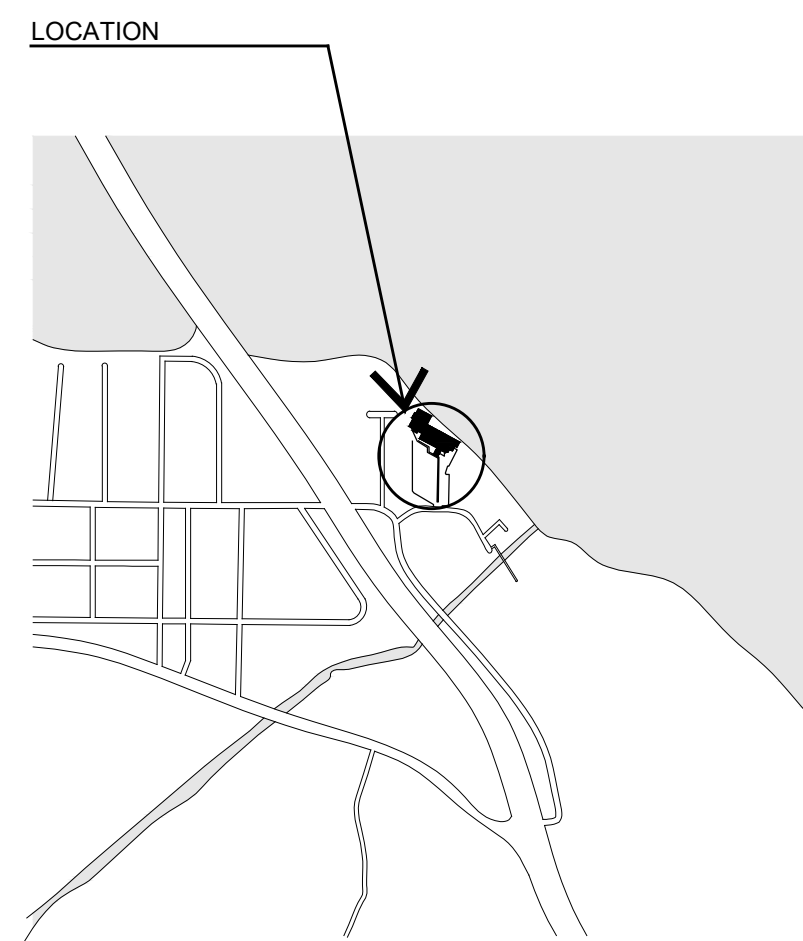
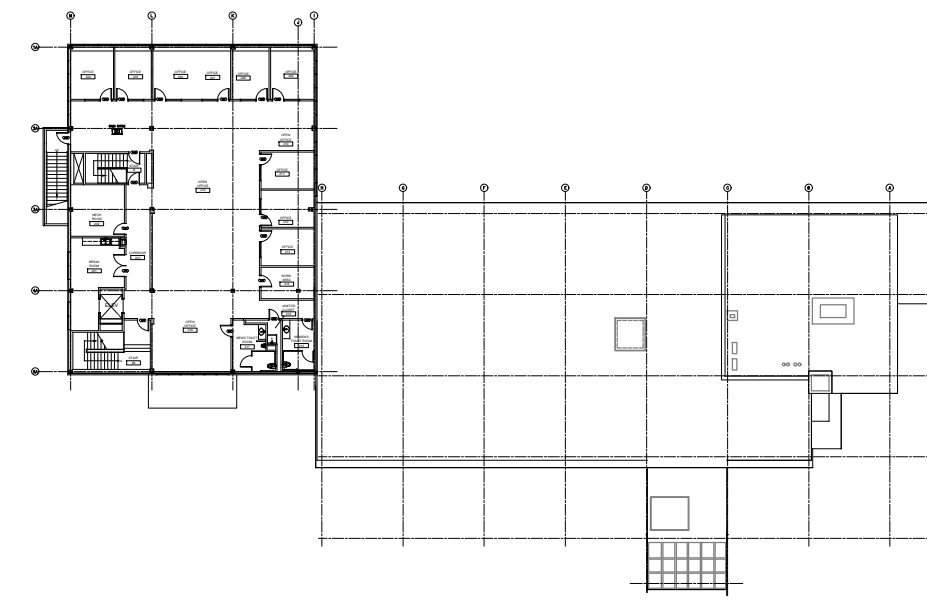
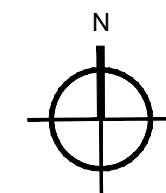


OLIN PARK FACILITY IMPROVEMENTS

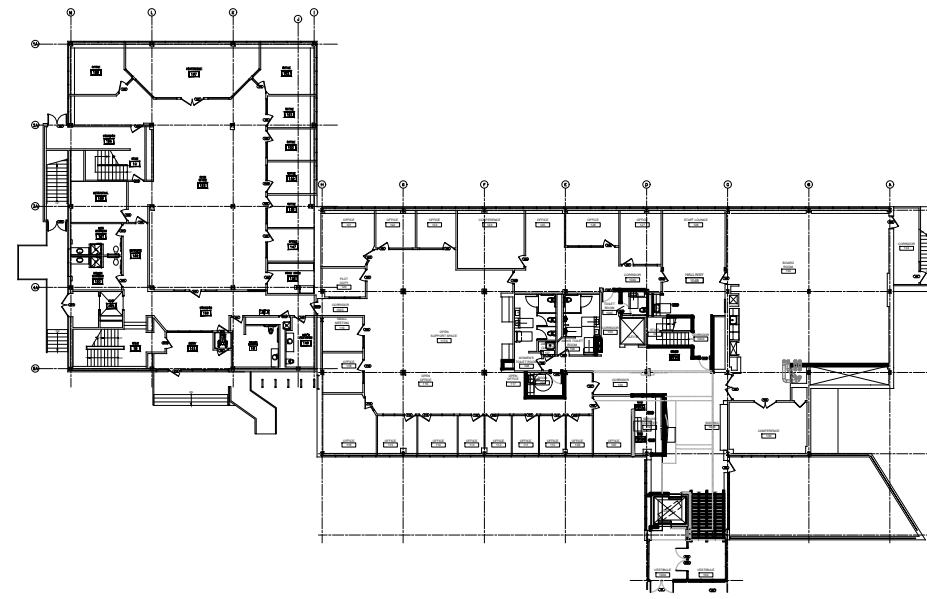
330 E LAKESIDE STREET
MADISON, WISCONSIN 53715



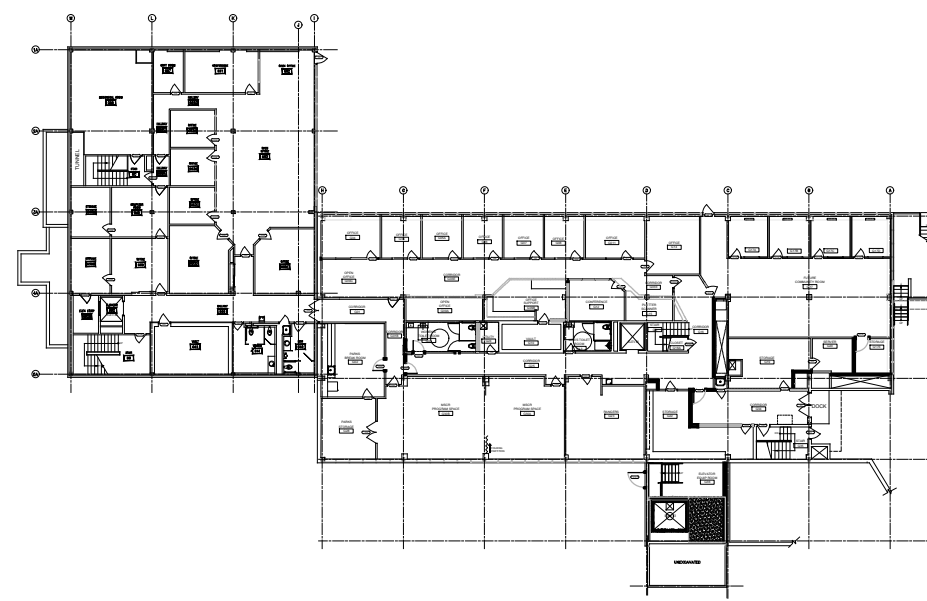
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SCALE: NONE



