSITY AVENUE

EROSION CONTROL NOTES

CITY OF MADISON, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC. I

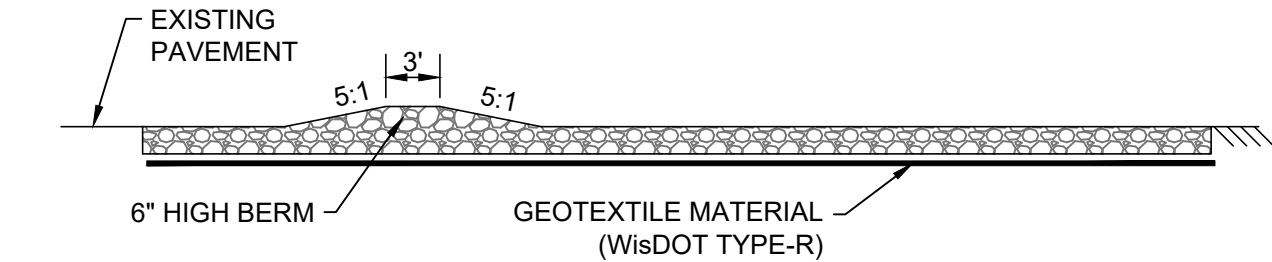
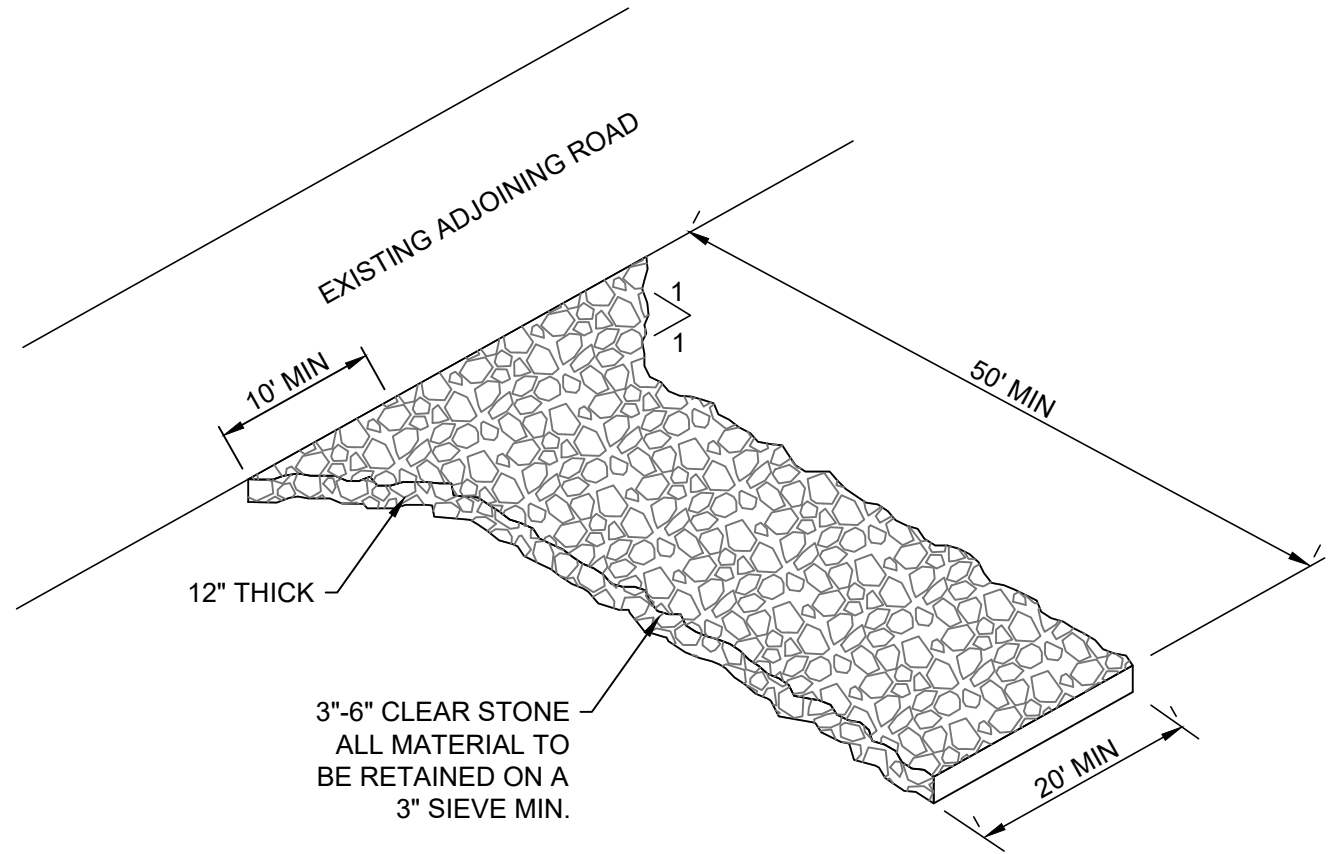


Project No: 117.0784.30

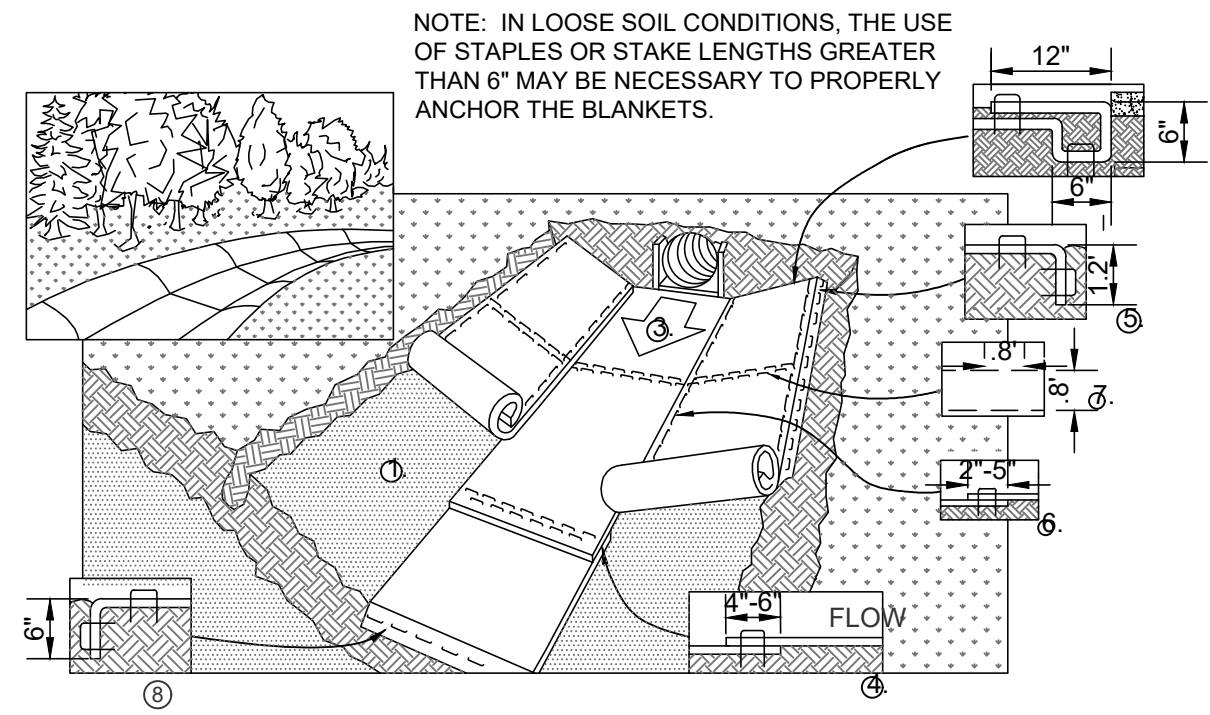
Sheet C 5.0

	SITE UPDATES	06-16-2022	BCA
	CITY COMMENTS	12-21-2014	BCA
	CITY COMMENTS	02-06-2014	BCA
MARK	REVISION	DATE	BY
Engineer: BCA	Checked By: MLC	Scale: 1" =	
Technician:TECH	Date: 12-06-2017	T-R-S: TTN-RRW-SS	
Project No: 117.0784.30			Sheet C 5.0

V:\projects\2017\17.0784_30\CADD\17.0784-30_DTLs\EROS-amp.BRAIN.ARCAND_ EROSION CONTROL DETAILS: 2021/06/16, 9:28 AM. ARCH PLOT BLEED D (36.00 X 24.00 INCHES)

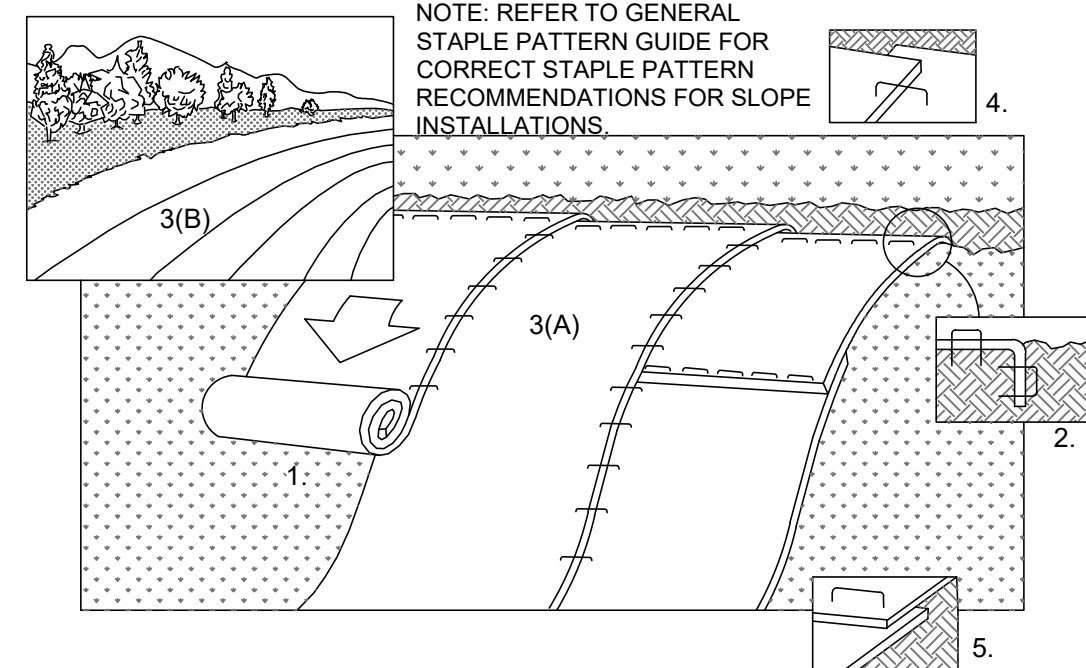


1 STONE ENTRANCE DETAIL
C 6.0 NO SCALE



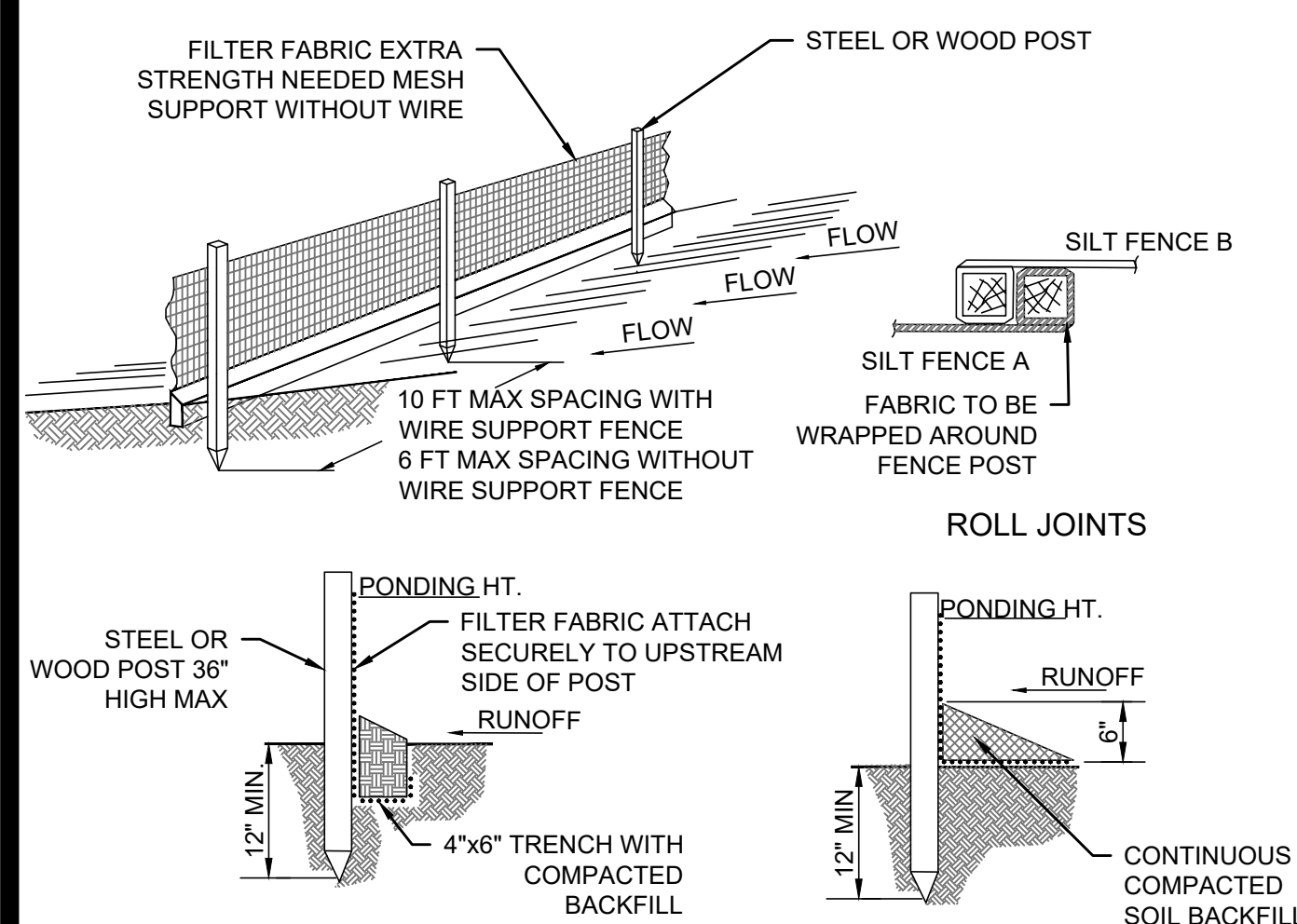
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING
6. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL
7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING
8. EROSION MAT SHALL EXTEND FOR WHICHEVER IS GREATER: UPSLOPE ONE FOOT MIN. VERTICALLY FROM DITCH BOTTOM OR 6" HIGHER THAN DESIGN FLOW DEPTH
9. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1053

