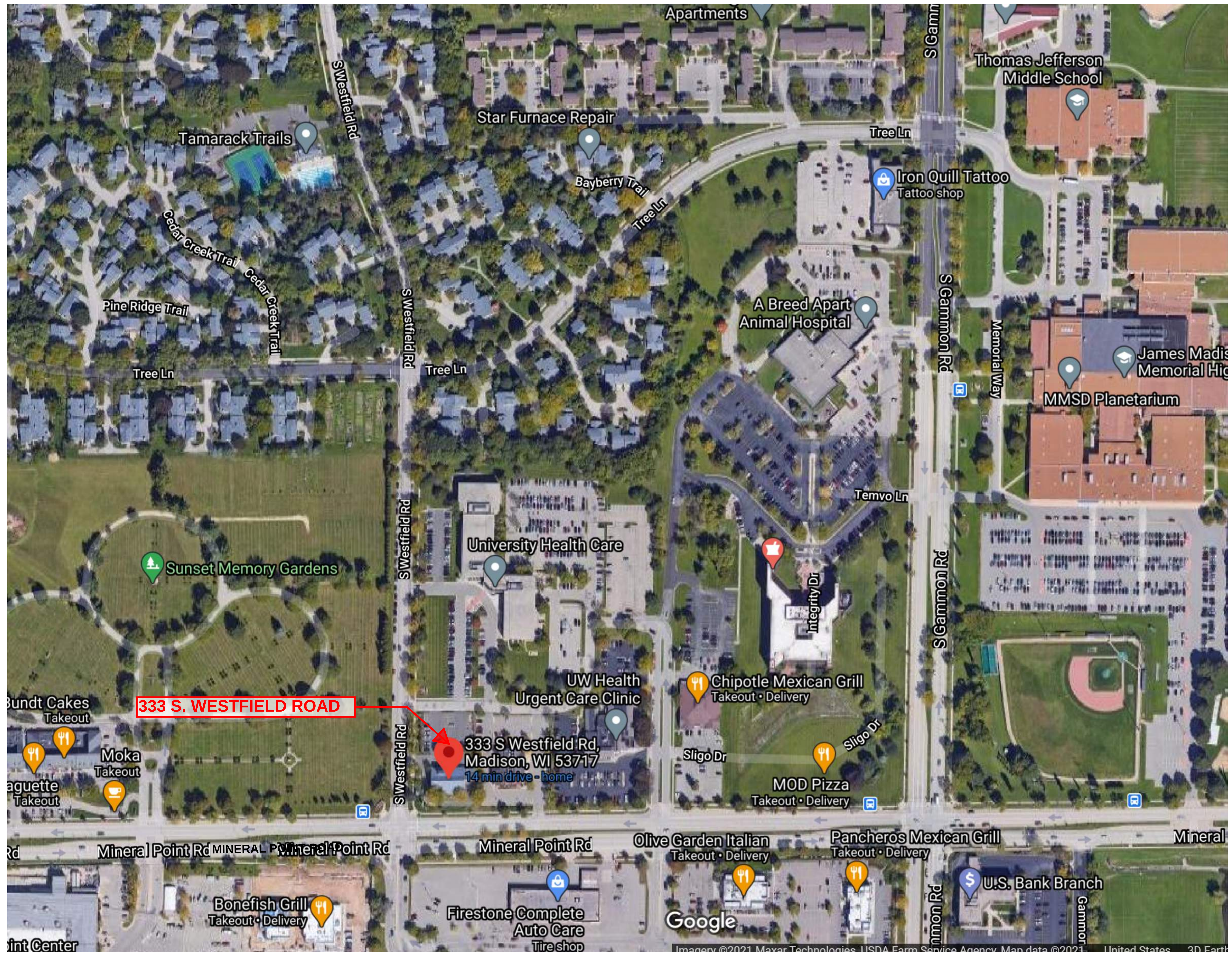




OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT

MADISON WISCONSIN 53717

Project Status

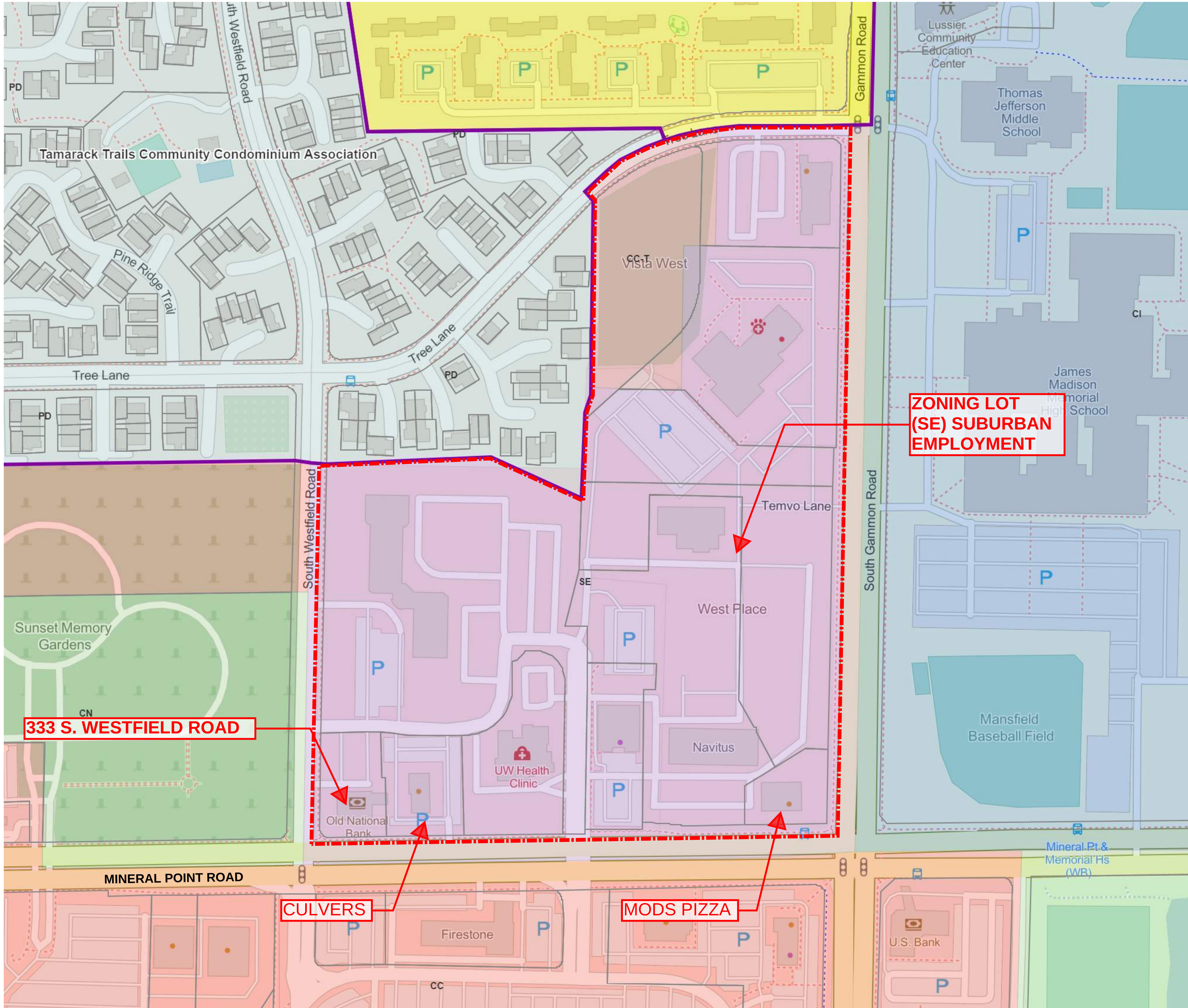
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PROJ. #:	20001-01
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SKETCHWORKS
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LOCATION MAP

G000



OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT
333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status

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ZONING MAP

G001

PRELIMINARY



OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT
333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status

[illegible]

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AREA MAP

G001.1

PRELIMINARY



**EXISTING BUILDING
MINERAL POINT RD.**



**EXISTING BUILDING
MINERAL POINT RD.**



**EXISTING BUILDING
DRIVE-THRU CANOPY**



**EXISTING BUILDING
S. WESTFIELD RD.**



EXISTING BUILDING NORTH PARKING LOT



**EXISTING BUILDING
DRIVE-THRU ENDWALL**

OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT

**333 WESTFIELD ROAD
MADISON WISCONSIN 53717**

Project Status

[illegible]

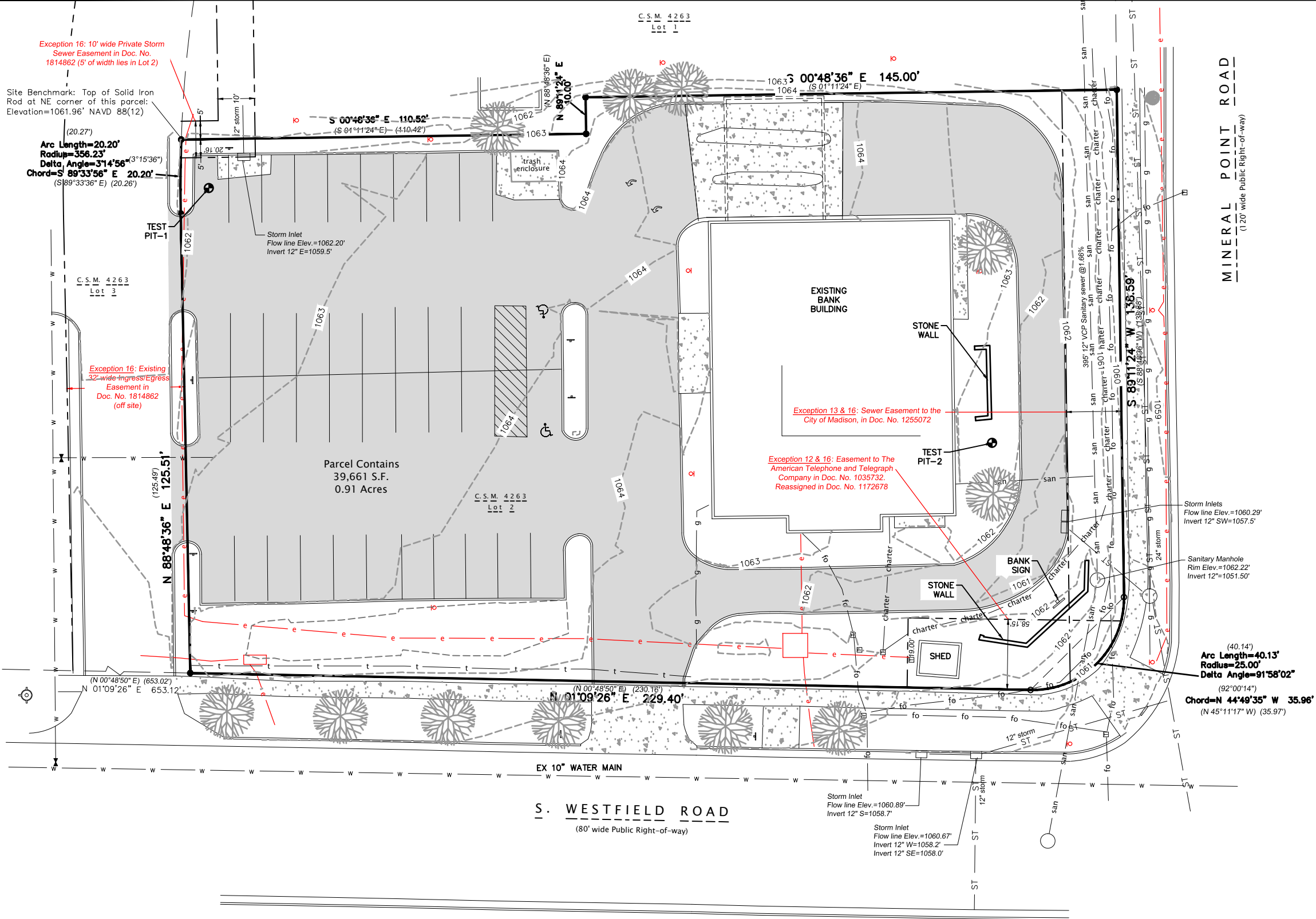
PROJ. #:	20001-01
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EXISTING CONDITIONS