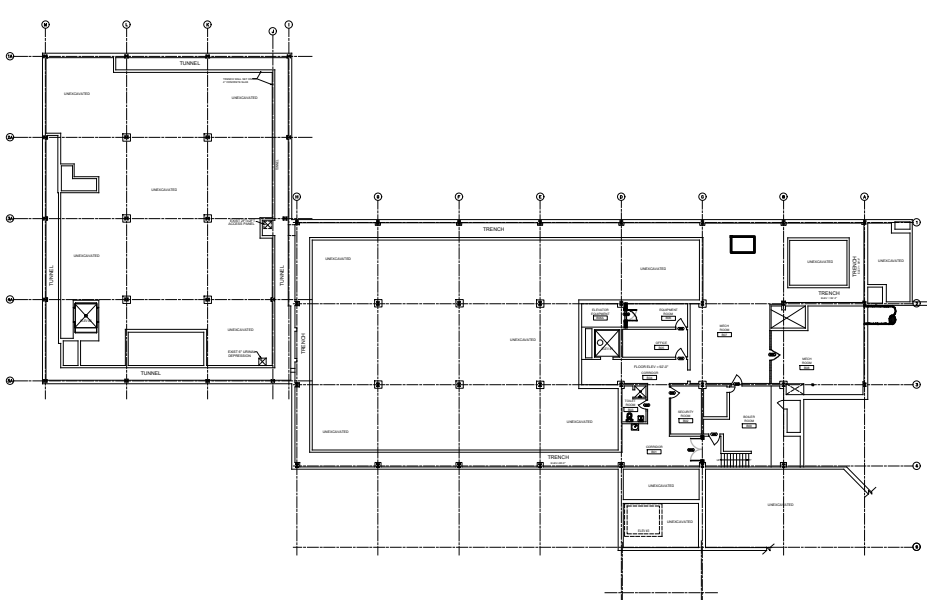
SECOND FLOOR



FIRST FLOOR

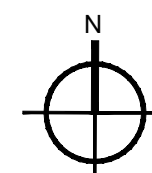


GROUND FLOOR



BASEMENT

1
A001 ARCHITECTURAL FLOOR DIAGRAMS
SCALE: 1" = 16'-0"



GENERAL NOTES:

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN BUILDING CODE LATEST EDITION.
- CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFICATION OF, AND COORDINATION WITH, ALL DIMENSIONS SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING CONDITIONS PRIOR TO BEGINNING WORK. DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DIMENSION(S) OR DISCREPANCIES VERBALLY, A WRITTEN REPORT SHOULD PROMPTLY FOLLOW. CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA UNTIL DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, ALL MATERIALS, AND PERSONNEL FROM FIRE OR OTHER DAMAGE PRIOR TO STARTING. THE CONTRACTOR SHALL SUBMIT THE APPROVED METHODS AND EQUIPMENT IN WRITING FOR THE OWNER AND ARCHITECT'S REVIEW PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS.
- EXECUTION OF THE WORK WILL INVOLVE CONSIDERATION FOR ALLOWING THE OWNER TO CONTINUE THE OPERATION OF THE BUILDING AND THE BUSINESS IN THE FACILITY AND ADJACENT FACILITIES. PRIOR TO THE AWARD OF THE CONTRACT, THE CONSTRUCTION SCHEDULE PREPARED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT AND SHALL BE COORDINATED WITH THE OWNER. OWNER'S APPROVAL OF THE PROPOSED SCHEDULE SHALL SUPERCEDE THE CONTRACT PROVIDED THE OVERALL TIME IS NOT CHANGED.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL, MECHANICAL AND PLUMBING) AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE BUILDING DIRECTLY AND INDIRECTLY AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT METHODS AND SCHEDULE OF CONNECTIONS TO THE OWNER FOR APPROVAL PRIOR TO BEGINNING WORK.
- AS THE WORK PROGRESSES, THE CONTRACTOR SHALL PRODUCE "AS-BUILT" DRAWINGS FOR THE INSTALLATION OF ALL REPAIR ITEMS UNDER THE CONTRACT. THE ARCHITECT WILL PROVIDE THE GENERAL CONTRACTOR WITH A SET OF REPRODUCIBLE PLANS FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE AS-BUILT DRAWINGS ACCORDING TO THE JOB PROGRESS. EACH PAY REQUEST SUBMITTED BY THE CONTRACTOR SHALL BE ACCOMPANIED BY A COPY OF THE UPDATED AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" AT 800-242-8511, 48 HOURS (EXCLUDING WEEKENDS AND/OR HOLIDAYS) PRIOR TO DIGGING ANY EXCAVATION. "DIGGER'S HOTLINE" WILL CONTACT UTILITY COMPANIES TO LOCATE AND MARK THEIR UNDERGROUND FACILITIES. NO SUCH WORK SHALL COMMENCE PRIOR TO VERIFICATION THAT ALL UTILITIES HAVE RESPONDED.
- PROTECT TREES, SHRUBS, LAWNS, AND OTHER FEATURES WITHIN PROJECT LIMITS. RESTORE DAMAGED FEATURES TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SHEATHING, REQUIRED FOR THE SAFETY AND PROPER EXECUTION OF THE WORK.

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L-100	PLANTING PLAN	M000	MECHANICAL COVER SHEET
C-001	CIVIL DETAILS	M001	MECHANICAL COVER SHEET
C-100	DEMOLITION PLAN	M100	SITE PLAN - MECHANICAL
C-200	CIVIL SITE PLAN	M200	BASEMENT DEMOLITION - PIPING
C-300	GRADING AND DRAINAGE PLAN	M201	GROUND FLOOR DEMOLITION - PIPING
S001	GENERAL NOTES	M202	FIRST FLOOR DEMOLITION - PIPING
S002	SYMBOLS AND ABBREVIATIONS	M203	SECOND FLOOR DEMOLITION - PIPING
S301	FOUNDATION PLAN	M210	BASEMENT DEMOLITION - VENTILATION
S302	GROUND FLOOR PLAN	M211	GROUND FLOOR DEMOLITION - VENTILATION
S303	FIRST FLOOR FRAMING PLAN	M212	FIRST FLOOR DEMOLITION - VENTILATION
S304	ROOF FRAMING PLAN	M213	SECOND FLOOR DEMOLITION - VENTILATION
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S402	DETAILS	M301	GROUND FLOOR - PIPING
A101	SITE PLAN	M302	FIRST FLOOR - PIPING
A102	SITE ELEVATIONS AND DETAILS	M303	SECOND FLOOR - PIPING
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A201	BASEMENT DEMO PLAN	M311	GROUND FLOOR - VENTILATION
A202	GROUND FLOOR DEMO PLAN	M312	FIRST FLOOR - VENTILATION
A203	FIRST FLOOR DEMO PLAN	M313	SECOND FLOOR - VENTILATION
A204	SECOND FLOOR DEMO PLAN	M400	MECHANICAL ENLARGED PLANS
A301	BASEMENT FLOOR PLAN	M401	MECHANICAL ENLARGED PLANS
A302	GROUND FLOOR PLAN	M500	MECHANICAL DETAILS
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A602	INTERIOR ELEVATIONS	M701	MECHANICAL SCHEDULES
A603	INTERIOR ELEVATIONS	E000	ELECTRICAL COVERSHEET
A604	INTERIOR ELEVATIONS	E001	ELECTRICAL COVERSHEET
A605	PARTITION TYPES	E100	SITE PLAN ELECTRICAL
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A904	FINISH MATRIX AND BASEMENT FURNITURE PLAN	E221	GROUND FLOOR DEMOLITION - SYSTEMS
A905	GROUND FLOOR FURNITURE PLAN	E222	FIRST FLOOR DEMOLITION - SYSTEMS
A906	FIRST FLOOR FURNITURE PLANS	E300	BASEMENT - LIGHTING
F000	FIRE PROTECTION COVERSHEET	E301	GROUND FLOOR - LIGHTING
F300	BASEMENT FLOOR - FIRE PROTECTION	E302	FIRST FLOOR - LIGHTING
F301	GROUND FLOOR - FIRE PROTECTION	E303	SECOND FLOOR - LIGHTING
F302	FIRST FLOOR - FIRE PROTECTION	E310	BASEMENT - POWER
F303	SECOND FLOOR - FIRE PROTECTION	E311	GROUND FLOOR - POWER
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P000	PLUMBING COVERSHEET	E320	BASEMENT - SYSTEMS
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P500	PLUMBING DETAILS	T000	TECHNOLOGY COVERSHEET
P600	RISER DIAGRAM - PLUMBING	T200	BASEMENT DEMOLITION - TECHNOLOGY
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		T600	TECHNOLOGY RISER DIAGRAM
		T700	TECHNOLOGY SCHEDULES



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OLIN PARK FACILITY IMPROVEMENTS
330 E LAKESIDE STREET
MADISON, WISCONSIN 53715

