# **URBAN DESIGN COMMISSION APPLICATION**



City of Madison Planning Division Madison Municipal Building, Suite 017 215 Martin Luther King, Jr. Blvd. P.O. Box 2985 Madison, WI 53701-2985 (608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:
Paid Receipt #
Date received
Received by
Aldermanic District
Zoning District
Urban Design District
Submittal reviewed by
Legistar #

1. Project Information						
Address:						
Title:						
2. Application Type (check all t	that apply) and Requested Date	9				
UDC meeting date requested						
New development	· ·	r previously-approved development				
Informational	Initial approval	Final approval				
3. Project Type						
Project in an Urban Design	n District	Signage				
Project in the Downtown C		Comprehensive Design Review (CDR)				
Mixed-Use District (UMX), or Mixed-Use Center District (MXC) Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)		Signage Variance (i.e. modification of signage height, area, and setback)				
		Signage Exception				
Planned Development (PD	))	Other				
General Developmer Specific Implementa	` '	Please specify				
Planned Multi-Use Site or	Residential Building Complex					
4. Applicant, Agent, and Prope	erty Owner Information					
Applicant name		Company				
Street address		City/State/Zip				
Telephone		Email				
Project contact person		Company				
Street address		C'1 (Chaha 17)				
Telephone		Email				
Property owner (if not applic	cant)					
Street address		City/State/Zip				
Telephone		Email				
M:\PLANNING DIVISION\COMMISSIONS & COMMITTE	EES\URBAN DESIGN COMMISSION\APPLICATION — F	FEBRUARY 2020 PAGE 1 OF 4				

Each submittal must include

fourteen (14) 11" x 17" collated

paper copies. Landscape and

Lighting plans (if required)

must be full-sized and legible.

Please refrain from using

plastic covers or spiral binding.

# 5. Required Submittal Materials

#### **Application Form**

#### **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

**Development Plans** (Refer to checklist on Page 4 for plan details)

Filing fee

**Electronic Submittal\*** 

#### **Notification to the District Alder**

• Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies <u>must</u> be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to <a href="mailto:udcapplications@cityofmadison.com">udcapplications@cityofmadison.com</a>. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

ь. Арр	Discant Declarations					
1.	Prior to submitting this application, Commission staff. This application				t with Urban De	sign on
2.	The applicant attests that all required m is not provided by the application dea consideration.					
Name	of applicant		Relationship to	property		
is not provided by the application deadline, th consideration.  Name of applicant  Authorizing signature of property owner		111. 1. 1. 11.				

#### 7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

# **URBAN DESIGN COMMISSION APPROVAL PROCESS**



#### Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

### **Types of Approvals**

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the
  UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants
  should provide details on the context of the site, design concept, site and building plans, and other relevant information
  to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- <u>Initial Approval</u>. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

#### **Presentations to the Commission**

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. Applicants/presenters are responsible for all presentation materials, AV equipment and easels.

# **URBAN DESIGN DEVELOPMENT PLANS CHECKLIST**



The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informa	tional Presentation						
	Locator Map	)		Requirem	ents for All Plan Sheets		
	Letter of Intent (If the project is within			1. Title	block		
	an Urban Design District, a summary of how the development proposal addresses			2. Shee	et number		
	the district criteria is required)		Providing additional	3. Nort	th arrow		
	Contextual site information, including	\	information beyond these minimums may generate		e, both written and graphic		
	photographs and layout of adjacent buildings/structures		a greater level of feedback	5. Date	e dimensioned plans, scaled		
	Site Plan		from the Commission.	at 1"	'= 40' or larger		
	Two-dimensional (2D) images of				ns must be legible, including great landscape and lighting		
	proposed buildings or structures.	J		plans (if re			
2. Initial A	pproval						
	Locator Map			)			
	Letter of Intent (If the project is within a the development proposal addresses the			of <u>how</u>			
	Contextual site information, including phostructures	otog	raphs and layout of adjacent bu	uildings/	Providing additional information beyond these		
	Site Plan showing location of existing a lanes, bike parking, and existing trees ov			res, bike	minimums may generate a greater level of feedback		
	Landscape Plan and Plant List (must be le	gible	e)		from the Commission.		
	Building Elevations in both black & whi material callouts)	te ar	nd color for all building sides	(include			
	PD text and Letter of Intent (if applicable	·)		J			
3. Final Ap	proval						
All the re	equirements of the Initial Approval (see ab	oove)	), <u>plus</u> :				
	Grading Plan						
	Proposed Signage (if applicable)						
	Lighting Plan, including fixture cut sheets	s and	d photometrics plan ( <i>must be le</i>	egible)			
	Utility/HVAC equipment location and scr	eeni	ng details (with a rooftop plan	if roof-mou	inted)		
	PD text and Letter of Intent (if applicable	( ټ					
	Samples of the exterior building materia	ls (pr	resented at the UDC meeting)				
4. Compre	nensive Design Review (CDR) and Varia	nce l	Requests ( <i>Signage applicatio</i>	ons only)			
	Locator Map		, , , , , , , , , , , , , , , , , , , ,				
	Letter of Intent (a summary of how the prop	osec	d signage is consistent with the CI	DR or Signage	e Variance criteria is required)		
	Contextual site information, including photographs of existing signage both on site and within proximity to the project site						
	Site Plan showing the location of existing driveways, and right-of-ways	; sign	nage and proposed signage, din	nensioned s	signage setbacks, sidewalks,		
	Proposed signage graphics (fully dimensi	ione	d, scaled drawings, including m	naterials and	d colors, and night view)		
	Perspective renderings (emphasis on ped	destr	rian/automobile scale viewshed	ds)			
	Illustration of the proposed signage that	mee	ets Ch. 31, MGO compared to v	vhat is being	g requested.		
	Graphic of the proposed signage as it rel	ates	to what the Ch. 31, MGO wou	ld permit			

March 31, 2021



Ms. Heather Stouder
Director, Planning Division
City of Madison Department of Planning & Community & Economic Development
215 Martin Luther King Jr. Blvd., Ste 017
Madison, Wisconsin 53703

Re: Letter of Intent – Land Use Application 6321 Town Center Dr. – Lot #10 in the Metro Tech Plat KBA Project #2108

Ms. Heather Stouder:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

# **Organizational Structure:**

Owner: Ellefson Construction, Inc. Architect: Knothe & Bruce Architects, LLC

1018 Gammon Lane Suite 100 7601 University Ave. STE 201

Madison, WI 53719 Middleton, WI 53562 (608) 695-5823 (608) 836-3690

Contact: Michael J Ellefson Contact: Kevin Burow michael@ellefsonconstruction.com kburow@knothebruce.com

Engineer: Snyder & Associates, Inc. Landscape Ellefson Construction, Inc.

5010 Voges Rd. Design: 1018 Gammon Lane Suite 100 Madison, WI 53718 Madison, WI 53719 (608) 838-0444 (608) 695-5823

Contact: Brian Arcand Contact: Jeff DeLaura jeffreydelaura@gmail.com

#### Introduction:

This proposed multi-family development involves the redevelopment of 6321 Town Center Dr., Lot #10 of the Metro Tech Plat. Located directly across from Madison Fire Station #13 and is located on the south side of Town Center Dr, along Metro Terrace, the site is currently vacant. This application requests permission for the development of three new three-story residential buildings with underground parking. The development will include 74 apartment units that range from studios, one-, and two-bedroom units. The site is currently zoned PD (Planned Development District) and will remain PD (Planned Development District) zoning for the proposed redevelopment. This submittal encompasses the update of both the GDP and SIP for Lot #10 of the Metro Tech Plat.

# **Project Description:**

The proposed project is a multi-family development consisting of 74 apartment units in three buildings. Each building will be three-stories, and each will have underground residential parking. The exterior design of these buildings will feature sloped roofs and will be similar in scale to the neighboring condominium development located directly across the Metro Terrace.

The transitions between the landscaping, open space, and the buildings are particularly sensitive to the surrounding residential properties. The project will enhance the streetscapes without overwhelming the neighborhood environment. Earth-tone composite siding paired with red brick anchors the building to the site. The architecture breaks apart the overall scale of the building with balconies and changing material. This further helps ease the transition between surrounding open space and multi-family housing.

Parking is provided at the lower level within each building; surface parking is accessed from Town Center Dr. and underground parking for Buildings I and 3 is accessed from Metro Terrace, while underground parking for Building 2 is accessed from the surface parking off Town Center Dr. The site is also only one block to the nearest transit stop, allowing for easy access to many areas of the City.

### **City and Neighborhood Input:**

We have met with the City on several occasions for this proposed development including a Neighborhood Meeting with Alder Lemmer on March 23, 2021 and a pre-application meeting with Kevin Firchow and Chris Wells from Planning and Jenny Kirchgatter from Zoning and Janine Glaeser from Planning/UDC on February 3, 2021. The project was met with positive feedback, and we have worked to ensure this proposed development stays true to discussions at this meeting.

### **Site Development Data:**

1)	Δn	10	ıtı	es:
$\boldsymbol{-}$	CI	ı	u	CJ.

Lot Area 129,851 S.F. / 2.98 acres

 Dwelling Units
 74 D.U.

 Lot Area / D.U.
 1,755 S.F./D.U.

 Density
 24.8 units/acre

 Lot Coverage
 60,446 S.F. / 47 %

Usable Open Space 19,548 S.F.

Building Height: 3 Stories / 54'

### **Dwelling Unit Mix:**

	<u>Bldg I</u>	<u>Bldg 2</u>	<u>Bldg 3</u>	<u>Total</u>
Efficiency	3	3	3	9
One Bedroom	6	9	9	24
One Bedroom + Den	3	-	-	3
Two Bedroom	14	12	12	38
Total	26	24	24	74 D.U.

# Vehicle Parking:

	<u>Bldg I</u>	<u>Bldg 2</u>	<u>Bldg 3</u>	<u>Total</u>
Underground	24	23	23	70
Surface parking lot				33

Total 103 vehicle stalls

Letter of Intent – Land Use 6321 Town Center Dr. – Lot #10 in the Metro Tech Plat March 31, 2021 Page 3 of 3

# **Bicycle Parking:**

	<u>Bldg I</u>	<u>Bldg 2</u>	<u>Bldg 3</u>	<u>Total</u>
Garage Floor-Mount	26	18	18	62
Garage Wall-Mount	-	6	6	12
Guest Surface	2	2	4	8
Total	28	26	28	82 bike stalls

# **Project Schedule:**

It is anticipated that construction will start for Phase I, which is Building #2, in Fall 2021 and be completed in Summer 2022. Buildings #1 and #3 will be completed in the following years, or as the market demands.

Thank you for your time and consideration of our proposal.

Sincerely,

Kevin Burow, AIA, NCARB, LEED AP

Keni Bun

Managing Member

### **Zoning Text**

March 31, 2021 Lot 10 Metrotech Amended PD-GDP-SIP KBA 2108

### Legal Description:

The lands subject to this Planned Unit Development District shall include Lot 10, Metrotech, City of Madison, Dane County.

- A. Statement of Purpose: This zoning district is established to allow for the construction of a 74-unit multifamily development.
- B. Permitted Uses: Following are permitted uses:
  - I. Multifamily residential uses as shown on approved plans.
  - 2. Accessory uses including but not limited to:
    - Accessory uses directly associated with those permitted uses including parking for residents and guests.
    - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. Lot Area: As shown on the approved plans.
- D. Height Regulations: As shown on the approved plans.
- E. Yard Regulations: As shown on the approved plans.
- F. Landscaping: Site Landscaping will be provided as shown on the approved plans.
- G. Usable Open Space Requirements: Usable open space will be provided as shown on the approved plans.
- H. Parking & Loading: Off-street parking and loading shall be provided as shown on the approved plans.
- I. Family Definition: The family definition shall coincide with the definition given in M.G.O.28.211 for the SR-V2 Zoning district.
- J. Signage: Signage for the residential building will be allowed as provided per Chapter 31 of the Madison General Ordinances as compared to the CC-T district.
- K. Alterations and Revisions: No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

# **Erin Socha**

From: Erin Socha

Sent: Thursday, February 25, 2021 1:59 PM

**To:** district3@cityofmadison.com

**Cc:** Kevin Burow; planning@cityofmadison.com; PLUDCApplications; Zoning

**Subject:** Notice of Land Use Application 6321 Town Center Dr.

**Categories:** 06 City

Good Afternoon Alder Lemmer,

I wanted to formally inform you of our intent to submit a Land Use Application on March 31, 2021 for the development of Lot #10 in the Metro Tech Plat. This is currently a vacant lot that is directly across from Madison Fire Station #13 and is located on the south side of Town Center Dr, along Metro Terrace. It will include the construction of three 3-story multi-family buildings, each with underground parking. If you have any questions concerning this development please let me know.

Best, Erin

Erin Socha I Architectural Technician I Knothe & Bruce Architects, LLC I Ph: 608.836.3690 Ext. 115

7601 University Avenue; Suite 201, Middleton, WI 53562 I esocha@knothebruce.com I www.knothebruce.com



6321 Town Center Drive Metro Tech Lot 10



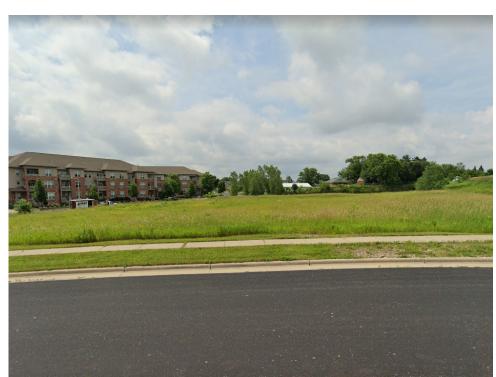






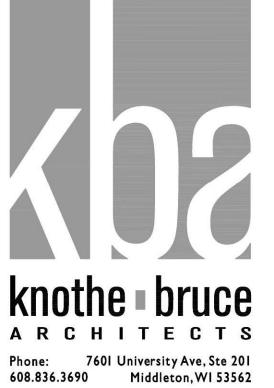






6321 Town Center Dr. Contextual Site Images





**ISSUED** 

Issued for UDC Info Submittal- March 3, 2021

PROJECT TITLE
ELLEFSON METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Site Plan

SHEET NUMBER

C-I.I

PROJECT NO.

# **GENERAL NOTES:**

I. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

2.ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING

5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:

HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM

6.CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

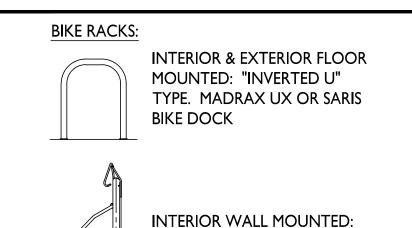
7.SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

8.ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

9.STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART I STANDARDS FOR PRUNING.

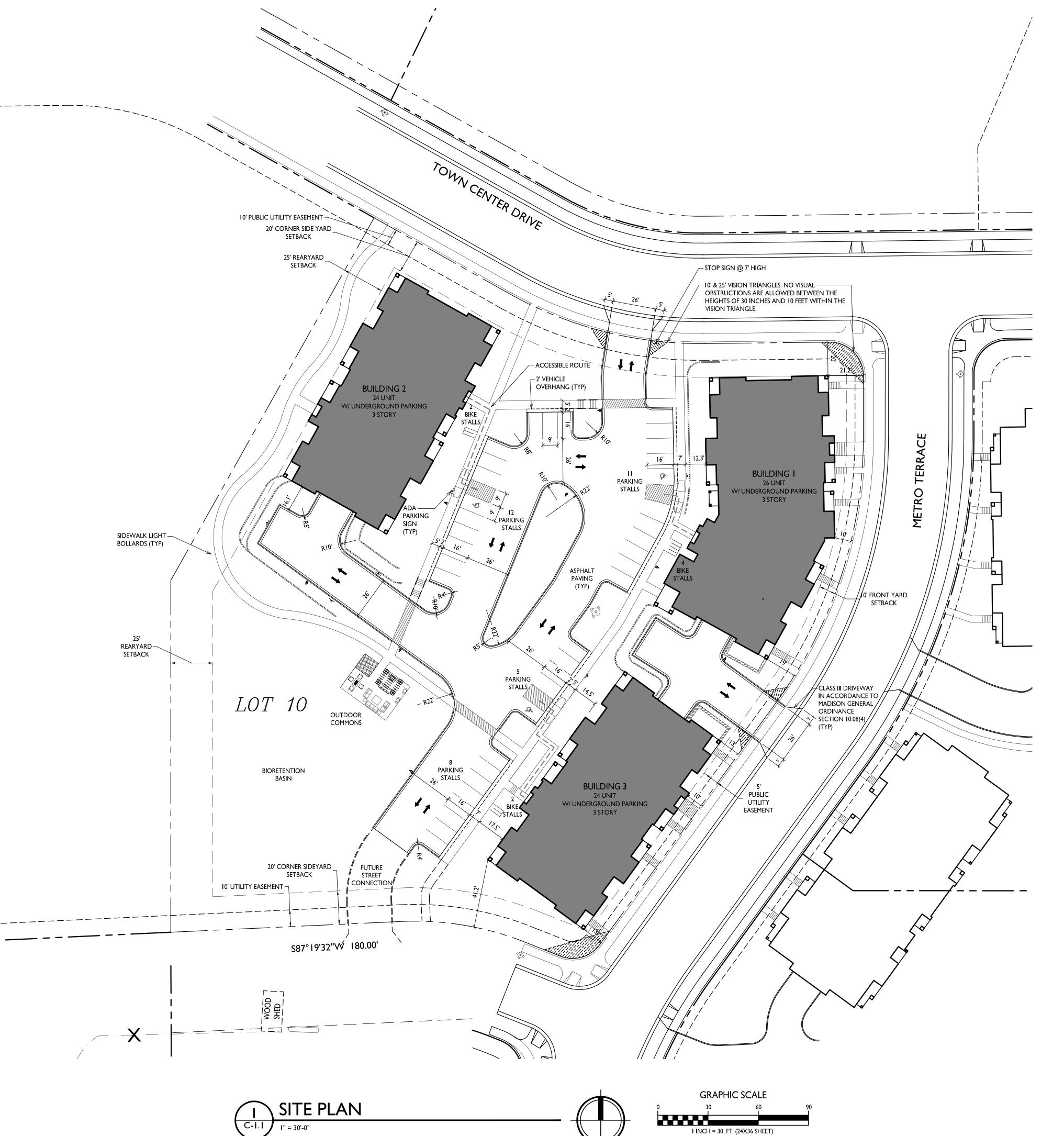
10. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).

II. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.

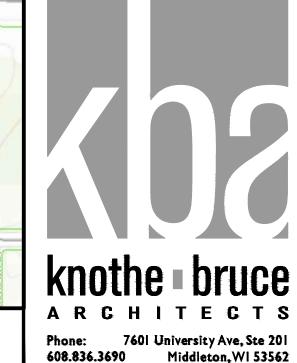


MADRAX VERTICAL RACK

OR SARIS BIKE TRACK







Issued for Land Use Submittal - March 31, 2021

Issued for UDC Submittal - March 31, 2021

SHEET INDEX	
SITE	
C-1.1	SITE PLAN
C-1.2	OVERALL SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
C-1.5	OSABLE OF EN STACE
CIVIL	
C-2.0	EVICTINIC CONIDITIONIC
	EXISTING CONDITIONS
C-2.1	SITE PLAN
C-2.2	GRADING PLAN
C-2.3	EROSION CONTROL PLAN
C-2.4	SPOT ELEVATION PLAN
C-2.5	SPOT ELEVATION PLAN
C-2.6	SPOT ELEVATION PLAN
C-2.7	SPOT ELEVATION PLAN
C-2.7 C-2.8	UTILITY PLAN
C-7.0	BASIN DETAIL
C-7.I	EROSION CONTROL DETAILS
C-7.2	STORM DETAILS
C-7.3	SANITARY & WATER DETAILS
C-7.4	MISC. DETAILS
C-7.5	MISC. DETAILS
C-7.6	NOTES
<i>- 7.</i> .0	110120
L-1.1	LANDSCAPE PLAN
L-1.1	LANDSCAI E I LAN
ARCHITECTURAL	
BUILDING #1	DACEMENT DI ANI
A-1.0	BASEMENT PLAN
A-1.l	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ELEVATIONS - COLOR
A-2.4	ELEVATIONS - COLOR ELEVATIONS - COLOR
Λ-4.Τ	LLLVATIONS - COLOR
BUILDING #2	
	DACEMENT DI ANI
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	ROOF PLAN
A-2.I	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	ELEVATIONS - COLOR
A-2.4	ELEVATIONS - COLOR
/ \ <del></del> . 1	LLL // (110140 - COLO)(
BUILDING #3	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	ROOF PLAN
A 2 I	ELEVATIONIC

Site Development Da	ta:			
Zoning				
Densities:				
Lot Area Dwelling Units Lot Area / D.U. Density	±129,85 74 units 1,755 S.F 24.8 unit		98 acres	
Lot Coverage Usable Open Space		.F. (47%) F. (264 S.	F./unit)	
Building Height	3 stories			
Dwelling Unit Mix:  Efficiency One Bedroom One Bedroom + Den Two bedroom Total Dwelling Units	Bldg #1 3 6 3 14 26	#2 3 9 - 12 24	#3 3 9 - 12 24	Total 9 24 3 38 74
Vehicle Parking Stalls: Underground Garage Surface Total	24	23	23	70 33 103
Parking Ratio	1.4 stalls/	unit		
Bicycle Parking: Garage - floor mount Garage - wall mount	26 -	18 6	18 6	62 12
Surface-Guest	2	2	4	8
LOTAL	/×	16	/×	× /

**ELEVATIONS** 

**ELEVATIONS** 

RENDERINGS

**ELEVATIONS - COLOR** 

**ELEVATIONS - COLOR** 

A-2.1

A-2.2

A-2.3

A-2.4

6321 Town Center Dr Madison, Wisconsin

SHEET TITLE Site Plan

PROJECT TITLE

**ELLEFSON** 

METRO TECH

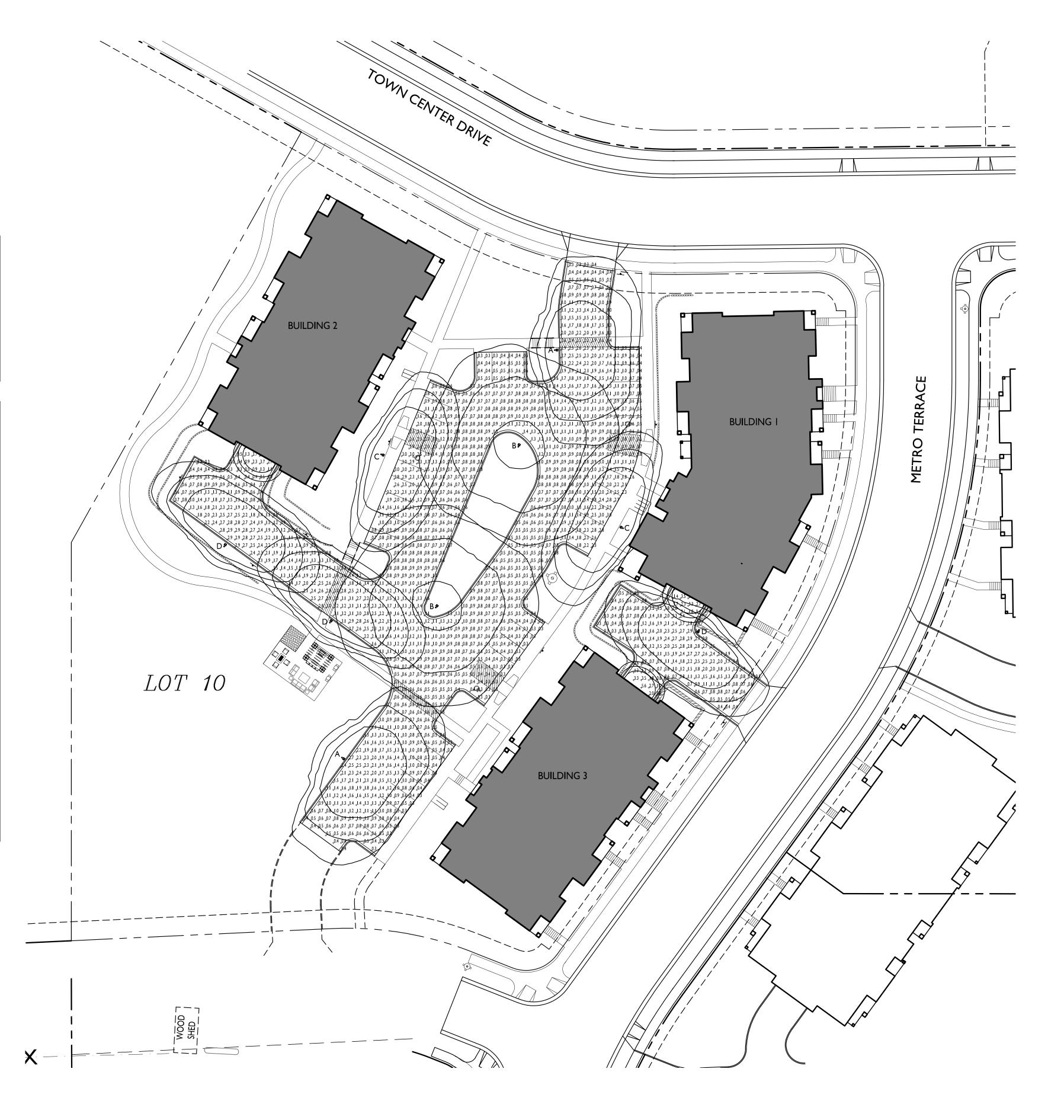
**APARTMENTS** 

SHEET NUMBER

PROJECT NO.

