



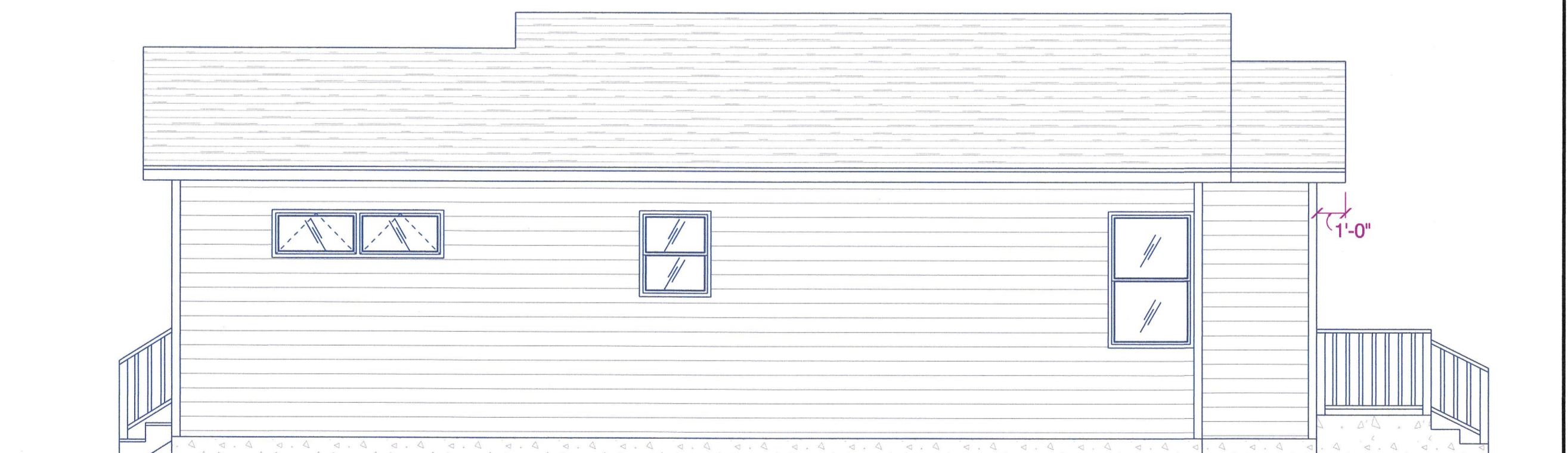
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

1729 SCHLIMGEN AVE. MADISON, WI 53704



Lumber and HomeWorks

613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: 1/4"=1'-0"

Date: 03-01-21

DRAWN BY: Brian K. & Chris D.

ELEVATIONS

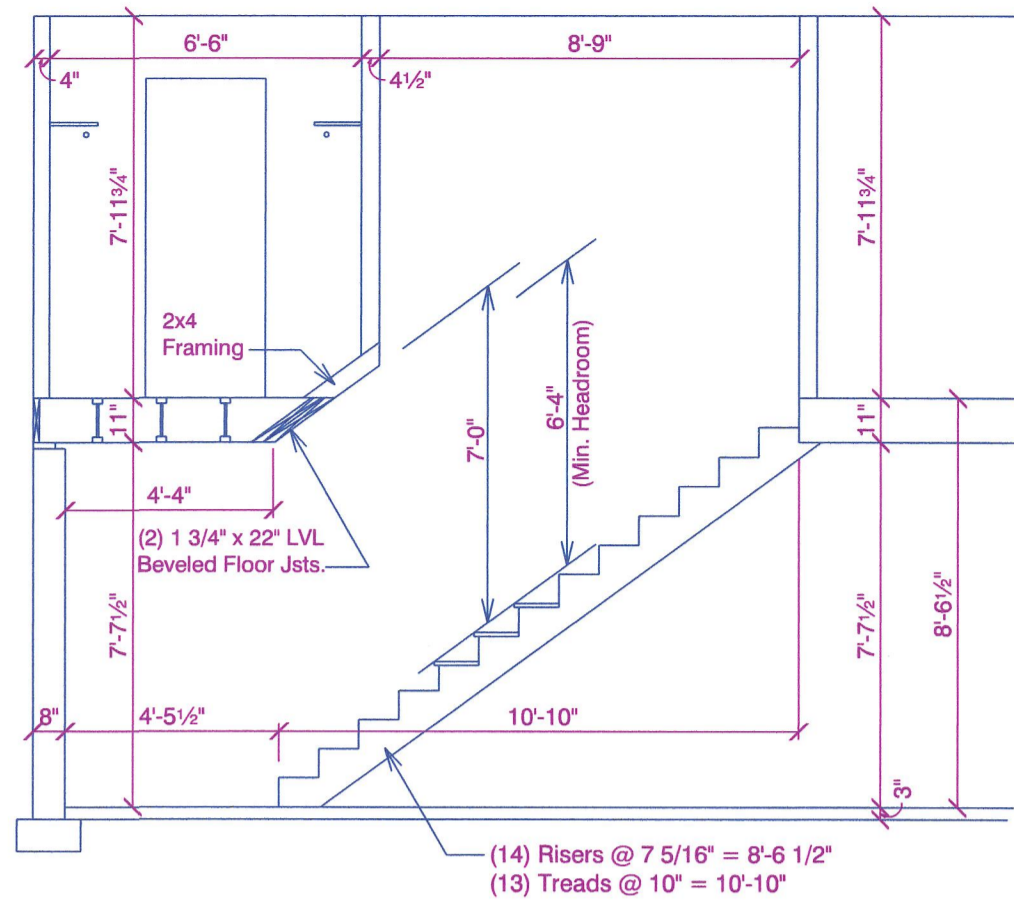
LOLITA MARTENS

Revised: 03-09-21

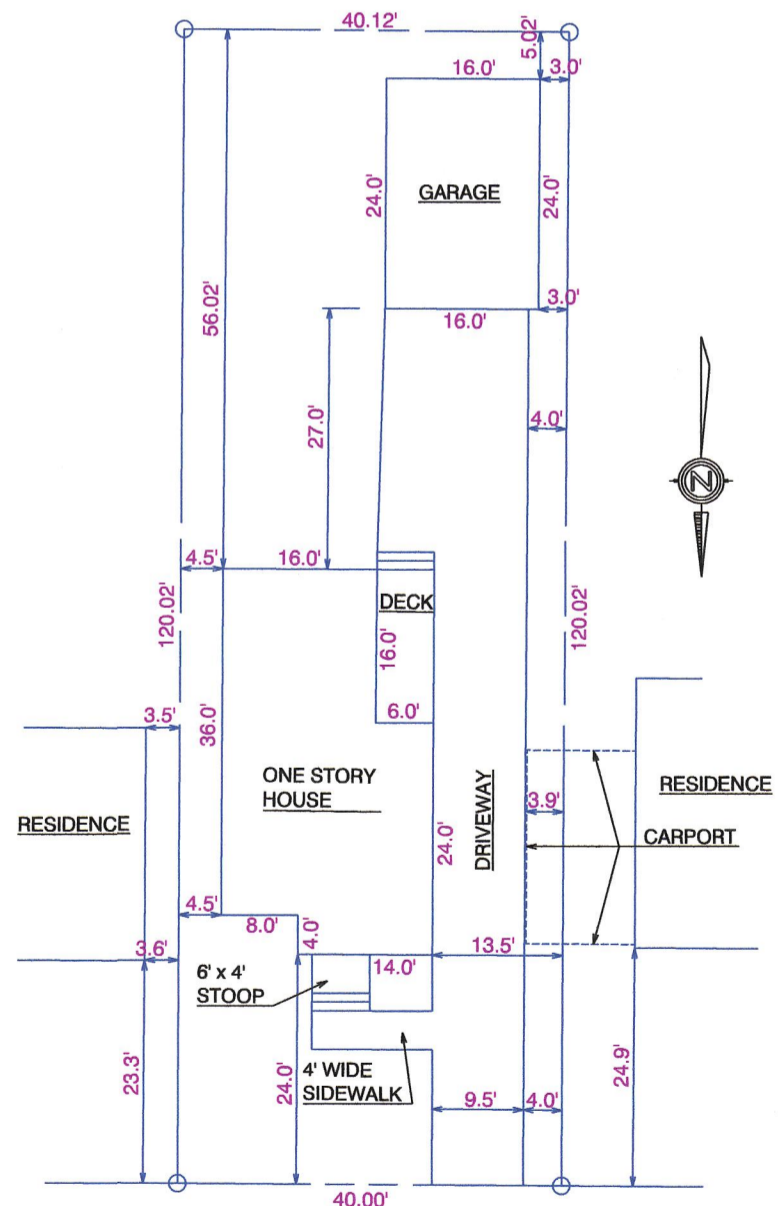
PLAN #609-21

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.