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TITLE SHEET / CODE & SHEET INDEX

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A001

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- #1 ADDENDUM #1 6-12-19
- #2 ADDENDUM #2 6-21-19

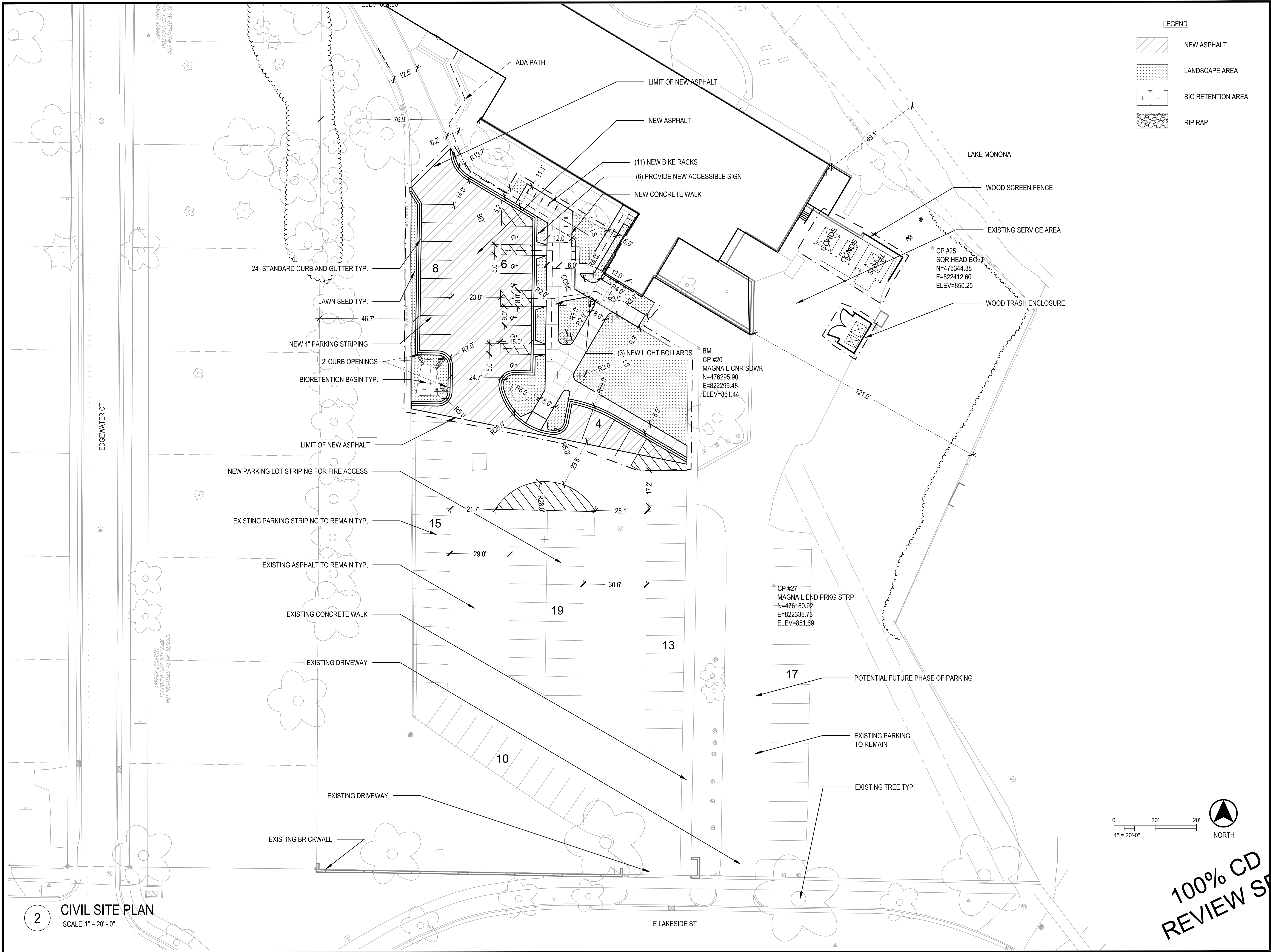
ICA NO. COM 20-002

CIVIL SITE PLAN

ISSUED FOR 100% CD REVIEW SET 04-30-2021

C-200

100% CD REVIEW SET



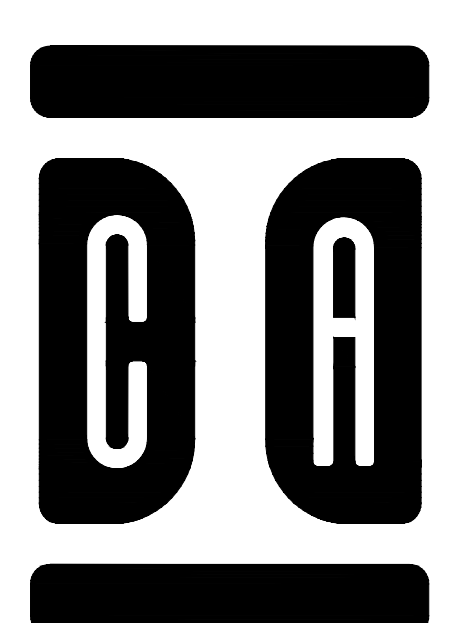
LEGEND

- NEW ASPHALT
- LANDSCAPE AREA
- BIO RETENTION AREA
- RIP RAP

0 20' 20'
 1" = 20'-0"

 NORTH

2 CIVIL SITE PLAN
 SCALE: 1" = 20' - 0"



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BASEMENT FLOOR PLAN

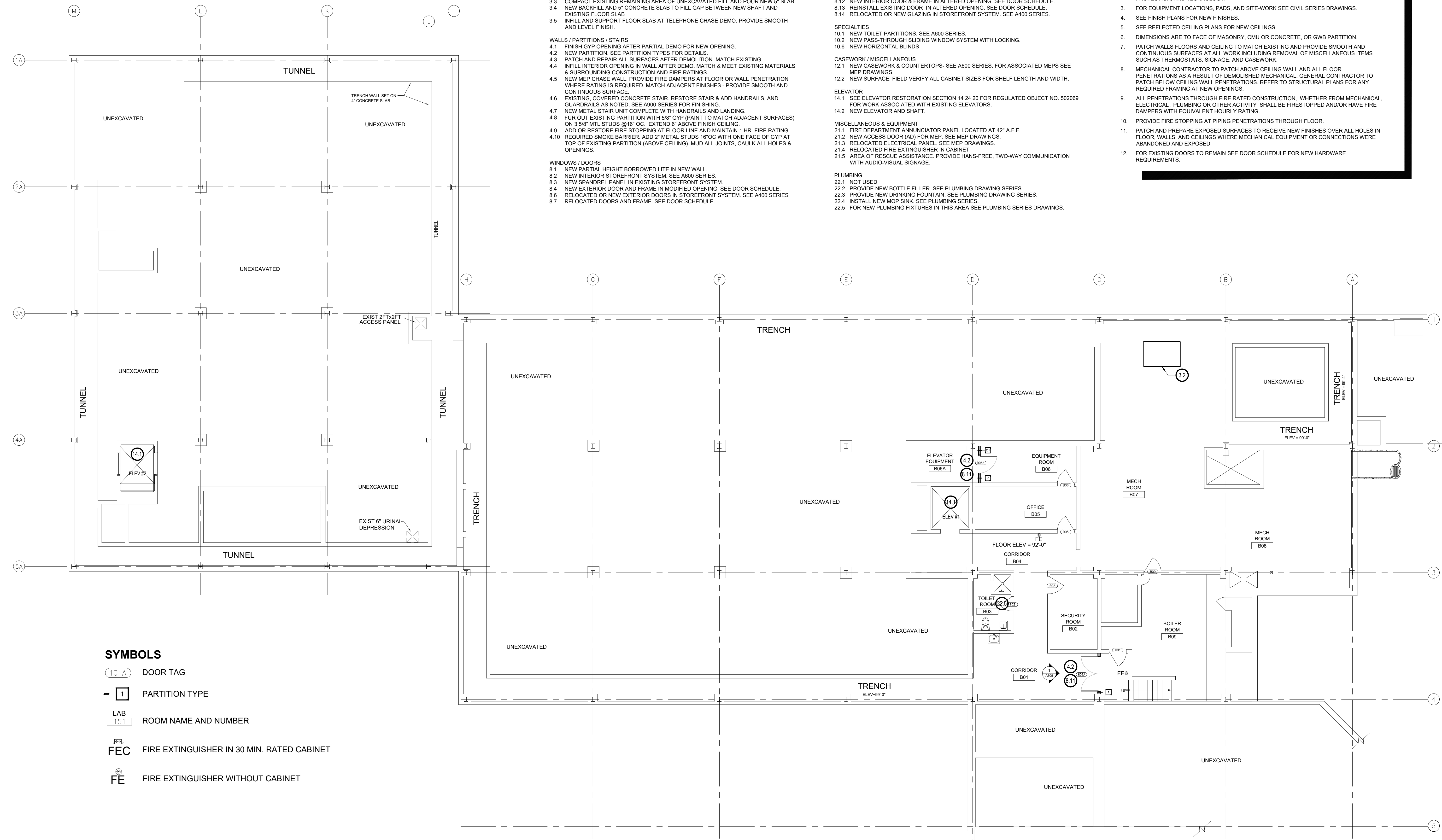
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A301