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking & Drive Aisle Area Lighting	+	I.I fc	3.2 fc	0.3 fc	10.7:1	3.7:I
Buildings #1 & #3 Drive Aisle Area Lighting	+	I.3 fc	3.0 fc	0.3 fc	10.0:1	4.3:I
Building #1 Garage Entry Lighting	+	2.3 fc	5.9 fc	I.I fc	5. <del>4</del> :1	2.1:1
Building #2 Garage Entry Lighting	+	I.4 fc	5.9 fc	0.2 fc	29.5:1	7.0:I
Building #3 Garage Entry Lighting	+	1.8 fc	5.6 fc	0.6 fc	9.3:1	3.01

LUMII	LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	. MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING		
	Α	2	LITHONIA LIGHTING	DSXI LED PI 30K T4M MVOLT HS	DSXI LED PI 30K T4M MVOLT WITH HOUSE SIDE SHIELD	DSXI_LED_PI_30K_T4M _MVOLT_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE		
	В	2	LITHONIA LIGHTING	DSXI LED PI 30K T5W MVOLT	DSXI LED PI 30K T5W MVOLT	DSX1_LED_P1_30K_T5W _MVOLT.ies	18'-0" POLE ON FLUSH CONC. BASE		
	С	2	LITHONIA LIGHTING	DSXI LED PI 30K T2S MVOLT HS	DSXI LED PI 30K T2S MVOLT WITH HOUSE SIDE SHIELD	DSX1_LED_P1_30K_T2S _MVOLT_HS.ies	18'-0" POLE ON FLUSH CONC. BASE		
	D	3	LITHONIA LIGHTING	DSXI LED PI 30K T2S MVOLT HS	DSXI LED PI 30K T2S MVOLT WITH HOUSE SIDE SHIELD	DSX1_LED_P1_30K_T2S _MVOLT_HS.ies	16'-0" POLE ON 2'-0" TALL CONC. BASE		
	E	3	LITHONIA LIGHTING	LIL LED PI 30K MVOLT	LIL WALLPACK (STANDARD)	LIL_LED_30K_MVOLT.ies	8'-0" ABOVE GRADE ON BUILDING		
				EXAMPLE LIGH	IT FIXTURE DISTR	IBUTION			
	ISOLUX CONTOUR = 0.25 FC ISOLUX CONTOUR = 0.5 FC ISOLUX CONTOUR = 1.0 FC LIGHT FIXTURE								





Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

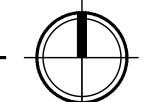
PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

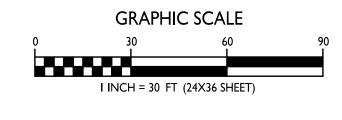
6321 Town Center Dr Madison, Wisconsin SHEET TITLE Site Lighting Plan