DRAWING NUMBER:
1 OF 5



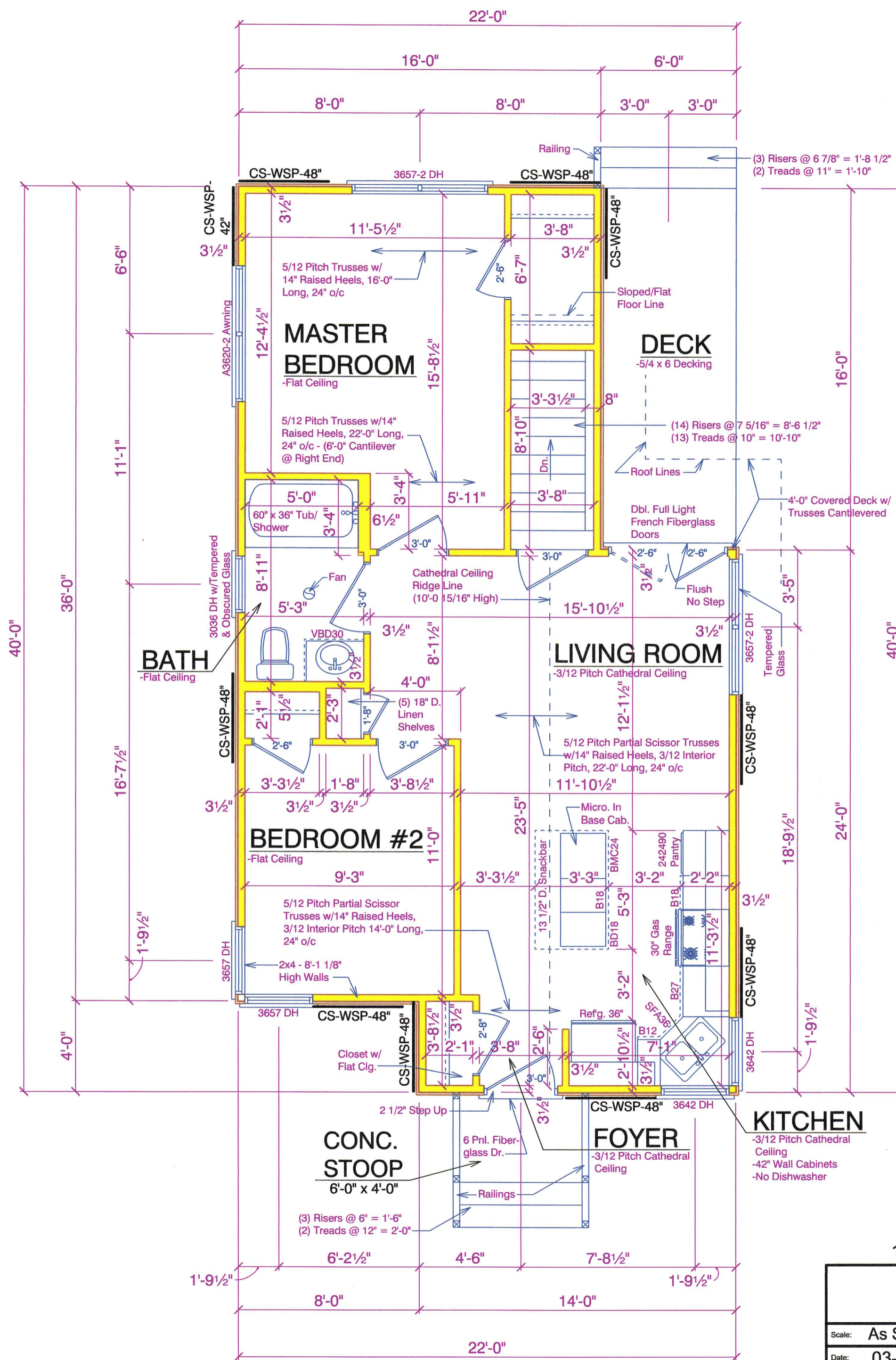
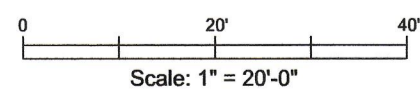
STAIR SECTION
Scale: 1/4" = 1'-0"



SCHLIMGEN AVE.

LEGAL DESCRIPTION
LOT 11, BLOCK 1, CLYDE A. GALLAGHER'S
SHERMAN AVENUE SUBDIVISION, IN THE CITY
OF MADISON, DANE COUNTY, WISCONSIN

PLOT PLAN



PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0" 752 S.F.

Revised: 03-09-21

FIRST FLOOR WALL BRACING NOTES:

- Continuous Sheathing - Wood Structural Panels (CS-WSP) Minimum Bracing Thickness - 3/8" For A Max. Of 16" o/c Stud Spacing & 7/16" For A Max. Of 24" o/c Stud Spacing w/ Continuous Wall Sheathing - Fasteners: 6d Common Nail Or 8d Box Nail (2 3/8" Long x 0.113" Diam.) Or 7/16" Or 1/2" Crown 16 Gauge Staples, 1 1/4" Long. 6" o/c On All Edges & 12" o/c Field (Nails). 3" o/c On All Edges & 6" o/c Field (Staples).
- All Vertical Joints Of Braced Wall Panels Shall Occur Over Common Stud. Horizontal Joints Shall Be Backed w/ 1/2" Thick Blocking.
- The Interior Side Of All Exterior Walls Shall Be Sheathed w/Min. 1/2" Gypsum Wall Board Unless Otherwise Permitted. All Edges Of Panel Type Wall Bracing Shall Be Attached To Framing Or Blocking.
- Each Braced Panel May Contain No More Than One Hole, Having A Maximum Dimension Of No More Than 10% Of The Least Dimension Of The Panel & Confined To The Middle 3/4 Of The Panel.

*22'-0" x 40'-0" Rectangle

*Front Wall
Wall Length - 22'-0", 2x4 - 10'-0 15/16" High Wall, Perpendicular
Wall Length - 40'-0", Roof Less Than 10'-0" High, 40' Wall =
6.0' Bracing, x 1.0 (Wind Exposure "B") x 1.0 (10' High Wall) x
1.0 (Interior Wall Surface) = 6'-0" Required Bracing

*Rear Wall
Wall Length - 22'-0", 2x4 - 10'-0 15/16" High Wall, Perpendicular
Wall Length - 40'-0", Roof Less Than 10'-0" High, 40' Wall =
6.0' Bracing, x 1.0 (Wind Exposure "B") x 1.0 (10' High Wall) x
1.0 (Interior Wall Surface) = 6'-0" Required Bracing

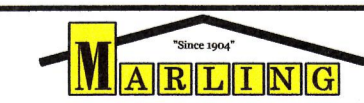
*Left Wall
Wall Length - 40'-0", 2x4 - 8'-1 1/8" High Wall, Perpendicular
Wall Length - 22'-0", Roof Less Than 10'-0" High, 30' Wall =
5.0', 20' Wall = 3.5', 5.0' - 3.5' / 10 = 1 13/16" x 2 = 3 5/8" +
3.5' = 3'-9 5/8" Bracing, x 1.0 (Wind Exposure "B") x .90
(8' High Wall) x 1.0 (Interior Wall Surface) = 3'-5 1/16 Or
4'-0" Required Bracing

*Right Wall
Wall Length - 40'-0", 2x4 - 8'-1 1/8" High Wall, Perpendicular
Wall Length - 22'-0", Roof Less Than 10'-0" High, 30' Wall =
5.0', 20' Wall = 3.5', 5.0' - 3.5' / 10 = 1 13/16" x 2 = 3 5/8" +
3.5' = 3'-9 5/8" Bracing, x 1.0 (Wind Exposure "B") x .90
(8' High Wall) x 1.0 (Interior Wall Surface) = 3'-5 1/16 Or
4'-0" Required Bracing

NOTES:

- All Dimensions Are Stud To Stud Or Stud To Centerline Of Opngs. Unless Noted
- All Headers In Load Bearing Walls Not Noted To Be (2) 2x10 HF Select. Struct.
- All LVL Beams Shown Are 2.0E, 2900 Fb Manufactured By LP SolidStart Engineered Wood Products
- Bottom Of New Window Headers To Be 6'-11 3/8" Above Sub Floor
- Windows To Be Alliance Double & Awning Vinyl Windows
- Gaurdrails Shall Be Constructed To Prevent The Through Passage Of A Sphere w/A Diameter Of 4 3/8" Or Larger & Shall Be Designed To Withstand A 200 LB. Load Applied In Any Direction.
- Water Proof Flooring In All Rooms
- Seal Openings (Air Leaks) Around Plumbing Stacks, Exhaust Fan Housing, Electrical Wires, Recessed Lights, Interior Partitions, HVAC Ducts, Attic Scuttle, Chimneys & Any Other Penetrations Into Attic.