100% CD REVIEW SET

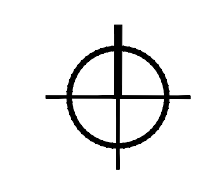
- ### GENERAL PLAN NOTES
- NEW CONSTRUCTION IN BOLD.
 - SEE ASSOCIATED DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND TECHNOLOGY.
 - FOR EQUIPMENT LOCATIONS, PADS, AND SITE-WORK SEE CIVIL SERIES DRAWINGS.
 - SEE FINISH PLANS FOR NEW FINISHES.
 - SEE REFLECTED CEILING PLANS FOR NEW CEILINGS.
 - DIMENSIONS ARE TO FACE OF MASONRY, CMU OR CONCRETE, OR GWB PARTITION.
 - PATCH WALLS FLOORS AND CEILING TO MATCH EXISTING AND PROVIDE SMOOTH AND CONTINUOUS SURFACES AT ALL WORK INCLUDING REMOVAL OF MISCELLANEOUS ITEMS SUCH AS THERMOSTATS, SIGNAGE, AND CASEWORK.
 - MECHANICAL CONTRACTOR TO PATCH ABOVE CEILING WALL AND ALL FLOOR PENETRATIONS AS A RESULT OF DEMOLISHED MECHANICAL. GENERAL CONTRACTOR TO PATCH BELOW CEILING WALL PENETRATIONS. REFER TO STRUCTURAL PLANS FOR ANY REQUIRED FRAMING AT NEW OPENINGS.
 - ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION, WHETHER FROM MECHANICAL, ELECTRICAL, PLUMBING OR OTHER ACTIVITY SHALL BE FIRESTOPPED AND/OR HAVE FIRE DAMPERS WITH EQUIVALENT HOURLY RATING.
 - PROVIDE FIRE STOPPING AT PIPING PENETRATIONS THROUGH FLOOR.
 - PATCH AND PREPARE EXPOSED SURFACES TO RECEIVE NEW FINISHES OVER ALL HOLES IN FLOOR, WALLS, AND CEILINGS WHERE MECHANICAL EQUIPMENT OR CONNECTIONS WERE ABANDONED AND EXPOSED.
 - FOR EXISTING DOORS TO REMAIN SEE DOOR SCHEDULE FOR NEW HARDWARE REQUIREMENTS.

- ### SPECIFIC PLAN NOTES
- CONCRETE / PRECAST / MASONRY
- NEW ELEVATOR PIT AND EQUIPMENT
 - INFILL TO LEVEL FLOOR AS REQUIRED AFTER DEMOLITION FOR MEP.
 - COMPACT EXISTING REMAINING AREA OF UNEXCAVATED FILL AND POUR NEW 5" SLAB
 - NEW BACKFILL AND 5" CONCRETE SLAB TO FILL GAP BETWEEN NEW SHAFT AND EXISTING FLOOR SLAB
 - INFILL AND SUPPORT FLOOR SLAB AT TELEPHONE CHASE DEMO. PROVIDE SMOOTH AND LEVEL FINISH.
- WALLS / PARTITIONS / STAIRS
- FINISH GYP OPENING AFTER PARTIAL DEMO FOR NEW OPENING.
 - NEW PARTITION. SEE PARTITION TYPES FOR DETAILS.
 - PATCH AND REPAIR ALL SURFACES AFTER DEMOLITION. MATCH EXISTING.
 - INFILL INTERIOR OPENINGS IN WALL AFTER DEMO. MATCH & MEET EXISTING MATERIALS & SURROUNDING CONSTRUCTION AND FIRE RATINGS.
 - NEW MEP CHASE WALL. PROVIDE FIRE DAMPERS AT FLOOR OR WALL PENETRATION WHERE RATING IS REQUIRED. MATCH ADJACENT FINISHES - PROVIDE SMOOTH AND CONTINUOUS SURFACE.
 - EXISTING, COVERED CONCRETE STAIR. RESTORE STAIR & ADD HANDRAILS, AND GUARDRAILS AS NOTED. SEE A900 SERIES FOR FINISHING.
 - NEW METAL STAIR UNIT COMPLETE WITH HANDRAILS AND LANDING.
 - FUR OUT EXISTING PARTITION WITH 5/8" GYP (PAINT TO MATCH ADJACENT SURFACES) ON 3 5/8" MTL STUDS @16" OC. EXTEND 6" ABOVE FINISH CEILING.
 - ADD OR RESTORE FIRE STOPPING AT FLOOR LINE AND MAINTAIN 1 HR. FIRE RATING
 - REQUIRED SMOKE BARRIER. ADD 2" METAL STUDS 16" OC WITH ONE FACE OF GYP AT TOP OF EXISTING PARTITION (ABOVE CEILING). MUD ALL JOINTS, CAULK ALL HOLES & OPENINGS.
- WINDOWS / DOORS
- NEW PARTIAL HEIGHT BORROWED LITE IN NEW WALL.
 - NEW INTERIOR STOREFRONT SYSTEM. SEE A600 SERIES.
 - NEW SPANDREL PANEL IN EXISTING STOREFRONT SYSTEM.
 - NEW EXTERIOR DOOR AND FRAME IN MODIFIED OPENING. SEE DOOR SCHEDULE.
 - RELOCATED OR NEW EXTERIOR DOORS IN STOREFRONT SYSTEM. SEE A400 SERIES
 - RELOCATED DOORS AND FRAME. SEE DOOR SCHEDULE.
- 8.8 REVERSE EXISTING DOORS IN EXISTING FRAME
- NEW INTERIOR DOOR & FRAME IN NEW OPENING. SEE DOOR SCHEDULE.
 - NEW INTERIOR DOOR & FRAME IN ALTERED OPENING. SEE DOOR SCHEDULE.
 - REINSTALL EXISTING DOOR IN ALTERED OPENING. SEE DOOR SCHEDULE.
 - RELOCATED OR NEW GLAZING IN STOREFRONT SYSTEM. SEE A400 SERIES.
- SPECIALTIES
- NEW TOILET PARTITIONS. SEE A600 SERIES.
 - NEW PASS-THROUGH SLIDING WINDOW SYSTEM WITH LOCKING.
 - NEW HORIZONTAL BLINDS
- CASEWORK / MISCELLANEOUS
- NEW CASEWORK & COUNTERTOPS- SEE A600 SERIES. FOR ASSOCIATED MEPS SEE MEP DRAWINGS.
 - NEW SURFACE. FIELD VERIFY ALL CABINET SIZES FOR SHELF LENGTH AND WIDTH.
- ELEVATOR
- SEE ELEVATOR RESTORATION SECTION 14 24 20 FOR REGULATED OBJECT NO. 502069 FOR WORK ASSOCIATED WITH EXISTING ELEVATORS.
 - NEW ELEVATOR AND SHAFT.
- MISCELLANEOUS & EQUIPMENT
- FIRE DEPARTMENT ANNUNCIATOR PANEL LOCATED AT 42" A.F.F.
 - NEW ACCESS DOOR (AD) FOR MEP. SEE MEP DRAWINGS.
 - RELOCATED ELECTRICAL PANEL. SEE MEP DRAWINGS.
 - RELOCATED FIRE EXTINGUISHER IN CABINET.
 - AREA OF RESCUE ASSISTANCE. PROVIDE HANS-FREE, TWO-WAY COMMUNICATION WITH AUDIO-VISUAL SIGNAGE.
- PLUMBING
- NOT USED
 - PROVIDE NEW BOTTLE FILLER. SEE PLUMBING DRAWING SERIES.
 - PROVIDE NEW DRINKING FOUNTAIN. SEE PLUMBING DRAWING SERIES.
 - INSTALL NEW MOP SINK. SEE PLUMBING SERIES.
 - FOR NEW PLUMBING FIXTURES IN THIS AREA SEE PLUMBING SERIES DRAWINGS.