2 EROSION CONTROL MAT - CHANNEL INSTALLATION
C 6.0 NO SCALE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING
3. ROLL THE BLANKETS
(A.) DOWN THE SLOPE
(B.) HORIZONTALLY ACROSS THE SLOPE
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER
7. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD # 1052

3 EROSION CONTROL MAT - SLOPE INSTALLATION
C 6.0 NO SCALE



1. INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT OF 0.5 INCHES AND REPAIR IF REQUIRED. REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY
4. SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056

4 SILT FENCE DETAIL
C 6.0 NO SCALE

*FLOW RATINGS SHOWN ARE 50% MAXIMUM

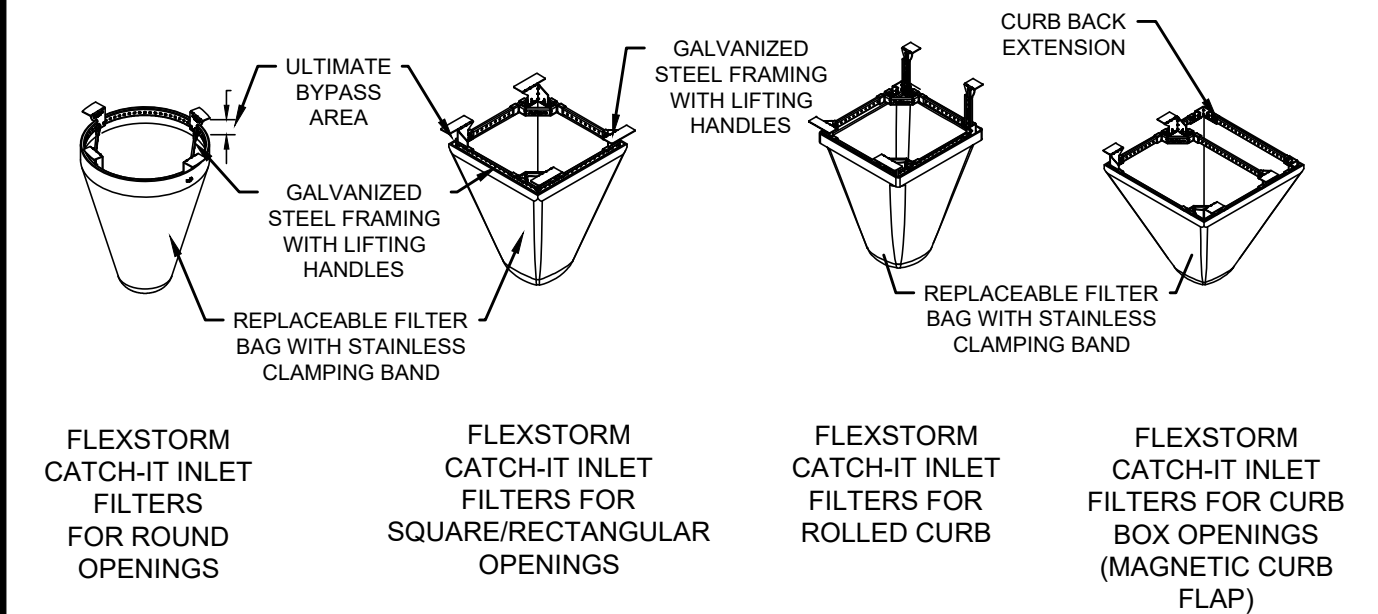
NOTES:

1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
3. UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft²)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFF
3067 w/FLAP	Curb Box	36.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXTFX
3067 EXTENDED BACK	Curb Box	36.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXTFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MCBFX
3067-C	Square/Rect (SQ)	36.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX



5 INLET PROTECTION DETAIL
C 6.0 SCALE: NTS

5535 UNIVERSITY AVENUE

EROSION CONTROL DETAILS

CITY OF MADISON, DANE COUNTY, WI



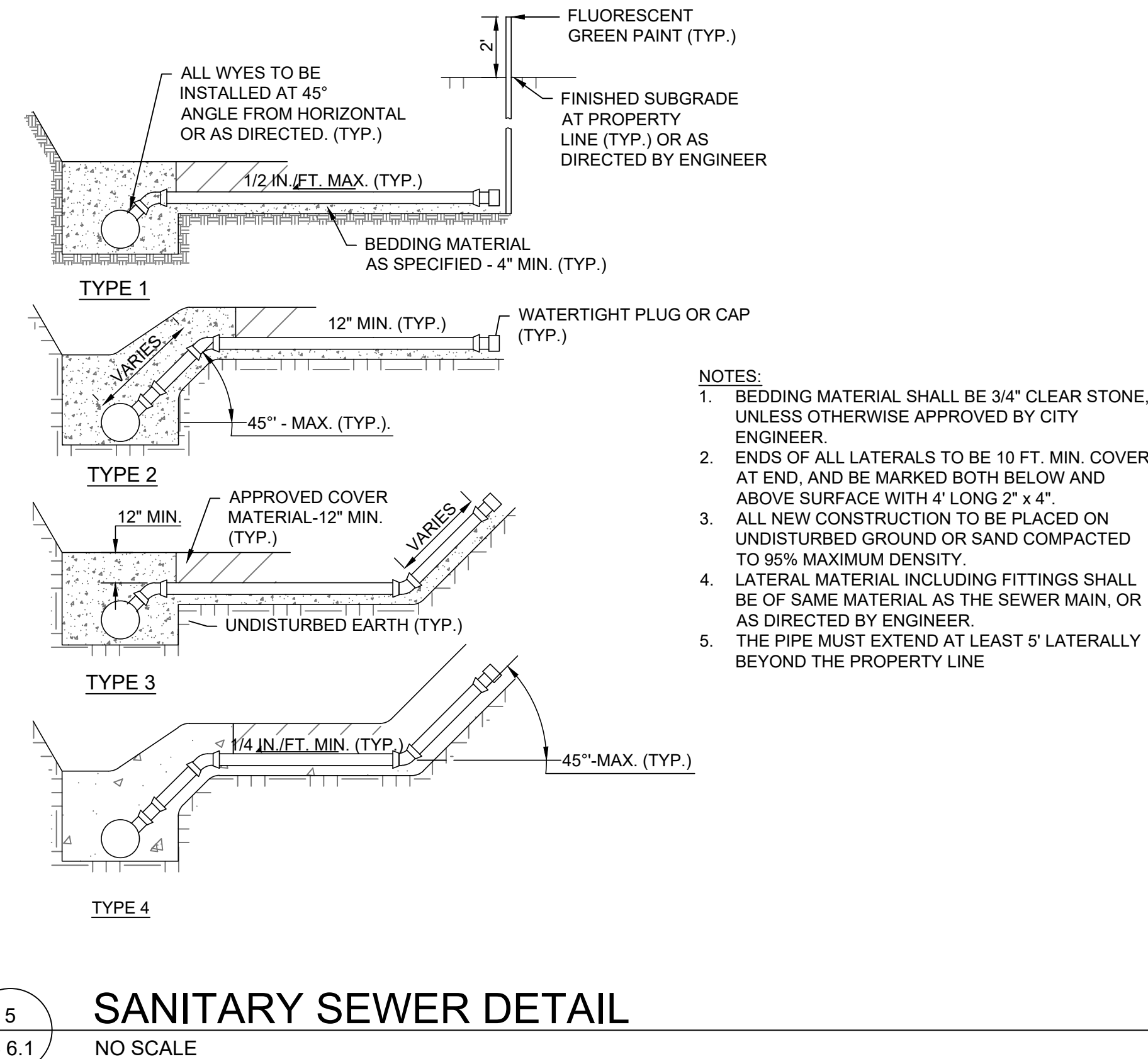
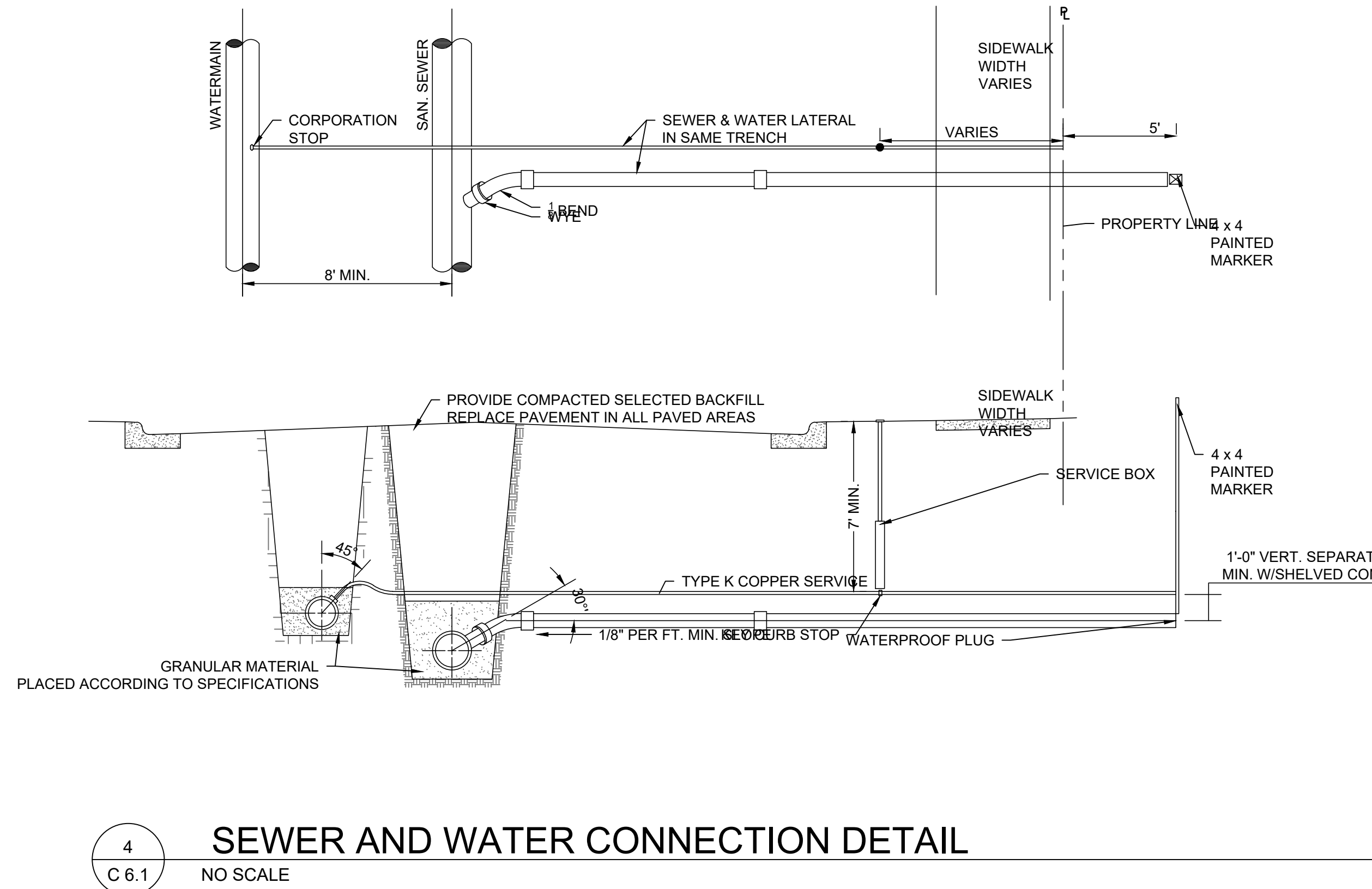
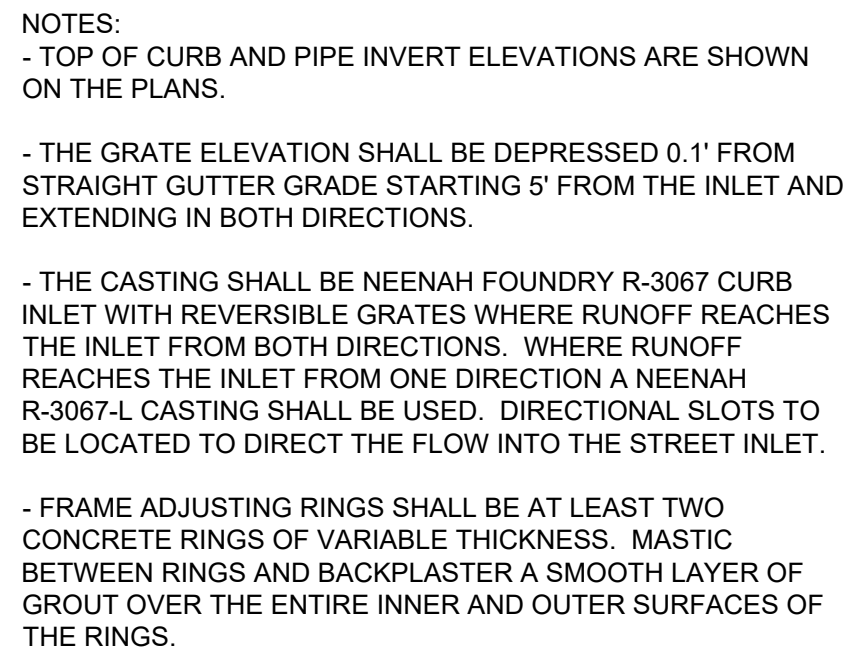
Project No: 117.0784.30

Sheet C 6.0

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MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

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CITY COMMENTS	02-06-2014	BCA
REVISION	DATE	BY
MARK	Engineer: BCA	Scale: 1" =
Technician: TECH	Date: 12-06-2017	T-R-S: TTN-RRW-SS
Project No:	117.0784.30	Sheet C 6.0

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MADISON, WISCONSIN 53718
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SNYDER & ASSOCIATES, INC.