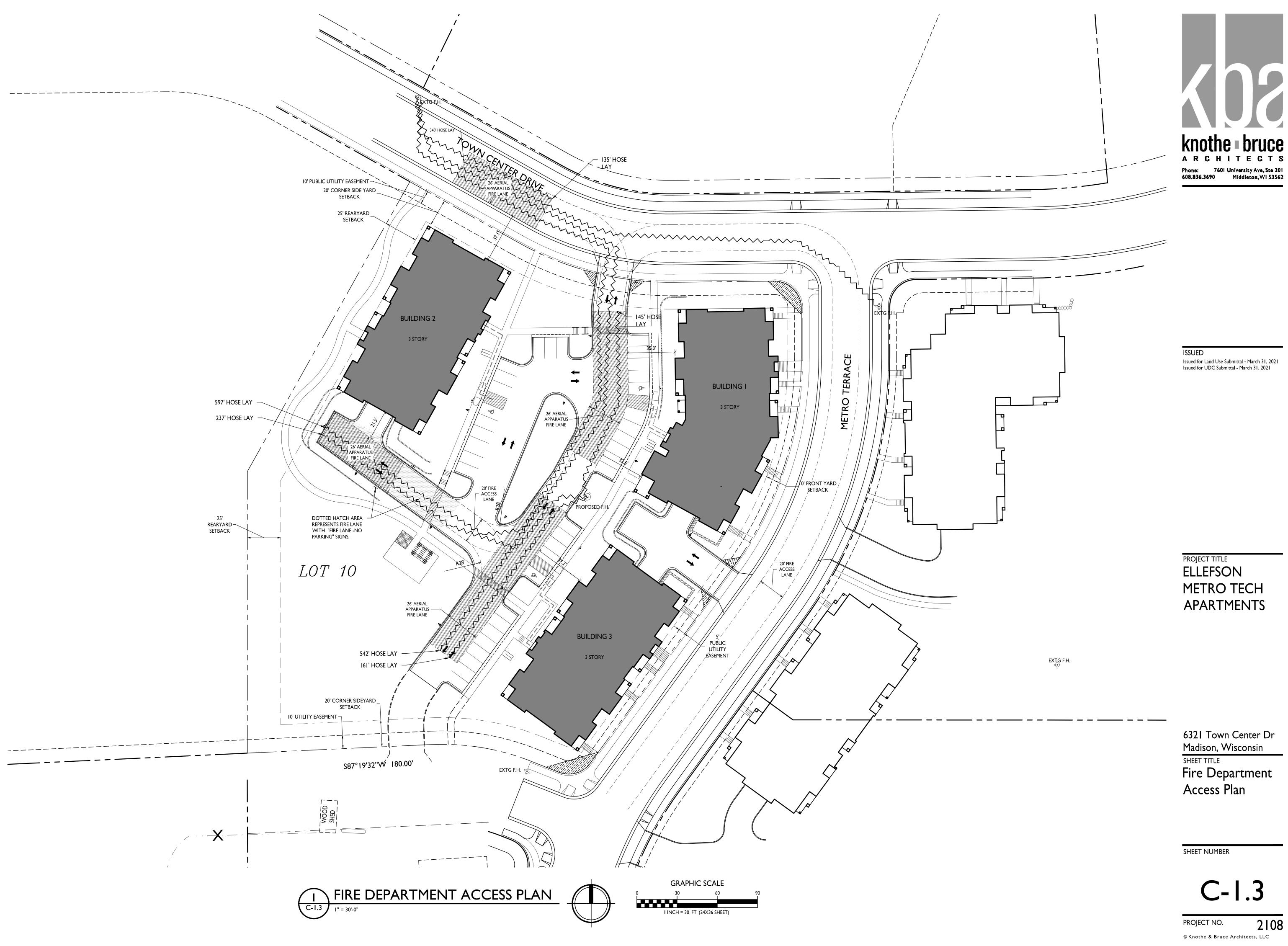
SHEET NUMBER

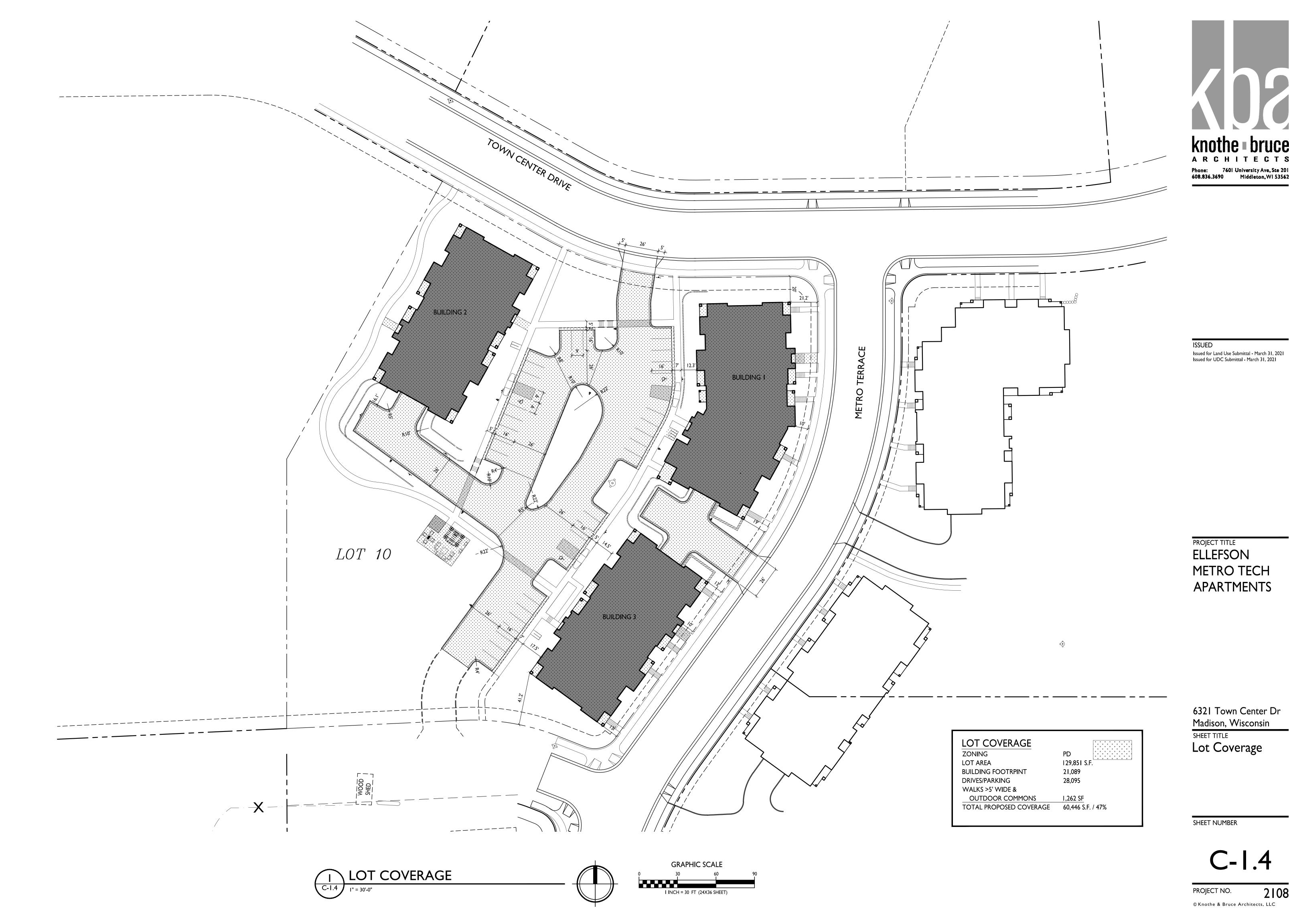
C-1.2



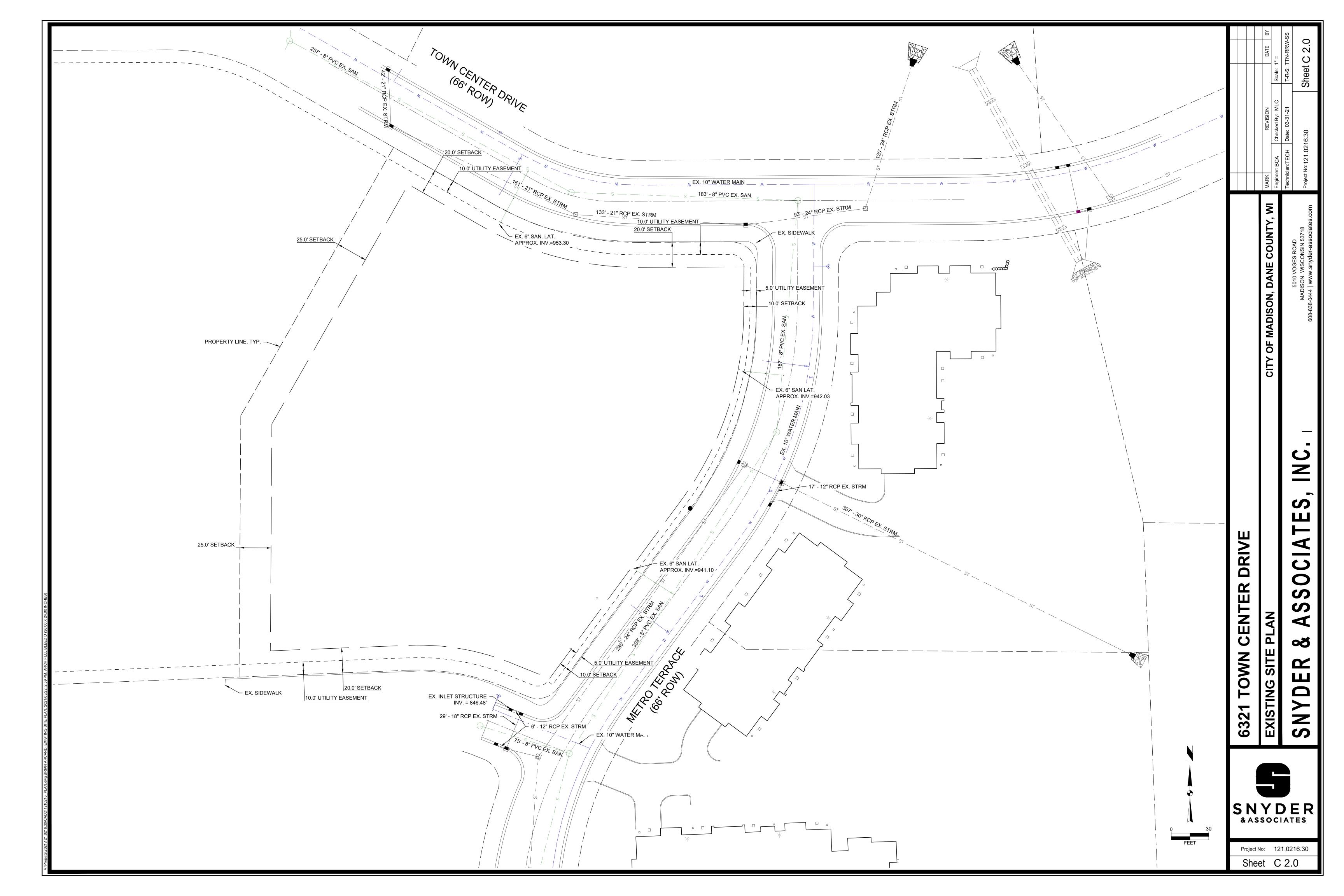


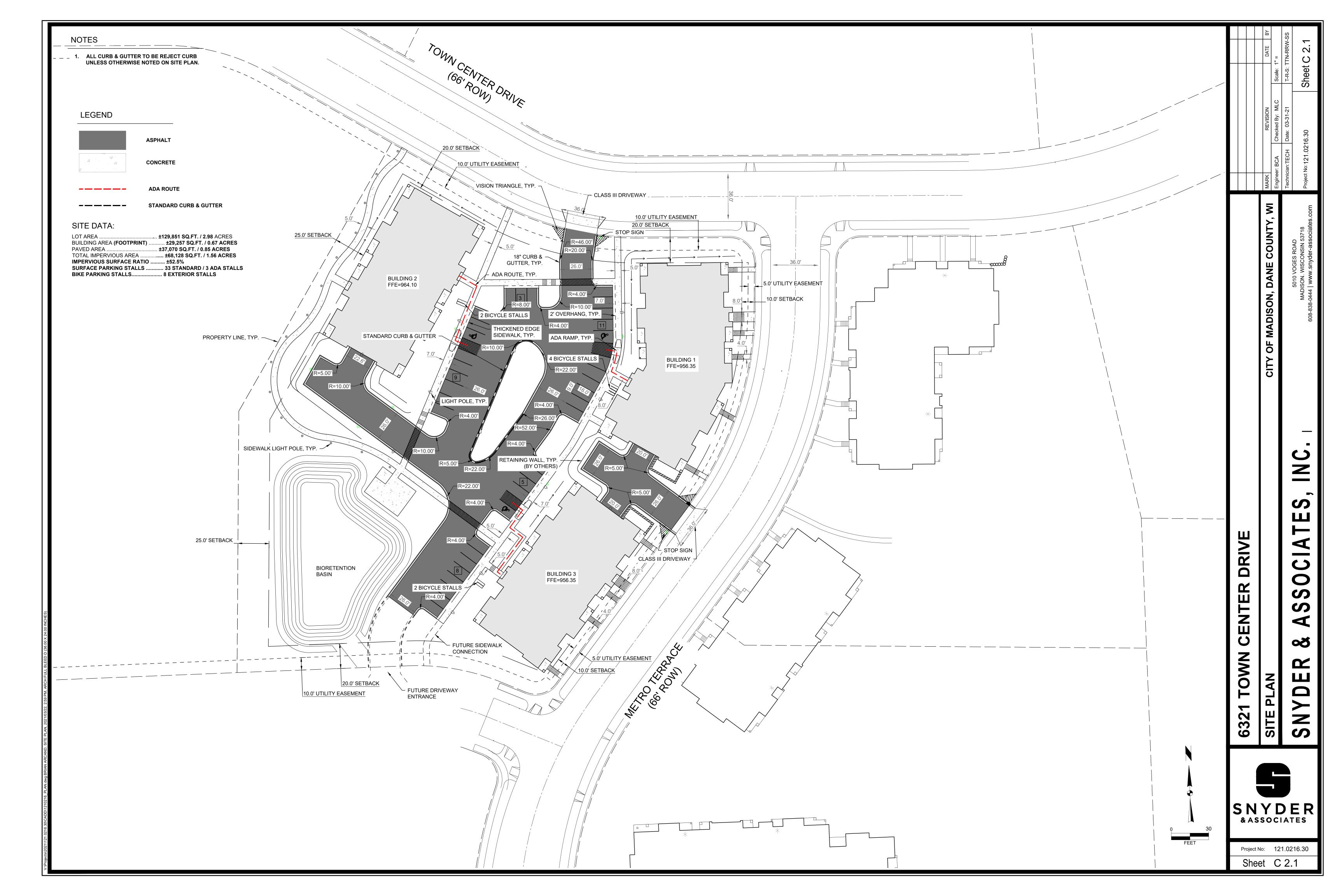


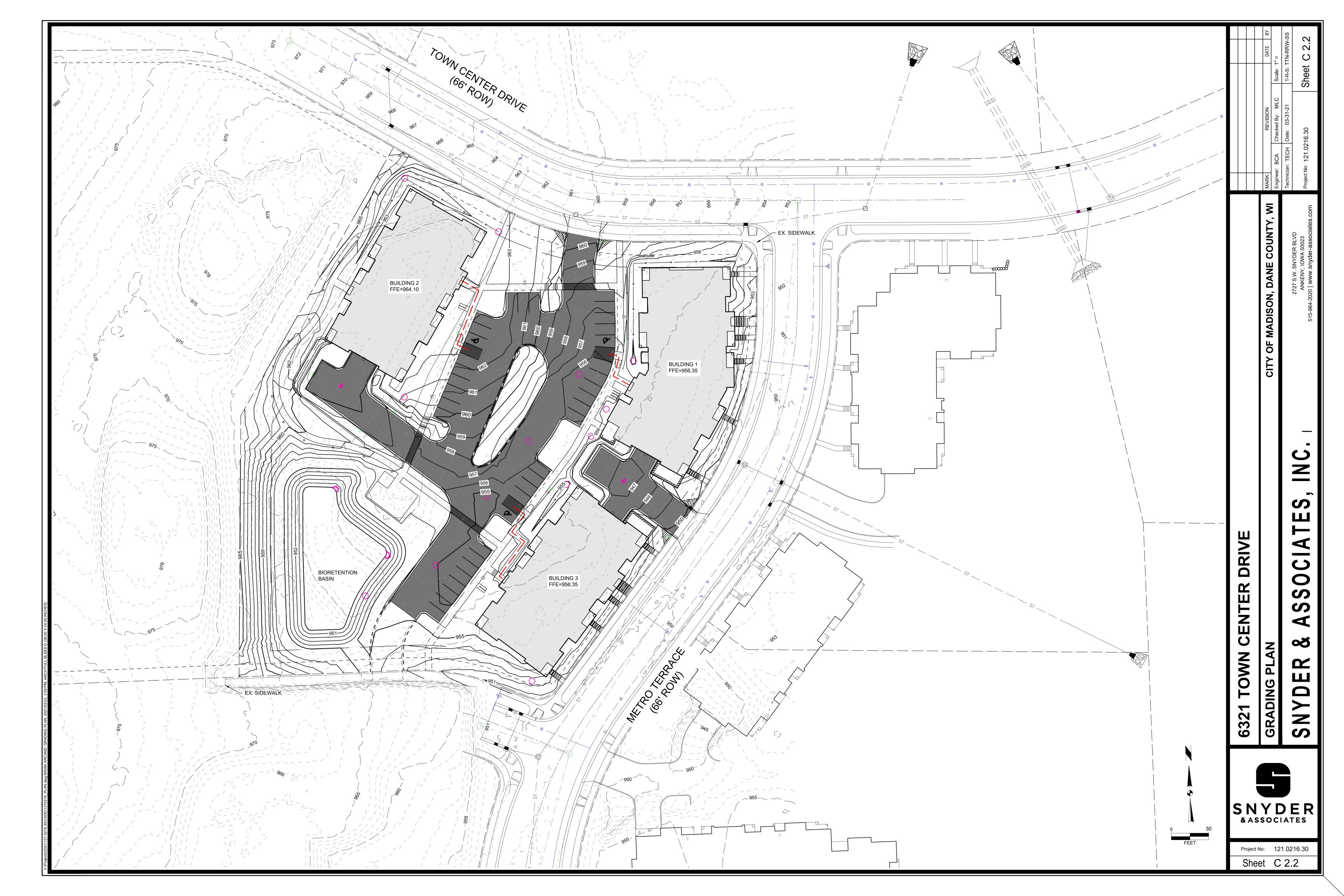


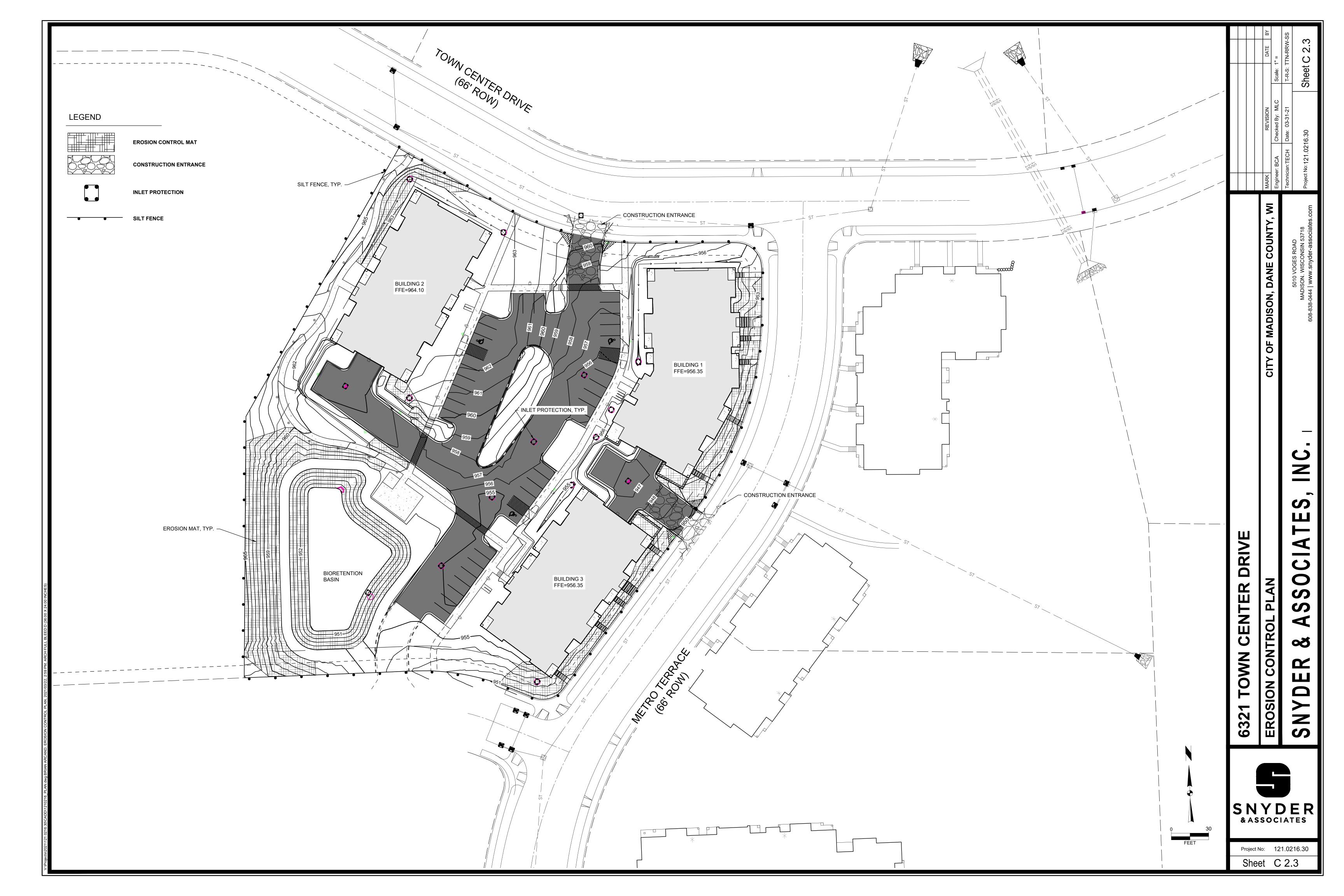


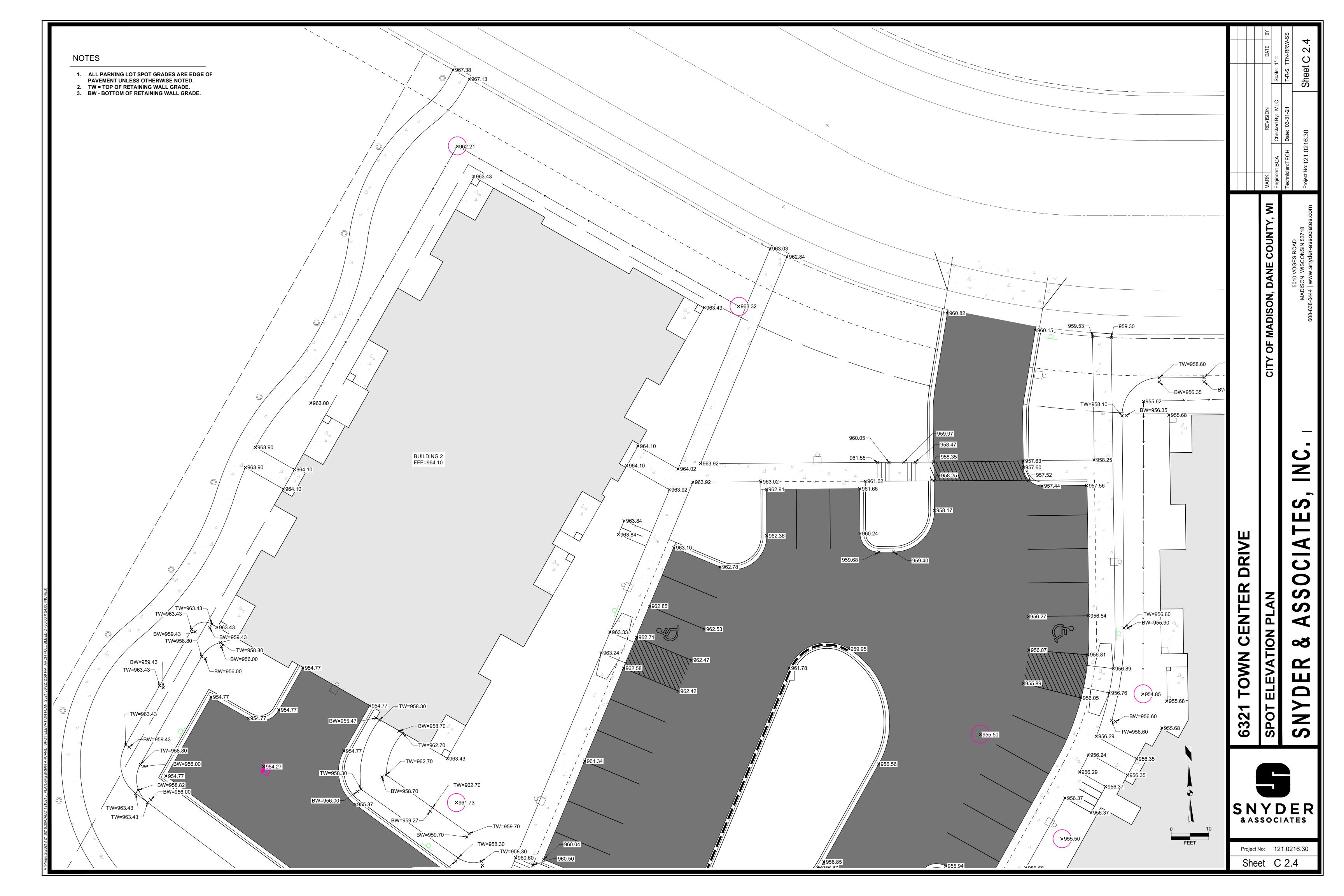


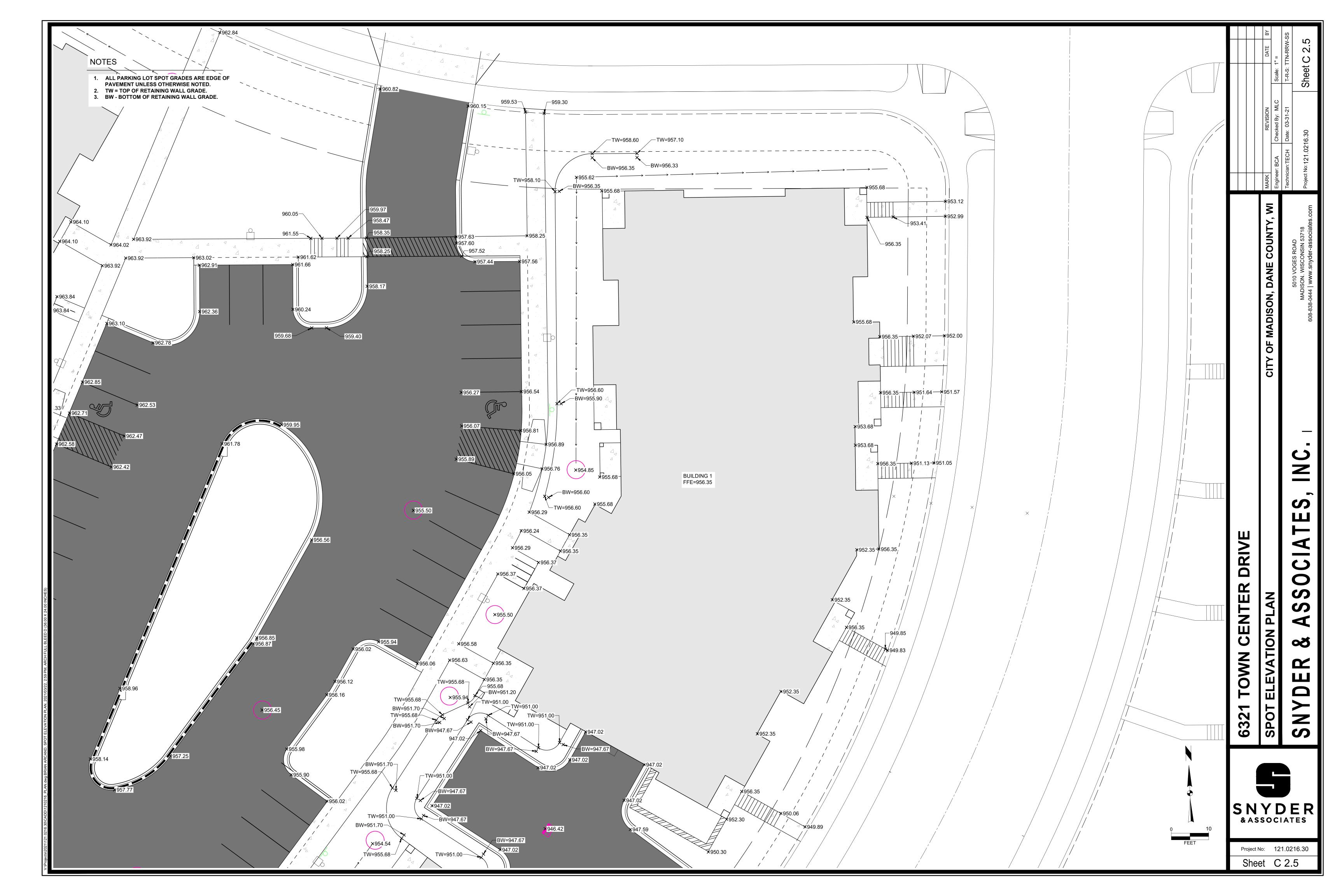


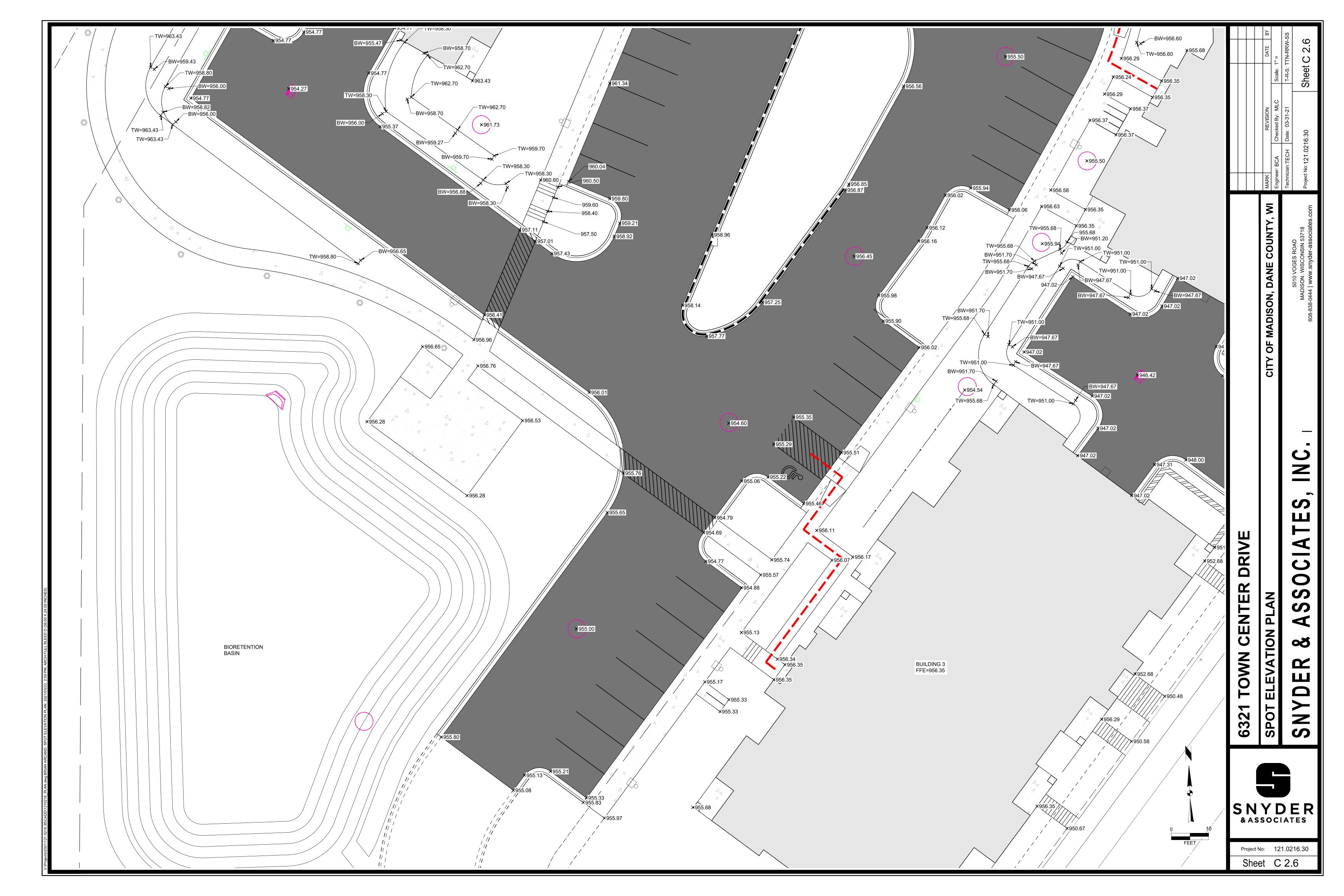


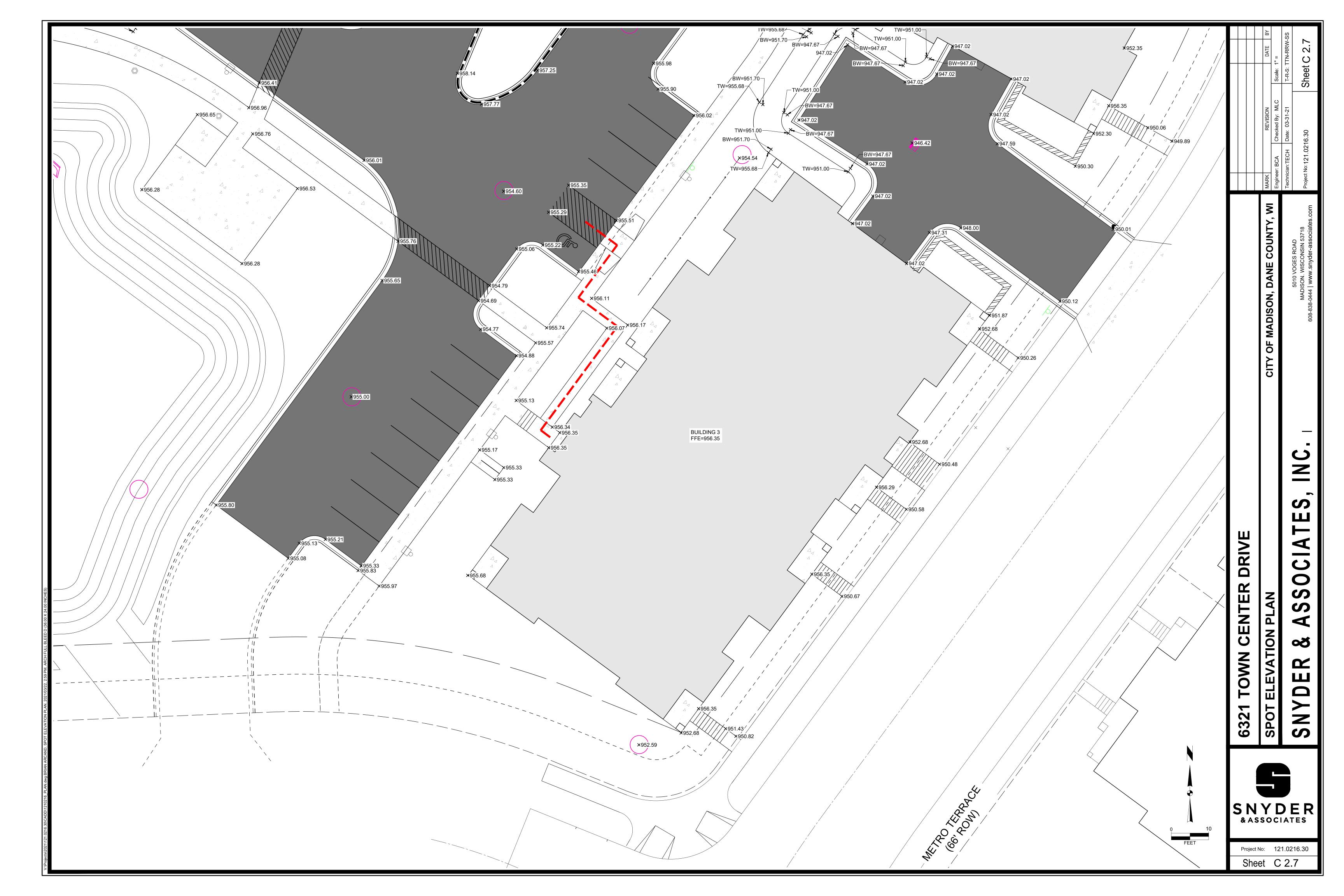


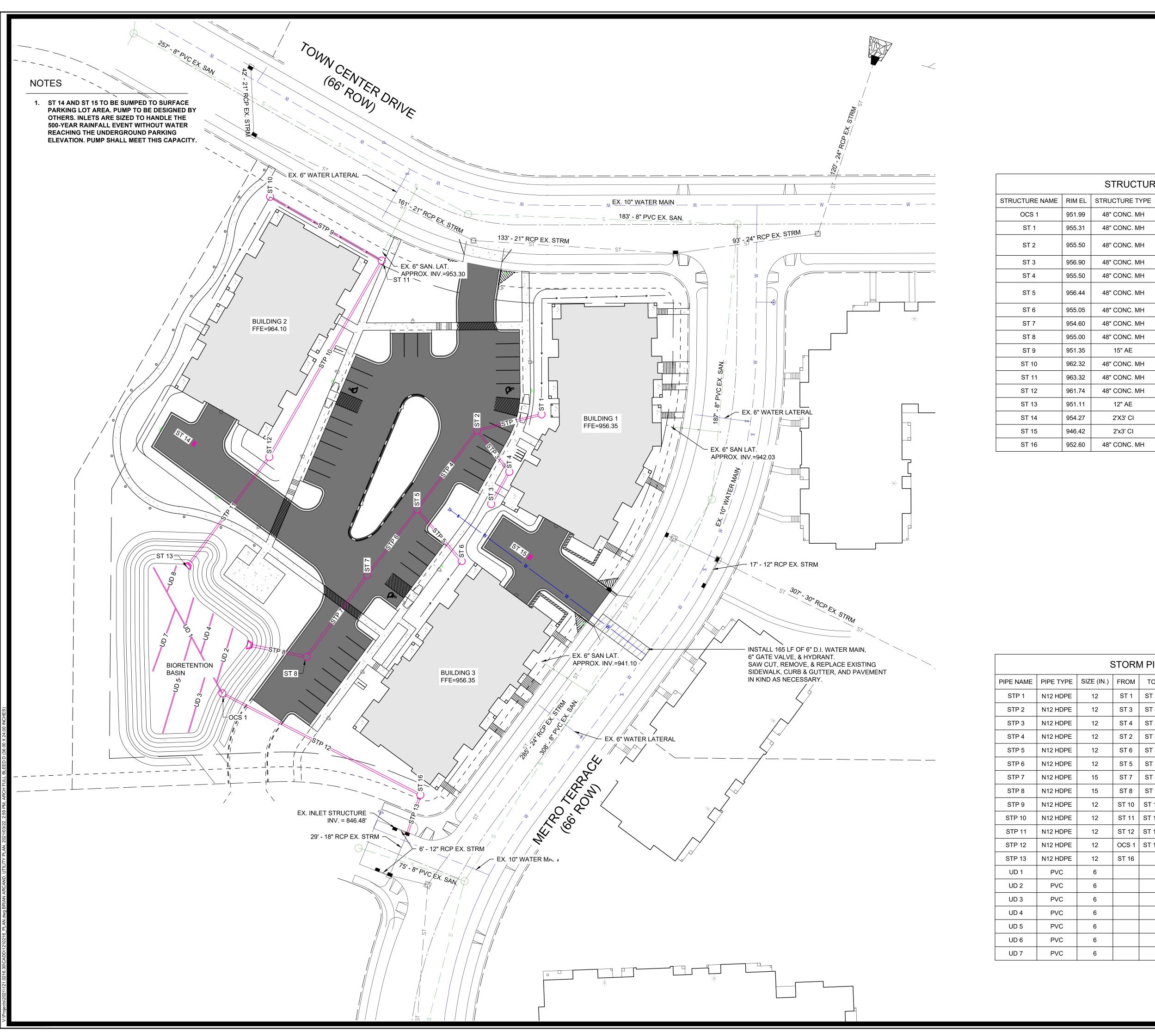






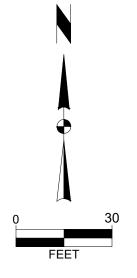






STRUCTURE TABLE									
STRUCTURE NAME RIM EL		STRUCTURE TYPE	INVERTS IN	INVERTS OUT	FRAME/GRATE				
OCS 1	951.99	48" CONC. MH		SE = 947.50	R-4342				
ST 1	955.31	48" CONC. MH		W = 952.20	R-4342				
ST 2	955.50	48" CONC. MH	E = 951.88 SE = 951.88	SW = 951.88	R-1550				
ST 3	956.90	48" CONC. MH		NE = 953.79	R-4342				
ST 4	955.50	48" CONC. MH	SW = 952.70	NW = 952.70	R-4342				
ST 5	956.44	48" CONC. MH	NE = 951.40 SE = 951.40	SW = 951.40	R-1550				
ST 6	955.05	48" CONC. MH		NW = 951.94	R-4342				
ST 7	954.60	48" CONC. MH	NE = 951.02	SW = 950.77	R-1550				
ST 8	955.00	48" CONC. MH	NE = 950.30	W = 950.30	R-1550				
ST 9	951.35	15" AE	E = 950.00						
ST 10	962.32	48" CONC. MH		SE = 959.21	R-4342				
ST 11	963.32	48" CONC. MH	NW = 956.75	SW = 956.75	R-4342				
ST 12	961.74	48" CONC. MH	NE = 952.42	SW = 952.42	R-4342				
ST 13	951.11	12" AE	NE = 950.00						
ST 14	954.27	2'X3' CI			R-3067				
ST 15	946.42	2'x3' CI			R-3067				
ST 16	952.60	48" CONC. MH	NW = 946.64	S = 946.64	R-4342				