1729 SCHLIMGEN AVE. MADISON, WI 53704



Lumber and HomeWorks

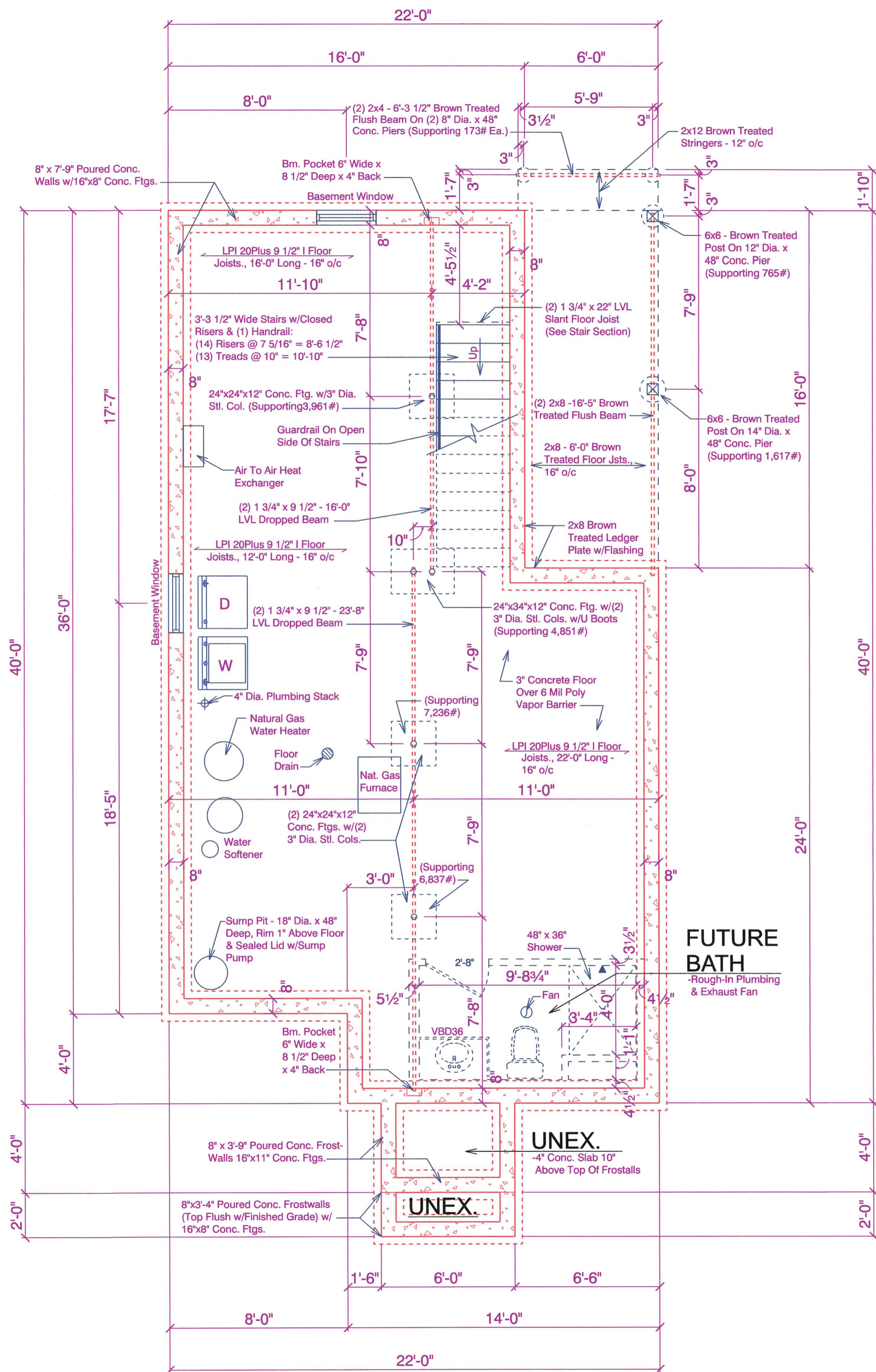
613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: As Shown	FIRST FLOOR PLAN, STAIR SECTION & PLOT PLAN	DRAWN BY: Brian K. & Chris D.
Date: 03-01-21		

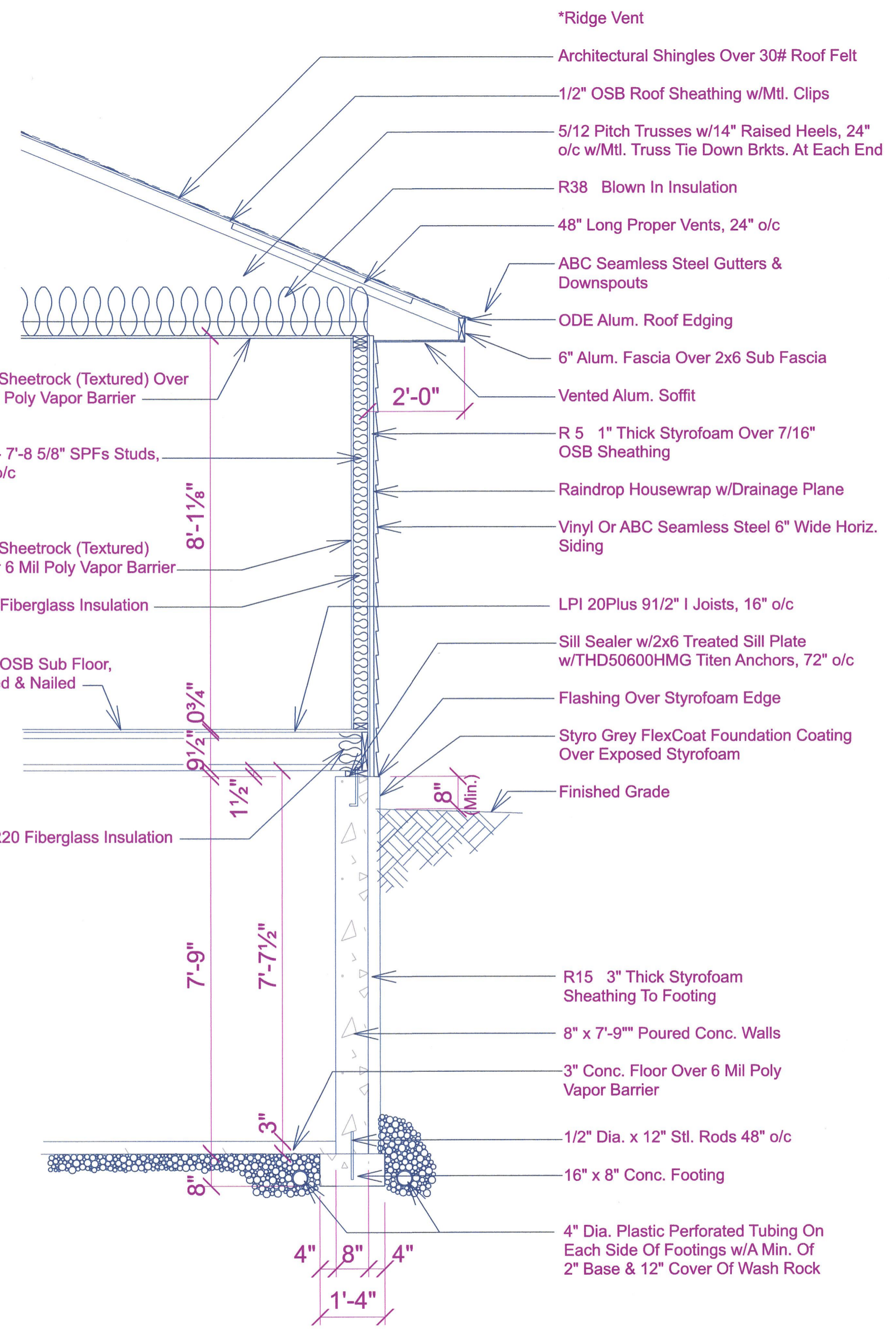
LOLITA MARTENS

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.