G002

PRELIMINARY



Legal Description as provided in First American Title Insurance Company commitment file number NCS-1037844-MAD, dated November 07, 2020 at 7:30 AM:

LOT 2 OF CERTIFIED SURVEY MAP NO. 4263 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN ON DECEMBER 29, 1983, IN VOLUME 18 OF CERTIFIED SURVEY MAPS, PAGES 116-118 AS DOCUMENT NO. 1814862, BEING OUTLOT 1 AND PART OF LOT 2, CERTIFIED SURVEY MAP NO. 3077, LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 8 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

Schedule B-II Exceptions: as detailed in First American Title Insurance Company commitment file number NCS-1037844-MAD, dated November 07, 2020 at 7:30 AM:

12. Utility Easement to The American Telephone and Telegraph Company of Wisconsin and Wisconsin Telephone Company, dated September 15, 1961, recorded/filed October 25, 1961 in Volume 368, Page 240 as Document No. 1035732.

The above identified easement was assigned from The American Telephone and Telegraph Company of Wisconsin, a Wisconsin corporation to Wisconsin Telephone Company, a Wisconsin corporation recorded on October 31, 1966 in Volume 453 of Misc., Page 383 as Document No. 1172678. APPLIES AND AFFECTS, SHOWN HEREON.

13. Sewer Easement to the City of Madison, a municipal corporation, dated September 25, 1969, recorded/filed December 01, 1969 in Volume 147, Page 297 as Document No. 1255072. APPLIES AND AFFECTS, SHOWN HEREON.

14. Terms, conditions, restrictions and provisions as contained in a Resolution No. 33,828 recorded on December 21, 1978 in Volume 1025, Page 380 as Document No. 1605145. APPLIES, NOT A SURVEYING OR MAPPING MATTER.

15. Covenants, conditions, restrictions and easements in the document recorded December 30, 1983 in Volume 5235, Page 78 as Document No. 1814944 of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status. APPLIES, NOT A SURVEYING OR MAPPING MATTER.

16. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 3077 recorded on December 21, 1978 in Volume 12 of Certified Surveys, Page 86 as Document No. 1605146, and on Certified Survey Map No. 4263 recorded on December 29, 1983 in Volume 18 of Certified Survey Maps, Pages 116-118 as Document No. 1814862 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. APPLIES AND AFFECTS, SHOWN HEREON.

- NOTES:
1. Size and location of Public and Private Utilities are based on Field markings and Maps provided by the City of Madison. All effort has been made to accurately portray these features, but this drawing should not be used for digging purposes. Contact Digger's Hotline prior to excavations (811). Inverts of pipes shown are to be considered approximate due to the fact that they are not fully visible, and inverts in manholes are either field measured or verified from Utility maps.
 2. Site Benchmark is the Northeast Property corner, top of Solid Iron Rod=1061.96', USGS NAVD 88 Datum.

- LEGEND
- SOLID IRON ROD FOUND (0.75" Dia. unless noted)
 - 3/4"x18" SOLID IRON ROD SET 1.50Lbs./LINEAL FOOT.
 - () INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.
 - Water Gate valve
 - Light Pole
 - Signs
 - Utility pedestal or manhole
 - Electric Transformer
 - Hydrant
 - san Sanitary Sewer
 - w Water
 - Storm Sewer
 - g Gas
 - e Electric
 - t Telephone
 - fo Fiber Optic
 - charter Charter

PREPARED FOR:
333 WESTFIELD, LLC
800 W. BROADWAY, Suite 500
MADISON, WI 53713

PREPARED BY:
ISTHMUS SURVEYING, LLC
450 NORTH BALDWIN STREET
MADISON, WI 53703
(608) 244.1090
www.isthmussurveying.com



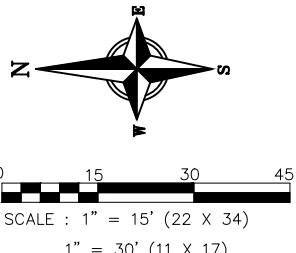
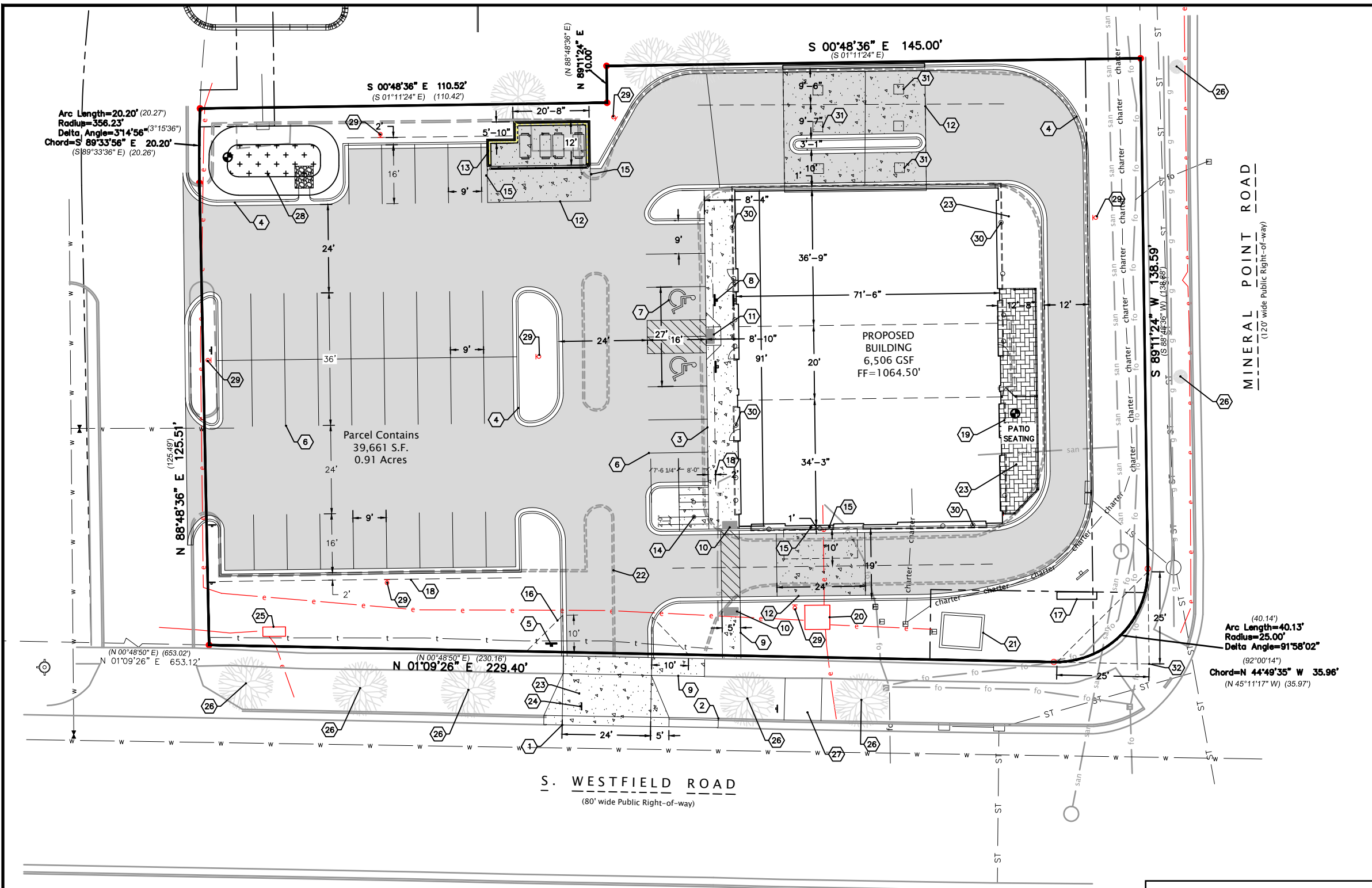
333 S. WESTFIELD ROAD
EXISTING CONDITIONS
333 S WESTFIELD ROAD
MADISON, WISCONSIN

C100

PROFESSIONAL
ENGINEERING
LLC

818 N Meadowbrook LN
Wauwatosa, WI 53597
phone (608) 849-9378
www.pe-wi.com

ISSUANCE/REVISION	SITE PLAN APPROVAL	DATE
		02-16-2021



- KEY**
- ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - CONCRETE SIDEWALK
 - PERVIOUS PAVERS

NOTE:
RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS

SITE INFORMATION

SITE ADDRESS: 333 S WESTFIELD ROAD

SITE ACREAGE TOTAL: 39,661 SF (0.91 ACRES)

NUMBER OF BUILDING STORIES = 1

BUILDING AREA = 6,506 GSF

EXISTING IMPERVIOUS AREA = 28,873 SF

PROPOSED IMPERVIOUS AREA = 29,472 SF

TOTAL PERVIOUS AREA = 10,189 SF

IMPERVIOUS SURFACE % = 74.5% (DOES NOT INCLUDE PERMEABLE PAVERS)

NUMBER OF PARKING STALLS: 38 (2 HC)