STORM PIPE TABLE											
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	ТО	LENGTH (FT)	START INV	END INV	SLOPE			
STP 1	N12 HDPE	12	ST 1	ST 2	45	952.20	951.88	0.72%			
STP 2	N12 HDPE	12	ST 3	ST 4	25	953.79	952.70	4.36%			
STP 3	N12 HDPE	12	ST 4	ST 2	35	952.70	951.88	2.31%			
STP 4	N12 HDPE	12	ST 2	ST 5	67	951.88	951.40	0.72%			
STP 5	N12 HDPE	12	ST 6	ST 5	46	951.94	951.40	1.17%			
STP 6	N12 HDPE	12	ST 5	ST 7	56	951.40	951.02	0.68%			
STP 7	N12 HDPE	15	ST 7	ST 8	69	950.77	950.30	0.68%			
STP 8	N12 HDPE	15	ST 8	ST 9	41	950.30	950.00	0.74%			
STP 9	N12 HDPE	12	ST 10	ST 11	87	959.21	956.75	2.83%			
STP 10	N12 HDPE	12	ST 11	ST 12	153	956.75	952.42	2.83%			
STP 11	N12 HDPE	12	ST 12	ST 13	93	952.42	950.00	2.61%			
STP 12	N12 HDPE	12	OCS 1	ST 16	150	947.50	946.64	0.57%			
STP 13	N12 HDPE	12	ST 16		27	946.64	946.48	0.57%			
UD 1	PVC	6			97	947.48	947.39	0.09%			
UD 2	PVC	6			38	947.48	947.45	0.09%			
UD 3	PVC	6			46	947.48	947.24	0.54%			
UD 4	PVC	6			28	947.48	947.46	0.09%			
UD 5	PVC	6			67	947.48	947.22	0.38%			
UD 6	PVC	6			19	947.48	947.47	0.07%			
UD 7	PVC	6			45	947.48	947.44	0.09%			



**TOWN** 

0

S

S

 $\triangleleft$ 

0

COUNT

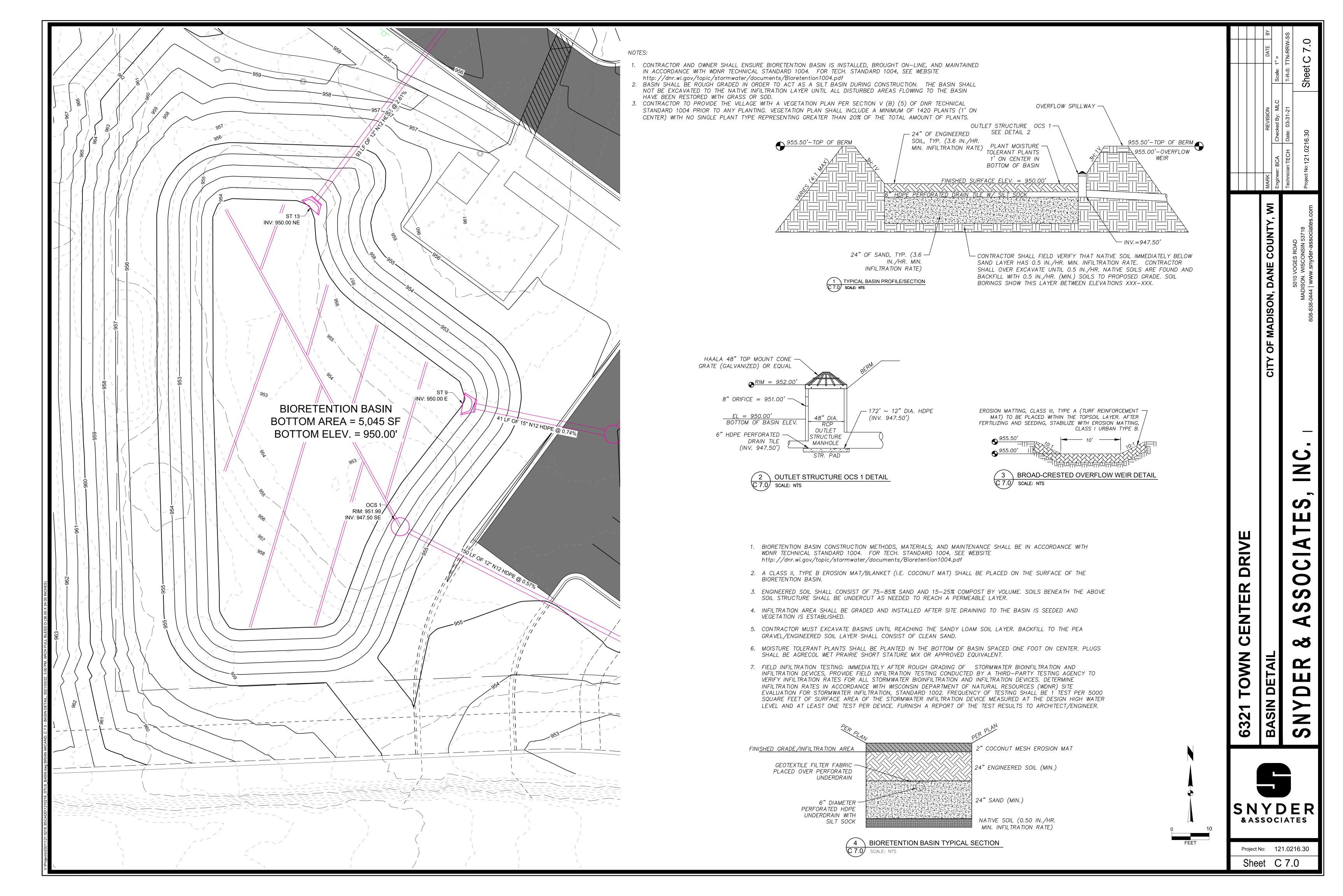
DANE

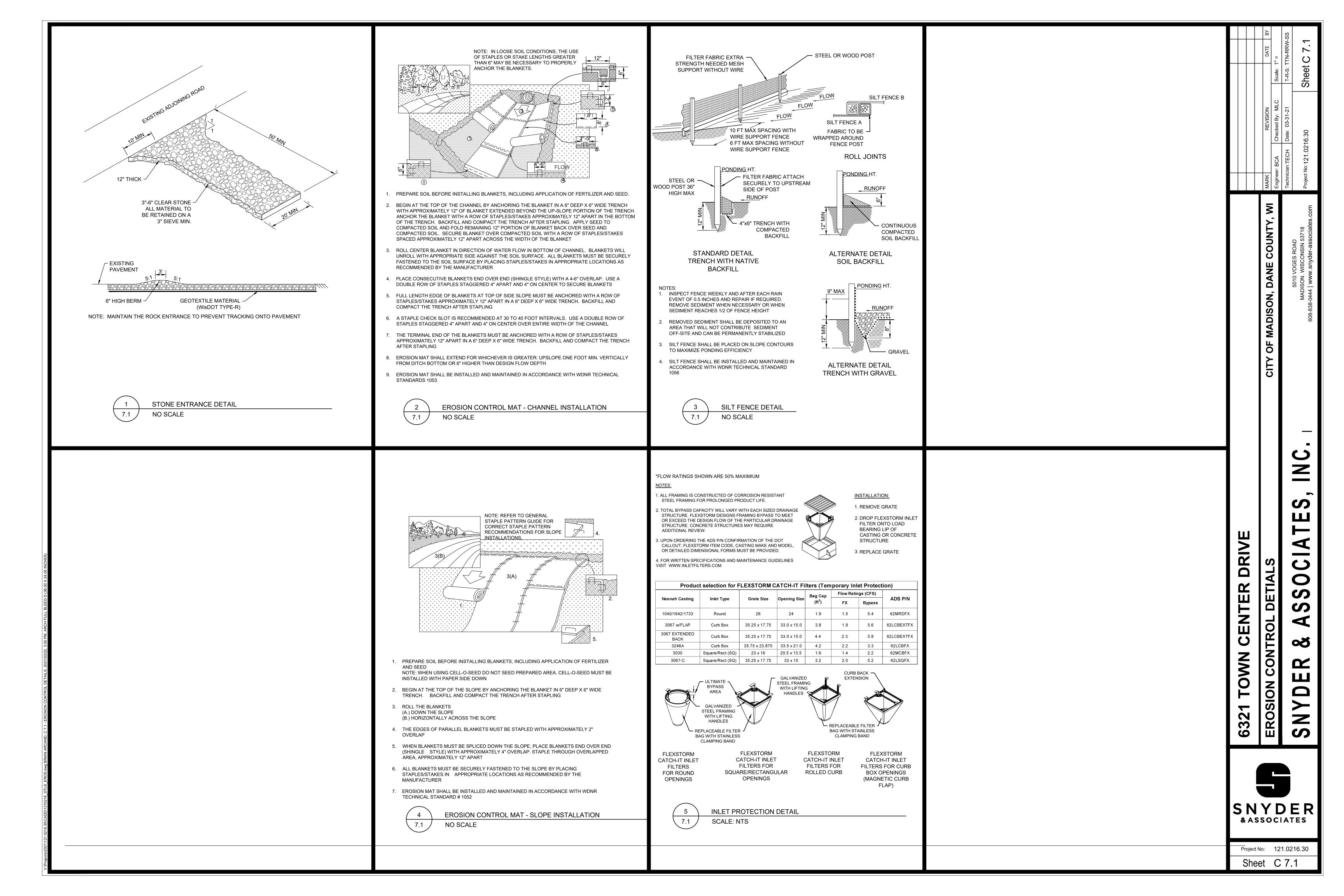
MADISON, I

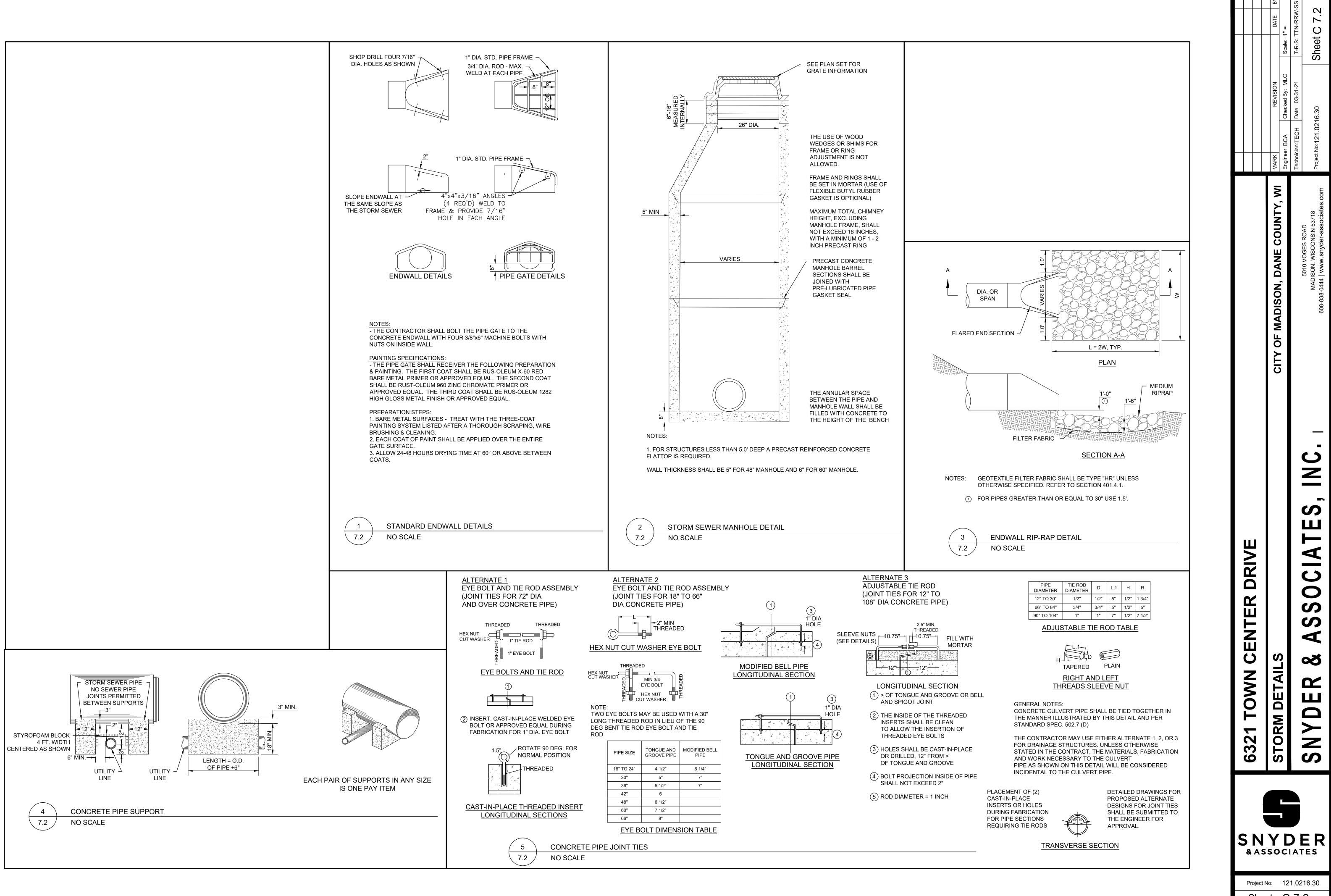
OF

SNYDER & ASSOCIATES

Project No: 121.0216.30 Sheet C 2.8







ANE Ω ADIS  $\overline{\mathsf{O}}$ NWO. 32

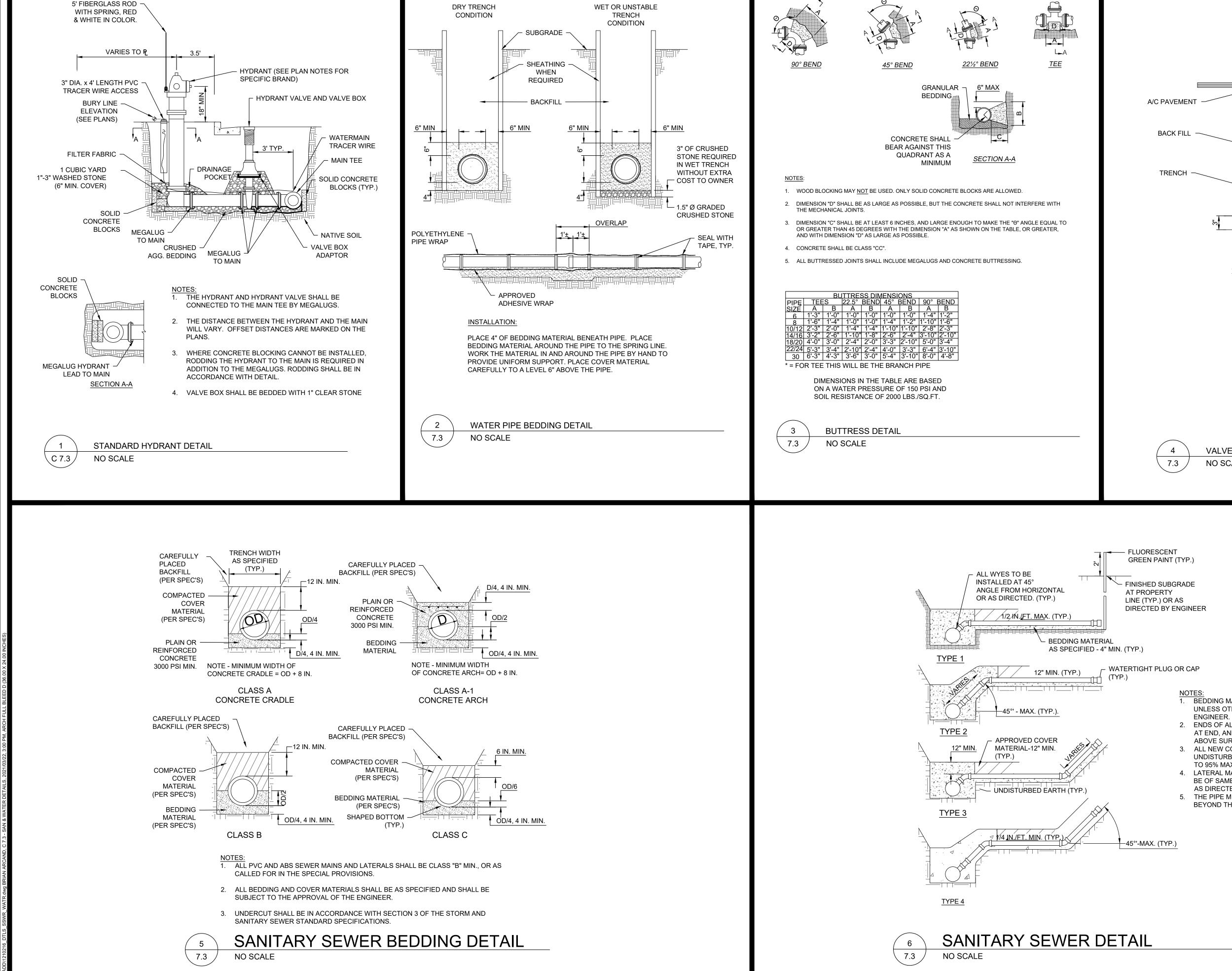
 $\triangleleft$ රෙ STORM

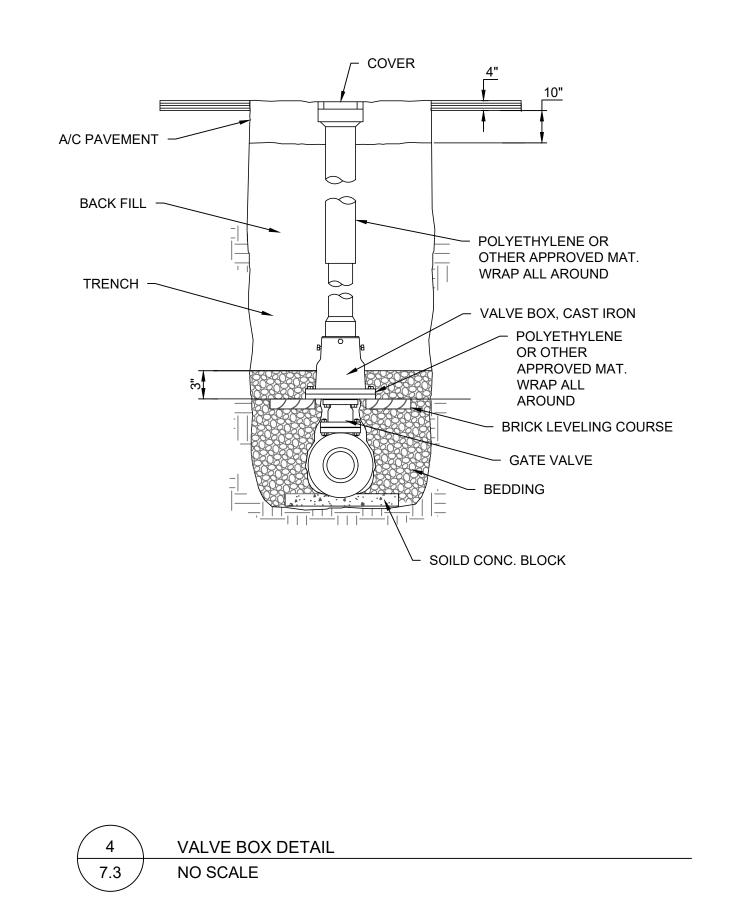
 $\blacktriangleleft$ 

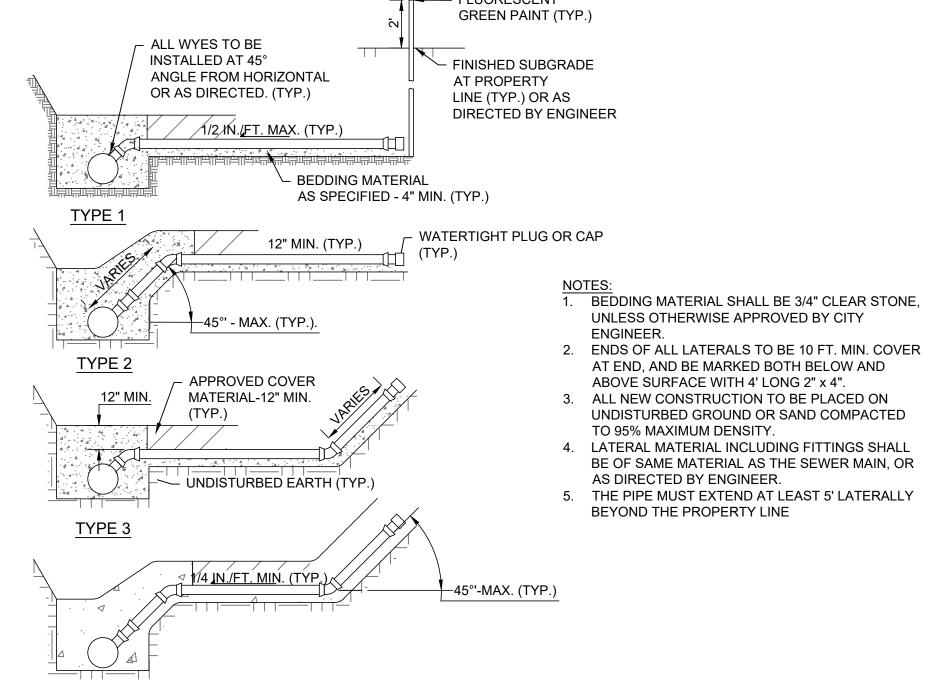
0

Project No: 121.0216.30

Sheet C 7.2









Project No: 121.0216.30 Sheet C 7.3

COUN

DANE

MADISON,

OF

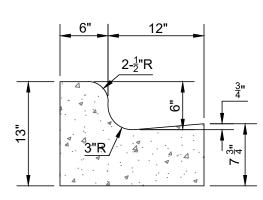
DRIV

TOWN

32

DE

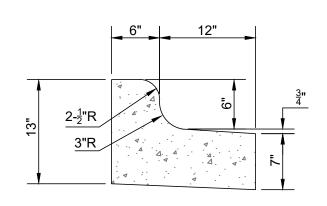
SANITARY



# NOTES:

- 1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
- 2. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.





