

MADISON YARDS AT HILLS FARMS

BLOCK 2 PRIVATE IMPROVEMENTS SET

CITY OF MADISON, WISCONSIN
701 GARDENER ROAD, MADISON, WI 53705

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B2-L2.0	BLOCK 2 LANDSCAPE DETAILS & NOTES



PROJECT AREA
NOT TO SCALE



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PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
4		
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Design/Drawn:
Approved:

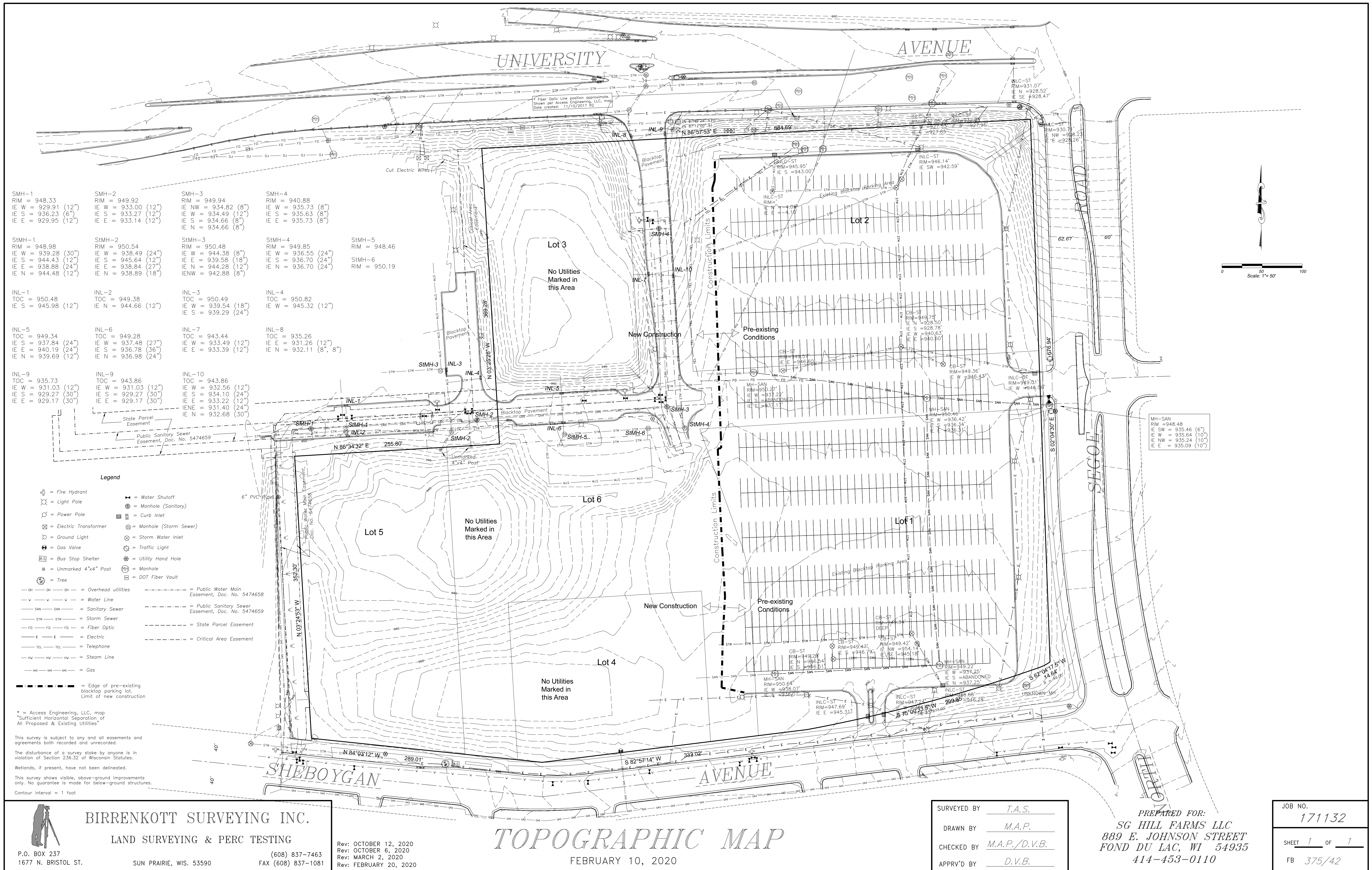
SHEET TITLE:
**BLOCK 2
TITLE SHEET**

SHEET NUMBER:
B2-TS



Toll Free (800) 242-8511

JSD PROJECT NO: 19-0360



File: L2016169326L_199368 - Block 2\DWG\Civil-Landscape Sheets\19326L BLK2 - C01 - NOTES & LEGEND.dwg Layout: C01 - NOTES & LEGEND User: msaundera Printed: Nov 13, 2020 - 12:46m WPA:

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION VERIFY AND MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC INC. DATED FEBRUARY 27, 2018 (REPORT C17549).
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DETECTED SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET CITY OF MADISON REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

3. CONCRETE PAVING SPECIFICATIONS
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
 - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS WILL DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
3. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
4. CONTRACTOR SHALL PROVIDE NOTICE TO THE CITY OF MADISON IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
5. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
6. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
7. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
8. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
9. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE SIZE, TYPE, ELEVATION, AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSES FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS -

PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF ASHTO DESIGNATION M-294 TYPE "S".

INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING, CURB FRAME & GRATE SHALL BE NEENAH R-3067 OR EQUAL.

BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT.

TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET BEYOND THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550 WITH SELF SEALING LIDS, NON-ROCKING OR EQUAL.

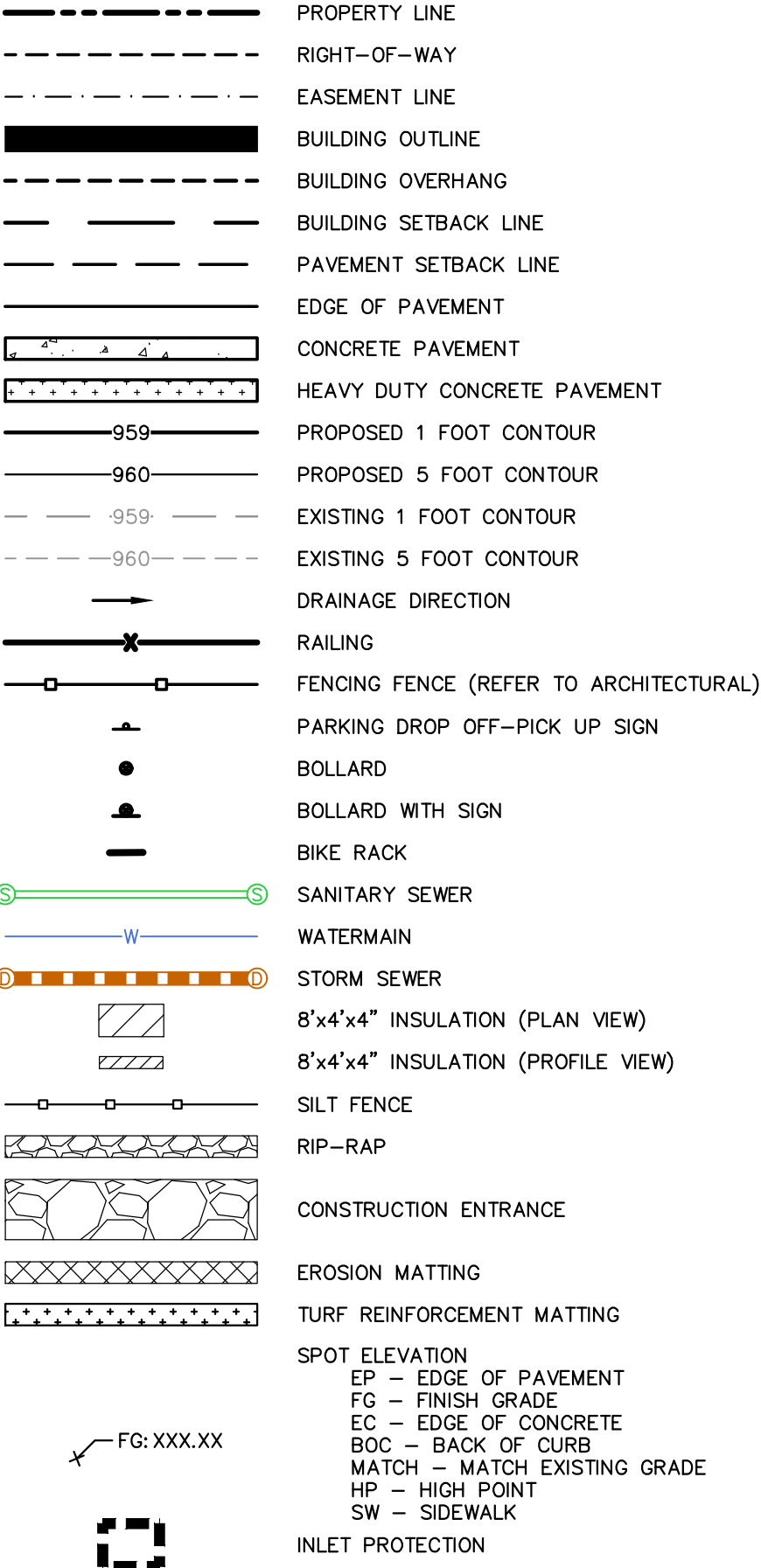
FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

13. WATER MAIN SPECIFICATIONS -
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR=10, WITH CAST IRON D-10 AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.2.7.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
14. SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR=35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550 WITH SELF SEALING LIDS, NON-ROCKING OR EQUAL.
15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSTALL PERMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ON ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCARPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASKH OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDMR TECHNICAL STANDARDS 1052 AND 1053.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDMR TECHNICAL STANDARD 1068.
15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDMR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDMR REQUIREMENTS.
17. STABILIZATION PRACTICES:
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING.

LEGEND



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MADISON REGIONAL OFFICE
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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
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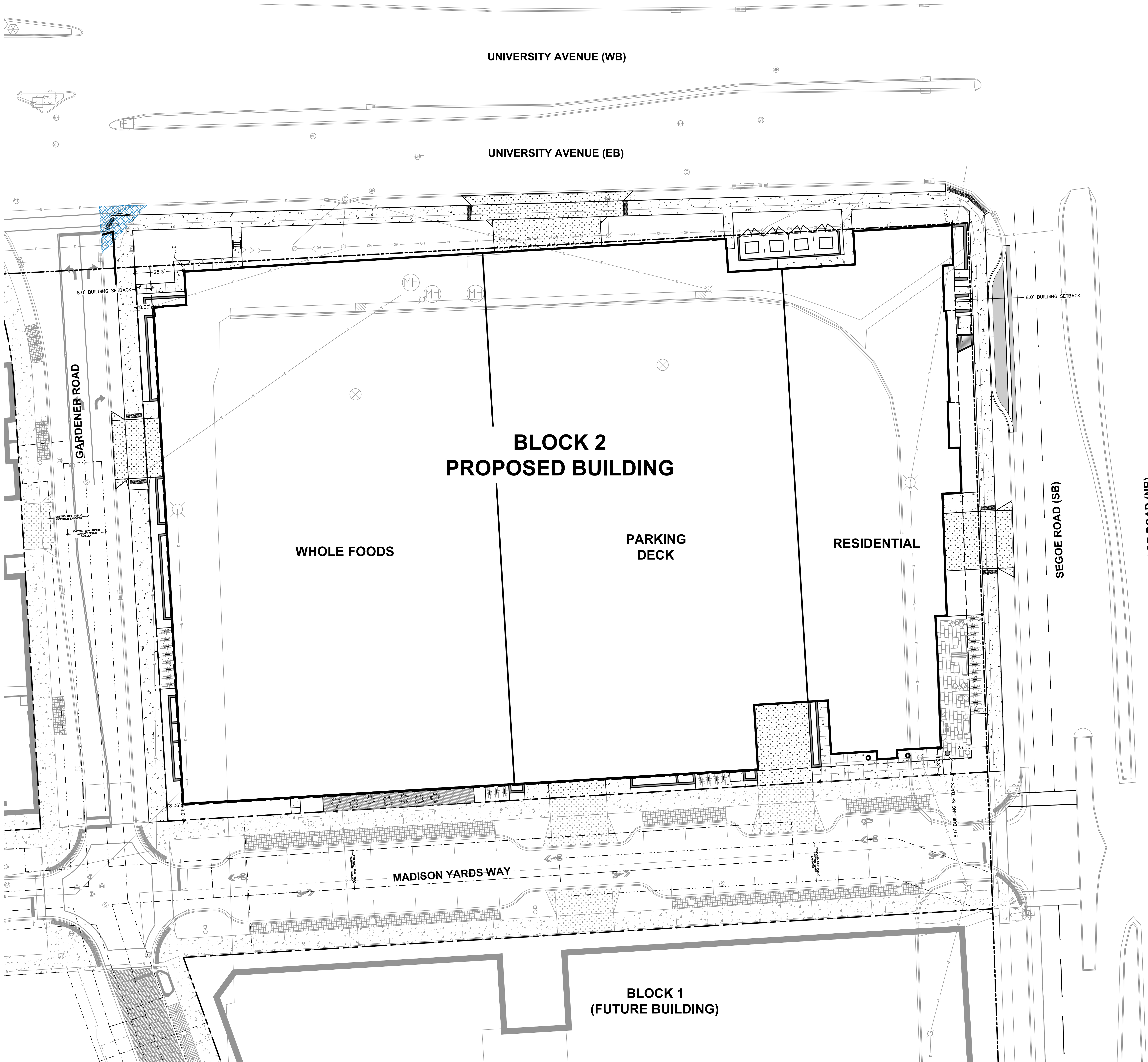
Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
NOTES & LEGEND**