DRAWING NUMBER:
2 OF 5



FOUNDATION PLAN
Scale: 1/4" = 1'-0"



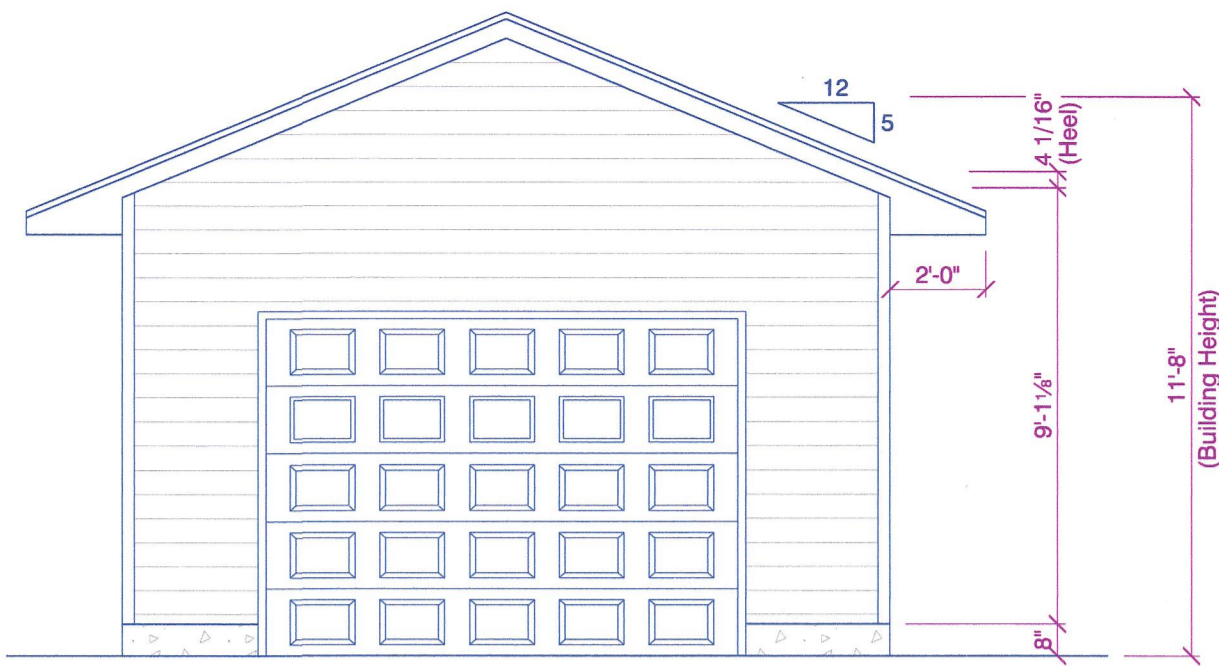
WALL SECTION
Scale: 1/2" = 1'-0"

- Notes:
- All Dimensions Are Conc. To Conc. Or Conc. To Centerline Of Posts, Beams & Footings.
 - All Brown Treated 2x8 Material Is UC4A KDAT #1 Southern Yellow Pine
 - All Brown Treated 2x6 Material Is UC4A KDAT #2 Southern Yellow Pine
 - All Brown Treated 6x6 Material Is UC4B #1 Southern Yellow Pine
 - All Conc. Footings To Be 48" (Min.) Below Finished Grade.
 - All Conc. Walls To Be 8" (Min.) Above Finished Grade, Except As Noted
 - All Concrete Pier Diameters Noted On Foundation Plan Are "Minimum Diameters" For Bottom 12" Of Pier.

1729 SCHLIMGEN AVE. MADISON, WI 53704

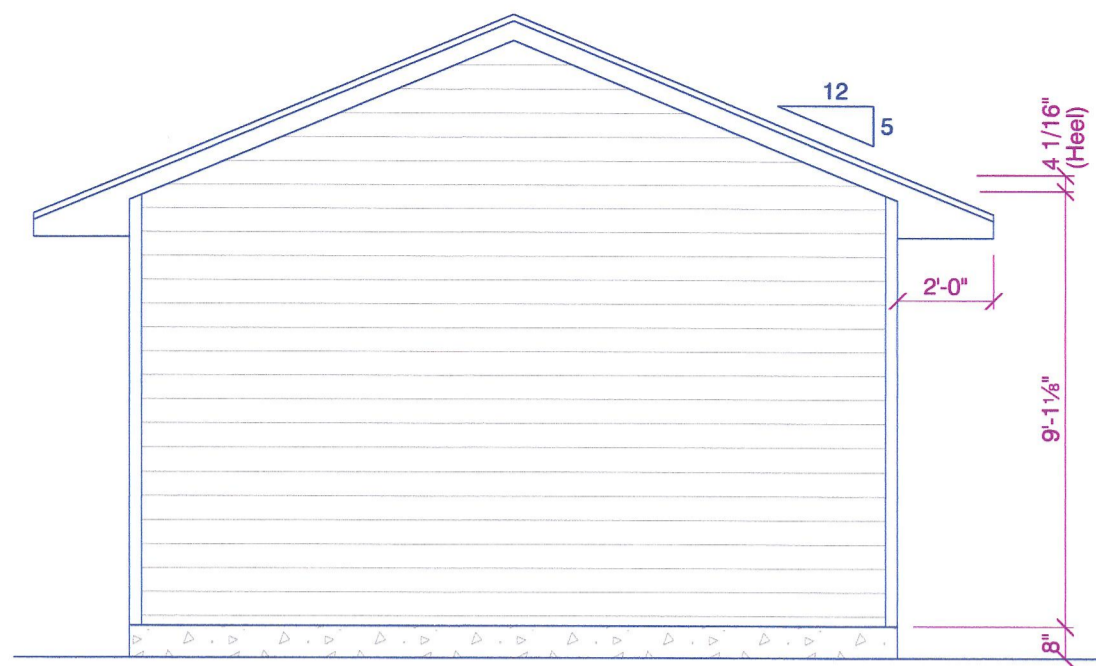
Scale: As Shown	FOUNDATION PLAN & WALL SECTION	DRAWN BY: Brian K. & Chris D.
Date: 03/01/21		
LOLITA MARTENS		
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.		DRAWING NUMBER: 3 OF 5

Retired: 03/09/21



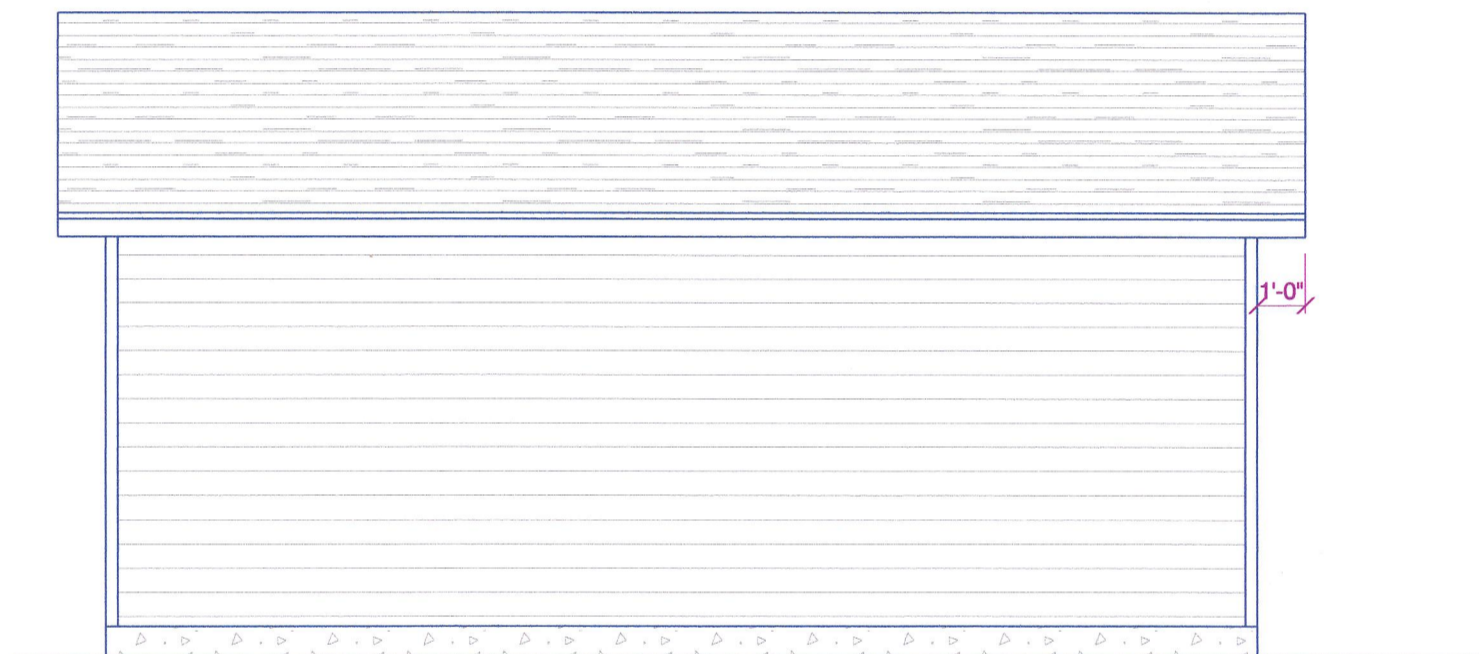
FRONT ELEVATION

Scale: 1/4" = 1'-0"