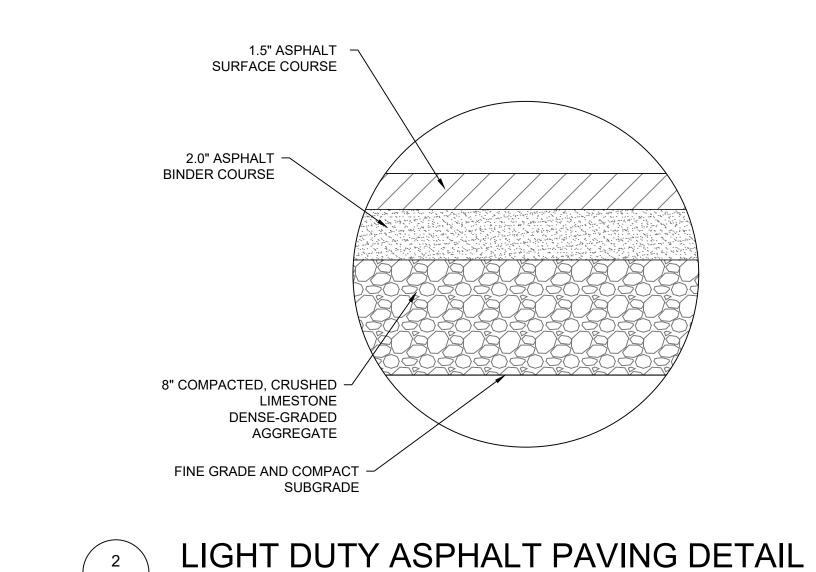
# NOTES

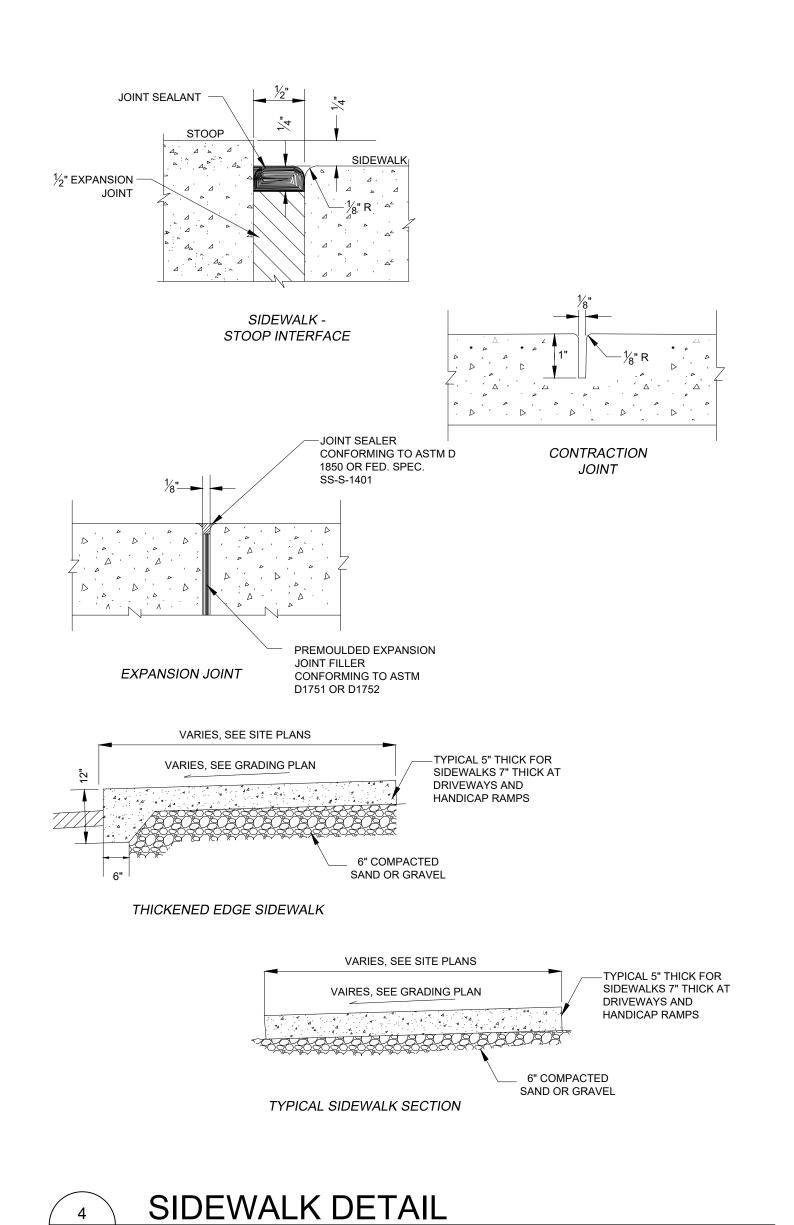
- 1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
- 2. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.



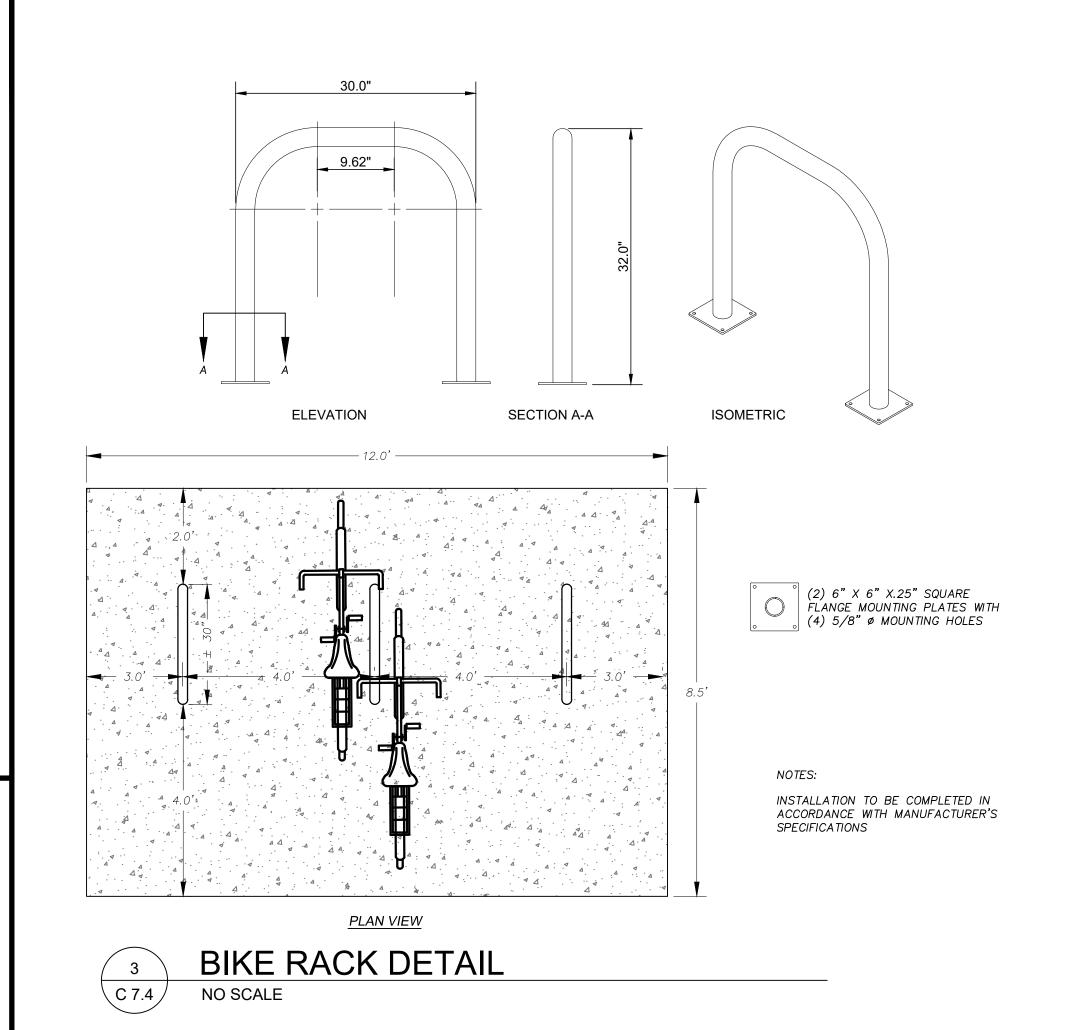
REJECT CONCRETE CURB & GUTTER

NO SCALE





C 7.4





**DETAILS** 

**∞**ŏ

DRIVE

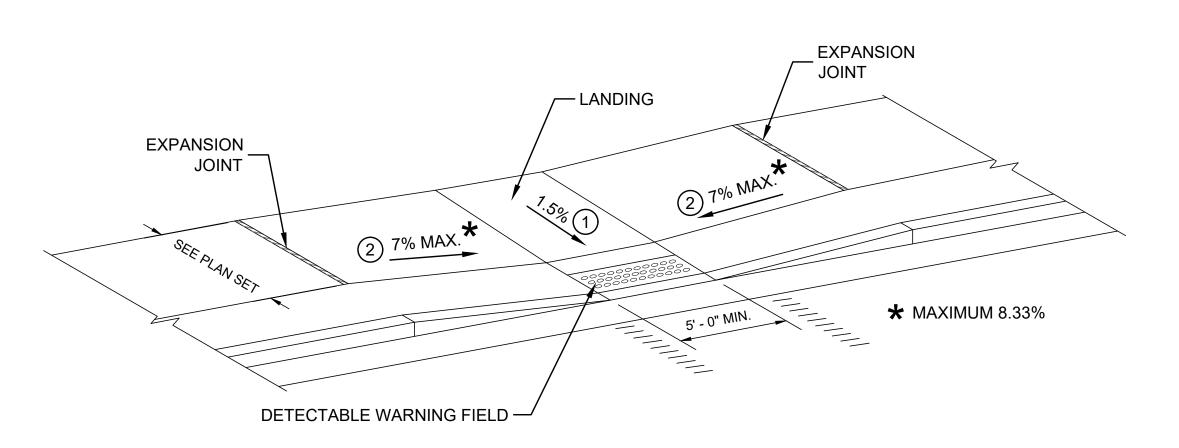
TOWN

COUNT

OF MADISON, DANE

Project No: 121.0216.30

Sheet C 7.4



# MID BLOCK CROSSING

NOTE: THESE PARALLEL AND PARALLEL/PERPENDICULAR CURB RAMPS MAY BE USED AT INTERSECTIONS AND MID BLOCK LOCATIONS.

# **LEGEND**

½" EXPANSION JOINT SIDEWALK

— — CONTRACTION JOINT SIDEWALK

| PAVEMENT MARKING CROSSWALK (WHITE)

# **GENERAL NOTES**

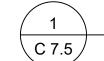
AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.

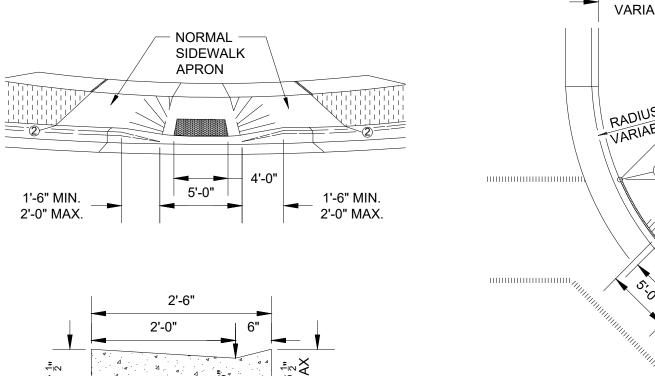
DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.

- 1) PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LEVEL LANDING SIZE IS
- (2) SLOPE SIDEWALK TOWARD LANDING AS SHOWN WHERE THERE IS NO TERRACE OR WHERE THE TERRACE WIDTH IS LESS THAN



CURB RAMP TYPE 7B

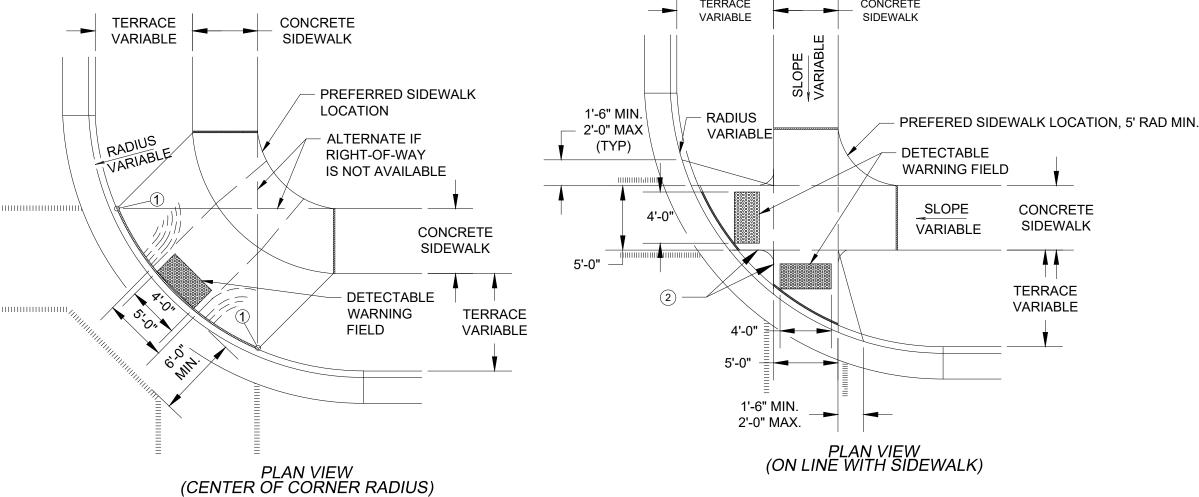
NO SCALE



LEGEND

PROFILE VIEW AT CURB RAMP

---- 1/2" EXPANSION JOINT-SIDEWALK — CONTRACTION JOINT FIELD LOCATED PAVEMENT MARKING, WHITE, 6-INCH



NOTE:

DETECTABLE WARNING FIELD SHALL BE 24"X48" METADOME PANEL WITH YELLOW EPOXY PAINT OR EQUIVALENT APPROVED BY THE CITY ENGINEER.

**GENERAL NOTES** 

TYPE 2 RAMPS SHALL BE USED IN NEW DEVELOPMENTS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES SHALL BE APPROVED BY THE CITY ENGINEER. THE COLOR OF THE DETECTABLE WARNING SHALL BE SAFETY YELLOW.

SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

1) THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB.

② WHEN THIS DISTANCE IS LESS THAN 6'-0" IT MAY BE DIFFICULT TO ACHIEVE A 12H:1V SLOPE, OR FLATTER, ON THE RAMP. REDUCE CURB HEIGHT IN TRIANGLE AREA TO ACHIEVE 12H:1V SLOPE, OR FLATTER, ON RAMP. 2" MINIMUM CURB HEIGHT.



Sheet C 7.5

Project No: 121.0216.30

SNYDER

& ASSOCIATES

COUNT

MADISON, DANE

OF

S

0

S

S

 $\triangleleft$ 

ර

TOWN

632

DETAIL

**MIS** 

ADA RAMP DETAIL NO SCALE

# **NOTES**

- CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND **GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY** THE CONSTRUCTION OF ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO **BEGINNING CONSTRUCTION.**
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY **ENGINEERING DEPARTMENTS.**
- ANY DAMAGE TO THE PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- VISION TRIANGLES ARE SHOWN ON THE SITE PLAN AT ALL MINOR ROADWAYS AND DRIVEWAYS. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET WITHIN THE VISION TRIANGLE.

# **GENERAL CONDITIONS**

- THE CONTRACTOR SHALL NOTIFY THE OWNER TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD LOCATING OF **EXISTING UTILITIES.**
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE **GOVERNMENT AGENCIES.**
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE **BID PRICES.**
- 10. REMOVE SIDEWALKS TO THE NEAREST JOINT.
- 11. SAW CUTS SHALL BE FULL DEPTH PRIOR TO REMOVAL.

# **GRADING**

- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE **EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.**
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL **FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH** VEGETATION AND THE APPROVAL OF THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS **NECESSARY TO COMPLETE THE PROJECT.**
- **GRADING SHALL CONSIST OF CLEARING AND GRUBBING** EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF **EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK** BALANCE, GRADING THE BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE **ENGINEER BEFORE ANY MATERIAL IS PLACED.**
- CONTRACTOR SHALL ADHERE TO THE ENCROACHMENT AGREEMENT (TRACT NUMBER 363-09-0014, 1-363-09-0014, AND 1-201-09-0030) WITH TRANSCANADA DATED FEBRUARY 3, 2020 FOR ANY CONSTRUCTION WITHIN OR NEAR THE GAS EASEMENTS OR WITHIN 25' OF ANY GAS MAIN.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY **ENGINEERING DEPARTMENTS.**

# **EROSION CONTROL**

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE). CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
- 2. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
- 3. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD.
- 4. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
- 5. ALL DISTURBED GROUND LEFT INACTIVE FOR THIRTY DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS
- 6. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING EROSION MAT IN ACCORDANCE WITH WDNR TECHNICAL STANDARD
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- DEWATERING IS ANTICIPATED DUE TO GROUND WATER ELEVATIONS. ANY DEWATERING **ACTIVITIES SHALL MEET DNR TECHNICAL STANDARD 1061. DEWATERING REQUIREMENTS** WILL INCLUDE A TYPE II GEOTEXTILE BAG OR APPROVED EQUAL/ALTERNATIVE METHOD.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
- 10. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
- 11. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR **TECHNICAL STANDARD 1068.**
- 12. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF LAND **DISTURBING ACTIVITIES.**

# PAVING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O. T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- 4. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: **SECTION 415 FOR CONCRETE PAVEMENT SECTION 601 FOR CONCRETE CURB AND GUTTER SECTION 602 FOR CONCRETE SIDEWALKS.**
- 6. ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- 7. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW: PEDESTRIAN CROSSWALKS: WHITE PARKING STALLS: YELLOW

**ADA PARKINGSTALLS: BLUE** 

# PAVEMENT AND CURB NOTES

- 1. THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- 2. PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE
- 3. AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (\*-INCH) DENSE **GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD** SPECIFICATIONS.
- 4. HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-\*\*) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
- 5. ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE PG(\*\*\*), AND LOWER LAYERS SHALL BE PG(\*\*\*).
- 6. AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (\*\*\*\*), AND THE LOWER LAYER PAVEMENT SHALL BE (\*\*\*\*).
- 7. TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- 8. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING **SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT SECTION 601 FOR CONCRETE CURB AND GUTTER** SECTION 602 FOR CONCRETE SIDEWALKS.
- 10. ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
- 11. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW: PARKING STALLS: WHITE
  - PEDESTRIAN CROSSWALKS: WHITE LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS:
  - LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS:
- ADA SYMBOLS: BLUE OR PER LOCAL CODE FIRE LANES: PER LOCAL CODE
- EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW
- NOTE: PAVEMENT SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER. MISSING INFORMATION ABOVE, DESIGNATED WITH (\*), SHALL BE FILLED IN PER GEOTECHNICAL REPORT. CAUTION: INFORMATION BELOW SHALL BE USED ONLY
- \* DENSE GRADED BASE GRADATIONS: 3-INCH, 1 1/4-INCH, OR 3/4-INCH (TYPICALLY 1
- \*\* HMA SUPERPAVE TYPES: E-0.3, E-1, E-3, E-10, E-30 (TYPICALLY E-0.3 OR E-1 FOR MOST RESIDENTIAL AND COMMERCIAL PROJECTS)

- 64-22 BASIC ASPHALT, TYPICALLY USED FOR PARKING LOTS 58-28 RECOMMENDED FOR OVERLAY PROJECTS
- 64-28 POLYMER ADDED, HIGH COST ASPHALT, LARGEST RANGE OF TEMP.
- **UPPER LAYER PG64-28, PG64-22, OR PG58-28** LOWER LAYER PG64-22 (IF UPPER LAYER IS PG64-xx OR HIGHER), OR PG58-28
- \*\*\*\* HMA AGGREGATE GRADATIONS: 37.5 MM, 25.0 MM, 19.0 MM, 12.5 MM, 9.5 MM (TYPICALLY: 12.5 MM FOR UPPER LAYER, 19.0 MM FOR LOWER LAYER)