SHEET NUMBER:
B2-C0.1
JSD PROJECT NO: 19-0360



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LEGEND	
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION	
SITE INFORMATION BLOCK	
SITE ADDRESS	701 GARDENER ROAD
PROPERTY ACREAGE	2.897 ACRES
NUMBER OF BUILDING STORIES	
WHOLE FOODS	2
PARKING DECK	4
HOTEL	7
TOTAL BUILDING SQUARE FOOTAGE	
GROSS BUILDING SQUARE FOOTAGE	(REFER TO ARCHITECTURAL)
NUMBER OF INTERNAL PARKING STALLS (REFER TO ARCHITECTURAL)	
NUMBER OF BICYCLE STALLS:	
EXTERIOR	56
WHOLE FOODS (INTERNAL)	(REFER TO ARCHITECTURAL)
RESIDENTIAL (INTERNAL)	(REFER TO ARCHITECTURAL)
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	99,360 SF
EXISTING PERVIOUS SURFACE AREA	26,833 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.79
PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED PERVIOUS SURFACE AREA	120,441 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.95



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CLIENT:

SMITH Gilbane

CLIENT ADDRESS:
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MILWAUKEE, WI 53202

PROJECT:

**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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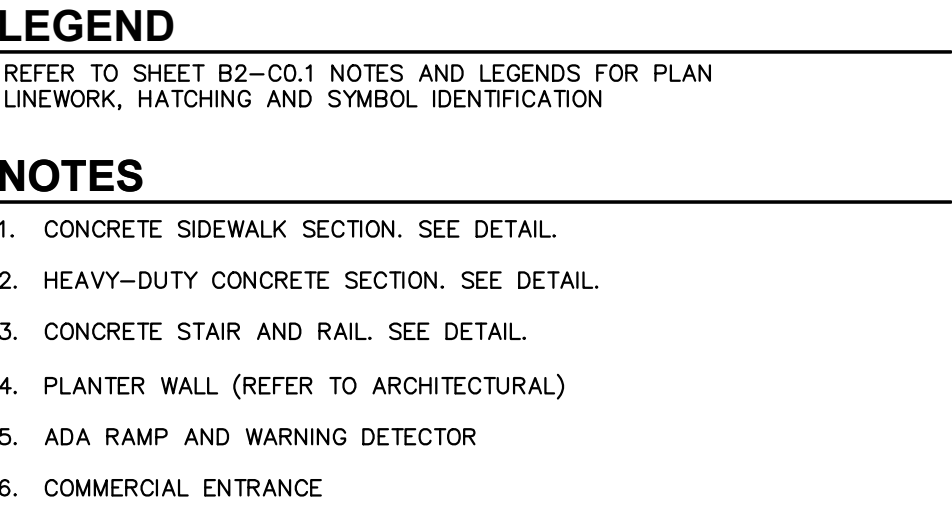
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2	02.28.2020	GMP SET
4	11.18.2020	LAND USE - UDC RESUBMITTAL
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
OVERALL SITE PLAN**

SHEET NUMBER:
B2-C1.0

JSD PROJECT NO: 19-0365



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CLIENT: **SMITH Gilbane**

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
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Design/Drawn: _____

Approved: _____

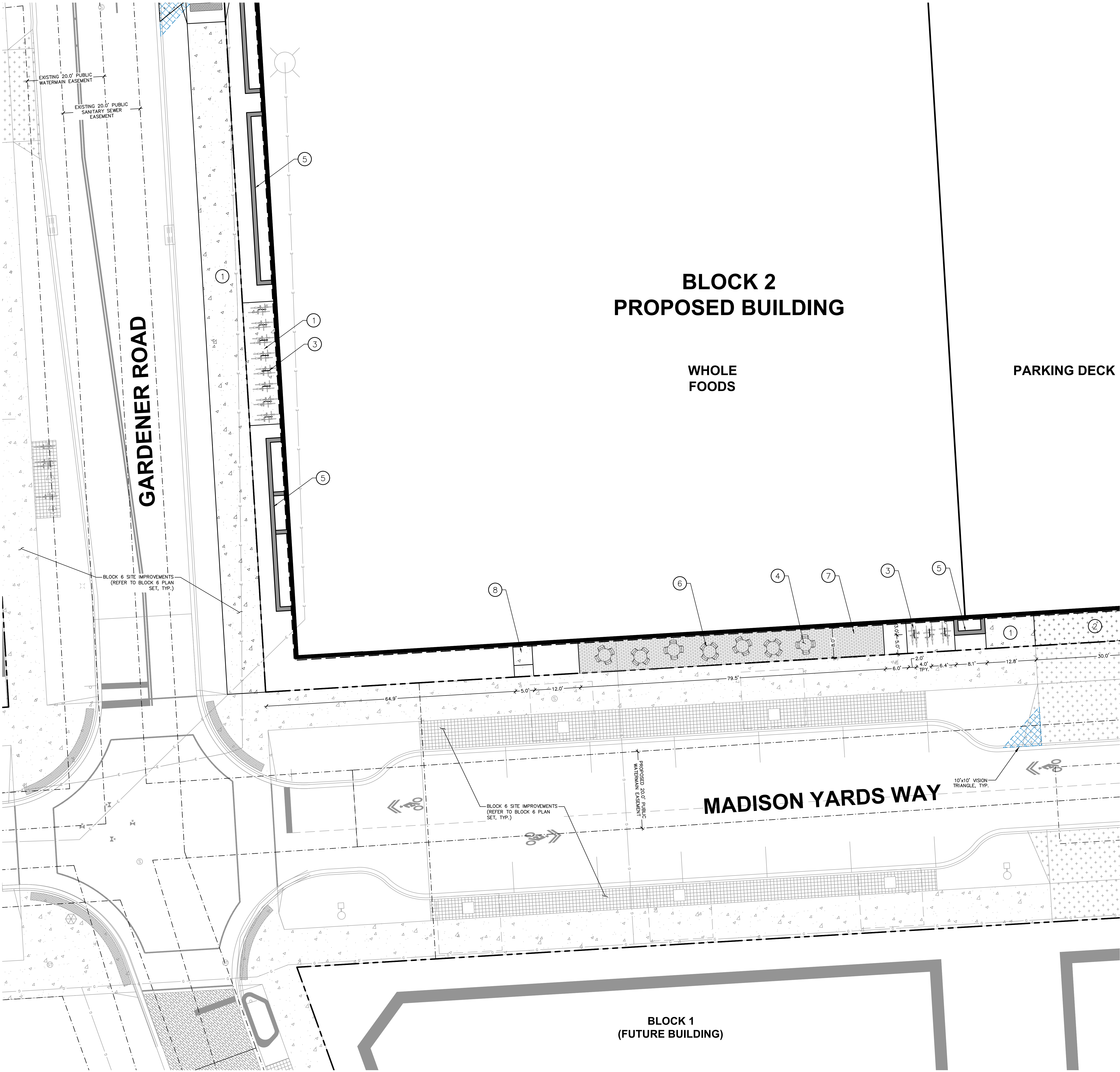
SHEET TITLE:
BLOCK 2
DETAILED SITE PLAN -
NORTHWEST

SHEET NUMBER: _____

B2-C1.1

USD PROJECT NO: 19-93

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LEGEND
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. CONCRETE SIDEWALK SECTION
2. HEAVY-DUTY CONCRETE SECTION
3. BIKE RACK W/ 2' OVERHANG
4. PAVER ON AGGREGATE BASE
5. PLANTER WALL (REFER TO ARCHITECTURAL)
6. OUTDOOR TABLES AND CHAIRS (BY WHOLE FOODS)
7. RECESSED ENTRANCE STOOP, PAVERS SHALL BE INSTALLED OVER STOOP FOUNDATION, AT GRADE WITH FINISHED FLOOR ELEVATION.
8. DOORWAY STOOP (REFER TO ARCHITECTURAL)



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CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
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MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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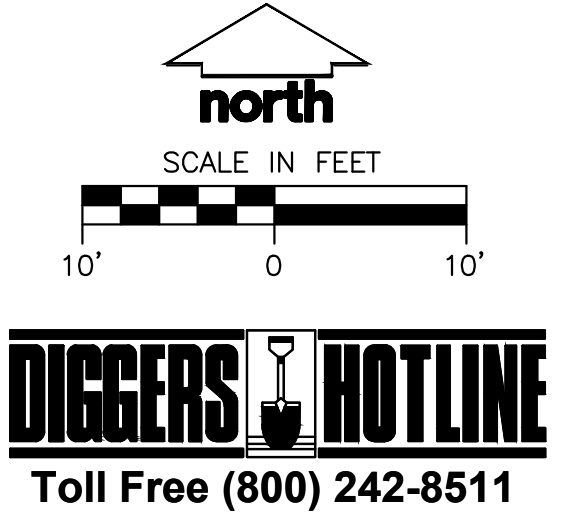
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
DETAILED SITE PLAN -
SOUTHWEST**

