

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

11/18/2020
10:17 a.m.

RECEIVED

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

1. Project Information

Address: 701 Gardener Road

Title: Madison Yards at Hill Farms Block 2

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested January 13, 2021

- ☒ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☒ Initial approval ☒ Final approval

3. Project Type

- ☒ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☒ Planned Development (PD)
☐ General Development Plan (GDP)
☒ Specific Implementation Plan (SIP)
☐ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)
☐ Signage Exception

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Mark Theder
Street address 241 N. Broadway, Suite 400
Telephone (414) 453-0110

Project contact person Sean Roberts
Street address 241 N. Broadway, Suite 400
Telephone (414) 453-0110

Property owner (if not applicant) Madison Yards Block 6, LLC
Street address 241 N. Broadway, Suite 400
Telephone (414) 453-0110

Company Madison Yards Block 2, LLC
City/State/Zip Milwaukee, WI 53202
Email mtheder@summitsmith.com

Company Summit Smith Development
City/State/Zip Milwaukee, WI 53202
Email sroberts@summitsmith.com

City/State/Zip Milwaukee, WI 53202
Email mtheder@summitsmith.com

5. Required Submittal Materials

- ☒ **Application Form**
- ☒ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development Plans** (Refer to checklist on Page 4 for plan details)
- ☐ **Filing fee**
- ☒ **Electronic Submittal***
- ☒ **Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.


Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on 12/19/19.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Mark Theder Relationship to property Owner
 Authorizing signature of property owner  Date 11/17/20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☒ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☒ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Madison Yards Block 2, LLC
241 N. Broadway, Suite 400, Milwaukee, WI 53202

November 18, 2020

City of Madison
Planning Division
215 Martin Luther King, Jr. Blvd, Suite 017
Madison, WI 53701

RE: Letter of Intent - Madison Yards at Hill Farms, Block 2 PD-SIP Land Use – UDC Initial/Final

This letter, together with plans, application and supplemental materials, constitutes our Land Use Application for Major Amendment to an Approved Planned Development – Specific Implementation Plan (PD-SIP) for the proposed Madison Yards at Hill Farms, Block 2 project.

Project Location:

The project site is located at 701 Gardener Road, Lot 2 Madison Yards at Hill Farms. The site is 2.897 acres.

Legal Description:

Lot 2, Madison Yards at Hill Farms, recorded in Volume 61-018B of Plats on Page 99, City of Madison, Dane County, Wisconsin.

Project Team:

Owner/Developer: Madison Yards Block 2, LLC
Master Planner/Civil Engineer/Landscape Architect: JSD Professional Services, Inc.
Architects: Kahler Slater & KTGy Group, Inc.

Project Description

The project is a portion of the larger multi-block development known as Madison Yards at Hill Farms. Block 2 is situated at the southwest corner of Segoe Rd. and University Ave. In Madison, WI. The project consists of a grocer, residential building, small property management shell space and associated loading and parking. The Block 2 project will be split into two separate condominium units (grocer and residential) with shared and limited common elements.

The approximately 56,000 gross square feet of commercial space located on the western side of the block includes 54,300+ gsf for the grocer shell space & receiving area and a 1,700 gsf property management shell space. The grocer's main entrance is on Madison Yards Way. Dedicated grocer parking is accessed on the main level from Madison Yards Way and on University Level from both Gardener Rd. and Segoe Rd. A shared loading dock and refuse area serving the grocer and residential building is accessed by right in right out from University Ave. The primary façade materials for the grocer and adjacent parking is comprised of painted aluminum framed glazing systems with insulated glass, masonry and wood look aluminum panels.

The residential building is located at the eastern portion of Block 2. The residential building is planned for 273 dwelling units (41 efficiencies, 149 one bedroom., 83 two bedroom). The residential portion of the block is 14 stories above the main level with a partially exposed University Avenue Level for a total of 16 floors. The residential amenities include a bike storage and repair room, fitness center, club room, ground level patio and roof top deck. The main entry for the residential building is located on Madison Yards Way. The primary façade materials for the residential building consist of painted aluminum framed glazing systems with insulated glass, masonry, and metal panel.

An open parking deck located in the center portion of Block 2 provides parking for the grocer and residential units. The façade / screening materials for the raised parking deck will be that of the grocer to provide cohesive street facades along University and Madison Yards Way.

Existing Land Use

Former Wisconsin DOT Office Building Parking - Vacant

Zoning Request

The Madison Yards Planned Development General Development Plan (GDP) was approved and recorded in April 2019. The development team is seeking approval of the Madison Yards at Hill Farms Block 2 Specific Implementation Plan (SIP) as well as the following modifications to the approved GDP Zoning text:

1. Allow a portion of Block 2 to be one story as seen from Madison Yards Way
2. Increase Block 2 Maximum # Residential Dwelling Units to 280 In Table 1.B - Use Category Maximums
3. Increase Block 4 Maximum # Hotel Rooms to 200 In Table 1.B - Use Category Maximums
4. Change the Block 2 Max Stories to 16 and Max Height to 175ft in Table 3 - Minimum and Maximum Building Stories, Heights, Building Areas by Block

Zoning/ Project Data:

Block 2 is part of the Planned Development District – General Development Plan, Madison Yards at Hill Farms Redevelopment, 4802 Sheboygan Ave.

Block 2	Allowable/ required	Proposed
1) Site Area	2.9 Ac	2.9 Ac
2) Bldg Area	80,000- 375,000 gsf	Building A 56,000 gsf <u>Building B 292,000 gsf</u> Total 348,000 gsf (excluding parking)
3) Building Height (max)	13 stories/ 160 ft	16 stories/ 175 ft
4) Setback		
a) University	Min 80% @ 0' / 20% @ 15' Max 30'	322'10" (79%) @ 0' / 86'7" (21%) @ 15' Max 21'
b) Gardener	Min 90% 3rd story above @ 10'	368' 5" (90%) @ 10'
c) Madison Yd Way	Min 8'	Min 8'
d) Segoe Road	Min 8'	Min 8'
	Min 90% 3rd story above @ 18'	100% @ 18'

Parking:

The required parking ratios for retail is a minimum of 1 space per 400 GSF and a maximum of 1 space per 200 GSF. The required parking ratios for residential is a minimum 0.9 spaces per unit and a maximum of 1.25 spaces per unit. Additional parking above the maximum may be shared with another use.

The proposed Block 2 development provides a total of 552 structured parking spaces and is compliant with the required parking ratios. 239 spaces are dedicated for the grocer tenant located between the University Ave. level and the Madison Yards Way level. 313 parking spaces are provided in the raised open parking deck with a separate entrance from the dedicated grocer parking on Madison Yards Way. The 313 raised parking spaces are for the residential building and can accommodate up to 25 grocer employee parking spaces.

Loading and trash areas will be provided within the building on the University Ave level accessed via right-in, right-out from University Ave.

Streets, Easements, Utilities and Fire Access

Streets within the Madison Yards development are privately held and maintained. Utility easements are in place for existing utility lines and future easements will be finalized and recorded once final plans are approved. Public access easements are in place as required in the final GDP approval.

Fire access for the site was discussed with Bill Sullivan of the Madison Fire Department, including fire lanes, aerial apparatus lanes, and street tree spacing. The approved GDP included a fire access plan for the project.

Traffic Impact Analysis

A traffic impact analysis (TIA) update memo from JSD Professional Services, Inc. and a TDM Plan has been submitted with this letter.

Exterior Signage

All signage depicted in this submittal is for illustrative purposes only. The project team will follow the UDC signage review process as the design develops. Signage will be allowed per Chapter 31 of the Madison General Ordinances and will be provided with each SIP.

Tax Increment Financing

The Development Team is seeking TIF financing for the Madison Yards project. Initial conversations have been held with City of Madison staff and a formal TIF application is pending.

Anticipated Schedule


Construction of Project is scheduled for a spring of 2021 start with completion in 2023.

Sincerely,



Mark Theder

Madison Yards Block 2, LLC


COOPER
 Lighting Solutions

 PS500020EN page
 October 8, 2020 3:25 PM

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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Due to continual development and improvements, specifications are subject to change without notice. FC Lighting reserves the right to change list, led details or specifications without notice. Product use conforms agreement to FC Lighting terms and conditions. FCC Series Dymiter Lights are engineered and produced in our Illinois manufacturing facility.

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Specification Sheet


26282-DH

Indessa
LIGHTING

PHONE: 509.924.0243 • FAX: 509.924.2607 • www.indessa.com

Indessa Lighting reserves the right to make design revisions without prior notice.


 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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 DSXW2 LED
Rev. 04/21/20
Page 1 of 4

WP3

Contact: Shawn Zimny
Address: 225. W. Wacker Dr.
Suite 2160
Chicago, IL 60606
Phone: 312.907.4493

MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

SITE PHOTOMETRIC PLAN

E0-02

MADISON YARDS AT HILLS FARMS

BLOCK 2 PRIVATE IMPROVEMENTS SET

CITY OF MADISON, WISCONSIN
701 GARDENER ROAD, MADISON, WI 53705

DRAWING INDEX

B2-TS	BLOCK 2 TITLE SHEET
	TOPOGRAPHIC SURVEY
B2-C0.1	BLOCK 2 NOTES & LEGEND
B2-C1.0	BLOCK 2 OVERALL SITE PLAN
B2-C1.1	BLOCK 2 DETAILED SITE PLAN - NORTHWEST
B2-C1.2	BLOCK 2 DETAILED SITE PLAN - SOUTHWEST
B2-C1.3	BLOCK 2 DETAILED SITE PLAN - NORTHEAST
B2-C1.4	BLOCK 2 DETAILED SITE PLAN - SOUTHEAST
B2-C2.0	BLOCK 2 GRADING & EROSION CONTROL PLAN
B2-C2.1	BLOCK 2 DETAILED GRADING PLAN - NORTHWEST
B2-C2.2	BLOCK 2 DETAILED GRADING PLAN - SOUTHWEST
B2-C2.3	BLOCK 2 DETAILED GRADING PLAN - NORTHEAST
B2-C2.4	BLOCK 2 DETAILED GRADING PLAN - SOUTHEAST
B2-C3.0	BLOCK 2 UTILITY PLAN
B2-C4.0	BLOCK 2 DETAILS - EROSION CONTROL & UTILITIES
B2-C4.1	BLOCK 2 DETAILS - SITE
B2-L1.0	BLOCK 2 OVERALL LANDSCAPE PLAN
B2-L1.1	BLOCK 2 DETAILED LANDSCAPE PLAN - NORTHWEST
B2-L1.2	BLOCK 2 DETAILED LANDSCAPE PLAN - SOUTHWEST
B2-L1.3	BLOCK 2 DETAILED LANDSCAPE PLAN - NORTHEAST
B2-L1.4	BLOCK 2 DETAILED LANDSCAPE PLAN - SOUTHEAST
B2-L2.0	BLOCK 2 LANDSCAPE DETAILS & NOTES



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER
SMITH - GILBANE
PROJECT CONTACT: SEAN ROBERTS
241 N. Broadway, Suite 400
Milwaukee, WI 53202
P: 414-453-0110
C: 412-999-9643
E: sroberts@summitsmith.com

PROJECT CONSULTANT / LANDSCAPE ARCHITECT
JSD PROFESSIONAL SERVICES, INC.
PROJECT CONTACT: KEVIN YESKA
161 Horizon Drive, Suite 101
Verona, WI 53593
P: 608-848-5060
C: 608-609-6794
E: kevin.yeska@jsdinc.com

CIVIL ENGINEERING
JSD PROFESSIONAL SERVICES, INC.
PROJECT CONTACT: TOMAS TORO
161 Horizon Drive, Suite 101
Verona, WI 53593
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C: 608-963-2133
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CONSTRUCTION MANAGER
SMITH - GILBANE
PROJECT CONTACT: JASON BOS
241 N. Broadway, Suite 400
Milwaukee, WI 53202
C: 920-948-0692
E: jbos@cdsmith.com

ARCHITECT
KAHLER SLATER
WHOLE FOODS CONTACT: ETHAN SKEELS
648 NORTH PLANKINTON AVENUE
MILWAUKEE, WI 53203
P: 414-272-2000
C: 414-290-3778
E: eskeels@kahlerslater.com

KAHLER SLATER
HOTEL CONTACT: AARON EBENT
648 NORTH PLANKINTON AVENUE
MILWAUKEE, WI 53203
P: 414-897-1990
C: 414-290-3777
E: ae bent@kahlerslater.com

MUNICIPAL CONTACTS

CITY OF MADISON DEPARTMENT OF PUBLIC WORKS/ENGINEER
CONTACT: JANET SCHMIDT
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703
P: 608-261-9688
E: jschmidt@cityofmadison.com

CITY OF MADISON FORESTRY
CONTACT: BRAD HOFMANN
P: 608-267-4908
C: 608-220-6796
E: bhofmann@cityofmadison.com

UTILITY CONTACTS

GAS
Madison Gas & Electric Company
CONTACT: STEVE BEVERSDORF
133 South Blair Street
Madison, WI 53788
P: 608-252-1552
C: 608-444-9620
E: sbeversdorf@mge.com

ELECTRIC
Madison Gas & Electric Company
CONTACT: BRIAN BIGGE
623 Railroad Street
Madison, WI 53703
P: 608-252-7338
E: bbigge@mge.com



CREATE THE VISION TELL THE STORY

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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
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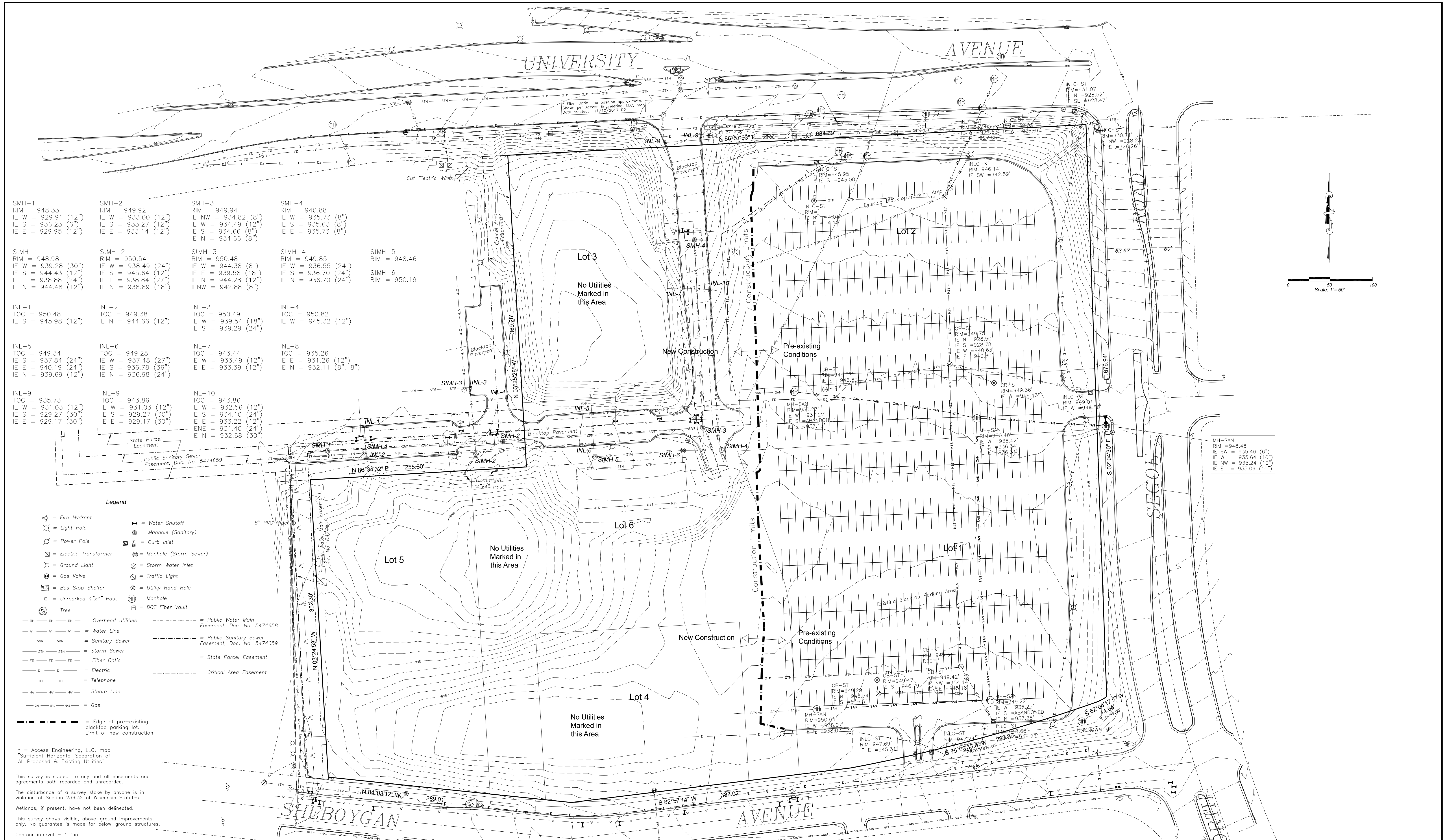
Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
TITLE SHEET**