5535 UNIVERSITY AVENUE

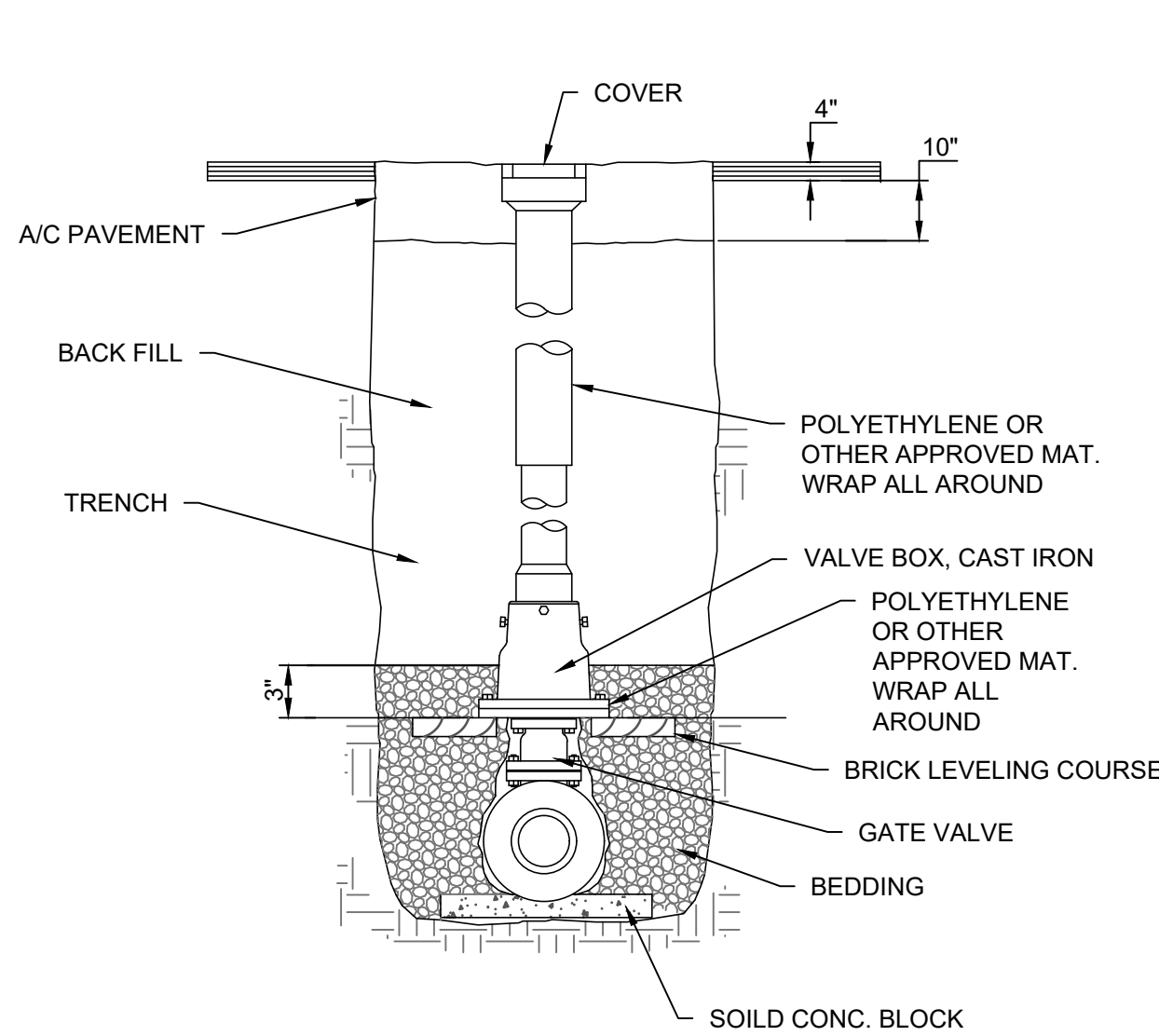
UTILITY DETAILS



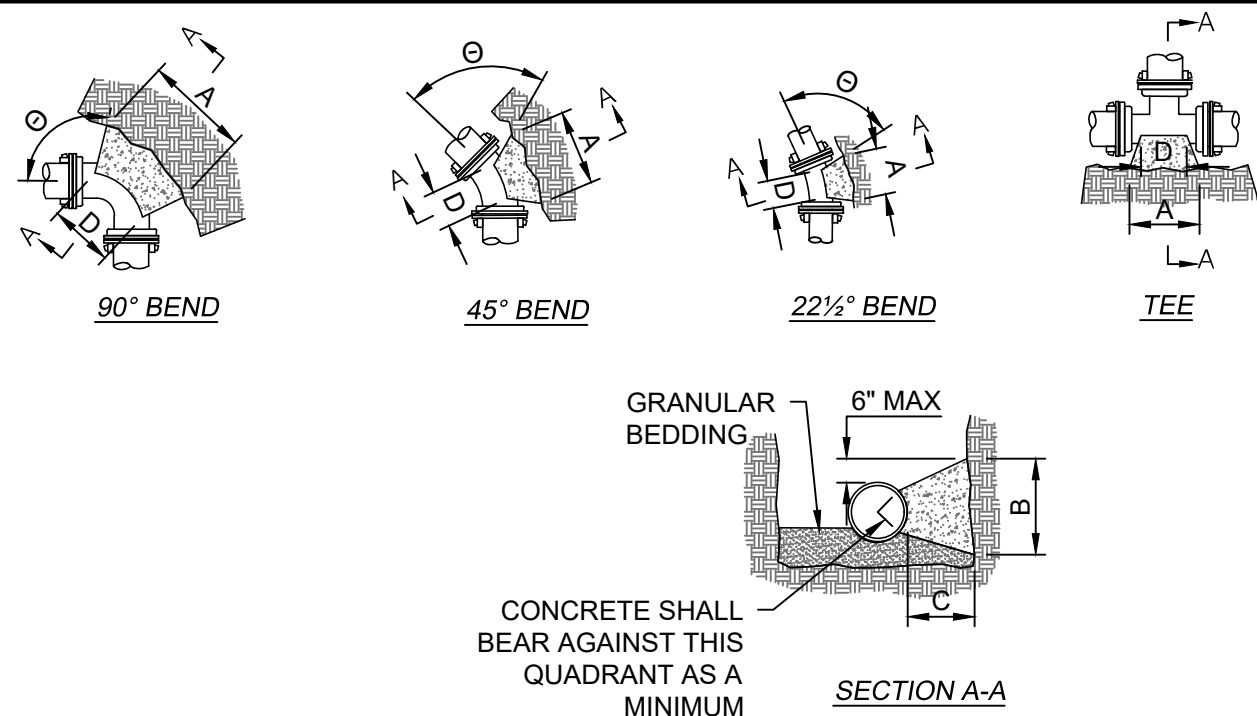
Project No: 117.0784.30

Sheet C 6.1

V:\projects\2017\117.0784_30\CADD\117.0784_30_DTL\3-D DTL\3-D UTILITY DETAILS 6.20210616.9.28 AM ARCH FULL BLEED D (36.00 X 24.00 INCHES)



1 VALVE BOX DETAIL
C 6.2 NO SCALE



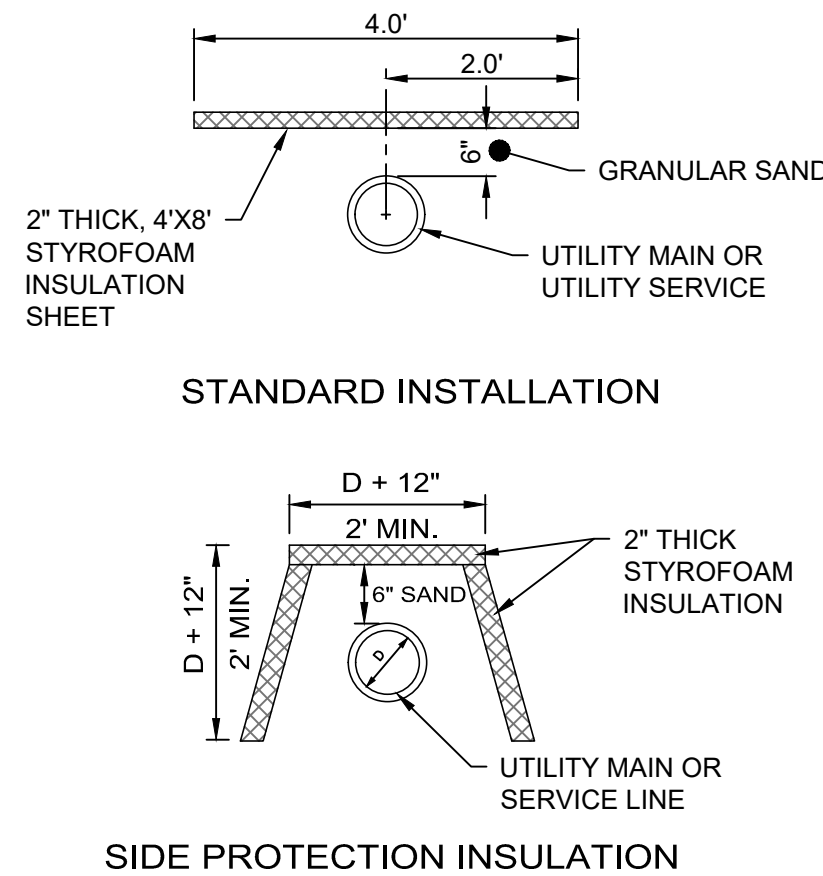
- NOTES:
- WOOD BLOCKING MAY NOT BE USED. ONLY SOLID CONCRETE BLOCKS ARE ALLOWED.
 - DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.
 - DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "9" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.
 - CONCRETE SHALL BE CLASS "CC".
 - ALL BUTTRESSED JOINTS SHALL INCLUDE MEGALUGS AND CONCRETE BUTTRESSING.

BUTTRESS DIMENSIONS									
PIPE SIZE	TEES		22.5° BEND		45° BEND		90° BEND		
	A	B	A	B	A	B	A	B	
6	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-4"	1'-2"	
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"	
10/12	2'-3"	2'-0"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"	
14/16	3'-2"	2'-6"	1'-10"	1'-8"	2'-6"	2'-4"	3'-10"	2'-10"	
18/20	4'-0"	3'-0"	2'-4"	2'-0"	3'-3"	2'-10"	5'-0"	3'-4"	
22/24	5'-3"	3'-4"	2'-10"	2'-4"	4'-0"	3'-3"	6'-4"	3'-10"	
30	6'-3"	4'-3"	3'-6"	3'-0"	5'-4"	3'-10"	8'-0"	4'-8"	

* = FOR TEE THIS WILL BE THE BRANCH PIPE

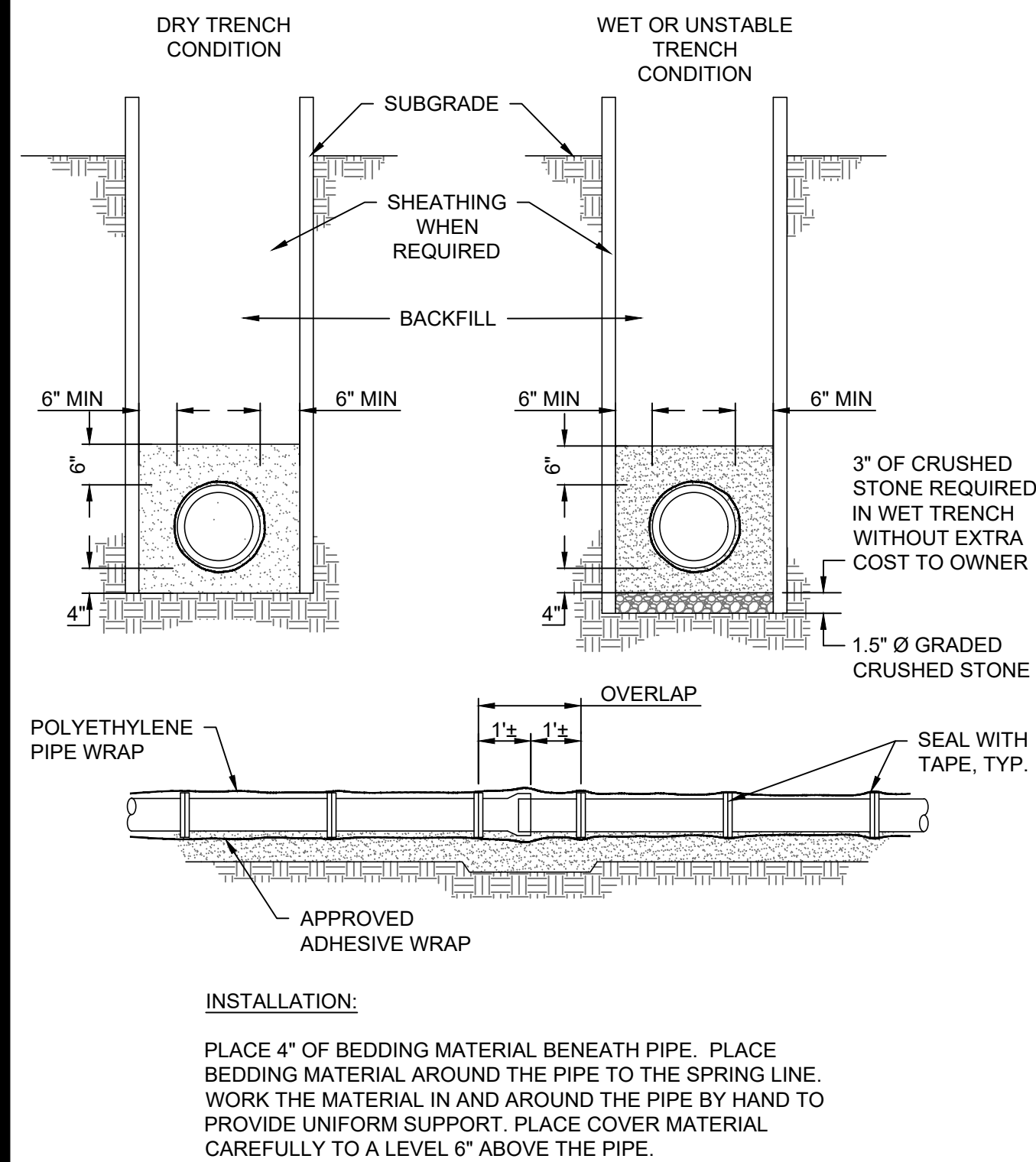
DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS./SQ. FT.