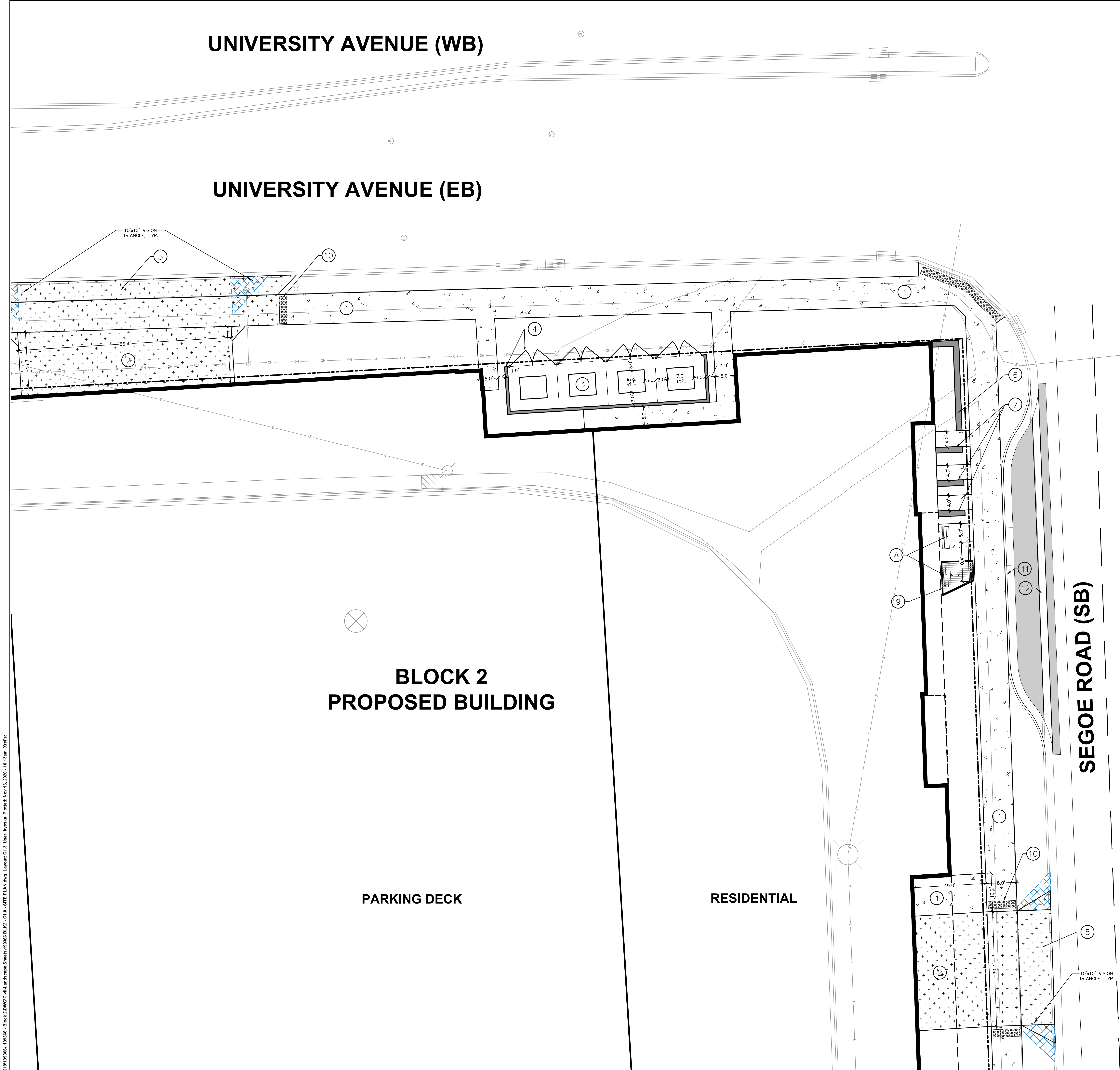
SHEET NUMBER:
B2-C1.2

JSD PROJECT NO: 19-0360



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File: L:\2019\19936\19936 - Block 2\DWG\Civil-Landscape Sheets\19936 BLK2 - C1.3 - SITE PLAN.dwg Layout: C1.3 User: Alyssa Plotter: Nov 16, 2020 - 10:3am Xrefs:



LEGEND
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. CONCRETE SIDEWALK SECTION
2. HEAVY-DUTY CONCRETE SECTION
3. TRANSFORMER AND PAD (BY MG&E)
4. APPROVED BARRIER CMU AND GATES (REFER TO ARCHITECTURAL)
5. COMMERCIAL ENTRANCE
6. RETAINING WALL (REFER TO ARCHITECTURAL)
7. 18" SEAT WALL
8. BENCH (SPECIFICATION TBD)
9. BUS SHELTER (SPECIFICATION TBD)
10. WARNING DETECTOR
11. 30" CURB AND GUTTER
12. 30" VALLEY CURB



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CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
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MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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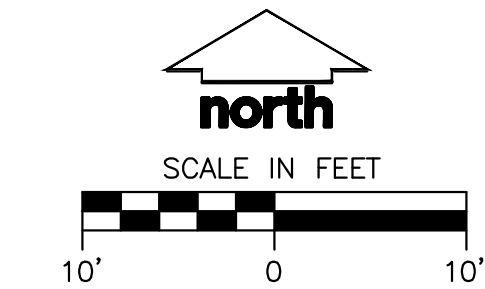
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
DETAILED SITE PLAN -
NORTHEAST**

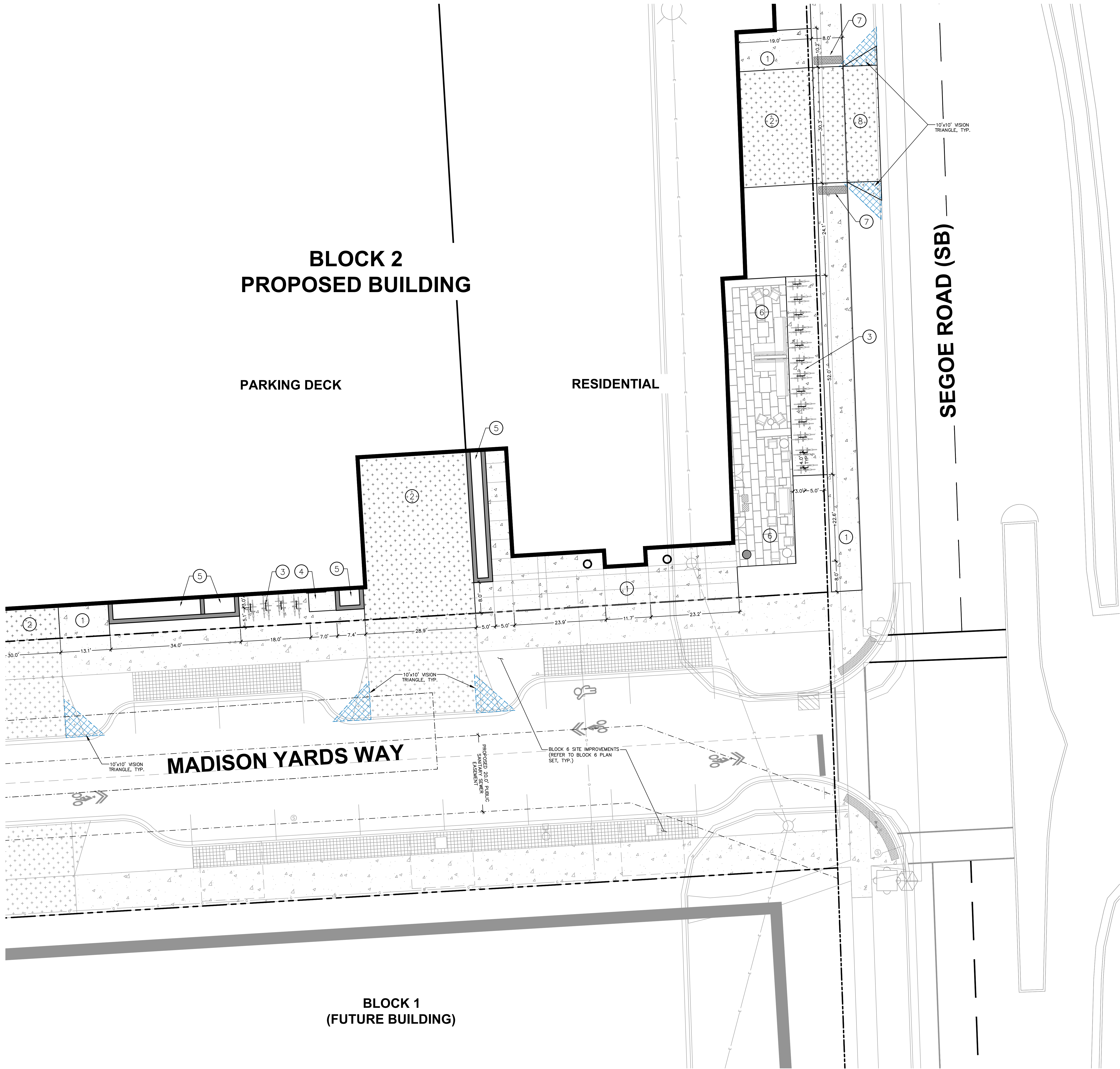
SHEET NUMBER:
B2-C1.3

JSD PROJECT NO: 19-0365



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File: 12019199298_199298 - Block 20W02ChvLandscape Sheets199298 BLK2 - C1.0 - SITE PLAN.dwg Layout: C1.0 User: Ayasha Plotter: Nov 16, 2020 - 11:24am Xrefs:



LEGEND
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. CONCRETE SIDEWALK SECTION
2. HEAVY-DUTY CONCRETE SECTION
3. BIKE RACK W/ 2' OVERHANG
4. DOORWAY STOOP (REFER TO ARCHITECTURAL)
5. PLANTER WALL (REFER TO ARCHITECTURAL)
6. PATIO (REFER TO ARCHITECTURAL)
7. WARNING DETECTOR
8. COMMERCIAL ENTRANCE

Scale bar showing 10', 0, 10'.

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PROJECT:
**MADISON YARDS AT HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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Design/Drawn:
Approved:

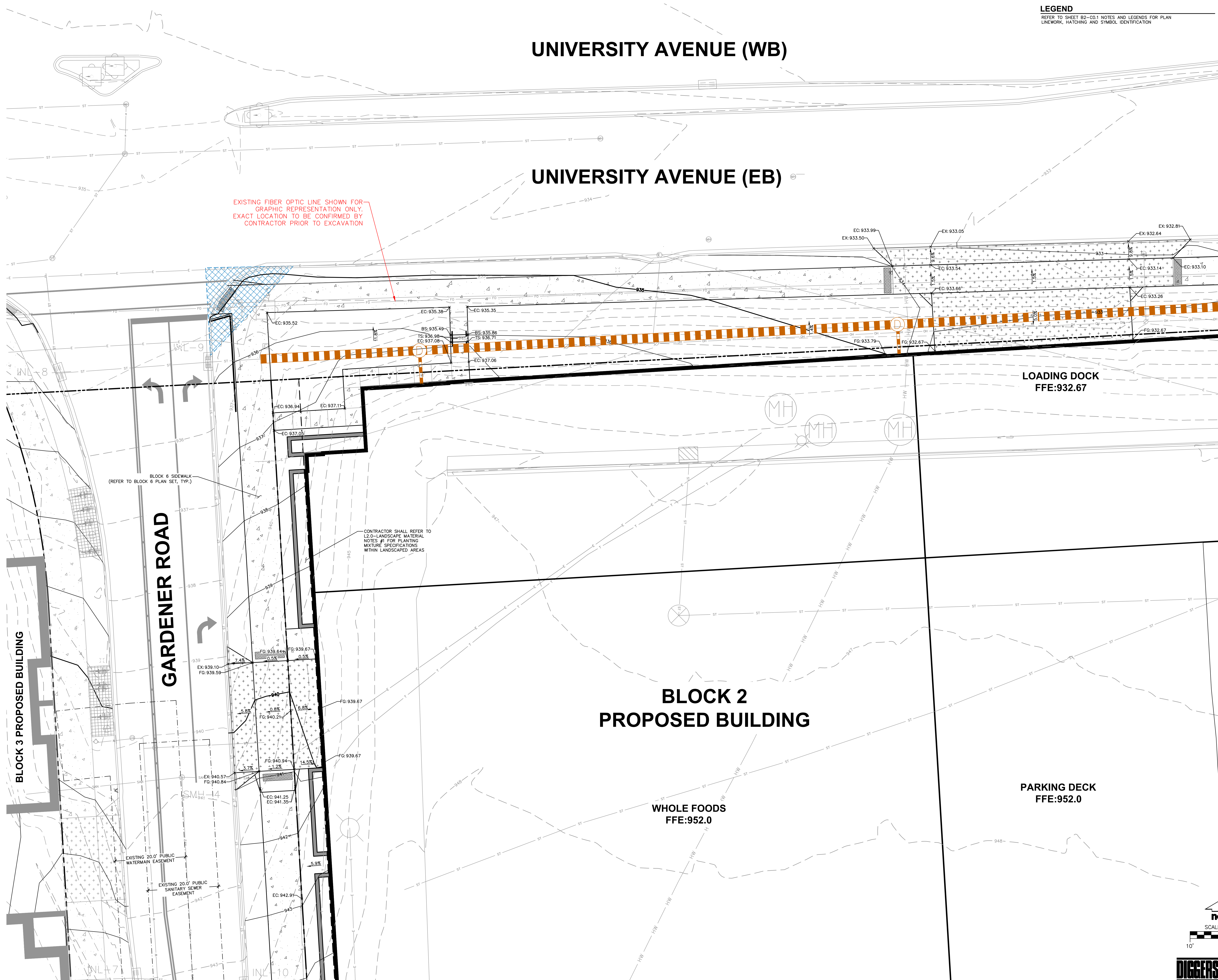
SHEET TITLE:
**BLOCK 2
DETAILED SITE PLAN -
SOUTHEAST**

