

PANERA BAKERY CAFE #1551

2649 EAST SPRINGS ROAD,
MADISON, WI 53704

PARTS OF LOTS 8 AND 9, REGIONAL EAST, RECORDED IN VOLUME 56-6B OF PLATS ON PAGES 13, 14, AND 15, AS DOCUMENT NO. 1952891, DANE COUNTY REGISTRY, AND LOCATED IN THE NW $\frac{1}{4}$ OF SECTION 27, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

INDEX

REVISIONS

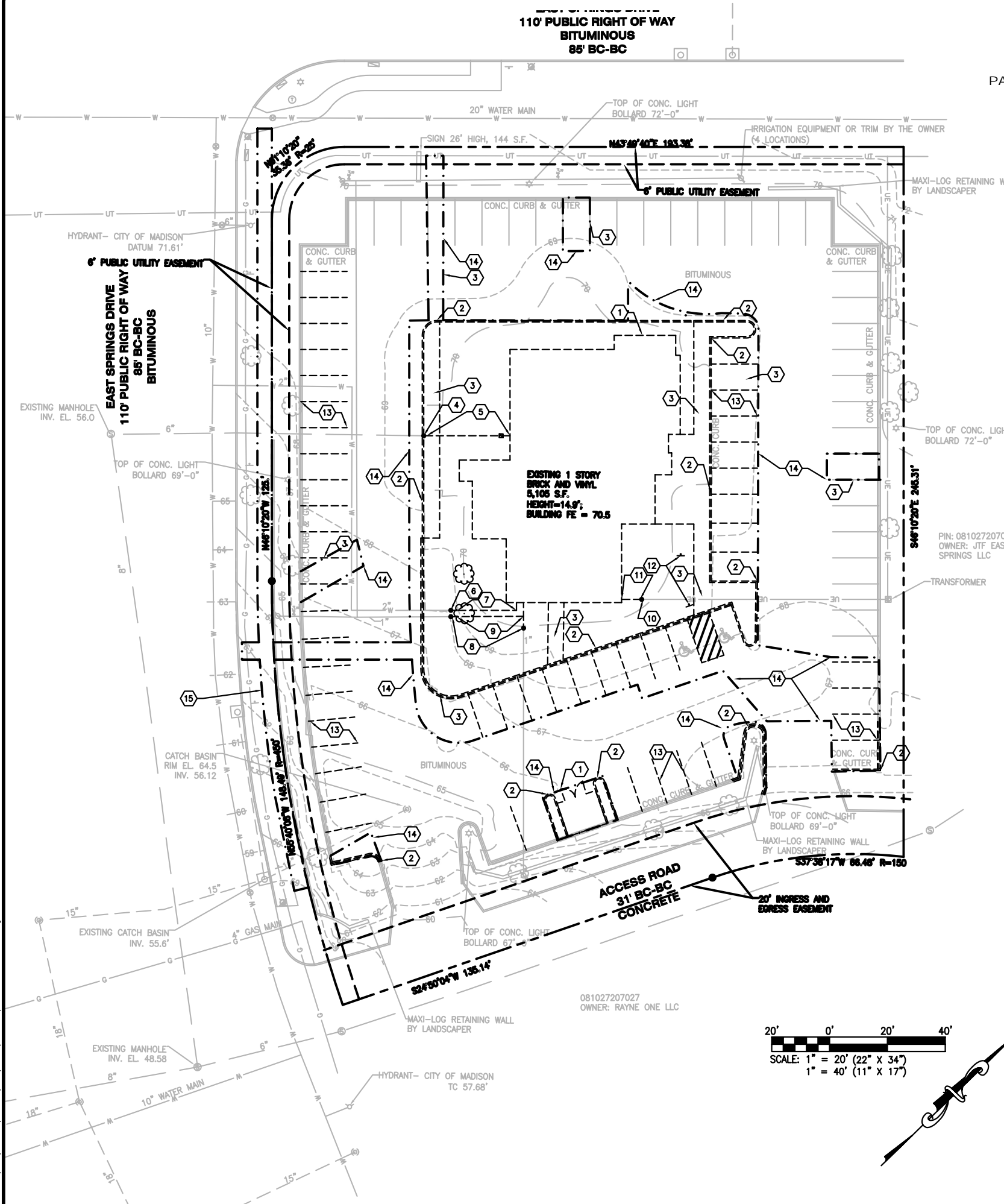
[illegible]

KEYED NOTES

1. EXISTING STRUCTURE (BUILDING, CURB INLET, GRATE INLET, ETC.) TO BE REMOVED.
2. EXISTING CURB (CONCRETE CURB, CONCRETE CURB & GUTTER, ETC.) TO BE REMOVED.
3. EXISTING PAVEMENT (ASPHALT PAVEMENT, CONCRETE PAVEMENT, ETC.) TO BE REMOVED.
4. EXISTING SANITARY SEWER TO BE CAPPED.
5. EXISTING SANITARY SEWER TO BE REMOVED.
6. EXISTING WATER LINE TO BE CAPPED AT NEW BUILDING.
7. EXISTING WATER LINE TO BE REMOVED.
8. EXISTING IRRIGATION LINE TO BE CAPPED AT NEW BUILDING.
9. EXISTING IRRIGATION LINE TO BE REMOVED.
10. EXISTING SECONDARY UNDERGROUND ELECTRIC TO BE CAPPED AT NEW BUILDING.
11. EXISTING SECONDARY UNDERGROUND ELECTRIC TO BE REMOVED.
12. EXISTING MISCELLANEOUS ITEM (SIGN, MAILBOX, ETC.) TO BE REMOVED.
13. EXISTING STRIPING TO BE OBLITERATED.
14. NEW LIMITS OF DISTURBANCE.

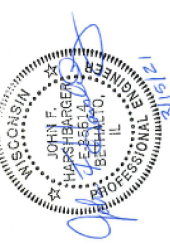
GENERAL DEMOLITION NOTES

1. ALL EXISTING IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE IN THESE PLANS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL OF (IN A LOCATION APPROVED BY ALL JURISDICTIONS HAVING AUTHORITY) ALL DEBRIS, STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
3. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.
6. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATE WITH THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER AND THE ENGINEER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO ANY EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE EXISTING BUILDINGS.
8. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ANY EXISTING BUILDINGS TO REMAIN AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM AND COORDINATION WITH THE BUILDING OWNER.
9. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
10. ANY DRY UTILITY LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE RIGHT OF WAY DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE UTILITY COMPANY TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE UTILITY COMPANY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXISTING IRRIGATION SYSTEMS IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAP ANY EXISTING IRRIGATION SYSTEMS TO REMAIN SUCH THAT THE REMAINING SYSTEMS SHALL CONTINUE TO FUNCTION PROPERLY.
13. EXISTING PAVEMENT THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
14. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, DRAINAGE STRUCTURES, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND SHALL BE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
15. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
16. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER.
17. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
18. THE CONTRACTOR SHALL RESTORE ALL OFF SITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO THE COMMENCEMENT OF WORK.



USER: Lindsey DiLiemper TAB: Demo
DATE: March 15, 2021 - 10:44:30 AM
DRAWING: S:\JOS\Jobs\2020\20-0003\CADD\C-Plan\PlotSheets\0_Plan_DEMO_20-0003.dwg

PANERA, LLC
DEVELOPER/OWNER:
3630 SOUTH GEYER ROAD, SUITE 100
ST. LOUIS, MO 63127
(314) 984-1000



PANERA BAKERY CAFE #1551

2649 EAST SPRINGS DRIVE
MADISON, WI 53704

EXISTING CONDITIONS / DEMOLITION PLAN

cole[®]
+ ST LOUIS
401 S. 16th Street
Suite 200
St. Louis, MO 63103
314.984.9887 tel/
www.coledad.com

DESIGN/CALC BY

DRAWN BY

CHECKED BY _____

DRAWING SCALE

DATE 08/15/2000

Job Number:

20-000

Sheet Number

C-1.0



EXTERIOR PHOTO #1
SHOWING REAR OF
BUILDING



EXTERIOR PHOTO #2
LOOKING SOUTHWEST



EXTERIOR PHOTO #3
LOOKING SOUTHEAST



EXTERIOR PHOTO #4
SHOWING BUILDING
ENTRANCE



EXTERIOR PHOTO #5
SHOWING BUILDING
ENTRANCE



INTERIOR PHOTO #1
SHOWING FORMER
DINING AREA



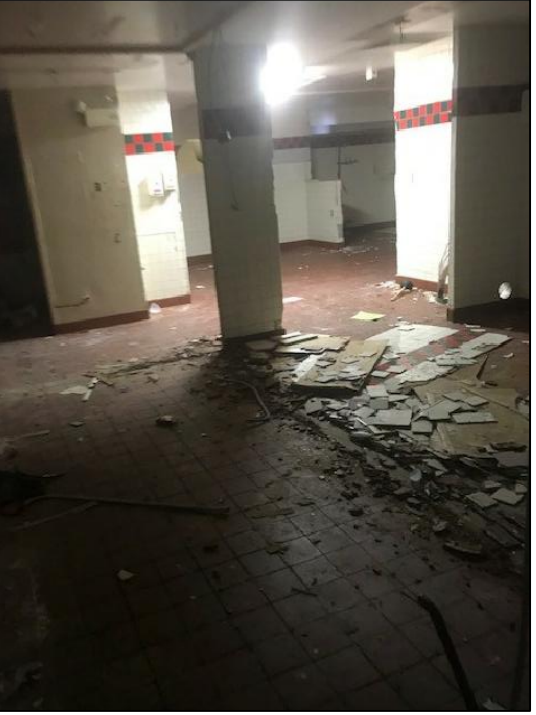
INTERIOR PHOTO #2
SHOWING FORMER
KITCHEN



INTERIOR PHOTO #3
SHOWING FORMER
DINING AREA



INTERIOR PHOTO #4
SHOWING FORMER
DINING AREA

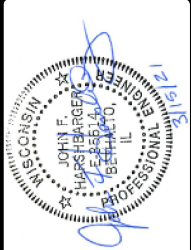


INTERIOR PHOTO #5
SHOWING FORMER
KITCHEN

USER: Lindsay Delamater TAB: PHOTO
DATE: March 15, 2021 - 8:14:47 AM
DRAWING: S:\0085\00850201\20-0003\0001\00-Plan\Photos\01-PLAN_COVER-SPEC_20-0003.dwg

DEVELOPER/OWNER: **PANERA, LLC**
3630 SOUTH CENTER ROAD, SUITE 100
ST. LOUIS, MO 63127
(314) 984-1000

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE, AND DOES NOT ASSUME RESPONSIBILITY FOR ANY OTHER INFORMATION, REPORTS, OR INSTRUMENTS NOT SPECIFICALLY REFERENCED HEREON. THIS DOCUMENT IS NOT TO BE USED FOR ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.



PANERA BAKERY CAFE #551

2649 EAST SPRINGS DRIVE
MAISON, WI 53704

EXISTING BUILDING PHOTOS

COLE
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE

DESIGN/CALC BY: ALV

DRAWN BY: ALV

CHECKED BY: CAW

DRAWING SCALE: AS SHOWN

DATE: 03/15/2021

Job Number: 20-0003

Sheet Number: C-2.0

PANERA BAKERY CAFE #1551

2649 EAST SPRINGS ROAD,
MADISON, WI 53704

PARTS OF LOTS 8 AND 9, REGIONAL EAST, RECORDED IN VOLUME 56-6B OF PLATS ON PAGES 13, 14,
AND 15, AS DOCUMENT NO. 1952891, DANE COUNTY REGISTRY, AND LOCATED IN THE
NW 1/4 OF SECTION 27, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

KEYED NOTES

- ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE NORTH PROPERTY LINE UNLESS DIMENSIONED OTHERWISE.
- NEW STRUCTURES
- PANERA PARCEL.
- NEW PANERA BUILDING.
- NEW DUMPSTER ENCLOSURE.
- NEW CURBS
- NEW INTEGRAL CONCRETE CURB (STANDARD SECTION).
- NEW INTEGRAL CONCRETE CURB (WIDE SECTION).
- NEW VERTICAL CONCRETE CURB.
- NEW WHEEL STOP (TYPICAL OF 3).
- NEW PAVEMENTS
- NEW ASPHALT PAVEMENT (LIGHT DUTY).
- NEW ASPHALT PAVEMENT (HEAVY DUTY).
- NEW CONCRETE PAVEMENT (HEAVY DUTY).
- NEW CONCRETE PAVEMENT (HEAVY DUTY) WITH DETECTOR LOOP.
- NOT USED.
- NEW SIDEWALKS
- NEW CONCRETE SIDEWALK.
- NEW CURB RAMP.
- NEW SIGNS
- NEW 4" BOLLARD(S).
- NEW 6" BOLLARD(S).
- NEW ACCESSIBLE PARKING SIGN.
- NEW DRIVE-THRU CLEARANCE BAR.
- NEW PREVIEW BOARD.
- NEW MENU BOARD.
- NEW CANOPY AND SPEAKER POST.
- NEW "DRIVE-THRU" SIGN.
- NEW "THANK YOU/DO NOT ENTER" SIGN.
- NEW RAPID PICK UP SIGN.
- NEW VAN ACCESSIBLE PARKING SIGN.
- NEW "DRIVE-THRU PULL FORWARD" SIGN.
- NEW PAVEMENT MARKINGS
- NEW PAINTED ACCESSIBLE PARKING SYMBOL.
- NEW PAINTED AISLE (BLUE).
- NEW PAINTED AISLE (WHITE).
- NEW PAINTED PARKING SPACE LINE (WHITE).
- NEW PAINTED PARKING SPACE LINE (BLUE).
- NEW PAINTED TRAFFIC FLOW ARROW.
- NEW "DRIVE-THRU" STRIPING AND TRAFFIC FLOW ARROW.
- NEW "DO NOT ENTER" STRIPING AND TRAFFIC FLOW ARROWS.
- NEW MISCELLANEOUS ITEMS
- NEW LANDSCAPE AREA.
- NEW BICYCLE PARKING RACK.
- NEW OUTDOOR EATING AREA. REFER TO ARCHITECTURAL PLANS.
- EXISTING CURBS
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING SIGNS
- EXISTING POLE SIGN TO BE RE-FACED AND RE-USED.
- MATCH EXISTING CURB IN LOCATION AND ELEVATION.
- EXISTING LIGHT POLE AND BASE TO REMAIN, NEW HEADS TO BE INSTALLED.
- NEW 2" WIDE CURB OPENING FOR DRAINAGE.
- NEW SEGMENTAL RETAINING WALL. REFER TO DETAIL ON SHEET C7.0.