2 BUTTRESS DETAIL
C 6.2 NO SCALE

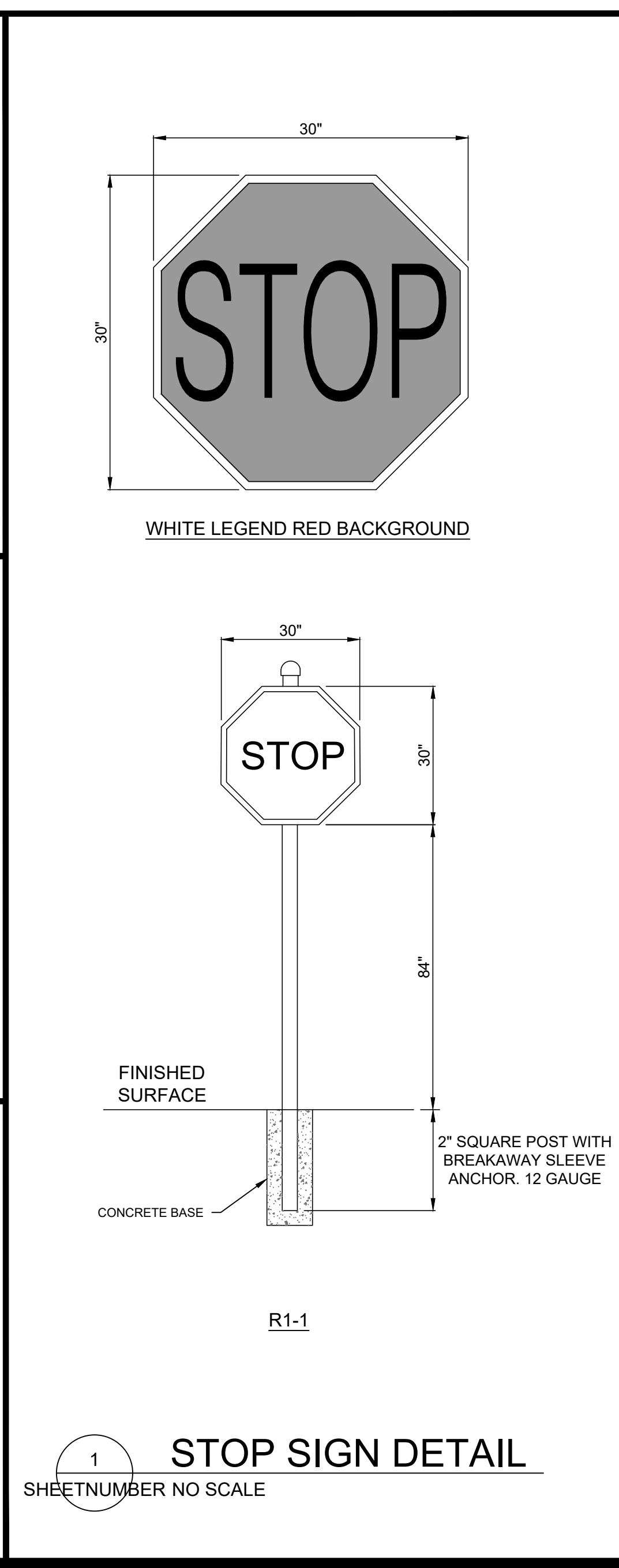
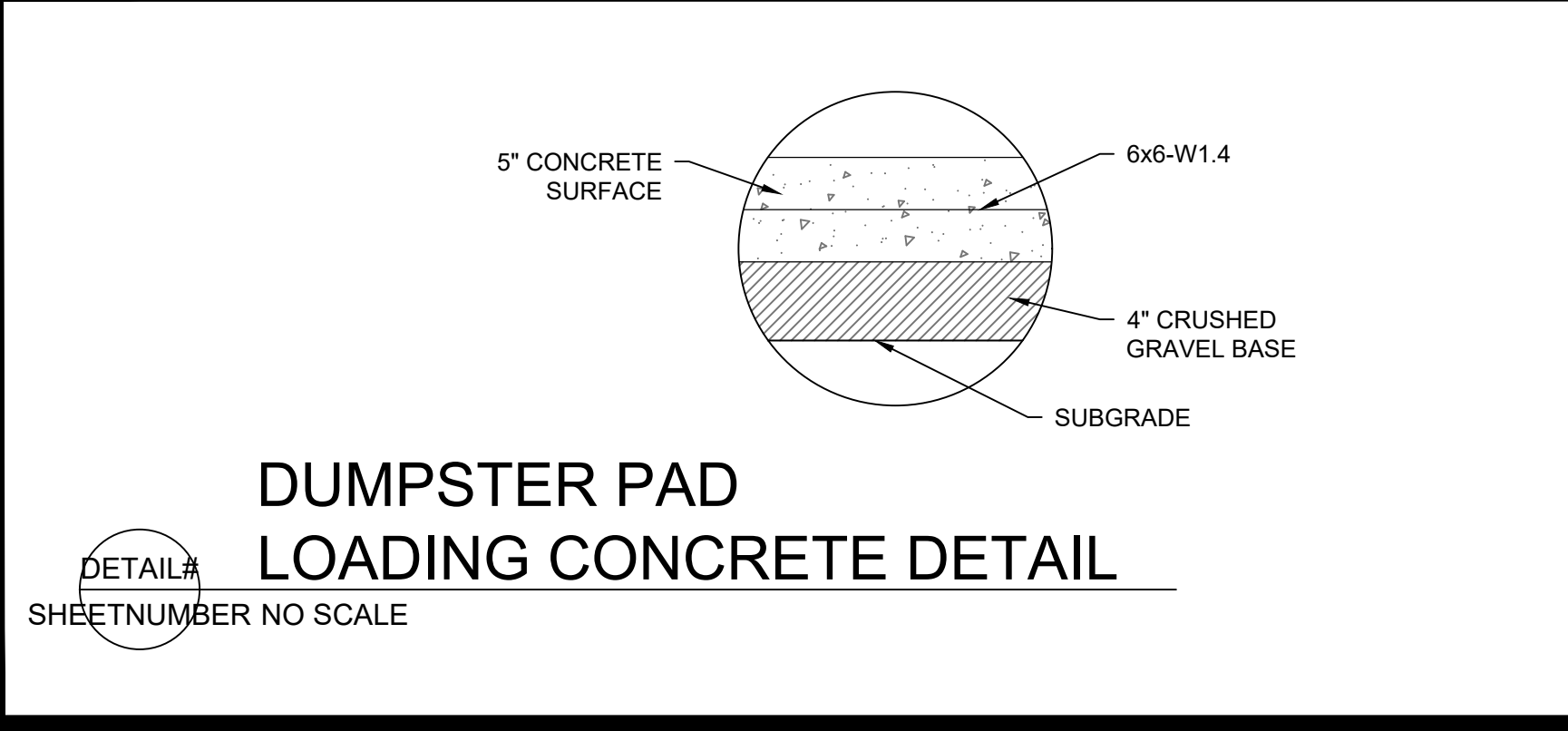
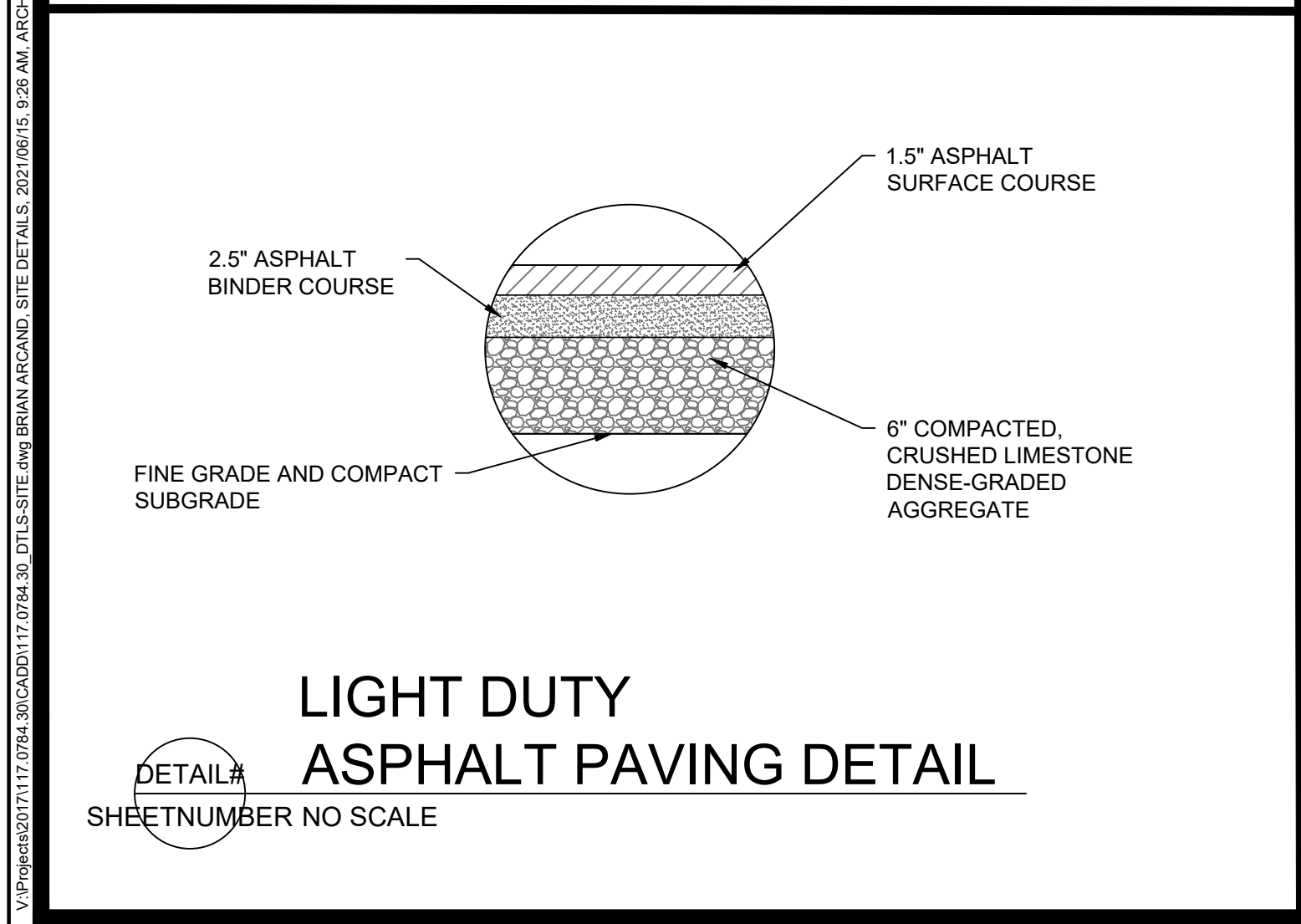
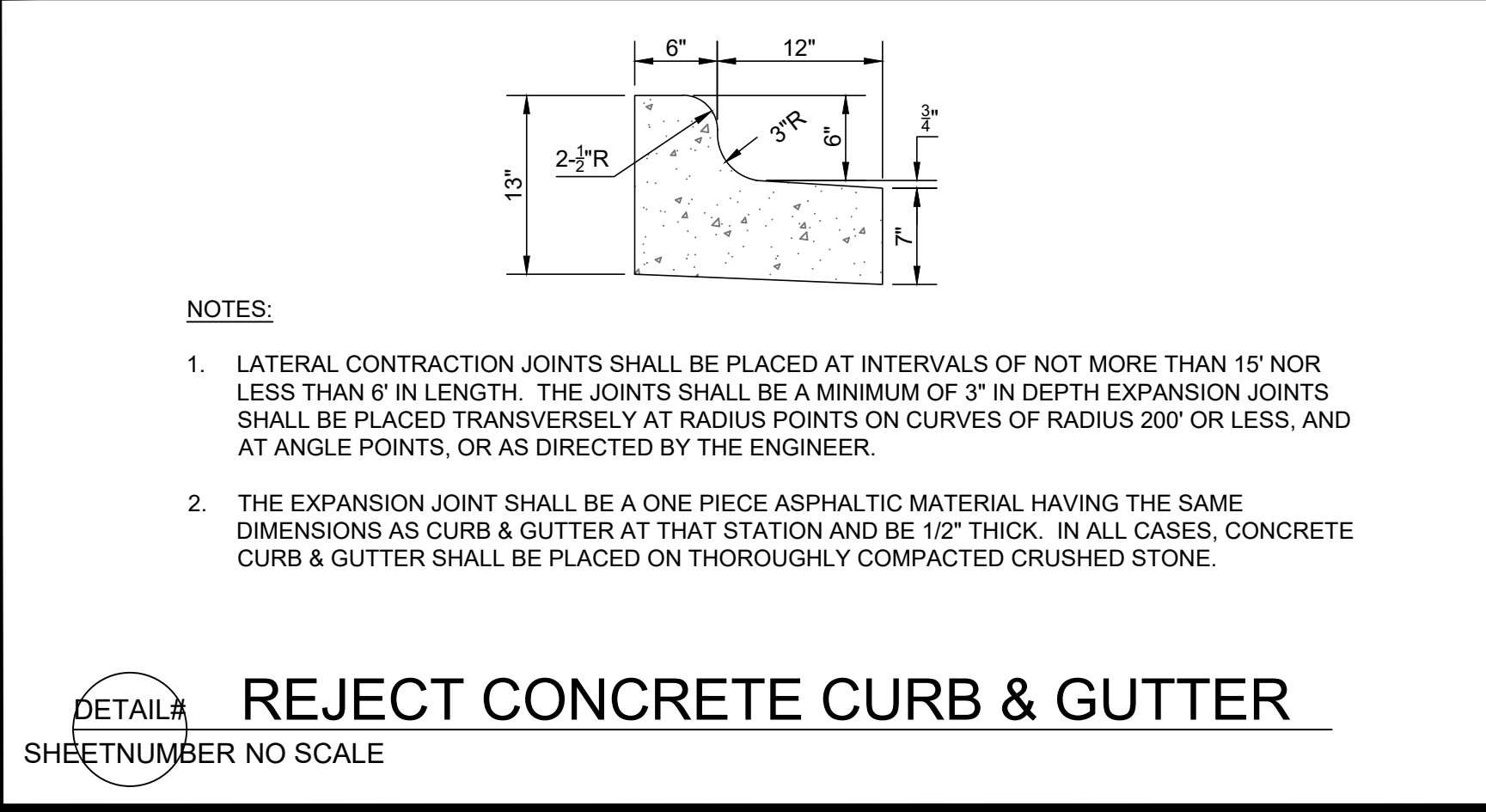