SHEET NUMBER:
B2-C1.4

JSD PROJECT NO: 19-0360

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File: C:\019\19936\19936 - Block 2\DWG\Civil\Landscaping\Sheet\19936 BL2 - C2.1 - GRADING & EROSION CONTROL.dwg Layout: C2.1 User: msanders Plotted: Nov 16, 2023 1:10pm Xref's:



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LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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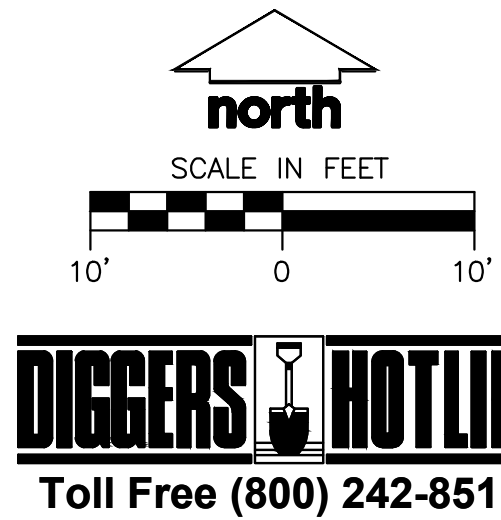
CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
**701 GARDENER ROAD
MADISON, WI 53705**

REVIEW DRAWING
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UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)

LOADING DOCK
FFE:932.67

BLOCK 2
PROPOSED BUILDING

PARKING DECK
FFE:952.0

RESIDENTIAL
FFE:951.0

SEGOE ROAD (SB)

LEGEND

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PROJECT:

MADISON YARDS AT
HILL FARMS
BLOCK 2

PROJECT LOCATION:

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MADISON, WI 53705

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Design/Drawn:
Approved:

SHEET TITLE:
BLOCK 2
DETAILED GRADING PLAN
- NORTHEAST

SHEET NUMBER:

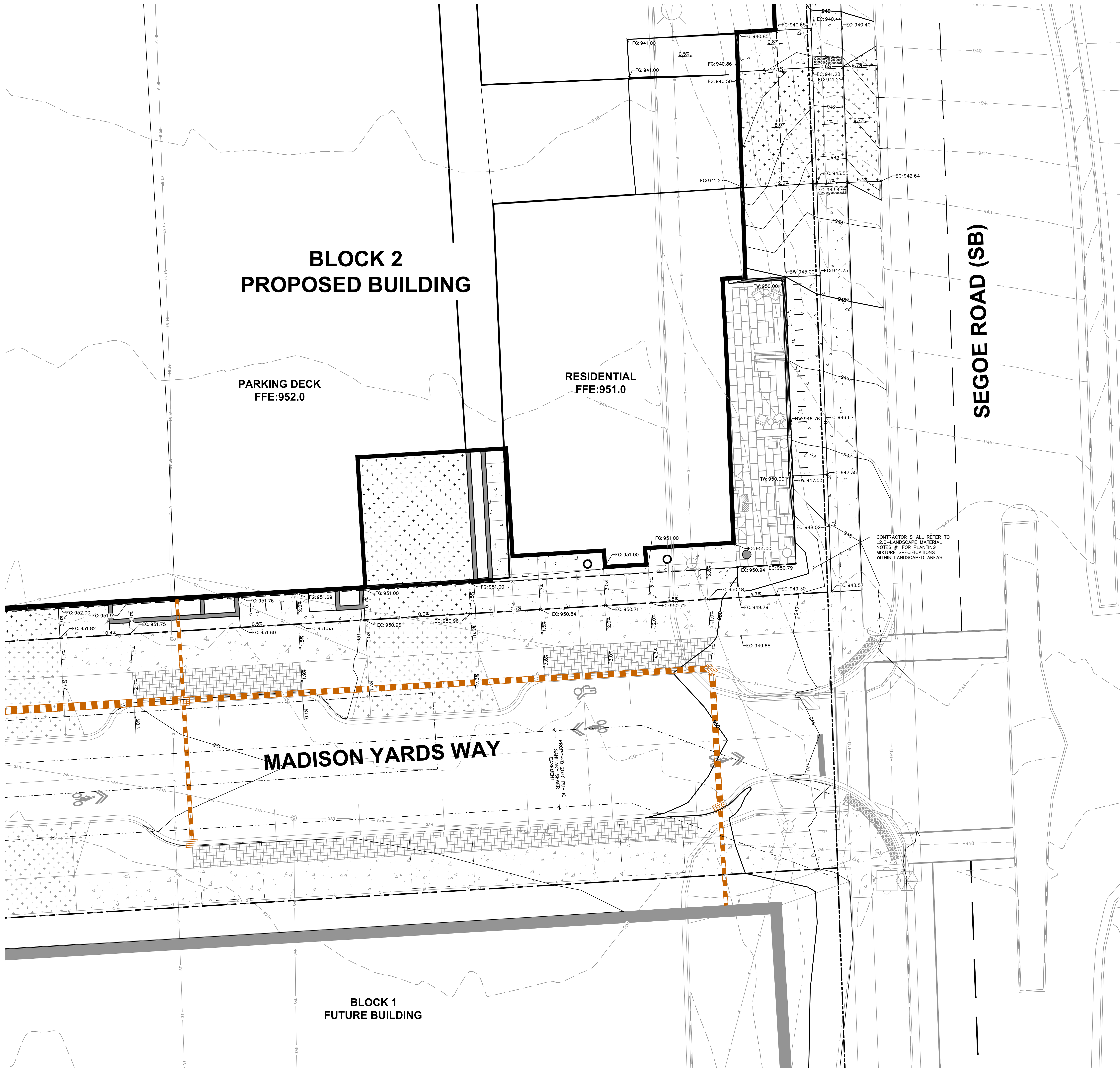
B2-C2.3

JSD PROJECT NO:

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File: L2019109326L - Block 20W0201-Landscape Sheets109326L.dwg - C2.3 - GRADING & EROSION CONTROL.dwg Layout: C2.3 User: msanderson Plotted: Nov 16, 2023 - 1:11pm Xref's:

File: 12019199368 - Block 20W02Civil-Landscape Sheets199368 BLK2 - C2.3 - GRADING & EROSION CONTROL.dwg Layout: C2.4 User: msandras Printed: Nov 16, 2023 - 1:15pm Xref's:



LEGEND
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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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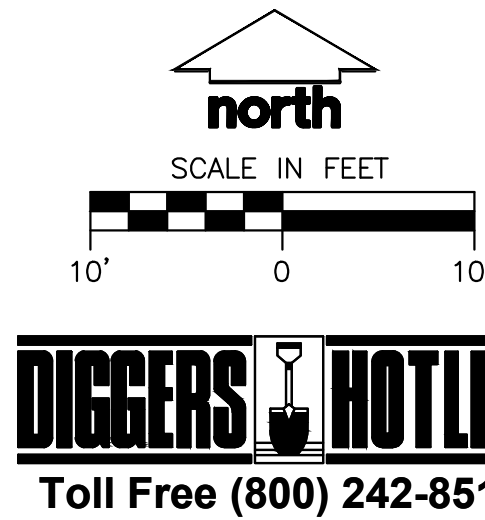
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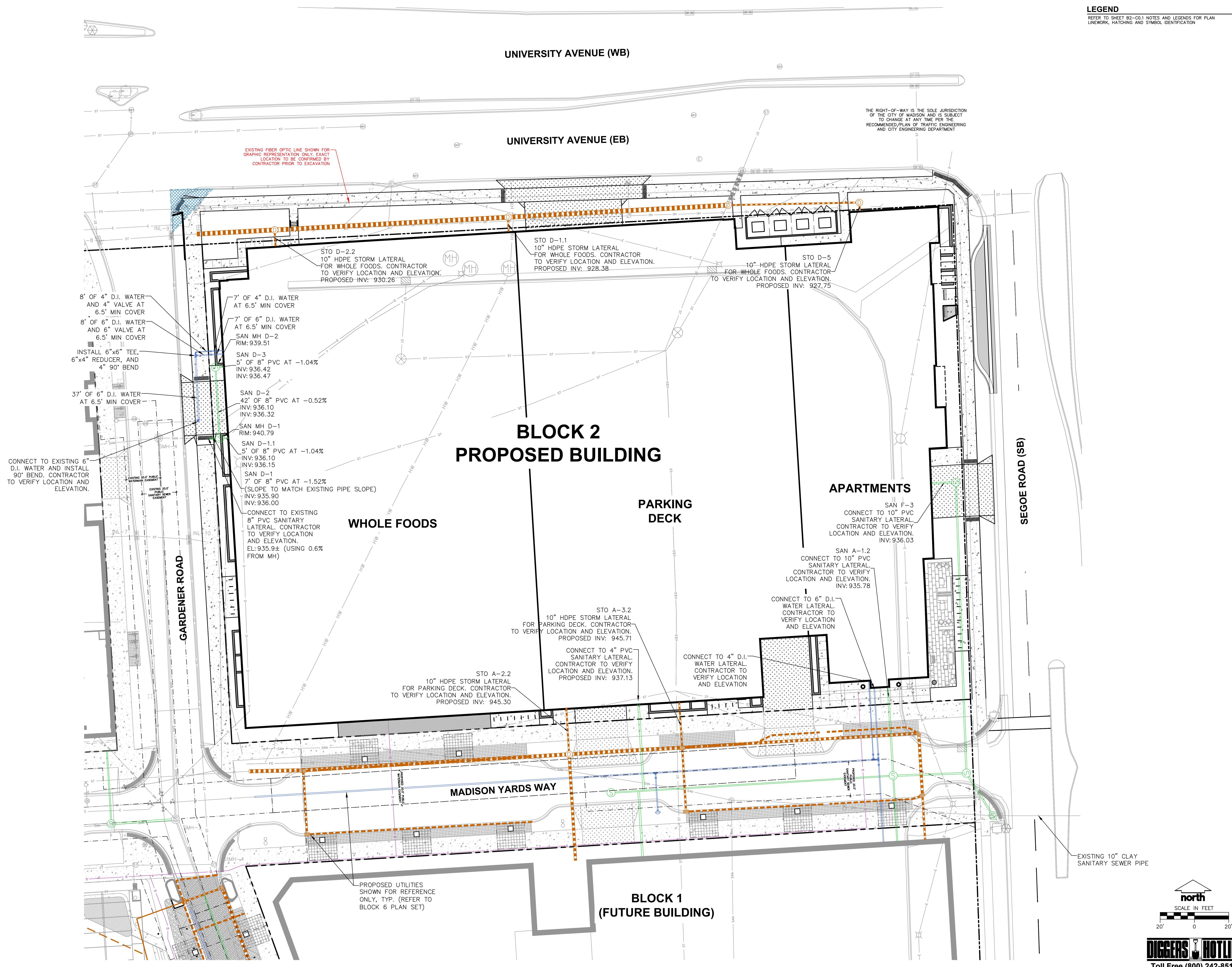
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**BLOCK 2
DETAILED GRADING PLAN
- SOUTHEAST**

SHEET NUMBER:
B2-C2.4

JSD PROJECT NO: 19-0360



File: 12016199260_19926 - Block 2 UWDC Civil Landscape Sheets 19926 BLK2 - C3.0 - UTILITY PLAN.dwg Layout: C3.0 User: mbanders Printed: Nov 16, 2020 - 4:53pm Ver: 1



