Sketch works architecture uc

4921 FEMRITE DR

SITE LOCATION

FGC FLEX BUILDING

4921 FEMRITE DR. MADISON, WI 53716

PROJECT DATA

LOCATION: 4921 FEMRITE DR

REGULATING MUNICIPALITIES: CITY OF MADISON DANE COUNTY STATE OF WISCONSIN

MADISON, WI

BUILDING CODE: CITY OF MADISON ZONING ORDINANCES DANE COUNTY ZONING ORDINANCES WISCONSIN ADMINISTRATIVE CODE 2015 INTERNATIONAL BUILDING CODE ACCESSIBILITY ANSI A117.1 - 2009

PROJECT DESCRIPTION: NEW 86,400 SF SINGLE STORY SPECULATIVE INDUSTRIAL BUILDING ON AN **EMPTY LOT**

OCCUPANCY TYPE: PRIMARY: STORAGE SECONDARY: BUSINESS

CONSTRUCTION TYPE: IIB - NON-COMBUSTIBLE

ALLOWABLE BUILDING AREA & HEIGHT: MAXIMUM HEIGHT ABOVE GRADE PLANE = [XX] FEET (IBC TABLE 504.3) MAXIMUM STORIES ALLOWED = [XX] STORIES (IBC TABLE 504.4) MAXIMUM AREA ALLOWED PER FLOOR (IBC TABLE 506.2)

= [XX,XXX] SF = [XX,XXX] SF AREA MODIFICATIONS (IBC SECTION 506) TOTAL MAXIMUM ALLOWABLE AREA PER FLOOR = [XX,XXX] SF

ACTUAL BUILDING AREA & HEIGHT: HEIGHT ABOVE GRADE PLANE = 1 STORIES **TOTAL BUILDING AREA** = 86,400 SF

NUMBER OF OCCUPANTS (TABLE 1004.1.2): TBD BY INDIVIDUAL TENANTS

PLUMBING: TBD BY INDIVIDUAL TENANTS

FULLY SPRINKLERED BUILDING: NFPA 13

PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906.3.1) = [LOW, MOD, HIGH] HAZARD TYPE = [XX] SF PER "A" MAXIMUM AREA MAXIMUM DISTANCE (TYPE [A OR B]) EXTINGUISHER RATING = [X-A:X-B:C]

(2) EXITS PROVIDED AT EACH TENANT BAY

ACCESSIBILITY: FOLLOW IBC 2015 AND ANSI 117.1 (2009)

NUMBER REQUIRED AT ABOVE RATING

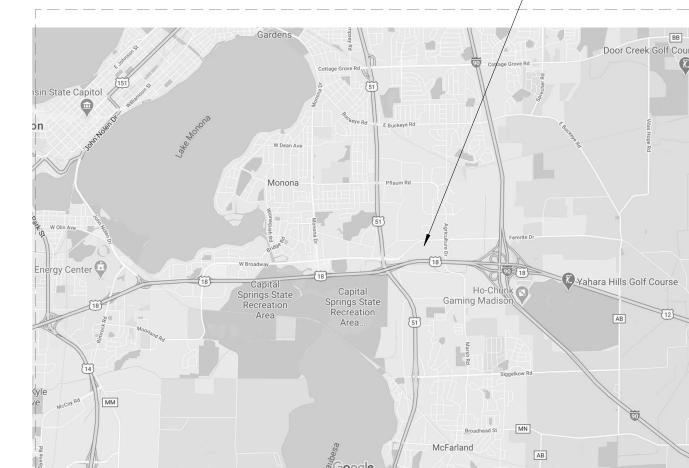
PROJECT GENERAL NOTES:

- 1. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK. ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEER(S) FOR CLARIFICATION.
- 2. DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- 3. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).
- 4. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.
- 5. JOB SITE SHALL BE BROOM SWEPT AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.
- 6. MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.
- 7. ALL MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION (MEP & FP) DESIGN AND CONSTRUCTION TO BE BY A DESIGN-BUILD DELIVERY METHOD AND ARE SUBSEQUENTLY NOT PART OF THESE DOCUMENTS. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESIGN, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.
- 8. HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.
- 9. WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH.
- 10. ALL EXPOSED WOOD AND/OR WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- 11. PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED
- 12. PROVIDE FIRE BLOCKING THROUGHOUT BUILDING PER IBC 717.2.
- 13. SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND

| | SHEET INDEX | | | |
|----------------|-------------------------------|-----------|------|--|
| SHEET | | REVISIONS | | |
| NUMBER | SHEET NAME | MARK | DATE | |
| GENERAL | | | | |
| G001 | COVER SHEET | | | |
| CIVIL | | | | |
| C201 | SITE PLAN | | | |
| C301 | GRADING PLAN | | | |
| L101 ARCHITEC | LANDSCAPING PLAN TURAL | | | |
| A101 | OVERALL FLOOR AND ROOF PLANS | | | |
| A101A | FLOOR PLAN AREA A & D (REV A) | | | |
| A101B | FLOOR PLAN AREA B & C (REV B) | | | |
| A201 | EXTERIOR ELEVATIONS | | | |
| A202 | EXTERIOR ELEVATIONS | | | |
| A901 | BUILDING 3D | | | |
| ELECTRIC/ | AL | | | |
| ES101 | SITE LIGHTING PLAN | | | |
| | | , | | |
| Z0 | DEPTH CUEING EXAMPLES | | | |
| | | | | |