GENERAL SITE NOTES

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL REGULATIONS AND CODES OF THE AUTHORITY HAVING JURISDICTION AND O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
- SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH EXISTING FLUSH AND SMOOTH.
- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
- THE CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER/DEVELOPER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, STORE PERSONNEL, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
- NO MONUMENT SIGNS OR THEIR PROPOSED LOCATIONS CAN BE APPROVED WITH THESE DOCUMENTS. A SEPARATE SIGN APPLICATION MUST BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW AND APPROVAL.
- ANY RETAINING WALLS REFERRED TO IN THESE PLANS ARE SHOWN FOR REFERENCE ONLY AND ARE NOT TO BE INTERPRETED AS THE DESIGN OF THE WALL SYSTEM. THE CONTRACTOR SHALL REFER TO STRUCTURAL PLANS PREPARED BY OTHERS FOR WALL DESIGN AND CONSTRUCTION DETAILS. A SEPARATE BUILDING PERMIT MAY BE REQUIRED FOR EACH WALL.

PERTINENT DATA

SITE DATA

CURRENT ZONING DISTRICT CC-T "COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT"

PROPOSED ZONING DISTRICT CC-T "COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT"

AREA CALCULATIONS
BUILDING AREA
IMPERVIOUS AREA
PERVIOUS AREA
TOTAL SITE AREA

4,454 SF
38,615 SF
16,233 SF
57,302 SF



PARKING CALCULATIONS

PARKING REQUIREMENTS (STANDARD - MUNICIPALITY)

USE CATEGORY 15% OF CAPACITY OF PERSONS (MINIMUM)
40% OF CAPACITY OF PERSONS (MAXIMUM)
DINING AREA CAPACITY 110 PERSONS (ASSUMED)
MINIMUM CALCULATION (15% CAPACITY) * (110 PERSONS) = 17 SPACES
MINIMUM SPACES REQUIRED 17 SPACES
MAXIMUM CALCULATION (40% CAPACITY) * (110 PERSONS) = 44 SPACES
MAXIMUM SPACES REQUIRED 44 SPACES

MINIMUM PARKING REQUIREMENTS (ACCESSIBLE)

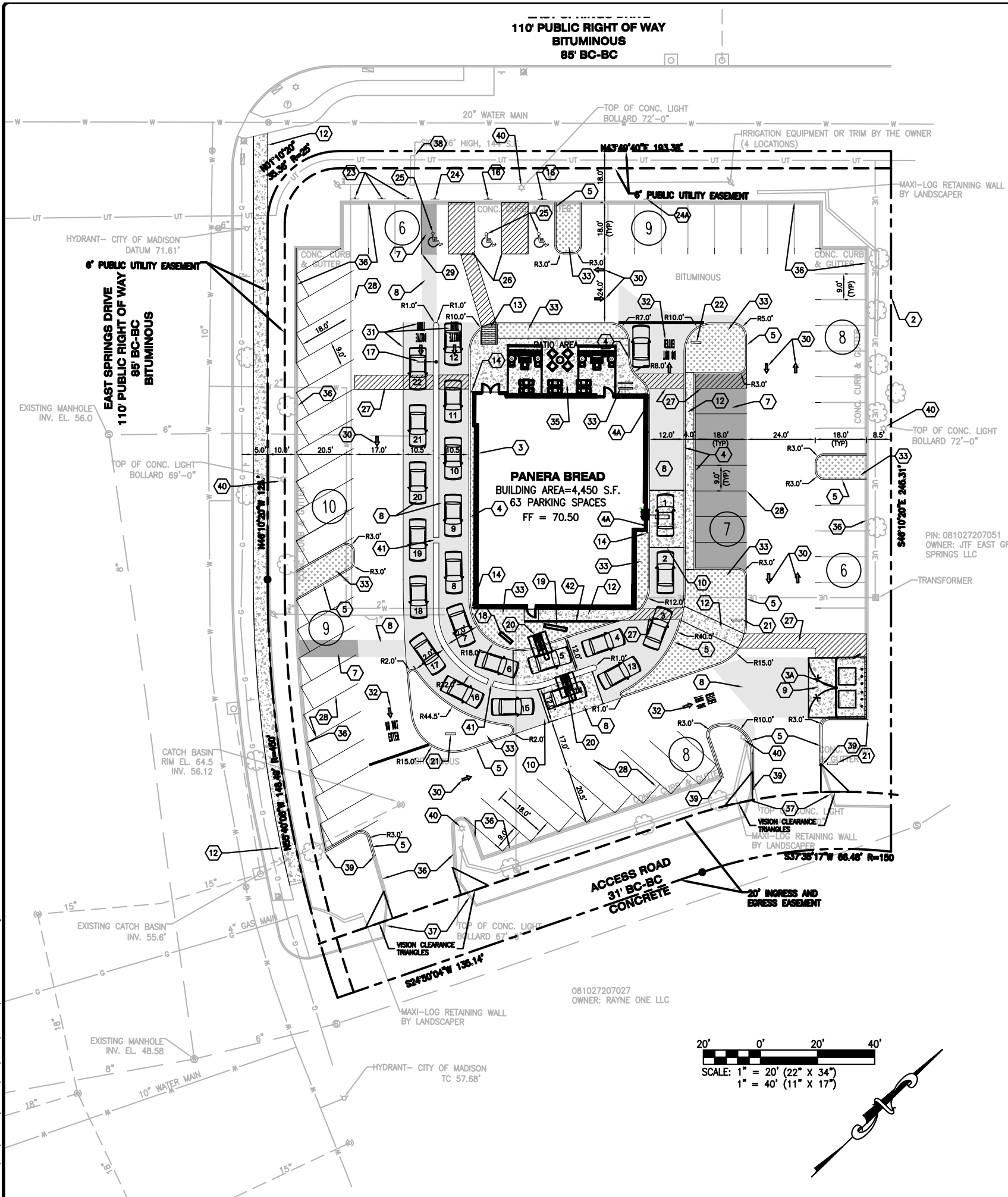
51 TO 75 STANDARD SPACES 3 ACCESSIBLE SPACES
VAN ACCESSIBLE REQUIREMENT 1 VAN ACCESSIBLE SPACE FOR EVERY 6 ACCESSIBLE SPACES
MINIMUM SPACES REQUIRED 3 SPACES

MINIMUM BICYCLE PARKING REQUIREMENTS (STANDARD - MUNICIPALITY)

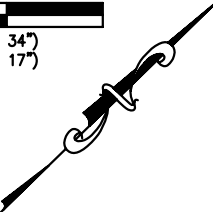
USE CATEGORY 5% OF CAPACITY OF PERSONS (MINIMUM)
110 PERSONS (ASSUMED)
CALCULATION (5% CAPACITY) * (110 PERSONS) = 6 SPACES
MINIMUM SPACES REQUIRED 6 SPACES

PARKING DATA

SPACES REQUIRED (TOTAL) 44 SPACES
SPACES PROVIDED (STANDARD) 60 SPACES
SPACES PROVIDED (ACCESSIBLE) 3 SPACES (1 VAN ACCESSIBLE)
SPACES PROVIDED (PROPOSED TOTAL) 63 SPACES
CURRENT EXISTING SPACES 87 SPACES



SCALE: 1" = 20' (22" X 34")
1" = 40' (11" X 17")



USER: Lindsay Delamater TAB: S19
DATE: March 15, 2021 - 8:35:02 AM
DRAWING: S:\0085 Jobs\2021\20-0003 (CAD)\C-Plan\PlotSheet\10_PLAN_SITE_20-0003.dwg

DEVELOPER/OWNER: PANERA LLC
9830 SOUTH CENTER ROAD, SUITE 100
ST. LOUIS, MO 63127
(314) 984-1000

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON ASSUMES RESPONSIBILITY ONLY FOR THAT WHICH APPEARS ON THIS PLAN, AND DESIGNS, SPECIFICATIONS, ESTIMATES, REQUIREMENTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO, OR INTENDED TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.

PROFESSIONAL ENGINEER
JOHN F. HARTSHORN
STATE OF ILLINOIS
No. 043-078678
BETHARD, ILL.

PANERA BAKERY CAFE #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704
SITE PLAN

401 S. 18th Street
St. Louis, MO 63103
314.644-4897
COLE ARCHITECTURE
CITY ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE

DESIGN/CALC BY ALV
DRAWN BY ALV
CHECKED BY CAW
DRAWING SCALE AS SHOWN
DATE 03/15/2021
Job Number 20-0003
Sheet Number C-3.0

PANERA BAKERY CAFE #1551

2649 EAST SPRINGS ROAD,
MADISON, WI 53704

PARTS OF LOTS 8 AND 9, REGIONAL EAST, RECORDED IN VOLUME 56-6B OF PLATS ON PAGES 13, 14,
AND 15, AS DOCUMENT NO. 1952891, DANE COUNTY REGISTRY, AND LOCATED IN THE
NW ¼ OF SECTION 27, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

GRADING ABBREVIATIONS

BC BOTTOM OF CURB FACE
BW BOTTOM OF WALL
EC EDGE OF CONCRETE
FF FINISHED FLOOR
FG FINISHED GRADE
HP HIGH POINT
LP LOW POINT
ME MATCH EXISTING
TC TOP OF CURB FACE
TP TOP OF PAVEMENT
TW TOP OF WALL

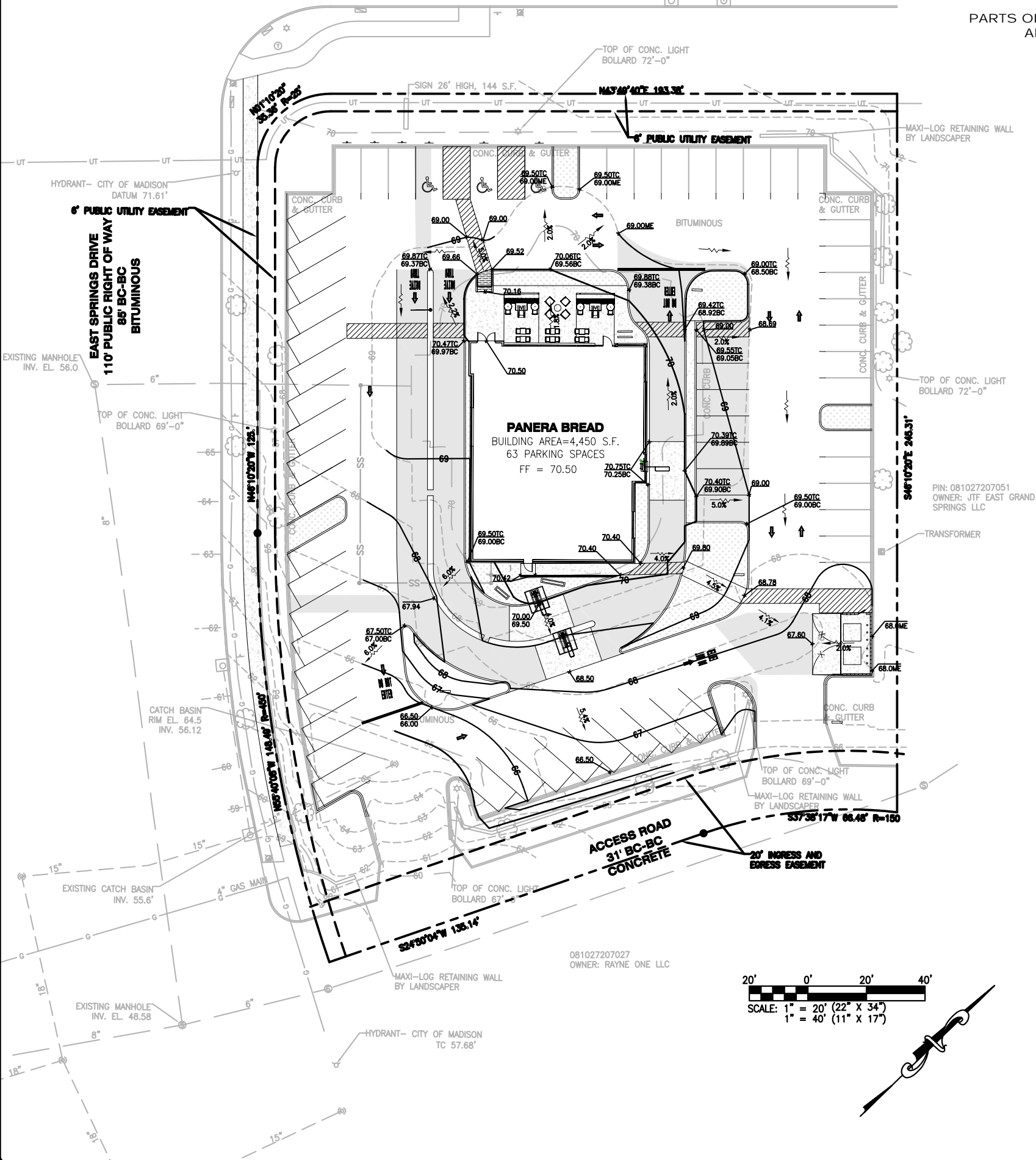
GENERAL GRADING NOTES

- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER/DEVELOPER FOR REVIEW.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED. THE ENGINEER ASSUMES NO LIABILITY FOR SLOPES EXCEEDING THOSE RECOMMENDED IN THE APPLICABLE GEOTECHNICAL REPORT.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- EXISTING DRAINAGE STRUCTURES AND STORM SEWER PIPES ARE TO BE INSPECTED, REPAIRED AS NEEDED, AND CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

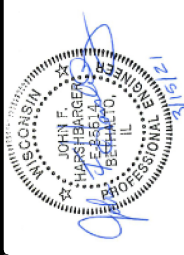
PIPES DIAMETERS LESS THAN 12"
HIGH DENSITY POLYETHYLENE PIPE (HDPE): TYPE S PER AASHTO M252 (SMOOTH INTERIOR WITH CORRUGATIONS EXTERIOR)
POLYVINYL CHLORIDE PIPE (PVC): SDR35 PER ASTM D3034 (FOR PIPES LESS THAN 12' DEEP)
POLYVINYL CHLORIDE PIPE (PVC): SDR26 PER ASTM D3034 (FOR PIPES MORE THAN 12' DEEP)

PIPES DIAMETERS 12" OR GREATER
REINFORCED CONCRETE PIPE (RCP): CLASS III PER ASTM C76
POLYPROPYLENE (PP): SMOOTH INTERIOR WITH CORRUGATIONS EXTERIOR PER ASTM F2764
- ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. STORM MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE.
- ALL PROPOSED CONTOURS SHOWN ARE TO FINISHED ELEVATIONS ON PAVED AREAS. THE CONTRACTOR SHALL GRADE ALL AREAS TO REQUIRED SUBGRADE.
- ALL PROPOSED SPOT GRADES SHOWN ARE TO FINISHED GRADE, FINISHED PAVEMENT, OR FINISHED BOTTOM FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL FILLS AND BACKFILLS SHALL CONSIST OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- ALL FILL PLACED FOR PROPOSED STORM AND SANITARY SEWER LINES, PAVED AREAS, OR DRAINAGE BERMS SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE AASHTO T 180 MODIFIED PROCTOR COMPACTION TEST OR 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T 99 STANDARD PROCTOR COMPACTION TEST. ALL TESTS SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER CONCURRENT WITH THE GRADING AND BACKFILLING OPERATIONS.
- ALL STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION. PERMANENT SOD SHALL BE ESTABLISHED AS SOON AS POSSIBLE.