LEGEND

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P. 608.848.5060

CLIENT:

SMITH Gilbane

CLIENT ADDRESS:

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MILWAUKEE, WI 53202

PROJECT:

MADISON YARDS AT
HILL FARMS
BLOCK 2

PROJECT LOCATION:

701 GARDENER ROAD
MADISON, WI 53705

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Design/Drawn:

Approved:

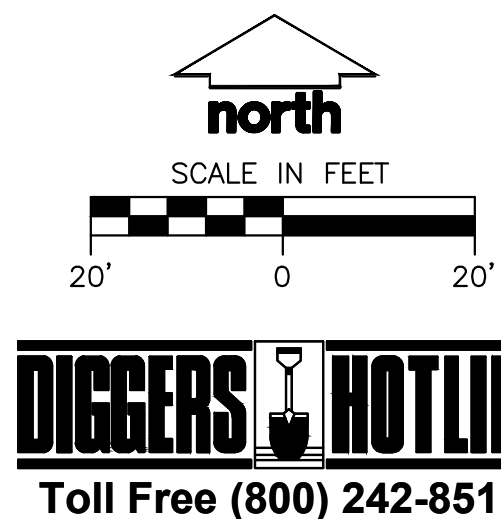
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BLOCK 2
UTILITY PLAN

SHEET NUMBER:

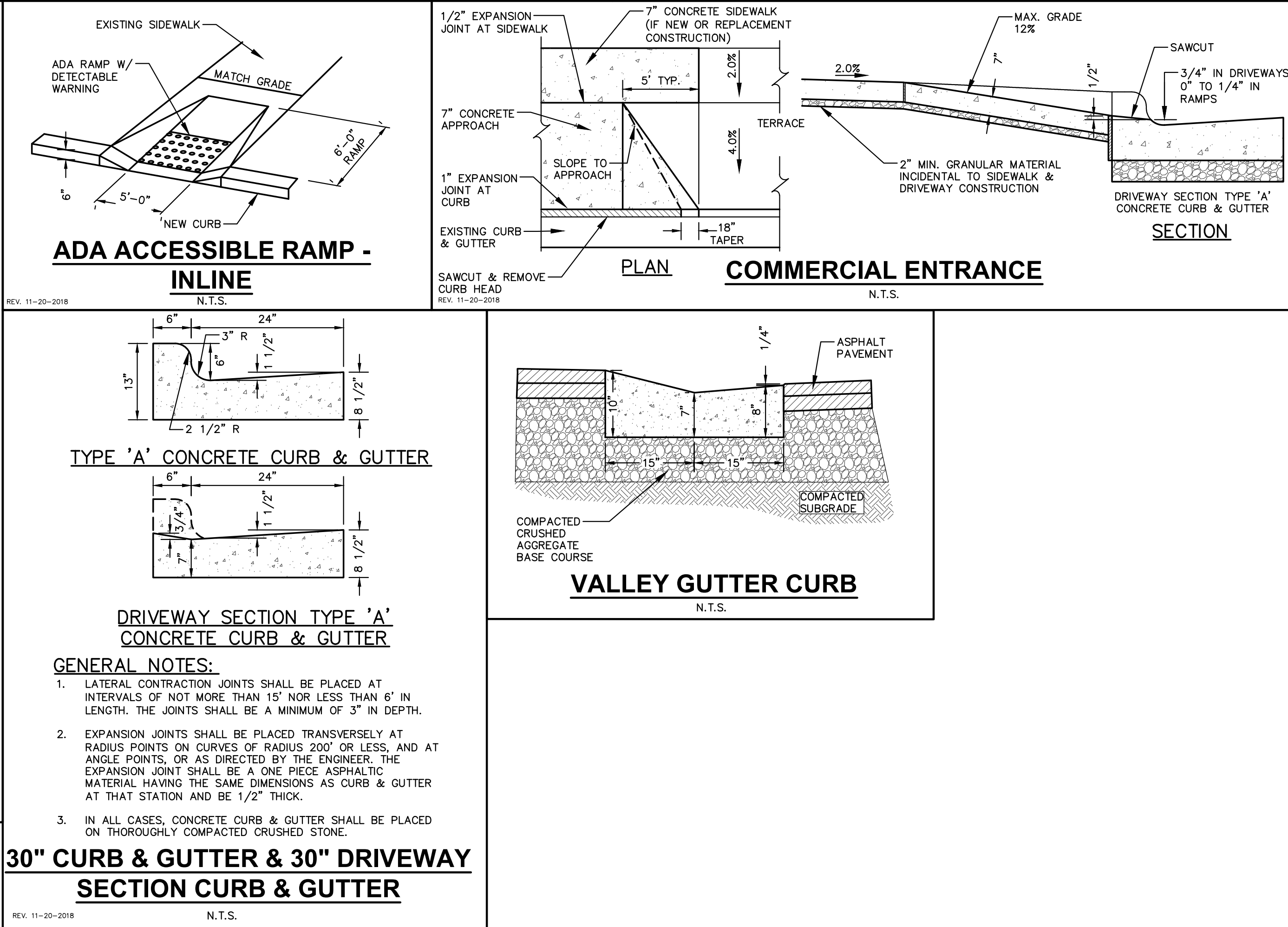
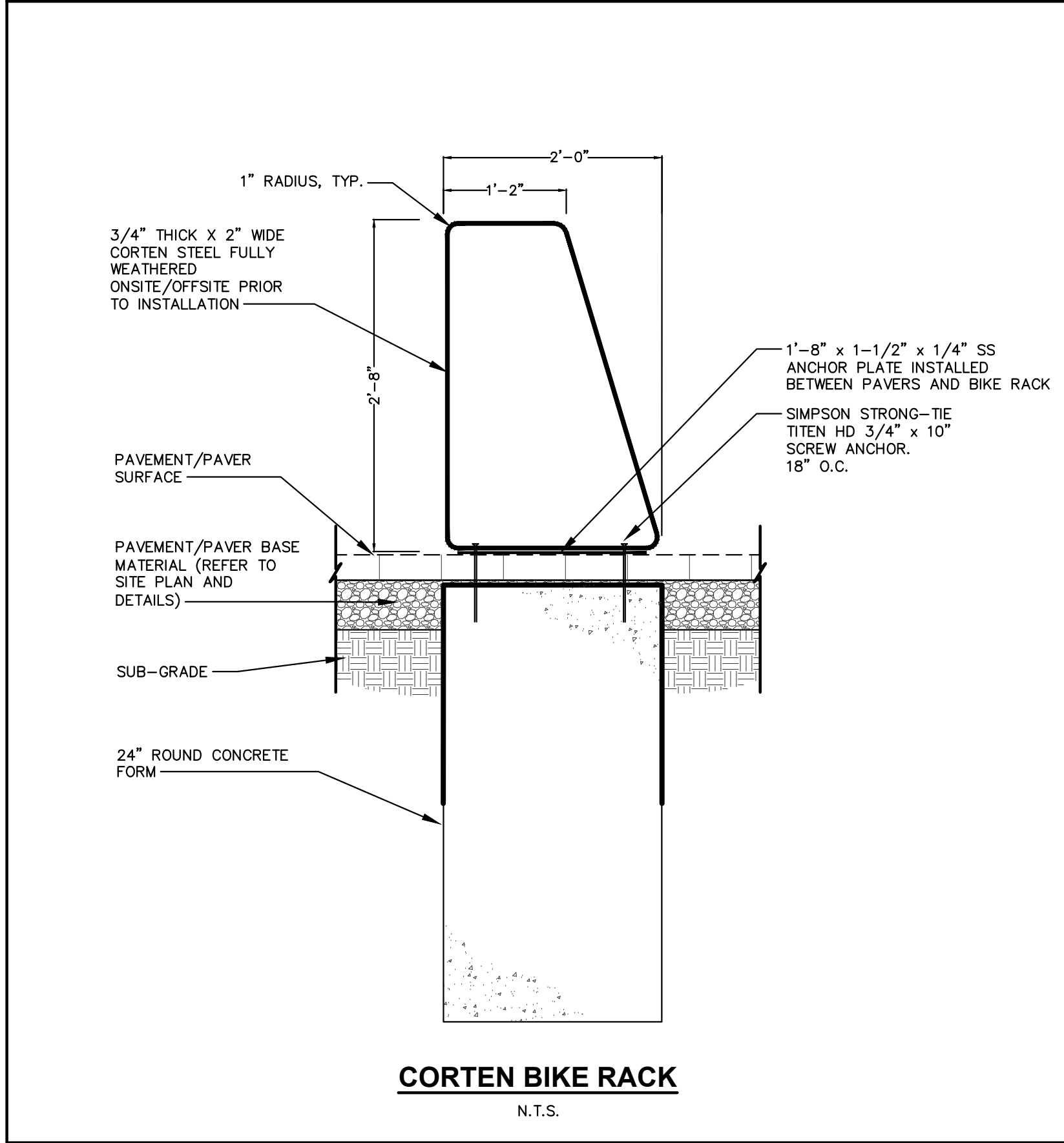
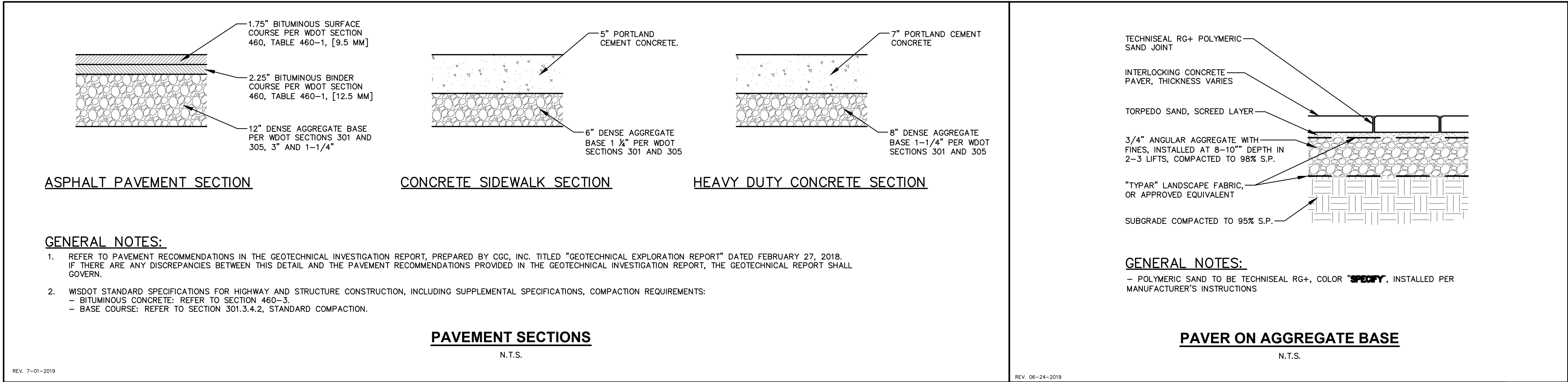
B2-C3.0

JSD PROJECT NO:

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File: C:\2019\19936\19936 - Block 2\DWG\Civil\Landscape Sheets\19936 BLK2 - C4.dwg - DETAILS.dwg Layout: C4.1 User: msanderson Printed: Nov 13, 2025 - 12:02pm Kcfr:



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
**701 GARDENER ROAD
MADISON, WI 53705**

REVIEW DRAWING
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FOR CONSTRUCTION