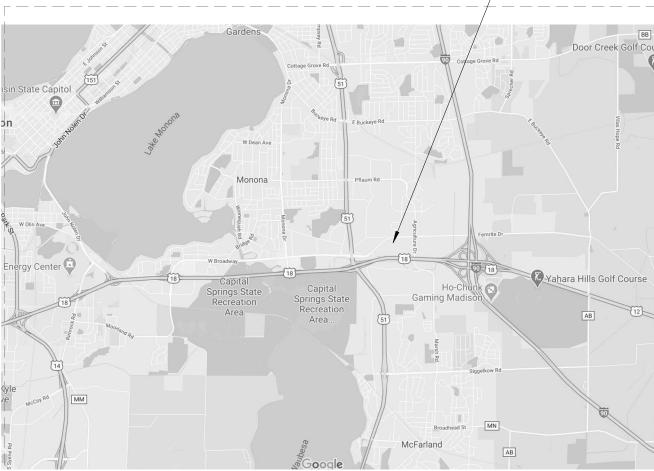
| | ALTERNATE BIDS | | | | |
|---|-----------------|-------------|--|--|--|
| # | SHEET NUMBER | DESCRIPTION | | | |
| 1 | A103 | ABC | | | |
| | | | | | |
| 3 | A101 | GHI | | | |
| 3 | A102 | GHI | | | |
| | | | | | |
| 4 | A101 | JKL | | | |
| 4 | A102 | JKL | | | |
| | | 1 | | | |
| 5 | A103 | MNO | | | |

PROJECT LOCATION



BUILDING LOCATION







Project Status UDC REVIEW 12/09/2020 UDC REVISED

BUILDING

EX

DR. 3716

20001-01 PROJ. #:

© SKETCHWORKS **ARCHITECTURE 2020**

COVER SHEET

PROJECT CONTACTS:

4916 E BROADWAY MADISON, WI 53716

TYLER MARKS (OWNER)

CONTACT:

866-432-1711

ARCHITECT: WISCONSIN DATA PARTNERS LLC SKETCHWORKS ARCHITECTURE, LLC **7780 ELMWOOD AVE., STE 208** MIDDLETON, WI 53562

GENERAL CONTRACTOR: NEWCOMB CONSTRUCTION INC 999 FOURIER DR STE 102 MADISON, WI 53717

CONTACT:

608-833-5220

WYSER ENGINEERING 312 EAST MAIN ST MOUNT HOREB, WI 53572 CONTACT: BRET NEWCOMB (OWNER) **WADE WYSE (OWNER)**

CIVIL ENGINEER:

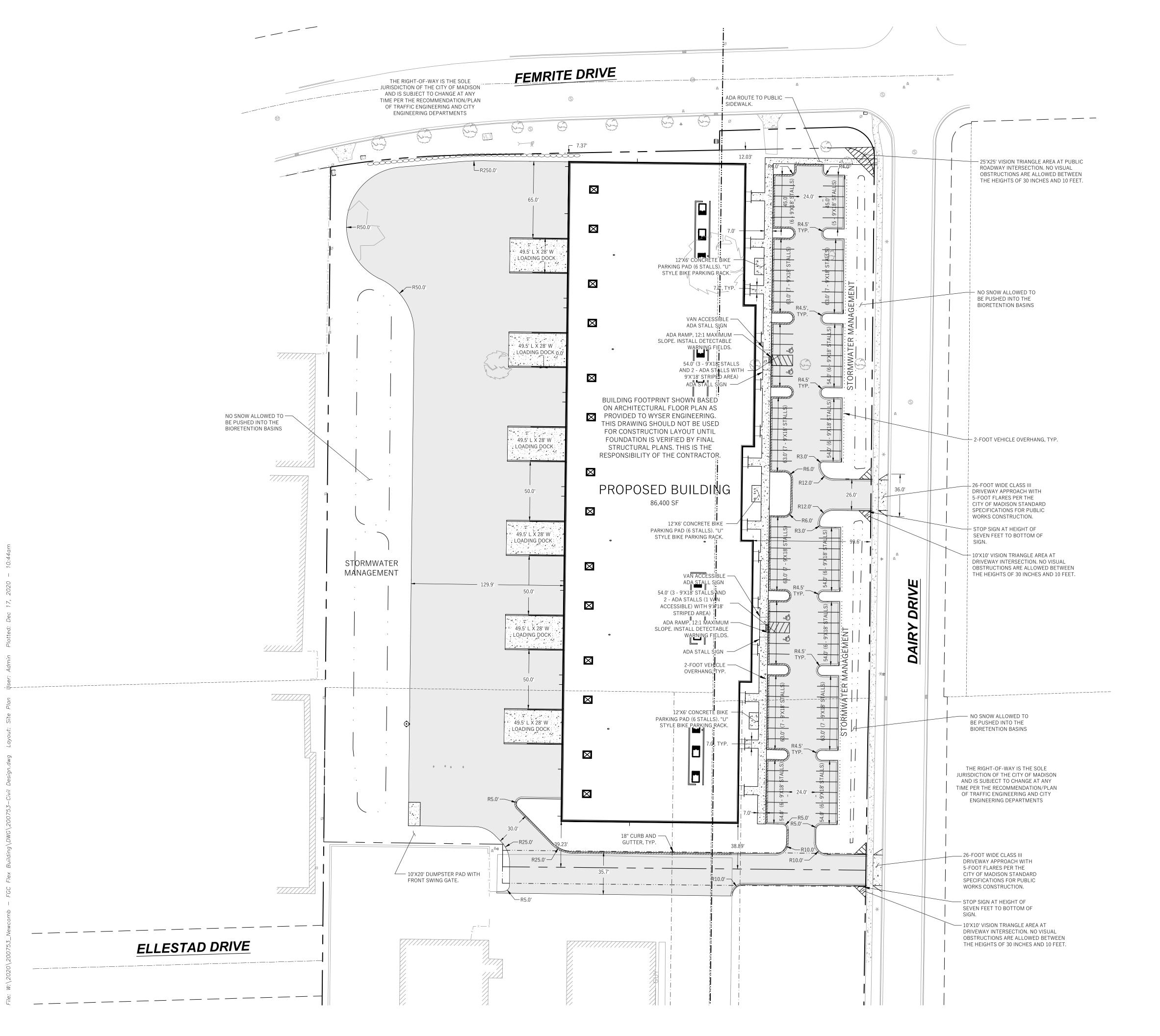
608-437-1980

LANDSCAPE ARCHITECT: BRUCE COMPANY 2830 PARMENTER ST MIDDLETON, WI 53562

CONTACT: RICH STROHMENGER (CONTACT) 608-410-2284

STEVE SHULFER (ARCHITECT) KIRK BIODROWSKI (PM) 608-836-7570

PRELIMINARY G001



LEGEND (PROPOSED)

| LEGEND (PROPOS | (ED) | _ |
|----------------|-------------------------------|--------------|
| | PROPERTY BOUNDARY | |
| · · | EASEMENT | \leftarrow |
| | BUILDING FOOTPRINT | |
| | 18" CURB AND GUTTER | NOF |
| | 18" REJECT CURB AND GUTTER | |
| | CURB CUT | |
| | ASPHALT PAVEMENT | |
| 4 4 | CONCRETE PAVEMENT | |
| · · · · | STORMWATER TREATMENT FACILITY | |

GENERAL NOTES

- 1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING DURING THE WEEK OF OCTOBER 26, 2020. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- 2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- 3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- 4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- 5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- 6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SITE INFORMATION BLOCK:

SITE ADDRESS: 4921 FEMRITE DRIVE SITE ACREAGE: 280,014 SQ.FT. (6.43 AC) USE OF PROPERTY: INDUSTRIAL ZONING: INDUSTRIAL LIMITED (IL) MAXIMUM LOT COVERAGE: 75%

SETBACKS: FRONT YARD: 0-FEET REAR YARD: 30-FEET SIDE YARD: 0-FEET

TOTAL NUMBER OF PARKING STALLS: 100 NUMBER OF STALLS DESIGNATED ACCESSIBLE: 4

TOTAL NUMBER OF BIKE STALLS: 18

EXISTING IMPERVIOUS SURFACE AREA: 0 SQ.FT.

NEW IMPERVIOUS SURFACE AREA: 207,563 SQ.FT. ROOFTOP: 86,506 SQ.FT. PAVED: 115,152 SQ.FT.

IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 207,563 SQ.FT.

PAVED: 115,152 SQ.FT.
SIDEWALK: 5,905 SQ.FT.

DISTURBANCE LIMITS: 280,000 SQ. FT.