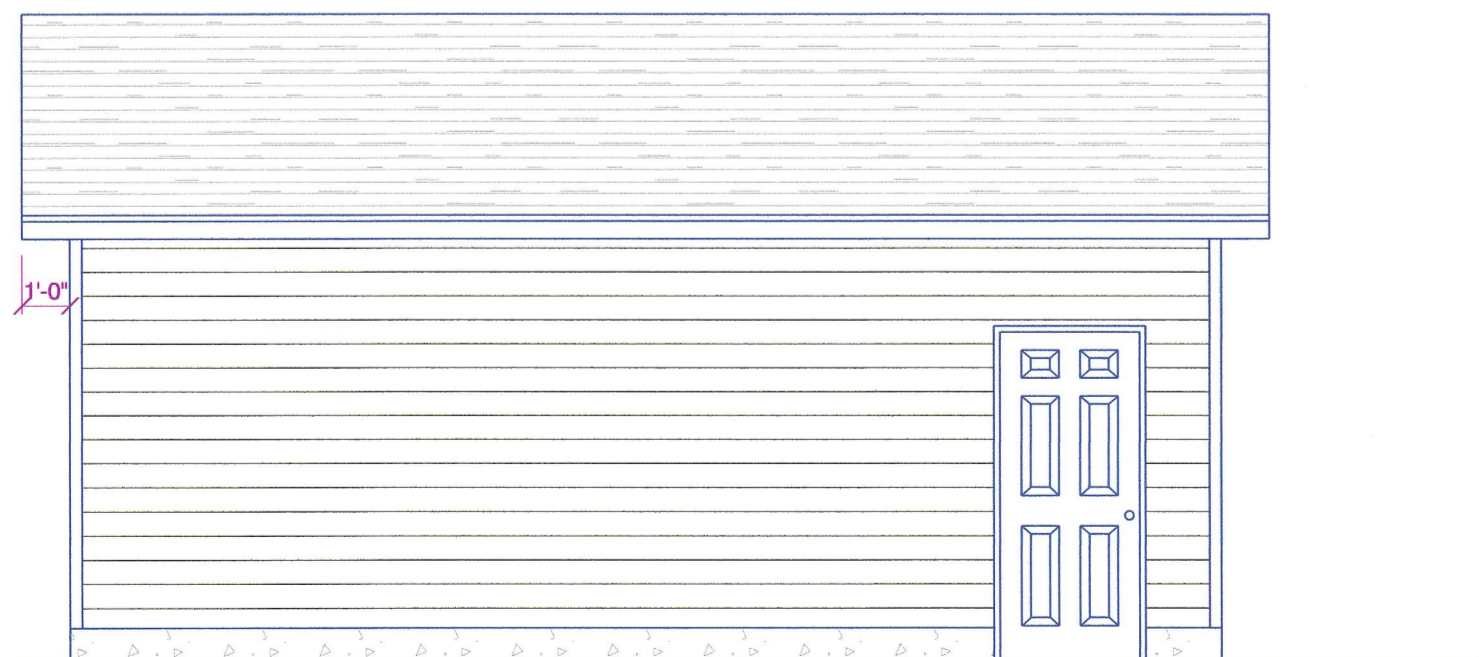
REAR ELEVATION

Scale: 1/4" = 1'-0"



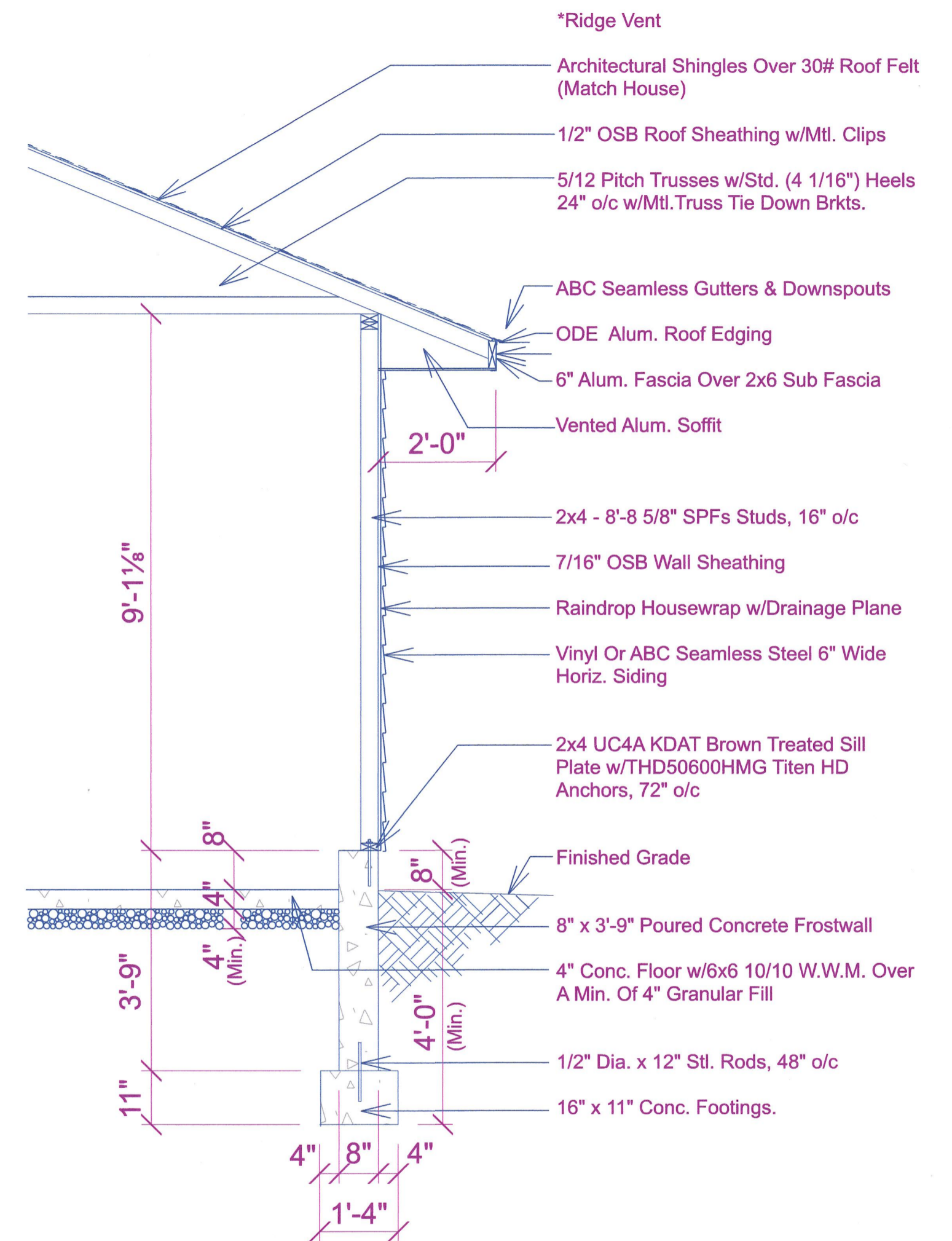
RIGHT ELEVATION

Scale: 1/4" = 1'-0"



LEFT ELEVATION

Scale: 1/4" = 1'-0"



WALL SECTION

Scale: 1/2" = 1'-0"