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
DETAILS - SITE**

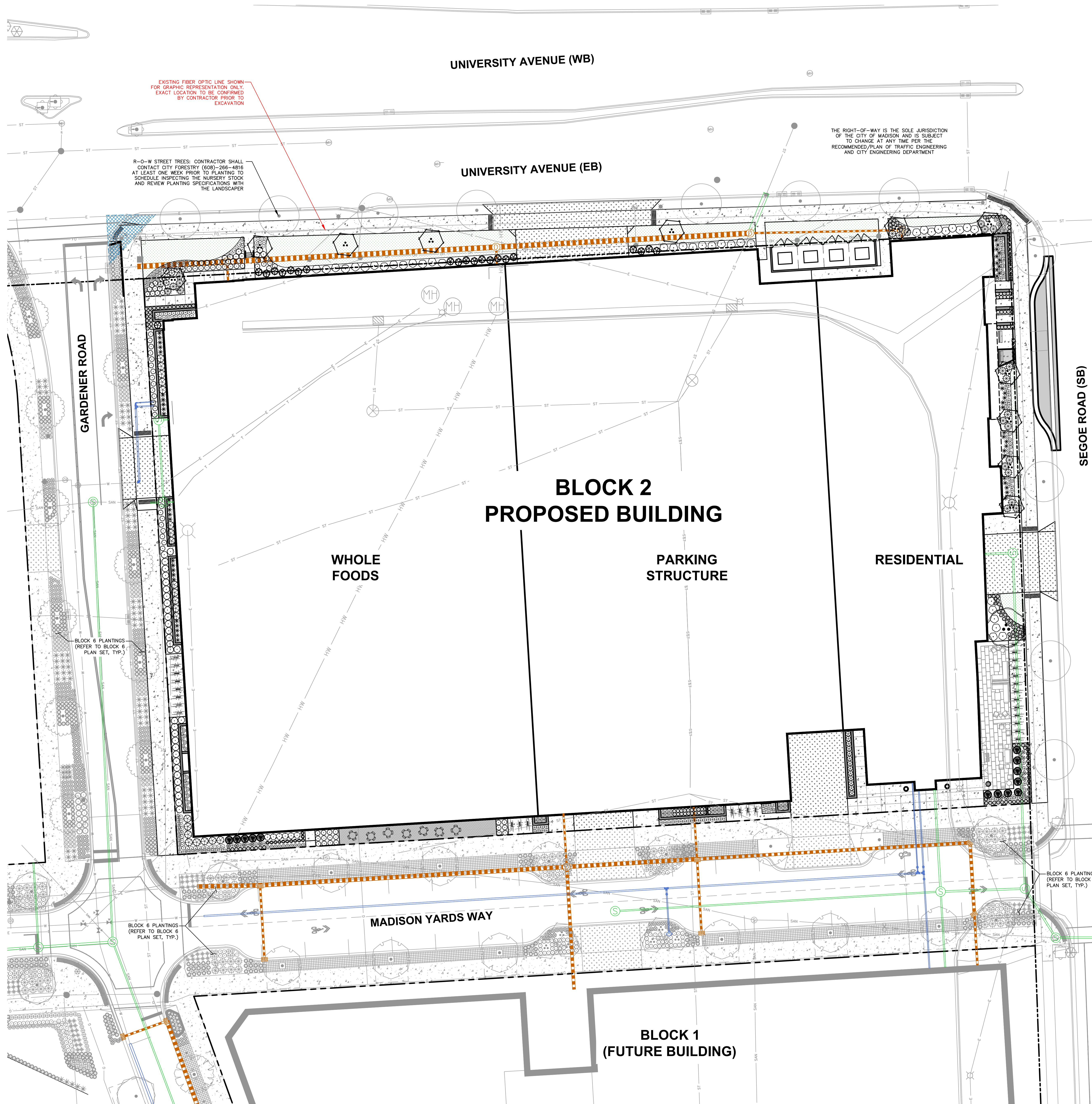
SHEET NUMBER:
B2-C4.1
JSD PROJECT NO: 19-0360



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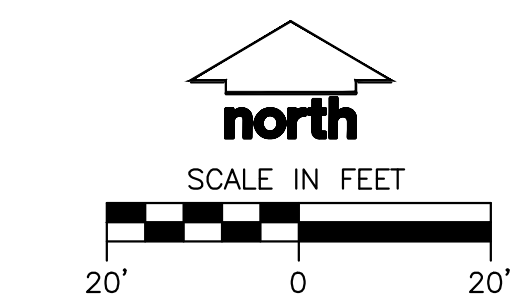
File: L201919926L - Block 20WDCW Landscape Sheets19926L L2 - L1.0 - LANDSCAPE PLAN.dwg Layout: L1.0 - OVERALL LANDSCAPE PLAN User: msmith Printed: Nov 16, 2020 - 11:58am Xref: 19-0366-BL2 MADISON YARDS - BL2



LEGEND

REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	
	AAB	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.	
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	
	PCC	Pinus cembra 'Chalet' / Chalet Swiss Stone Pine	
	THP	Thuja occidentalis 'Pyramidalis' / Pyramidalis Cedar	
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL / COMMON NAME	
	BN	Betula nigra 'BNMTF' TM / Dura Heat River Birch	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	
	AM	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	
	AMS	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry	
	CF	Cornus stolonifera 'Farrow' / Arctic Fire Dogwood	
	HB	Hydrangea paniculata 'ILVOBO' TM / Bobo Panicked Hydrangea	
	HLL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	
	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	
	PP	Pinus mugo 'Pumilio' / Mugo Pine	
	TME	Taxus x media 'Everlow' / Yew	
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	
	CMW	Calamintha nepeta 'Montrose White' / Montrose White Catmint	
	EP	Echinacea purpurea 'PAS702918' TM / PowWow White Coneflower	
	EF	Echinacea x 'Firebird' / Firebird Coneflower	
	ET	Echinacea x 'Tiki Torch' / Coneflower	
	GT	Geranium x 'Tiny Monster' / Tiny Monster Geranium	
	LK	Liatris spicata 'Kobold' / Spike Gayfeather	
	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass	
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass	
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower	
	SNC	Salvia nemorosa 'Caradonna' / Cordonna Perennial Salvia	
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	



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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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Design/Drawn: MWS
Approved: KJV

SHEET TITLE:
**BLOCK 2
OVERALL LANDSCAPE
PLAN**

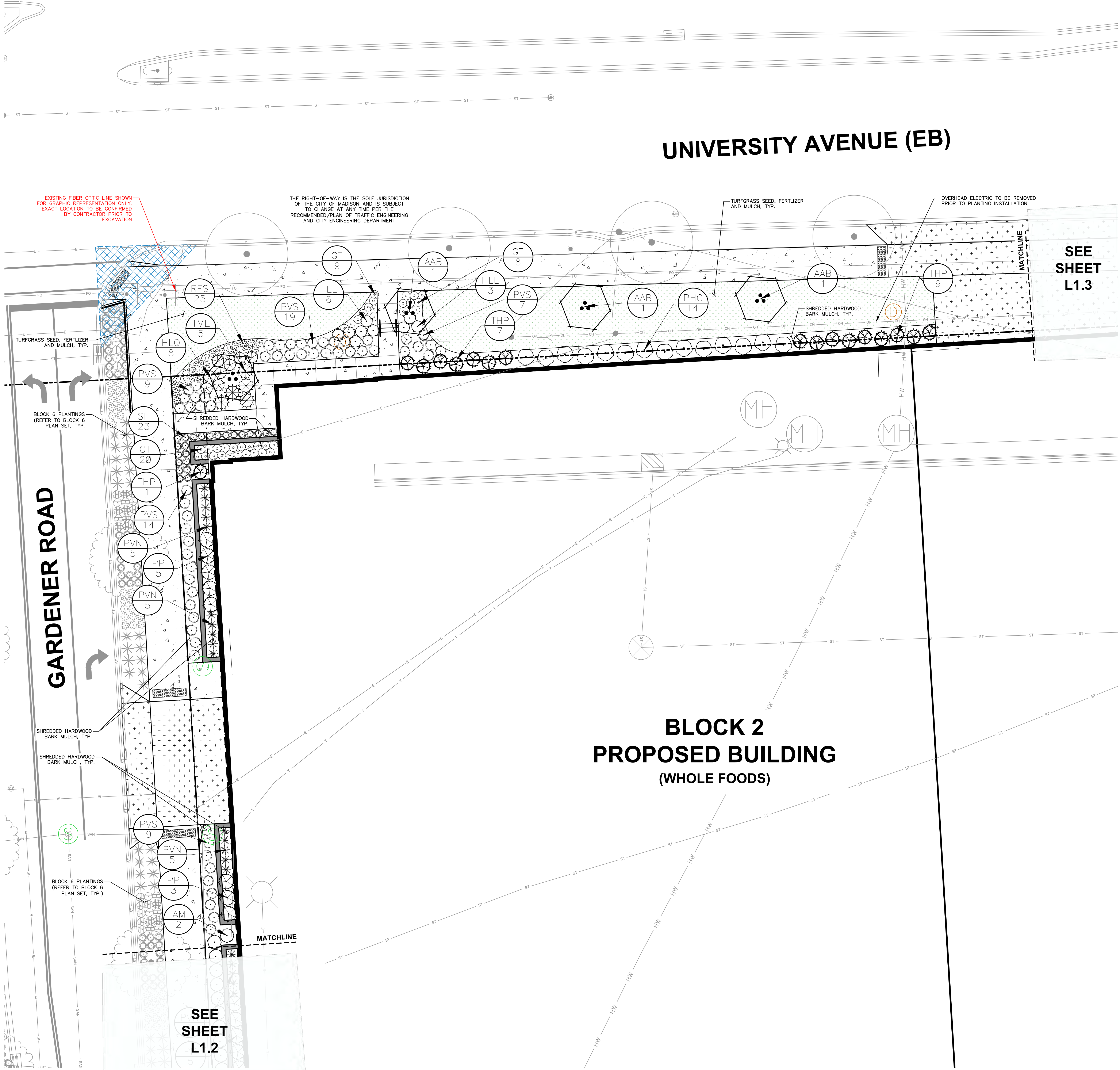
SHEET NUMBER:
B2-L1.0

JSD PROJECT NO: 19-0366

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UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)



LEGEND	
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION	
PLANT LIST	SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE
ORNAMENTAL TREES	CODE BOTANICAL / COMMON NAME
	AAB <i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.
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	THP <i>Thuja occidentalis</i> 'Pyramidalis' / Pyramidalis Cedar
OVERSTORY DECIDUOUS TREE	CODE BOTANICAL / COMMON NAME
	BN <i>Betula nigra</i> 'BNMTF' TM / Dura Heat River Birch
DECIDUOUS SHRUBS	CODE BOTANICAL / COMMON NAME
	AM <i>Aronia melanocarpa</i> 'Morton' TM / Iroquois Beauty Black Chokeberry
	AMS <i>Aronia melanocarpa</i> 'UCONNAM166' TM / Low Scape Hedger Chokeberry
	CF <i>Cornus stolonifera</i> 'Farrow' / Arctic Fire Dogwood
	HB <i>Hydrangea paniculata</i> 'ILVOBO' TM / Boba Panicked Hydrangea
	HLL <i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Hydrangea
	HLQ <i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea
	PHC <i>Physocarpus opulifolius</i> 'Center Glow' / Center Glow Ninebark
EVERGREEN SHRUBS	CODE BOTANICAL / COMMON NAME
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	TME <i>Taxus x media</i> 'Everlow' / Yew
PERENNIALS & GRASSES	CODE BOTANICAL / COMMON NAME
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	EP <i>Echinacea purpurea</i> 'PAS702918' TM / PowWow White Coneflower
	EF <i>Echinacea x 'Firebird'</i> / Firebird Coneflower
	ET <i>Echinacea x 'Tiki Torch'</i> / Coneflower
	GT <i>Geranium x 'Tiny Monster'</i> / Tiny Monster Geranium
	LK <i>Liatris spicata</i> 'Kobold' / Spike Gayfeather
	PVN <i>Panicum virgatum</i> 'North Wind' / Northwind Switch Grass
	PVS <i>Panicum virgatum</i> 'Shenandoah' / Switch Grass
	RFS <i>Rudbeckia fulgida speciosa</i> / Showy Coneflower
	SNC <i>Salvia nemorosa</i> 'Caradonna' / Cardonna Perennial Salvia
	SH <i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed

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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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Design/Drawn: MWS
Approved: KJV