TOTAL BIKE PARKING: 4 STALLS

PLAN KEY

- NEW DRIVEWAY APPROACH IN ACCORDANCE WITH CITY STANDARDS. CONTRACTOR TO OBTAIN STREET EXCAVATION PERMIT FROM THE CITY TO WORK IN THE RIGHT-OF-WAY
- 30" CITY CURB AND GUTTER
- THICKENED EDGE CONCRETE, TYP.
- 18" CURB AND GUTTER, TYP.
- 7' STOP SIGN
- 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- ACCESSIBLE STALL, TYP.
- VAN ACCESSIBLE PARKING SIGN, TYP.
- CONCRETE SIDEWALK, TYP.
- CURB RAMP, TYPE 1 W/ DETECTABLE WARNING FIELD, TYP
- CURB RAMP, TYPE 2 W/ DETECTABLE WARNING FIELD, TYP.
- CONCRETE PAVEMENT
- SCREENED DUMPSTER, (SEE ARCHITECTURAL PLANS)
- SIX (6) SINGLE SIDED BIKE RACKS, BY OWNER
- BOLLARD, TYP.
- 10'X10' VISION TRIANGLE
- MONUMENT SIGN, SEE ARCHITECTURAL PLANS
- 2' VEHICLE PARKING OVERHANG
- PERMEABLE PAVEMENT
- EXISTING TRANSFORMER TO BE RELOCATED
- EXISTING TELEPHONE UTILITY SHED TO REMAIN
- EXISTING CURB AND GUTTER SHOWN FOR REFERENCE
- REMOVE TREE
- RELOCATE SIGN
- EXISTING TRANSFORMER TO BE REMAIN
- PRESERVE AND PROTECT STREET TREE
- EXISTING METRO CONCRETE PAD TO REMAIN
- BIORETENTION AREA FOR STORMWATER MANAGEMENT
- NEW LED LIGHT, POLE AND BASE - LOCATION TBD (ENTERPRISE LIGHTING)
- RECESSED UNDER CANOPY LIGHTING 10' AFF (ENTERPRISE LIGHTING) TYP.
- RECESSED LED DRIVE-THRU CANOPY LIGHTING (ENTERPRISE LIGHTING) TYP.
- 25'X25' VISION TRIANGLE

ISSUANCE/REVISION

DATE

SITE PLAN APPROVAL

02-16-2021

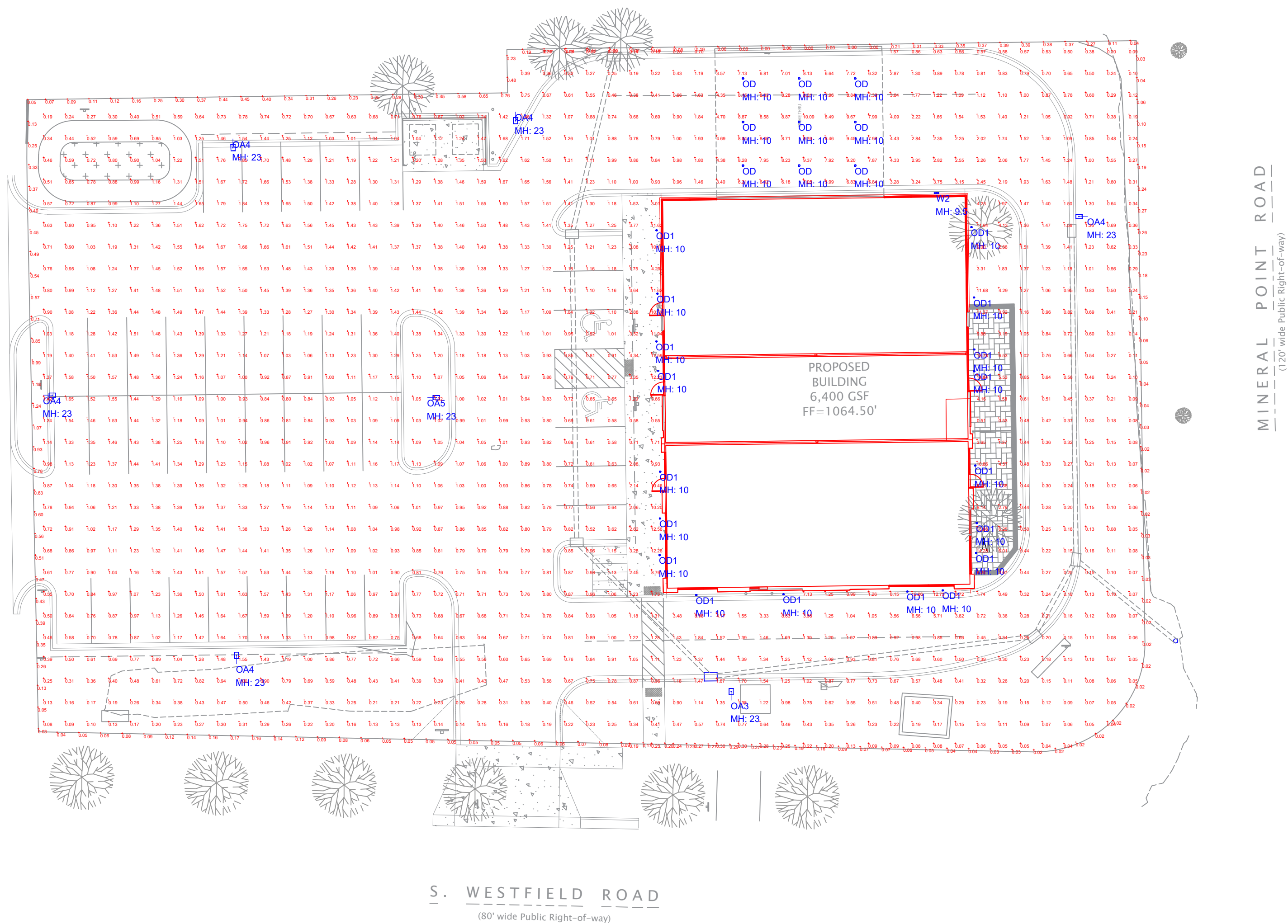
818 N Meadowbrook Ln
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333 S. WESTFIELD ROAD
SITE PLAN

333 S WESTFIELD ROAD
MADISON, WISCONSIN

C200



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROP LINE	ILLUMINANCE	Fc	0.22	1.24	0.00	N.A.	N.A.
SITE	ILLUMINANCE	Fc	1.54	18.78	0.04	38.50	469.50
CANOPY	ILLUMINANCE	Fc	7.49	10.1	3.4	2.20	2.97
DRIVES	ILLUMINANCE	Fc	1.29	9.0	0.2	6.45	45.00
PARKING AREA	ILLUMINANCE	Fc	1.19	1.9	0.5	2.38	3.80

Luminaire Schedule							
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts Lum. Lumens
1	OA3	SINGLE	0.950	LITHONIA	DSX0 LED P2 xxK T3M MVOLT HS (20FT POLE 3FT BASE)	49	49 4728
5	OA4	SINGLE	0.950	LITHONIA	DSX0 LED P2 xxK T4M MVOLT HS (20FT POLE 3FT BASE)	49	245 4563
1	OA5	SINGLE	0.950	LITHONIA	DSX0 LED P2 xxK T5M MVOLT (20FT POLE 3FT BASE)	49	49 6236
9	OD	SINGLE	0.950	JUNO	65BEMW HL SWW5 90CRI M6	14.5	130.5 1278
18	OD1	SINGLE	0.950	LITHONIA	LDN4 xx/10 LO4AR LSS	10.58	190.44 1047
1	W2	SINGLE	0.900	LITHONIA	DSXW1 LED 10C 530 40K T4M MVOLT	19.1	19.1 2115

333 S WESTFIELD ROAD

MADISON, WISCONSIN

LIGHTING LAYOUT

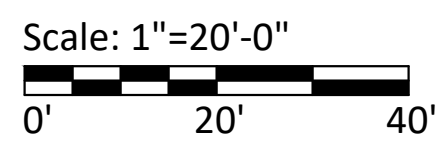
DRAWN BY : AD

DATE : FEB 26 , 2021

SCALE : 1" = 20' -0"