1729 SCHLIMGEN AVE. MADISON, WI 53704



Lumber and HomeWorks

613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

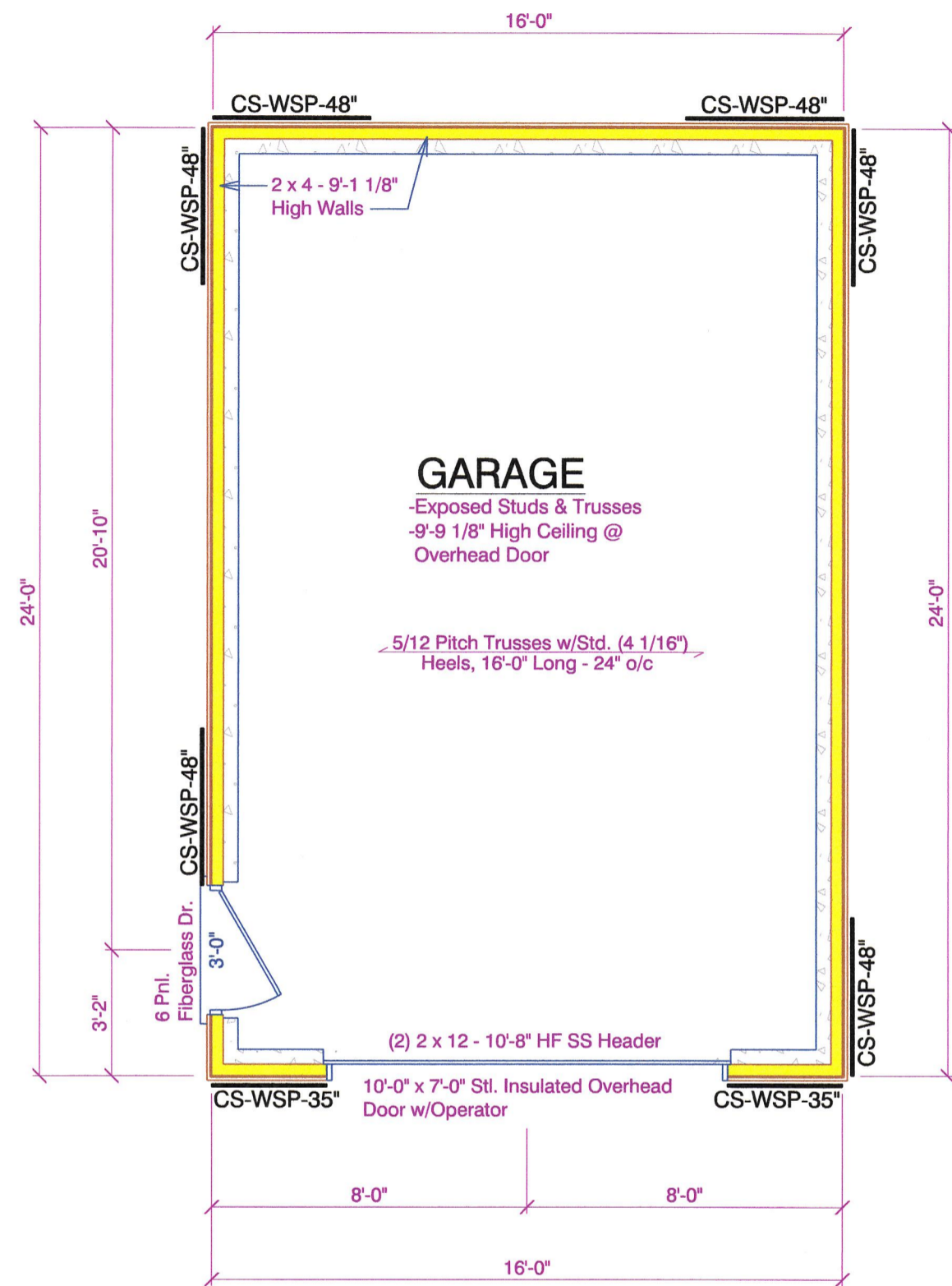
Scale: As Shown	GARAGE ELEVATIONS & WALL SECTION	DRAWN BY: Brian K. & Chris D.
Date: 03/01/21		

Revised: 03/09/21

LOLITA MARTENS

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.

DRAWING NUMBER:
4 OF 5



FLOOR PLAN

WALL BRACING NOTES:

-Continuous Sheathing - Wood Structural Panels (CS-WSP)
 Minimum Bracing Thickness - 3/8" For A Max. Of 16" o/c Stud Spacing & 7/16" For A Max. Of 24" o/c Stud Spacing w/ Continuous Wall Sheathing - Fasteners: 6d Common Nail Or 8d Box Nail (2 3/8" Long x 0.113" Diam.) Or 7/16" Or 1/2" Crown 16 Gauge Staples, 1 1/4" Long. 6" o/c On All Edges & 12" o/c Field (Nails). 3" o/c On All Edges & 6" o/c Field (Staples).

-All Vertical Joints Of Braced Wall Panels Shall Occur Over Common Stud. Horizontal Joints Shall Be Backed w/1 1/2" Thick Blocking.

-Each Braced Panel May Contain No More Than One Hole, Having A Maximum Dimension Of No More Than 10% Of The Least Dimension Of The Panel & Confined To The Middle 3/4 Of The Panel.

*16'-0" x 24'-0" Rectangle

*Front Wall
 Wall Length - 16'-0", 2x4 - 9'-1 1/8" High Wall, Perpendicular
 Wall Length - 24'-0", Roof Less Than 10'-0" High, 30' Wall = 5.0',
 20' Wall = 3.5', 5.0' - 3.5' / 10 = 1 13/16" x 4 = 7 3/16" + 3.5' =
 4'-1 3/16" Bracing, x 1.0 (Wind Exposure "B") x .95 (9' High Wall)
 x 1.4 (Interior Wall Surface) = 5'-5 7/16" Required Bracing

*Rear Wall
 Wall Length - 16'-0", 2x4 - 9'-1 1/8" High Wall, Perpendicular
 Wall Length - 24'-0", Roof Less Than 10'-0" High, 30' Wall = 5.0',
 20' Wall = 3.5', 5.0' - 3.5' / 10 = 1 13/16" x 4 = 7 3/16" + 3.5' =
 4'-1 3/16" Bracing, x 1.0 (Wind Exposure "B") x .95 (9' High Wall)
 x 1.4 (Interior Wall Surface) = 5'-5 7/16" Required Bracing

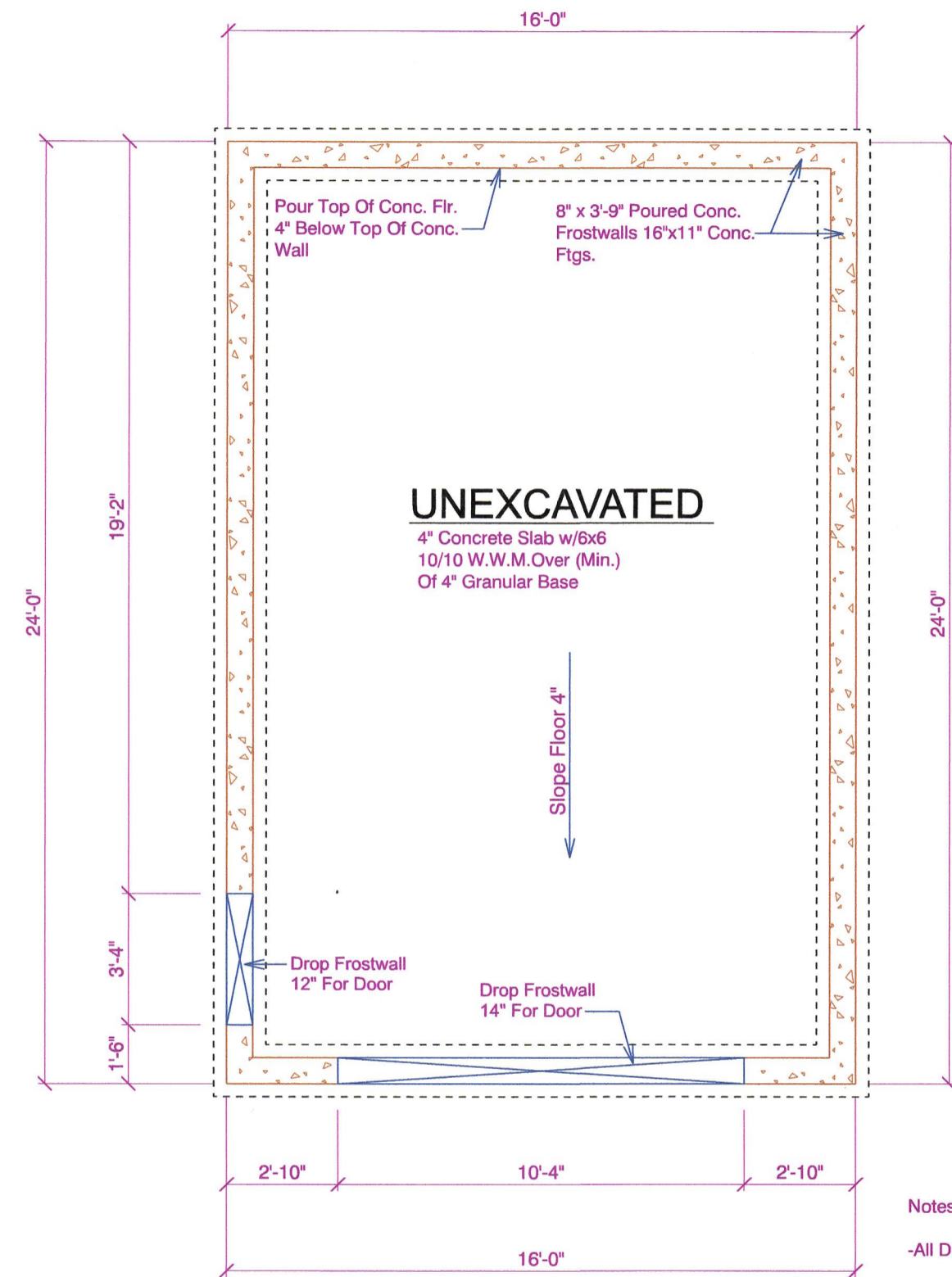
*Left Wall
 Wall Length - 24'-0", 2x4 - 9'-1 1/8" High Wall, Perpendicular
 Wall Length - 16'-0", Roof Less Than 10'-0" High, 20' Wall =
 3.5' Bracing, x 1.0 (Wind Exposure "B") x .95 (9' High Wall)
 x 1.4 (Interior Wall Surface) = 4'-7 7/8" Required Bracing

*Right Wall
 Wall Length - 24'-0", 2x4 - 9'-1 1/8" High Wall, Perpendicular
 Wall Length - 16'-0", Roof Less Than 10'-0" High, 20' Wall =
 3.5' Bracing, x 1.0 (Wind Exposure "B") x .95 (9' High Wall)
 x 1.4 (Interior Wall Surface) = 4'-7 7/8" Required Bracing

NOTES:

-All Dimensions Are Stud To Stud Or Stud To Centerline Of Opngs. Unless Noted

-All Headers In Load Bearing Walls Not Noted To Be (2) 2x10 HF Select. Struct.