SHEET TITLE:
**BLOCK 2
DETAILED LANDSCAPE
PLAN - NORTHWEST**

SHEET NUMBER:
B2-L1.1

JSD PROJECT NO: 19-0360

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UNIVERSITY AVE (WB)

UNIVERSITY AVE (EB)

BLOCK 2
PROPOSED BUILDING

PARKING STRUCTURE

RESIDENTIAL

SEGOE RD (SB)

LEGEND

REFER TO SHEET B2-CO.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST	SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AAB	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
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	THP	Thuja occidentalis 'Pyramidalis' / Pyramidalis Cedar
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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
**701 GARDENER ROAD
MADISON, WI 53705**

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Design/Drawn: MWS
Approved: KJV

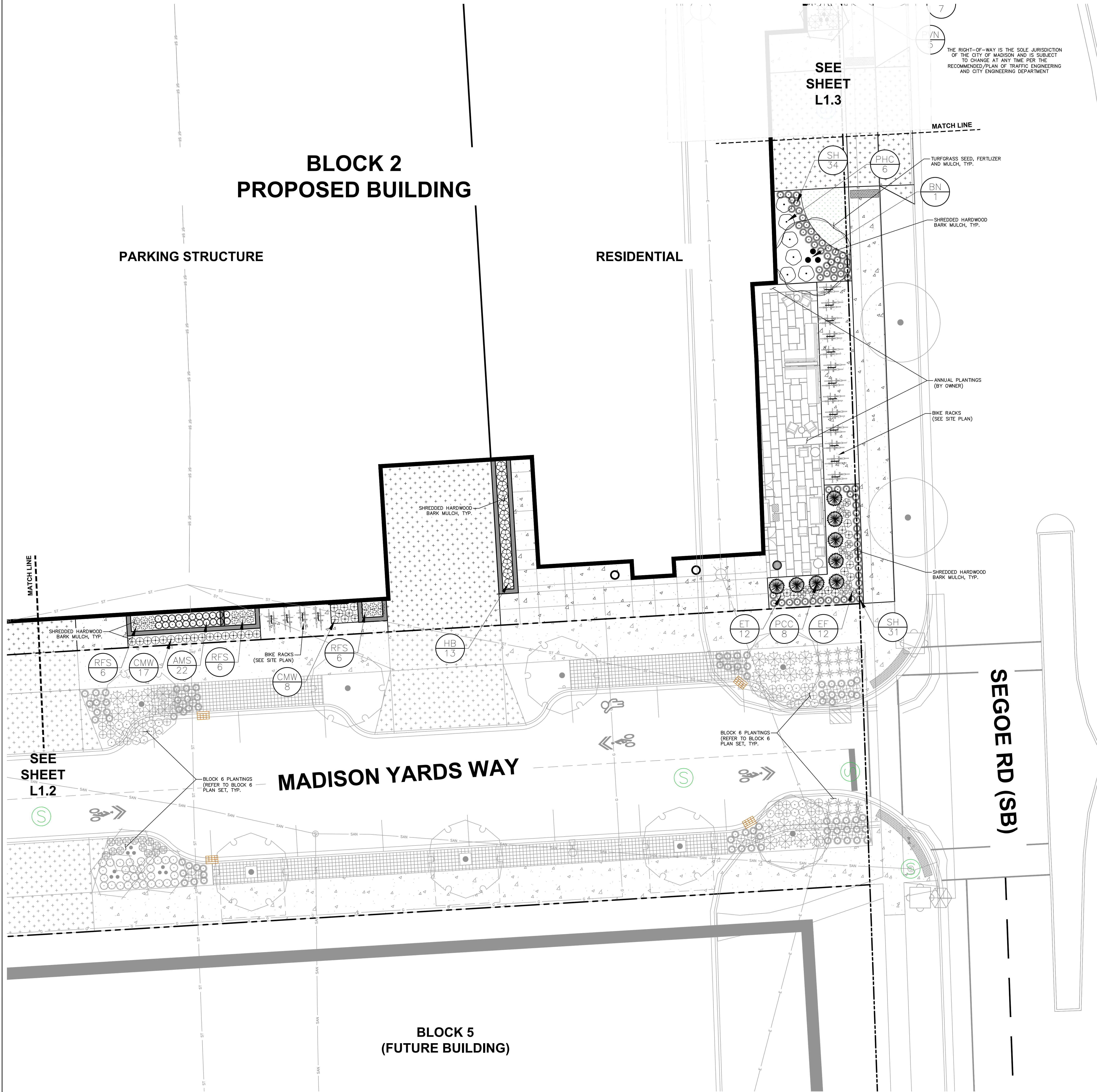
SHEET TITLE:
**BLOCK 2
DETAILED LANDSCAPE
PLAN - NORTHEAST**

SHEET NUMBER:
B2-L1.3

JSD PROJECT NO: 19-0365



File: L2019199298_199298 - Block 20WDCivil-Landscape Sheets199298 BLK2 - L1.0 - LANDSCAPE PLAN.dwg Layout: L1.4 - DETAILED LANDSCAPE PLAN - SE User: mminich Photo: Nov 16, 2020 - 12:06pm Xref's: 19-096-BLK2 MADISON YARDS - BLK2



LEGEND		
REFER TO SHEET B2-CO.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION		
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P. 608.848.5060

CLIENT:

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT
HILL FARMS
BLOCK 2

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

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Design/Drawn: MWS
Approved: KJV

SHEET TITLE:
BLOCK 2
DETAILED LANDSCAPE
PLAN - SOUTHEAST

SHEET NUMBER:
B2-L1.4

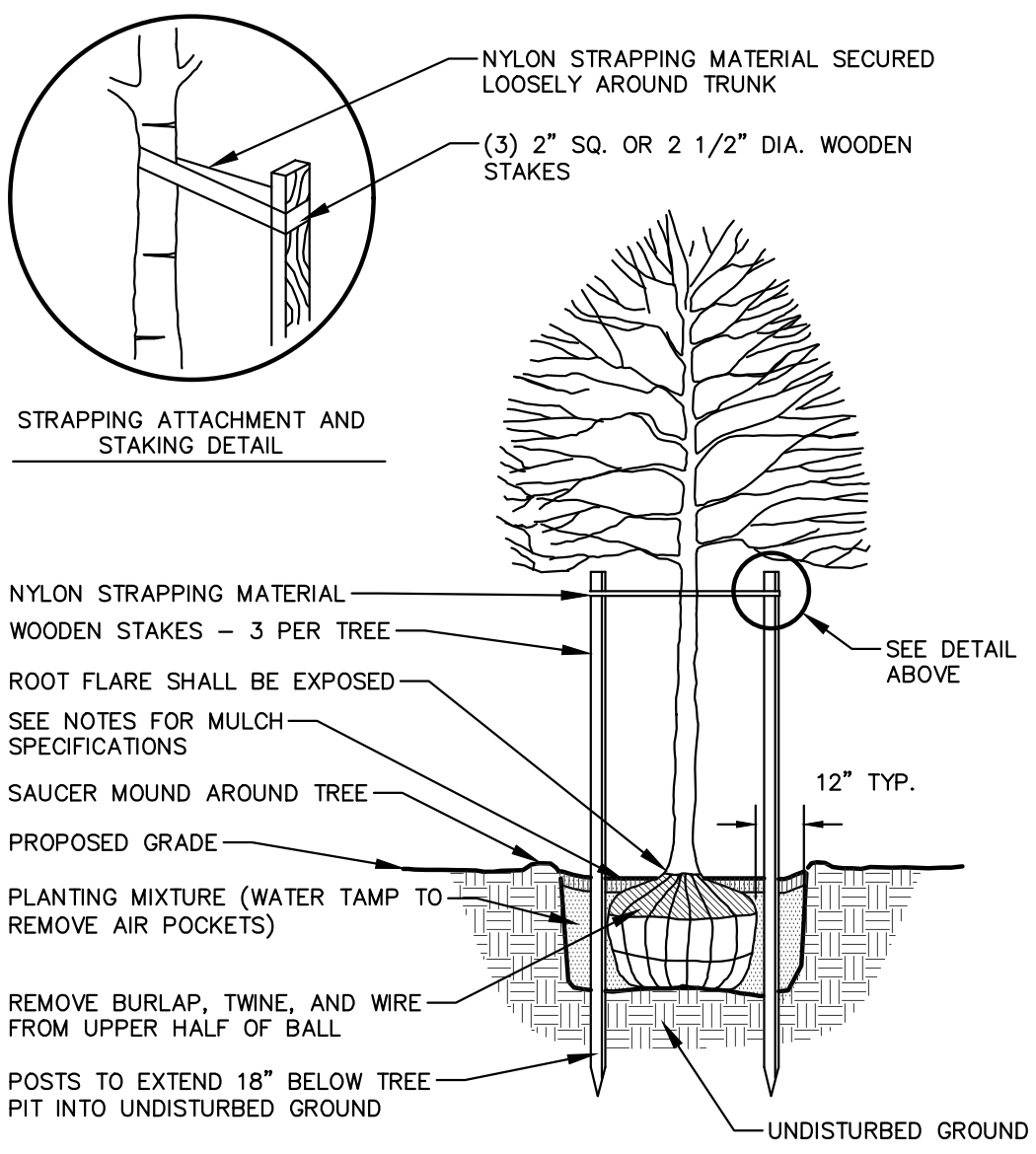
JSD PROJECT NO: 19-0360

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SCALE IN FEET

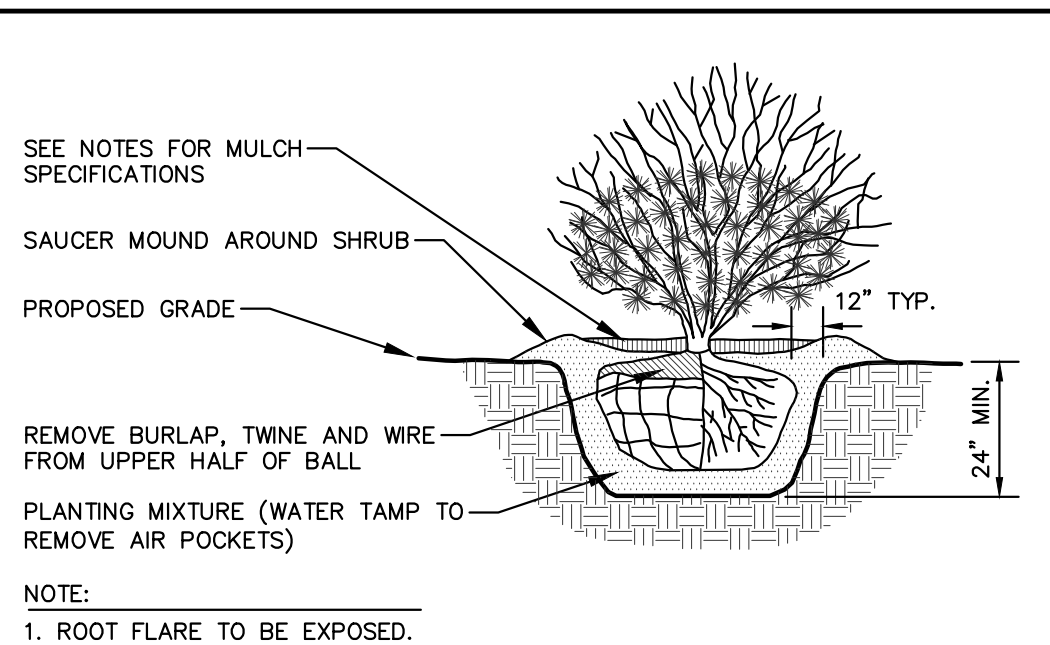
Toll Free (800) 242-8511



NOTE:
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED
2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