REVISIONS				
#	DATE	COMMENTS		



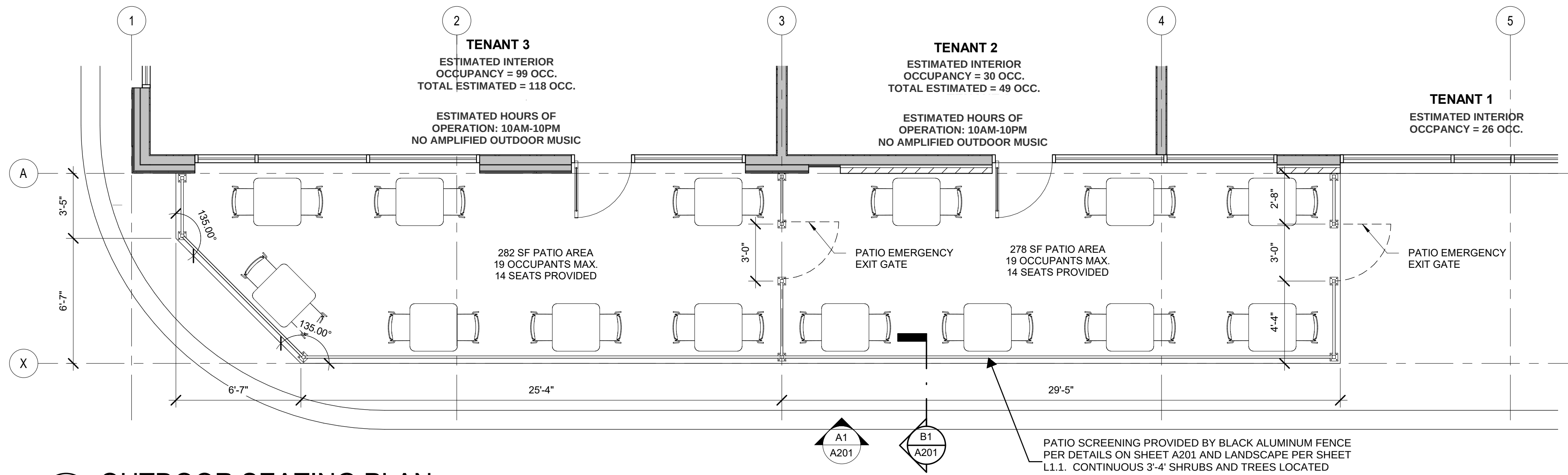


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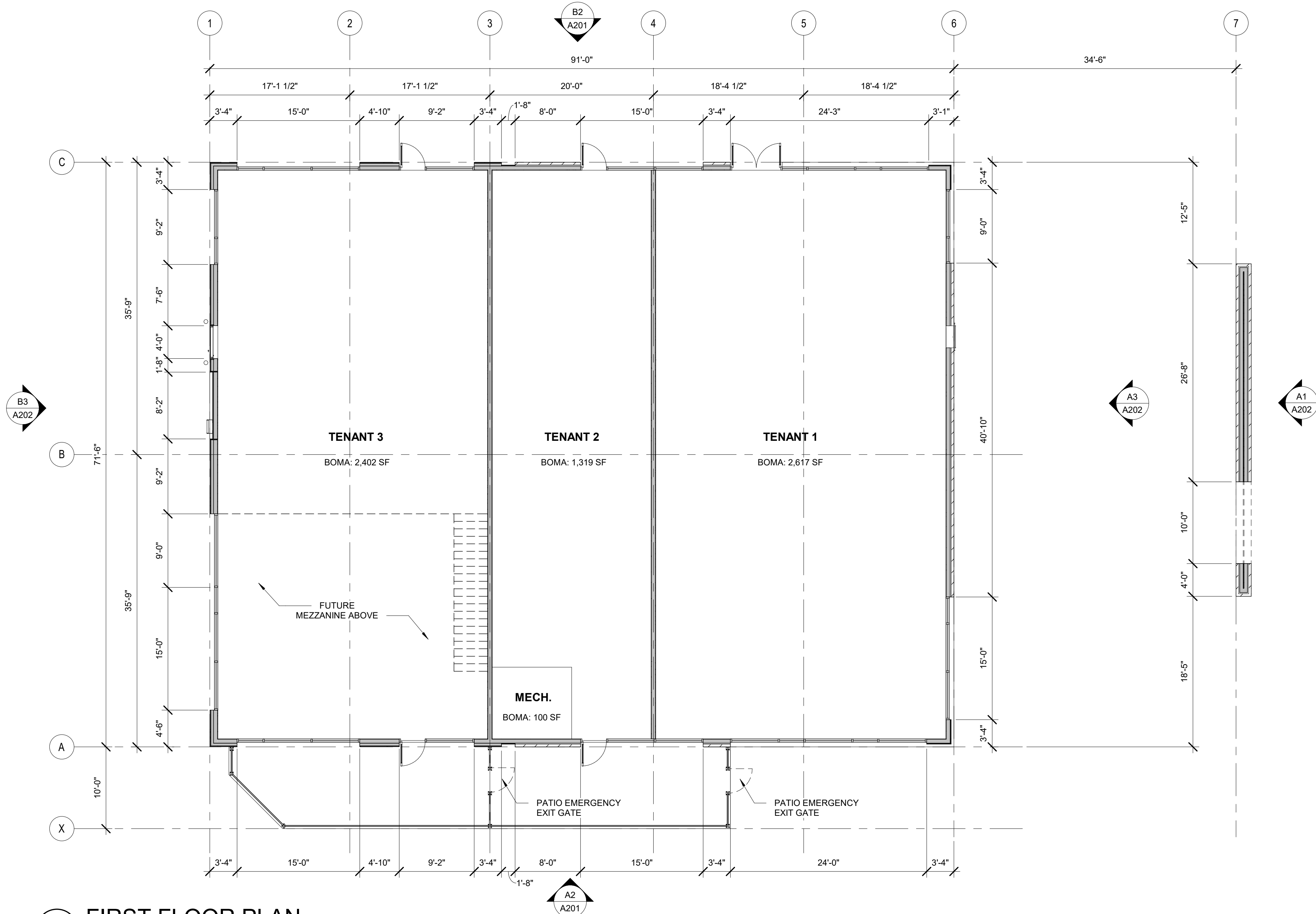
2

3

4



C1 OUTDOOR SEATING PLAN
1/4" = 1'-0"



A1 FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL PLAN NOTES:

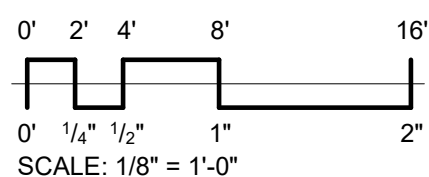
- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MECHANICAL DESIGN BUILD CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.
- PROVIDE SOUND INSULATION IN ALL DIVIDING WALLS AND INTERIOR WALLS, UNLESS NOTED OTHERWISE.
- PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS.
- PROVIDE ACCESSIBLE TOILETS, ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A002.
- PROVIDE 2x 10x 10x 1/2" NG AT ALL GRAB BAR LOCATIONS PER ICC-ES E-117.1 2009.
- PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- ALL DOORS WITH A CLOSE PROXIMITY OF A PERPENDICULAR WALL SHALL HAVE A TYPICAL DIMENSION OF 6" FROM FACE OF FRAME TO DOOR OPENING UNLESS NOTED OTHERWISE.
- VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- GENERAL CONTRACTOR TO SECURE CONSTRUCTION AREA DURING CONSTRUCTION WORK. SEAL ALL DOORS AS REQUIRED. CONSTRUCT AND MAINTAIN A FLOOR TO CEILING DUST BARRIER, TO PROVIDE SEPARATION FOR DUST, DEBRIS AND SOUND.
- GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVAILABLE FOR USE PERIODICALLY PER OWNER'S REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION START AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNER'S NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL.

HATCH PATTERN KEY:

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION

PLAN KEYNOTES:

- 1 ABC
- 2 DEF



Sketch works
architecture llc

OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT

333 WESTFIELD ROAD

MADISON WISCONSIN 53717

Project Status

02/15/2021 FOR REVIEW

PROJ. #: 20001-01

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FLOOR PLAN

A101

PRELIMINARY

1

2

3

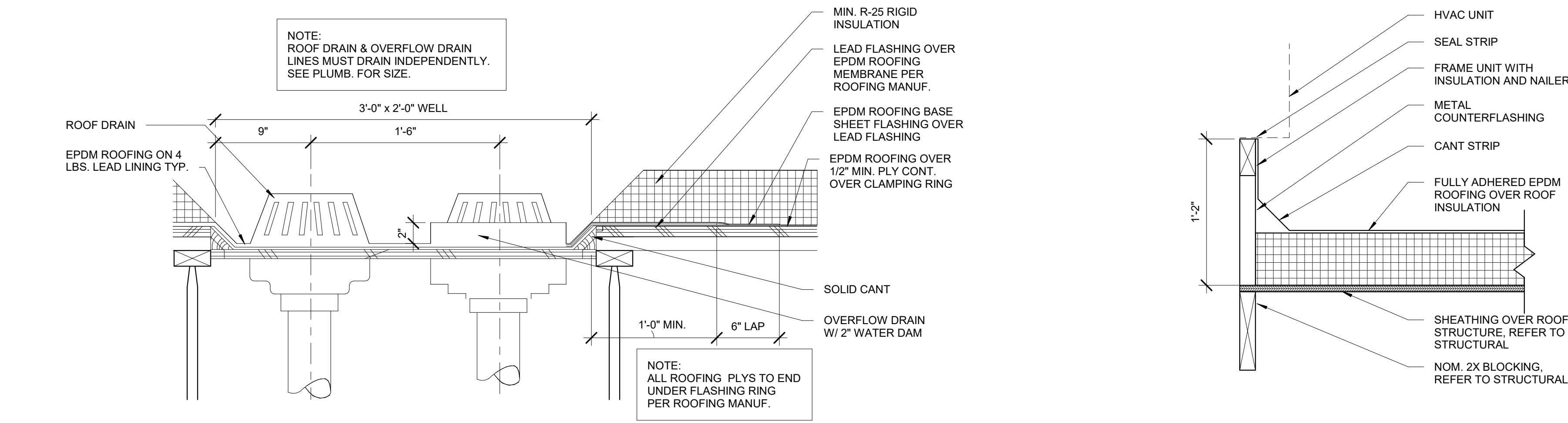
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D

C

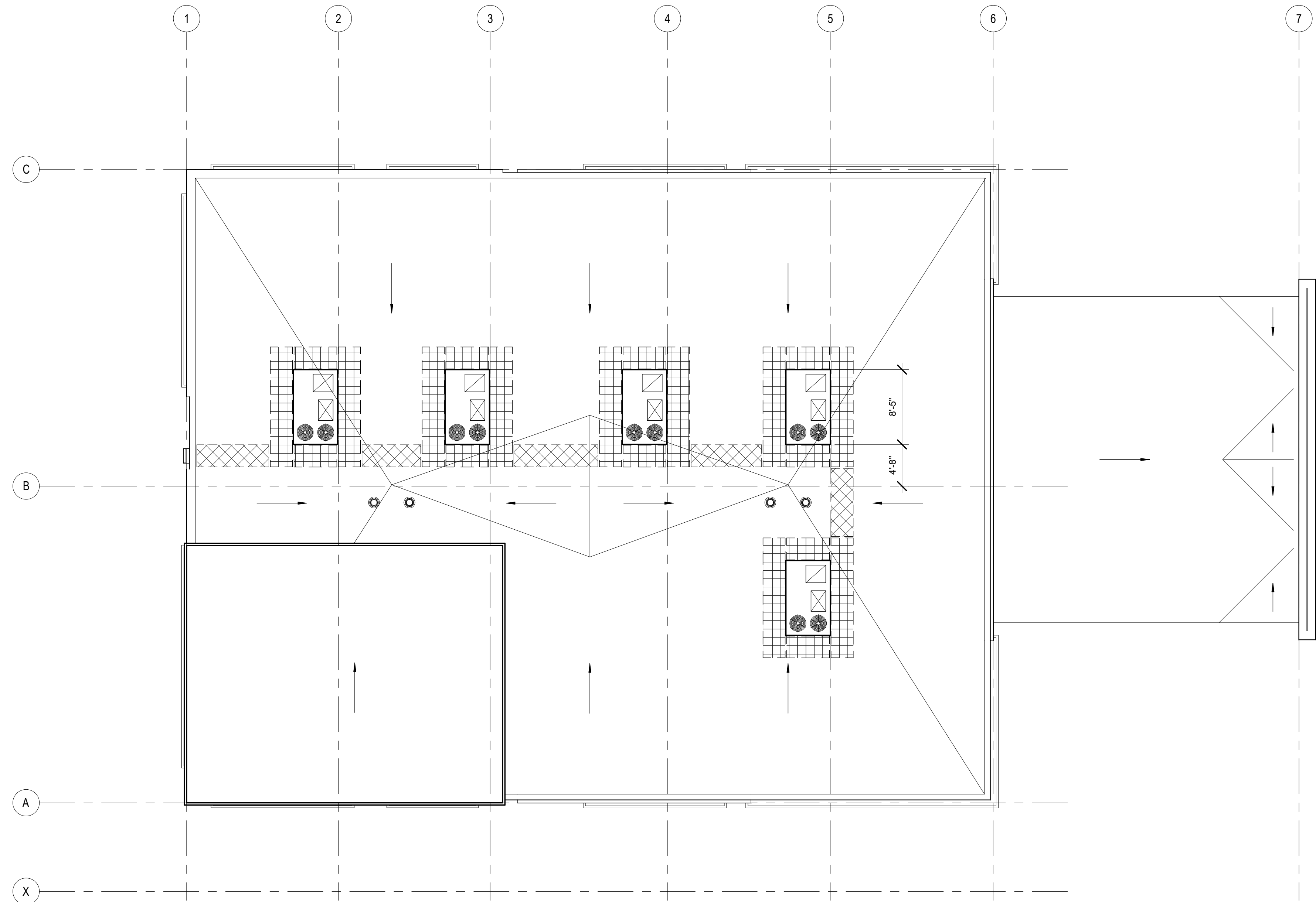
B

A



C1 ROOF - DRAIN OVERFLOW
1 1/2" = 1'-0"