- ### SYMBOLS
- 101A DOOR TAG
 - 1 PARTITION TYPE
 - LAB 151 ROOM NAME AND NUMBER
 - FEC FIRE EXTINGUISHER IN 30 MIN. RATED CABINET
 - FE FIRE EXTINGUISHER WITHOUT CABINET

1 BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"



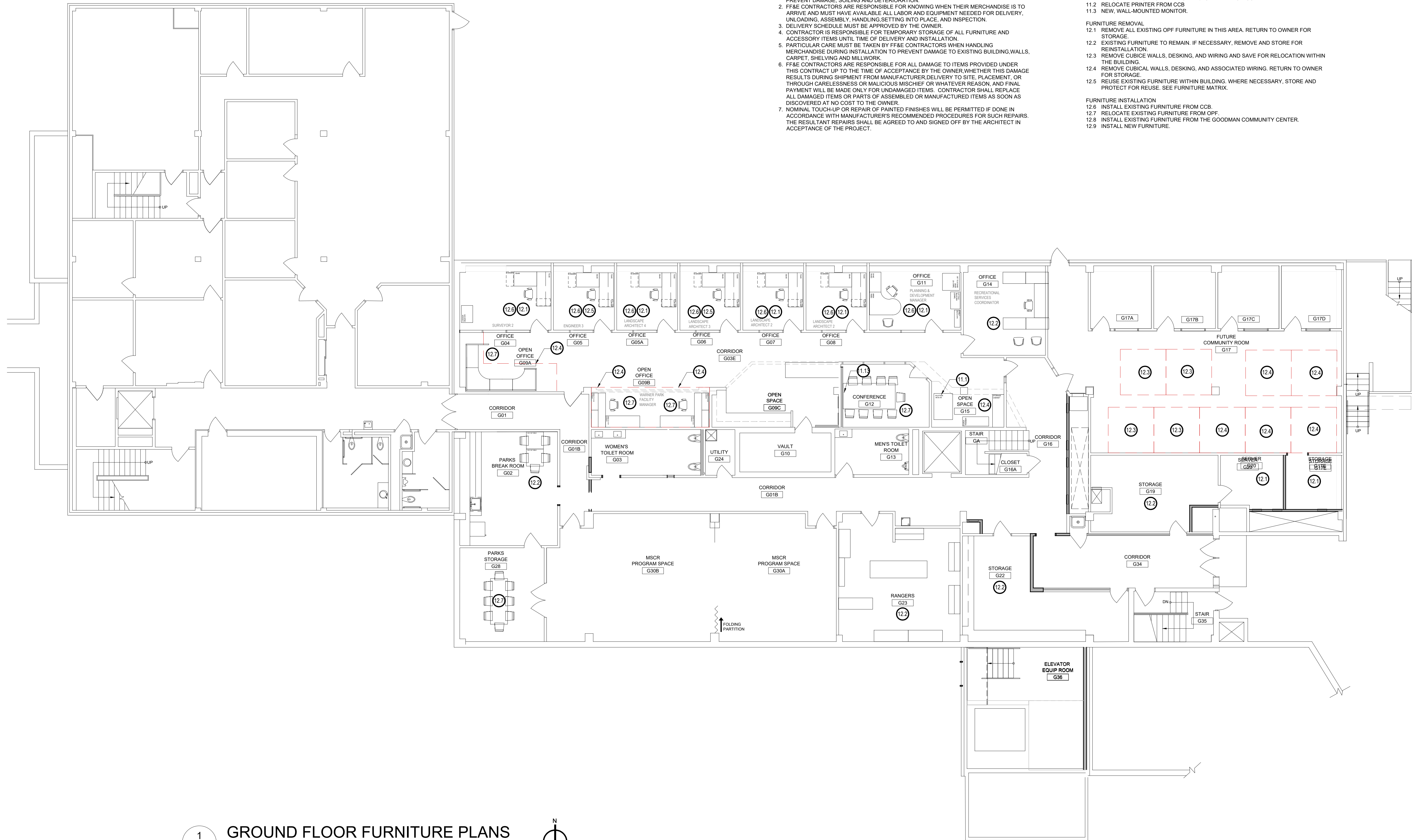


GENERAL FURNITURE PLAN NOTES

1. PROTECT FURNITURE AND ACCESSORIES DURING DELIVERY, STORAGE AND HANDLING TO PREVENT DAMAGE, SOILING AND DETERIORATION.
2. FF&E CONTRACTORS ARE RESPONSIBLE FOR KNOWING WHEN THEIR MERCHANDISE IS TO ARRIVE AND MUST HAVE AVAILABLE ALL LABOR AND EQUIPMENT NEEDED FOR DELIVERY, UNLOADING, ASSEMBLY, HANDLING, SETTING INTO PLACE, AND INSPECTION.
3. DELIVERY SCHEDULE MUST BE APPROVED BY THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY STORAGE OF ALL FURNITURE AND ACCESSORY ITEMS UNTIL TIME OF DELIVERY AND INSTALLATION.
5. PARTICULAR CARE MUST BE TAKEN BY FF&E CONTRACTORS WHEN HANDLING MERCHANDISE DURING INSTALLATION TO PREVENT DAMAGE TO EXISTING BUILDING, WALLS, CARPET, SHELVING AND MILLWORK.
6. FF&E CONTRACTORS ARE RESPONSIBLE FOR ALL DAMAGE TO ITEMS PROVIDED UNDER THIS CONTRACT UP TO THE TIME OF ACCEPTANCE BY THE OWNER, WHETHER THIS DAMAGE RESULTS DURING SHIPMENT FROM MANUFACTURER DELIVERY TO SITE, PLACEMENT, OR THROUGH CARELESSNESS OR MALICIOUS MISCHIEF OR WHATEVER REASON, AND FINAL PAYMENT WILL BE MADE ONLY FOR UNDAMAGED ITEMS. CONTRACTOR SHALL REPLACE ALL DAMAGED ITEMS OR PARTS OF ASSEMBLED OR MANUFACTURED ITEMS AS SOON AS DISCOVERED AT NO COST TO THE OWNER.
7. NOMINAL TOUCH-UP OR REPAIR OF PAINTED FINISHES WILL BE PERMITTED IF DONE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES FOR SUCH REPAIRS. THE RESULTANT REPAIRS SHALL BE AGREED TO AND SIGNED OFF BY THE ARCHITECT IN ACCEPTANCE OF THE PROJECT.

FURNITURE PLAN KEY NOTES #

- EQUIPMENT / COMMUNICATIONS**
- 11.1 RELOCATE LARGE-FORMAT PLOTTER/SCANNER FROM CCB
 - 11.2 RELOCATE PRINTER FROM CCB
 - 11.3 NEW, WALL-MOUNTED MONITOR.
- FURNITURE REMOVAL**
- 12.1 REMOVE ALL EXISTING OFF FURNITURE IN THIS AREA. RETURN TO OWNER FOR STORAGE.
 - 12.2 EXISTING FURNITURE TO REMAIN. IF NECESSARY, REMOVE AND STORE FOR REINSTALLATION.
 - 12.3 REMOVE CUBIC WALLS, DESKING, AND WIRING AND SAVE FOR RELOCATION WITHIN THE BUILDING.
 - 12.4 REMOVE CUBICAL WALLS, DESKING, AND ASSOCIATED WIRING. RETURN TO OWNER FOR STORAGE.
 - 12.5 REUSE EXISTING FURNITURE WITHIN BUILDING. WHERE NECESSARY, STORE AND PROTECT FOR REUSE. SEE FURNITURE MATRIX.
- FURNITURE INSTALLATION**
- 12.6 INSTALL EXISTING FURNITURE FROM CCB.
 - 12.7 RELOCATE EXISTING FURNITURE FROM OFF.
 - 12.8 INSTALL EXISTING FURNITURE FROM THE GOODMAN COMMUNITY CENTER.
 - 12.9 INSTALL NEW FURNITURE.