SHEET NUMBER:
B2-TS



JSD PROJECT NO: 19-0360



SMH-1 RIM = 948.33 IE W = 929.91 (12") IE S = 936.23 (6") IE E = 929.95 (12")	SMH-2 RIM = 949.92 IE W = 933.00 (12") IE S = 933.27 (12") IE E = 933.14 (12")	SMH-3 RIM = 949.94 IE NW = 934.82 (8") IE W = 934.49 (12") IE S = 934.66 (8") IE E = 934.66 (8")	SMH-4 RIM = 940.88 IE W = 935.73 (8") IE S = 935.63 (8") IE E = 935.73 (8")		
StMH-1 RIM = 948.98 IE W = 939.28 (30") IE S = 944.43 (12") IE E = 938.88 (24") IE N = 944.48 (12")	StMH-2 RIM = 950.54 IE W = 938.49 (24") IE S = 945.64 (12") IE E = 938.84 (27") IE N = 938.89 (18")	StMH-3 RIM = 950.48 IE W = 944.38 (8") IE E = 939.58 (18") IE N = 944.28 (12") IENW = 942.88 (8")	StMH-4 RIM = 949.85 IE W = 936.55 (24") IE S = 936.70 (24") IE N = 936.70 (24")	StMH-5 RIM = 948.46	StMH-6 RIM = 950.19
INL-1 TOC = 950.48 IE S = 945.98 (12")	INL-2 TOC = 949.38 IE N = 944.66 (12")	INL-3 TOC = 950.49 IE W = 939.54 (18") IE S = 939.29 (24")	INL-4 TOC = 950.82 IE W = 945.32 (12")		
INL-5 TOC = 949.34 IE S = 937.84 (24") IE E = 940.19 (24") IE N = 939.69 (12")	INL-6 TOC = 949.28 IE W = 937.48 (27") IE S = 936.78 (36") IE N = 936.98 (24")	INL-7 TOC = 943.44 IE W = 933.49 (12") IE E = 933.39 (12")	INL-8 TOC = 935.26 IE E = 931.26 (12") IE N = 932.11 (8", 8")		

- Legend**
- Fire Hydrant
 - Light Pole
 - Power Pole
 - Electric Transformer
 - Ground Light
 - Gas Valve
 - Bus Stop Shelter
 - Unmarked 4"x4" Post
 - Tree
 - Overhead utilities
 - Water Line
 - Sanitary Sewer
 - Storm Sewer
 - Fiber Optic
 - Electric
 - Telephone
 - Steam Line
 - Gas
 - Water Shutoff
 - Manhole (Sanitary)
 - Curb Inlet
 - Manhole (Storm Sewer)
 - Storm Water Inlet
 - Traffic Light
 - Utility Hand Hole
 - Manhole
 - DOT Fiber Vault
 - Public Water Main Easement, Doc. No. 5474658
 - Water Line
 - Public Sanitary Sewer Easement, Doc. No. 5474659
 - Storm Sewer
 - State Parcel Easement
 - Critical Area Easement

* = Access Engineering, LLC, map
* Sufficient Horizontal Separation of All Proposed & Existing Utilities


This survey is subject to any and all easements and agreements both recorded and unrecorded.

The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.

Wetlands, if present, have not been delineated.

This survey shows visible, above-ground improvements only. No guarantee is made for below-ground structures.

Contour interval = 1 foot



BIRRENKOTT SURVEYING INC.
LAND SURVEYING & PERC TESTING
P.O. BOX 237
1677 N. BRISTOL ST.
SUN PRAIRIE, WIS. 53590
(608) 837-7463
FAX (608) 837-1081

Rev: OCTOBER 12, 2020
Rev: OCTOBER 6, 2020
Rev: MARCH 2, 2020
Rev: FEBRUARY 20, 2020

TOPOGRAPHIC MAP

FEBRUARY 10, 2020

SURVEYED BY	T.A.S.
DRAWN BY	M.A.P.
CHECKED BY	M.A.P./D.V.B.
APPR'D BY	D.V.B.

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JOB NO.	171132
SHEET	1 OF 1
FB	375/42

File: L2016169326L_199368 - Block 2\DWG\Civil-Landscape Sheets\199368 BLK2 - C01 - NOTES & LEGENDS.dwg Layout: C01 - NOTES & LEGENDS.dwg Plotter: Nov 13, 2020 - 12:46m User: msanders

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION VERIFY AND MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEO-TECHNICAL REPORT PREPARED BY CGC INC. DATED FEBRUARY 27, 2018 (REPORT C17549).
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DETECTED SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET CITY OF MADISON REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

3. CONCRETE PAVING SPECIFICATIONS
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
 - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS WILL DRAIN PROPERLY, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
3. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
4. CONTRACTOR SHALL PROVIDE NOTICE TO THE CITY OF MADISON IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
5. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
6. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
7. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
8. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
9. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE SIZE, TYPE, ELEVATION, AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSES FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS -

PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF ASHTO DESIGNATION M-294 TYPE "S".

INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 OR EQUAL.

BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT.

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

13. WATER MAIN SPECIFICATIONS -
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA C100, CLASS 150, DR=10, WITH CAST IRON 0.5 AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

14. SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR=35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.

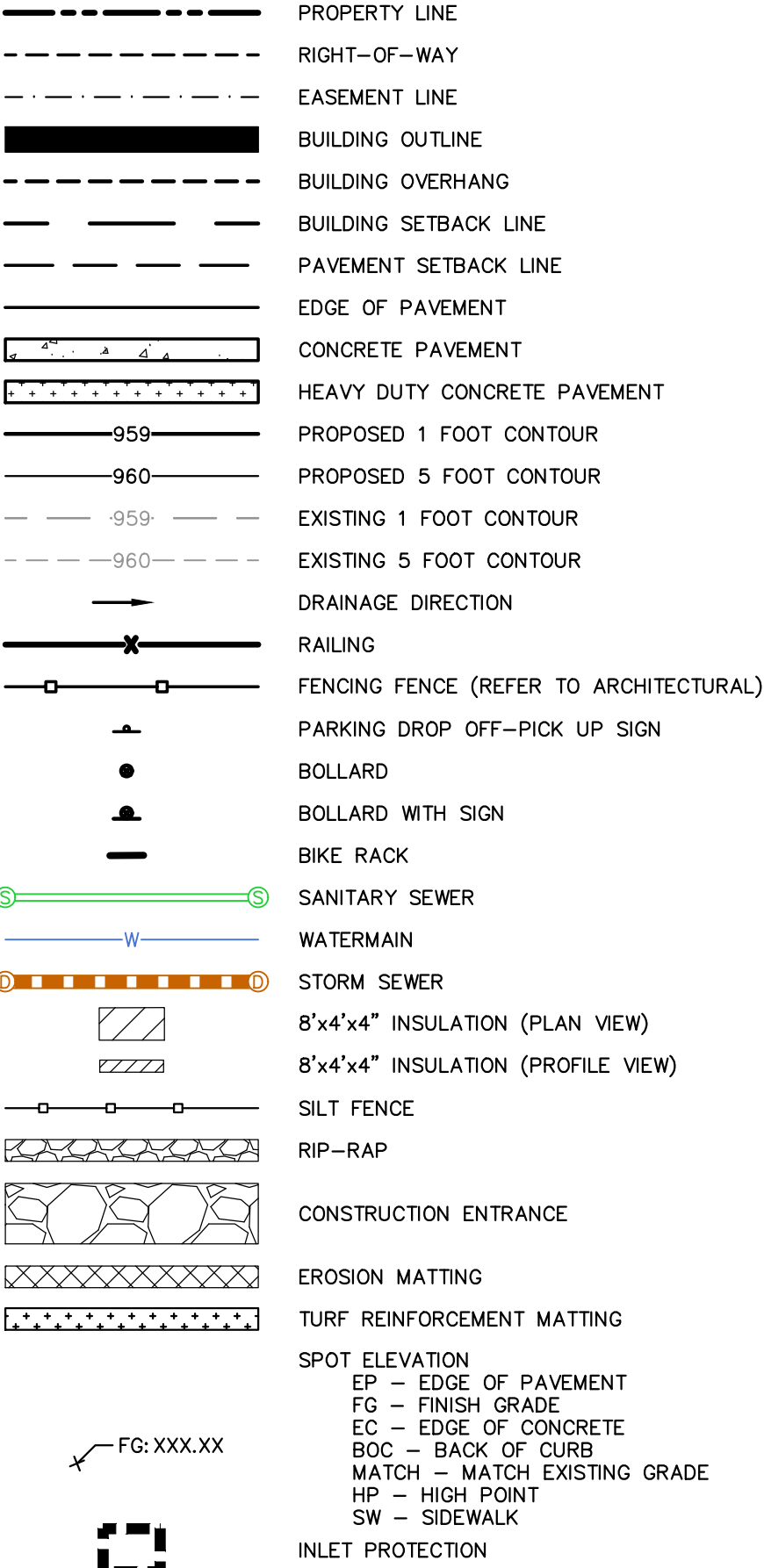
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1550 WITH SELF SEALING LIDS, NON-ROCKING OR EQUAL.

15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ON ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCARPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASKH OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WORK TECHNICAL STANDARDS 1092 AND 1093.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDMR TECHNICAL STANDARD 1068.
15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDMR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDMR REQUIREMENTS.
17. STABILIZATION PRACTICES:
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING.

LEGEND



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
4		
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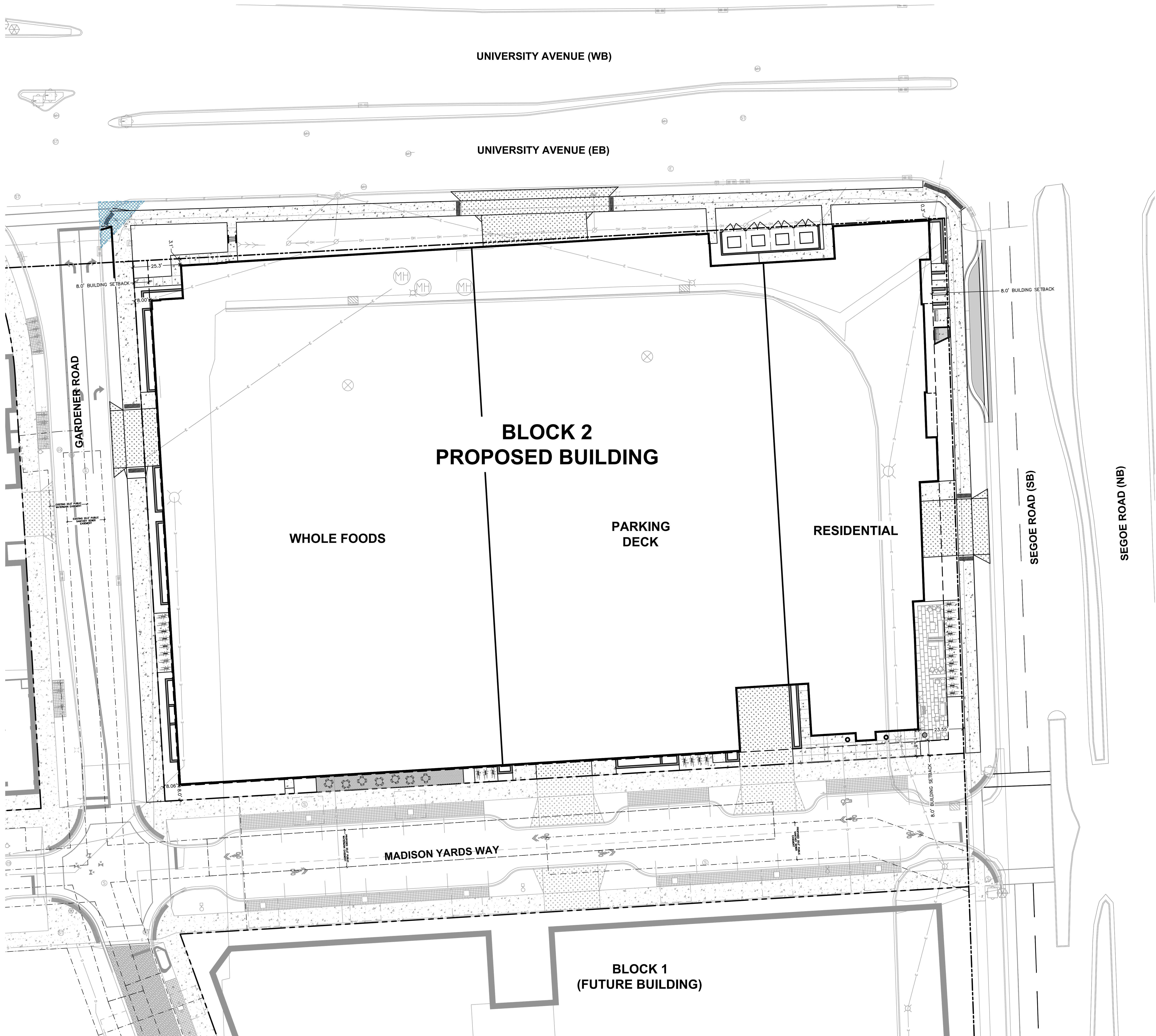
Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
NOTES & LEGEND**

SHEET NUMBER:
B2-C0.1
JSD PROJECT NO: 19-0360

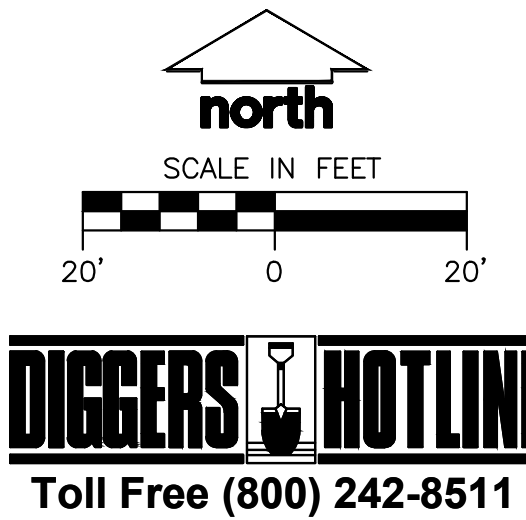


File: 12016199260_19926 - Block 2 DWG Civil Landscape Sheets19926 BLK2 - C1.0 - SITE PLAN.dwg Layout: C1.0 User: kyndra Printed: Nov 17, 2020 5:09pm Xref's:



LEGEND
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

SITE INFORMATION BLOCK	
SITE ADDRESS	701 GARDENER ROAD
PROPERTY ACREAGE	2.897 ACRES
NUMBER OF BUILDING STORIES	
WHOLE FOODS	2
PARKING DECK	4
HOTEL	7
TOTAL BUILDING SQUARE FOOTAGE	
GROSS BUILDING SQUARE FOOTAGE	112,183 SF (REFER TO ARCHITECTURAL)
NUMBER OF INTERNAL PARKING STALLS (REFER TO ARCHITECTURAL)	
NUMBER OF BICYCLE STALLS:	
EXTERIOR	56
WHOLE FOODS (INTERNAL)	(REFER TO ARCHITECTURAL)
RESIDENTIAL (INTERNAL)	(REFER TO ARCHITECTURAL)
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	99,360 SF
EXISTING PERVIOUS SURFACE AREA	26,833 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.79
PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED PERVIOUS SURFACE AREA	120,441 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.95



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

PROJECT:

MADISON YARDS AT
HILL FARMS
BLOCK 2

PROJECT LOCATION:

701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
4	11.18.2020	LAND USE - UDC RESUBMITTAL
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Design/Drawn:
Approved:

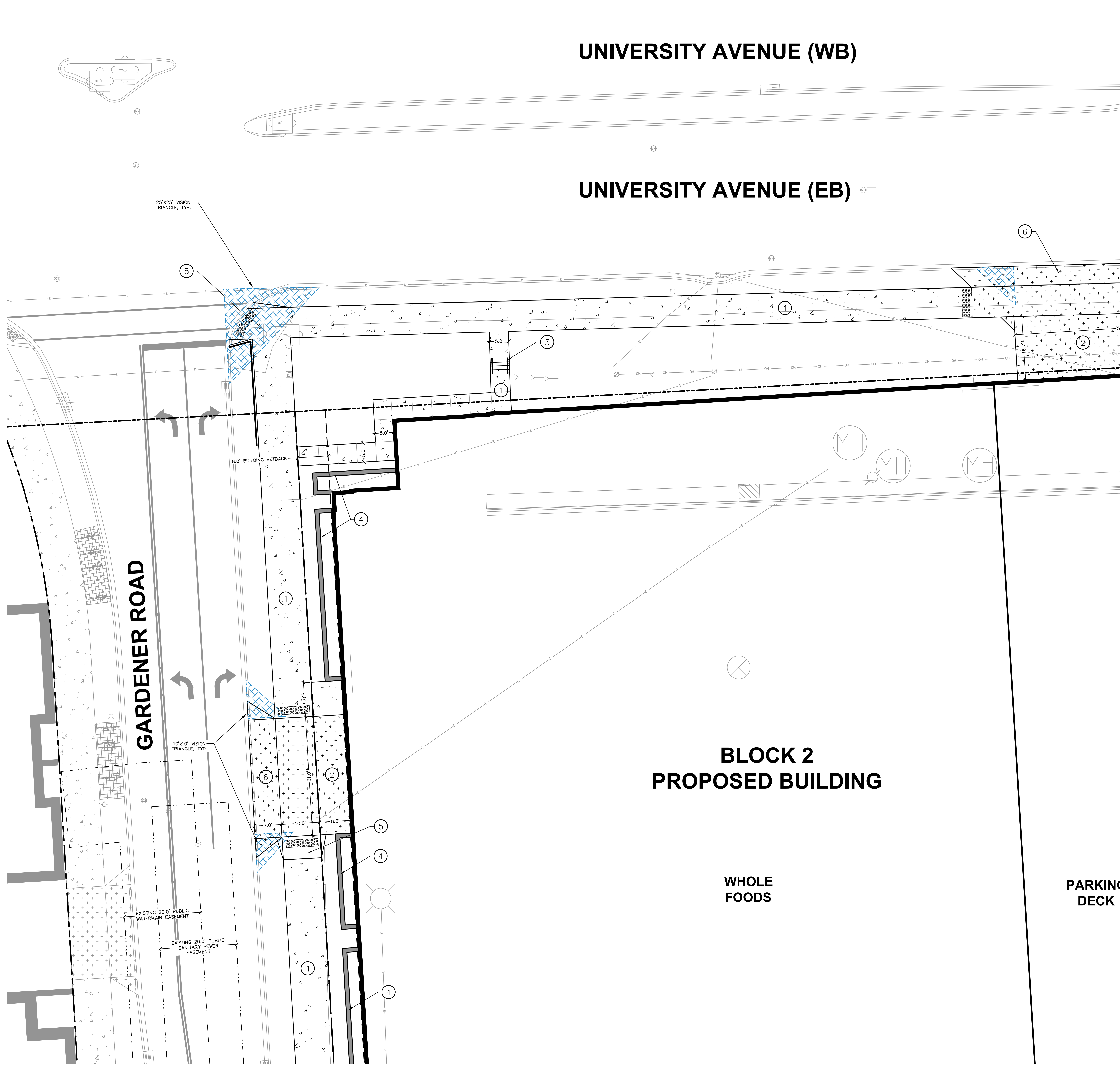
SHEET TITLE:
**BLOCK 2
OVERALL SITE PLAN**

SHEET NUMBER:
B2-C1.0

JSD PROJECT NO: 19-0360

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File: C:\2019\190926_190926 - Block 2\DWG\ChLandscape Sheets\190926 BLK2 - C1.dwg SITE PLAN.dwg Layout: C1 User: kyasha Printed: Nov 16, 2020 - 11:22am Xrefs:



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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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FOR CONSTRUCTION

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.16.2020	LAND USE - UDC RESUBMITTAL
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Design/Drawn:

Approved:

SHEET TITLE:
**BLOCK 2
DETAILED SITE PLAN -
NORTHWEST**

SHEET NUMBER:
B2-C1.1

JSD PROJECT NO: 19-0360

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UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)

BLOCK 2
PROPOSED BUILDING

PARKING DECK

RESIDENTIAL

SEGOE ROAD (SB)

LEGEND

REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. CONCRETE SIDEWALK SECTION
2. HEAVY-DUTY CONCRETE SECTION
3. TRANSFORMER AND PAD (BY MG&E)
4. APPROVED BARRIER CMU AND GATES (REFER TO ARCHITECTURAL)
5. COMMERCIAL ENTRANCE
6. RETAINING WALL (REFER TO ARCHITECTURAL)
7. 18" SEAT WALL
8. BENCH (SPECIFICATION TBD)
9. BUS SHELTER (SPECIFICATION TBD)
10. WARNING DETECTOR
11. 30" CURB AND GUTTER
12. 30" VALLEY CURB



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P. 608.848.5060

CLIENT:

SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT
HILL FARMS
BLOCK 2

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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FOR CONSTRUCTION

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
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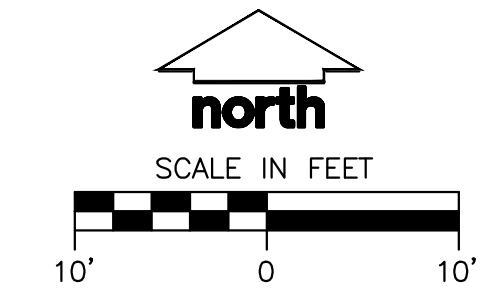
Design/Drawn:
Approved:

SHEET TITLE:
BLOCK 2
DETAILED SITE PLAN -
NORTHEAST

SHEET NUMBER:

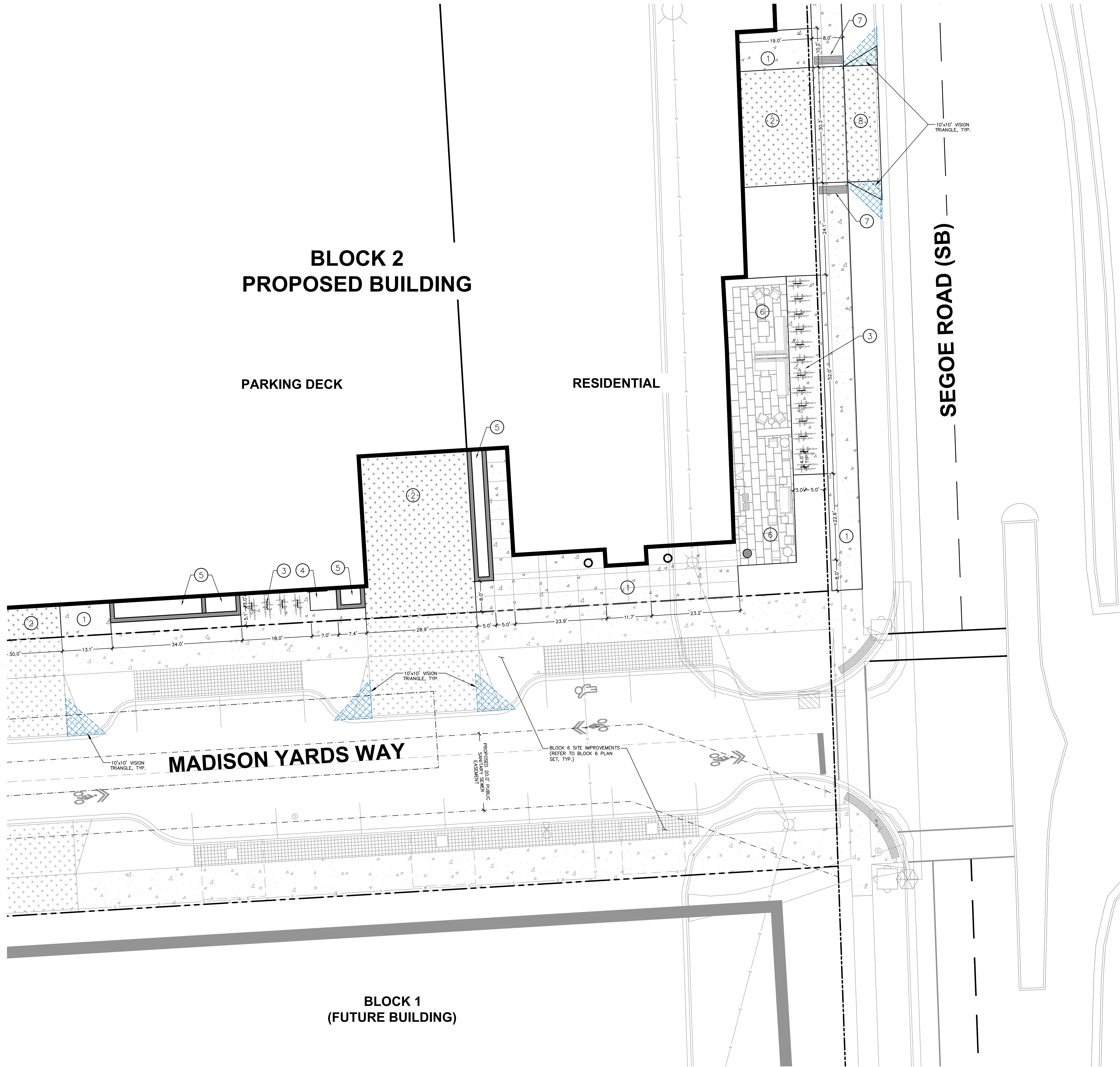
B2-C1.3

JSD PROJECT NO: 19-0365



Toll Free (800) 242-8511

File: 12016199260_19926 - Block 20WDCivil-Landscape Sheets19926 BL2 - C1.0 - SITE PLAN.dwg Layout: C1.0 User: Ayasha Printed: Nov 16, 2020 - 11:24am Xrefs:



LEGEND
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. CONCRETE SIDEWALK SECTION
2. HEAVY-DUTY CONCRETE SECTION
3. BIKE RACK W/ 2' OVERHANG
4. DOORWAY STOOP (REFER TO ARCHITECTURAL)
5. PLANTER WALL (REFER TO ARCHITECTURAL)
6. PATIO (REFER TO ARCHITECTURAL)
7. WARNING DETECTOR
8. COMMERCIAL ENTRANCE

north
SCALE IN FEET
10' 0 10'

DIGGERS HOTLINE
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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
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MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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FOR CONSTRUCTION

PLAN MODIFICATIONS:

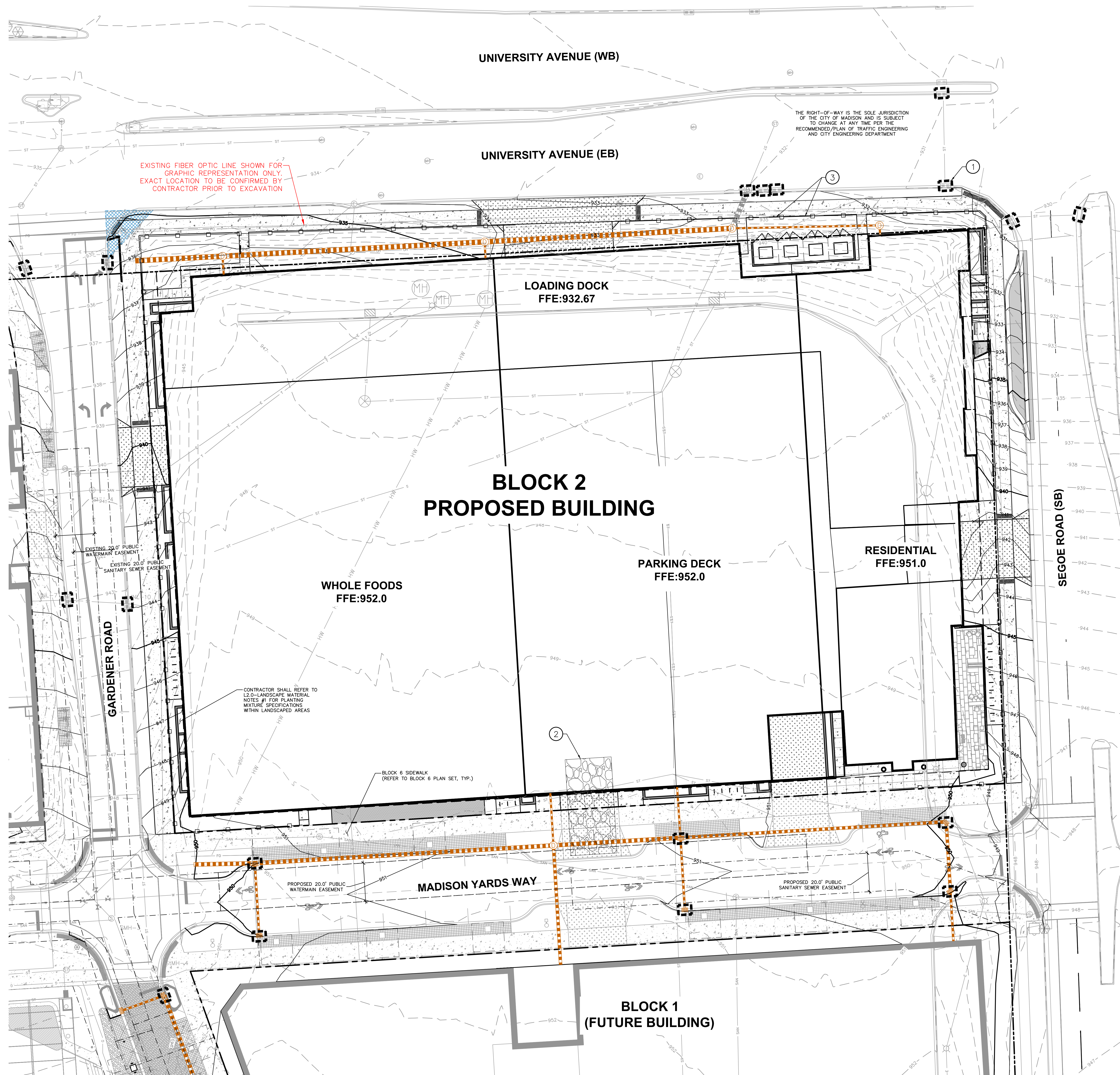
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
DETAILED SITE PLAN -
SOUTHEAST**

SHEET NUMBER:
B2-C1.4

JSD PROJECT NO: 19-0360



LEGEND

REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. FRAMED INLET PROTECTION, TYP. SEE DETAIL.
2. CONSTRUCTION ENTRANCE. SEE DETAIL.
3. SILT FENCE, TYP. SEE DETAIL.