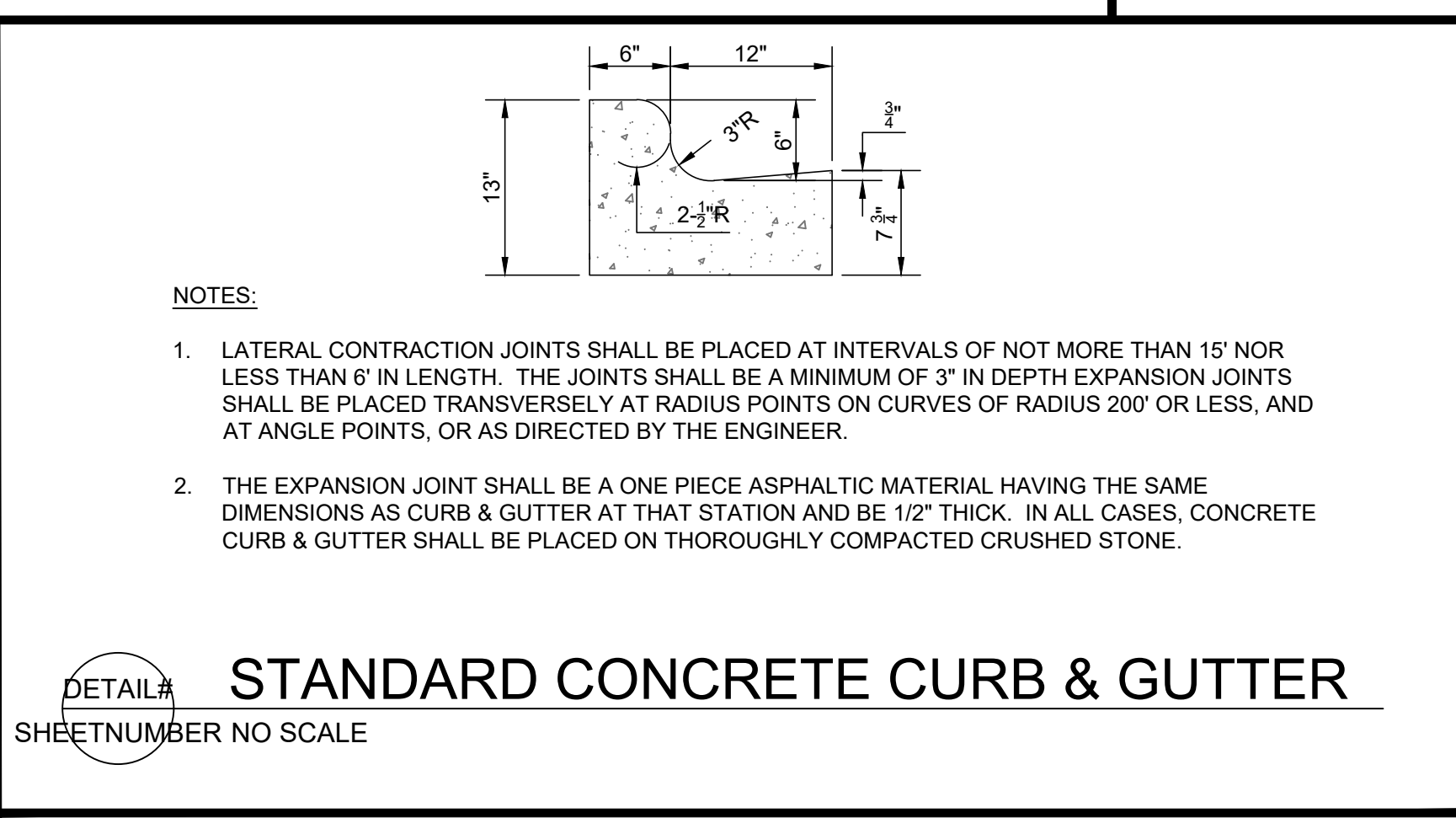
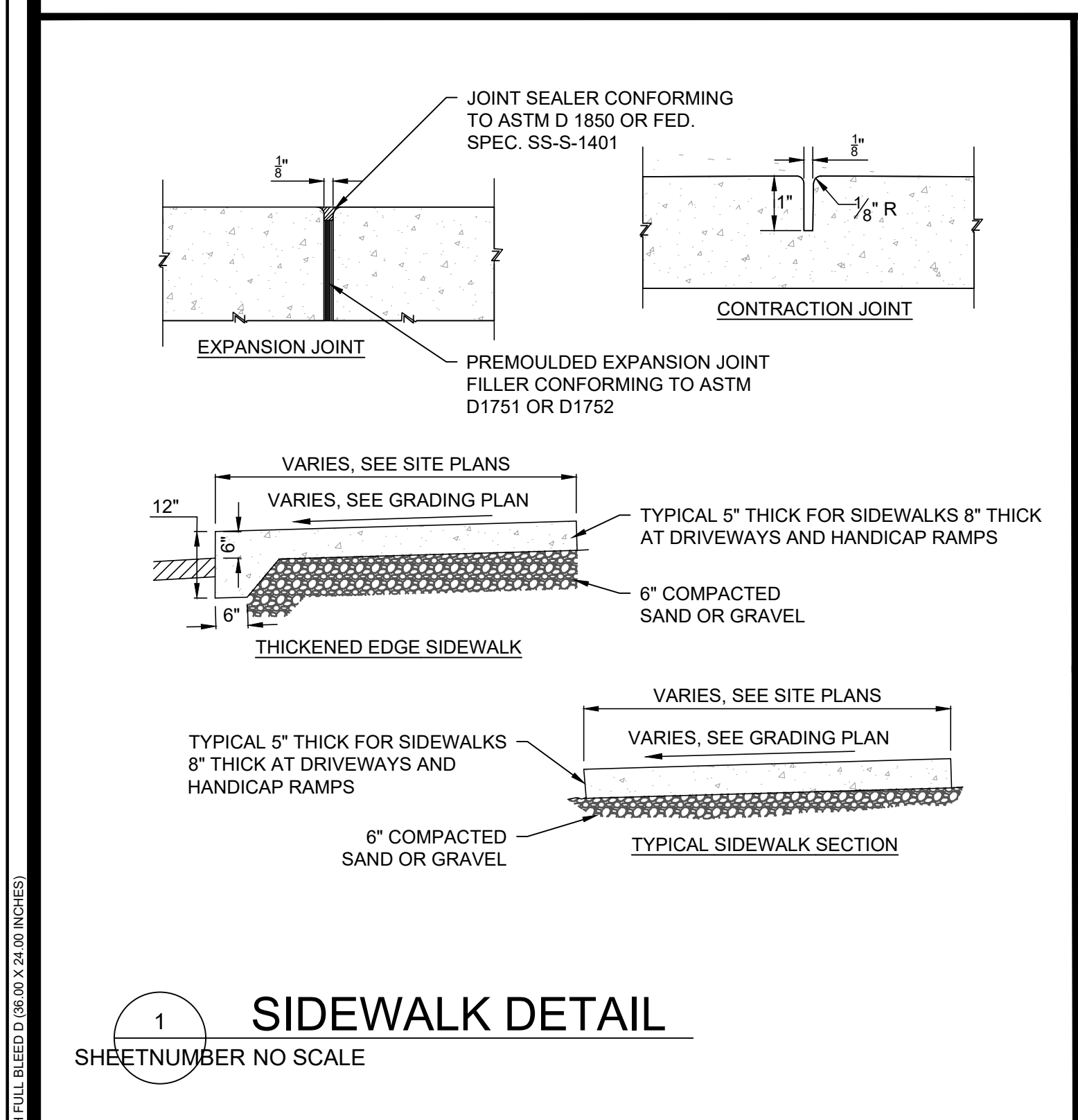
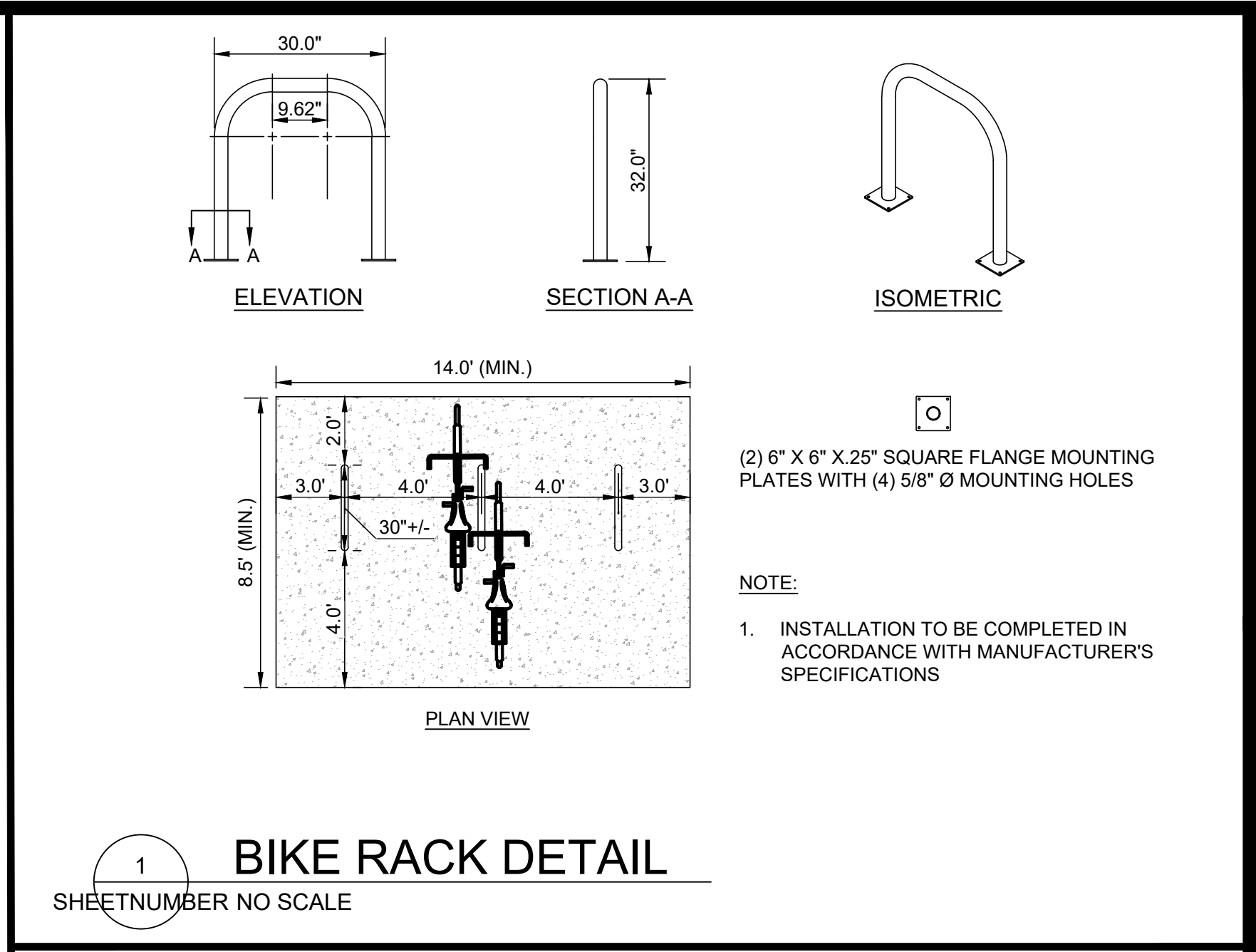
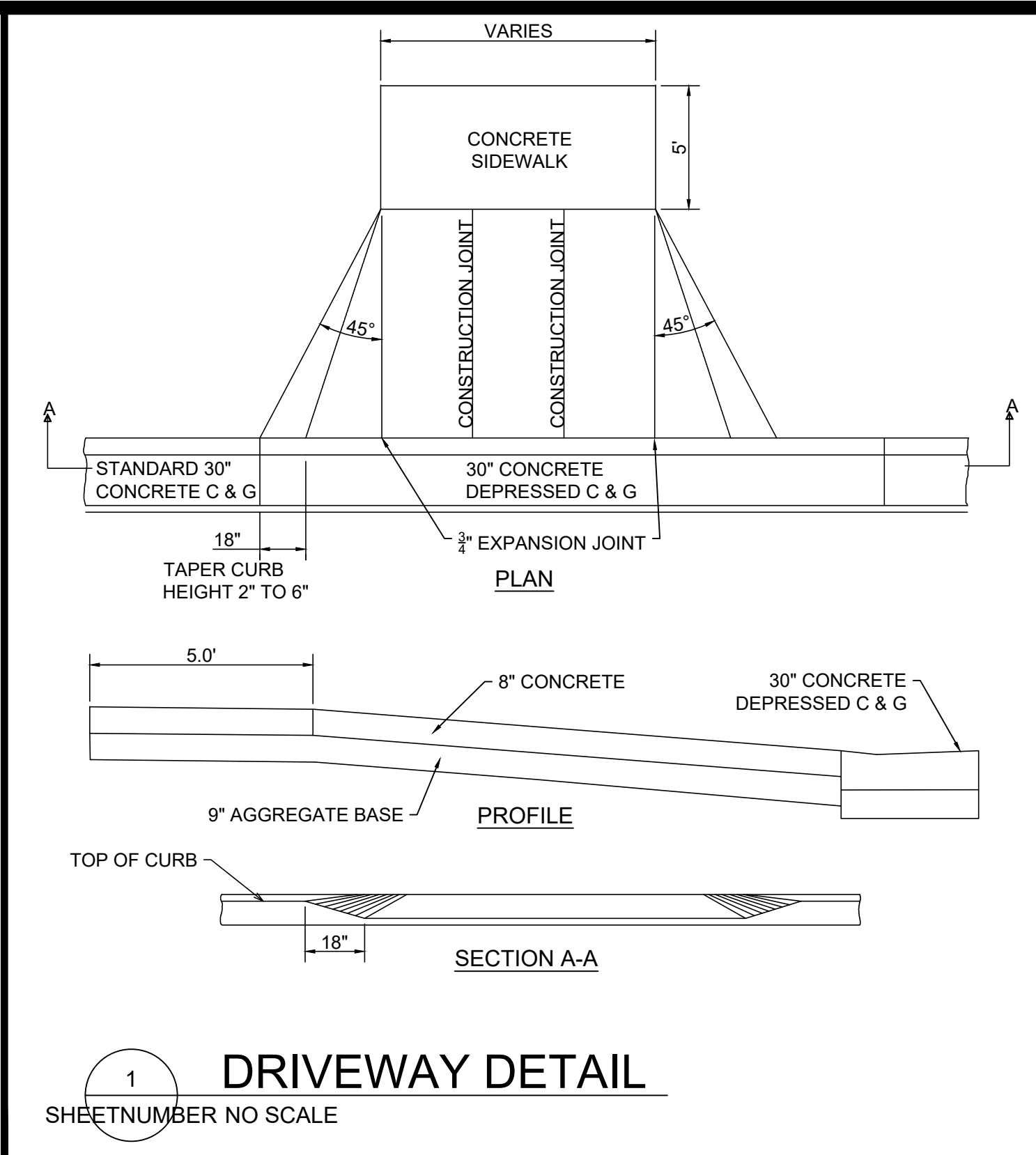
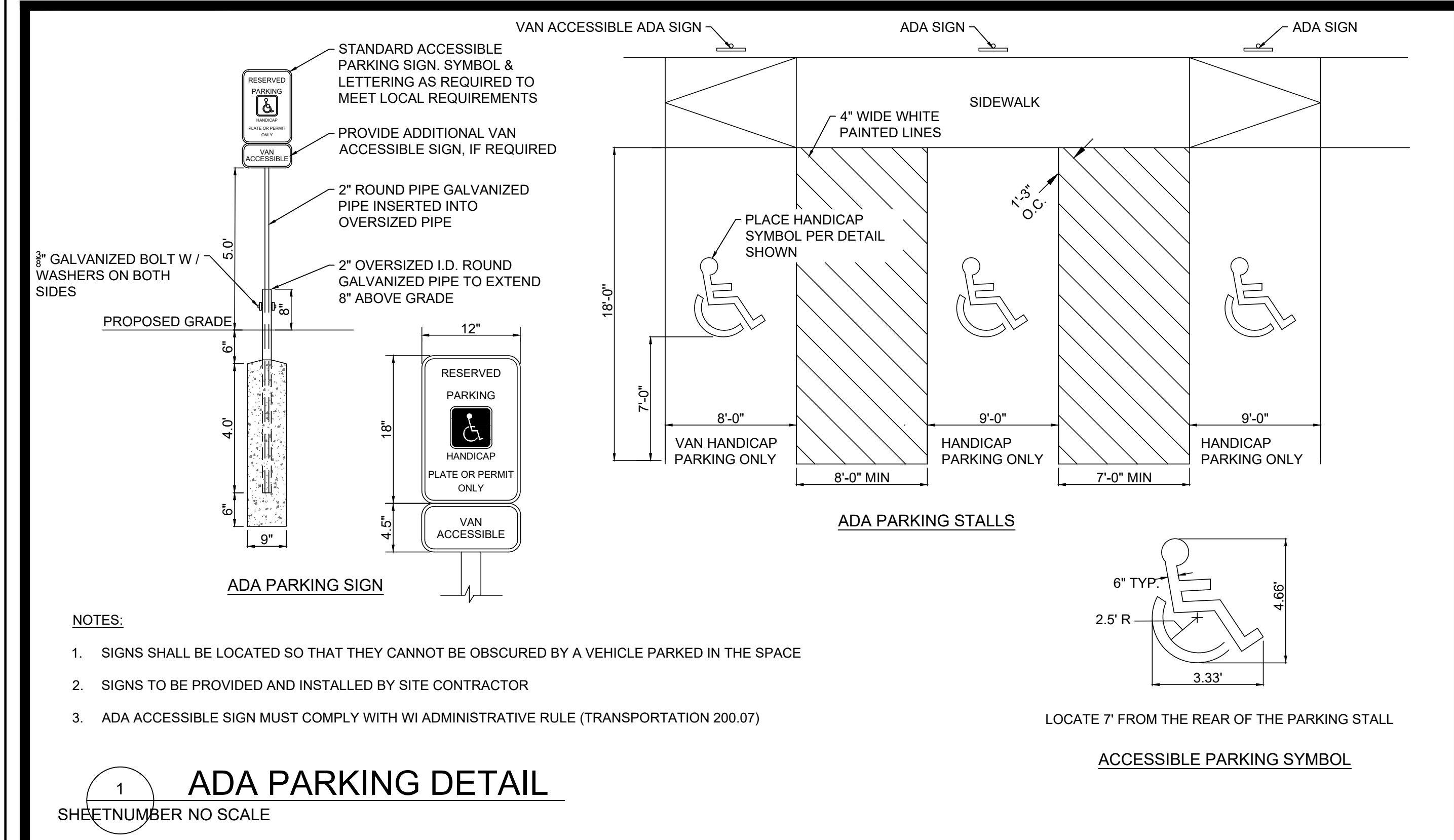