C3 HVAC CURB DETAIL
1 1/2" = 1'-0"



A1 ROOF PLAN
1/8" = 1'-0"

ROOF PLAN GENERAL NOTES:

- A. EXTERIOR DIMENSIONS ARE FROM GRIDLINE, OR TO EDGE OF FOUNDATION WALL, UNLESS OTHERWISE NOTED. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- B. DIMENSIONS ARE TO FACE OF [FRAME] UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING CONDITIONS AND ADJUST WITH DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- C. STAIRWELL, ELEVATOR, AND MECHANICAL CHASE INTERIOR WALLS SHALL BE CONTINUOUS TO BOTTOM OF RATED FLOOR ASSEMBLY CAP. MAINTAIN CONTINUOUS FIRE RATING FROM LOWEST FLOOR THROUGH ROOF OR AS OTHERWISE INDICATED.
- D. INSTALL ICE AND WATER SHIELD AT ALL ROOF EAVES AND VALLEYS. EXTEND FROM EAVE TO 24" MINIMUM INSIDE THE EXTERIOR WALL LINE. INSTALL PER MANUFACTURER SPECIFICATIONS.
- E. FINAL DOWNSPOUT / SCUPPER LOCATION(S) SHALL BE COORDINATED BETWEEN THE ROOFING CONTRACTOR, THE ARCHITECT AND THE CIVIL ENGINEER. VERIFY LOCATION OF DOWNSPOUTS.

ROOF PLAN KEYNOTES:

- 1 ABC
- 2 DEF

Sketch works
architecture inc.

OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT
333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status

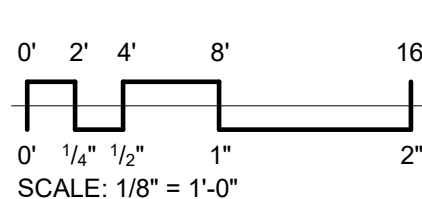
02/15/2021 FOR REVIEW

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ROOF PLAN

A103



PRELIMINARY



U



A



**BELDEN BRICK;
MAYO - CLEAR**



**NICHIHA ILLUMINATION;
WARM WHITE**



OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT
333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status

[illegible]

PROJ. #:	20001-01
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EXTERIOR RENDERINGS

G005.5

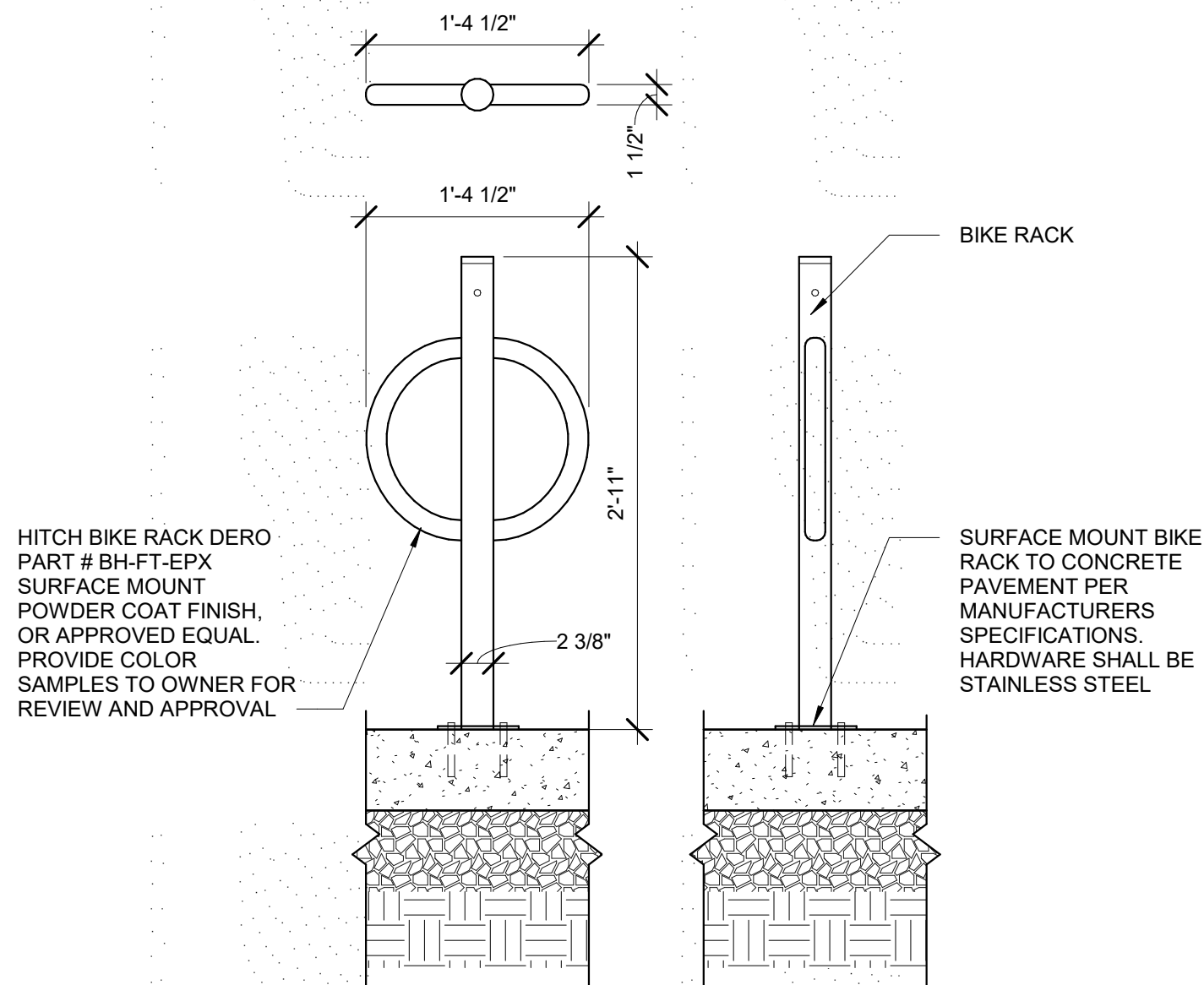
PRELIMINARY

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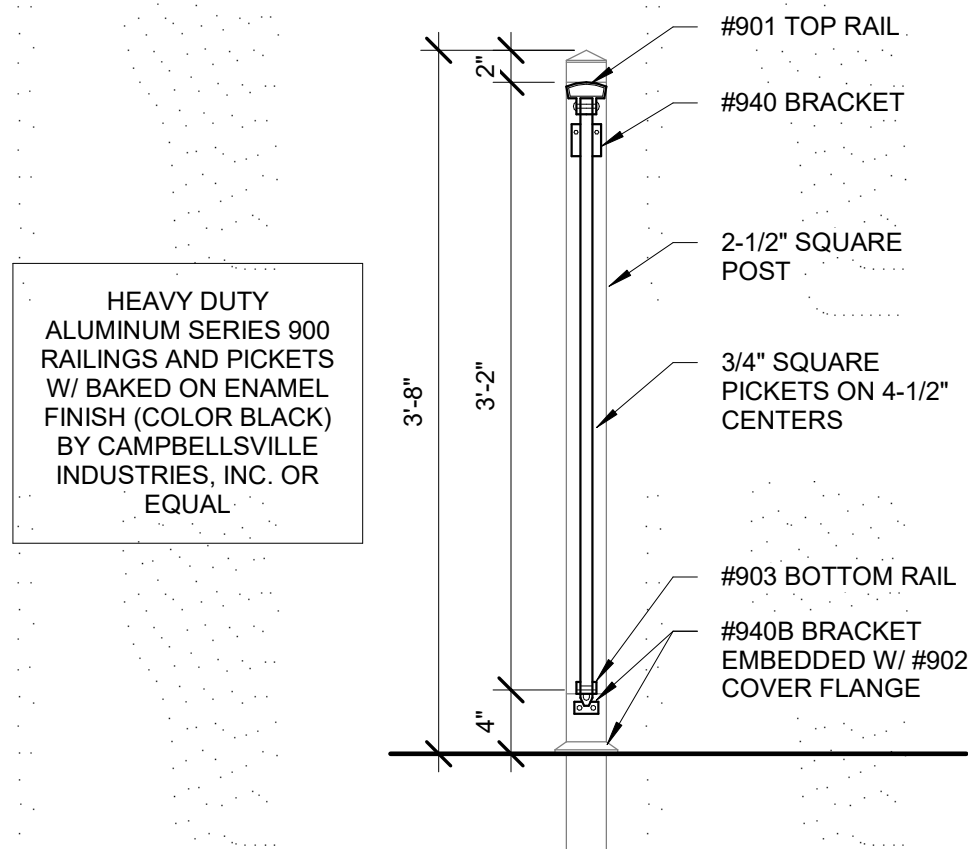
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B