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COEUR D'ALENE

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VERONA, WISCONSIN 53593
P. 608.848.5060

IENT:

SMITH **Gilbane**

IENT ADDRESS:
41 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT
MILL FARMS
BLOCK 2

PROJECT LOCATION:
01 GARDENER ROAD
MADISON, WI 53705

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FOR CONSTRUCTION

AN MODIFICATIONS:

[illegible]

Sign/Drawn:

Improved:

MEET TITLE:
LOCK 2
GRADING & EROSION
CONTROL PLAN

SHEET NUMBER:

B2-C2.0

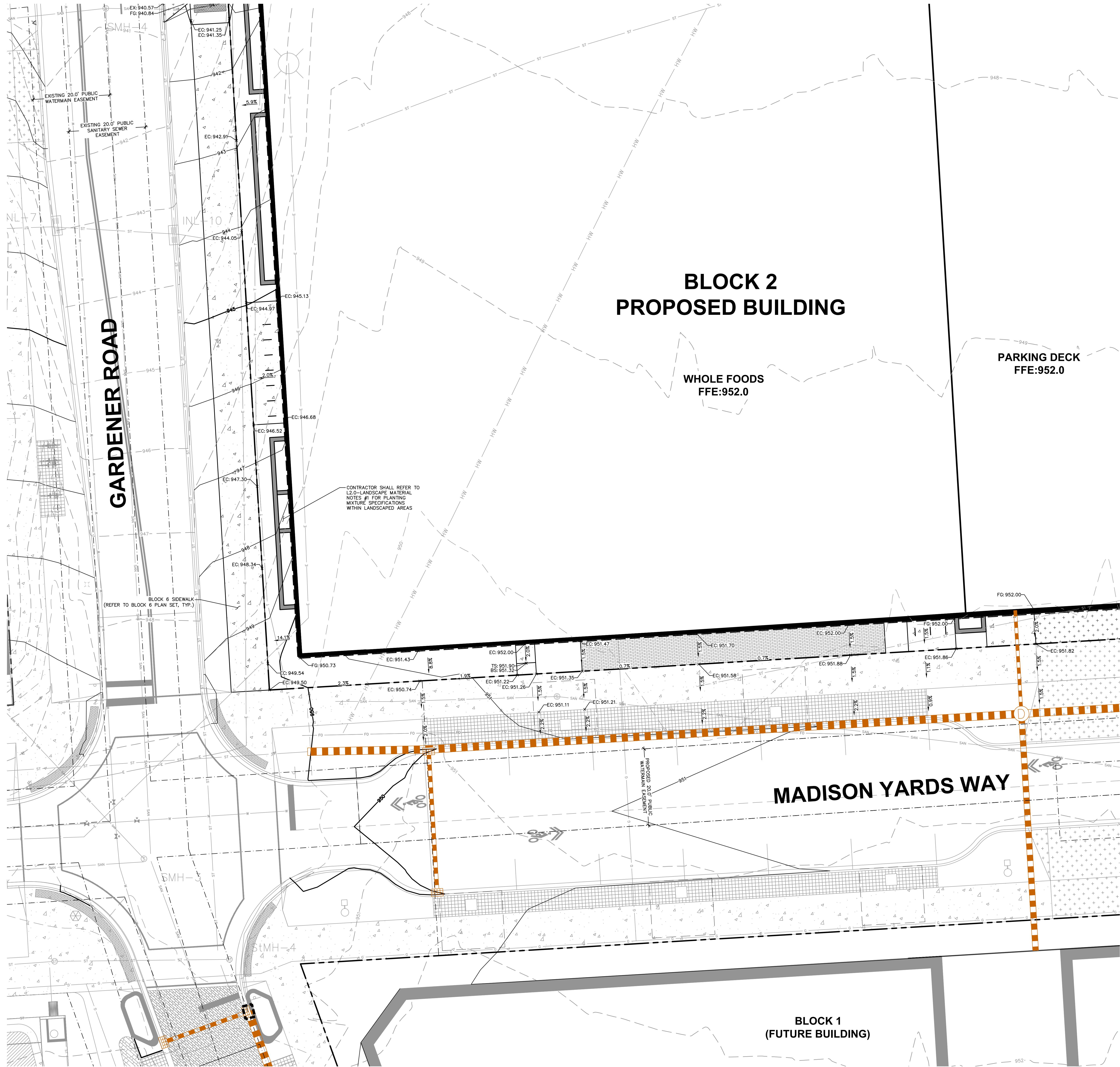
D PROJECT NO:

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BLOCK 3 PROPOSED BUILDING



File: L2019199298 - Block 20WDCivil-Landscape Sheets199298 BLK2 - C2.2 - GRADING & EROSION CONTROL.dwg Layout: C2.2 User: msanderson Plotted: Nov 16, 2023 1:36pm Xref's:



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LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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FOR CONSTRUCTION

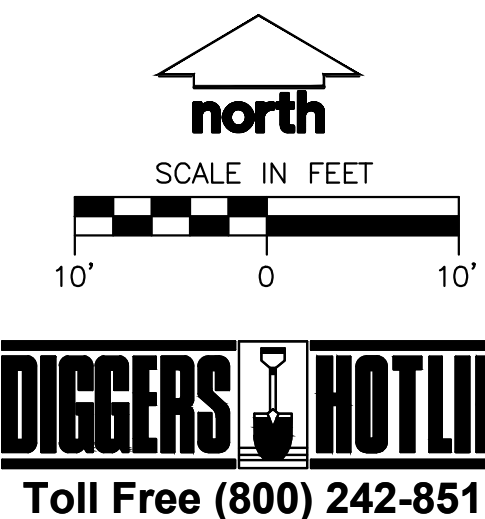
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 2
DETAILED GRADING PLAN
- SOUTHWEST**

SHEET NUMBER:
B2-C2.2

JSD PROJECT NO: 19-0365



UNIVERSITY AVENUE (WB)

UNIVERSITY AVENUE (EB)

LOADING DOCK
FFE:932.67

BLOCK 2
PROPOSED BUILDING

PARKING DECK
FFE:952.0

RESIDENTIAL
FFE:951.0

SEGOE ROAD (SB)

LEGEND
REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
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MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
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MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

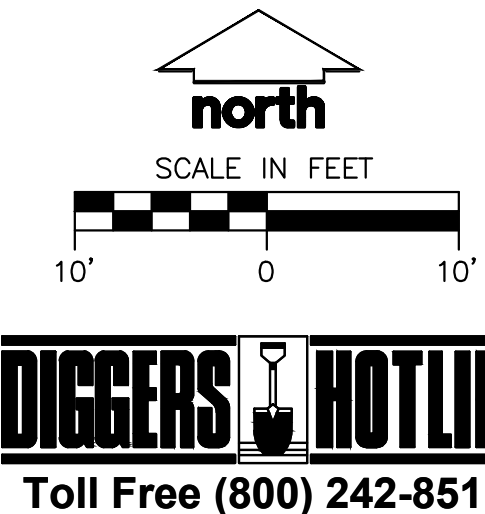
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Design/Drawn:
Approved:

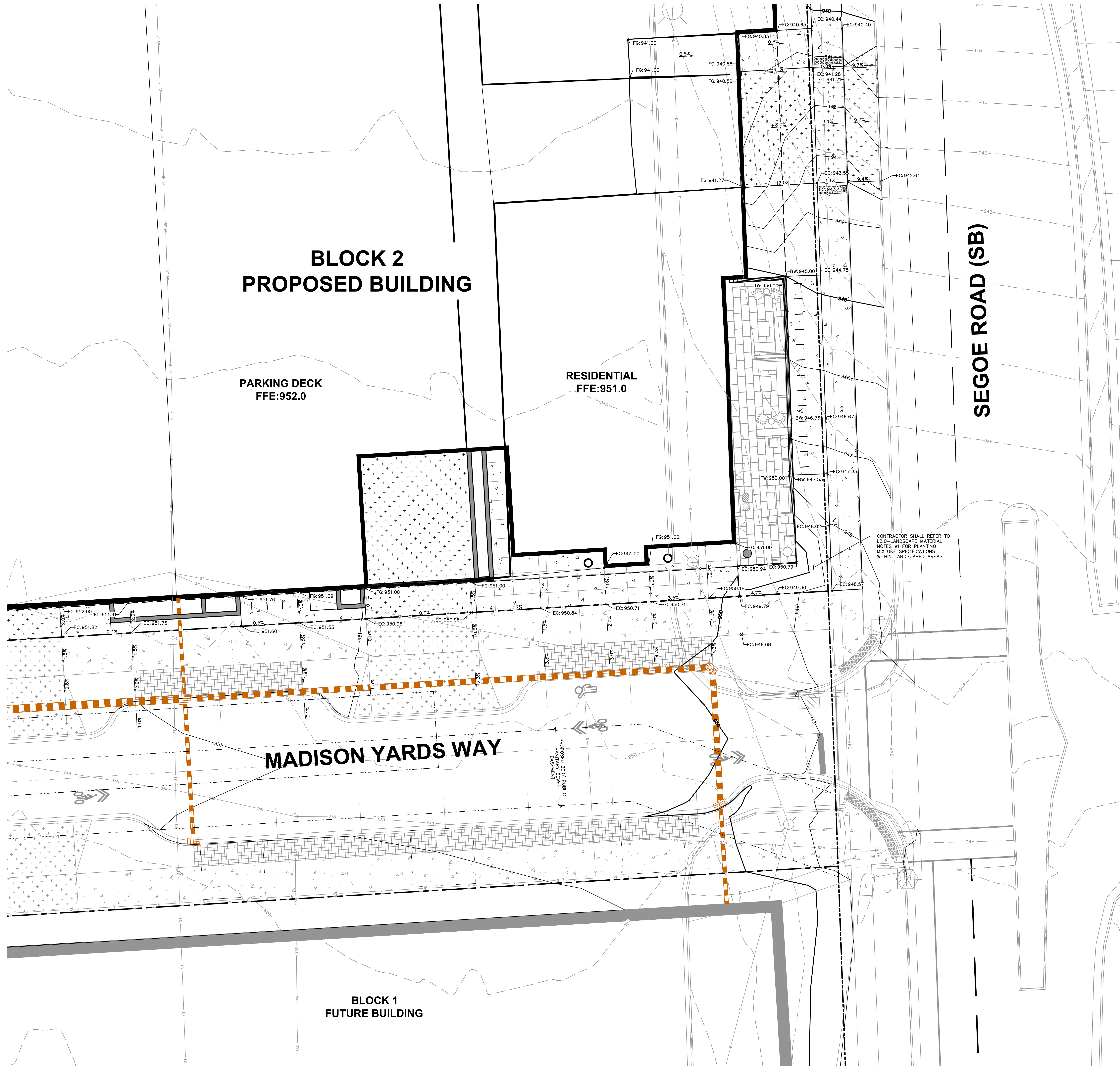
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**BLOCK 2
DETAILED GRADING PLAN
- NORTHEAST**

SHEET NUMBER:
B2-C2.3

JSD PROJECT NO: 19-0360



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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

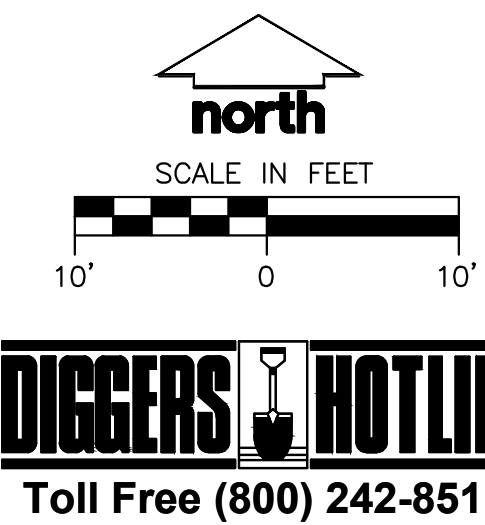
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Design/Drawn:
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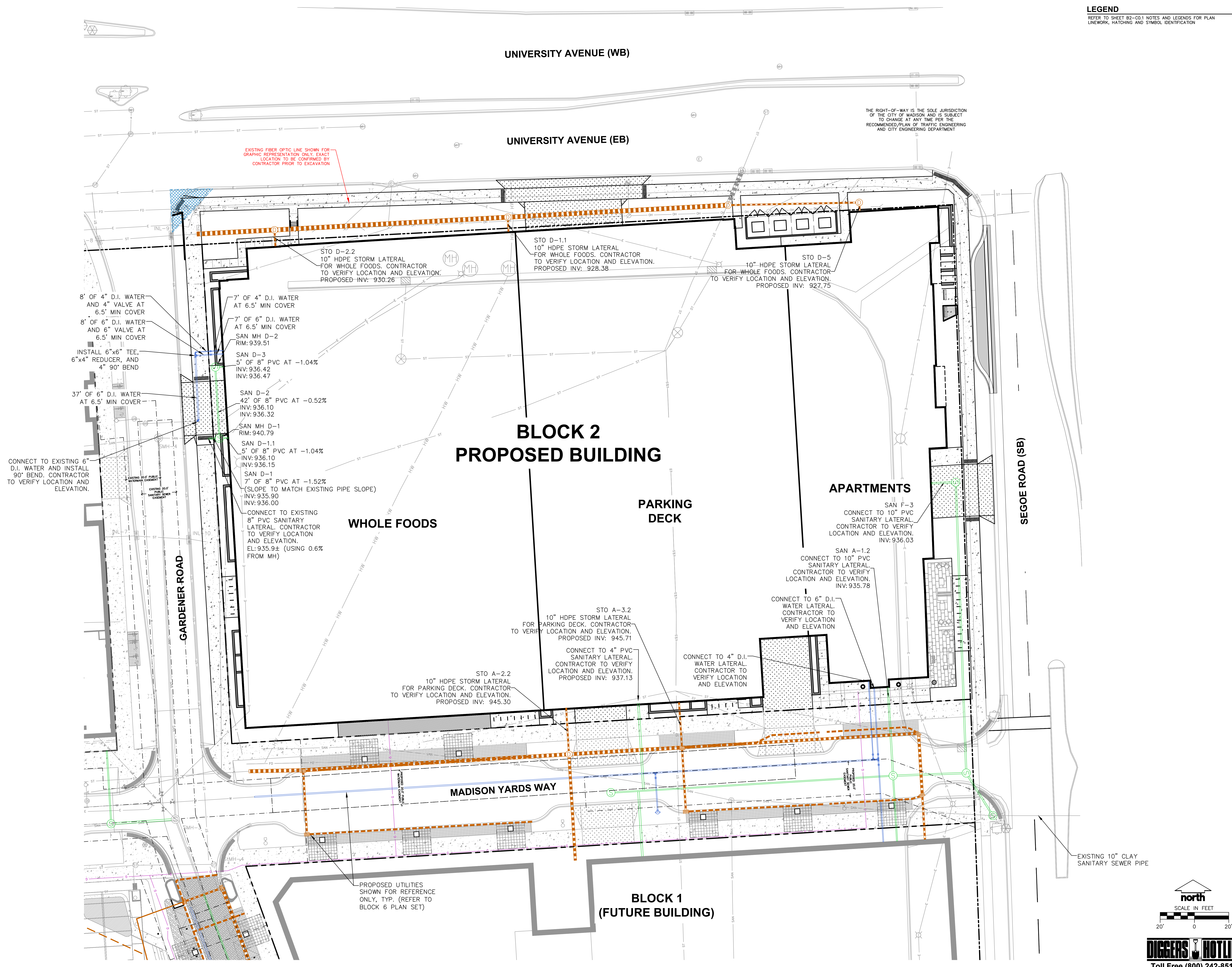
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**BLOCK 2
DETAILED GRADING PLAN
- SOUTHEAST**

SHEET NUMBER:
B2-C2.4

JSD PROJECT NO: 19-0360



File: 12016199260_19926 - Block 2 UWDC Civil Landscape Sheets19926 BLK2 - C3.0 - UTILITY PLAN.dwg Layout: C3.0 User: mbanders Printed: Nov 16, 2020 4:53pm Veris:



LEGEND

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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

SMITH Gilbane

CLIENT ADDRESS:

241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:

**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:

701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

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Design/Drawn:

Approved:

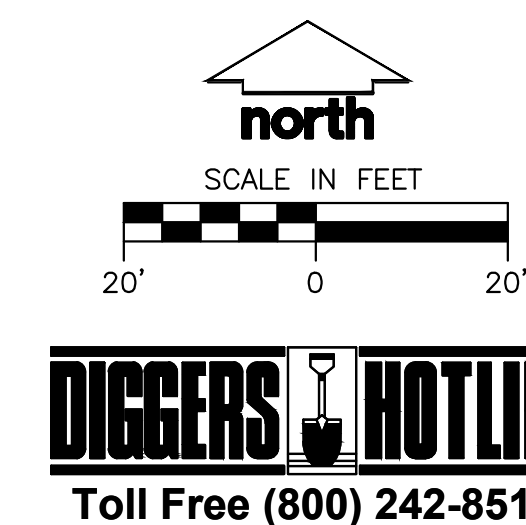
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**BLOCK 2
UTILITY PLAN**

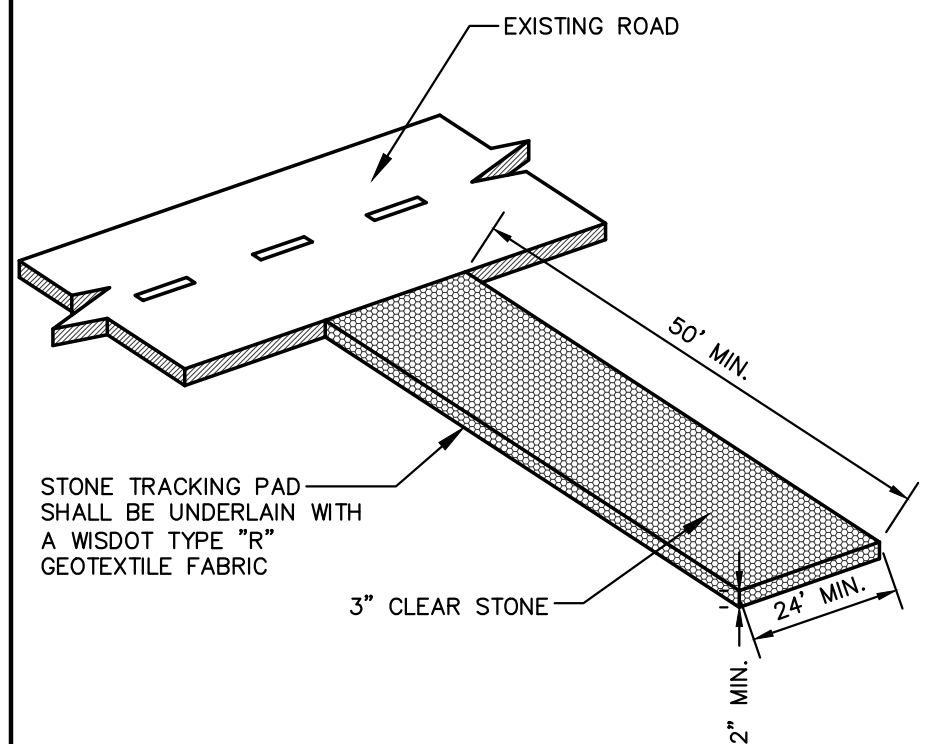
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B2-C3.0

JSD PROJECT NO:

19-0366



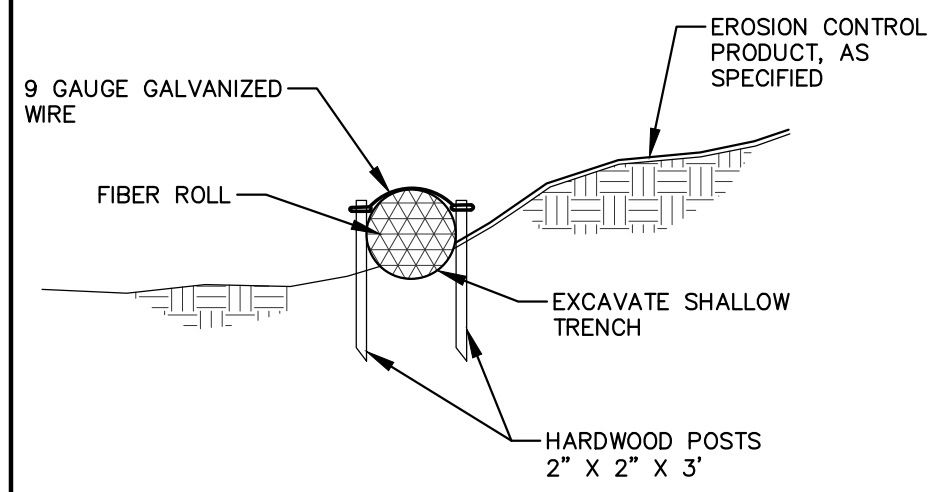


NOTE:
CONTRACTOR TO VERIFY LOCATION WITH OWNER.