EAST SPRINGS DRIVE
110' PUBLIC RIGHT OF WAY
BITUMINOUS
85' BC-BC



DEVELOPER/OWNER: PANERA, LLC
3630 SOUTH CENTER ROAD, SUITE 100
ST. LOUIS, MO 63127
(314) 984-1000



PANERA BAKERY CAFE #1551

2649 EAST SPRINGS DRIVE
MADISON, WI 53704

GRADING PLAN



DESIGN/CALC BY
ALV

DRAWN BY
ALV

CHECKED BY
CAW

DRAWING SCALE
AS SHOWN

DATE
03/15/2021

Job Number

20-0003

Sheet Number

C-4.0

PANERA BAKERY CAFE #1551

2649 EAST SPRINGS ROAD,
MADISON, WI 53704

PARTS OF LOTS 8 AND 9, REGIONAL EAST, RECORDED IN VOLUME 56-6B OF PLATS ON PAGES 13, 14, AND 15, AS DOCUMENT NO. 1952891, DANE COUNTY REGISTRY, AND LOCATED IN THE NW $\frac{1}{4}$ OF SECTION 27, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

KEYED NOTES

GAS SERVICE

1. NEW GAS SERVICE POINT OF CONNECTION.
2. NEW GAS METER.

WATER SERVICE

3. EXISTING 2" WATER LINE TO BE USED IN PLACE.

ELECTRIC SERVICE

4. EXISTING PRIMARY UNDERGROUND ELECTRIC SERVICE TO BE USED IN PLACE.
5. EXISTING GROUND MOUNTED TRANSFORMER TO BE USED IN PLACE.
6. EXISTING SECONDARY UNDERGROUND ELECTRIC SERVICE TO BE USED IN PLACE.

COMMUNICATIONS SERVICE

7. NEW COMMUNICATIONS SERVICE POINT OF CONNECTION.

SANITARY SEWER SERVICE

8. NEW SANITARY SEWER SERVICE POINT OF CONNECTION.
9. NEW 6" SANITARY SEWER SERVICE WITH 2.0% MINIMUM SLOPE AND 36" MINIMUM COVER.
10. NEW SANITARY SEWER CLEANOUT.
11. NEW GREASE TRAP.
12. NEW SANITARY SEWER POINT OF BUILDING ENTRY.
13. EXISTING 6" SANITARY SEWER TO REMAIN.

STORM SEWER SERVICE

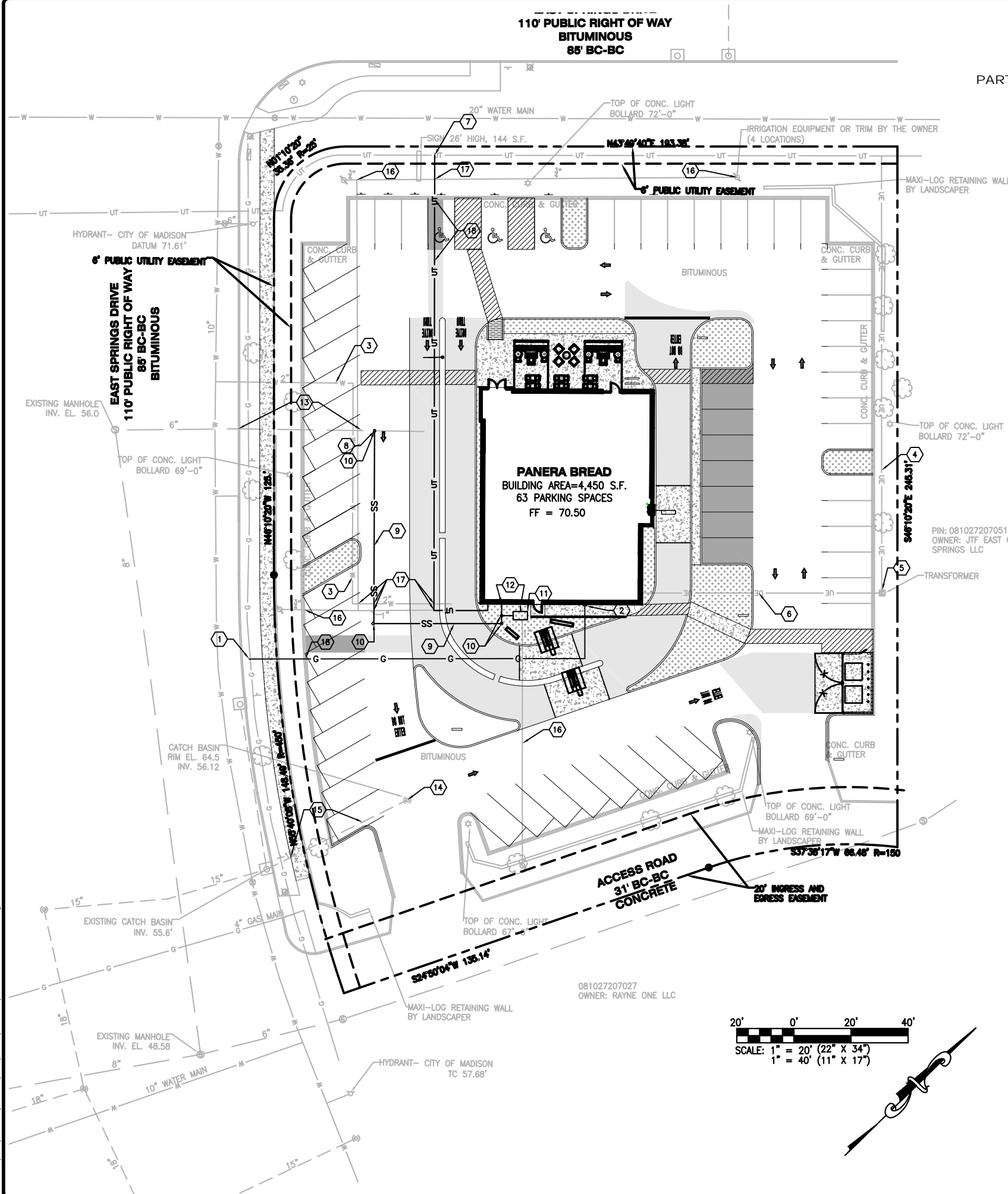
14. EXISTING CATCH BASIN TO REMAIN (INVERT = 56.12) AND USED IN PLACE.
15. EXISTING 12" STORM SEWER TO REMAIN.

MISCELLANEOUS ITEMS

16. EXISTING IRRIGATION EQUIPMENT TO BE USED IN PLACE.
17. THE CONTRACTOR SHALL MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT ALL UTILITY CROSSINGS.
18. REMOVE AND REPLACE EXISTING PAVEMENT, SIDEWALK, AND CURB IN KIND AS NECESSARY TO INSTALL THE PROPOSED UTILITIES.

PIN: 081027207051
OWNER: JTF EAST GRAND
SPRINGS LLC

-TRANSFORMER



GENERAL UTILITY NOTES

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATIONS AND SIZES OF ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT SHOWN IN THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER HAS NOT FIELD VERIFIED THE EXISTING UTILITIES. THE UTILITIES SHOWN ON THESE PLANS HAVE BEEN TAKEN FROM RECORDS AND UTILITY MAPS MADE AVAILABLE TO THE ENGINEER AND THE LOCATIONS AND SIZES SHALL BE CONSIDERED APPROXIMATE ONLY. OTHER UTILITIES, NOT SHOWN ON THIS PLAN, MAY EXIST ON OR NEAR THE PROJECT SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE RESTORED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT NEED TO BE REMOVED OR REPAIR INCLUDE, BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER WITH A DETAILED SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING UTILITIES WILL BE DISRUPTED.
3. THE NEW UTILITY TRENCH WIDTHS AND DEPTHS SHALL MEET ALL LOCAL AND STATE REQUIREMENTS.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ANY "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE SITE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
5. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
6. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
7. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS AT LEAST 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
8. EXISTING DRAINAGE STRUCTURES AND STORM SEWER PIPES ARE TO BE INSPECTED, REPAIRED AS NEEDED, AND CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
9. ALL UTILITY EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
10. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
11. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
12. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

POLYVINYL CHLORIDE PIPE (PVC): SDR35 PER ASTM D3034 (FOR PIPES LESS THAN 12" DEEP)
POLYVINYL CHLORIDE PIPE (PVC): SDR26 PER ASTM D3034 (FOR PIPES MORE THAN 12" DEEP)
13. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 12" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
14. WATER LINES SHALL BE AS FOLLOWS:

PIPE DIAMETERS 1.5" OR LESS
COPPER (CPR): TYPE K PER ANWWA C800

PIPE DIAMETERS 2" THROUGH 3"
COPPER (CPR): TYPE K PER ANWWA C800
POLYVINYL CHLORIDE PIPE (PVC): SDR21 PER ASTM D2241, CLASS 200

PIPE DIAMETERS 4" THROUGH 12"
POLYVINYL CHLORIDE PIPE (PVC): DR18 PER ANWWA C900 (DOMESTIC SERVICE)
POLYVINYL CHLORIDE PIPE (PVC): DR14 PER ANWWA C900 (FIRE SERVICE IN LIEU OF DIP, WHERE ALLOWED BY LOCAL CODES)
DUCTILE IRON PIPE (DIP): PRESSURE CLASS 350 PER ANWWA C151

PIPE DIAMETERS LARGER THAN 12"
POLYVINYL CHLORIDE PIPE (PVC): DR18 PER ANWWA C905
DUCTILE IRON PIPE (DIP): PRESSURE CLASS 250 PER ANWWA C151
14. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING.
15. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
16. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
17. CONTRACTOR TO RELOCATE LIGHT POLES AND REPLACE LUMINAIRES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASES AND STUB WIRE AS NEEDED.
18. CONTRACTOR SHALL START LAYING PIPE AT DOWNSTREAM STRUCTURE AND WORK UPSTREAM.
19. CLEANOUTS SHALL BE LOCATED AT ALL HORIZONTAL AND VERTICAL CHANGES IN DIRECTION OF FLOW IN BUILDING LATERALS AND ANY SANITARY LATERAL OF 100 FEET OR LONGER.
20. ALL TRENCHES UNDER AREAS TO BE PAVED, EXISTING PAVED AREAS, OR PUBLIC RIGHT-OF-WAY SHALL BE GRANULARLY BACKFILLED WITH 3/4 INCH MINUS CRUSHED WHITE ROCK.
21. GAS, WATER AND OTHER UNDERGROUND UTILITIES SHALL NOT CONFLICT WITH THE DEPTH OR HORIZONTAL LOCATION OF EXISTING OR PROPOSED SANITARY AND STORM SEWERS.
22. THE CONTRACTOR SHALL PREVENT ALL STORM WATER, SURFACE WATER, MUD AND CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER SYSTEM.
23. THE EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
24. ALL SANITARY FLOW LINES AND TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER SHALL BE THE RESPONSIBILITY OF THE SEWER CONTRACTOR.
25. ALL SEWER PIPES SHALL HAVE POSITIVE DRAINAGE THROUGH STRUCTURES. NO FLAT INVERT STRUCTURES ARE ALLOWED.
26. ANY ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY GROUT FILLED.