- GENERAL NOTES:
- THE SIDE PROTECTION INSTALLATION SHALL BE USED WHERE FROST WILL PENETRATE BELOW THE PIPE INVERT.

3 WATER PIPE INSULATION DETAIL
C 6.2 NO SCALE



4 WATER PIPE BEDDING DETAIL
C 6.2 NO SCALE



PAVEMENT AND CURB NOTES

- THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O. T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (*-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-**) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE PG(**), AND LOWER LAYERS SHALL BE PG(**).
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (**), AND THE LOWER LAYER PAVEMENT SHALL BE (**).
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:
SECTION 415 FOR CONCRETE PAVEMENT
SECTION 601 FOR CONCRETE CURB AND GUTTER
SECTION 602 FOR CONCRETE SIDEWALKS.
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
ADA SYMBOLS: BLUE OR PER LOCAL CODE
FIRE LANES: PER LOCAL CODE
EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW

NOTE: PAVEMENT SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER. MISSING INFORMATION ABOVE, DESIGNATED WITH (*), SHALL BE FILLED IN PER GEOTECHNICAL REPORT. CAUTION: INFORMATION BELOW SHALL BE USED ONLY AS A GUIDE.

* DENSE GRADED BASE GRADATIONS: 3-INCH, 1 1/4-INCH, OR 3/4-INCH (TYPICALLY 1 1/4-INCH)

** HMA SUPERPAVE TYPES: E-0.3, E-1, E-3, E-10, E-30 (TYPICALLY E-0.3 OR E-1 FOR MOST RESIDENTIAL AND COMMERCIAL PROJECTS)

*** PG BINDERS:
64-22 BASIC ASPHALT, TYPICALLY USED FOR PARKING LOTS
58-28 RECOMMENDED FOR OVERLAY PROJECTS
64-28 POLYMER ADDED, HIGH COST ASPHALT, LARGEST RANGE OF TEMP.
UPPER LAYER PG64-28, PG64-22, OR PG58-28
LOWER LAYER PG64-22 (IF UPPER LAYER IS PG64-xx OR HIGHER), OR PG58-28

**** HMA AGGREGATE GRADATIONS: 37.5 MM, 25.0 MM, 19.0 MM, 12.5 MM, 9.5 MM (TYPICALLY 12.5 MM FOR UPPER LAYER, 19.0 MM FOR LOWER LAYER)



ISSUED
Issued for Land Use & UDC - July 18, 2018
Issued for Revision to Previously Approved Plans
- June 16, 2021

PROJECT TITLE
**Mixed-Use
Development**

5535 University Ave.
Madison, WI
(Residential)

5541, 5545 & 5549
University Ave.
(Commercial)