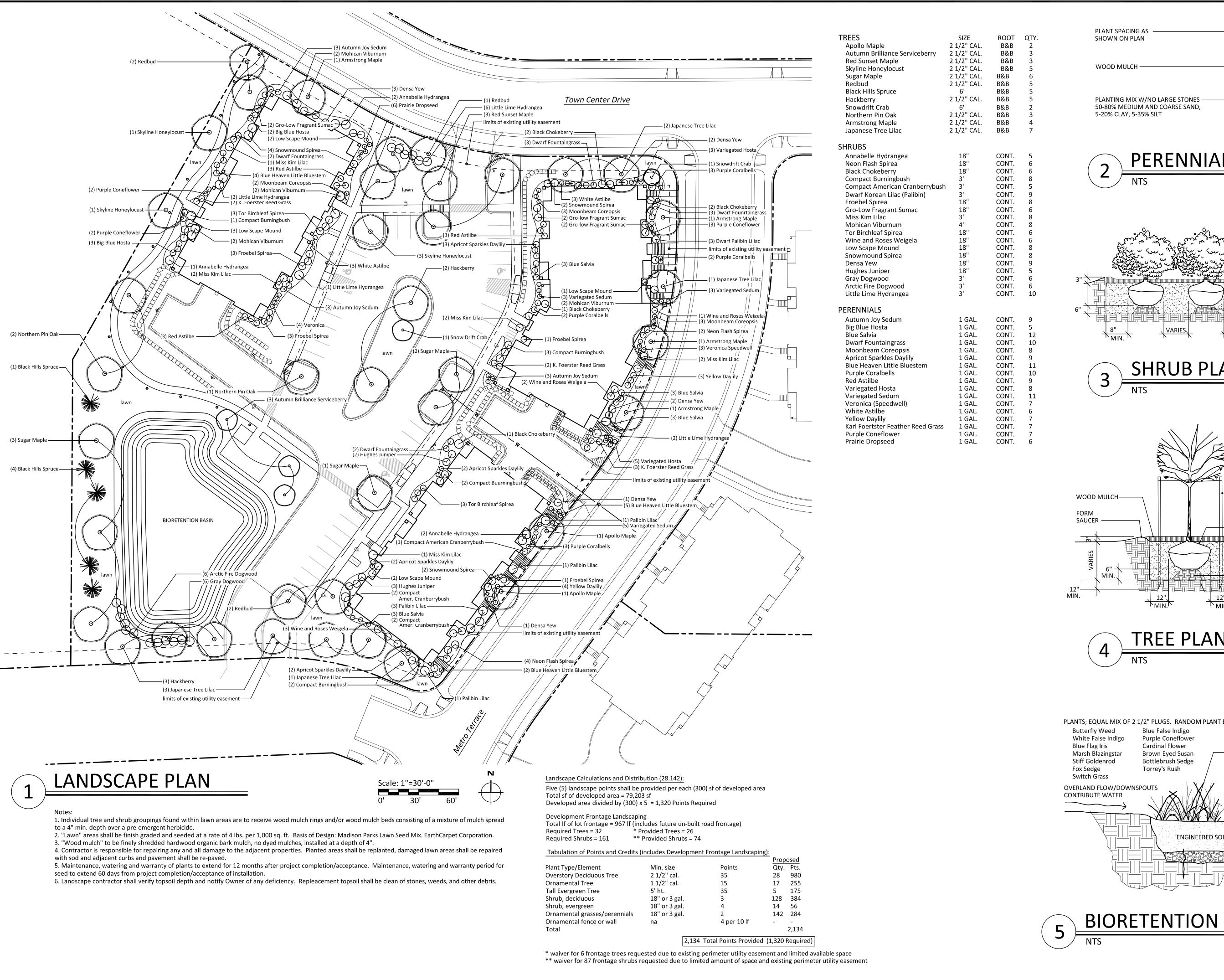


ර

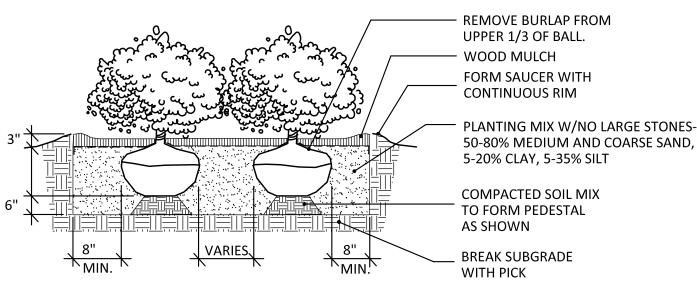
2

Sheet C 7.6

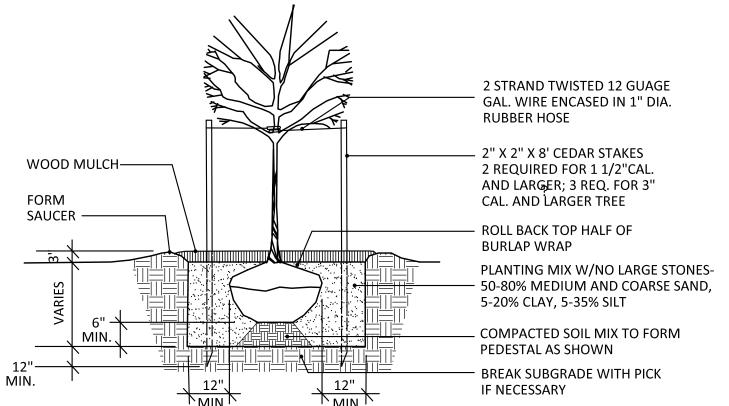
Project No: 121.0216.30



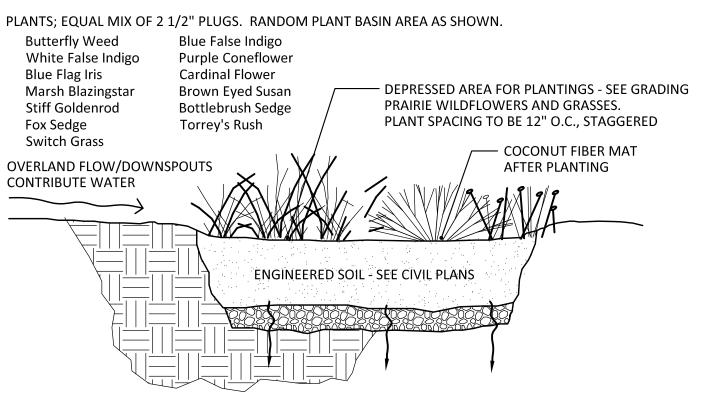
PERENNIAL PLANTING



SHRUB PLANTING









L-1.1

50

LE

Ш

RIV

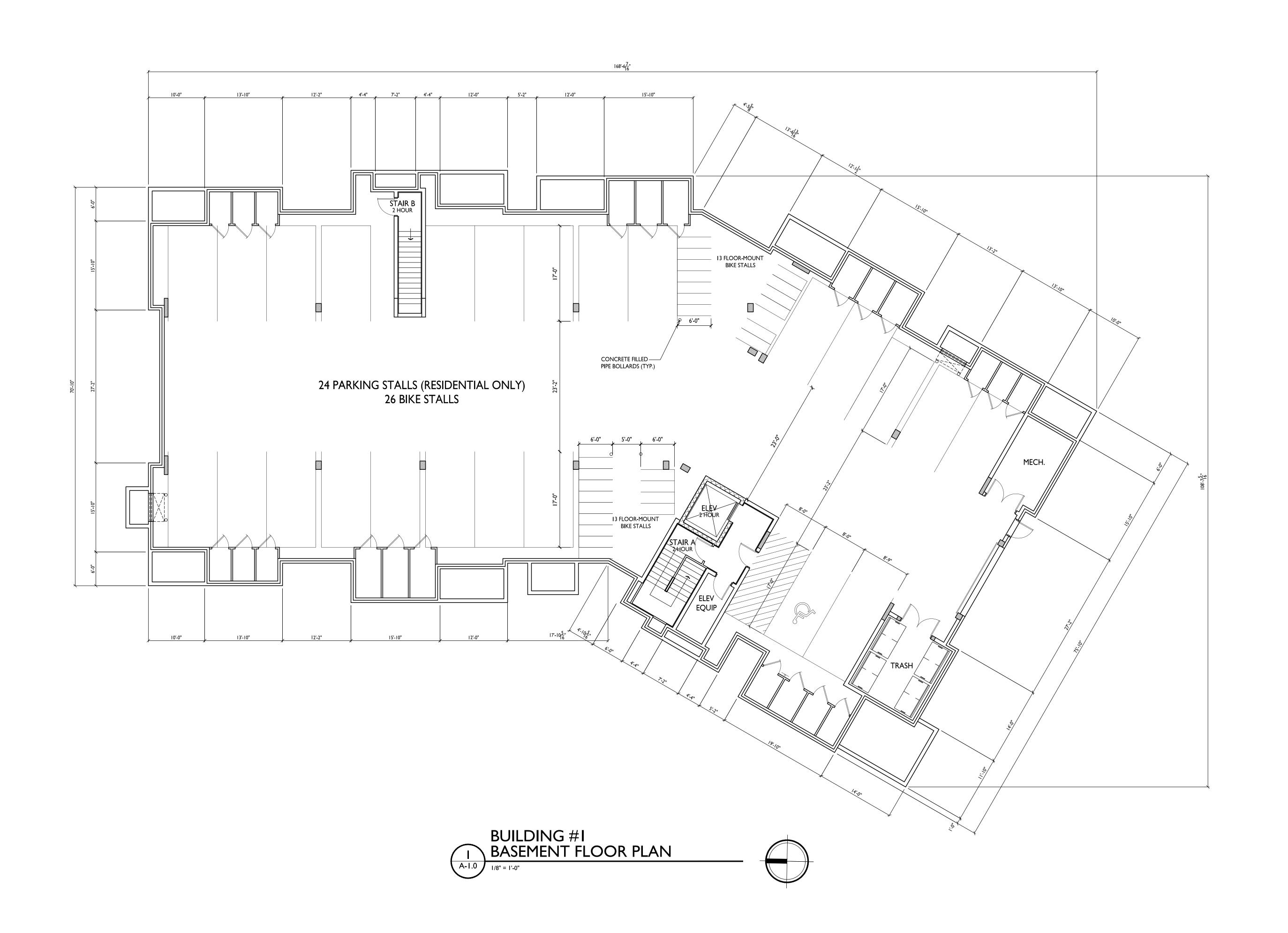
 $\Delta$ 

TE

CEN

N N

9





SUED

Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021

PROJECT TITLE

ELLEFSON

METRO TECH

APARTMENTS

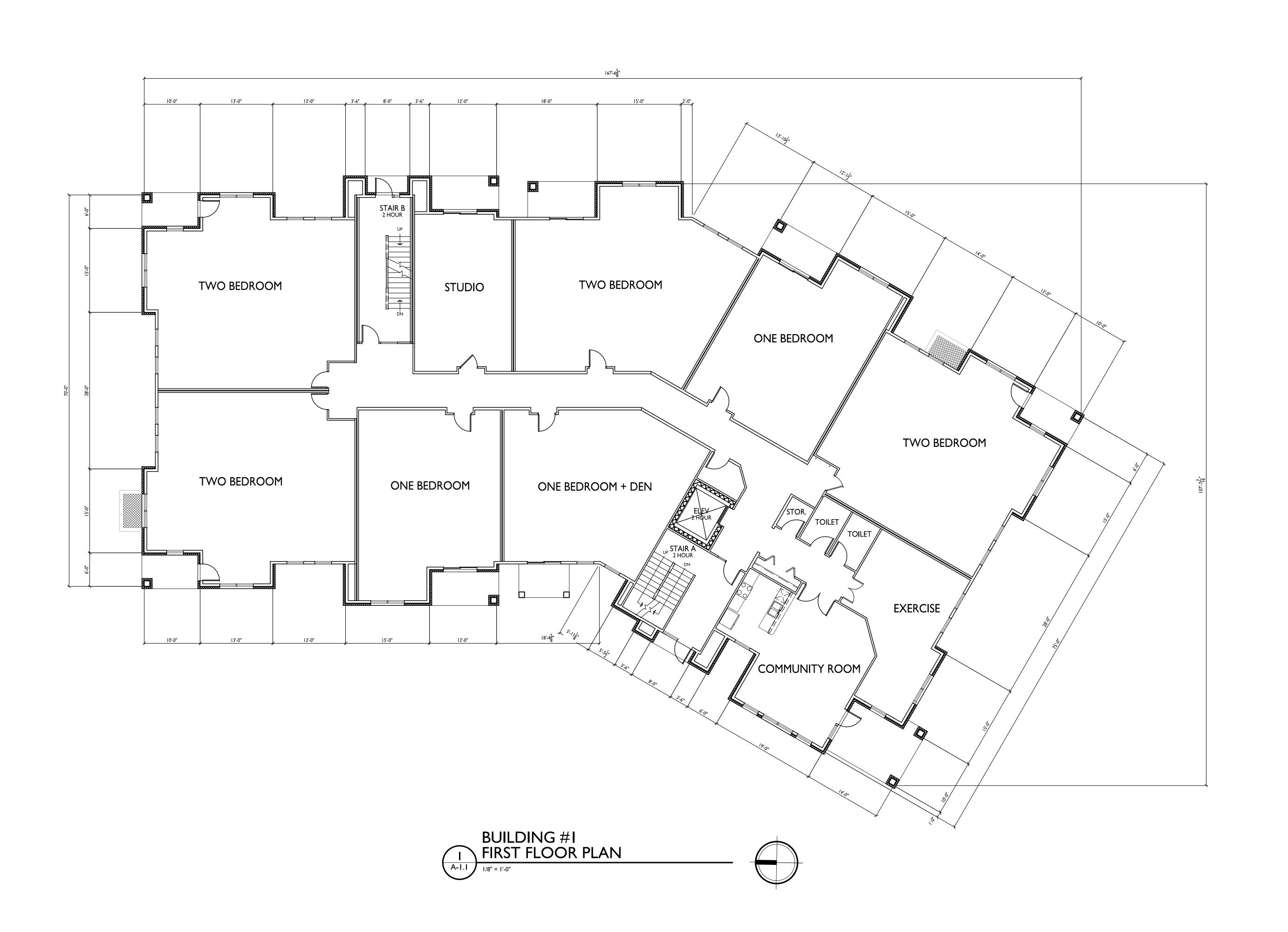
6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #1 Basement Floor Plan

SHEET NUMBER

A-1.0

PROJECT NO.

2108





Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

PROJECT TITLE ELLEFSON METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE

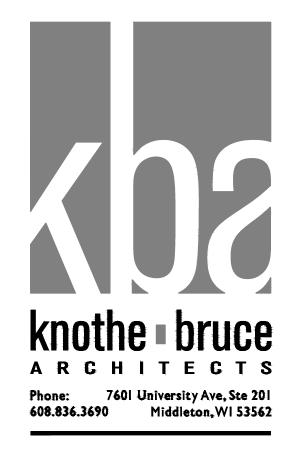
Building #1 First Floor Plan

SHEET NUMBER



PROJECT NO.





PROJECT TITLE ELLEFSON METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE
Building #1
Second Floor Plan

SHEET NUMBER

A-1.2

PROJECT NO.





PROJECT TITLE ELLEFSON METRO TECH **APARTMENTS** 

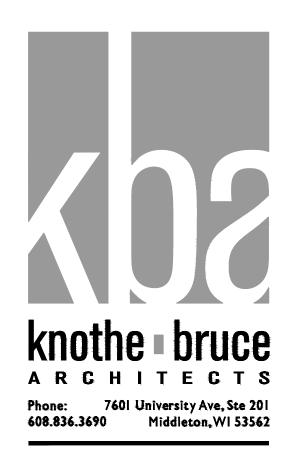
6321 Town Center Dr Madison, Wisconsin SHEET TITLE

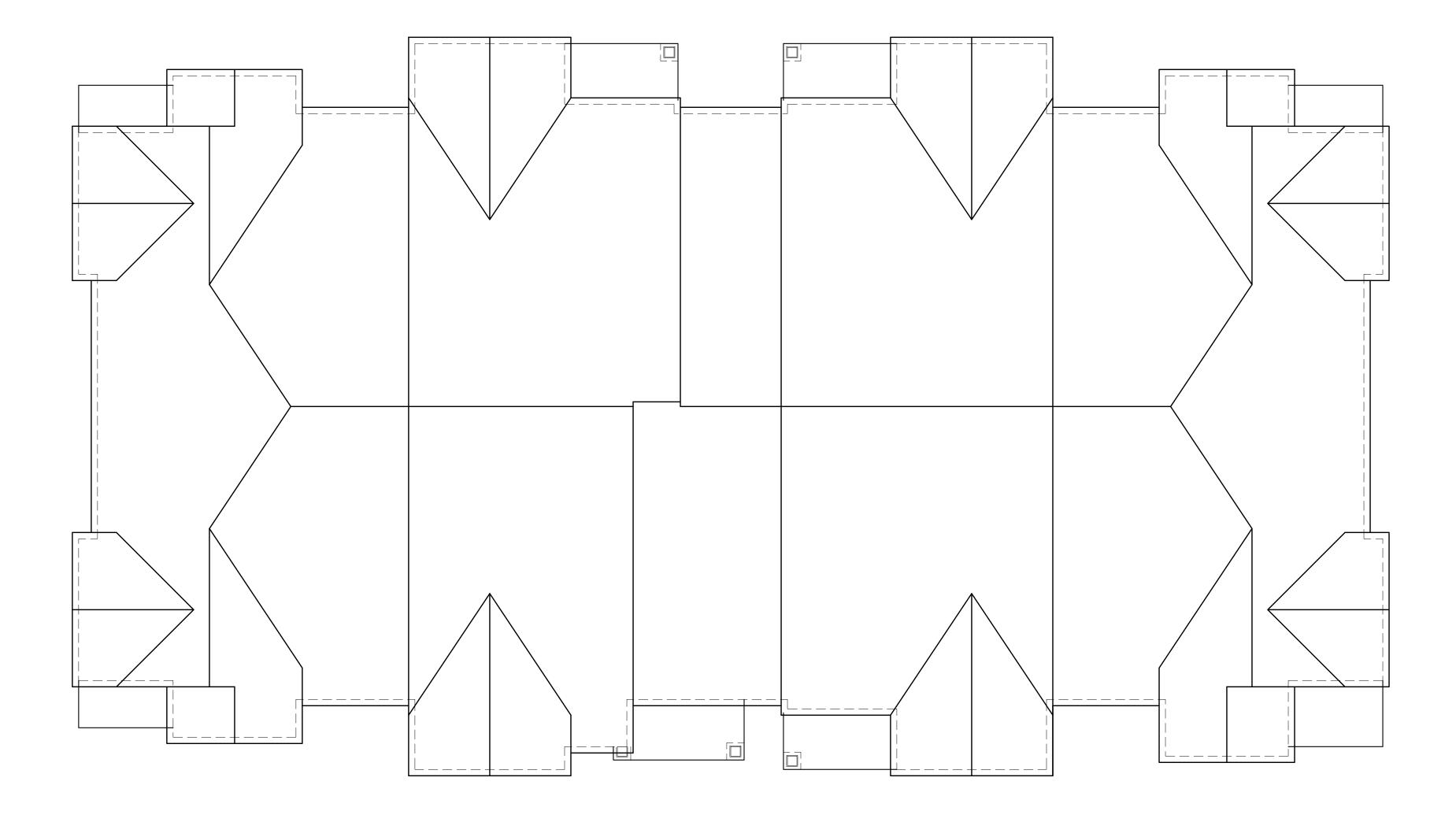
Building #1 Third Floor Plan

SHEET NUMBER

A-1.3

PROJECT NO.





PROJECT TITLE
ELLEFSON METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE
Building #1
Roof Plan

SHEET NUMBER



PROJECT NO.

2108

© Knothe & Bruce Architects, LLC

BUILDING #I ROOF PLAN





### BUILDING #I EAST ELEVATION ALONG METRO TERRACE



BUILDING #I NORTH ELEVATION ALONG TOWN CENTER DR.

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR

ALMOND

ALUMINUM

OVERHEAD GARAGE DOOR

PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #1 **Exterior Elevations** 

SHEET NUMBER

PROJECT NO.







## BUILDING #1 WEST ELEVATION





EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	COLOR	
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY	
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS	
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM	
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE	
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE	
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED	
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF	
WINDOWS	VINYL	TAN	
RAILING	ALUMINUM	DARK BRONZE	
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE	
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM	
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR	
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND	

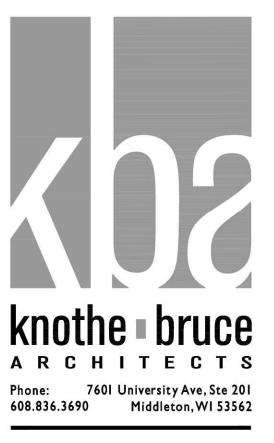
PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #1 **Exterior Elevations** 

SHEET NUMBER

PROJECT NO.





PROJECT TITLE

**ELLEFSON** 

BUILDING #I EAST ELEVATION ALONG METRO TERRACE



BUILDING #I NORTH ELEVATION ALONG TOWN CENTER DR.

METRO TECH
APARTMENTS

COLOR

APPALACHIAN SKY

DARK BRONZE

DARK BRONZE

ALMOND

MATCH WITH TRIM

MATCH O.H. DOOR

SW2843 - ROYCROFT BRASS

SW2833 - ROYCROFT VELLUM

SW2842 - ROYCROFT SUEDE

SW2842 - ROYCROFT SUEDE

INTERSTATE - MOUNTAIN RED

EXTERIOR MATERIAL SCHEDULE

MATERIAL

COMPOSITE

COMPOSITE

COMPOSITE

COMPOSITE

BRICK VENEER

**CAST STONE** 

ALUMINUM

**FIBERGLASS** 

ALUMINUM

**INSULATED METAL** 

ALUMINUM STOREFRONT

ASPHALT SHINGLES

BUILDING MATERIAL

HORIZONTAL LAP SIDING

FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTE

CAST STONE SILLS & HEADS, BANDS

**BOARD PANEL SIDING** 

**FASCIA** 

**BRICK** 

WINDOWS

ENTRY DOORS

UNIT ENTRY DOORS

**GARAGE MAN DOOR** 

OVERHEAD GARAGE DOOR

RAILING

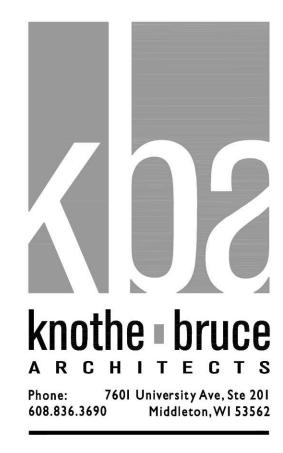
6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #1 Exterior **Elevations** 

SHEET NUMBER

A-2.1







PROJECT TITLE

**ELLEFSON** 

BUILDING #1 WEST ELEVATION



BUILDING #1 SOUTH ELEVATION

METRO TECH **APARTMENTS** 

MATERIAL COLOR **BUILDING MATERIAL** ASPHALT SHINGLES APPALACHIAN SKY 6321 Town Center Dr HORIZONTAL LAP SIDING COMPOSITE SW2843 - ROYCROFT BRASS Madison, Wisconsin COMPOSITE SW2833 - ROYCROFT VELLUM SHEET TITLE FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN SW2842 - ROYCROFT SUEDE COMPOSITE Building #1 SW2842 - ROYCROFT SUEDE COMPOSITE BRICK VENEER Exterior INTERSTATE - MOUNTAIN RED CAST STONE CAST STONE SILLS & HEADS, BANDS **Elevations** ALUMINUM DARK BRONZE ALUMINUM STOREFRONT DARK BRONZE

MATCH WITH TRIM

MATCH O.H. DOOR

ALMOND

EXTERIOR MATERIAL SCHEDULE

**FIBERGLASS** 

ALUMINUM

**INSULATED METAL** 

**BOARD PANEL SIDING** 

FASCIA

**BRICK** 

WINDOWS

ENTRY DOORS

UNIT ENTRY DOORS

**GARAGE MAN DOOR** 

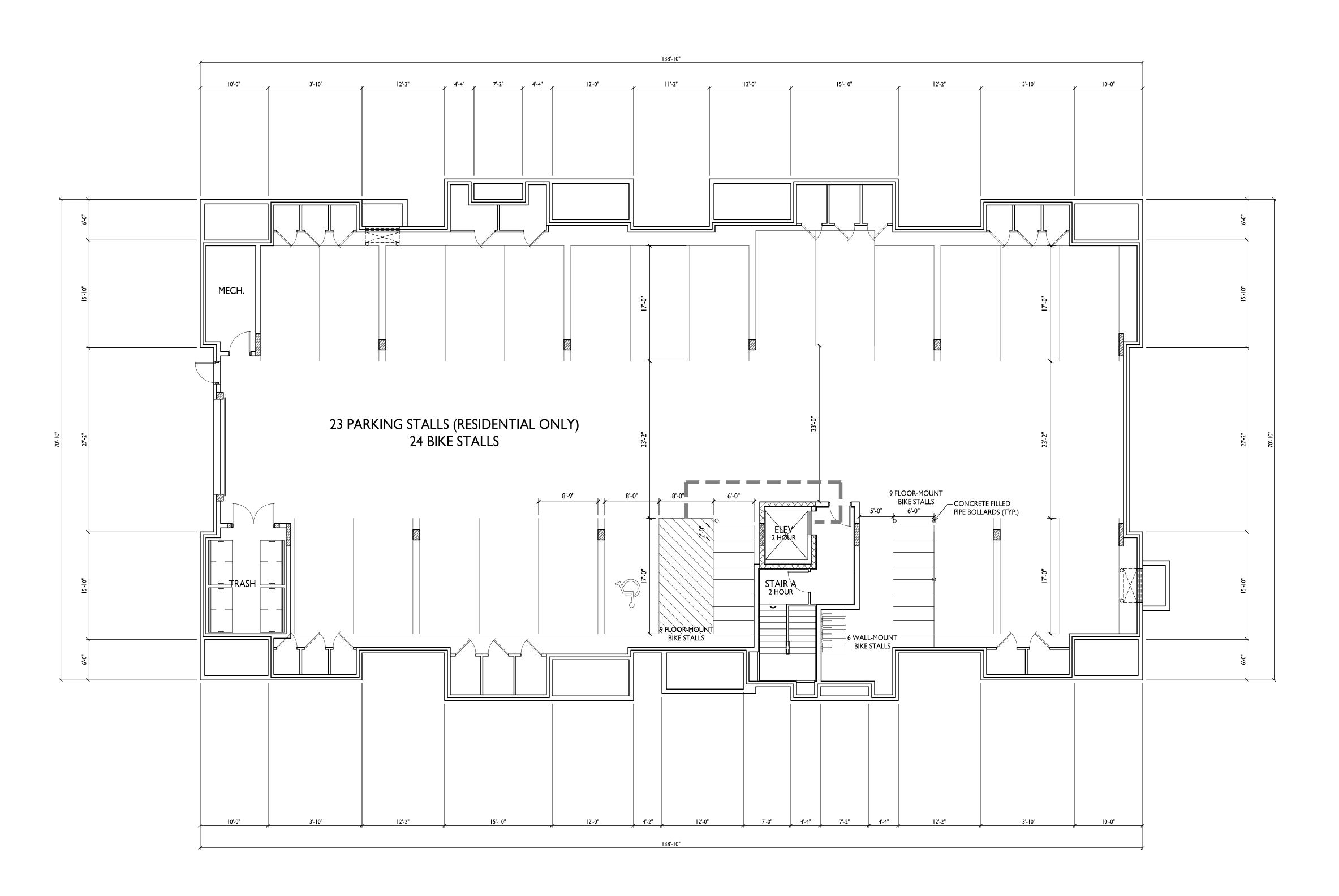
OVERHEAD GARAGE DOOR

RAILING

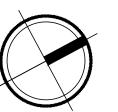
SHEET NUMBER

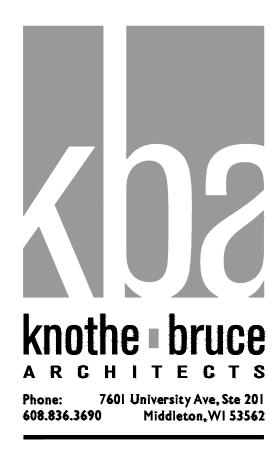
A-2.2

PROJECT NO.