IMPERVIOUS SURFACE AREA ON THE SITE: 74.1%

WYSER

| NOSIGE NO | | | | | 4921 FEMRITE DRIVE | MADISON, WI 53/16 |
|--|----------------------|--|---|--------------|------------------------|-------------------|
| Date: Description: raphic cale 0' 10' 20' 40' 60' yser umber 20-0753 et ype SPV ate ssued 12/17/2020 heet C100 | FGC FLEX BUILDING | | | | Sheet Title: SITE PLAN | |
| cale 0' 10' 20' 40' 60' yser umber 20-0753 et ype SPV ate ssued 12/17/2020 heet 1000 | | | | Description: | | |
| cale 0' 10' 20' 40' 60' yser umber 20-0753 et ype SPV ate ssued 12/17/2020 heet 1000 | | | | | | |
| cale 0' 10' 20' 40' 60' yser umber 20-0753 et ype SPV ate ssued 12/17/2020 heet 1000 | | | | | | |
| umber $20-0/53$ et ype SPV ate ssued $12/17/2020$ heet $\bigcirc 1 \bigcirc \bigcirc$ | Graphic O' 1 | | | 0' 20' | 40' | 60' |
| spe SPV ate | | | | | | |
| heet 12/17/2020 | Set Type SP | | V | | | |
| heet umber C100 | Date ssued 12, | | | |)20 | |
| | Sheet Jumber C100 | | | | | |



Plant Material List

| Broadleaf De | ciduous | | | |
|---------------|-----------|------------------------------|---------------------------------------|---------------|
| Quantity | Code Name | Common Name | Scientific Name | Planting Size |
| 1 | RPM | Redpointe Red Maple | Acer Rubrum 'frank Jr.' | 3" B&B |
| 5 | FFM | Fall Fiesta Sugar Maple | Acer Saccharum 'bailsta' | 2" B&B |
| 5 | ABS | Autumn Brill Serviceberry | Amelanchier X Grand 'autumn Brill' | 6' B&B |
| I | HRBC | Heritage River Birch (clp) | Betula Nigra 'cully' (clp) | 10' B&B |
| 2 | СНВ | Common Hackberry | Celtis Occidentalis | 2" B&B |
| 5 | TCHT | Thnls Cockspur Hawthorn (tf) | Crataegus Crus-Galli Var Iner (tf) | 2" B&B |
| 6 | SHL | Skyline Thnls Honeylocust | Gleditsia Triacan Iner 'skycole' | 2" B&B |
| 2 | CCP | Chanticleer Callery Pear | Pyrus Calleryana 'chanticleer' | 2" B&B |
| 5 | SWO | Swamp White Oak | Quercus Bicolor | 2" B&B |
| 4 | PAE | Princeton Amer Elm | Ulmus Americana 'princeton' | 2" B&B |
| Conifer Everg | green | | | |
| Quantity | Code Name | Common Name | Scientific Name | Planting Size |
| 10 | EWP | Eastern White Pine | Pinus Strobus | 5' B&B |
| 2 | TY | Taunton Yew | Taxus X Media 'tauntonii' | 18" B&B |
| 34 | TMA | Techny Arborvitae | Thuja Occidentalis 'techny' | 6' B&B |
| I | CNH | Canadian Hemlock | Tsuga Canadensis | 5' B&B |
| Perennial | | | | |
| Quantity | Code Name | Common Name | Scientific Name | Planting Size |
| 6 | GBD | Going Bananas Daylily | Hemerocallis 'going Bananas' | #I CONT. |
| 5 | PRD | Prairie Dropseed | Sporobolus Heterolepis | #I CONT. |
| Shrub | | | | |
| Quantity | Code Name | Common Name | Scientific Name | Planting Size |
| 2 | LSMC | Low Scape Mound Chokeberry | Aronia Melanocarpa 'uconnam I 65' | #3 CONT. |
| 8 | GBC | Glossy Black Chokeberry | Aronia Melanocarpa Var Elata | #5 CONT. |
| 14 | BRTD | Bailey Red Twigged Dogwood | Cornus Baileyi | #5 CONT. |
| 8 | GD | Gray Dogwood | Cornus Racemosa | #5 CONT. |
| 24 | DBH | Dwf Bush-Honeysuckle | Diervilla Lonicera | #5 CONT. |
| 1 | LHT | Limelight Hydrangea (tf) | Hydrangea Paniculata 'limelight' (tf) | 2" B&B |
| 7 | JDW | Jim Dandy Winterberry | llex Verticillata 'jim Dandy' | #5 CONT. |
| 7 | RSVV | Red Sprite Winterberry | llex Verticillata 'red Sprite' | #5 CONT. |
| 48 | GLS | Gro-Low Fragrant Sumac | Rhus Aromatica 'gro-Low' | #2 CONT. |
| 30 | BMAV | Blue Muffin Arwd Viburnum | Viburnum Dentatum 'christom' | #5 CONT. |
| | | | | |