USER: Lindsey Diekmeyer TAB: Utility
DATE: March 15, 2021 - 8:19:05 AM
DRAWING: S:\J06S\Jobs\2020\20-0003\CADD\C-Plan\PlotSheets\0_Plan_UTILITY_20-0003.dwg

[illegible]

PANERA, LLC
3630 SOUTH CETER ROAD, SUITE 100
ST. LOUIS, MO 63127
(314) 984-1000

PANERA BAKERY CAFE #151

2649 EAST SPRINGS DRIVE
MADISON, WI 53704

UTILITY PLAN

cole[®]

CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE

Cole & Associates, Inc. is an Affiliated / Cooperative of A.C.E. Design Group, Inc. an Affiliated of Three Associates registered as "Other"

+ ST. LOUIS

1001 N. 7th Street
Suite 200
St. Louis, MO 63103
314.984.0087 fax
www.coleinc.com

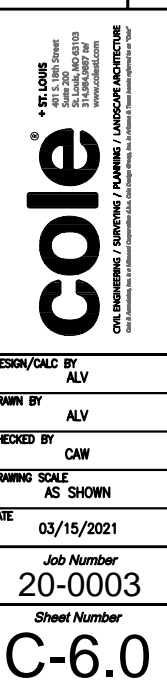
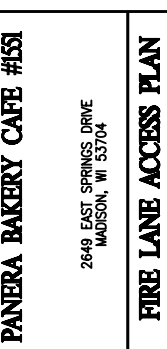
DESIGN/CALC BY	ALV
DRAWN BY	ALV
CHECKED BY	CAW
DRAWING SCALE	AS SHOWN
DATE	03/15/2021
Job Number	20-0003
Sheet Number	C-5.0

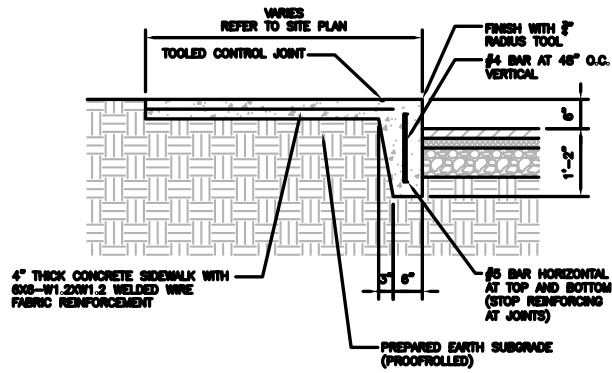
2649 EAST SPRINGS ROAD,
MADISON, WI 53704
PARTS OF LOTS 8 AND 9, REGIONAL EAST, RECORDED IN VOLUME 56-6B OF PLATS ON PAGES 13, 14,
AND 15, AS DOCUMENT NO. 1952891, DANE COUNTY REGISTRY, AND LOCATED IN THE
NW $\frac{1}{4}$ OF SECTION 27, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PARTS OF LOTS 8 AND 9, REGIONAL EAST, RECORDED IN VOLUME 56-6B OF PLATS ON PAGES 13, 14, AND 15, AS DOCUMENT NO. 1952891, DANE COUNTY REGISTRY, AND LOCATED IN THE NW $\frac{1}{4}$ OF SECTION 27, T8N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN.

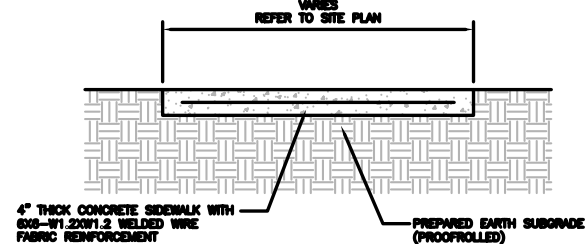


PANERA, LLC
3630 SOUTH CENTER ROAD, SUITE 100
ST. LOUIS, MO 63127
(314) 984-0000

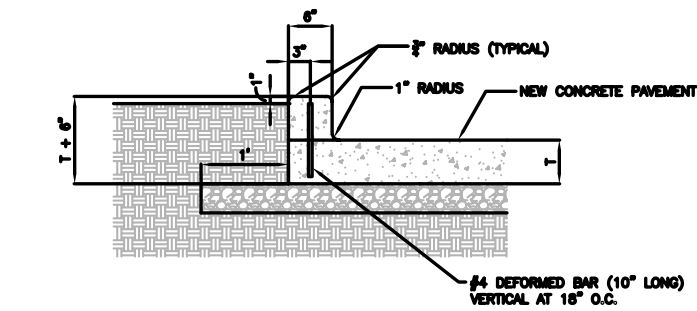




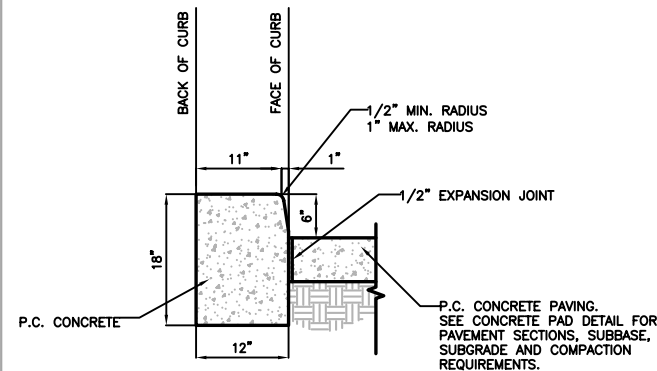
1 TURNED DOWN CONCRETE WALK DETAIL
SCALE: N.T.S. REF. DWG. C3.0



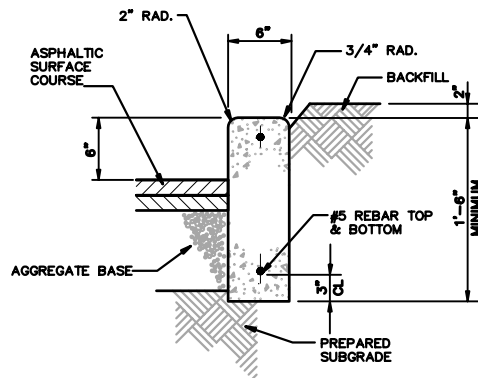
2 CONCRETE SIDEWALK DETAIL
SCALE: N.T.S. REF. DWG. C3.0



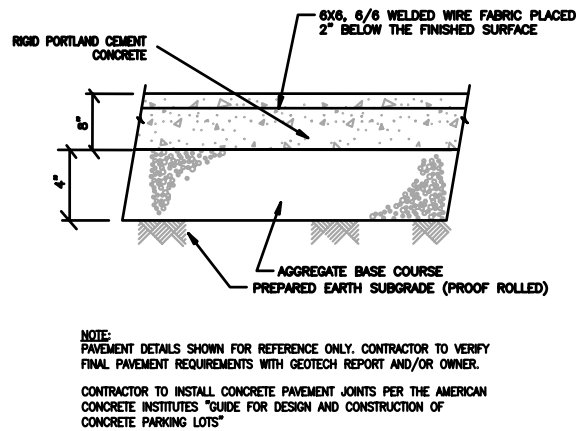
3 INTEGRAL CONCRETE CURB DETAIL
(STANDARD SECTION)
SCALE: N.T.S. REF. DWG. C3.0



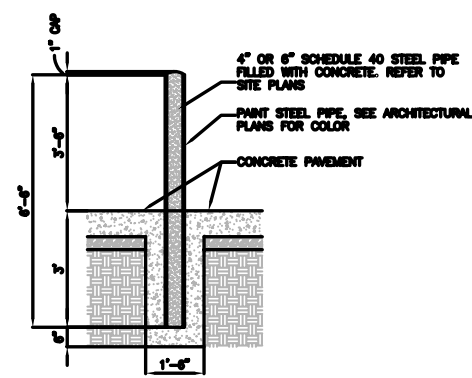
4 INTEGRAL CONCRETE CURB DETAIL
(WIDE SECTION)
SCALE: REF. DWG. C3.0



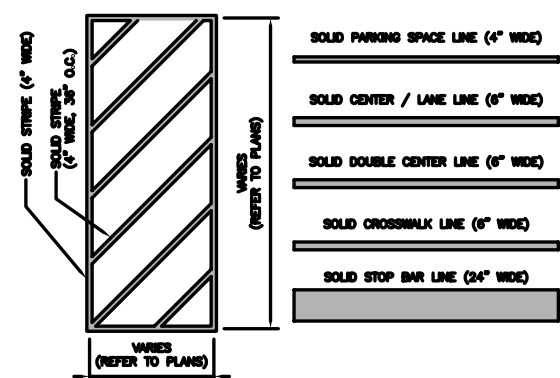
5 VERTICAL CONCRETE CURB DETAIL
SCALE: N.T.S. REF. DWG. C3.0



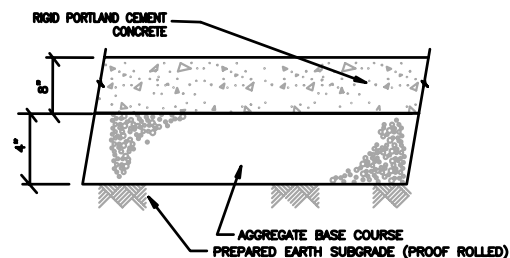
6 CONCRETE PAVEMENT (HEAVY DUTY)
SCALE: N.T.S. REF. DWG. C3.0



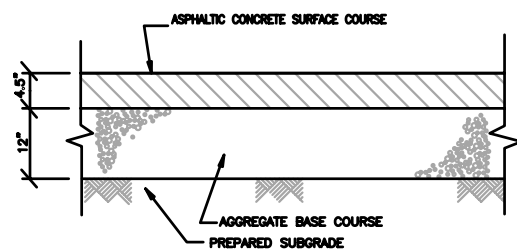
7 BOLLARD DETAIL
SCALE: N.T.S. REF. DWG. C3.0



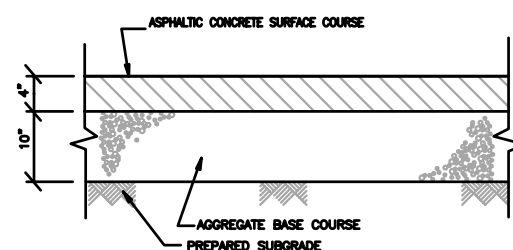
8 PAVEMENT STRIPING DETAIL
SCALE: N.T.S. REF. DWG. C3.0



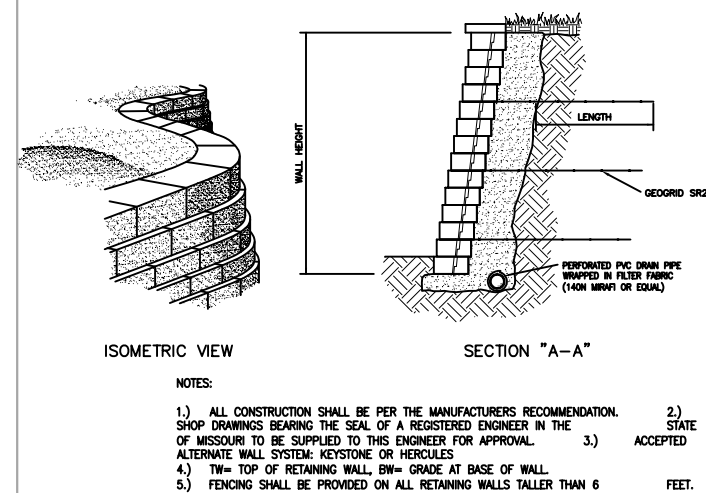
9 CONCRETE PAVEMENT (HEAVY DUTY)
WITH DETECTOR LOOP
SCALE: N.T.S. REF. DWG. C3.0



10 ASPHALT PAVEMENT (HEAVY DUTY)
SCALE: N.T.S. REF. DWG. C3.0



11 ASPHALT PAVEMENT (LIGHT DUTY)
SCALE: N.T.S. REF. DWG. C3.0



12 RETAINING WALL DETAIL
SCALE: N.T.S. REF. DWG. C3.0



DETAIL NOTES:
1. ARROWS SHALL BE PAINTED SOLID REFLECTIVE YELLOW OR PER
LOCAL CODES.

SCALE: N.T.S. REF. DWG. C3.0



SCALE: N.T.S. REF. DWG. C3.0



DETAIL NOTES:

1. RIGHT TURN ARROW TO BE THE REVERSE OF TURN LANE ARROW SHOWN ABOVE.
2. ARROWS SHALL BE PAINTED REFLECTIVE WHITE.
3. ARROWS SHALL BE APPLIED PER CHAPTER 3B OF THE MUTCD, LATEST EDITION.

SCALE: N.T.S. REF. DWG. C3.0



NOTE:
1.) SIMILAR SHAPE MAY BE USED UPON APPROVAL OF ENGINEER. 2.) HOLD IN PLACE WITH 18" LONG #4 REBARS PLACED IN THE HOLES AT EACH END AND DRIVEN FLUSH WITH THE TOP.

SCALE: REF. DWG. C3.0



- U-rack
- Zinc wedge anchors, 1/2" x 3 3/4"
- Zinc rawl spikes, 1/2" x 2 3/4"
- Rotor hammer drill (1/2" chuck capacity contractor grade suggested)
- 1/2" masonry drill bit
- Small sledgehammer
- 3/4" socket wrench or wrench driver

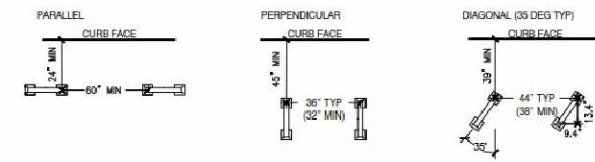
NOTE: These instructions apply to concrete surfaces. For asphalt surfaces, see BR-3, BIKE RACK DETAILS, ASPHALT SURFACES.

INSTALLATION INSTRUCTIONS

- Place rack in location marked with white dots; install nail locations for particular location.
- With color hammer drill outfitted with 5/8" drill bit, mark hardware location through all mounting holes.
- Move rack away. Drill hole at least 3/4" deep. If hole is too deep, drill hole in high spot.
- Found the wedge anchor fasteners in the outer corner holes. The fasteners should protrude 7/8" above the concrete.
- Place rack over the fasteners. Put the washers and nuts on them. Apply **Locktite 262 Mid Spec High Strength Red Threadlocker ("Locktite")** to the exposed threads. Cinch tight with appropriate 1/2" wrench.
- Found the Rawl Spikes in the remaining inner holes of the rack.
- Before the Locktite sets (no more than 10 minutes) tighten the wedge anchors one last time after pounding in the rawl spikes.
- Cut off any length of the wedge anchor protruding more than 1/2" above the nut. If the remaining edge is sharp, be off sharp edges, or apply a dollop of epoxy to the top of the nut.
- Adhere Teflon stickers to the top of the rack (unless otherwise specified).