CONSTRUCTION ENTRANCE

N.T.S.

REV. 12-10-2018



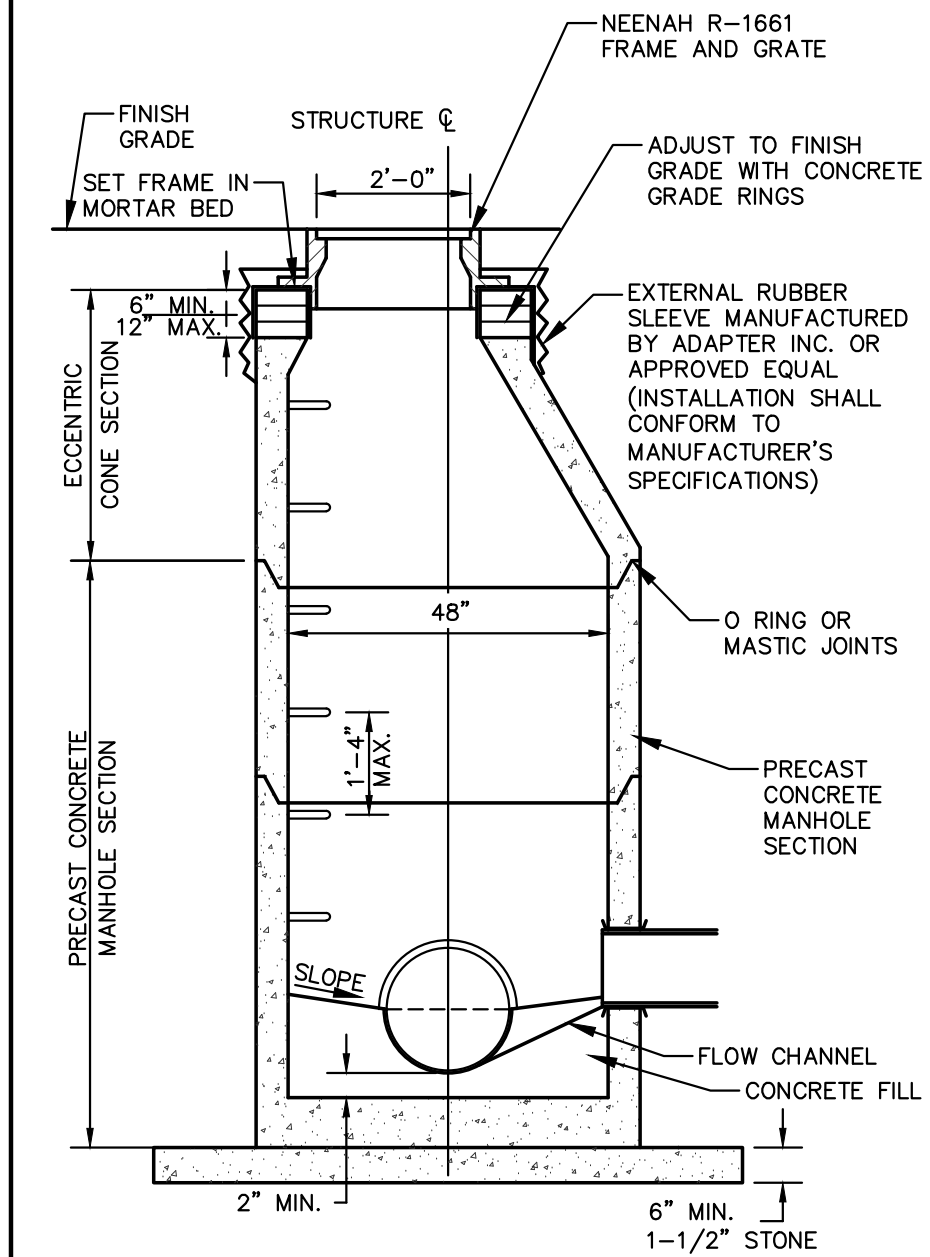
GENERAL NOTES:

- EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
- PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" X 2" POSTS PLACED ON BOTH SIDES OF THE ROLL, AND SPACED LATERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IF NECESSARY.
- NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
- PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED.

FIBER SILT SOCK

N.T.S.

REV. 12-7-2018



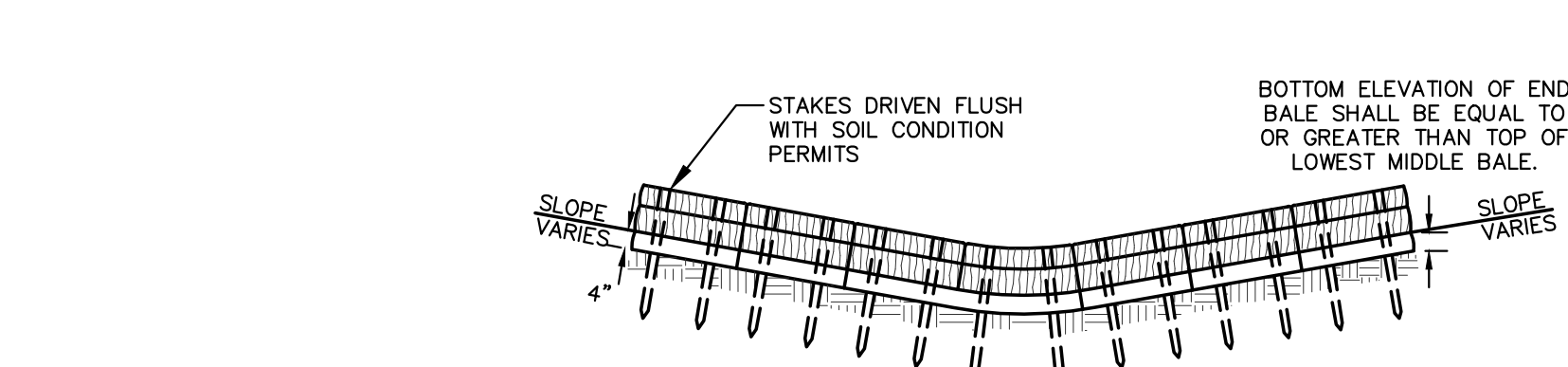
GENERAL NOTES:

- MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
- JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
- USE MORTAR FOR PIPE CONNECTIONS.
- ALL MANHOLES SHALL HAVE RUBBER CHIMNEY BOOT SEALS.

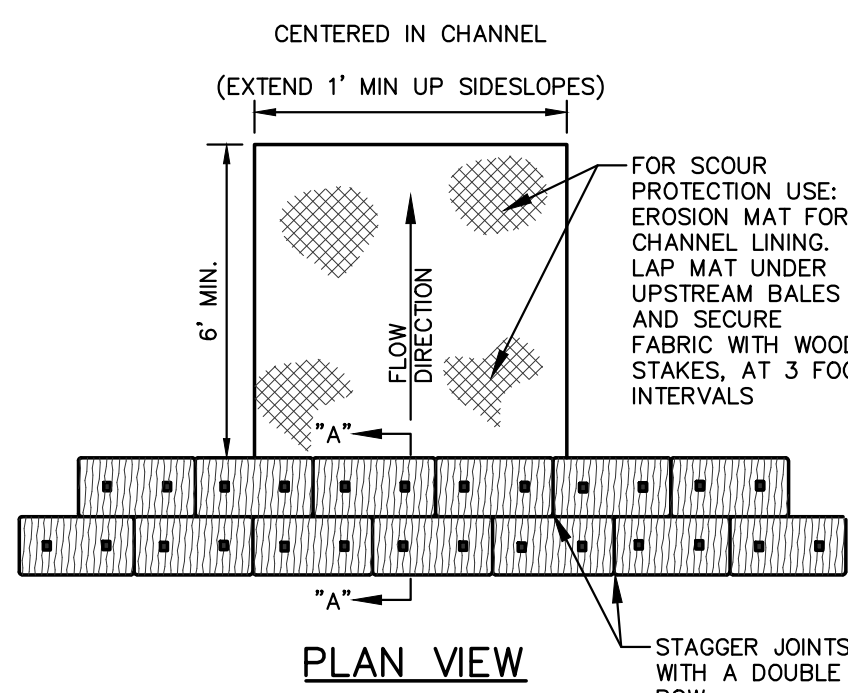
SANITARY SEWER MANHOLE

N.T.S.

REV. 12-8-2018

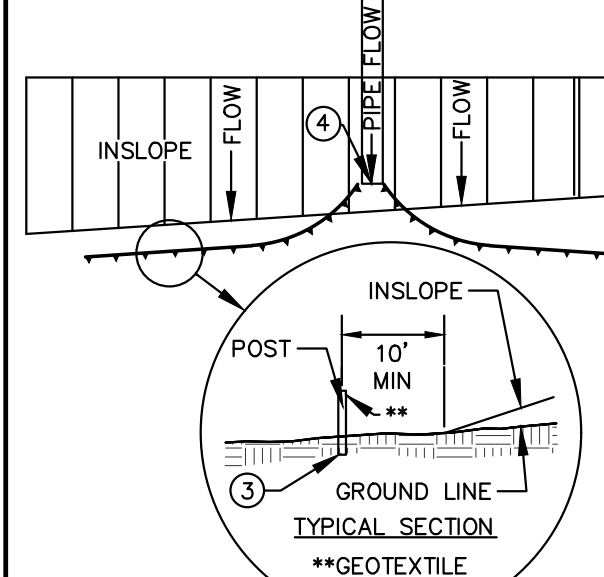


FRONT ELEVATION



PLAN VIEW

REV. 11-19-2018



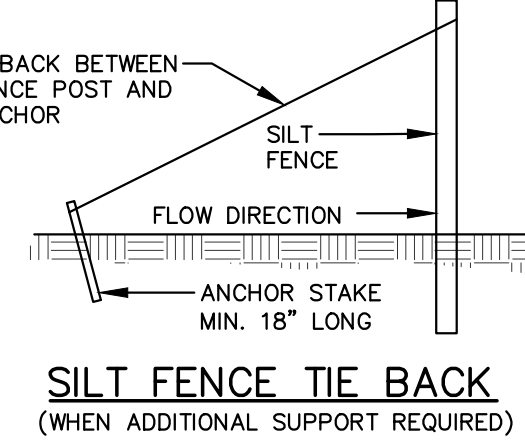
SILT FENCE ALONG SLOPES & OUTFALLS

GENERAL NOTES:

- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
- SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
- SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO MNR TECHNICAL STANDARD 1056.
- POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

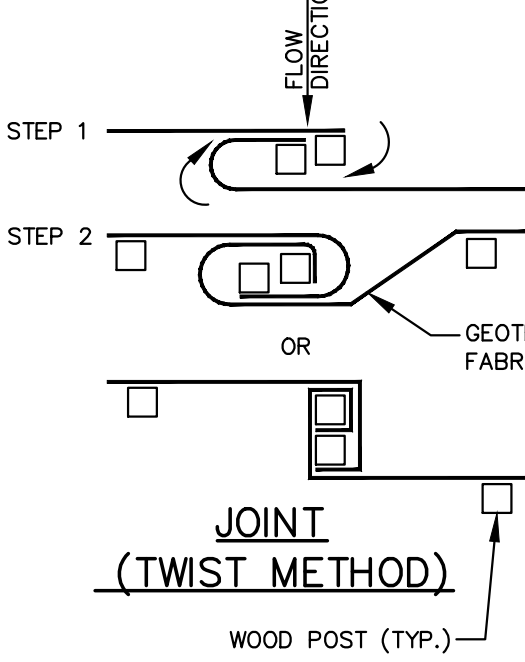
NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

TRENCH DETAIL



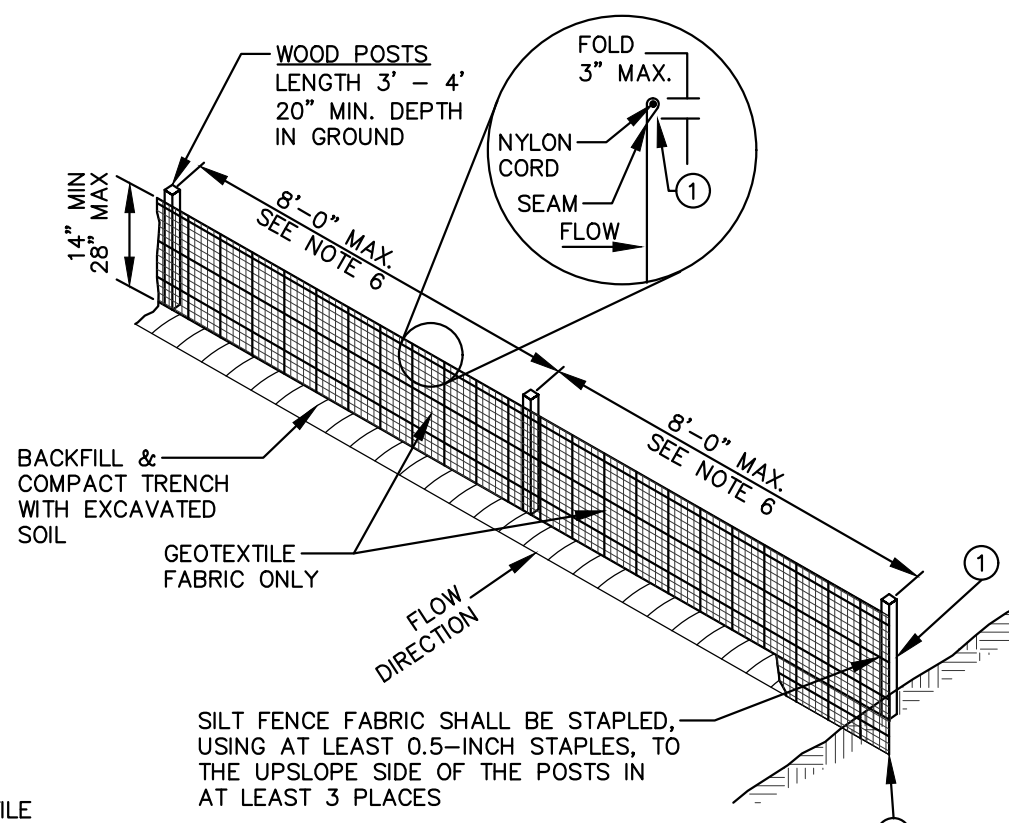
SILT FENCE TIE BACK

(WHEN ADDITIONAL SUPPORT REQUIRED)

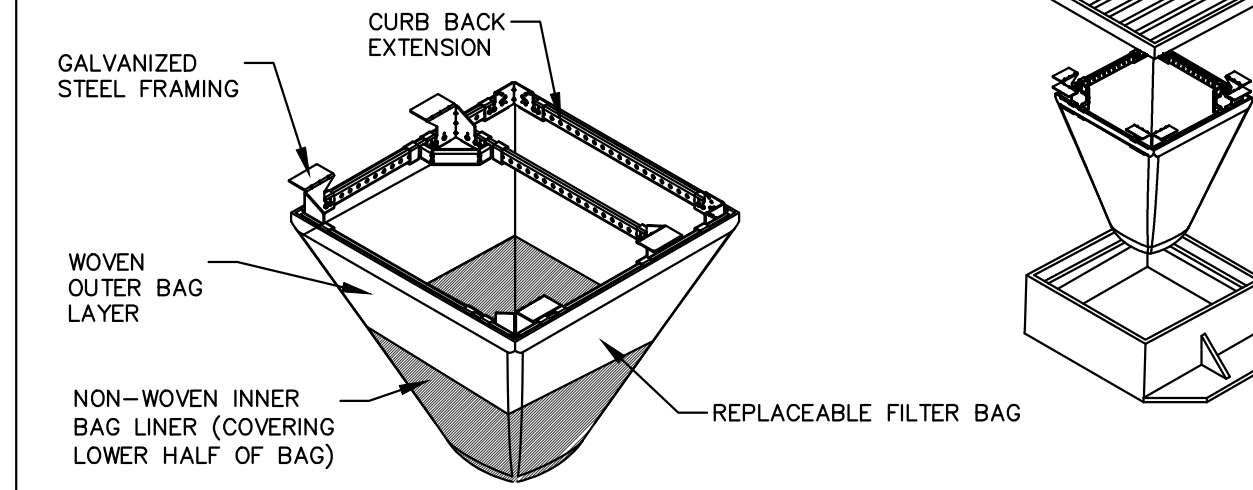


SILT FENCE

N.T.S.



FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



CATCH-IT INLET FILTER (Temporary Inlet Protection)						
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)	ADS PIN
3067	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0	5.8
3248A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7	2.2
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2
R-2501	Round (RD)	-28	-24	2.3	0.8	5.2
R-1772/2560	Round (RD)	22.25-23.5	20.5-21	1.5	0.6	4.6

(HB) HYBRID FILTER BAG SPECIFICATIONS:

Woven and Non-Woven Geotextile Filter Bag Properties (Minimum Average Ball Values)		WOVEN (50% WOVEN)	NON-WOVEN (50% WOVEN)
TENSILE STRENGTH	ASTM D4832	150 x 225 Lbs	300 Lbs
ELONGATION	ASTM D4832	20% x 10%	50%
CBR PUNCTURE	ASTM D5041	1000 Lbs	65 Lbs
TRAFFIC/ROAD TEAR	ASTM D4833	150 x 75 Lbs	45 Lbs
UV RESISTANCE	ASTM D4855	90%	70%
OPENING SIZE (AOS)	ASTM D4751	20/10 STD SEIVE	40/10 STD SEIVE
PERMEABILITY	ASTM D4891	1.5 sec	2.0 sec
WATER FLOW RATE	ASTM D4891	200 gal/min/ft ²	140 gal/min/ft ²

INSTALLATION INSTRUCTIONS:

- REMOVE GRATE FROM THE DRAINAGE STRUCTURE
- CLEAN STONE AND DIRT FROM LEDGE (UP) OF DRAINAGE STRUCTURE
- DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE UP OF THE STRUCTURE
- REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

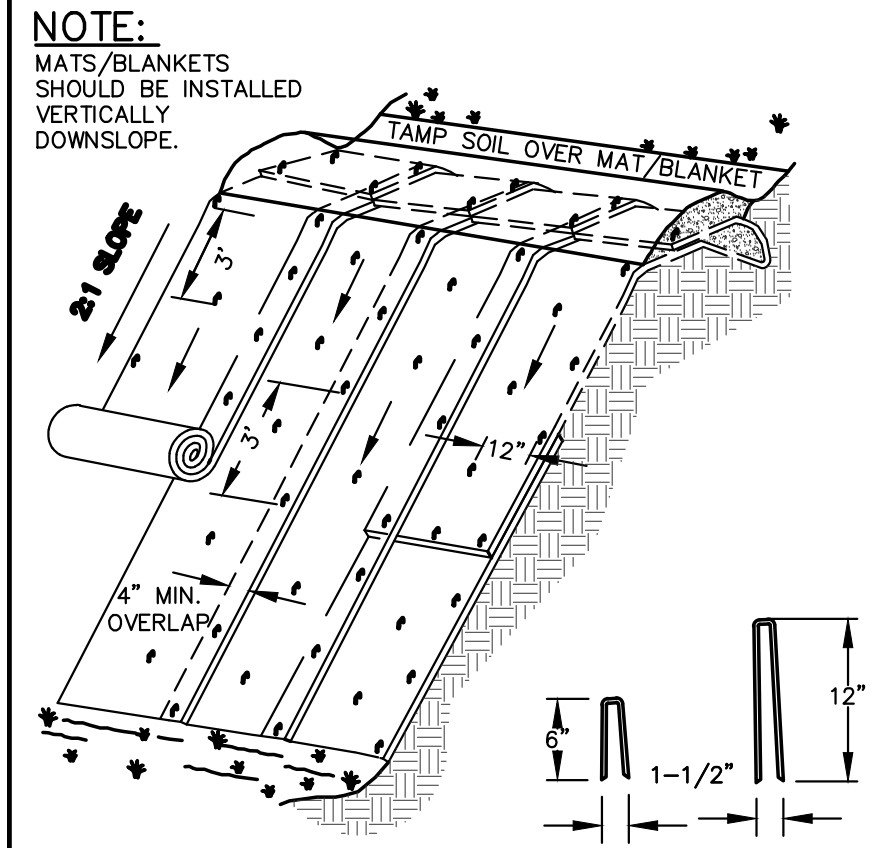
MAINTENANCE GUIDELINES:

- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
- REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE
- DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACTOR. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

FRAMED INLET PROTECTION

N.T.S.

REV. 7-01-2019



ISOMETRIC VIEW

TYPICAL SLOPE SOIL STABILIZATION

BERM

GENERAL NOTES:

- EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT"
- ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
- APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
- ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

EROSION MATTING

N.T.S.

REV. 11-19-2018



CREATE THE VISION TELL THE STORY

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COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

SMITH Gilbane

CLIENT ADDRESS:

241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:

MADISON YARDS AT
HILL FARMS
BLOCK 2

PROJECT LOCATION:

701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
4		
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Design/Drawn:
Approved:

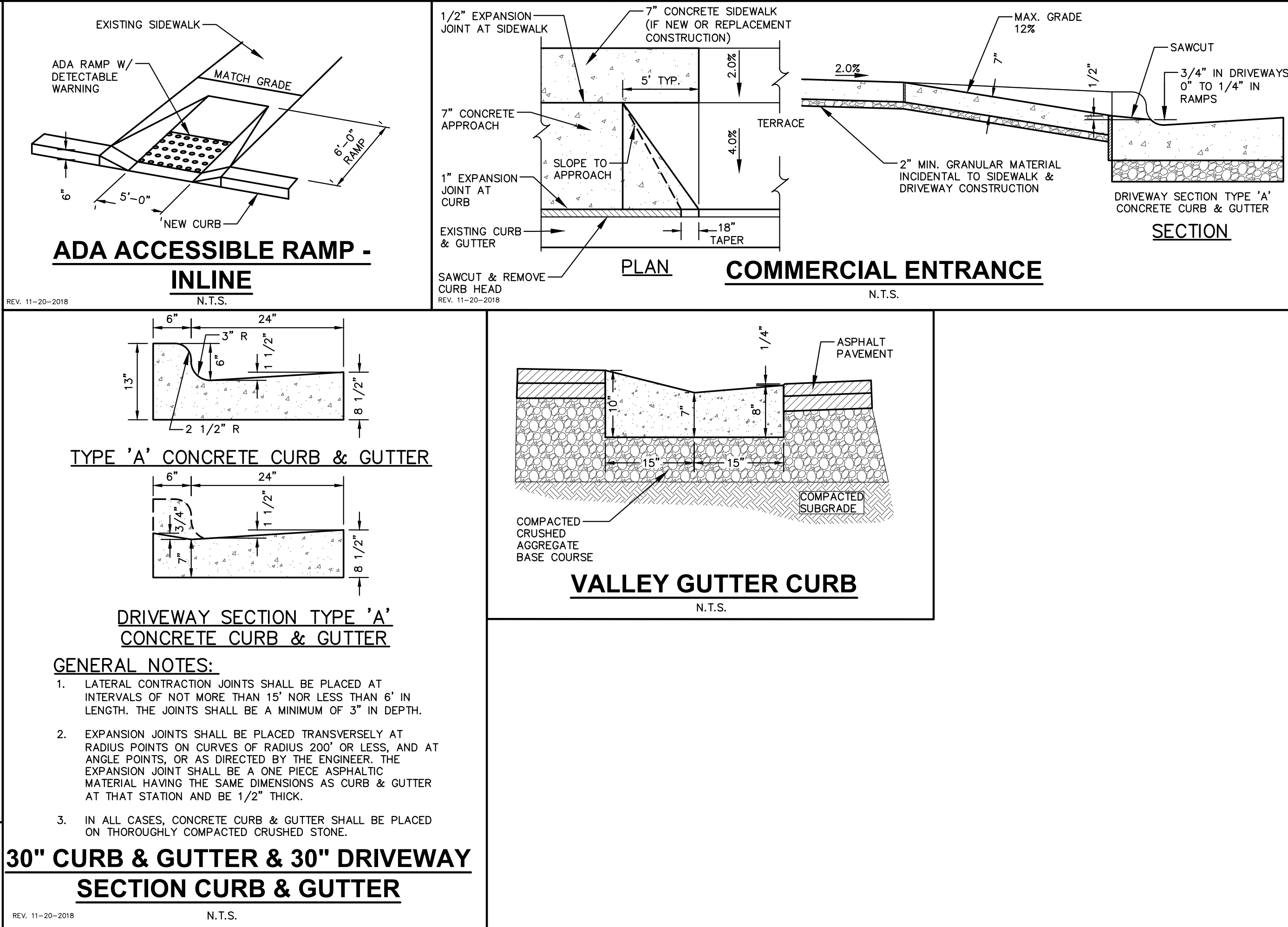
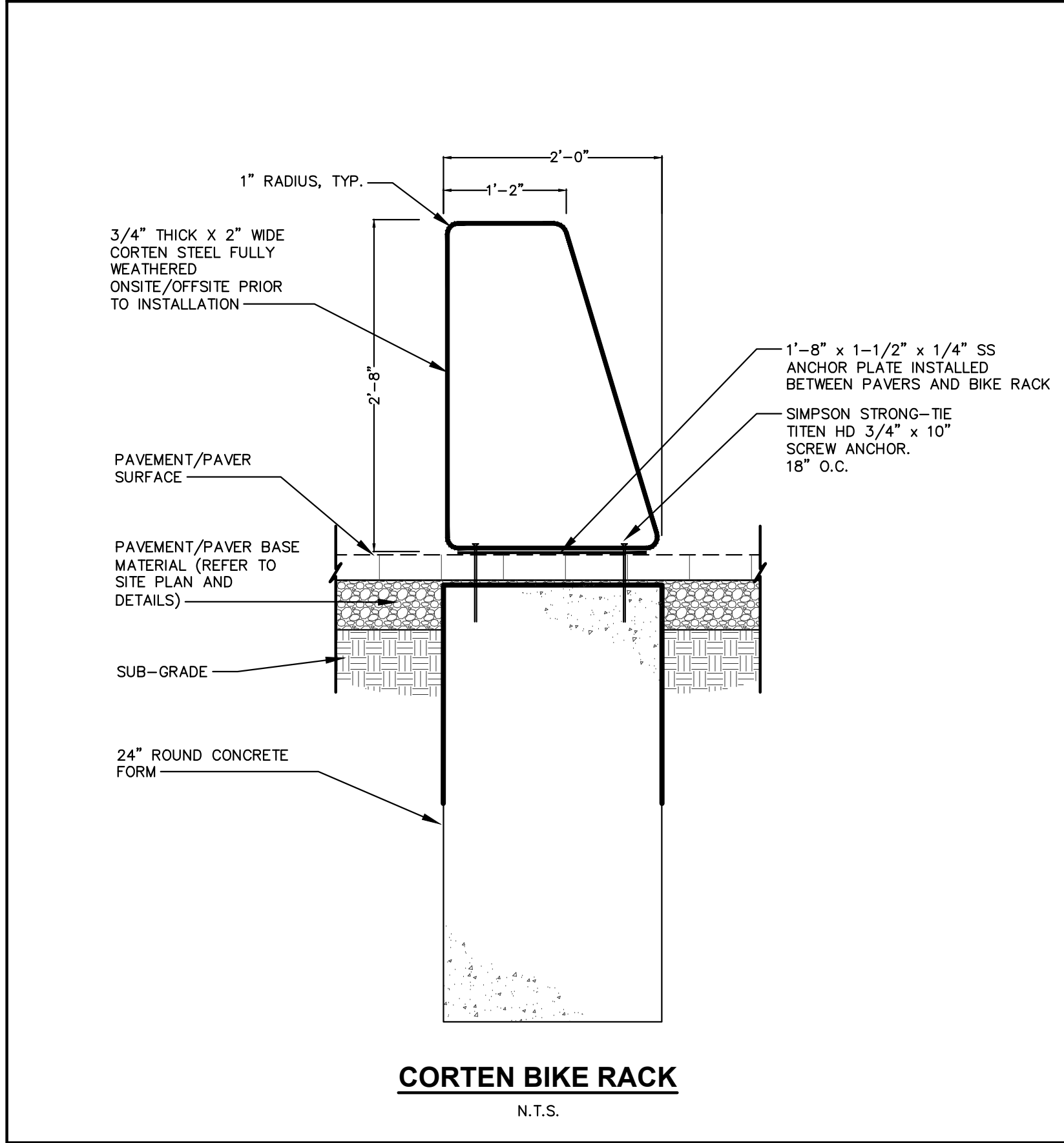
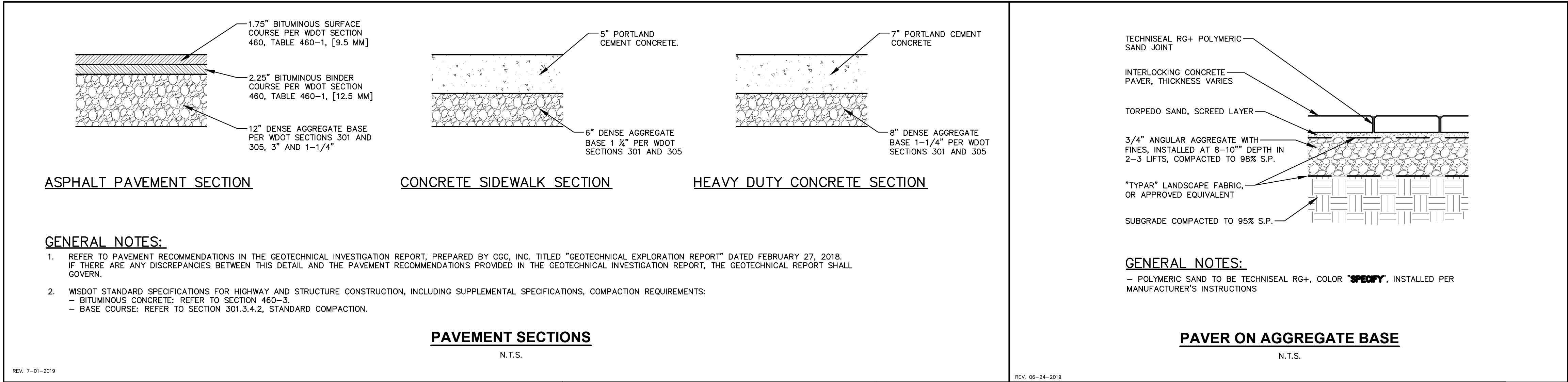
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BLOCK 2
DETAILS - EROSION
CONTROL & UTILITIES

SHEET NUMBER:

B2-C4.0

JSD PROJECT NO: 19-0365





#	Date:	Description:
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3	11.18.2020	LAND USE - UDC RESUBMITTAL
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Design/Drawn:
Approved:

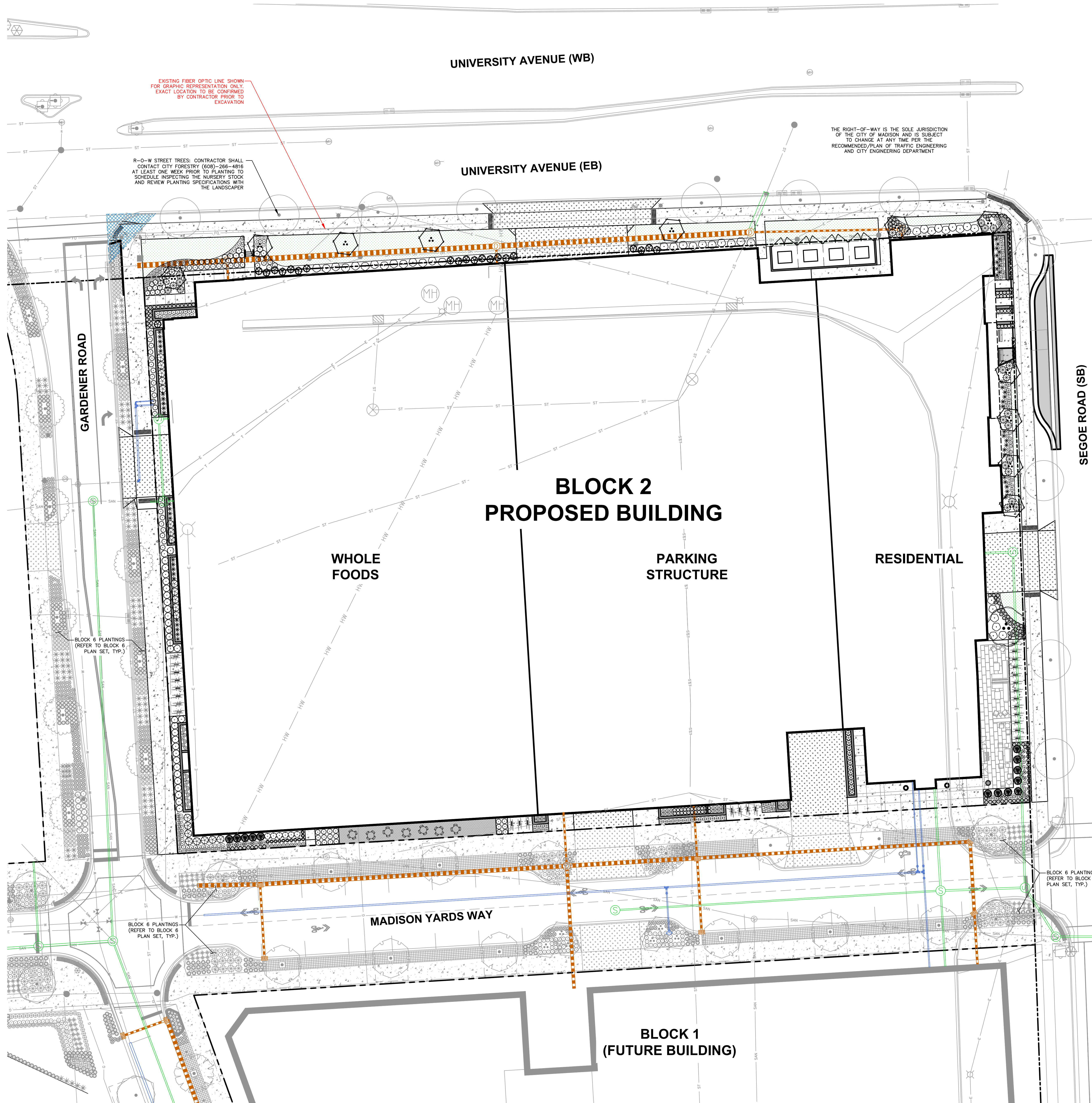
SHEET TITLE:
BLOCK 2
DETAILS - SITE

SHEET NUMBER:

B2-C4.1

JSD PROJECT NO: 19-0360

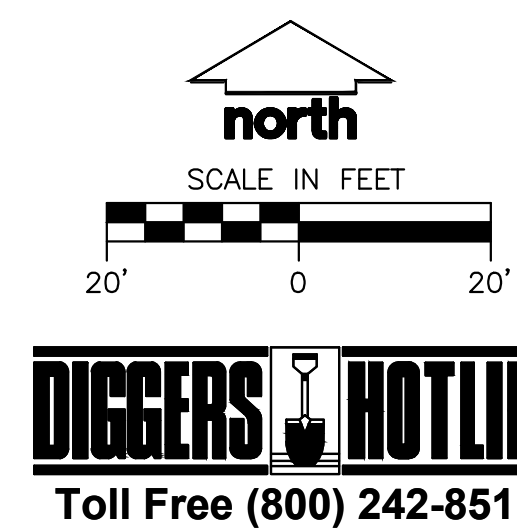
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LEGEND

REFER TO SHEET B2-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	
	AAB	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.	
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	
	PCC	Pinus cembra 'Chalet' / Chalet Swiss Stone Pine	
	THP	Thuja occidentalis 'Pyramidalis' / Pyramidalis Cedar	
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL / COMMON NAME	
	BN	Betula nigra 'BNMTF' TM / Dura Heat River Birch	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	
	AM	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	
	AMS	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry	
	CF	Cornus stolonifera 'Farrow' / Arctic Fire Dogwood	
	HB	Hydrangea paniculata 'ILVOBO' TM / Bobo Panicked Hydrangea	
	HLL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	
	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	
	PP	Pinus mugo 'Pumilio' / Mugo Pine	
	TME	Taxus x media 'Everlow' / Yew	
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	
	CMW	Calamintha nepeta 'Montrorse White' / Montrorse White Catmint	
	EP	Echinacea purpurea 'PAS702918' TM / PowWow White Coneflower	
	EF	Echinacea x 'Firebird' / Firebird Coneflower	
	ET	Echinacea x 'Tiki Torch' / Coneflower	
	GT	Geranium x 'Tiny Monster' / Tiny Monster Geranium	
	LK	Liatris spicata 'Kobold' / Spike Gayfeather	
	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass	
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass	
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower	
	SNC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia	
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.28.2020	GMP SET
3	11.18.2020	LAND USE - UDC RESUBMITTAL
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Design/Drawn:

MWS

Approved:

KJV

SHEET TITLE:

**BLOCK 2
OVERALL LANDSCAPE
PLAN**

SHEET NUMBER:

B2-L1.0

JSD PROJECT NO:

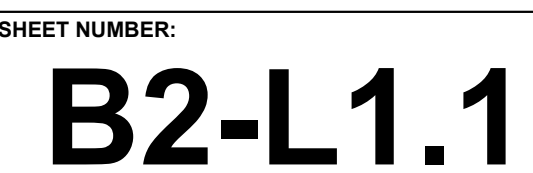
19-0366



UNIVERSITY AVENUE (EB)

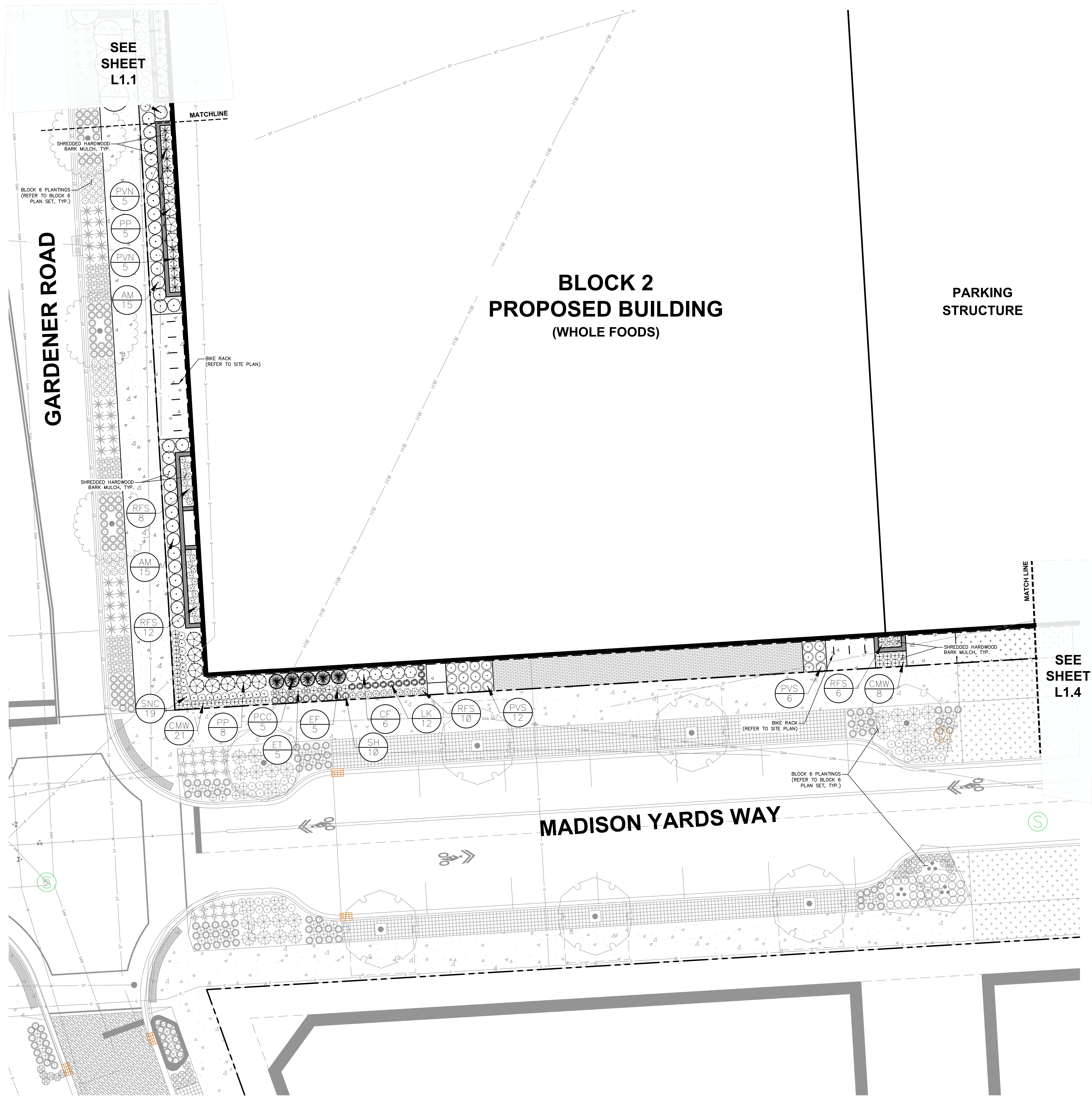


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USD PROJECT NO: 19-93

File: L2019199298_199298 - Block 20W0200Ch-Landscape Sheets199298 BLK2 - L1.0 - LANDSCAPE PLAN.dwg Layout: L1.2 - DETAILED LANDSCAPE PLAN - SW User: mminicelli Plotted: Nov 16, 2020 11:59am Xref's: 19-0306-BLK2 MADISON YARDS - BLK2



LEGEND

REFER TO SHEET B2-CO.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST	SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AAB	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	PCC	Pinus cembra 'Chalet' / Chalet Swiss Stone Pine
	THP	Thuja occidentalis 'Pyramidalis' / Pyramidalis Cedar
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL / COMMON NAME
	BN	Betula nigra 'BNMTF' TM / Dura Heat River Birch
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	AM	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry
	AMS	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry
	CF	Cornus stolonifera 'Farrow' / Arctic Fire Dogwood
	HB	Hydrangea paniculata 'ILVOBO' TM / Bobo Panicle Hydrangea
	HLL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea
	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME
	PP	Pinus mugo 'Pumilio' / Mugo Pine
	TME	Taxus x media 'Everlow' / Yew
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
	CMW	Calamintha nepeta 'Montrose White' / Montrose White Catmint
	EP	Echinacea purpurea 'PAS702918' TM / PowWow White Coneflower
	EF	Echinacea x 'Firebird' / Firebird Coneflower
	ET	Echinacea x 'Tiki Torch' / Coneflower
	GT	Geranium x 'Tiny Monster' / Tiny Monster Geranium
	LK	Liatris spicata 'Kobold' / Spike Gayfeather
	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower
	SNC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed



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COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
701 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

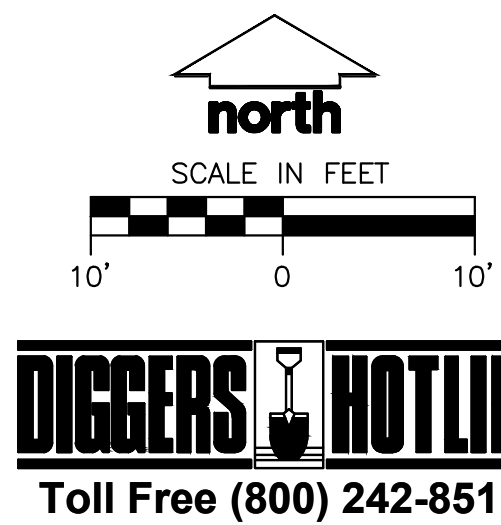
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#	Date:	Description:
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2	02.28.2020	GMP SET
3	11.16.2020	LAND USE - UDC RESUBMITTAL
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Design/Drawn: MWS
Approved: KJV

SHEET TITLE:
**BLOCK 2
DETAILED LANDSCAPE
PLAN - SOUTHWEST**

SHEET NUMBER:
B2-L1.2

JSD PROJECT NO: 19-0306



UNIVERSITY AVE (WB)

UNIVERSITY AVE (EB)

BLOCK 2
PROPOSED BUILDING

PARKING STRUCTURE

RESIDENTIAL

SEGOE RD (SB)

LEGEND

REFER TO SHEET B2-CO.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST	SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AAB	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.
TALL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME
	PCC	Pinus cembra 'Chalet' / Chalet Swiss Stone Pine
	THP	Thuja occidentalis 'Pyramidalis' / Pyramidalis Cedar
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL / COMMON NAME
	BN	Betula nigra 'BNMTF' TM / Dura Heat River Birch
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	AM	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry
	AMS	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry
	CF	Cornus stolonifera 'Farrow' / Arctic Fire Dogwood
	HB	Hydrangea paniculata 'ILVOBO' TM / Boba Panicle Hydrangea
	HLL	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea
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	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark
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	TME	Taxus x media 'Everlow' / Yew
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME
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	EP	Echinacea purpurea 'PAS702918' TM / PowWow White Coneflower
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	ET	Echinacea x 'Tiki Torch' / Coneflower
	GT	Geranium x 'Tiny Monster' / Tiny Monster Geranium
	LK	Liatris spicata 'Kobold' / Spike Gayfeather
	PVN	Panicum virgatum 'North Wind' / Northwind Switch Grass
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower
	SNC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed



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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:
**701 GARDENER ROAD
MADISON, WI 53705**

REVIEW DRAWING
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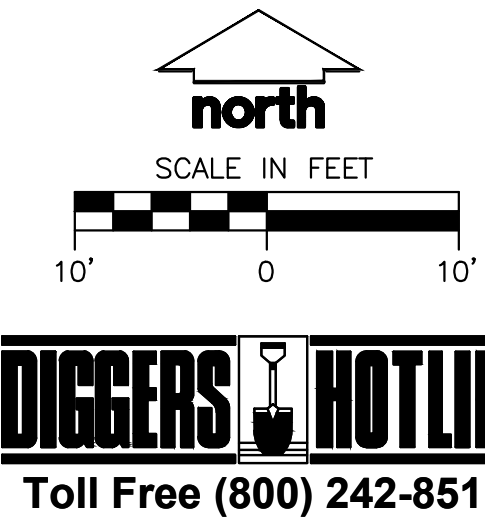
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Design/Drawn: MWS
Approved: KJV