| BIO-RETETION / INFILTRATION DEVICE PLANT LIST | | | | | | |
|--|---|--|--|--|--|--|
| Quantity | Common Name | Scientific Name | Planting Size | Plant Spacing (Total Basin Area = 7,850 SF | | |
| GRASSES AND SEDGES (Planting schedule based on 12" on center spaci | | | | | | |
| 992 992 992 992 | VIRGINIA WILD RYE SWITCH GRASS LITTLE BLUESTEM INDIAN GRASS | ELYMUS VIRGINICUS PANICUM VIRGATUM SCHIZACHYRIUM SCOPARIUM SORBASTRUM NUTANS | 2.5" POT 2.5" POT 1 2.5" POT 2.5" POT | 12" O.C. Rect. Spacing 12" O.C. Rect. Spacing 12" O.C. Rect. Spacing 12" O.C. Rect. Spacing | | |
| | FORBS | | | | | |
| 320 320 320 320 320 320 320 320 | NEW ENGLAND ASTER PURPLE CONEFLOWER FALSE SUNFLOWER WILD IRIS CARDINAL FLOWER BERGAMOT SWEET BLACK-EYED SUSAN STIFF GOLDENROD | ASTER NOVAE-ANGLIAE ECHINACEA PURPUREA HELIOPSIS HELIANTHODIES IRIS VIRGINIANA SHREVEI LOBELIA CARDINALIS MONARDA FISTULOSA RUDBECKIA SUBTOMENTOSA SOLIDAGO RIGIDA | 2.5" POT 2.5" POT 2.5" POT 2.5" POT 2.5" POT 2.5" POT 2.5" POT 2.5" POT | 12" O.C. Rect. Spacing 12" O.C. Rect. Spacing | | |

GENERAL NOTES

A) Areas labeled "Hardwood Processed Mulch", spread to a 3" depth over pre-emergent

B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive processed hardwood mulch rings (and wood mulch beds), spread to a minimum 3" depth (3' wide beds for shrub groupings).

C) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.

D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over

E) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

F) Seed shall consist of the following mixture:

10% Palmer IV Perennial Ryegrass

20% Dragon Kentucky Bluegrass

20% Diva Kentucky Bluegrass

20% Foxy II Creeping Red Fescue

15% Vail II Perennial Ryegrass 15% Ginney Kentucky Bluegrass

soil with metal staples.

G) Areas labeled "Seed/Mat" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting that is then pegged into the

H) Areas labeled "Sod" shall receive only No. I grade nursery-grown bluegrass sod.

I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.

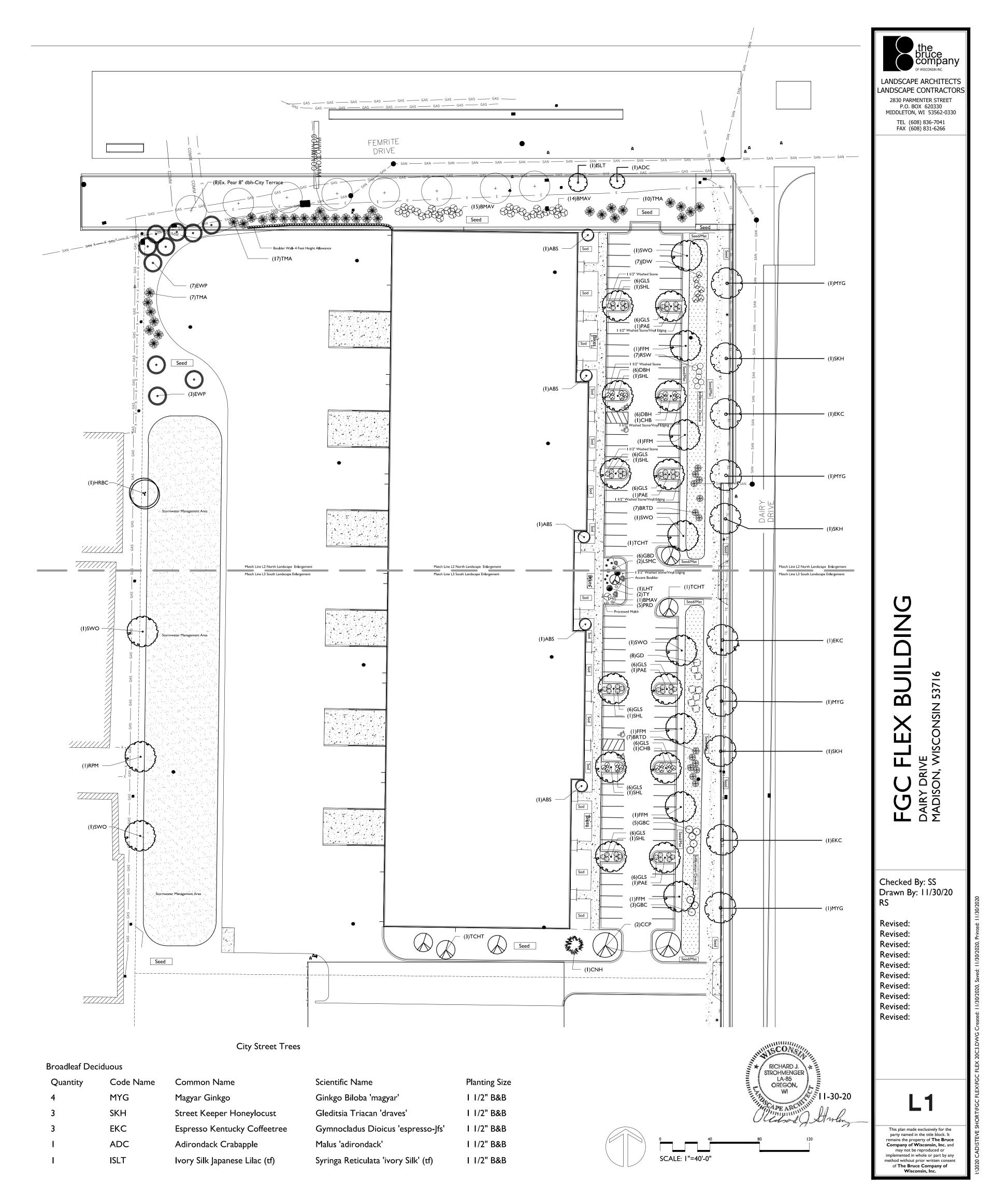
J) All proposed street tree removals within the right of way shall be reviewed by City Forestry before the Plan Commission meeting. Street tree removals require approval and a tree removal permit issued by City Forestry. Any street tree removals requested after the development plan is approved by the Plan Commission or the Board of Public Works and City Forestry will require a minimum of a 72-hour review period which shall include the notification of the Alderperson within who's district is affected by the street tree removal(s) prior to a tree removal permit being issued.