FOUNDATION PLAN

Notes:

- All Dimensions Are Conc. To Conc.
- All Conc. Footings To Be 48" (Min.) Below Finished Grade.
- All Conc. Walls To Be 8" (Min.) Above Finished Grade, Except As Noted

1729 SCHLIMGEN AVE. MADISON, WI 53704



613 ATLAS AVE. MADISON, WI 53714 Phone: (608) 244-4777

Scale: 1/4"=1'-0"	GARAGE FLOOR PLAN & FOUNDATION PLAN	DRAWN BY: Brian K. & Chris D.
Date: 03/01/21		

Revised: 03/09/21

LOLITA MARTENS

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DRAWING NUMBER:
5 OF 5

SPECIAL/LIMITED WARRANTY DEED

Commitment Number: 2912157
Seller's Loan Number: 11-0094808

After Recording Return To:

ServiceLink Hopewell Campus
4000 Industrial Boulevard
Aliquippa, PA 15001
(800) 439-5451

This instrument prepared by:

Jay A. Rosenberg, Esq., Rosenberg LPA, Attorneys At Law, 7367A E. Kemper Road, Cincinnati, Ohio 45249 (513) 247-9605 Fax: (866) 611-0170 and Ruth Burull Dreher, Esq., Wisconsin Bar Number: 1047906.

PARCEL IDENTIFICATION NUMBER: 251/0810-312-1506-6

The Bank of New York Mellon f/k/a The Bank of New York, as Trustee for the Certificateholders CWALT, Inc. Alternative Loan Trust 2006-OC1 Mortgage Pass-Through Certificates, Series 2006-OC1 By Bank of America, N.A., successor by merger to BAC Home Loans Servicing, LP, FKA Countrywide Home Loans Servicing, LP., whose mailing address is 2375 N. Glenville Drive (Mail Code: TX 983-01-01), Richardson, TX 75082, hereinafter grantor, for \$46,100.00 (Forty-Six Thousand Dollars and One Hundred Dollars and no Cents) in consideration paid, grants with covenants of limited warranty to Bernard J. Reilly, hereinafter grantee, whose tax mailing address is 1725 SCHLIMGEN AVE., MADISON WI 53704-3424, the following real property:

The land referred to herein below is situated in the County of Dane, State of Wisconsin, and is described as follows: LOT 10, BLOCK 1, CLYDE A. GALLAGHER'S SHERMAN AVENUE SUBDIVISION, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN. TOGETHER WITH AN EASEMENT FOR AN EASEMENT FOR A CARPORT AS NOW ENCROACHING ON LOT 11, AND FOR MAINTENANCE THEREOF, OVER AND ON A PART OF LOT 11, BLOCK 1, CLYDE A. GALLAGHER SHERMAN AVENUE SUBDIVISION, CITY OF MADISON, DANE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NW CORNER OF SAID LOT 11;

THENCE S 02 DEGREES 01' 52" W ALONG THE LINE BETWEEN LOTS 10 AND 11, 22.0 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87 DEGREES 58' 08" E, 7.00 FEET; THENCE S 02 DEGREES 01' 52" W, PARALLEL TO THE LINE BETWEEN SAID LOTS 10 AND 11, 26.5 FEET; THENCE N 87 DEGREES 58' 08" W, 7.00 FEET TO THE LINE BETWEEN SAID LOTS 10 AND 11; THENCE N 02 DEGREES 01' 52" E ALONG SAID LOT LINE, 28.50 FEET TO THE POINT OF BEGINNING. THIS EASEMENT SHALL CEASE IF THE CARPORT IS VOLUNTARILY TORN DOWN, BUT SHALL CONTINUE IF DESTROYED BY FIRE OR ELEMENTS AND REBUILT. THIS EASEMENT SHALL RUN WITH THE LAND AND SHALL BE BINDING ON THE SUCCESSORS AND ASSIGNS OF THE OWNERS OF SAID LOTS 10 AND 11.

Property Address is: 1725 SCHLIMGEN AVE., MADISON WI 53704-3424

The Grantee(s), or purchaser(s), of the Property may not re-sell, record an additional conveyance document, or otherwise transfer title to the Property within 60 days following the Grantor's execution of this Deed

Seller makes no representations or warranties, of any kind or nature whatsoever, other than those set out above, whether expressed, implied, implied by law, or otherwise, concerning the condition of the title of the property prior to the date the seller acquired title.

Grantor warrants that the title to the Property described above is good, indefeasible, and free and clear of encumbrances arising by through or under Grantor, except: NONE.

The real property described above is conveyed subject to the following: All easements, covenants, conditions and restrictions of record; All legal highways; Zoning, building and other laws, ordinances and regulations; Real estate taxes and assessments not yet due and payable; Rights of tenants in possession.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title interest, lien equity and claim whatsoever of the said grantor, either in law or equity, to the only proper use, benefit and behalf of the grantee forever.

Prior instrument reference: 4792879 RECORDED 9/20/2011

Executed by the undersigned on December 19, 2011:

The Bank of New York Mellon f/k/a The Bank of New York, as Trustee for the Certificateholders CWALT, Inc. Alternative Loan Trust 2006-OC1 Mortgage Pass-Through Certificates, Series 2006-OC1 By Bank of America, N.A., successor by merger to BAC Home Loans Servicing, LP, FKA Countrywide Home Loans Servicing, LP., As Attorney in Fact

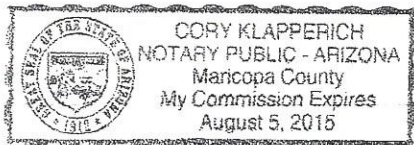
By: *Lupe Zapata*

Name: Lupe Zapata

Its: Assistant Vice President

STATE OF ARIZONA
COUNTY OF MARICOPA

The foregoing instrument was acknowledged before me on December 19, 2011 by Lupe Zapata its Assistant Vice President on behalf of **The Bank of New York Mellon f/k/a The Bank of New York, as Trustee for the Certificateholders CWALT, Inc. Alternative Loan Trust 2006-OC1 Mortgage Pass-Through Certificates, Series 2006-OC1 By Bank of America, N.A., successor by merger to BAC Home Loans Servicing, LP, FKA Countrywide Home Loans Servicing, LP., As Attorney in Fact** who is personally known to me or has produced _____ as identification, and furthermore, the aforementioned person has acknowledged that his/her signature was his/her free and voluntary act for the purposes set forth in this instrument.