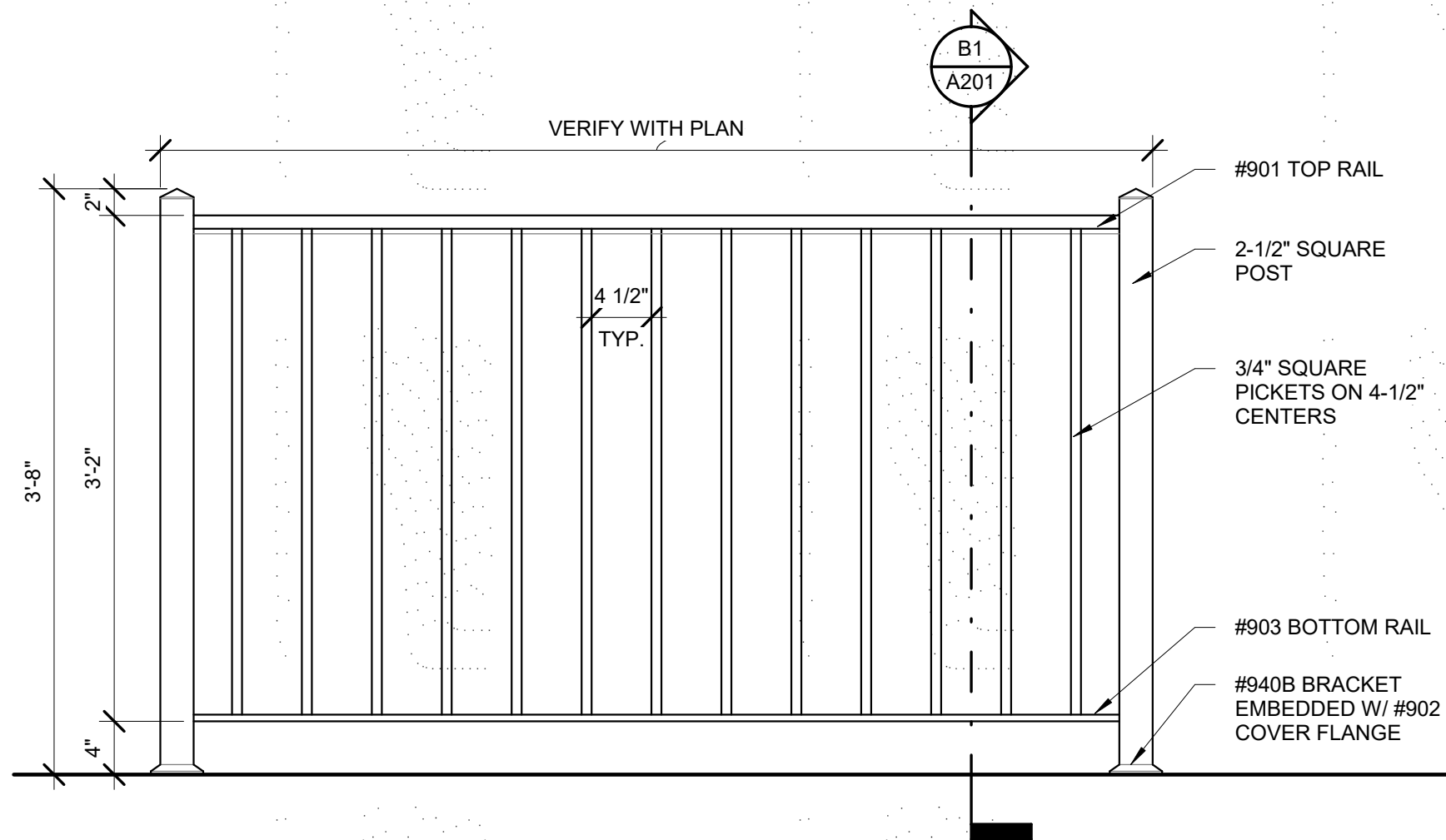
A



C1 SITE - BIKE RACK BOLLARD
1" = 1'-0"



B1 PATIO FENCE DETAIL
1" = 1'-0"



A1 PATIO FENCE ELEVATION
1" = 1'-0"

28,000 GENERAL PROVISIONS - DOOR AND WINDOW OPENING REQUIREMENTS AT STREET FACADE - NOT REQUIRED FOR SUBURBAN EMPLOYMENT DISTRICT.

BUILDING GROUND FLOOR MEASURED TO 14'-0" AFF

60% OF LENGTH AT GROUND FLOOR PROVIDED: 63'-2"

40% OF AREA OF GROUND FLOOR STREET FACADE PROVIDED: 662.50 SF

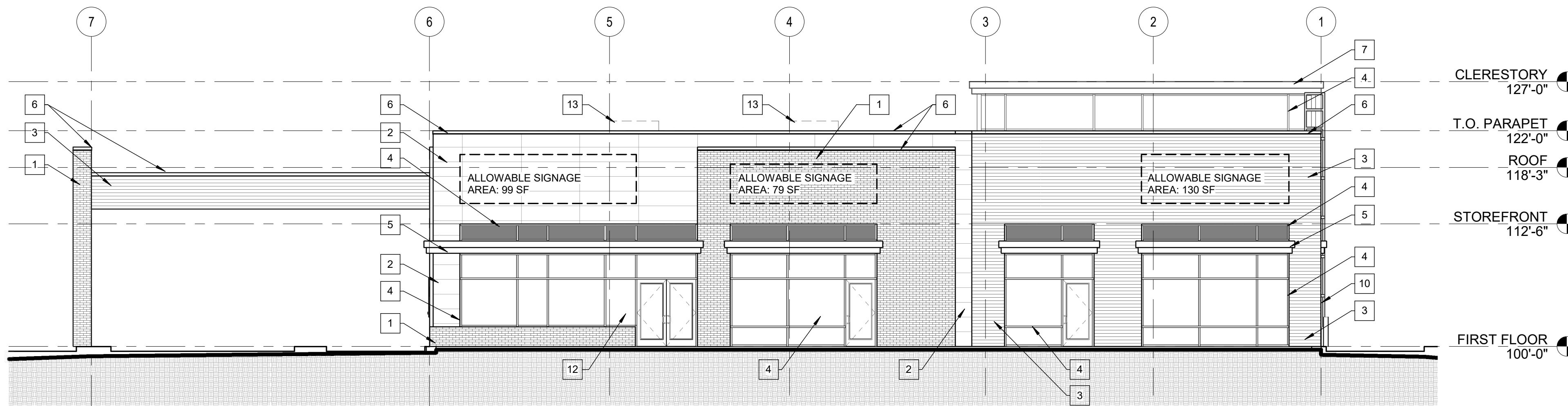
50% OF WINDOW SILLS WITHIN 3'-0" OF GRADE PROVIDED: 100%

20% MAXIMUM SPANDREL GLAZING PROVIDED: 41.25 SF

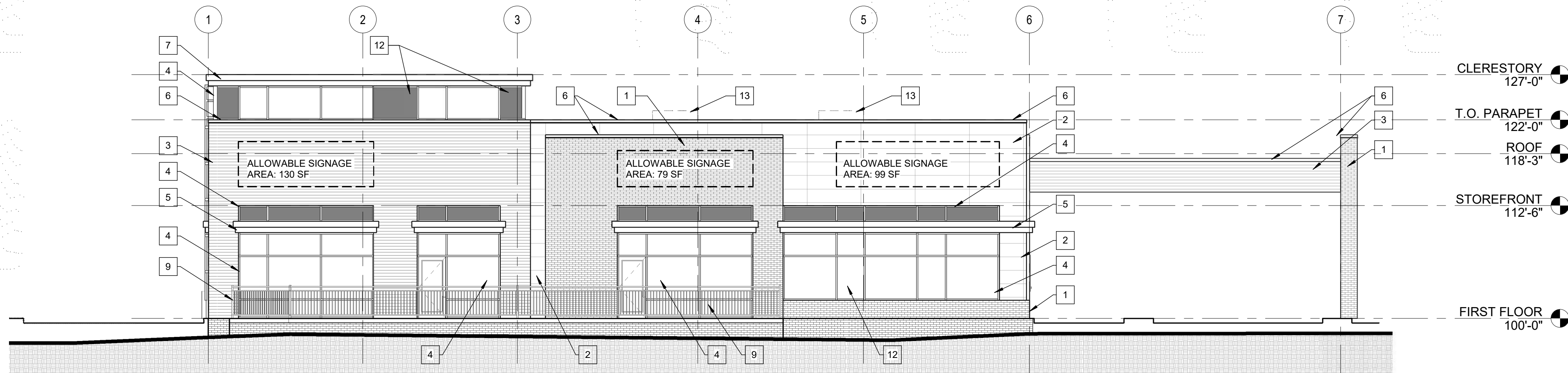
ALLOWABLE SIGNAGE AREA: SIGNABLE AREA MAY NOT EXTEND MORE THAN 4'-0" ABOVE THE ROOF LINE.

EXTERIOR MATERIAL SCHEDULE

#	DESCRIPTION	MANUFACTURER	TYPE/STYLE	COLOR	HEIGHT	WIDTH	COMMENTS
1	BRICK MASONRY	BELDEN BRICK COMPANY	STANDARD	MAYO CLEAR A (TAN)			
2	FIBER CEMENT PANELS	NICHIHA	ILLUMINATION	WARM WHITE			
3	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD	BARK CEDAR			
4	ALUMINUM STOREFRONT			CLEAR ANODIZED			THERMALLY IMPROVED, LOW-E 1" GLAZING
5	FRAMED CANOPY			WHITE W/ DARK BRONZE FLASHING			
6	PREFINISHED METAL COPING			WHITE			
7	PREFINISHED ROOF COPING			DARK BRONZE			
8	COMPOSITE ALUMINUM PANEL			WHITE			
9	PREFINISHED ALUMINUM RAILING			BLACK			
10	ROOF ACCESS LADDER			WHITE TO MATCH BUILDING SIDING			OSHA APPROVED LADDER WITH SECURITY GATE
11	PICK-UP WINDOW			CLEAR ANODIZED			
12	SPANDREL GLASS						
13	ROOF TOP HVAC EQUIPMENT						



B2 NORTH ELEVATION
1/8" = 1'-0"



A2 SOUTH ELEVATION
1/8" = 1'-0"