TYPICAL CONFIGURATION PLANS (NOT TO SCALE)



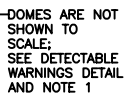
SCALE: N.T.S. REF. DWG. C3.0



NOTES:

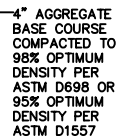
- 1.) ALL CONCRETE SHALL BE MIN. FC.=4,000 P.S.I. (UNLESS OTHERWISE NOTED)
- 2.) ANY UNSUITABLE SOIL (AS DETERMINED BY SOILS ENGINEER) BELOW STRUCTURE SHALL BE REMOVED AND REPLACED WITH SELECT EARTHEN MATERIAL COMPACTED IN PLACE WITH VIBRATORY TAMPER.
- 3.) ALL EXPOSED CONCRETE EDGES TO HAVE 3/4" CHAMFER.
- 4.) DIMENSIONS SHOWN ARE TO FACE OF CURB.

SCALE: REF. DWG. C3.0



OR AS REQUIRED
BY THE
LOCAL
JURISDICTION/
GOVERNING
AUTHORITIES

PLAN - STRAIGHT



DOMES ARE NOT SHOWN
TO SCALE;
SEE DETECTABLE
WARNINGS DETAIL
AND NOTE 1

SECTION A-A



PLAN

DETAIL NOTE:

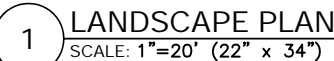
PREFABRICATED PANELS PER A.D.A.
ACCESSIBILITY GUIDELINES SECTION
4.29.2 & A4.29.2 SHALL BE USED.

DETECTABLE
WARNING DETAIL

DETAIL NOTES:

1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
2. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
3. CONSTRUCT PER A.D.A. STANDARDS.
4. REFER TO PLANS FOR ADJACENT SLOPES.
5. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1:50.

SCALE: N.T.S. REF. DWG. C3.0



USER: Lindsay Diemer TAB: L1.0
DATE: March 15, 2021 - 8:30:18 AM
DRAWING: S:\JOS\Jobs\2020\20-0003\CADD\C-Plan\PlanSheets\0_PLAN_LAND_20-0003.dwg

1. LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE BEGINNING WORK.
2. ALL LANDSCAPE SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z 60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
3. ALL PLANTS SHALL MEET THE REQUIREMENTS OF THE STATE AND FEDERAL LAW WITH RESPECT TO DISEASE AND INSECT INFESTATION.
4. MULCH AREAS WITH TRIPLE GROUND HARDWOOD MULCH 3" MIN. DEPTH.
5. ALL LANDSCAPE SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
6. FORMAL LINES AND GROUPINGS OF A SPECIES OF TREE, SHRUB, OR GROUNDCOVER SHALL BE MATCHED FOR SIZE, FORM, AND COLOR.
7. ALL BACKFILL IN PLANTING BEDS AND TREE PITS SHALL BE BACKFILLED WITH PLANTING SOIL.
8. ALL TREES OUTSIDE OF PLANT BEDS SHALL BE PLANTED WITH A MULCH RING. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
9. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLAN.
10. AT PLANTING, TREE TRUNKS MUST BE STRAIGHT WITH MINIMAL DOGLOGS.
11. WIRE BASKETS, BURLAP WRAPPINGS, ROPE, TWINE OR ANY SIMILAR SHIPPING MATERIALS SHALL BE REMOVED BEFORE PLANTING.
12. A SPADE CUT EDGE SHALL BE CREATED AT ALL LOCATIONS WHERE PLANTING BEDS ARE ADJACENT TO GRASS AREAS UNLESS OTHERWISE NOTED.
13. SEE CIVIL PLANS FOR TYPE AND LOCATION OF EROSION CONTROL MATERIALS.
14. DO NOT DISTURB EXISTING UTILITIES WITHIN WORK AREA. SILT FENCE AND PLANTINGS SHALL AVOID ANY EXISTING UTILITIES.
15. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
16. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. WRITTEN QUANTITIES TAKES PRECEDENCE OVER GRAPHIC QUANTITIES. NOTIFY OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT OF DISCREPANCIES.
17. THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ON SITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
18. THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
19. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
20. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE WITH THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
21. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED.
22. ALL LANDSCAPED AREAS ARE TO HAVE SOIL PREPARATION, (MINIMUM RATE OF 3 CU. YDS. OF ORGANIC MATTER PER 1000 S.F.). TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
23. ALL TREES ARE TO BE STAKED AND GUYED FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
24. PLACE PLANT MATERIAL IN SHRUB BED SO THAT ONCE PLANTS GROW TO FULL SIZE THEY ARE FULLY CONTAINED WITHIN THE SHRUB BED AREA AND DO NOT HANG OVER THE EDGER LINE.
25. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
26. LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH INDIVIDUAL ZONES FOR TURF AND NON-TURF AREAS, AND MUST INCLUDE A MOISTURE DETECTION DEVICE TO PREVENT OPERATION DURING RAINY PERIODS. TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC TURF IRRIGATION SYSTEM. SHRUB AND PERENNIAL BEDS SHALL HAVE Drip IRRIGATION.
27. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
28. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%, MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
29. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY A SPADE CUT EDGE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOILD FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
30. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SHREDDED HARDWOOD BARK MULCH.
31. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATURAL AREAS BY THE FULL WIDTH OF THE SEEDER.
32. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOIL TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
33. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS. THESE PLANS ARE NOT INTENDED FOR CONSTRUCTION OR PERMITTING UNLESS STATED IN THE TITLE BLOCK.
34. DRAWINGS ARE INTENDED TO BE PRINTED ON 22" x 34" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCE ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
35. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
36. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
37. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
38. A METAL EDGE SHALL BE CREATED AT ALL LOCATIONS WHERE DECORATIVE GRAVEL IS ADJACENT TO PLANT BEDS.
39. GENERAL CONTRACTOR SHALL INSTALL DECORATIVE GRAVEL. DECORATIVE GRAVEL SHALL COME FROM GREENSTONECOMPANY.COM AND BE STONY CREEK RIVER ROCK 5/8"-1" IN SIZE.

DEVELOPER/OWNER:
PANERA, LLC
3630 SOUTH Geyer Road, Suite 100
St. Louis, MO 63127
(314) 984-1000

PANERA BAKERY CAFE #1551

DRIVE

LANDSCAPE PLAN

cole[®]

+ ST. LOUIS
401 S. 18th Street
St. Louis, MO 63103
314.698.9897
www.colestl.com

CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE

DESIGN/CALC BY

DRAWN BY JCH

CHECKED BY

JDR
DRAWING SCALE

AS SHOWN

03/12/2021

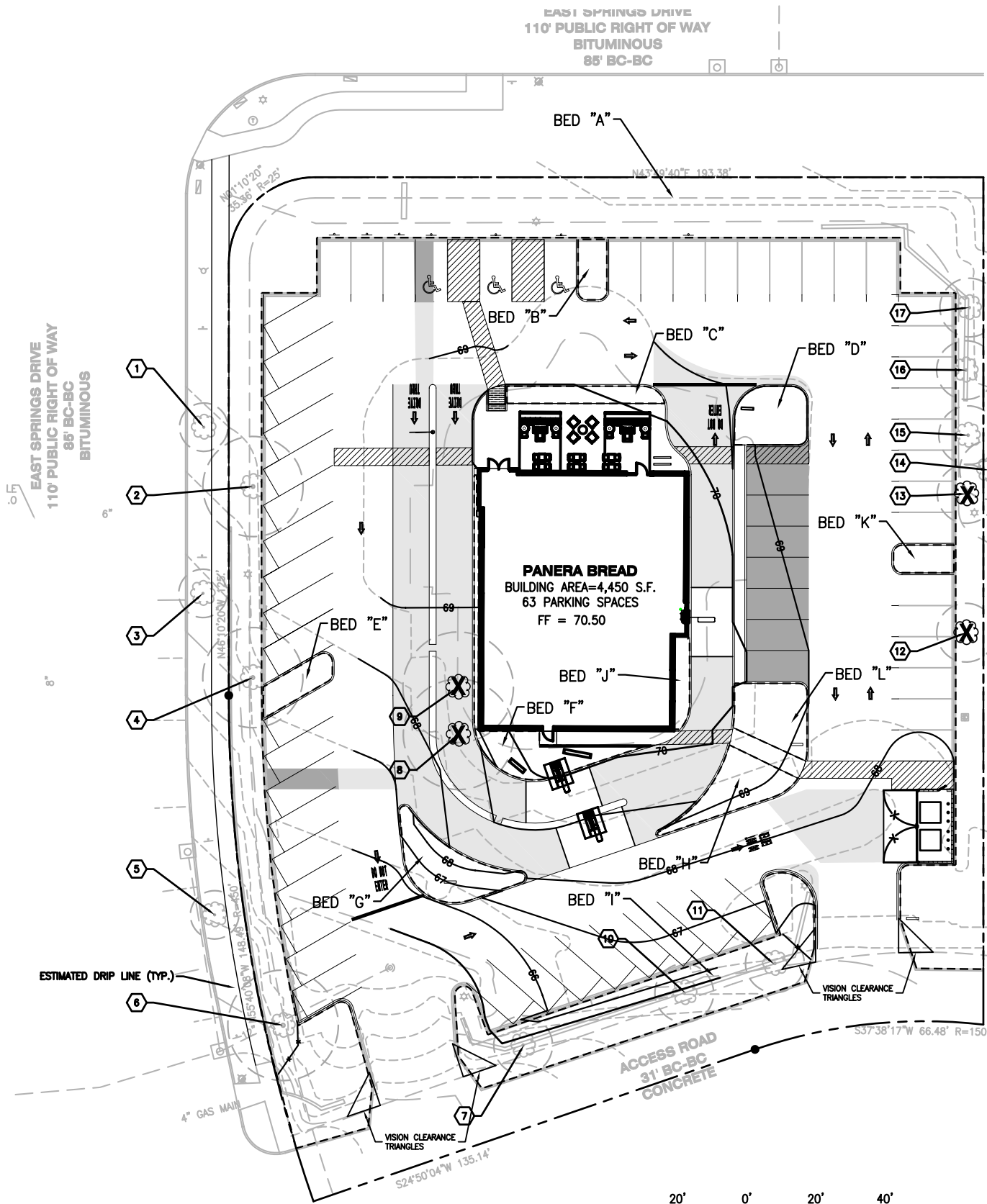
Job Number
20,000

Sheet Number

1110

2.0

USER: Lindsay Delamater TAB: L-1.1
DATE: March 15, 2021 - 8:31:35 AM
DRAWING: S:\WORKS\Jobs\2020\20-0003\LAND\20-0003.dwg



EXISTING MANHOLE
INV. EL. 48.58

LANDSCAPE BED AREAS

SCALE: 1"=20' (22" x 34")

REF. DWG.

20' 0' 20' 40'
SCALE: 1" = 20' (22" x 34")
1" = 40' (11" x 17")

EXISTING TREE SUMMARY

NUMBER	SCIENTIFIC	COMMON	SIZE (caliper inch)	ON-SITE	TO REMAIN/ REMOVE	CONDITION	CALIPER INCHES REQUIRED TO BE REPLACED
1	Acer platanoides 'Superform'	Norway maple	6	NO	REMAIN	GOOD	0
2	Tilia americana	American linden	12	YES	REMAIN	GOOD	0
3	Acer platanoides 'Superform'	Norway maple	6	NO	REMAIN	GOOD	0
4	Tilia americana	American linden	12	YES	REMAIN	GOOD	0
5	Acer platanoides 'Superform'	Norway maple	6	NO	REMAIN	GOOD	0
6	Tilia americana	American linden	12	YES	REMAIN	GOOD	0
7	Malus	Crabapple	6	YES	REMAIN	GOOD	0
8	Betula	Birch	8	YES	REMOVE	GOOD	8
9	Betula	Birch	8	YES	REMOVE	GOOD	8
10	Malus	Crabapple	6	YES	REMAIN	GOOD	0
11	Malus	Crabapple	6	YES	REMAIN	GOOD	0
12	Fraxinus americana	Ash	10	YES	REMOVE	POOR-DEAD	0
13	Fraxinus americana	Ash	10	YES	REMOVE	POOR-DYING	0
14	Fraxinus americana	Ash	10	NO	REMAIN	POOR-DYING	0
15	Malus	Crabapple	8	YES	REMAIN	GOOD	0
16	Malus	Crabapple	8	YES	REMAIN	GOOD	0
17	Malus	Crabapple	10	YES	REMAIN	GOOD	0
TOTAL CALIPER INCHES TO BE REMOVED							16.0

LANDSCAPE BED CALCULATIONS

BED	AREA / MEASUREMENT (S.F.)	REQ'D COVERAGE 75%	PROVD COVERAGE	VEGETATION TYPE
A	9416.5	7082.4	9416.5 - 100%	EXISTING TURF
B	143	107.3	143 - 100%	TURF
C	220.3	165.2	220.3 - 100%	SHRUBS & VEG. GROUND COVER
D	332	249	332 - 100%	SHRUBS & VEG. GROUND COVER
E	180	135	180 - 100%	TURF
F	448.7	336.5	448.7 - 100%	SHRUBS & VEG. GROUND COVER
G	440.6	330.5	440.6 - 100%	SHRUBS & VEG. GROUND COVER
H	352	264	352 - 100%	SHRUBS & TURF
I	183.5	137.6	183.5 - 100%	EXISTING & PROPOSED TURF & SHRUBS
J	110.7	83	110.7 - 100%	SHRUBS
K	137.8	103.4	137.8 - 100%	TURF
L	374	280.5	374 - 100%	SHRUBS & TURF

PLANT POINTS & CREDITS

PLANT TYPE / ELEMENT	MINIMUM SIZE AT INSTALLATION	POINTS	CREDIT / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2 1/2" inch caliper measured diameter at breast height (dbh)	35	3	105	6	210
TALL EVERGREEN TREE	5-6 feet tall	35	0	0	0	0
ORNAMENTAL TREE	1 1/2" inch caliper	15	6	90	0	0
UPRIGHT EVERGREEN SHRUB	3-4 feet tall	10	0	0	6	60
SHRUB, DECIDUOUS	#3 gallon container size, Min. 12"-24"	3	0	0	30	90
SHRUB, EVERGREEN	#3 gallon container size, Min. 12"-24"	4	0	0	16	64
ORNAMENTAL GRASSES / PERENNIALS	#1 gallon container size, Min. 8"-18"	2	0	0	253	506
ORNAMENTAL / DECORATIVE FENCING OR WALL	n/a	4 per 10 lineal ft.	0	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE	Minimum size: 2 1/2" inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total require dpoints.	14 per caliper inch dbh. Maximum points per tree: 200	0	0	0	0
LANDSCAPING FURNITURE FOR PUBLIC SEATING AND/OR TRANSIT CONNECTIONS	* Furniture must be within developed area, publicly accessible, and cannot compromise more than 5% of total required points.	5 points per "seat"	0	0	0	0
SUB TOTALS			195			930
TOTAL NUMBER OF POINTS PROVIDED						1125
TOTAL NUMBER OF POINTS REQUIRED						955

LEGEND

	TREE PROTECTION FENCE		EXISTING TREE TO REMAIN (TYP.)
	TREE IDENTIFICATION NUMBER		EXISTING TREE TO BE REMOVED (TYP.)
	EXISTING TREE DRIP LINE (TYP.)		PLANT BED BOUNDARY (TYP.)