Cory Klapperich
Notary Public Cory Klapperich

Plat of Survey

Legal Description of Record: Document No. 5661734

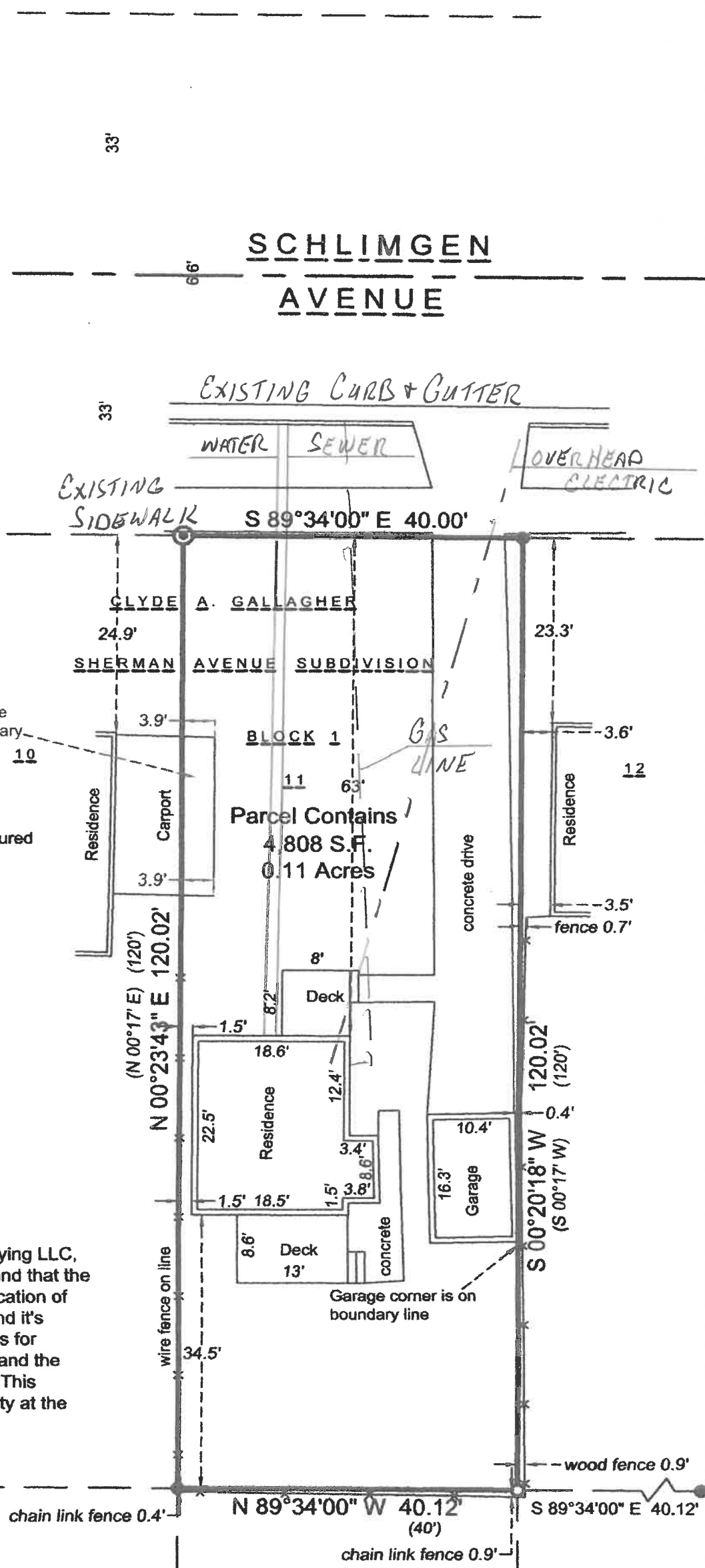
Lot 11, Block 1, Clyde A. Gallagher's Sherman Avenue Subdivision, in the City of Madison, Dane County, Wisconsin

BEARINGS ARE REFERENCED TO THE CLYDE A. GALLAGHER'S SHERMAN AVENUE SUBDIVISION, THE NORTH LINE OF LOT 11, BLOCK 1, ASSUMED TO BEAR S 89°34'00" E



1.25" Diam.

N 89°34'00" W 80.23' (80')



Note: Carport and concrete below encroach this boundary line.

SEE ATTACHED CASSEMENT

Notes:

1. Building dimensions and associated offset distances were measured along the outside of the siding.
2. This parcel may be subject to, or benefit from, Easements or agreements, written or otherwise, not shown hereon.

LEGEND

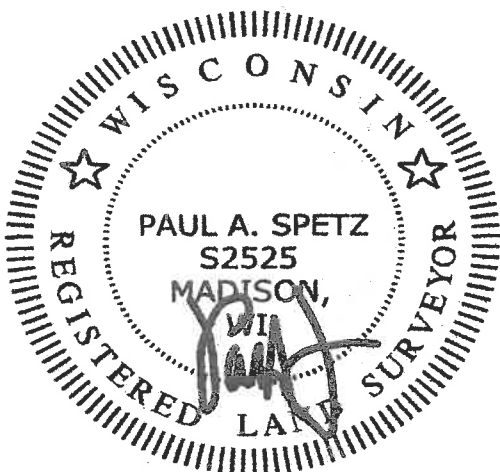
- SOLID IRON ROD FOUND (0.75" Dia. unless noted)
- ⊙ IRON PIPE FOUND (1.25" Outside Diam. unless Noted)
- 3/4"x18" SOLID IRON ROD SET 1.50lbs./LINEAL FOOT.

() INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

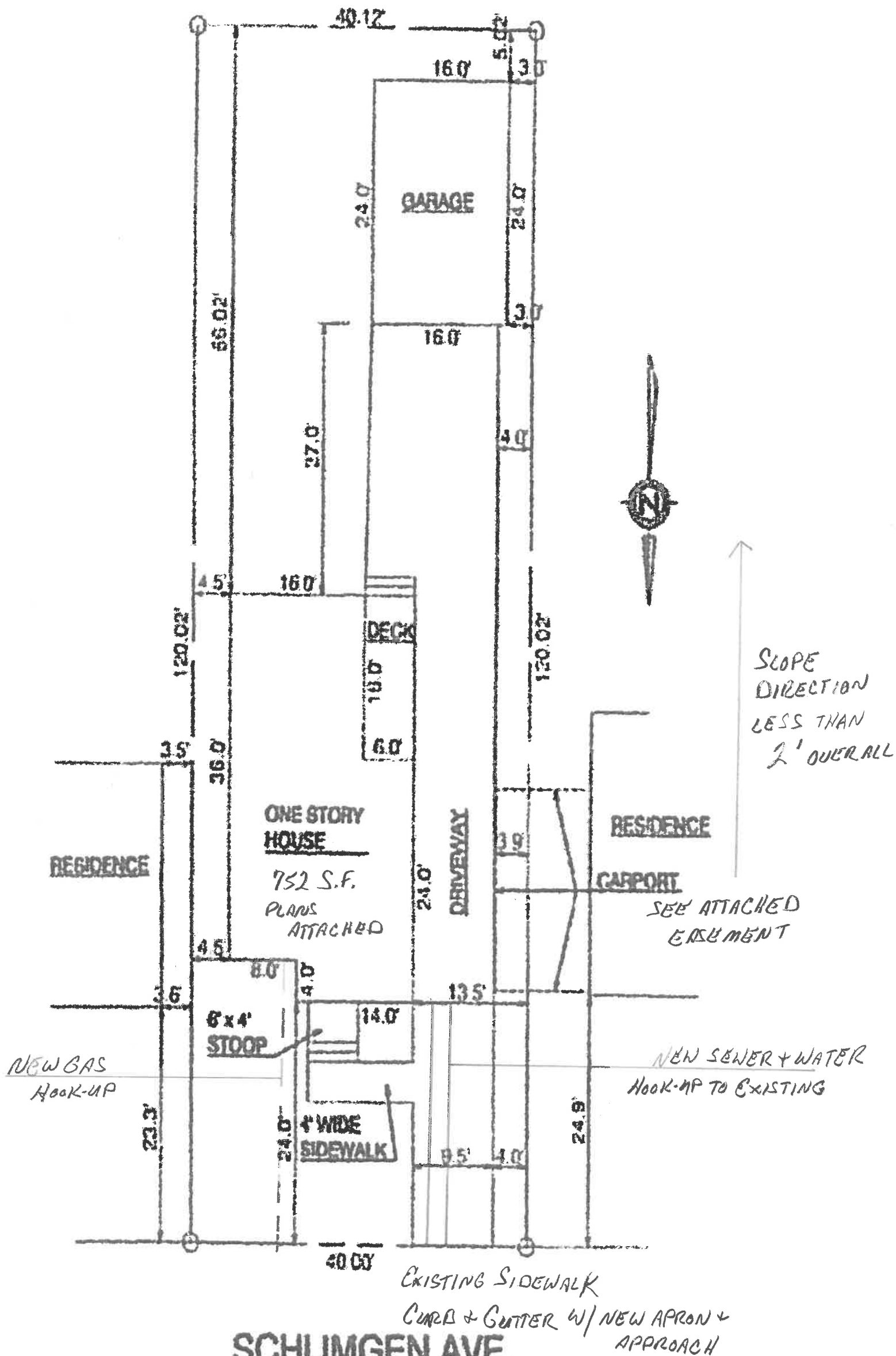
SURVEYOR'S CERTIFICATE

I, Paul A. Spetz, registered land surveyor for Isthmus Surveying LLC, hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, visible improvements, potential encroachments and its exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.

Dated this 22nd Day of January, 2021: Paul A. Spetz, S 2525



PREPARED FOR:
 LOLITA MARTENS
 3230 RIDGEWAY AVENUE #1
 MADISON, WI 53704
 PREPARED BY:
 ISTHMUS SURVEYING, LLC
 450 NORTH BALDWIN STREET
 MADISON, WI 53703
 (608) 244.1090
 www.isthmussurveying.com



LEGAL DESCRIPTION

LOT 11, BLOCK 1, CLYDE A. GALLAGHER'S
SHERMAN AVENUE SUBDIVISION, IN THE CITY
OF MADISON, DANE COUNTY, WISCONSIN

PLOT PLAN