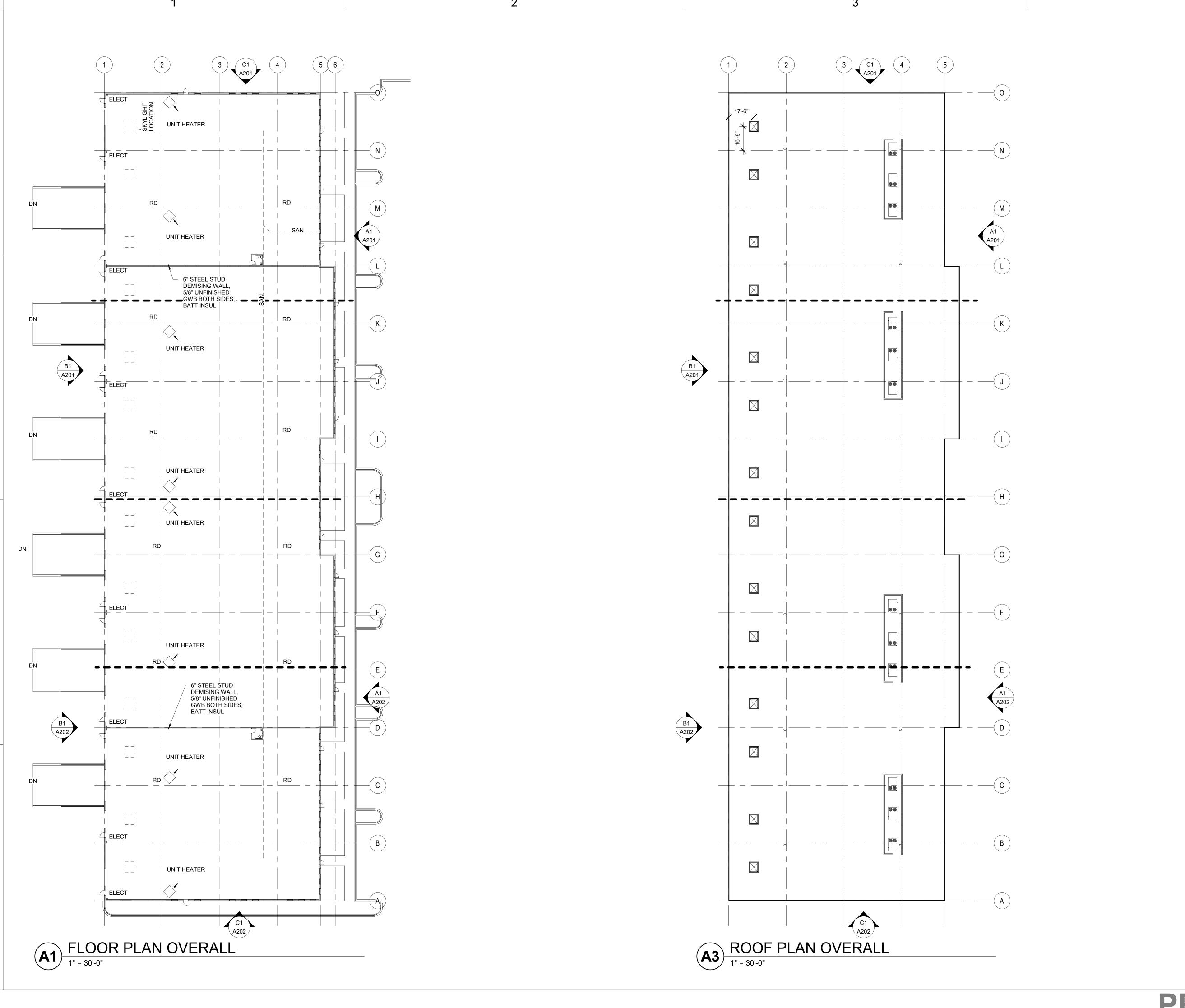
K) On this project, existing street tree protection zone is required. Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the terrace. The fencing shall be erected before the demolition, grading or construction begins. No excavation is permitted within 5 feet of the outside edge of the tree trunk. Do not remove the fencing to allow for deliveries or equipment access through the tree protection zone. If Excavation within 5 feet of any tree is necessary, contractor shall contact City Forestry (608)266-4816 prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry. Tree protection specifications can be found in section 107.13 of City of Madison Standard specifications for Public Works Construction-