DEVELOPER/OWNER:
PANERA, LLC
3630 SOUTH CENTER ROAD, SUITE 100
ST. LOUIS, MO 63127
(314) 984-1000

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON
ASSUMES RESPONSIBILITY ONLY FOR THAT WHICH APPEARS ON THIS PAGE, AND DISCLAIMS
ANY RESPONSIBILITY FOR ANY OTHER INFORMATION OR DATA THAT MAY BE
SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT
SEALLED BY THE UNDERSIGNED PROFESSIONAL RELATING TO, OR INTENDED TO BE USED
FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.

DATE: 03/12/2021

DESIGN/CALC BY:
JCH

DRAWN BY:
JCH

CHECKED BY:
JDR

DRAWING SCALE:
AS SHOWN

DATE:
03/12/2021

Job Number:
20-0003

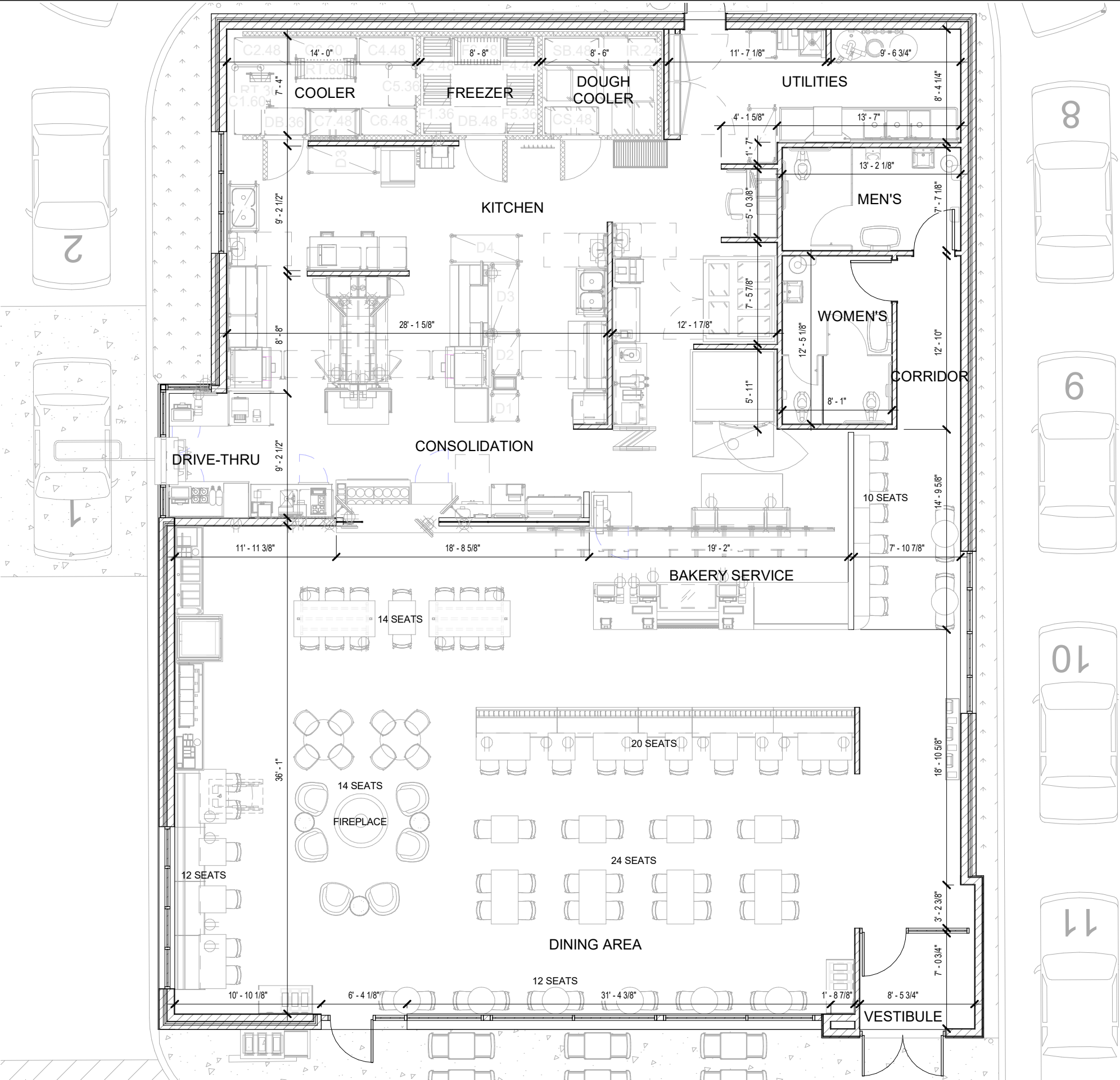
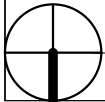
Sheet Number:
L-1.1

PANERA BAKERY CAFE #551

2649 EAST SPRINGS DRIVE
MAISON, WI 53704

LANDSCAPE AREA CALC

ST. LOUIS
4911 S. 18th Street
St. Louis, MO 63103
314.664.6897
COLE
CITY ENGINEERS / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE



SQUARE FOOTAGE BREAKDOWN

TOTAL SQUARE FEET: 4,450 GROSS SQ. FT.
FRONT OF HOUSE: 2,652 SQ FT.
BACK OF HOUSE: 1,798 SQ. FT.

SEATING BREAKDOWN:

INTERIOR SEAT COUNT: 106
INTERIOR TABLE COUNT: 36

2 TOPS: 22 61%
3+ TOPS: 14 39%

EXTERIOR SEAT COUNT: 28
EXTERIOR TABLE COUNT: 13

Bakery-Cafe:

#1551

ENTITLEMENT DOCUMENTS
Bakery Cafe #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ENTITLEMENT DOCUMENTS	03.15.21

FLOOR PLAN

Project Number: Sheet Number:

NICH20.0008

Drawn By:

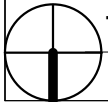
JT

Issue Date:

03.15.21

DPM:	DM:	CPM:
TP	CH	CT

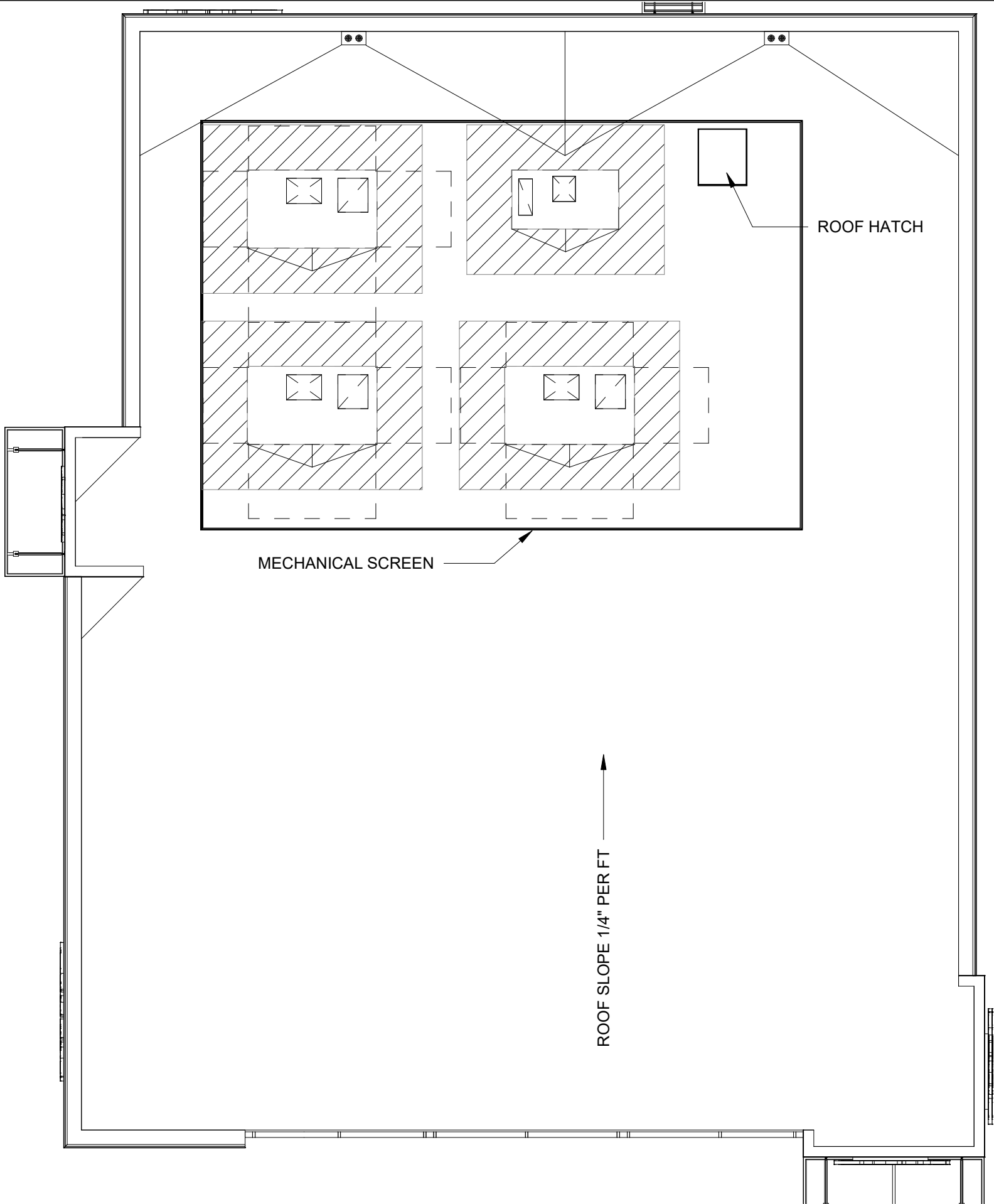
0101



1

ROOF PLAN

1/8" = 1'-0"



Bakery-Cafe:

#1551

ENTITLEMENT DOCUMENTS

Bakery Cafe #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ENTITLEMENT DOCUMENTS	03.15.21

ROOF PLAN

Project Number: Sheet Number:

NICH20.0008

Drawn By:

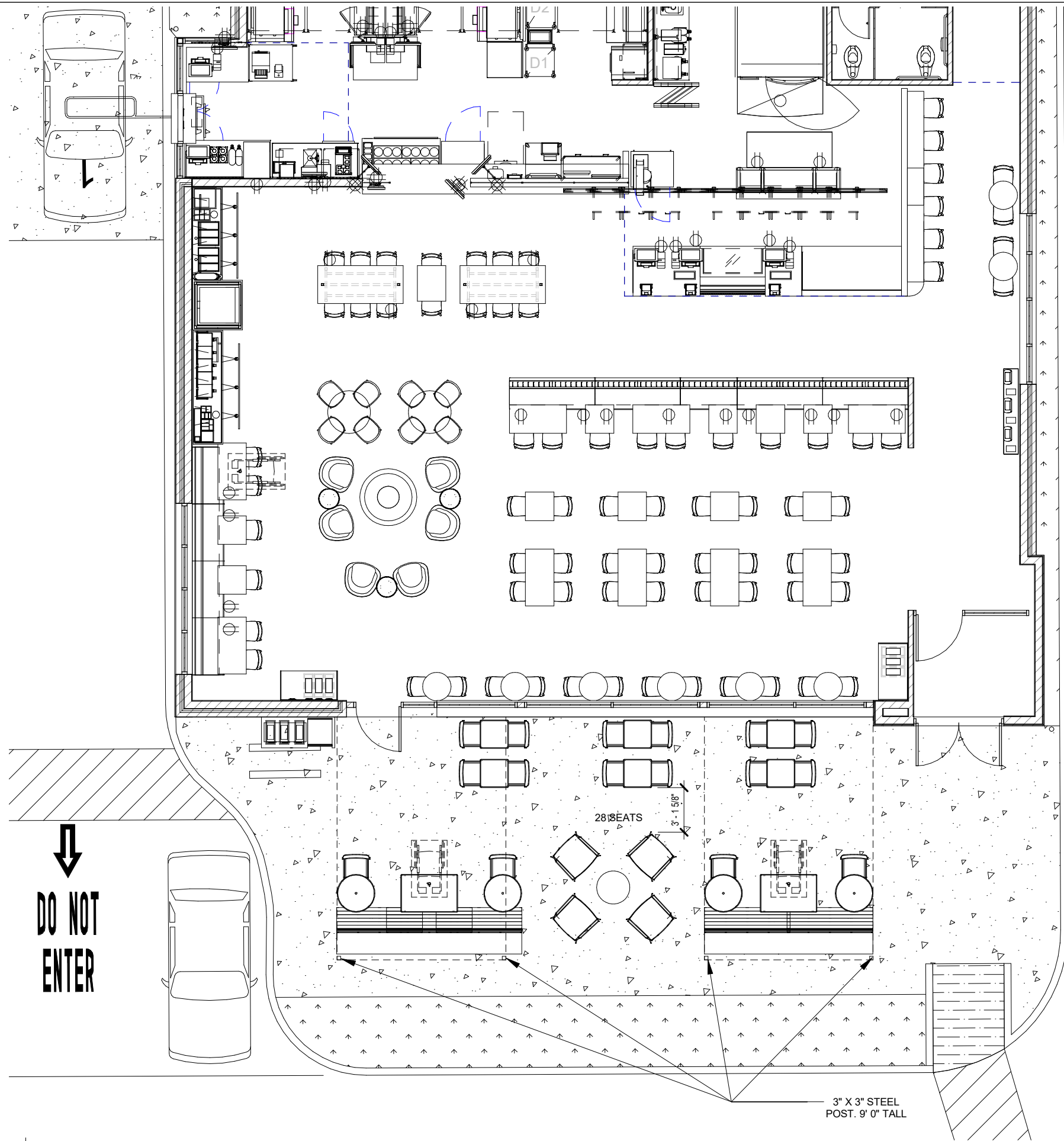
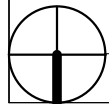
JT