Project Status

02/15/2021 FOR REVIEW

PROJ. #: 20001-01

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**EXTERIOR
ELEVATIONS**

D

C

B

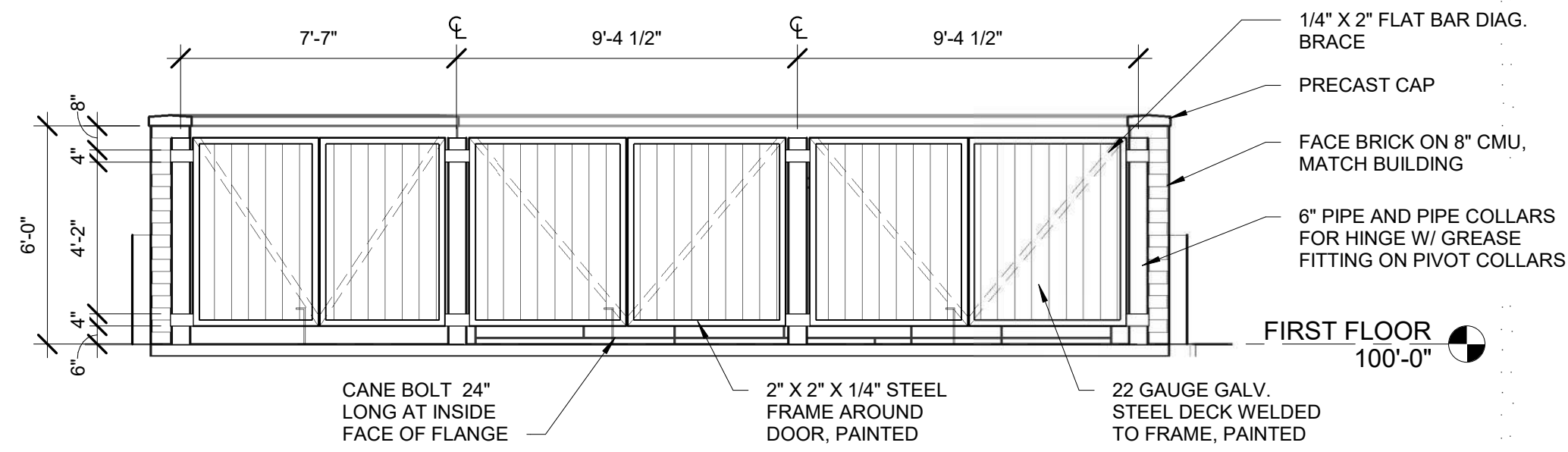
A

1

2

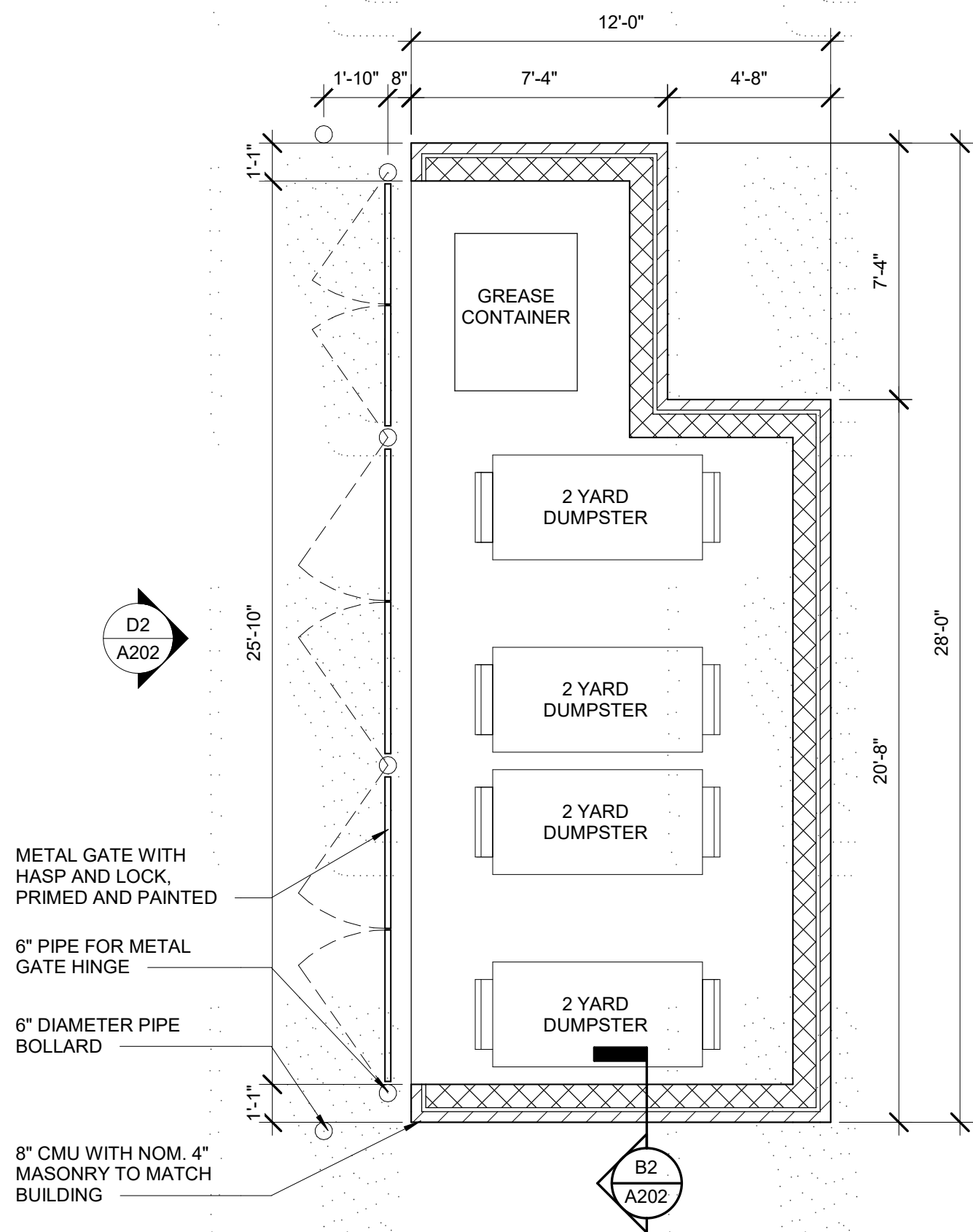
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4

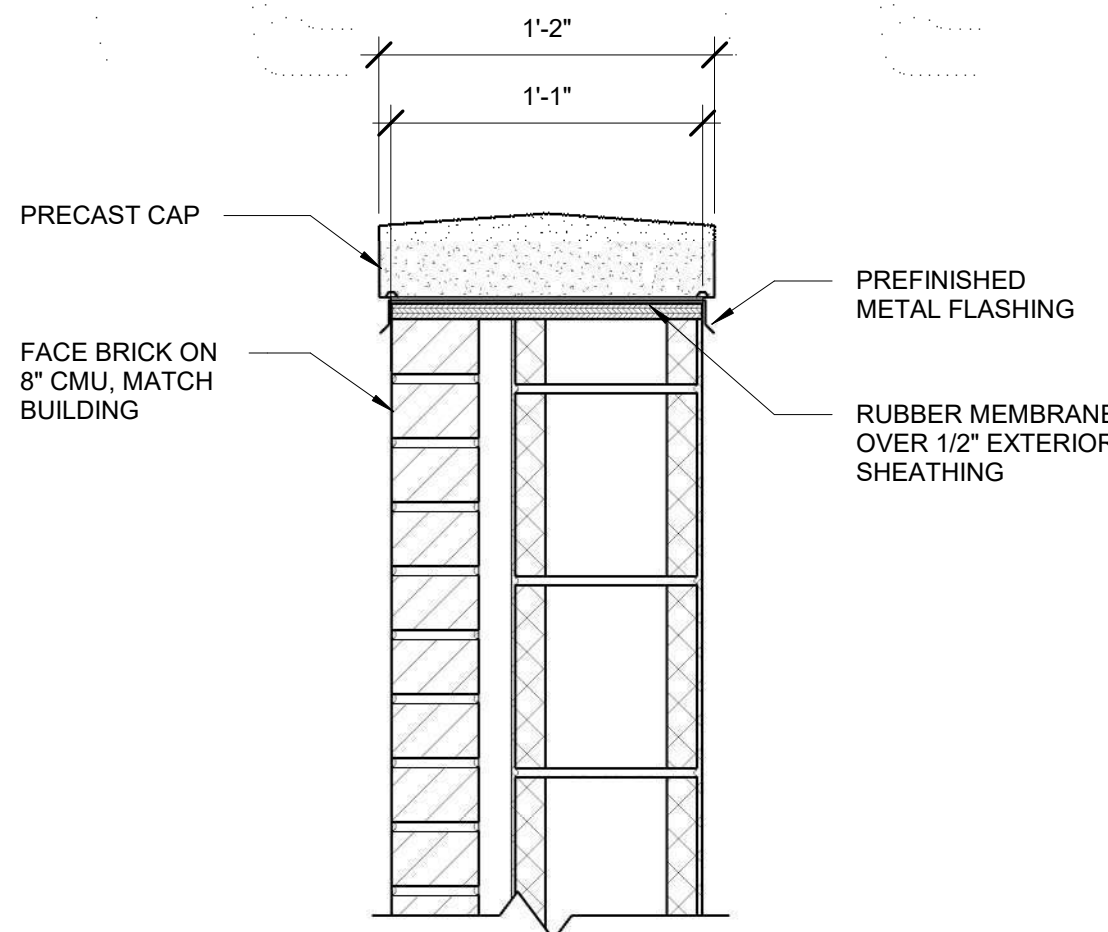


EXTERIOR MATERIAL SCHEDULE							
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3	FIBER CEMENT SIDING	NICHIHA	VINTAGE WOOD	BARK CEDAR			
4	ALUMINUM STOREFRONT			CLEAR ANODIZED			THERMALLY IMPROVED, LOW-E 1" GLAZING
5	FRAMED CANOPY			WHITE W/ DARK BRONZE FLASHING			
6	PREFINISHED METAL COPING			WHITE			
7	PREFINISHED ROOF COPING			DARK BRONZE			
8	COMPOSITE ALUMINUM PANEL			WHITE			
9	PREFINISHED ALUMINUM RAILING			BLACK			
10	ROOF ACCESS LADDER			WHITE TO MATCH BUILDING SIDING			OSHA APPROVED LADDER WITH SECURITY GATE
11	PICK-UP WINDOW			CLEAR ANODIZED			
12	SPANDREL GLASS						
13	ROOF TOP HVAC EQUIPMENT						

D2 TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"