street trees to schedule inspection and approval of the nursery stock and review planting

http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf.

L) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing specifications with the landscaper. City Forestry will determine the final location of the plantings in the right of way at this time.







- A. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION IMPROVEMENTS TO BE DESIGN BUILD, UNLESS NOTED OTHERWISE. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. ML ? DESIGN BUILD CONTRACTOR(S) RESPOIL THE LOR ENSURING CODE COMPLIANT CONSTRUCTION. OF NEW SYSTEMS IN TENANT SPACES.
- NEW SYSTEMS IN TENANT SPACES.

 B. PROVIDE SOUND INSULATION IN . LL DFM. SING WALLS AND INTERIOR WALLS, UN . SSS . NOTED
- C. PROVIDE MOISTURE RES!' TA. (GWB AT ALL PLUMBING WALLS.
- D. PROVIDE ACCESSIBL TOIL TO ROOM FIXTURES AND ACCESSORIES PEF MC UITING HEIGHTS INDICATED ON SHEET A002.
- E. PROVIDE 2x P' O. K NG AT ALL GRAB BAR LOCATIONS FOR A 151 A117.1 2009
- F. PROVIDE ADA AP PROVED THRESHOLDS AT ALL NEW FLOOR 1 'ANS FIONS AND DOORWAYS.
- G. EXT :RIOF DIMENSIONS ARE FROM GRIDLINE TO GRIL INF OR TO EDGE OF FOUNDATION WALL UNLESS NOTED OTHERWISE. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. INTERIOR DIMENSIONS FOR NEW CONSTRUCTION ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE. ALL DIMENSIONS FROM EXISTING WALLS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.
- I. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- J. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.
- K. FIRE EXTINGUISHER CABINETS SHALL BE RATED TO MEET THE ASSOCIATED WALL FIRE RATING.
- L. GENERAL CONTRACTOR TO SECURE
 CONSTRUCTION AREA DURING CONSTRUCTION
 WORK. SEAL ALL DOORS AS REQUIRED.
 CONSTRUCT AND MAINTAIN A FLOOR TO CEILING
 DUST BARRIER, TO PROVIDE SEPARATION FOR
 DUST, DEBRIS AND SOUND.
- M. GENERAL CONTRACTOR TO COORDINATE
 CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON
 EXISTING BUILDING OPERATIONS AND PLANNED
 EVENTS. CONSTRUCTION SPACE MUST BE CLEAN
 AND AVAILABLE FOR USE PERIODICALLY PER
 OWNERS REQUEST. VERIFY SCHEDULED EVENTS
 WITH OWNER PRIOR TO CONSTRUCTION START AND
 ARRANGE CONSTRUCTION SCHEDULE TO MEET
 OWNER'S NEEDS. COORDINATE SYSTEMS AND
 UTILITY SHUT DOWNS WITH OWNER PRIOR TO
 COMMENCEMENT OF WORK.
- N. SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL.