Issue Date:

03.15.21

DPM:	DM:	CPM:
TP	CH	CT

0102



1 | PATIO PLAN
1/8" = 1'-0"

Bakery-Cafe:

#1551

ENTITLEMENT DOCUMENTS
Bakery Cafe #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ENTITLEMENT DOCUMENTS	03.15.21

PATIO PLAN

Project Number: Sheet Number:

NICH20.0008

Drawn By:

JT

Issue Date:

03.15.21

DPM:

DM:

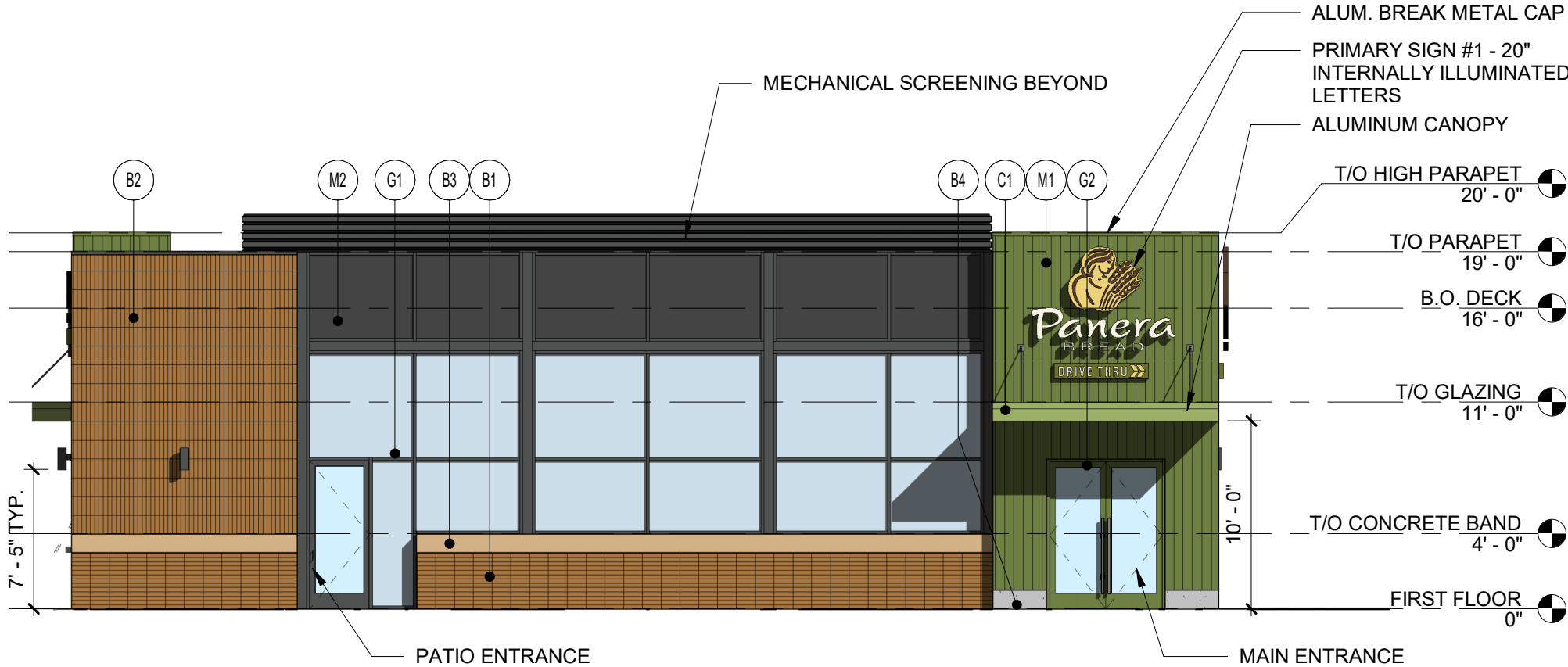
CPM:

TP

CH

CT

0103

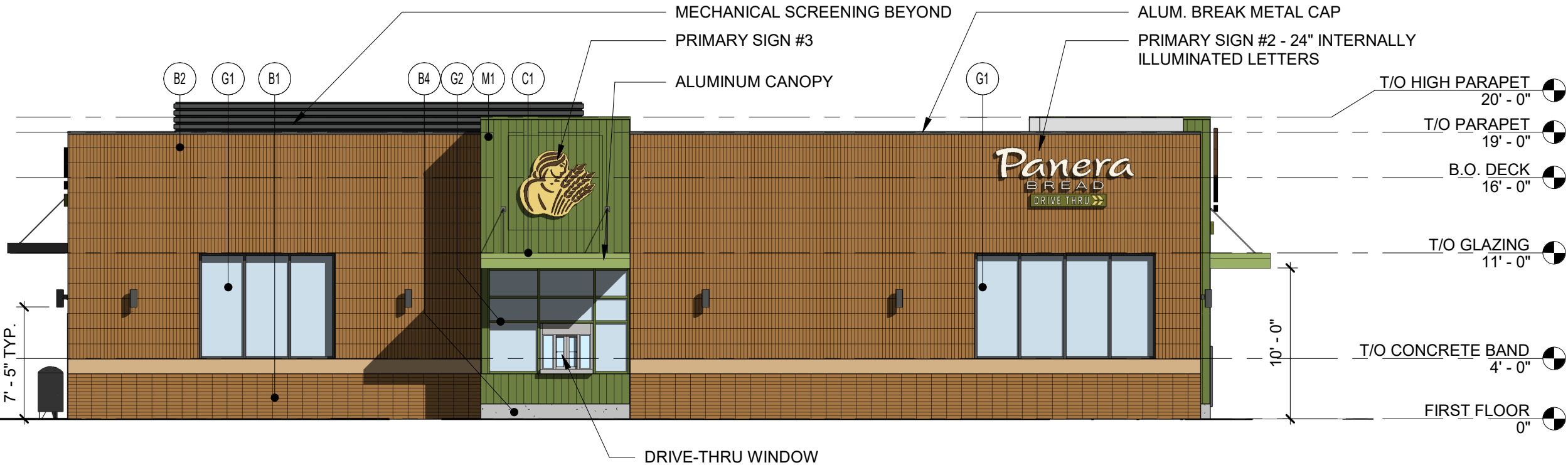


1 NORTH ELEVATION

1/8" = 1'-0"

EXTERIOR MATERIALS:

- (B1) MCNEAR BRICK & BLOCK; FACE BRICK, 3 5/8"X 3 5/8" X 11 5/8", HORIZONTAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B2) MCNEAR BRICK & BLOCK; FACE BRICK, 3 5/8"X 3 5/8" X 11 5/8", VERTICAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B3) PRECAST CONCRETE BAND; PAINTED, BENJAMIN MOORE EMERALD EXTERIOR ACRYLIC LATEX PAINT
COLOR: HOT SPRING STONES #AC-31; FINISH: EGGSHELL
- (B4) 12" PRECAST CONCRETE CURB
- (C1) PRE-FINISHED ALUMINUM CANOPY
POWDER COAT, COLOR: GREEN, TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C
- (C2) PRE-FINISHED ALUMINUM CANOPY
POWDER COAT, COLOR: CHARCOAL, TIGER DRYLAC, TO MATCH RAL 7043, FINISH: MATTE
- (M1) RIBBED WALL PANEL SYSTEM; POWDER COAT, COLOR: TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C
- (M2) PERFORATED METAL PANELS; MCNICHOLS, PERFORATED METAL; ROUND, CARBON STEEL, COLD ROLD, 16 GAUGE, 1/2" ROUND ON 11/16" STAGGERED CENTERS, 48% OPEN AREA; FINISH: CARBON STEEL
- (G1) ALUMINUM STOREFRONT
2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: CHARCOAL, TIGER DRYLAC, TO MATCH RAL 7043, FINISH: MATTE, GLAZING: 1" INSULATED CLEAR GLASS
- (G2) ALUMINUM STOREFRONT
2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: GREEN, TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C, GLAZING: 1" INSULATED CLEAR GLASS



2 EAST ELEVATION

1/8" = 1'-0"

ALL EXTERIOR SIGNAGE SHOWN FOR
REFERENCE ONLY TO BE APPROVED
AND PERMITTED SEPARATELY

Bakery-Cafe:

#1551

ENTITLEMENT DOCUMENTS
Bakery Cafe #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ENTITLEMENT DOCUMENTS	03.15.21

ELEVATIONS

Project Number: Sheet Number:

NICH20.0008

Drawn By:

JT

Issue Date:

03.15.21

DPM:

TP

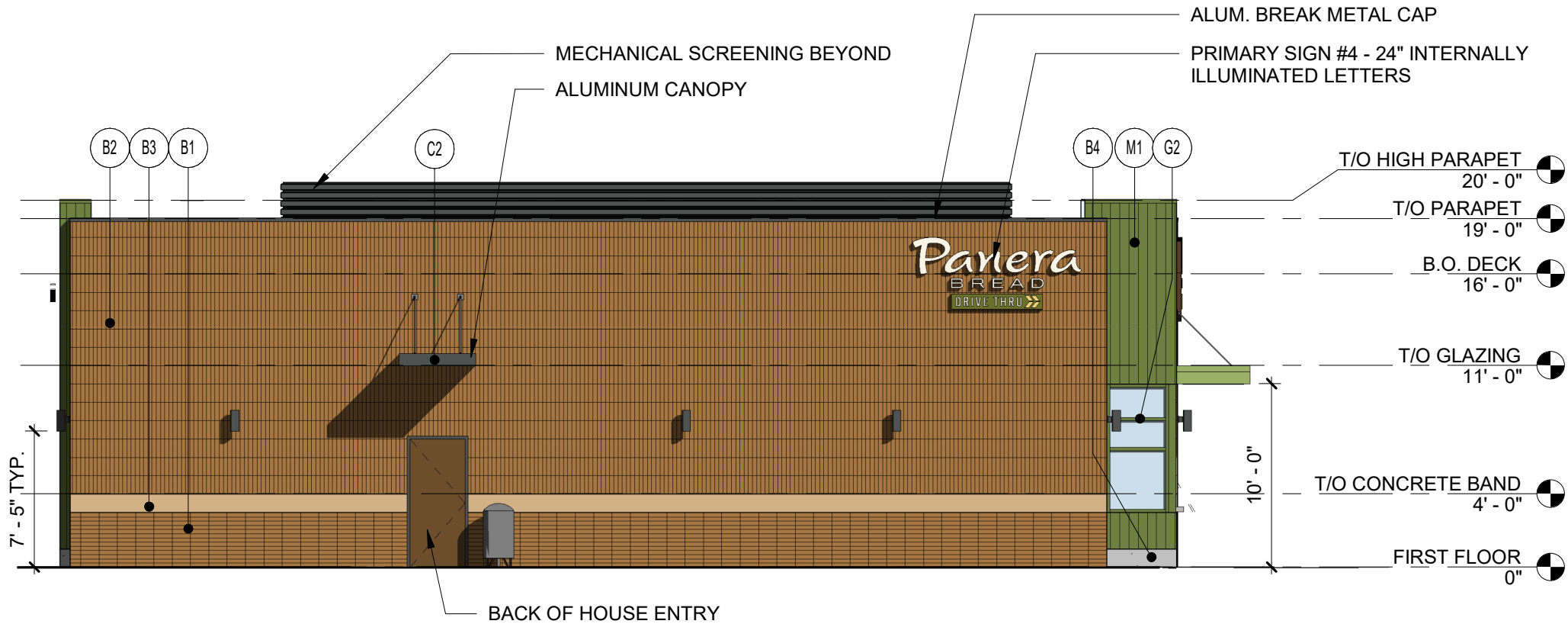
DM:

CH

CPM:

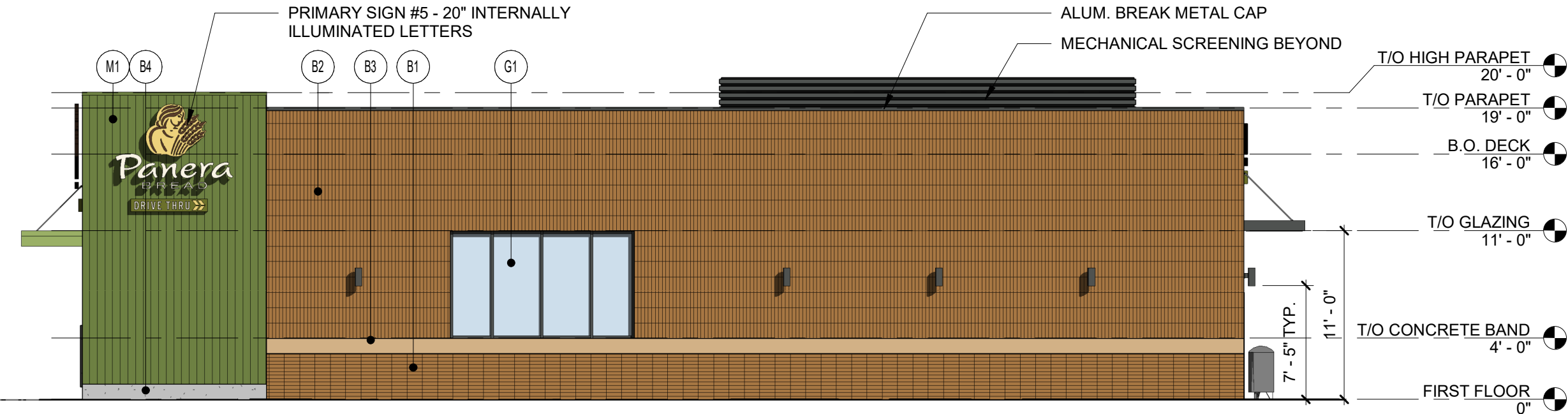
CT

0104



1 | SOUTH ELEVATION

1/8" = 1'-0"