SHEET TITLE

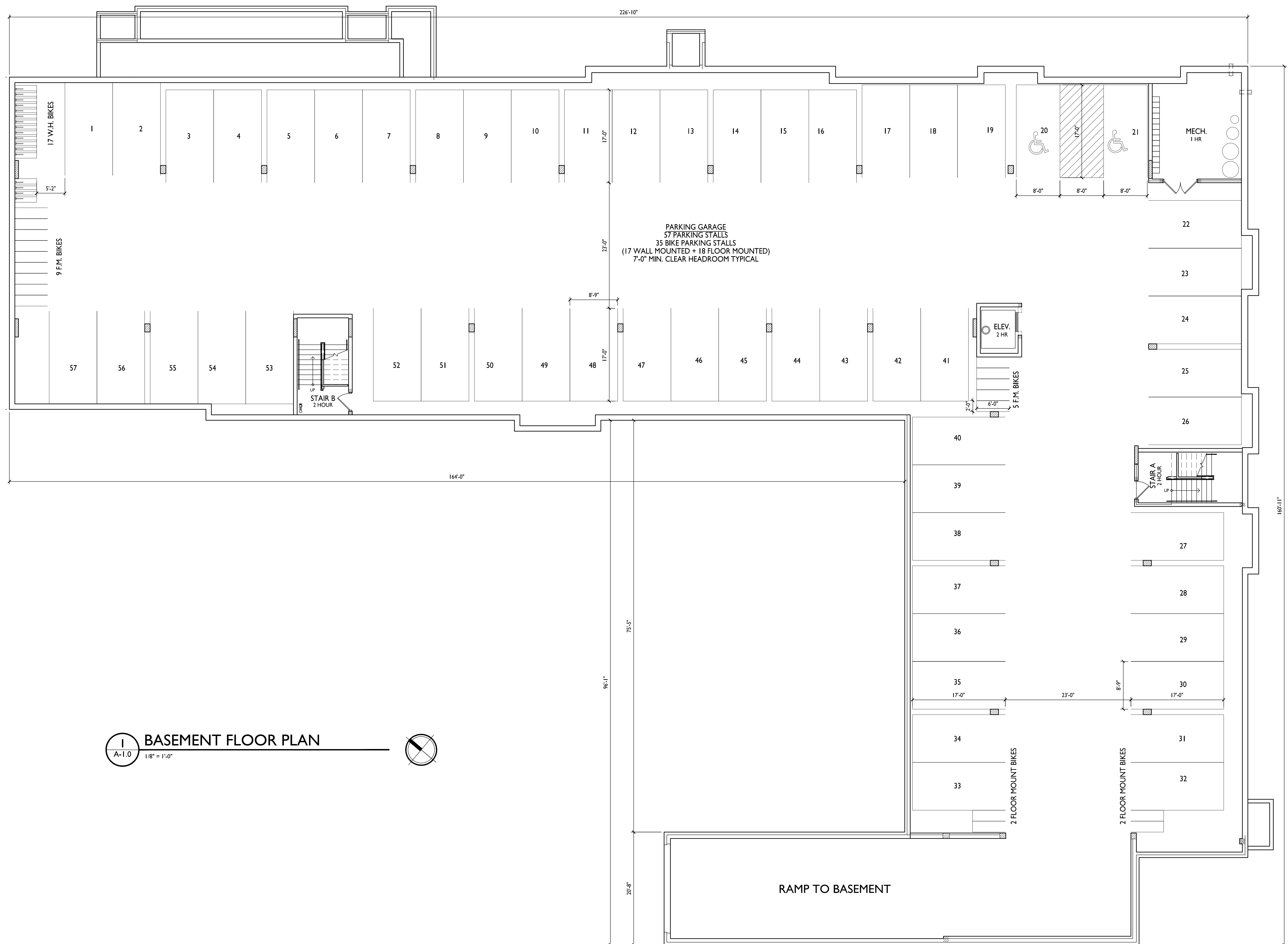
Basement Floor Plan

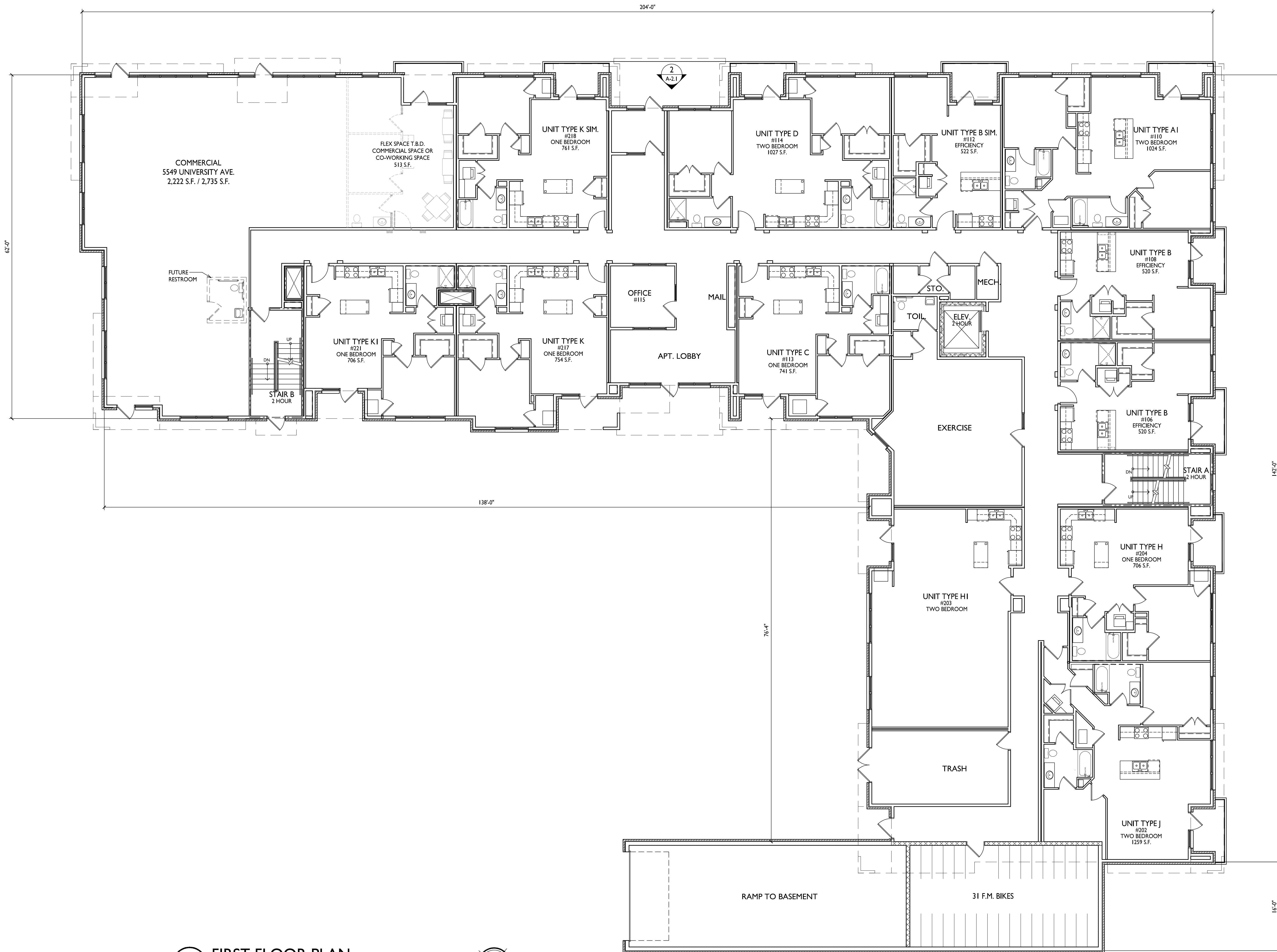
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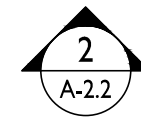
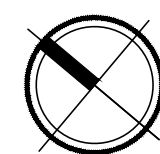
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1
A-1.1
FIRST FLOOR PLAN
1/8" = 1'-0"



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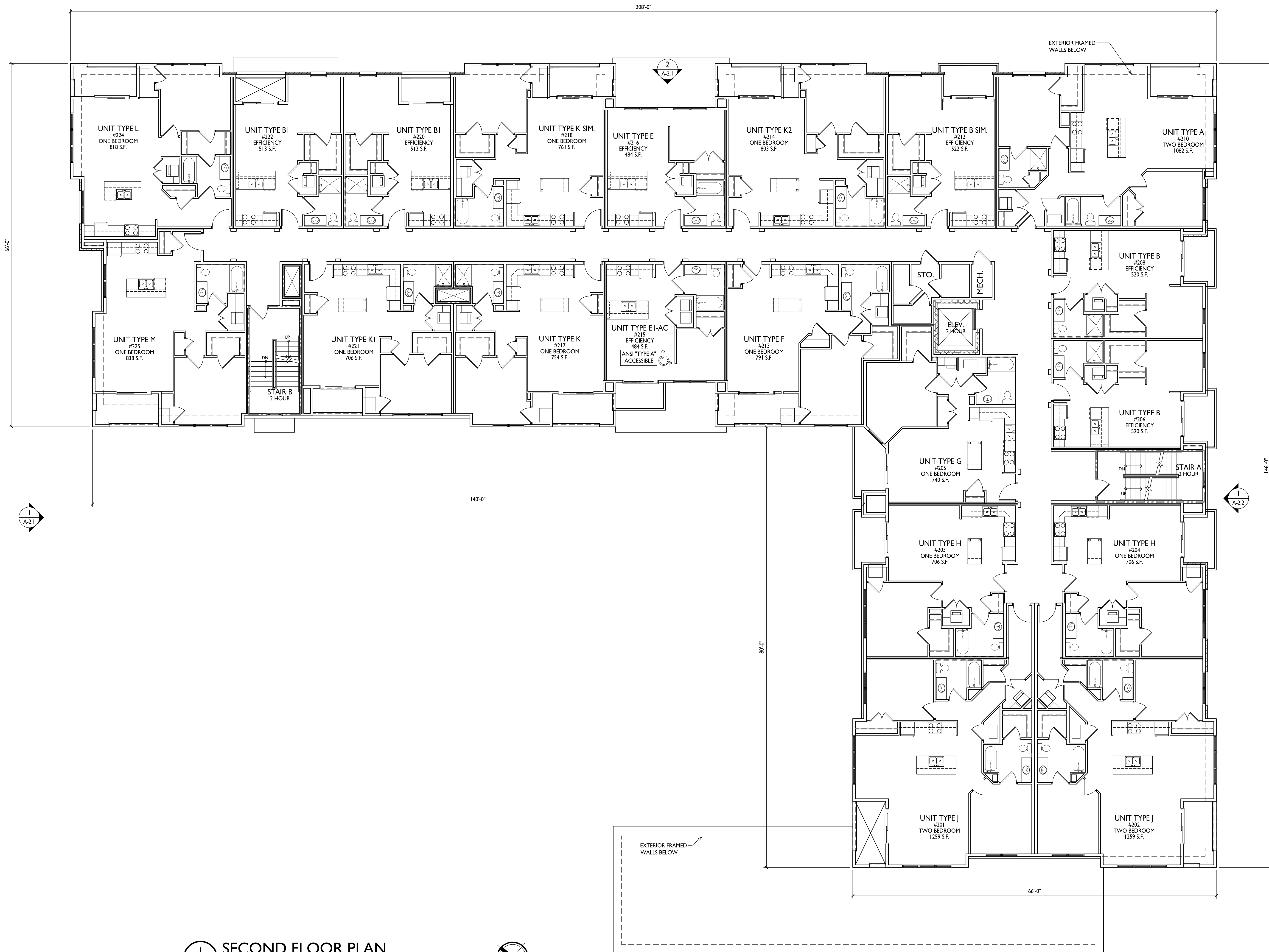
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(Commercial)

SHEET TITLE
First Floor Plan

SHEET NUMBER

A-1.1

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5541, 5545 & 5549
University Ave.
(Commercial)

SHEET TITLE
Second Floor Plan

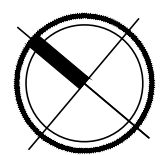
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A-1.2

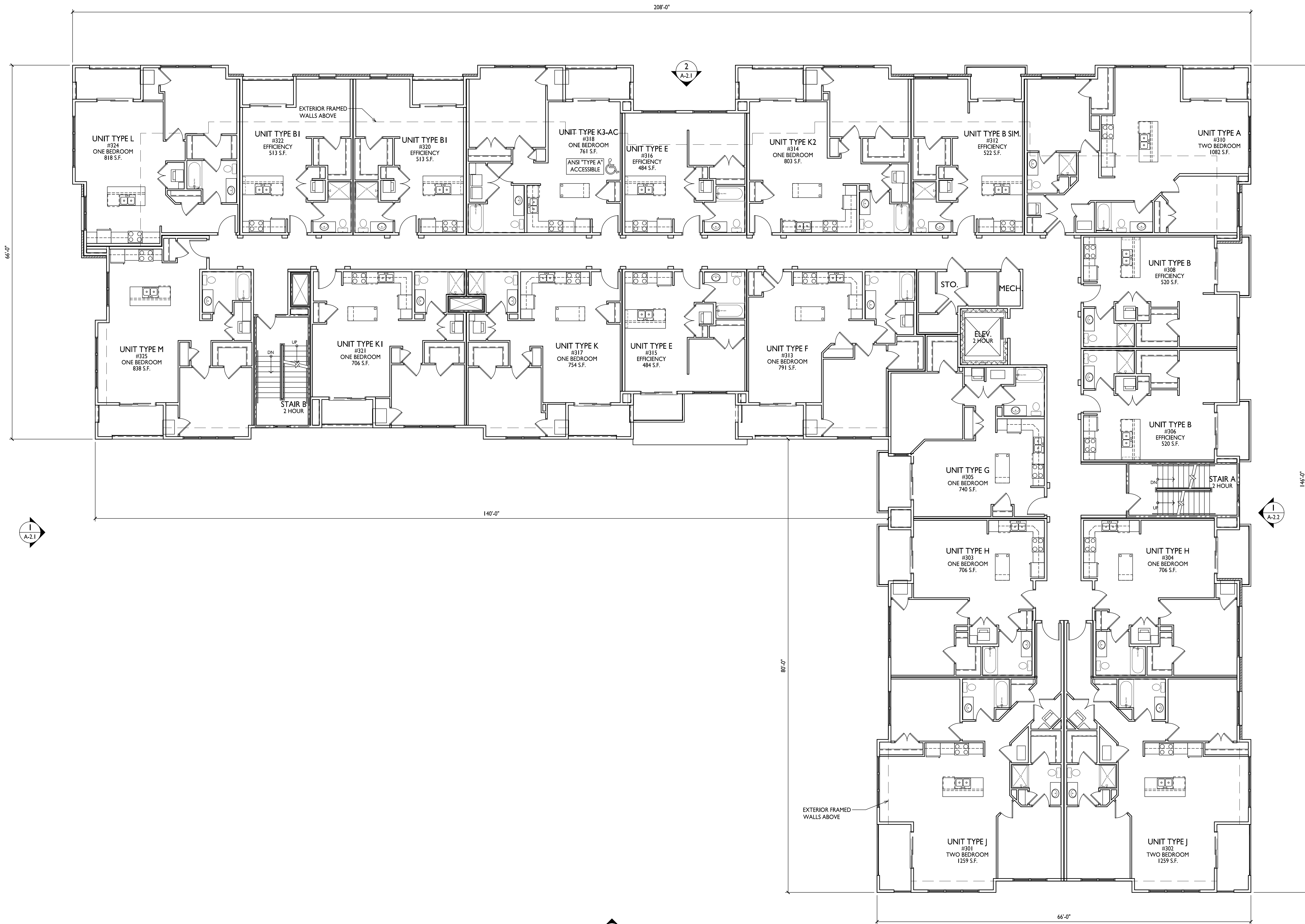
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1
A-1.2
SECOND FLOOR PLAN
1/8" = 1'-0"



2
A-2.2



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PROJECT TITLE
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University Ave.
(Commercial)

SHEET TITLE
Third Floor Plan

SHEET NUMBER

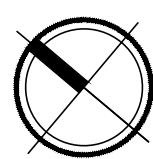
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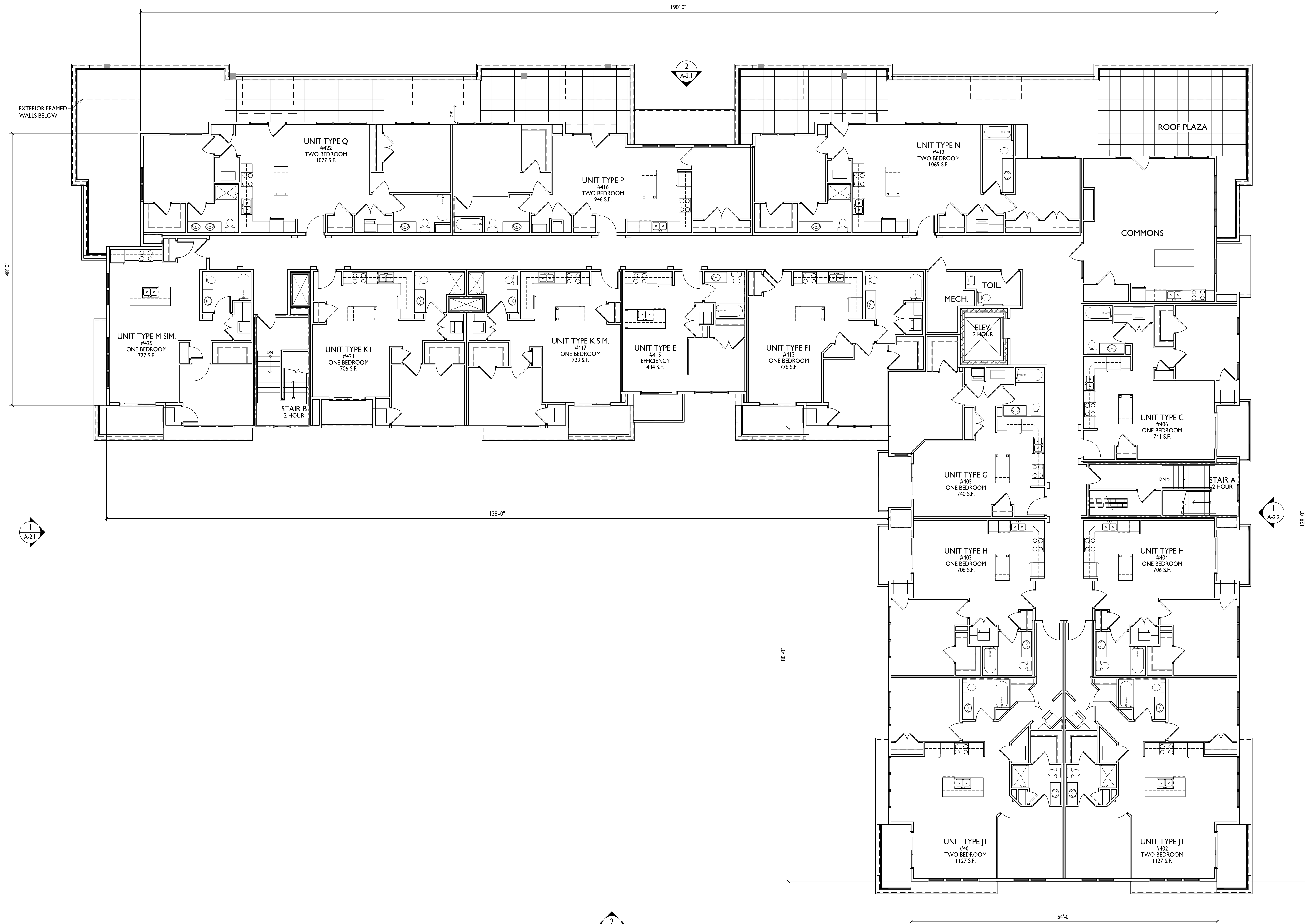
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1
A-1.3
THIRD FLOOR PLAN
1/8" = 1'-0"