1 GROUND FLOOR FURNITURE PLANS
A906 SCALE: 1/8" = 1'-0" 

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "V.I.F." OR VERIFY-IN-FIELD

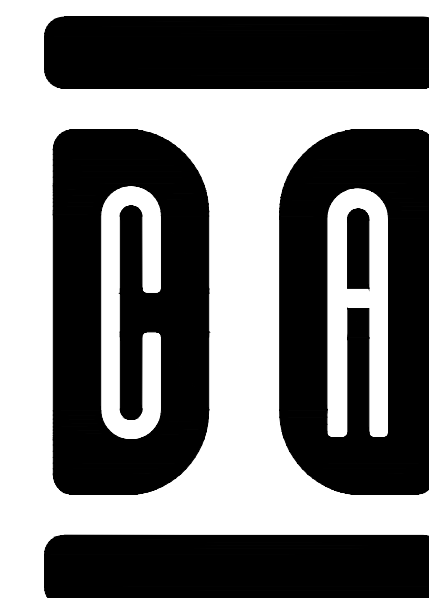
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**GROUND FLOOR
FURNITURE PLAN**

ISSUED FOR
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A905

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FIRST FLOOR FURNITURE PLANS

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A906

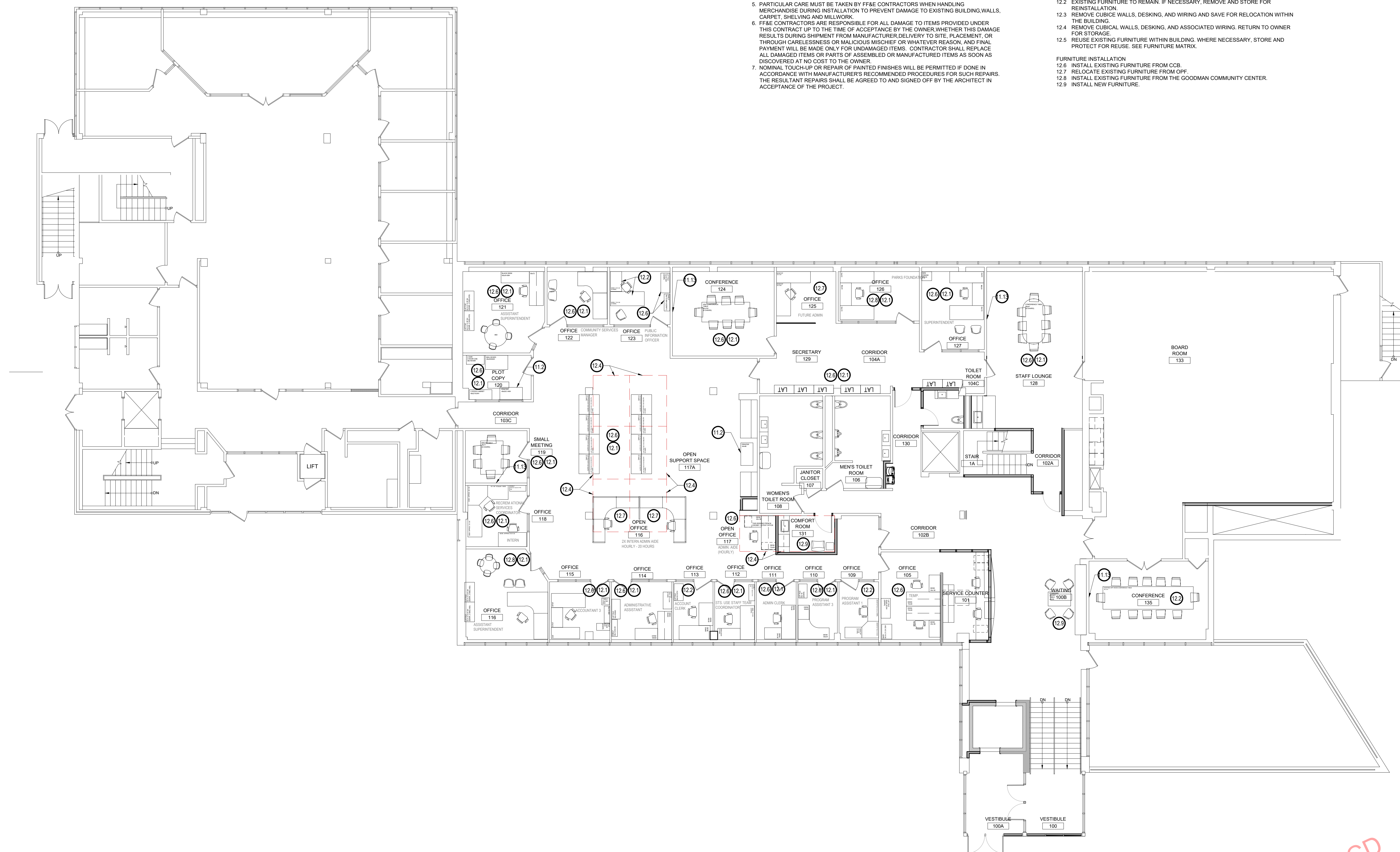
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FURNITURE PLAN KEY NOTES

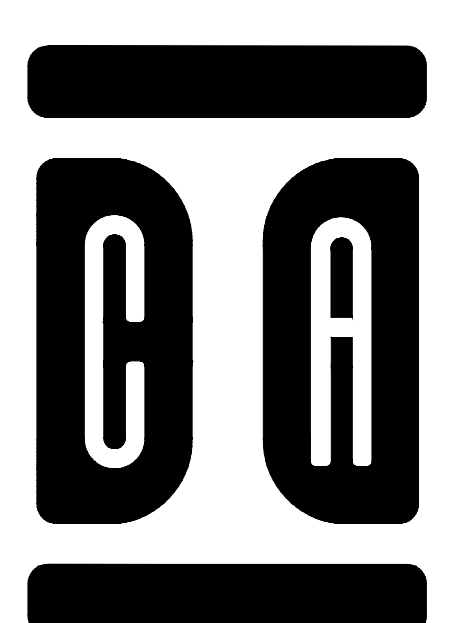
- EQUIPMENT / COMMUNICATIONS
- 11.1 RELOCATE LARGE-FORMAT PLOTTER/SCANNER FROM CCB
 - 11.2 RELOCATE PRINTER FROM CCB
 - 11.3 NEW, WALL-MOUNTED MONITOR.
- FURNITURE REMOVAL
- 12.1 REMOVE ALL EXISTING OFF FURNITURE IN THIS AREA. RETURN TO OWNER FOR STORAGE.
 - 12.2 EXISTING FURNITURE TO REMAIN. IF NECESSARY, REMOVE AND STORE FOR REINSTALLATION.
 - 12.3 REMOVE CUBICLE WALLS, DESKING, AND WIRING AND SAVE FOR RELOCATION WITHIN THE BUILDING.
 - 12.4 REMOVE CUBICAL WALLS, DESKING, AND ASSOCIATED WIRING. RETURN TO OWNER FOR STORAGE.
 - 12.5 REUSE EXISTING FURNITURE WITHIN BUILDING. WHERE NECESSARY, STORE AND PROTECT FOR REUSE. SEE FURNITURE MATRIX.
- FURNITURE INSTALLATION
- 12.6 INSTALL EXISTING FURNITURE FROM CCB.
 - 12.7 RELOCATE EXISTING FURNITURE FROM OFF.
 - 12.8 INSTALL EXISTING FURNITURE FROM THE GOODMAN COMMUNITY CENTER.
 - 12.9 INSTALL NEW FURNITURE.

GENERAL FURNITURE PLAN NOTES

1. PROTECT FURNITURE AND ACCESSORIES DURING DELIVERY, STORAGE AND HANDLING TO PREVENT DAMAGE, SOILING AND DETERIORATION.
2. FF&E CONTRACTORS ARE RESPONSIBLE FOR KNOWING WHEN THEIR MERCHANDISE IS TO ARRIVE AND MUST HAVE AVAILABLE ALL LABOR AND EQUIPMENT NEEDED FOR DELIVERY, UNLOADING, ASSEMBLY, HANDLING, SETTING INTO PLACE, AND INSPECTION.
3. DELIVERY SCHEDULE MUST BE APPROVED BY THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY STORAGE OF ALL FURNITURE AND ACCESSORY ITEMS UNTIL TIME OF DELIVERY AND INSTALLATION.
5. PARTICULAR CARE MUST BE TAKEN BY FF&E CONTRACTORS WHEN HANDLING MERCHANDISE DURING INSTALLATION TO PREVENT DAMAGE TO EXISTING BUILDING, WALLS, CARPET, SHELVING AND MILLWORK.
6. FF&E CONTRACTORS ARE RESPONSIBLE FOR ALL DAMAGE TO ITEMS PROVIDED UNDER THIS CONTRACT UP TO THE TIME OF ACCEPTANCE BY THE OWNER. WHETHER THIS DAMAGE RESULTS DURING SHIPMENT FROM MANUFACTURER, DELIVERY TO SITE, PLACEMENT, OR THROUGH CARELESSNESS OR MALICIOUS MISCHIEF OR WHATEVER REASON, AND FINAL PAYMENT WILL BE MADE ONLY FOR UNDAMAGED ITEMS. CONTRACTOR SHALL REPLACE ALL DAMAGED ITEMS OR PARTS OF ASSEMBLED OR MANUFACTURED ITEMS AS SOON AS DISCOVERED AT NO COST TO THE OWNER.
7. NOMINAL TOUCH-UP OR REPAIR OF PAINTED FINISHES WILL BE PERMITTED IF DONE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES FOR SUCH REPAIRS. THE RESULTANT REPAIRS SHALL BE AGREED TO AND SIGNED OFF BY THE ARCHITECT IN ACCEPTANCE OF THE PROJECT.