2 | WEST ELEVATION

1/8" = 1'-0"

EXTERIOR MATERIALS:

- (B1) MCNEAR BRICK & BLOCK; FACE BRICK, 3 5/8"X 3 5/8" X 11 5/8", HORIZONTAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B2) MCNEAR BRICK & BLOCK; FACE BRICK, 3 5/8"X 3 5/8" X 11 5/8", VERTICAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B3) PRECAST CONCRETE BAND; PAINTED, BENJAMIN MOORE EMERALD EXTERIOR ACRYLIC LATEX PAINT
COLOR: HOT SPRING STONES #AC-31; FINISH: EGGSHELL
- (B4) 12" PRECAST CONCRETE CURB
- (C1) PRE-FINISHED ALUMINUM CANOPY
POWDER COAT, COLOR: GREEN, TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C
- (C2) PRE-FINISHED ALUMINUM CANOPY
POWDER COAT, COLOR: CHARCOAL, TIGER DRYLAC, TO MATCH RAL 7043, FINISH: MATTE
- (M1) RIBBED WALL PANEL SYSTEM; POWDER COAT, COLOR: TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C
- (M2) PERFORATED METAL PANELS; MCNICHOLS, PERFORATED METAL; ROUND, CARBON STEEL, COLD ROLD, 16 GUAGE, 1/2" ROUND ON 11/16" STAGGERED CENTERS, 48% OPEN AREA; FINISH: CARBON STEEL
- (G1) ALUMINUM STOREFRONT
2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: CHARCOAL, TIGER DRYLAC, TO MATCH RAL 7043, FINISH: MATTE, GLAZING: 1" INSULATED CLEAR GLASS
- (G2) ALUMINUM STOREFRONT
2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: GREEN, TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C, GLAZING: 1" INSULATED CLEAR GLASS

Bakery-Cafe:

#1551

ENTITLEMENT DOCUMENTS
Bakery Cafe #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ENTITLEMENT DOCUMENTS	03.15.21

ELEVATIONS

Project Number: Sheet Number:

NICH20.0008

Drawn By:

JT

Issue Date:

03.15.21

DPM: DM: CPM:
TP CH CT

0105

ALL EXTERIOR SIGNAGE SHOWN FOR
REFERENCE ONLY TO BE APPROVED
AND PERMITTED SEPARATELY



1 VIEW FROM NORTHWEST

ALL EXTERIOR SIGNAGE SHOWN FOR
REFERENCE ONLY TO BE APPROVED
AND PERMITTED SEPARATELY

MATERIAL SAMPLE BOARD:



FACE BRICK
MCNEAR BRICK & BLOCK
UTILITY SIZE, HORIZONTAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND



EXTERIOR ACRYLIC LATEX PAINT
BENJAMIN MOORE, EMERALD
COLOR: HOT SPRING STONES #AC-31
FINISH: EGGSHELL



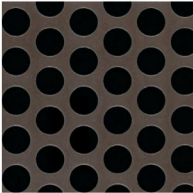
EXTERIOR GRADE POWDERCOAT
TIGER DRYLAC
COLOR: TO MATCH RAL 7043
FINISH: MATTE



FACE BRICK
MCNEAR BRICK & BLOCK
UTILITY SIZE, VERTICAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND



EXTERIOR GRADE POWDERCOAT
TIGER DRYLAC
COLOR: CUSTOME COLOR TO MATCH
PMS 2307C



PERFORATED METAL
MCNICHOLS, PERFORATED METAK
ROUND, CARBON STEEL, COLD ROLD, 16 GUAGE,
1/2" ROUND ON 11/16" STAGGERED CENTERS,
48% OPEN AREA

EXTERIOR MATERIALS:

- (B1) MCNEAR BRICK & BLOCK; FACE BRICK, 3 5/8"X 3 5/8" X 11 5/8", HORIZONTAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B2) MCNEAR BRICK & BLOCK; FACE BRICK, 3 5/8"X 3 5/8" X 11 5/8", VERTICAL STACK BOND
COLOR: SANTIAGO CREATIVE MATERIALS BLEND
- (B3) PRECAST CONCRETE BAND; PAINTED, BENJAMIN MOORE EMERALD EXTERIOR ACRYLIC LATEX PAINT
COLOR: HOT SPRING STONES #AC-31; FINISH: EGGSHELL
- (B4) 12" PRECAST CONCRETE CURB
- (C1) PRE-FINISHED ALUMINUM CANOPY
POWDER COAT, COLOR: GREEN, TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C
- (C2) PRE-FINISHED ALUMINUM CANOPY
POWDER COAT, COLOR: CHARCOAL, TIGER DRYLAC, TO MATCH RAL 7043, FINISH: MATTE
- (M1) RIBBED WALL PANEL SYSTEM; POWDER COAT, COLOR: TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C
- (M2) PERFORATED METAL PANELS; MCNICHOLS, PERFORATED METAL; ROUND, CARBON STEEL, COLD ROLD, 16 GUAGE, 1/2" ROUND ON 11/16" STAGGERED CENTERS, 48% OPEN AREA; FINISH: CARBON STEEL
- (G1) ALUMINUM STOREFRONT
2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: CHARCOAL, TIGER DRYLAC, TO MATCH RAL 7043, FINISH: MATTE, GLAZING: 1" INSULATED CLEAR GLASS
- (G2) ALUMINUM STOREFRONT
2" X 4-1/2" PROFILE (OR APPROVED EQUAL)
COLOR: GREEN, TIGER DRYLAC, CUSTOM COLOR TO MATCH PMS 2307C, GLAZING: 1" INSULATED CLEAR GLASS

MATERIAL PERCENTAGES:

NORTH ELEVATION: 1,172 SF

B1: 128 SF, 11%
B2: 181 SF, 15%
B3: 43 SF, 4%
B4: 6 SF, 0.5%
C1: 12 SF, 1%
C2: 0 SF, 0%
M1: 172 SF, 15%
M2: 188 SF, 16%
G1: 396 SF, 34%
G2: 50 SF, 4%

EAST ELEVATION: 1,437 SF

B1: 196 SF, 14%
B2: 832 SF, 58%
B3: 65 SF, 4%
B4: 10 SF, 0.5%
C1: 10 SF, 0.5%
C2: 0 SF, 0%
M1: 105 , 8%
M2: 0 SF, 0%
G1: 69 SF, 5%
G2: 150 SF, 10%

SOUTH ELEVATION: 1,130 SF

B1: 160 SF, 14%
B2: 836 SF, 74%
B3: 53 SF, 5%
B4: 4 SF, 0.5%
C1: 0 SF, 0%
C2: 3 SF, 0.5%
M1: 47 SF, 4%
M2: 0 SF, 0%
G1: 0 SF, 0%
G2: 27 SF, 2%

WEST ELEVATION: 1,451 SF

B1: 191 SF, 13%
B2: 864 SF, 60%
B3: 64 SF, 4%
B4: 12 SF, 1%
C1: 0 SF, 0%
C2: 0 SF, 0%
M1: 228 SF, 16%
M2: 0 SF, 0%
G1: 92 SF, 6%
G2: 0 SF, 0%

Bakery-Cafe:

#1551

ENTITLEMENT DOCUMENTS
Bakery Cafe #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ENTITLEMENT DOCUMENTS	03.15.21

EXT. 3D

Project Number: Sheet Number:

NICH20.0008

Drawn By:

JT

Issue Date:

03.15.21

DPM:

DM:

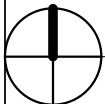
CPM:

TP

CH

CT

0106

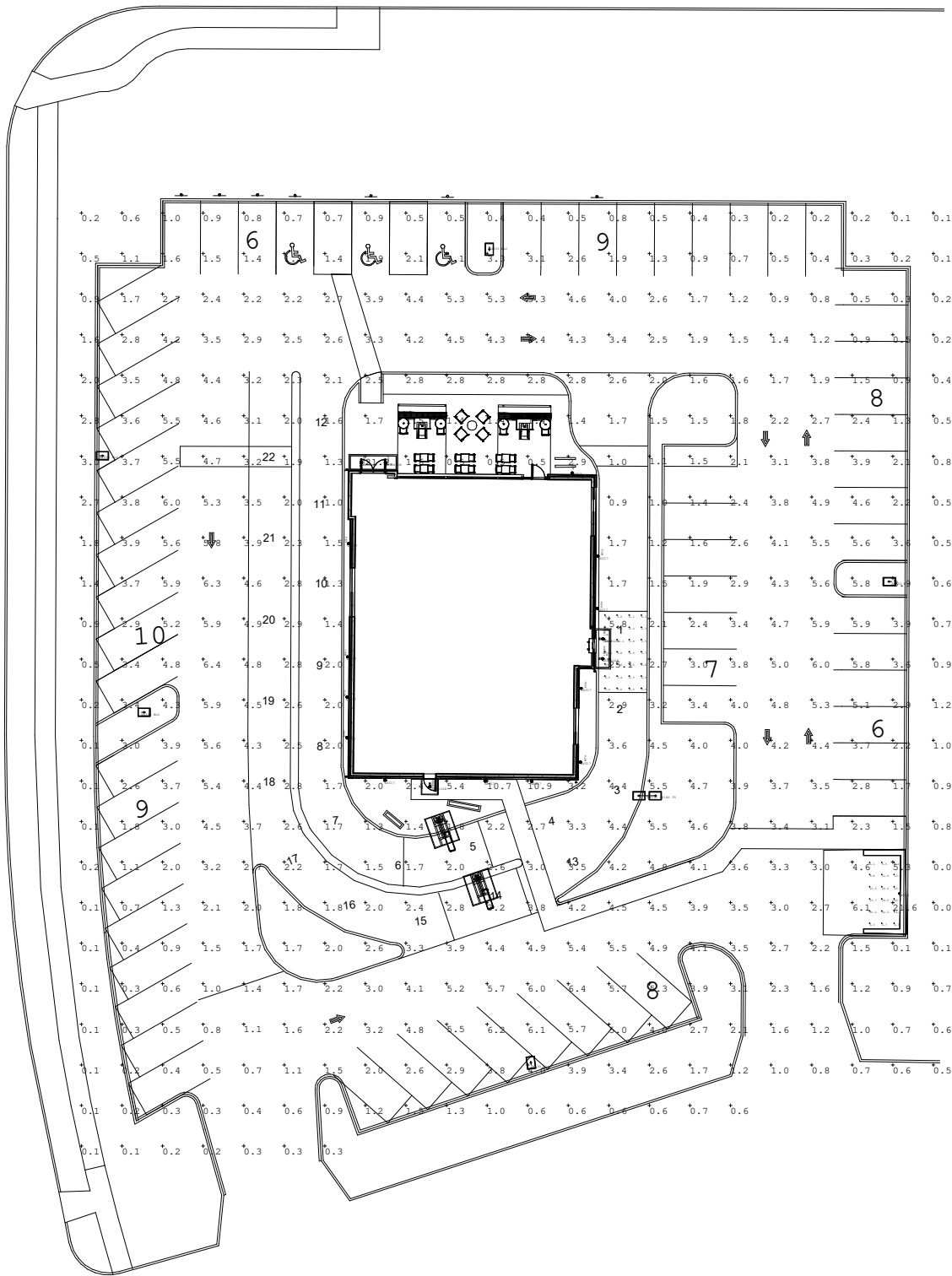


1 SITE LIGHTING PLAN

1" = 40'-0"

Standard Electric Luminaire Schedule							
Symbol	Qty	Label	(MANUFAC)	Description	Arrangement	Total Lamp Lumens	LLF
	12	EXT17	PROGRESS	P5675-1130K	SINGLE	N.A.	0.950
	1	EXT18	RAB LIGHTING INC. RC LIGHTING	SLIM26Y,SLIM26Y D10	SINGLE	N.A.	0.950
	5	EXT30 2@180 T5	Lithonia Lighting	DSX1 LED P7 40K T5W MVOLT	2 @ 180 DEG (BACK-	N.A.	1.000
	5	EXT30 BLC	Lithonia Lighting	DSX1 LED P7 40K BLC MVOLT	SINGLE	N.A.	1.000
	5	LEDRD12B	LiteLine	SLMPRO6-27-WH	SINGLE	951	1.000

Calculation Summary				
Label	CalcType	Units	Avg	Max
Drive Thru	Illuminance	Fc	7.29	33.0
Entire Site	Illuminance	Fc	2.65	25.1
Trash Enclosure	Illuminance	Fc	12.32	24.7



Bakery-Cafe:

#1551

ENTITLEMENT DOCUMENTS
Bakery Cafe #1551
2649 EAST SPRINGS DRIVE
MADISON, WI 53704



THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT. THIS DRAWING HAS BEEN PREPARED SOLELY FOR THE USE OF PANERA BREAD AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY NORR INC. TO ANY PARTY WITH WHOM NORR INC. HAS NOT ENTERED INTO A CONTRACT.

No.	Description	Date
	ENTITLEMENT DOCUMENTS	03.15.21

SITE LIGHTING

Project Number: Sheet Number:

NICH20.0008

Drawn By:

Author

Issue Date:

03.15.21

DPM:

DM:

CPM:

TP

CH

CT

LT01

CITY OF MADISON FIRE DEPARTMENT

Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 ♦ Phone: 608-266-4484 ♦ FAX: 608-267-1153

Project Address: 2649 East Springs Drive

Contact Name & Phone #: Cole & Associates-Chris Wilson (314)984-9887

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

[illegible]

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.20** and **IFC 2006 Edition Chapter 5 and Appendix D**; please see the codes for further information.