PLAN KEYNOTES:

1 A

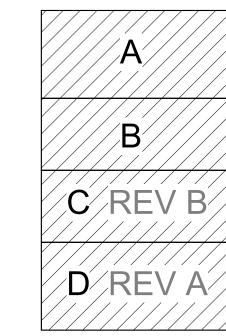
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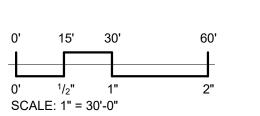
HATCH PATTERN KEY:

NEW CONSTRUCTION

EXISTING CONSTRUCTION

KEY PLAN





NARY A1



FLEX BUILDING
W CONSTRUCTION
921 FEMRITE DR

Project Status

11/25/2020 UDC REVIEW

PROJ. #: 20001-01

© SKETCHWORKS ARCHITECTURE 2020

OVERALL FLOOR AND ROOF PLANS

A101



Sketch works architecture uc

FGC FLEX BUILDING

NEW CONSTRUCTION

4921 FEMRITE DR.

MADISON, WI 53716

Project Status

11/25/2020 UDC REVISED

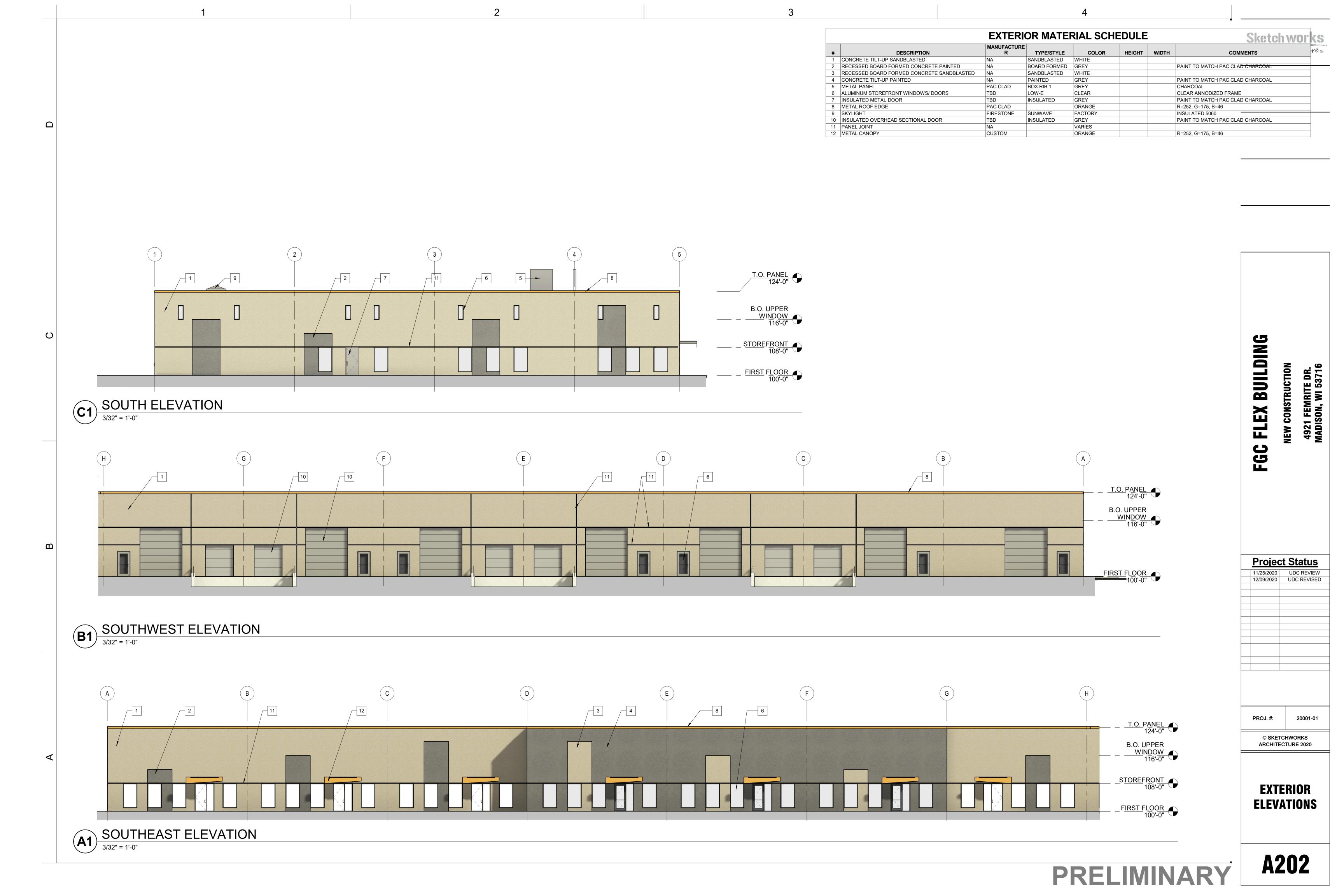
12/09/2020 UDC REVISED

PROJ. #: 20001-01

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EXTERIOR ELEVATIONS

A201





GREY PAINTED TILT-UP CONCRETE WALL (SHADE OF GREY MAY VERY)



SAND BLASTED TILT-UP CONCRETE WALL









Sketch Works architecture

SOUTHEAST VIEW











ENTRY VIEW

NORTHEAST CORNER

NORTH (FEMRITE)



MAIN FRONTAGE VIEW



LOADING DOCK VIEW

A901

BUILDING 3D

PROJ. #:

Project Status