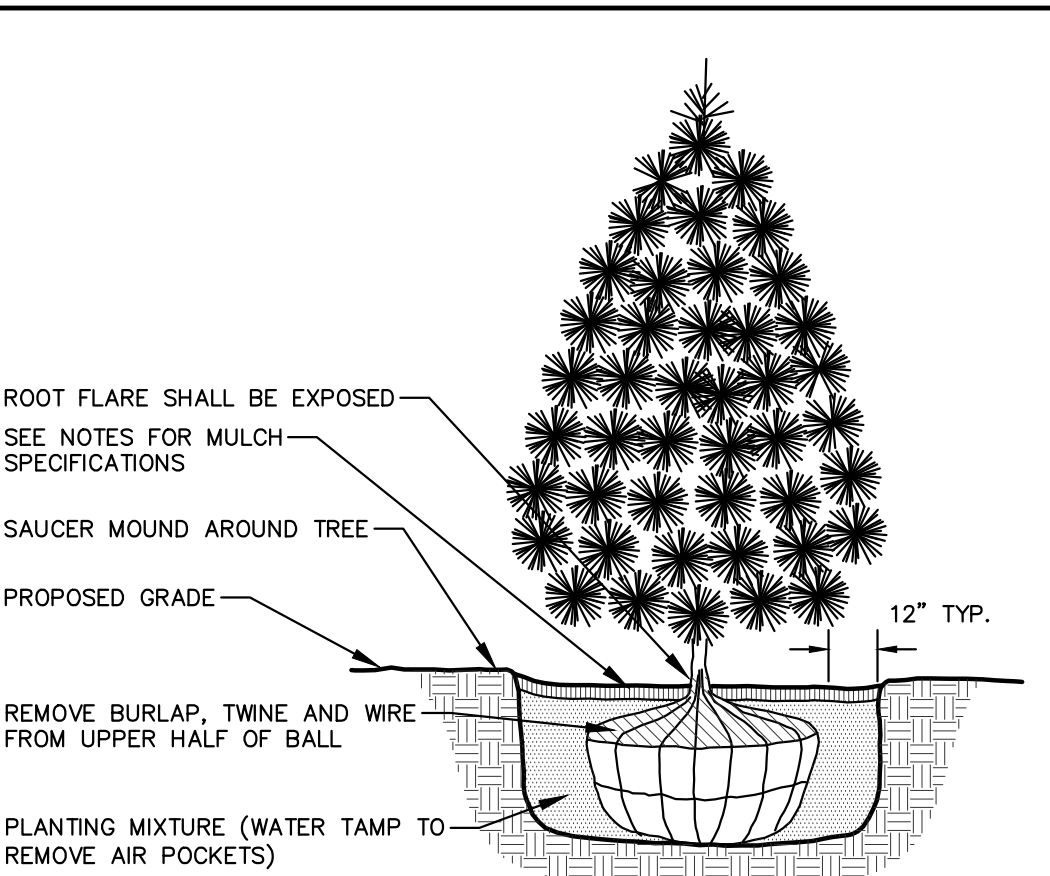
DECIDUOUS TREE PLANTING DETAIL

REV: 01-04-2019



SHRUB PLANTING DETAIL

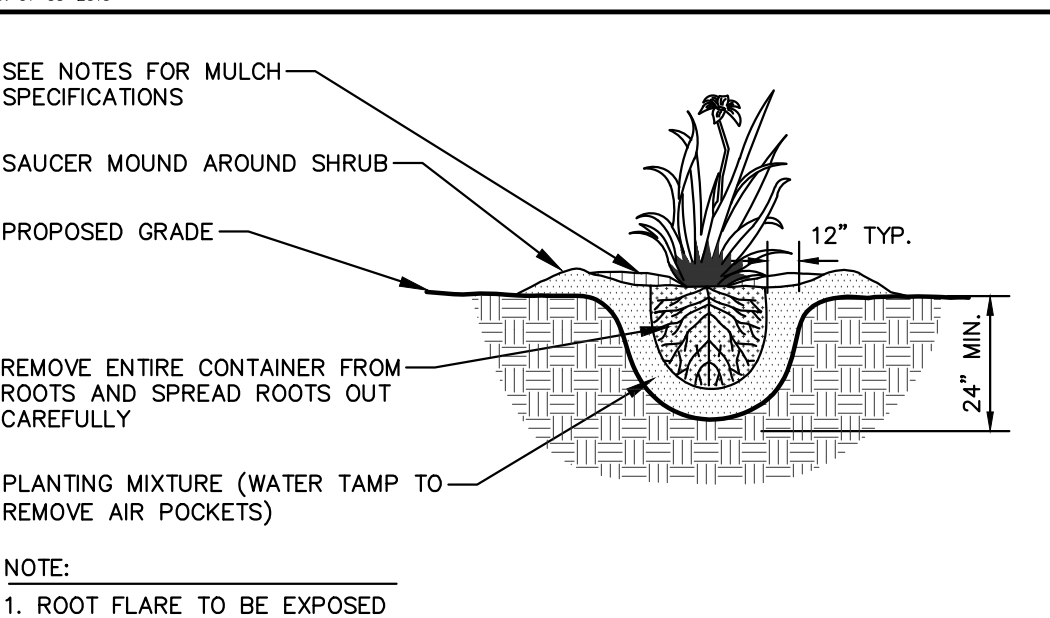
REV: 01-04-2019



NOTE:
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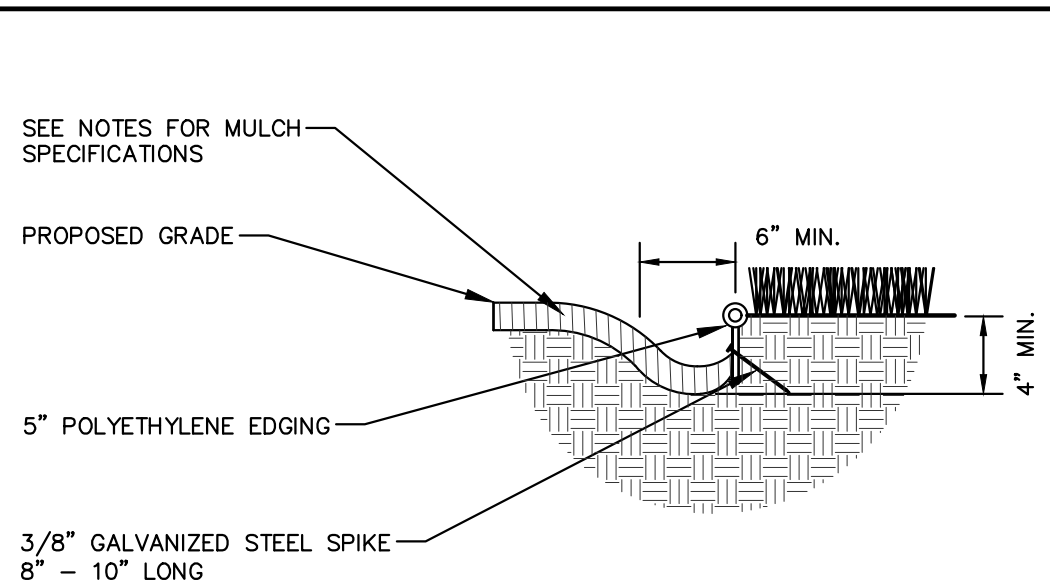
EVERGREEN TREE PLANTING DETAIL

REV: 01-03-2019



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

REV: 01-03-2019



POLYETHYLENE LANDSCAPE EDGING DETAIL

REV: 01-03-2019



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address **701 GARDENER ROAD**
Name of Project **MADISON YARDS AT HILL FARMS - BLOCK 2**
Owner / Contact **KEVIN YESKA - JSD PROFESSIONAL SERVICES**
Contact Phone **608-648-5060** Contact Email **KEVIN.YESKA@JSDINC.COM**

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 3,505 SF
Total landscape points required 58 POINTS

- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
Five (5) acres = 217,800 square feet
First five (5) developed acres = 3,630 points
Remainder of developed area _____
Total landscape points required _____

- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
Total landscape points required _____

10/2013

1

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			1	35
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			11	165
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			34	340
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			152	456
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			44	176
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			554	1,108
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						2,280

Total Number of Points Provided 2,280

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

10/2013

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COMPREHENSIVE PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	AAB	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.	B & B	1.5" min. cal.	15	11
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	PCC	Pinus cembra 'Chalet' / Chalet Swiss Stone Pine	B & B	5' Min Ht.	10	13
	THP	Thuja occidentalis 'Pyramidalis' / Pyramidalis Cedar	B & B	5' Min Ht.	10	21
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	BN	Betula nigra 'BNMTF' TM / Dura Heat River Birch	B & B	2.5" min. cal.	35	1
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	AM	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	3 gal	Min. 12"-24"	3	32
	AMS	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry	3 gal	Min. 12"-24"	3	45
	CF	Cornus stolonifera 'Farrow' / Arctic Fire Dogwood	3 gal	Min. 12"-24"	3	6
	HB	Hydrangea paniculata 'ILVOBO' TM / Boba Panicked Hydrangea	3 gal	Min. 12"-24"	3	13
	HLL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	3 gal	Min. 12"-24"	3	9
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	3 gal	Min. 12"-24"	3	8
	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	3 gal	Min. 12"-24"	3	39
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	PP	Pinus mugo 'Pumilio' / Mugo Pine	3 gal	Min. 12"-24"	4	21
	TME	Taxus x media 'Everlow' / Yew	3 gal	Min. 12"-24"	4	23
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	CMW	Calamintha nepeta 'Montrose White' / Montrase White Catmint	1 Gal	Min. 8"-18"	2	54
	EP	Echinacea purpurea 'PAS702918' TM / PowWow White Coneflower	1 Gal	Min. 8"-18"	2	9
	EF	Echinacea x 'Firebird' / Firebird Coneflower	1 Gal	Min. 8"-18"	2	17
	ET	Echinacea x 'Tiki Torch' / Coneflower	1 Gal	Min. 8"-18"	2	49
	GT	Geranium x 'Tiny Monster' / Tiny Monster Geranium	1 Gal	Min. 8"-18"	2	37
	LK	Liatris spicata 'Kobold' / Spike Gayfeather	1 Gal	Min. 8"-18"	2	12
	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass	1 Gal	Min. 8"-18"	2	53
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass	1 Gal	Min. 8"-18"	2	76
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower	1 Gal	Min. 8"-18"	2	90
	SNC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia	1 Gal	Min. 8"-18"	2	19
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	1 Gal	Min. 8"-18"	2	138

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE.
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND LOCATE ALL UTILITIES THAT ARE NOT EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA. PROTECT THE ROOT MASS WITH WET SOIL MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY. POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY, PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX-BASED ANTISEPTIC PLANT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, END AND WRAP THESE MATERIALS. ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES, QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILL WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR SHALL CONFIRM EXCAVATION AND BACKFILLING SCHEDULE WITH SITE CONTRACTOR
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE MOVEN WEED BARRIER FABRIC.
- MATERIALS - DECORATIVE STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 2-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE MOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 6" DIAMETER ABOUT THE CENTER OF THE TREE. MAINTAINING A TREE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - POLYETHYLENE EDGING: EDGING SHALL BE 8" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PROTECT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LOPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO. OR APPROVED EQUAL.
- TREE WATERING PROGRAM: BASE BID - WATERING OF ALL TREES ON A REGULAR WEEKLY BASIS. CONTRACTOR TO KEEP A LOG OR JOURNAL OF A RECORD OF DATES AND QUANTITIES OF SUPPLEMENTAL WATERING EFFORTS
ALTERNATE BID 1* - INSTALLATION OF ONE (1) WATERING BAG PER TREE. DOCUMENTATION OF WEEKLY WATERING PROGRAM REQUIRED. MATERIALS - (ALTERNATE 1): TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG" PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SEEDING NOTES

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARRIERS "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY WOODRUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
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CLIENT:

SMITH Gilbane

CLIENT ADDRESS:

241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:

MADISON YARDS AT
HILL FARMS
BLOCK 2

PROJECT LOCATION:

701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
4		
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11		
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13		
14		
15		

Design/Drawn: MWS
Approved: KJV

SHEET TITLE:
**BLOCK 2
LANDSCAPE DETAILS &
NOTES**

SHEET NUMBER:

B2-L2.0

JSD PROJECT NO:

19-0366



Toll Free (800) 242-8511