ISSUED

Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

PROJECT TITLE

ELLEFSON

METRO TECH

APARTMENTS

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #2 Basement Floor

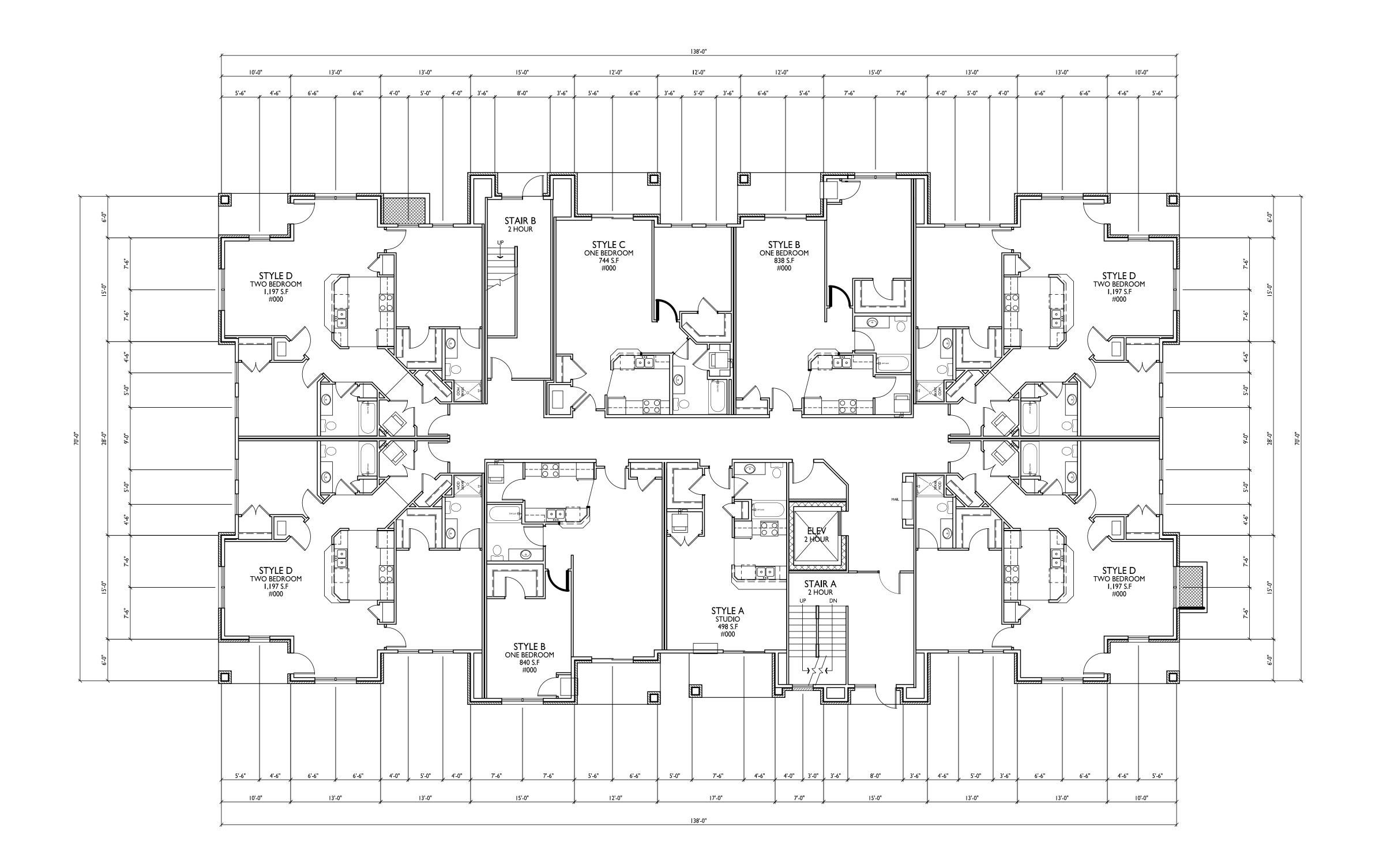
SHEET NUMBER

Plan

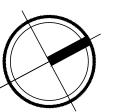
A-1.0

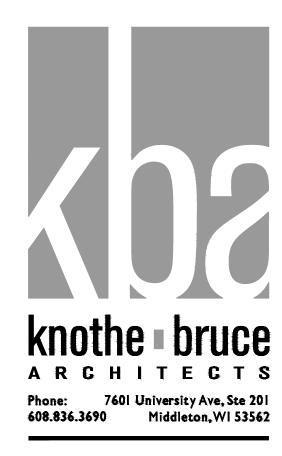
PROJECT NO.

1 NO. 2 1 08









PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

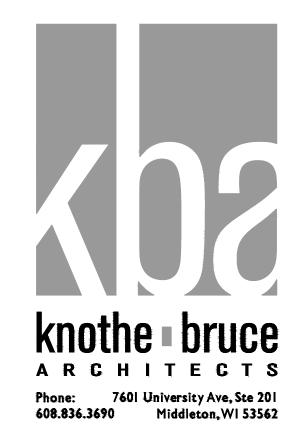
6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #2 First Floor Plan & Typical Unit Plans

SHEET NUMBER





BUILDING #2 SECOND FLOOR PLAN



Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

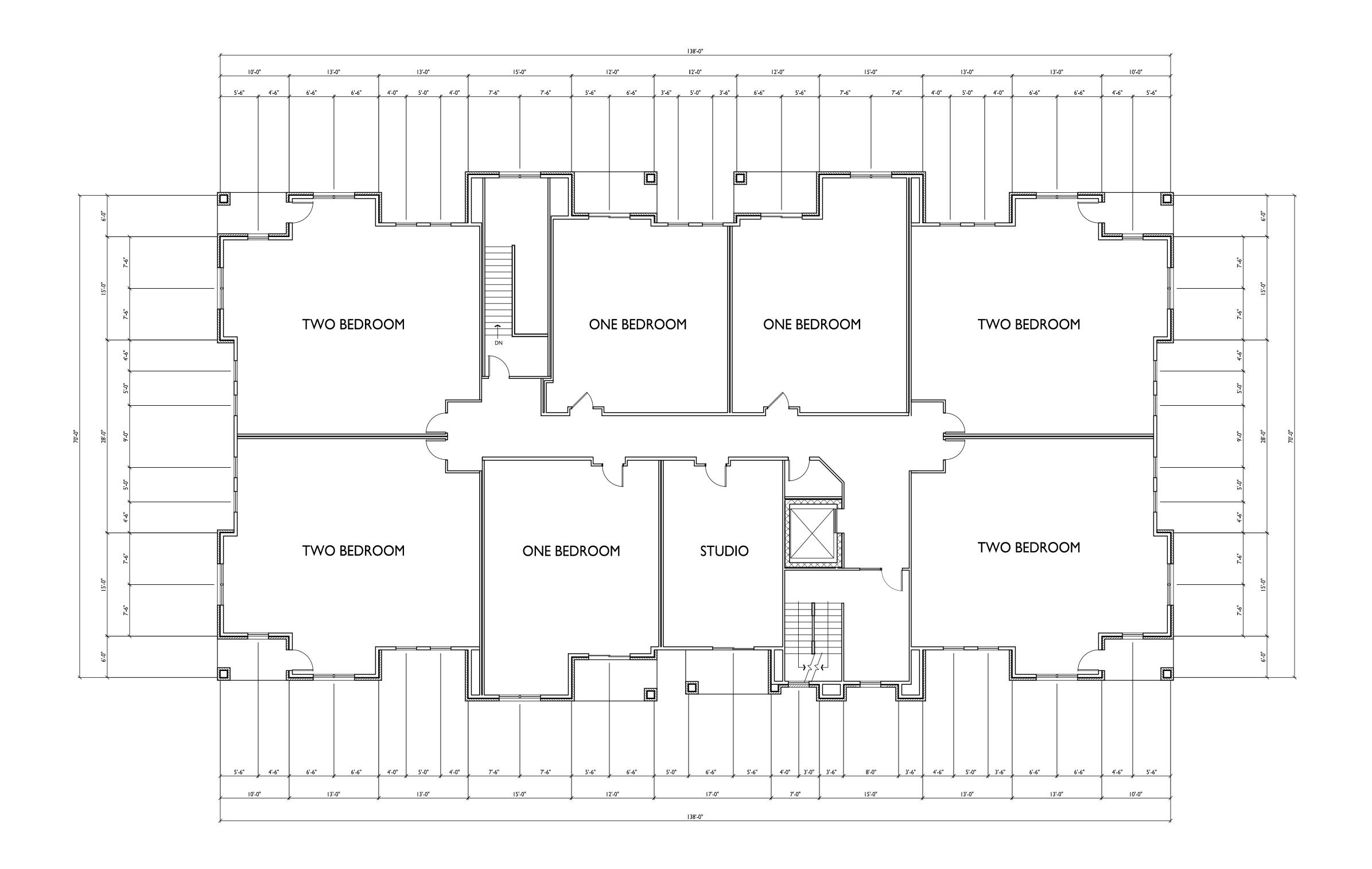
6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #2 Second Floor Plan

SHEET NUMBER

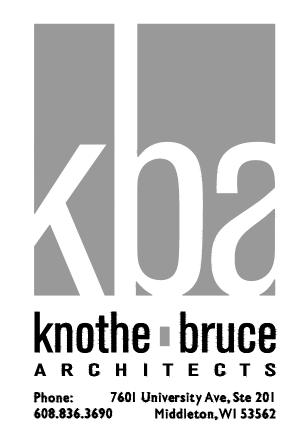
A-1.2

© Knothe & Bruce Architects, LLC

PROJECT NO. 2108



BUILDING #2 THIRD FLOOR PLAN



Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

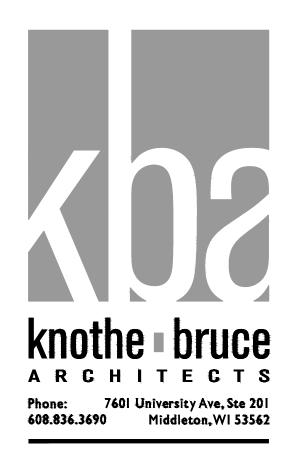
6321 Town Center Dr Madison, Wisconsin SHEET TITLE

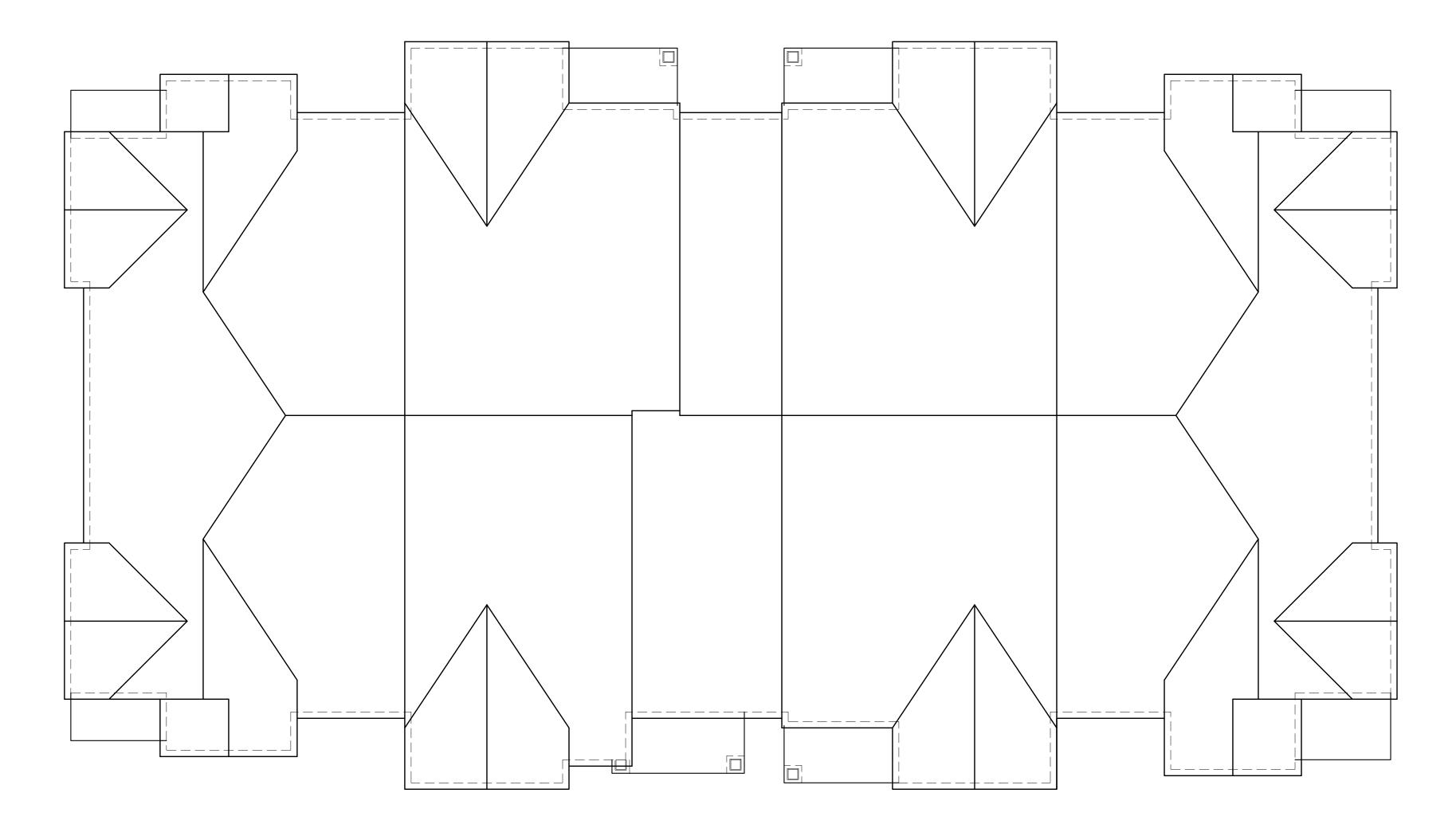
Building #2 Third Floor Plan

SHEET NUMBER

A-1.3

PROJECT NO.





BUILDING #2 ROOF PLAN

Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

PROJECT TITLE
ELLEFSON METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE
Building #2
Roof Plan

SHEET NUMBER



PROJECT NO.





PROJECT TITLE METRO TECH **APARTMENTS** 

**ELLEFSON** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #2

SHEET NUMBER

**Exterior** 

**Elevations** 

BUILDING #2 EAST ELEVATION



BUILDING #2
NORTH ELEVATION ALONG TOWN CENTER DR.

BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

EXTERIOR MATERIAL SCHEDULE





PROJECT TITLE

**ELLEFSON** 

# BUILDING #2 \ WEST ELEVATION



BUILDING #2
SOUTH ELEVATION

1/8"=1'-0"

METRO TECH APARTMENTS

COLOR

TAN

DARK BRONZE

DARK BRONZE

MATCH WITH TRIM

MATCH O.H. DOOR

ALMOND

APPALACHIAN SKY

SW2843 - ROYCROFT BRASS

SW2833 - ROYCROFT VELLUM

SW2842 - ROYCROFT SUEDE

SW2842 - ROYCROFT SUEDE

INTERSTATE - MOUNTAIN RED

**EXTERIOR MATERIAL SCHEDULE** 

MATERIAL

COMPOSITE

COMPOSITE

COMPOSITE

COMPOSITE

BRICK VENEER

CAST STONE

ALUMINUM

**FIBERGLASS** 

ALUMINUM

INSULATED METAL

ALUMINUM STOREFRONT

VINYL

ASPHALT SHINGLES

BUILDING MATERIAL

HORIZONTAL LAP SIDING

FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN

CAST STONE SILLS & HEADS, BANDS

BOARD PANEL SIDING

FASCIA

BRICK

WINDOWS

ENTRY DOORS

**UNIT ENTRY DOORS** 

GARAGE MAN DOOR

OVERHEAD GARAGE DOOR

RAILING

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #2 **Exterior Elevations** 

SHEET NUMBER





BUILDING #2 EAST ELEVATION



BUILDING #2
NORTH ELEVATION ALONG TOWN CENTER DR.

1/8"=1"-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

PROJECT TITLE ELLEFSON METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #2 **Exterior Elevations** 

SHEET NUMBER

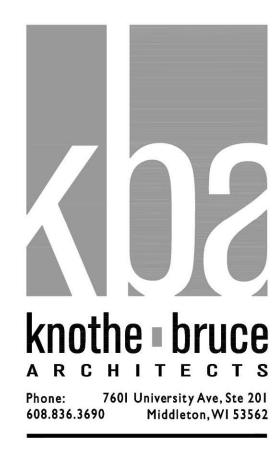
A-2.1

PROJECT NO.



BUILDING #2
SOUTH ELEVATION

1/8"=1'-0"



Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

PROJECT TITLE

**ELLEFSON** 

METRO TECH

**APARTMENTS** 

TYPICAL MATERIALS: ASPHALT SHINGLES — COMPOSITE BOARD & BATTEN COMPOSITE FASCIA & SOFFIT COMPOSITE HORIZ.SIDING COMPOSITE WINDOW TRIM-PREFABRICATED ALUMINUM RAILING EXTERIOR MATERIAL SCHEDULE MATERIAL COLOR **BUILDING MATERIAL** ASPHALT SHINGLES APPALACHIAN SKY ROOF HORIZONTAL LAP SIDING COMPOSITE SW2843 - ROYCROFT BRASS

COMPOSITE **BOARD PANEL SIDING** SW2833 - ROYCROFT VELLUM FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN SW2842 - ROYCROFT SUEDE COMPOSITE SW2842 - ROYCROFT SUEDE COMPOSITE FASCIA BRICK VENEER INTERSTATE - MOUNTAIN RED **BRICK** CAST STONE CAST STONE SILLS & HEADS, BANDS WINDOWS ALUMINUM RAILING DARK BRONZE ENTRY DOORS ALUMINUM STOREFRONT DARK BRONZE UNIT ENTRY DOORS **FIBERGLASS** MATCH WITH TRIM **INSULATED METAL** MATCH O.H. DOOR **GARAGE MAN DOOR** ALMOND ALUMINUM OVERHEAD GARAGE DOOR

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #2 Exterior

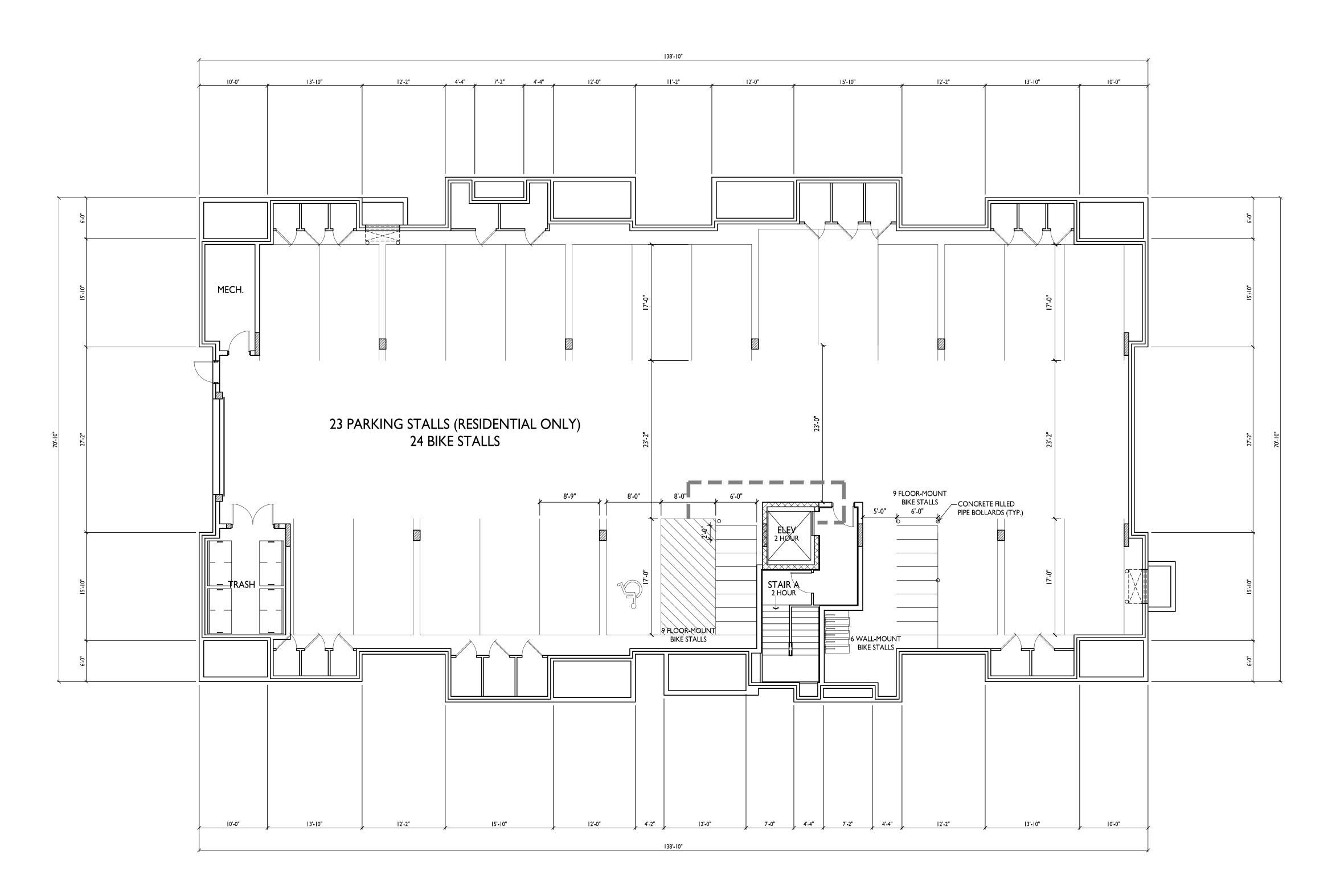
SHEET NUMBER

**Elevations** 

A-2.2

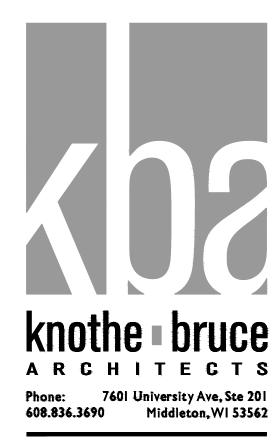
PROJECT NO.