1 FIRST FLOOR FURNITURE PLANS
A907 SCALE: 1/8" = 1'-0"



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play
**MADISON
 PARKS**

OLIN PARK FACILITY IMPROVEMENTS
330 E LAKESIDE STREET
MADISON, WISCONSIN 53715

NOTE: ALL DIMENSIONS GIVEN SHALL BE CONSIDERED TO BE "I.F." OR VERIFY-IN-FIELD

ICA NO. COM 20-002

**SECOND
 FLOOR PLAN**

ISSUED FOR
 100% CD REVIEW SET
 05-10-2021

A304

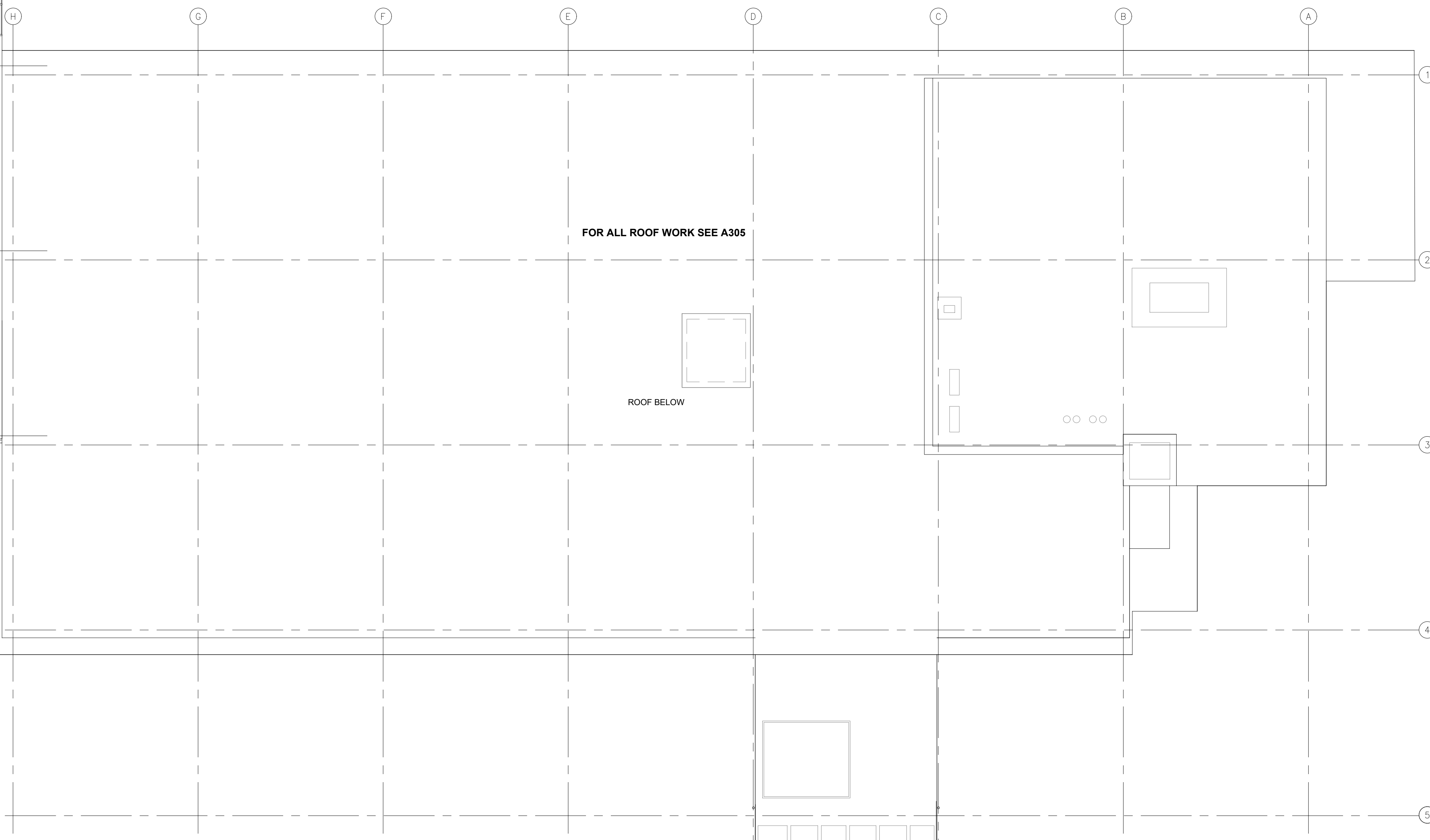
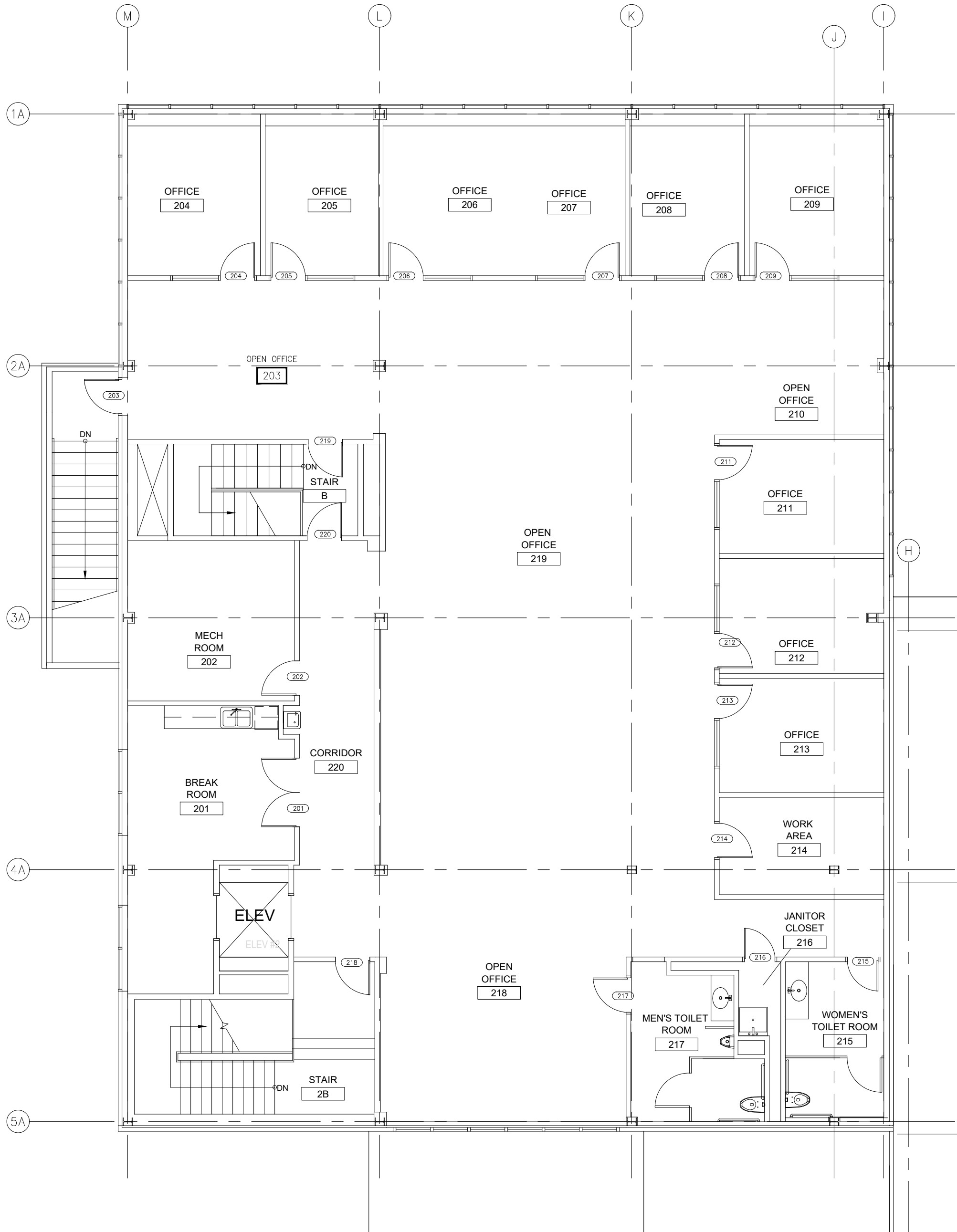
100% CD
 REVIEW SET