2
A-2.2





FOURTH FLOOR PLAN
1/8" = 1'-0"



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PROJECT TITLE
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SHEET TITLE
Fourth Floor Plan

SHEET NUMBER

A-1.4

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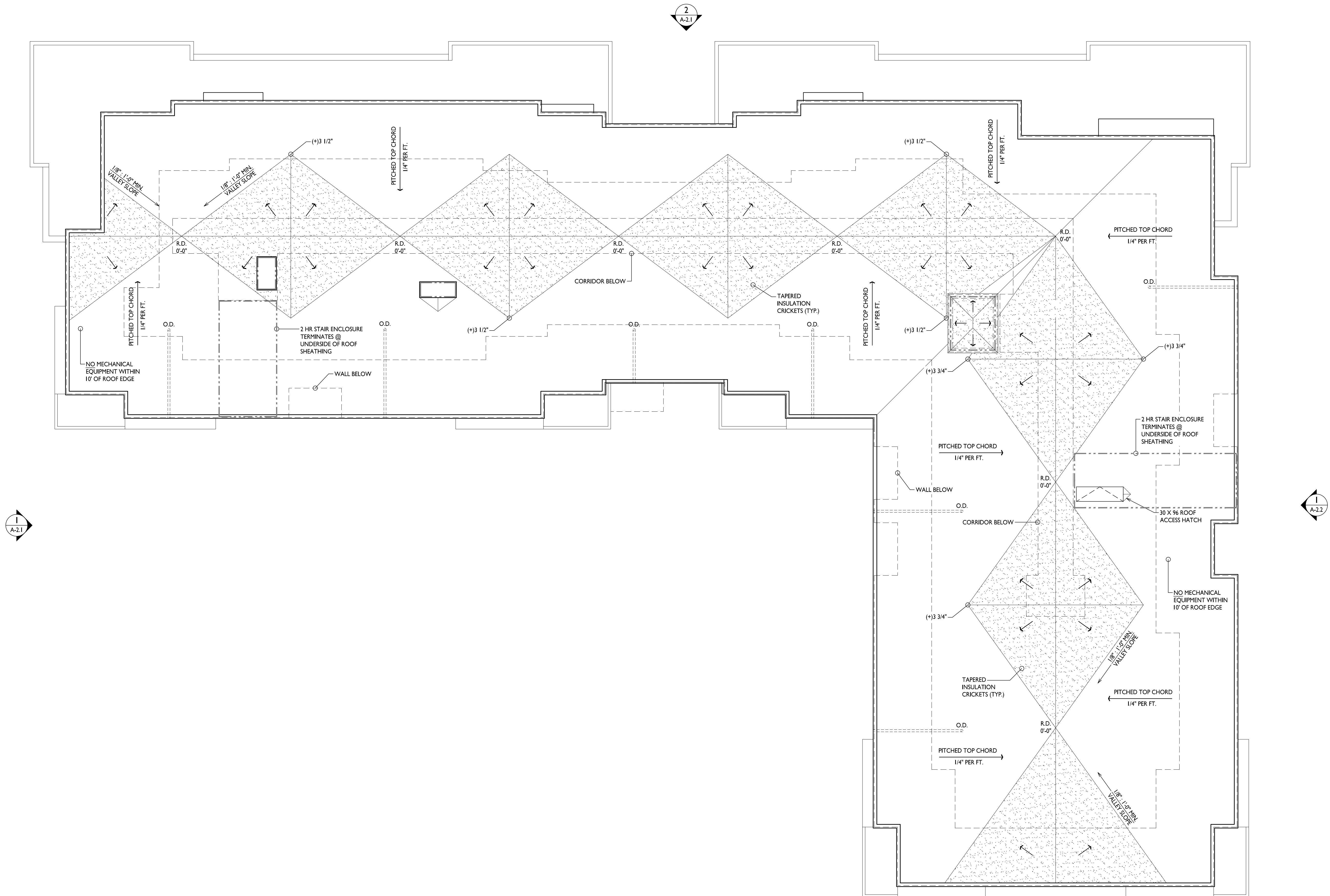
SHEET TITLE
Roof Plan

SHEET NUMBER

A-1.5

PROJECT NO. **1735**

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1
A-1.5
1/8" = 1'-0"

ROOF PLAN



EXTERIOR MATERIAL SCHEDULE		
1	BALCONY	METAL - SW7026 GRIFFIN
2	BRICK VENEER	
	BRICK MORTAR	
	METAL FLASHING AT BRICK	
3	PRECAST	ROCKFAST - WHEATSTONE
4	HORIZONTAL SIDING & TRIM	COMPOSITE - SW7026 GRIFFIN
5	HORIZONTAL SIDING & TRIM @ BAYS	COMPOSITE - SW6117 SMOKEY TOPAZ
	METAL FLASHING AT SIDING	
6	WINDOWS	ANDERSON - CANVAS
	SEALANT AT WINDOWS	
7	RAILING	ALUMINUM - DARK BRONZE
8	GARAGE DOORS	MATCH BRICK
9	BUILDING ENTRANCES	
10	CAST STONE	
	CAST STONE MORTAR	
	METAL FLASHING AT CAST STONE	
11	DECK SKIRT	
	DECK BOARDS	
	METAL FLASHING AT DECK	
	T & G SOFFIT BOARDS	



1 WEST ELEVATION
A-2.1 1/8"=1'-0"



2 NORTH ELEVATION
A-2.1 1/8"=1'-0"

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Issued for Revision to Previously Approved Plans - June 16, 2021

PROJECT TITLE
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SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.1



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PROJECT TITLE
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(Commercial)

SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.2

PROJECT NO. 1735

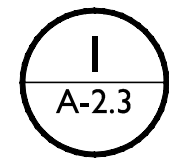
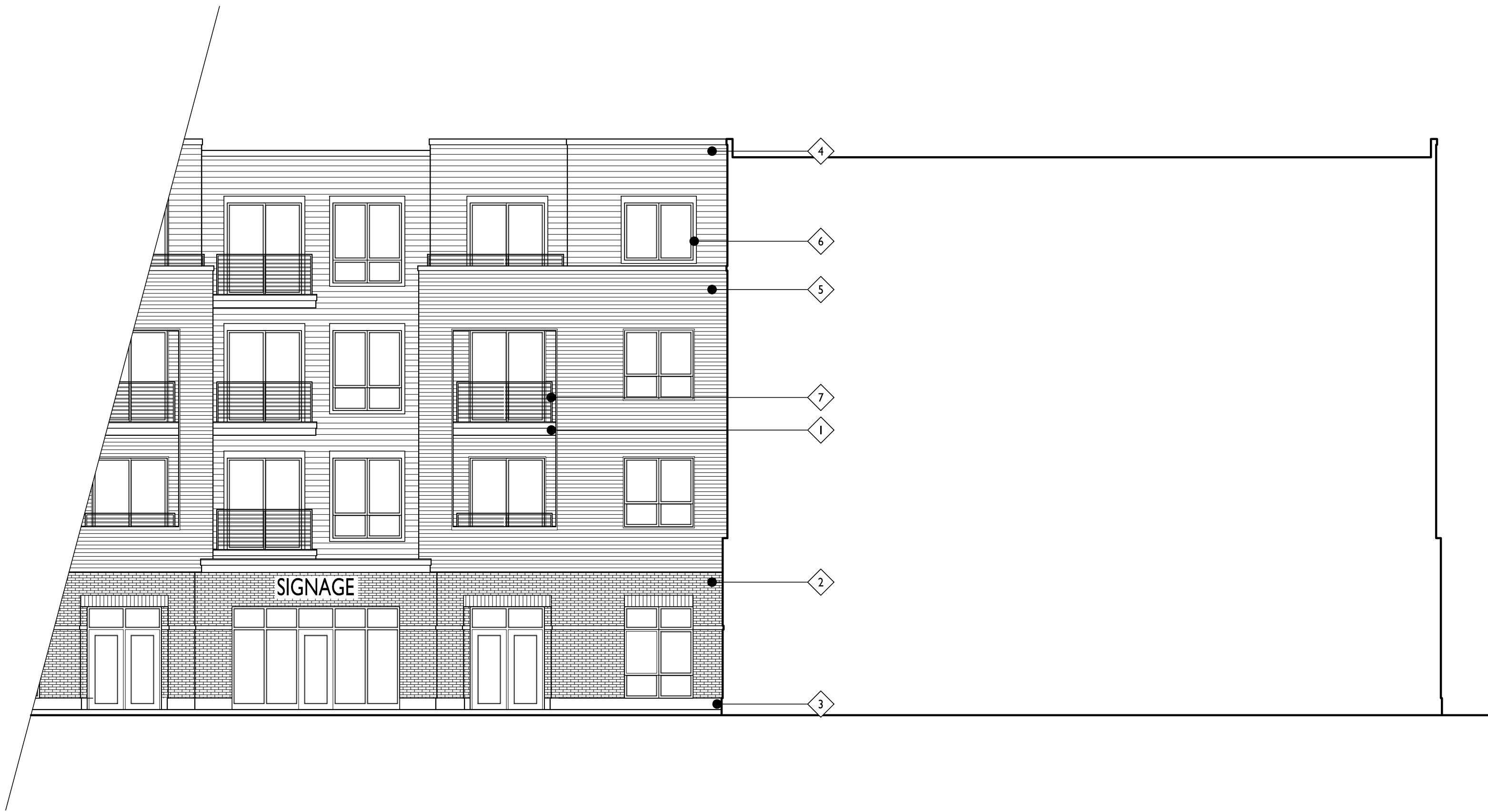
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1 EAST ELEVATION
A-2.2
1/8"=1'-0"



2 SOUTH ELEVATION
A-2.2
1/8"=1'-0"



HIDDEN SOUTH ELEVATION

1/8"=1'-0"



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PROJECT TITLE
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Development**

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SHEET TITLE
**Exterior
Elevations**

SHEET NUMBER

A-2.3

PROJECT NO. **1735**

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EXTERIOR MATERIAL SCHEDULE	
1 BALCONY	METAL - SW7026 GRIFFIN
2 BRICK VENEER	
BRICK MORTAR	
METAL FLASHING AT BRICK	
3 PRECAST	ROCKFAST - WHEATSTONE
4 HORIZONTAL SIDING & TRIM	COMPOSITE - SW7026 GRIFFIN
5 HORIZONTAL SIDING & TRIM @ BAYS	COMPOSITE - SW6117 SMOKEY TOPAZ
METAL FLASHING AT SIDING	
6 WINDOWS	ANDERSON - CANVAS
SEALANT AT WINDOWS	
7 RAILING	ALUMINUM - DARK BRONZE
8 GARAGE DOORS	MATCH BRICK
9 BUILDING ENTRANCES	
10 CAST STONE	
CAST STONE MORTAR	
METAL FLASHING AT CAST STONE	
11 DECK SKIRT	
DECK BOARDS	
METAL FLASHING AT DECK	
T & G SOFFIT BOARDS	



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1 WEST ELEVATION
A-2.1
1/8"=1'-0"



2 NORTH ELEVATION
A-2.1
1/8"=1'-0"

PROJECT TITLE
**Mixed-Use
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5535 University Ave.
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SHEET TITLE
**Exterior
Elevations**

SHEET NUMBER

A-2.1



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1 EAST ELEVATION
A-2.2
1/8"=1'-0"



2 SOUTH ELEVATION
A-2.2
1/8"=1'-0"

PROJECT TITLE
Mixed-Use
Development

5535 University Ave.
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SHEET TITLE
Exterior
Elevations

SHEET NUMBER

A-2.2

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5535 UNIVERSITY AVE.
MIXED-USE DEVELOPMENT





5535 UNIVERSITY AVE.
MIXED-USE DEVELOPMENT





5535 UNIVERSITY AVE.
MIXED-USE DEVELOPMENT





5535 UNIVERSITY AVE.
MIXED-USE DEVELOPMENT





SIGNAGE

SIGNAGE

5535 UNIVERSITY AVE.
MIXED-USE DEVELOPMENT