2108









PROJECT TITLE ELLEFSON METRO TECH **APARTMENTS** 

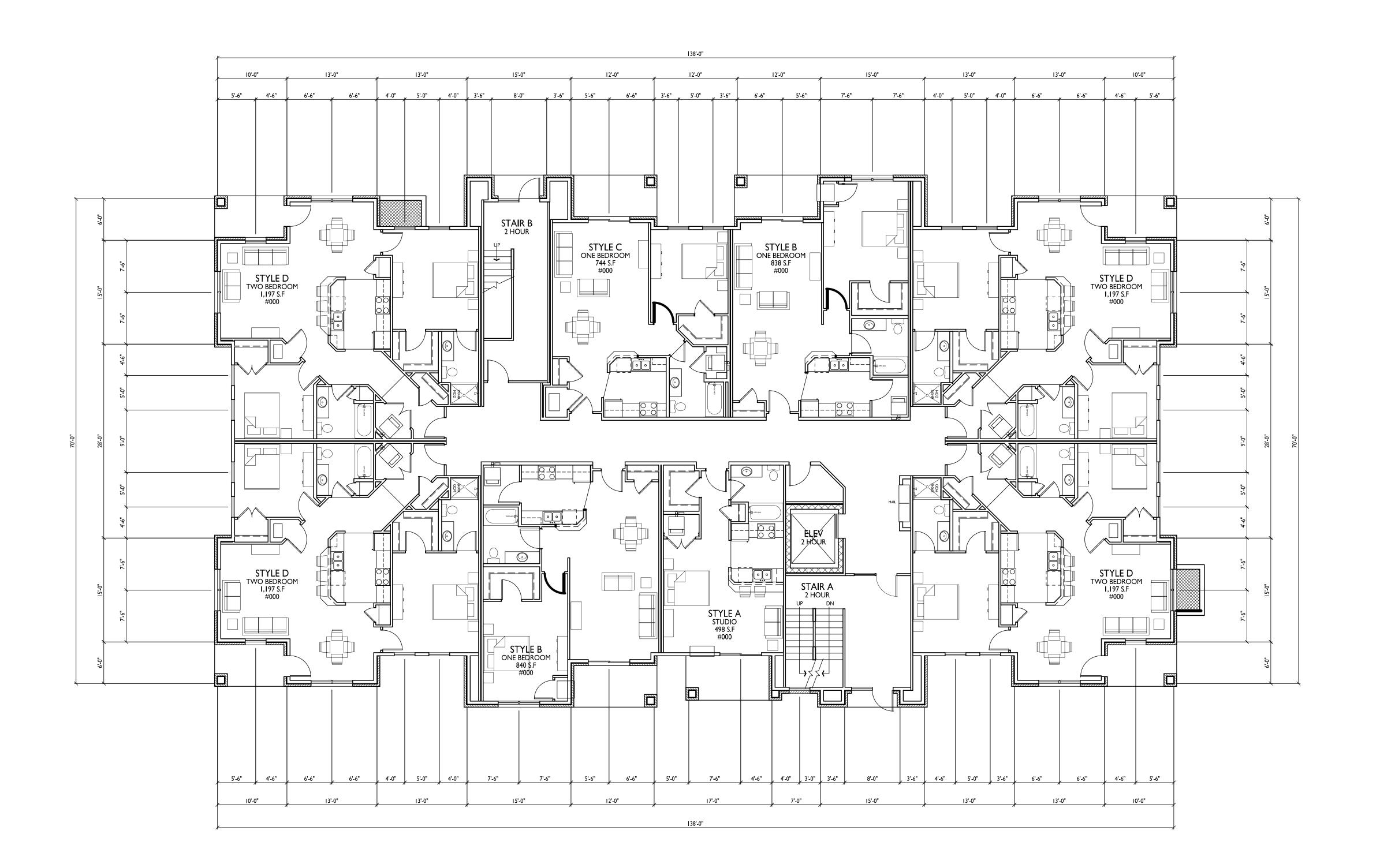
6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #3 Basement Floor

SHEET NUMBER

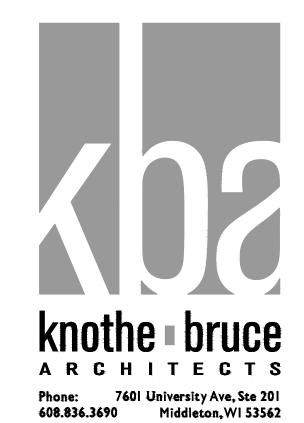
Plan

A-1.0

PROJECT NO.



BUILDING #3 FIRST FLOOR PLAN



SUED

Issued for Land Use Submittal - March 31, 2021
Issued for UDC Submittal - March 31, 2021

PROJECT TITLE

ELLEFSON

METRO TECH

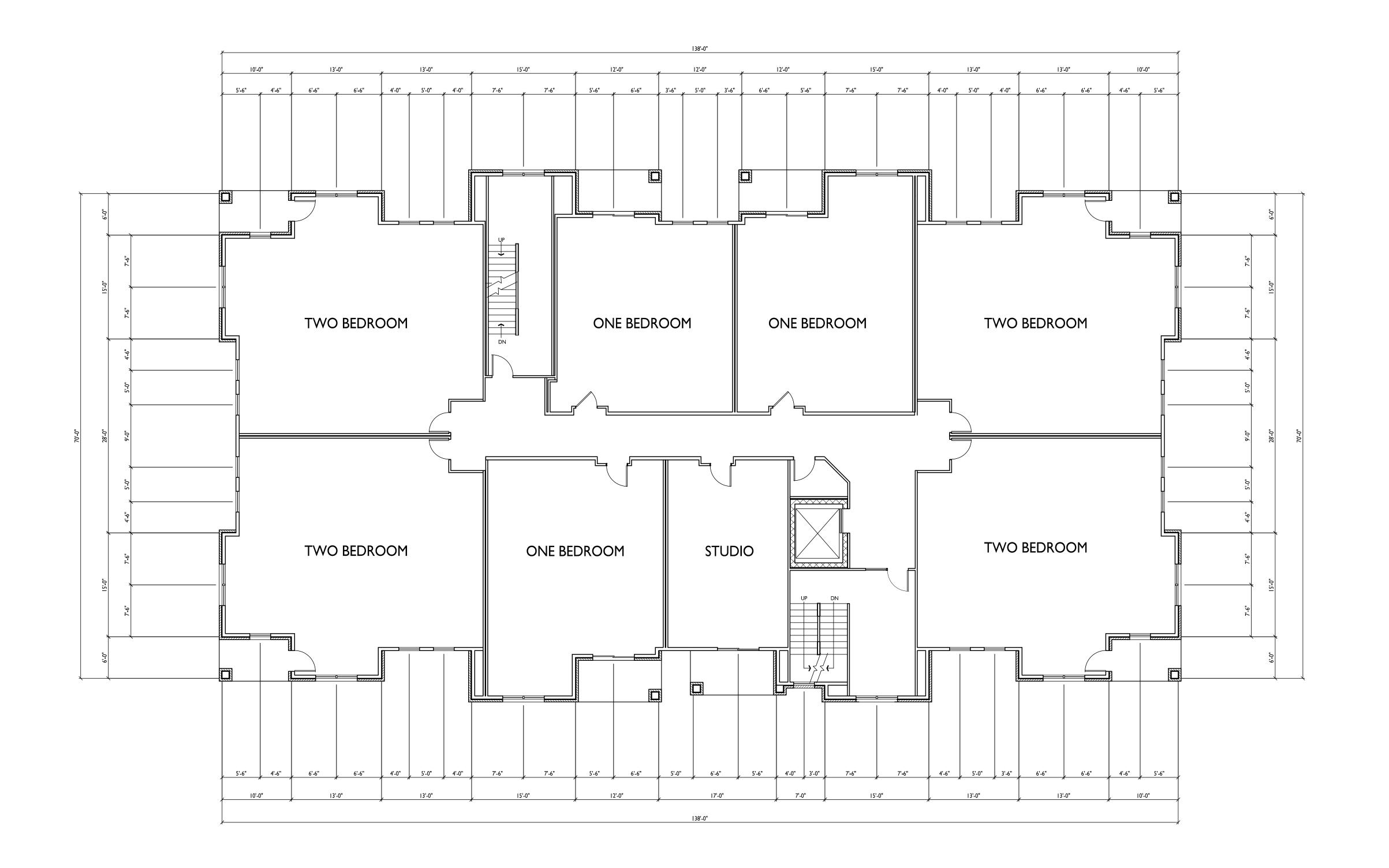
APARTMENTS

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #3 First Floor Plan

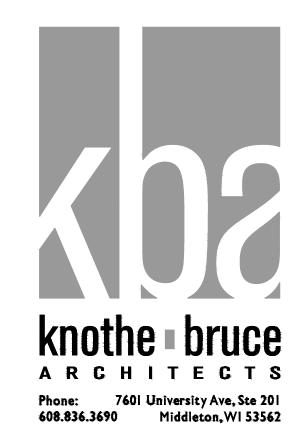
SHEET NUMBER



PROJECT NO. 2108



BUILDING #3 SECOND FLOOR PLAN



Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

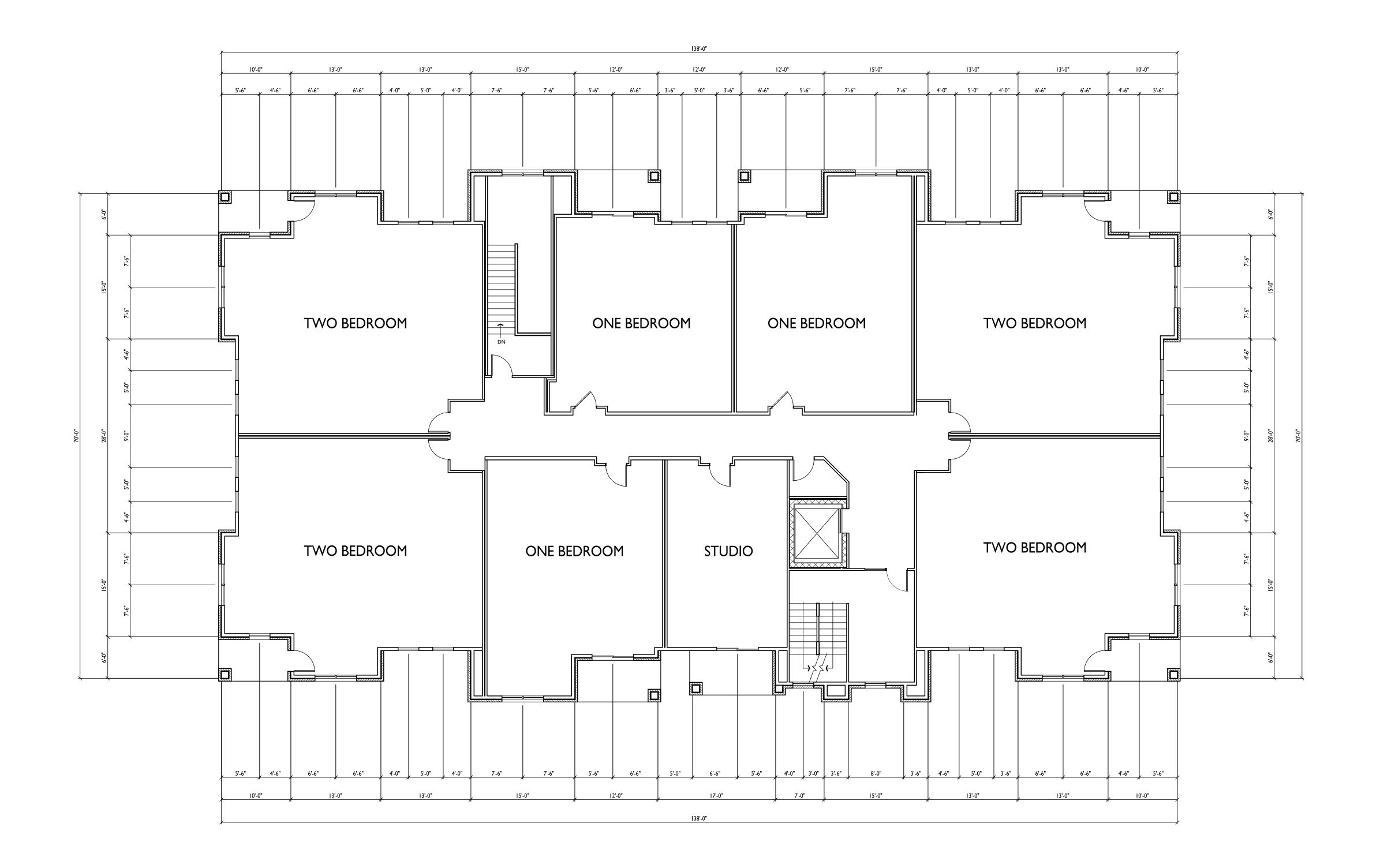
PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #3
Second Floor Plan

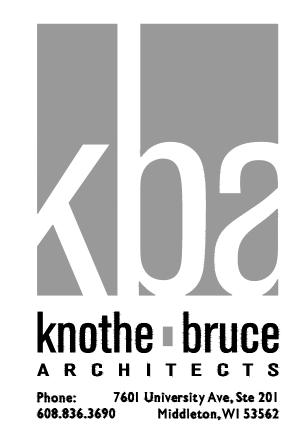
SHEET NUMBER

A-1.2

PROJECT NO.



BUILDING #3 THIRD FLOOR PLAN



Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE

Building #3
Third Floor Plan

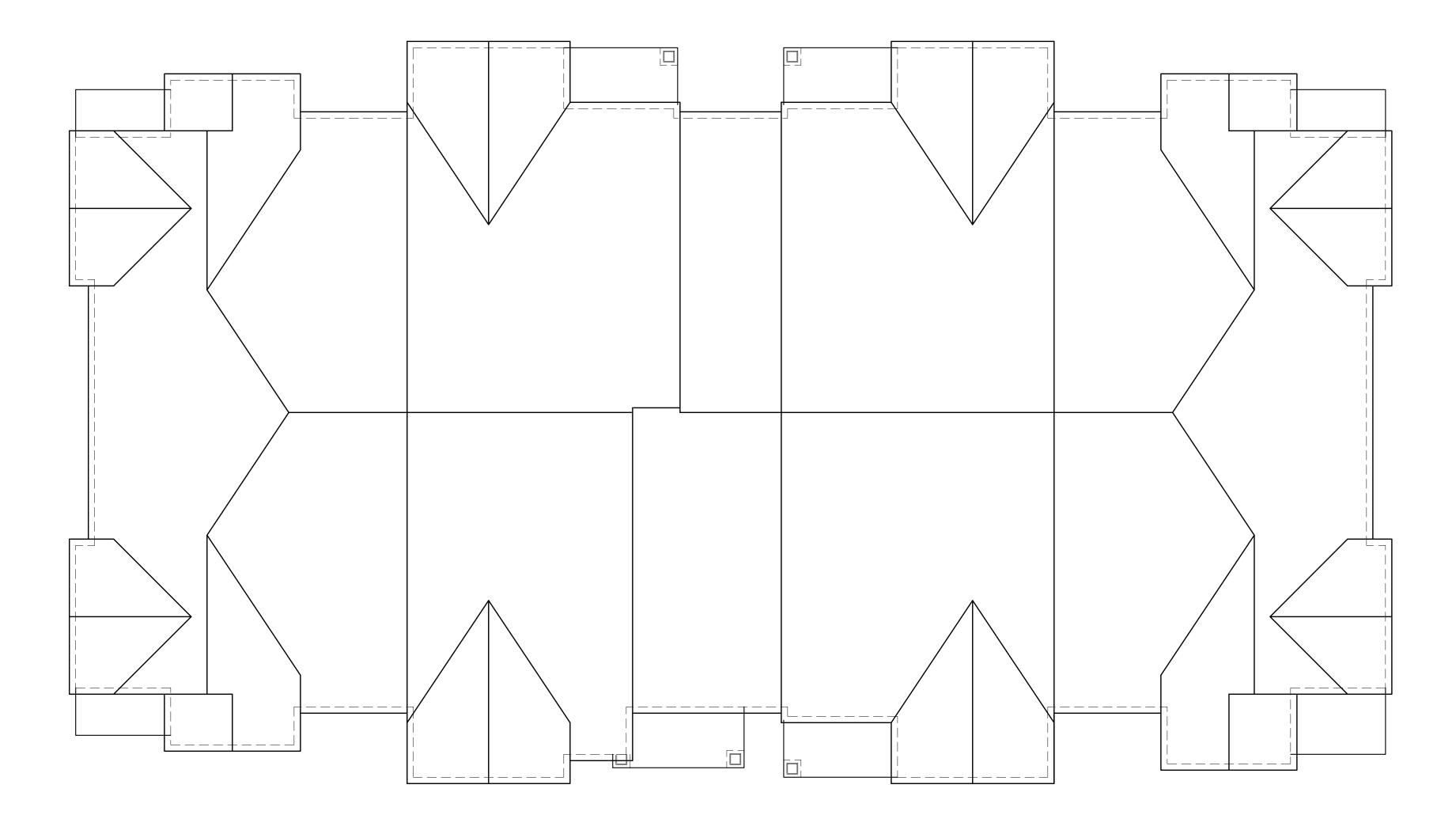
SHEET NUMBER

A-1.3

PROJECT NO.

2108





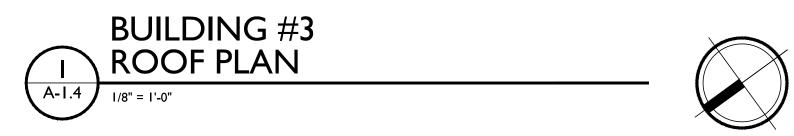
PROJECT TITLE
ELLEFSON METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE
Building #3
Roof Plan

SHEET NUMBER



PROJECT NO.







# BUILDING #3 EAST ELEVATION ALONG METRO TERRACE



BUILDING #3
SOUTH ELEVATION

1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	COLOR	
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY	
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS	
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM	
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE	
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE	
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED	
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF	
WINDOWS	VINYL	TAN	
RAILING	ALUMINUM	DARK BRONZE	
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE	
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM	
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR	
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND	

PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #3 **Exterior Elevations** 

SHEET NUMBER

PROJECT NO.





**EXTERIOR MATERIAL SCHEDULE** MATERIAL COLOR BUILDING MATERIAL ASPHALT SHINGLES APPALACHIAN SKY HORIZONTAL LAP SIDING COMPOSITE SW2843 - ROYCROFT BRASS COMPOSITE SW2833 - ROYCROFT VELLUM BOARD PANEL SIDING FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN COMPOSITE SW2842 - ROYCROFT SUEDE FASCIA COMPOSITE SW2842 - ROYCROFT SUEDE BRICK VENEER INTERSTATE - MOUNTAIN RED BRICK CAST STONE SILLS & HEADS, BANDS CAST STONE WINDOWS TAN RAILING ALUMINUM DARK BRONZE ENTRY DOORS ALUMINUM STOREFRONT DARK BRONZE MATCH WITH TRIM **UNIT ENTRY DOORS FIBERGLASS** GARAGE MAN DOOR INSULATED METAL MATCH O.H. DOOR ALMOND OVERHEAD GARAGE DOOR ALUMINUM

PROJECT TITLE **ELLEFSON** METRO TECH **APARTMENTS** 

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #3 **Exterior Elevations** 

SHEET NUMBER

2108 © Knothe & Bruce Architects, LLC





BUILDING #3
NORTH ELEVATION

A-2.2

| 1/8"=1'-0"



ARCHITECTS Phone: 7601 University Ave, Ste 201 608.836.3690 Middleton, WI 53562

Issued for Land Use Submittal - March 31, 2021 Issued for UDC Submittal - March 31, 2021

BUILDING #3 EAST ELEVATION ALONG METRO TERRACE



BUILDING #3 SOUTH ELEVATION 2 SOU A-2.1 | 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

PROJECT TITLE
ELLEFSON **METRO TECH APARTMENTS** 

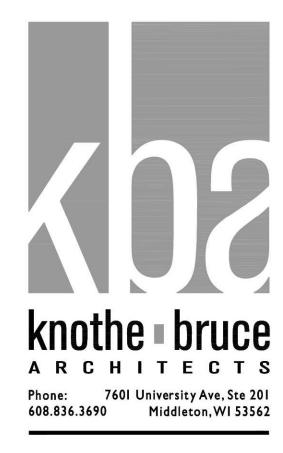
6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #3 **Exterior Elevations** 

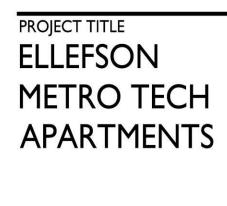
SHEET NUMBER

A-2.1

PROJECT NO.









BUILDING #3 NORTH ELEVATION 2 NOF

EXTERIOR MATERIAL SCHEDULE		
BUILDING MATERIAL	MATERIAL	COLOR
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM
FRIEZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF
WINDOWS	VINYL	TAN
RAILING	ALUMINUM	DARK BRONZE
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND

6321 Town Center Dr Madison, Wisconsin SHEET TITLE Building #3 **Exterior Elevations** 

SHEET NUMBER

A-2.2

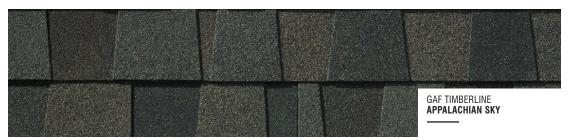
PROJECT NO.











**SHINGLES** 







JAMES HARDIE SW2842-ROYCROFT SUEDE





CAST STONE SILLS, HEADS & BANDS



**BRICK VENEER** 



COMMON ENTRY DOORS ALUM. RAILINGS

MANUFACTURER **ALMOND** 

WINDOWS UNIT ENTRY DOORS

EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	COLOR	
ROOF	ASPHALT SHINGLES	APPALACHIAN SKY	
HORIZONTAL LAP SIDING	COMPOSITE	SW2843 - ROYCROFT BRASS	
BOARD PANEL SIDING	COMPOSITE	SW2833 - ROYCROFT VELLUM	
FREIZE, DECK, & WINDOW TRIM BOARDS, BATTEN	COMPOSITE	SW2842 - ROYCROFT SUEDE	
FASCIA	COMPOSITE	SW2842 - ROYCROFT SUEDE	
BRICK	BRICK VENEER	INTERSTATE - MOUNTAIN RED	
CAST STONE SILLS & HEADS, BANDS	CAST STONE	BUFF	
WINDOWS	VINYL	TAN	
RAILING	ALUMINUM	DARK BRONZE	
ENTRY DOORS	ALUMINUM STOREFRONT	DARK BRONZE	
UNIT ENTRY DOORS	FIBERGLASS	MATCH WITH TRIM	
GARAGE MAN DOOR	INSULATED METAL	MATCH O.H. DOOR	
OVERHEAD GARAGE DOOR	ALUMINUM	ALMOND	



### ELLEFSON METRO TECH APARTMENTS

6321 TOWN CENTER DR. MADISON, WI MARCH 31, 2021 KBA PROJECT 2108