GENERAL PLAN NOTES

- NEW CONSTRUCTION IN BOLD.
- SEE ASSOCIATED DRAWINGS FOR MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND TECHNOLOGY.
- FOR EQUIPMENT LOCATIONS, PADS, AND SITE-WORK SEE CIVIL SERIES DRAWINGS.
- SEE FINISH PLANS FOR NEW FINISHES.
- SEE REFLECTED CEILING PLANS FOR NEW CEILINGS.
- DIMENSIONS ARE TO FACE OF MASONRY, CMU OR CONCRETE, OR GWB PARTITION.
- PATCH WALLS FLOORS AND CEILING TO MATCH EXISTING AND PROVIDE SMOOTH AND CONTINUOUS SURFACES AT ALL WORK INCLUDING REMOVAL OF MISCELLANEOUS ITEMS SUCH AS THERMOSTATS, SIGNAGE, AND CASEWORK.
- MECHANICAL CONTRACTOR TO PATCH ABOVE CEILING WALL AND ALL FLOOR PENETRATIONS AS A RESULT OF DEMOLISHED MECHANICAL. GENERAL CONTRACTOR TO PATCH BELOW CEILING WALL PENETRATIONS. REFER TO STRUCTURAL PLANS FOR ANY REQUIRED FRAMING AT NEW OPENINGS.
- ALL PENETRATIONS THROUGH FIRE RATED CONSTRUCTION, WHETHER FROM MECHANICAL, ELECTRICAL, PLUMBING OR OTHER ACTIVITY SHALL BE FIRESTOPPED AND/OR HAVE FIRE DAMPERS WITH EQUIVALENT HOURLY RATING.
- PROVIDE FIRE STOPPING AT PIPING PENETRATIONS THROUGH FLOOR.
- PATCH AND PREPARE EXPOSED SURFACES TO RECEIVE NEW FINISHES OVER ALL HOLES IN FLOOR, WALLS, AND CEILINGS WHERE MECHANICAL EQUIPMENT OR CONNECTIONS WERE ABANDONED AND EXPOSED.
- FOR EXISTING DOORS TO REMAIN SEE DOOR SCHEDULE FOR NEW HARDWARE REQUIREMENTS.

SPECIFIC PLAN NOTES

- CONCRETE / PRECAST / MASONRY**
- NEW ELEVATOR PIT AND EQUIPMENT
 - INFILL TO LEVEL FLOOR AS REQUIRED AFTER DEMOLITION FOR MEP
 - COMPACT EXISTING REMAINING AREA OF UNEXCAVATED FILL AND POUR NEW 5" SLAB
 - NEW BACKFILL AND 5" CONCRETE SLAB TO FILL GAP BETWEEN NEW SHAFT AND EXISTING FLOOR SLAB
 - INFILL AND SUPPORT FLOOR SLAB AT TELEPHONE CHASE DEMO. PROVIDE SMOOTH AND LEVEL FINISH.
- WALLS / PARTITIONS / STAIRS**
- FINISH GYP OPENING AFTER PARTIAL DEMO FOR NEW OPENING.
 - NEW PARTITION. SEE PARTITION TYPES FOR DETAILS.
 - PATCH AND REPAIR ALL SURFACES AFTER DEMOLITION. MATCH EXISTING.
 - INFILL INTERIOR OPENING IN WALL AFTER DEMO. MATCH & MEET EXISTING MATERIALS & SURROUNDING CONSTRUCTION AND FIRE RATINGS.
 - NEW MEP CHASE WALL. PROVIDE FIRE DAMPERS AT FLOOR OR WALL PENETRATION WHERE RATING IS REQUIRED. MATCH ADJACENT FINISHES. PROVIDE SMOOTH AND CONTINUOUS SURFACE.
 - EXISTING, COVERED CONCRETE STAIR. RESTORE STAIR & ADD HANDRAILS, AND GUARDRAILS AS NOTED. SEE A400 SERIES FOR FINISHING.
 - NEW METAL STAIR UNIT COMPLETE WITH HANDRAILS AND LANDING.
 - FUR OUT EXISTING PARTITION WITH 5/8" GYP (PAINT TO MATCH ADJACENT SURFACES) ON 3 5/8" MTL STUDS @ 16" OC. EXTEND 6" ABOVE FINISH CEILING.
 - ADD OR RESTORE FIRE STOPPING AT FLOOR LINE AND MAINTAIN 1 HR. FIRE RATING REQUIRED SMOKE BARRIER. ADD 2" METAL STUDS 16" OC WITH ONE FACE OF GYP AT TOP OF EXISTING PARTITION (ABOVE CEILING). MUD ALL JOINTS, CAULK ALL HOLES & OPENINGS.
- WINDOWS / DOORS**
- NEW PARTIAL HEIGHT BORROWED LITE IN NEW WALL.
 - NEW INTERIOR STOREFRONT SYSTEM. SEE A600 SERIES.
 - NEW SPANDREL PANEL IN EXISTING STOREFRONT SYSTEM.
 - NEW EXTERIOR DOOR AND FRAME IN MODIFIED OPENING. SEE DOOR SCHEDULE.
 - RELOCATED OR NEW EXTERIOR DOORS IN STOREFRONT SYSTEM. SEE A400 SERIES
 - RELOCATED DOORS AND FRAME. SEE DOOR SCHEDULE.
- 8.8 REVERSE EXISTING DOORS IN EXISTING FRAME**
- 8.11 NEW INTERIOR DOOR & FRAME IN NEW OPENING. SEE DOOR SCHEDULE.**
- 8.12 NEW INTERIOR DOOR & FRAME IN ALTERED OPENING. SEE DOOR SCHEDULE.**
- 8.13 REINSTALL EXISTING DOOR IN ALTERED OPENING. SEE DOOR SCHEDULE.**
- 8.14 RELOCATED OR NEW GLAZING IN STOREFRONT SYSTEM. SEE A400 SERIES.**
- SPECIALTIES**
- NEW TOILET PARTITIONS. SEE A600 SERIES.
 - NEW PASS-THROUGH SLIDING WINDOW SYSTEM WITH LOCKING.
 - NEW HORIZONTAL BLINDS
- CASEWORK / MISCELLANEOUS**
- NEW CASEWORK & COUNTERTOPS- SEE A600 SERIES. FOR ASSOCIATED MEPS SEE MEP DRAWINGS.
 - NEW SURFACE. FIELD VERIFY ALL CABINET SIZES FOR SHELF LENGTH AND WIDTH.
- ELEVATOR**
- SEE ELEVATOR RESTORATION SECTION 14 24 20 FOR REGULATED OBJECT NO. 502069 FOR WORK ASSOCIATED WITH EXISTING ELEVATORS.
 - NEW ELEVATOR AND SHAFT.
- MISCELLANEOUS & EQUIPMENT**
- FIRE DEPARTMENT ANNUNCIATOR PANEL LOCATED AT 42" A.F.F.
 - NEW ACCESS DOOR (AD) FOR MEP. SEE MEP DRAWINGS.
 - RELOCATED ELECTRICAL PANEL. SEE MEP DRAWINGS.
 - RELOCATED FIRE EXTINGUISHER IN CABINET.
 - AREA OF RESCUE ASSISTANCE. PROVIDE HANS-FREE, TWO-WAY COMMUNICATION WITH AUDIO-VISUAL SIGNAGE.
- PLUMBING**
- NOT USED
 - PROVIDE NEW BOTTLE FILLER. SEE PLUMBING DRAWING SERIES.
 - PROVIDE NEW DRINKING FOUNTAIN. SEE PLUMBING DRAWING SERIES.
 - INSTALL NEW MOP SINK. SEE PLUMBING SERIES.
 - FOR NEW PLUMBING FIXTURES IN THIS AREA SEE PLUMBING SERIES DRAWINGS.



- SYMBOLS**
- 101A DOOR TAG
 - 1 PARTITION TYPE
 - LAB 151 ROOM NAME AND NUMBER
 - FEC FIRE EXTINGUISHER IN 30 MIN. RATED CABINET
 - FE FIRE EXTINGUISHER WITHOUT CABINET

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 A304 **SECOND FLOOR PLAN**
 SCALE: 1/8" = 1'-0"