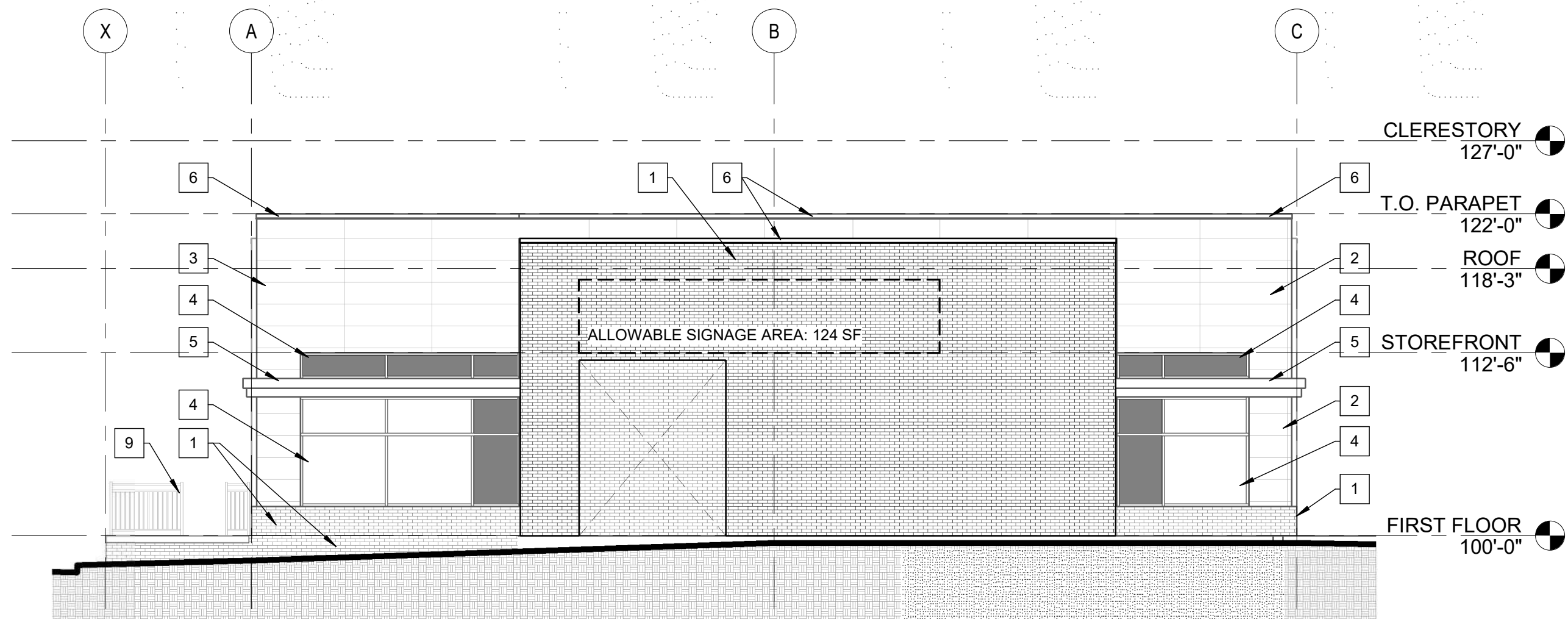
B1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



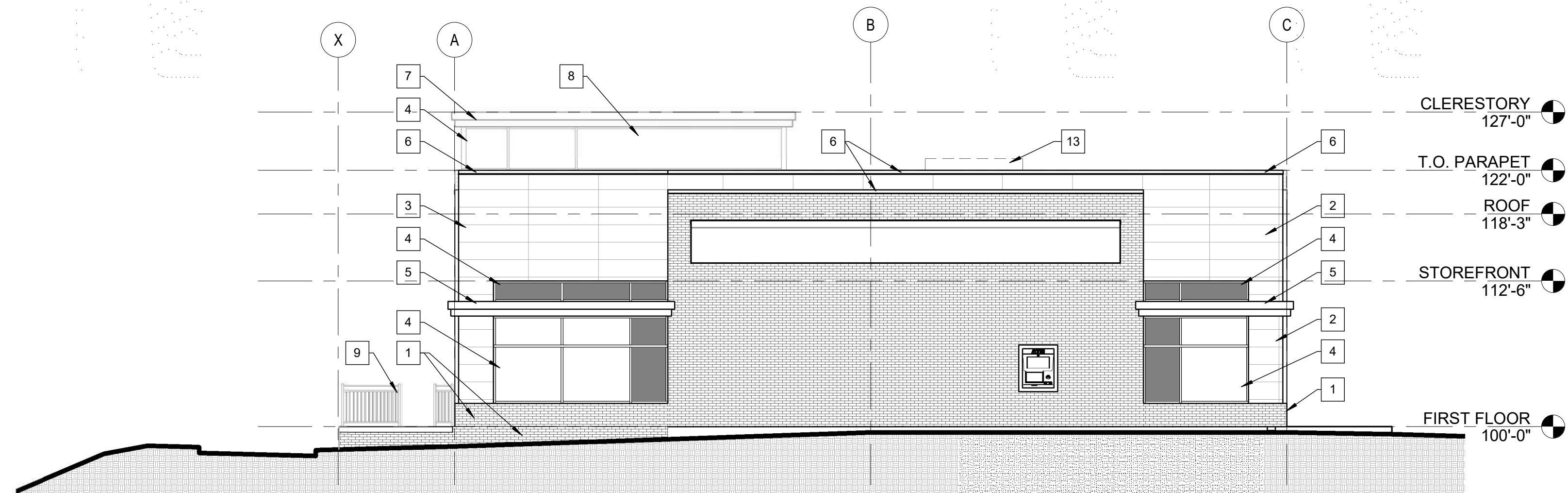
B2 TRASH ENCLOSURE SECTION
1 1/2" = 1'-0"



B3 WEST ELEVATION
1/8" = 1'-0"



A1 EAST ELEVATION - CANOPY
1/8" = 1'-0"



A3 EAST ELEVATION
1/8" = 1'-0"

Project Status

02/15/2021 FOR REVIEW

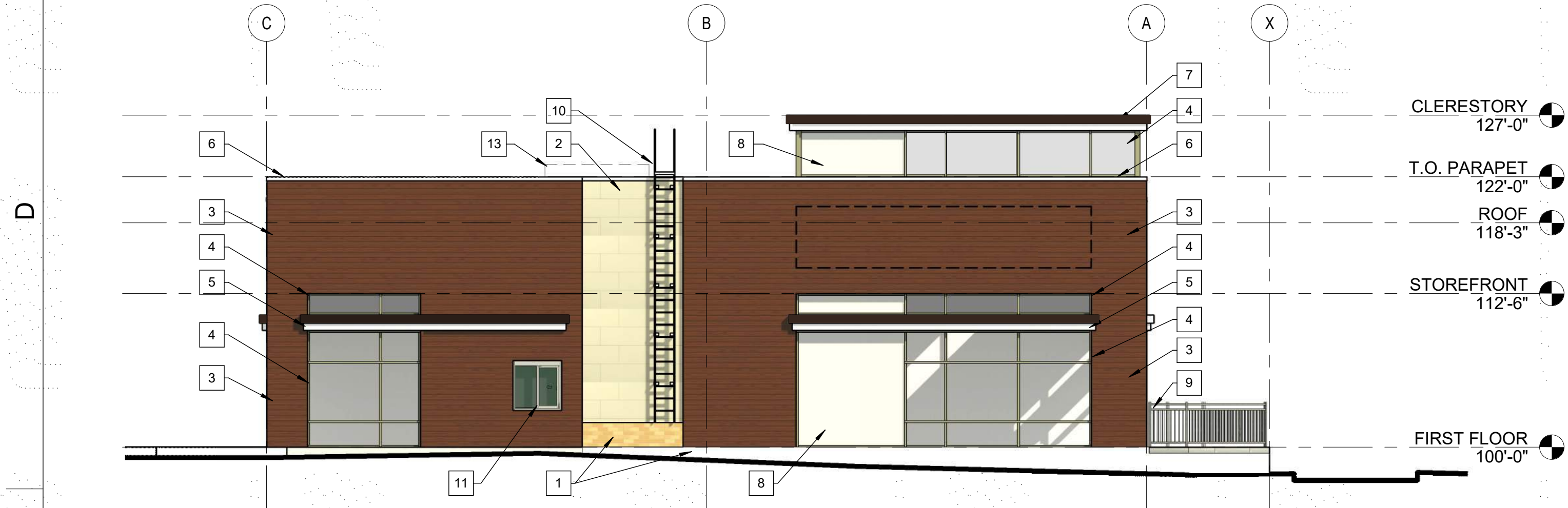
PROJ. #: 20001-01

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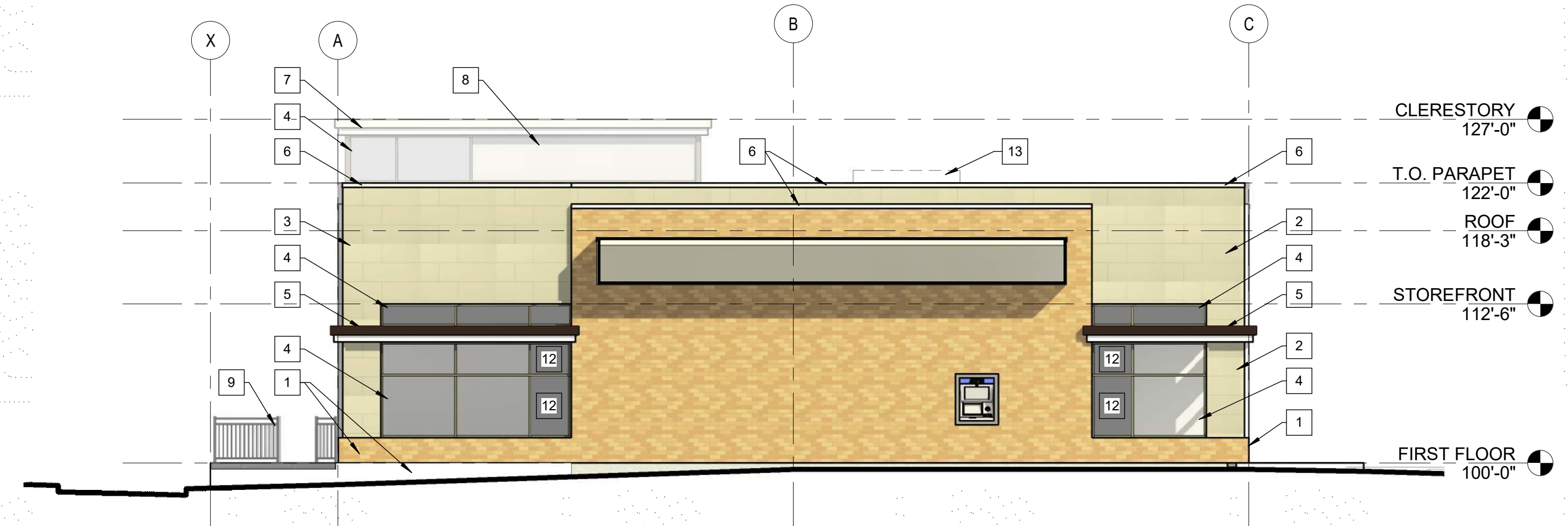
EXTERIOR
ELEVATIONS

A202

PRELIMINARY



4 WEST ELEVATION COLORED
1/8" = 1'-0"



3 EAST ELEVATION COLORED
1/8" = 1'-0"



2 NORTH ELEVATION COLORED
1/8" = 1'-0"



1 SOUTH ELEVATION COLORED
1/8" = 1'-0"

OLD NATIONAL BANK REDEVELOPMENT

MULTI-TENANT REDEVELOPMENT

333 WESTFIELD ROAD
MADISON WISCONSIN 53717

Project Status

02/15/2021 FOR REVIEW

PROJ. #: 20001-01

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EXTERIOR
ELEVATIONS -
COLORED

A203

PRELIMINARY