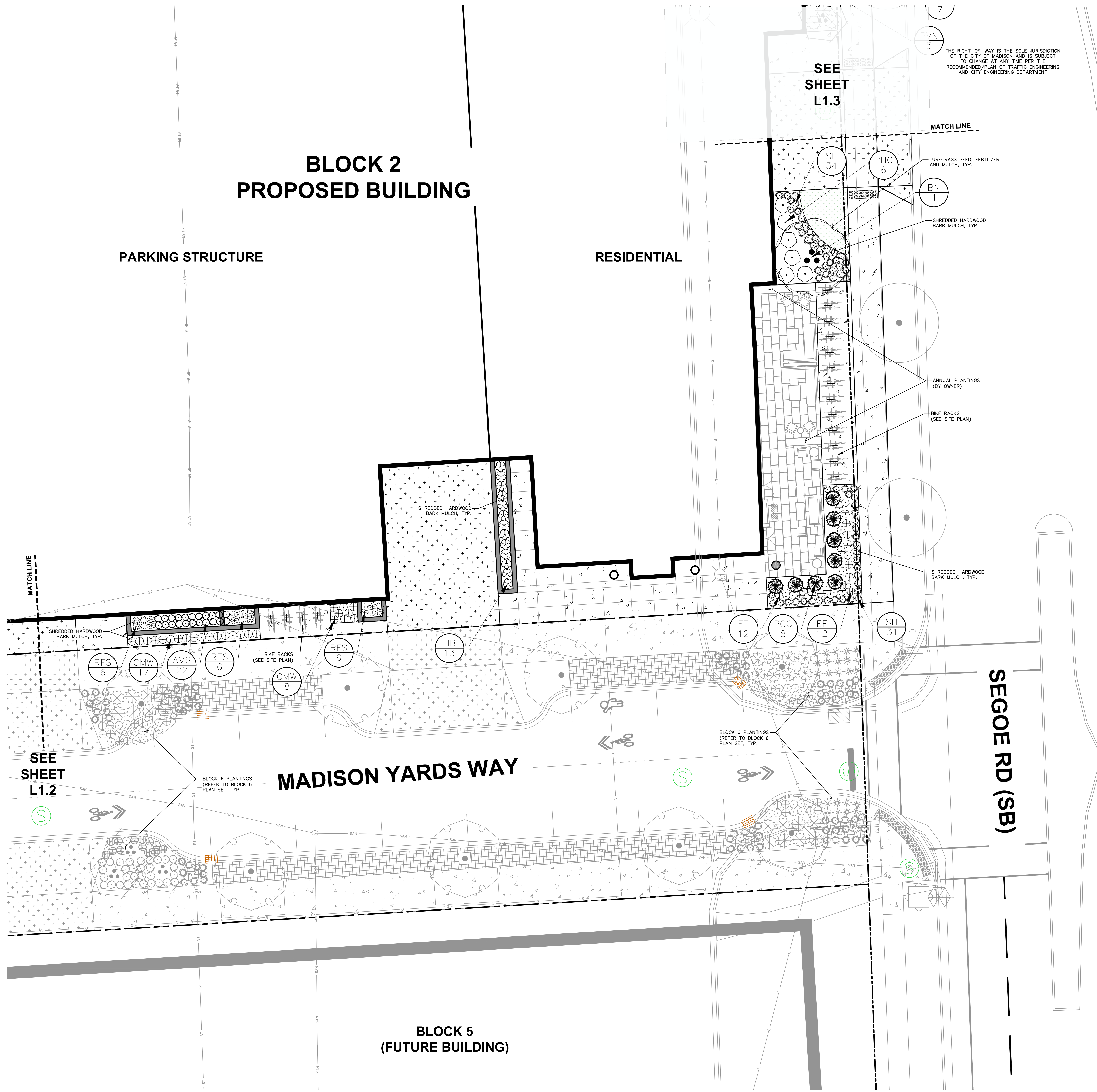
SHEET TITLE:
**BLOCK 2
DETAILED LANDSCAPE
PLAN - NORTHEAST**

SHEET NUMBER:
B2-L1.3

JSD PROJECT NO: 19-0365



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LEGEND		
REFER TO SHEET B2-CO.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION		
PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
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	PVS	Panicum virgatum 'Shenandoah' / Switch Grass
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower
	SNC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed

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Engineers • Surveyors • Planners

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MADISON REGIONAL OFFICE
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P. 608.848.5060

CLIENT:

SMITH Gilbane

CLIENT ADDRESS:

**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:

**MADISON YARDS AT
HILL FARMS
BLOCK 2**

PROJECT LOCATION:

**701 GARDENER ROAD
MADISON, WI 53705**

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:

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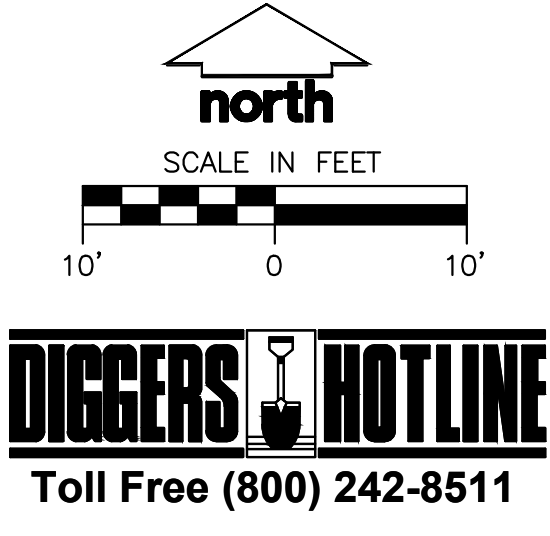
Design/Drawn: MWS
Approved: KJV

SHEET TITLE:
**BLOCK 2
DETAILED LANDSCAPE
PLAN - SOUTHEAST**

SHEET NUMBER:
B2-L1.4

JSD PROJECT NO: 19-0360

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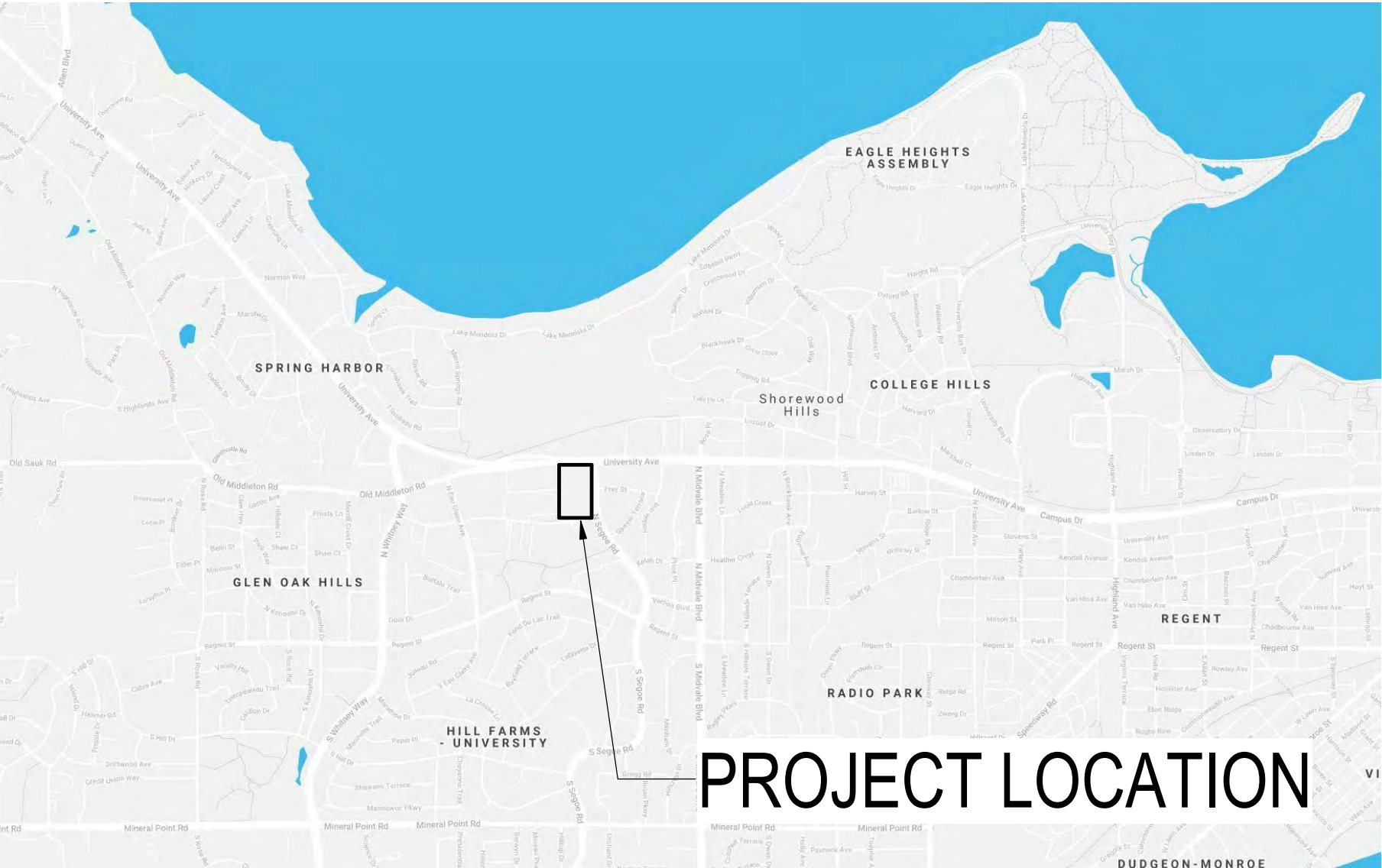
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MADISON YARDS: BLOCK 2 - GROCER BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

KAHLER SLATER PROJECT: 219143.00
NOVEMBER 17, 2020

ARCHITECTURAL SHEET INDEX	
SHEET NO.	SHEET NAME
AS-A10	ARCHITECTURAL SITE PLAN
A1-A10	LOWER LEVEL PLAN
A1-A11	1ST FLOOR PLAN
A1-A12	2ND FLOOR PLAN
A1-A13	3RD FLOOR PLAN
A1-A14	4TH FLOOR & ROOF PLANS
A2-A10	EXTERIOR ELEVATIONS
A2-A10C	EXTERIOR ELEVATIONS
A2-A20	EXTERIOR PERSPECTIVES
A2-A21	EXTERIOR PERSPECTIVES
A3-A10	BUILDING SECTIONS
A3-A11	BUILDING SECTIONS
A3-A12	BUILDING SECTIONS



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Revisions

GMP/SIP PACKAGE

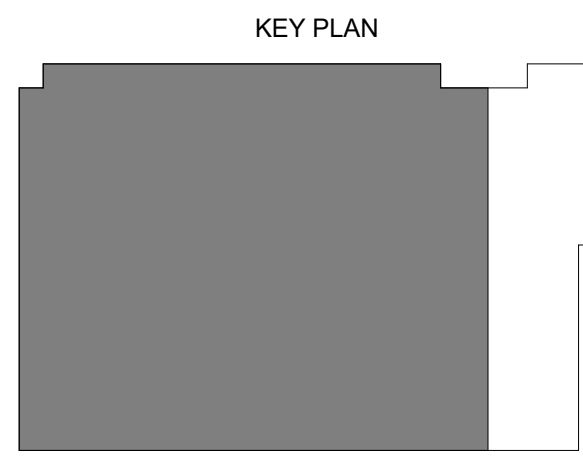
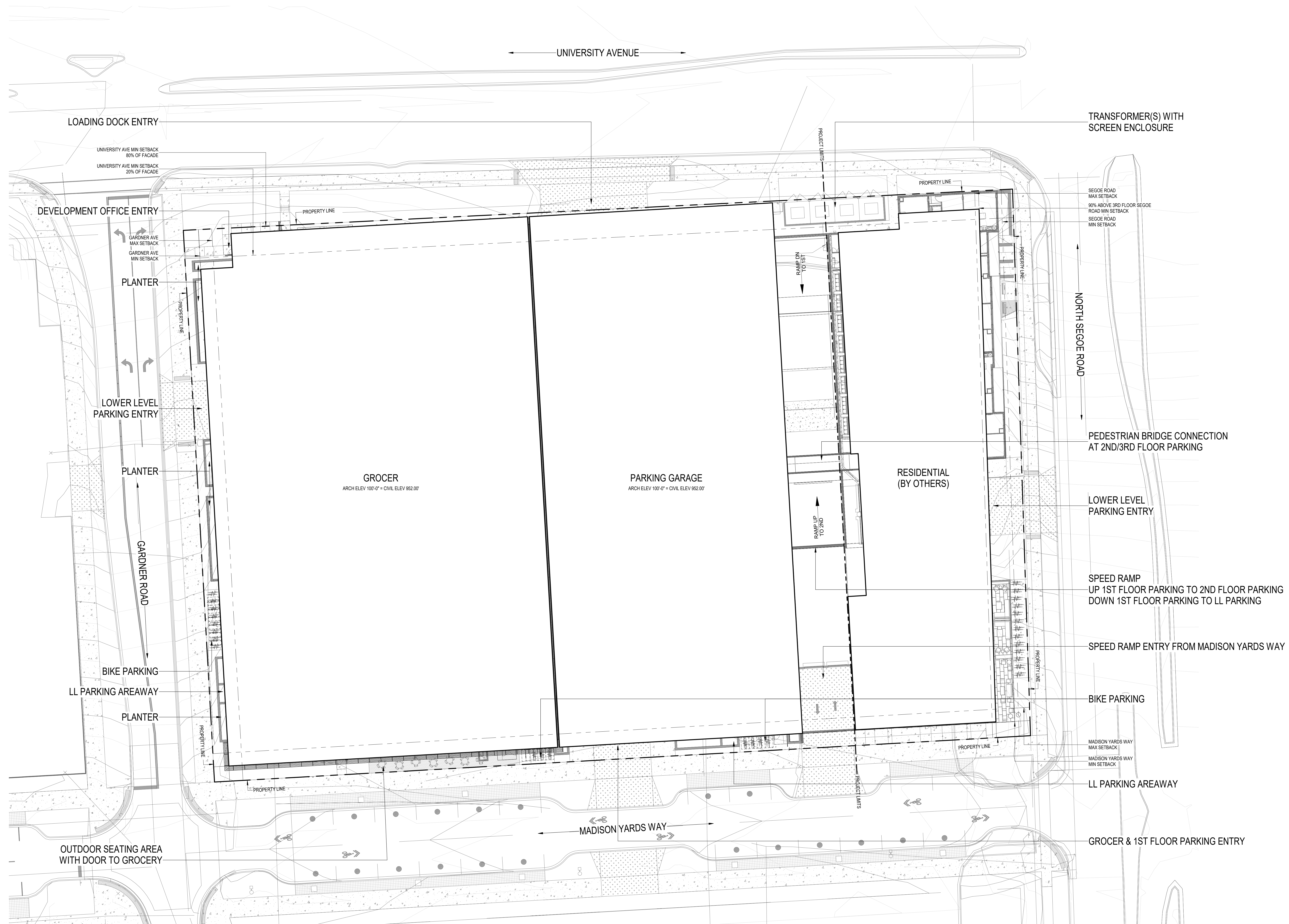
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NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL
UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
COVER SHEET

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104 Shookoe St., Richmond, Virginia 23219
Telephone 804.787.2500
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414.272.2000 Fax 414.272.2001
722 Williamson Street, Madison, Wisconsin 53703
Telephone 608.263.6300 Fax 608.263.6317
125 South Clark Street, Suite 675-2, Chicago, Illinois 60603
Telephone 312.789.4516
Sheet No.
G0-A00



Revisions

MP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title

ARCHITECTURAL SITE
PLAN

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Telephone 804.767.2500

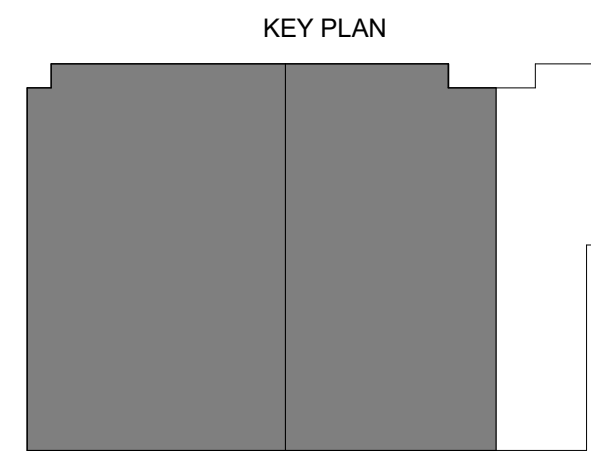
111 West Wisconsin Avenue, Milwaukee, Wisconsin 53203
Telephone 414.272.2000 Fax 414.272.2001

722 Williamson Street, Madison, Wisconsin 53703
Telephone 608.283.6300 Fax 608.283.6317

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Drawing Date
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MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

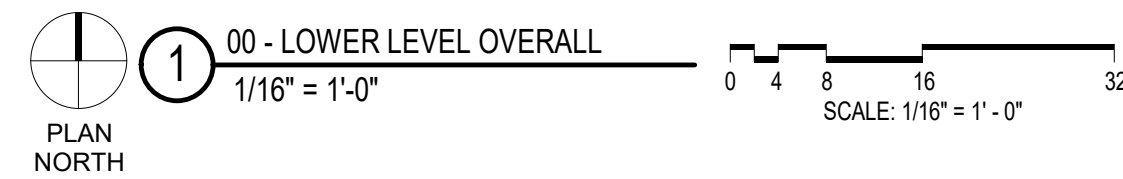
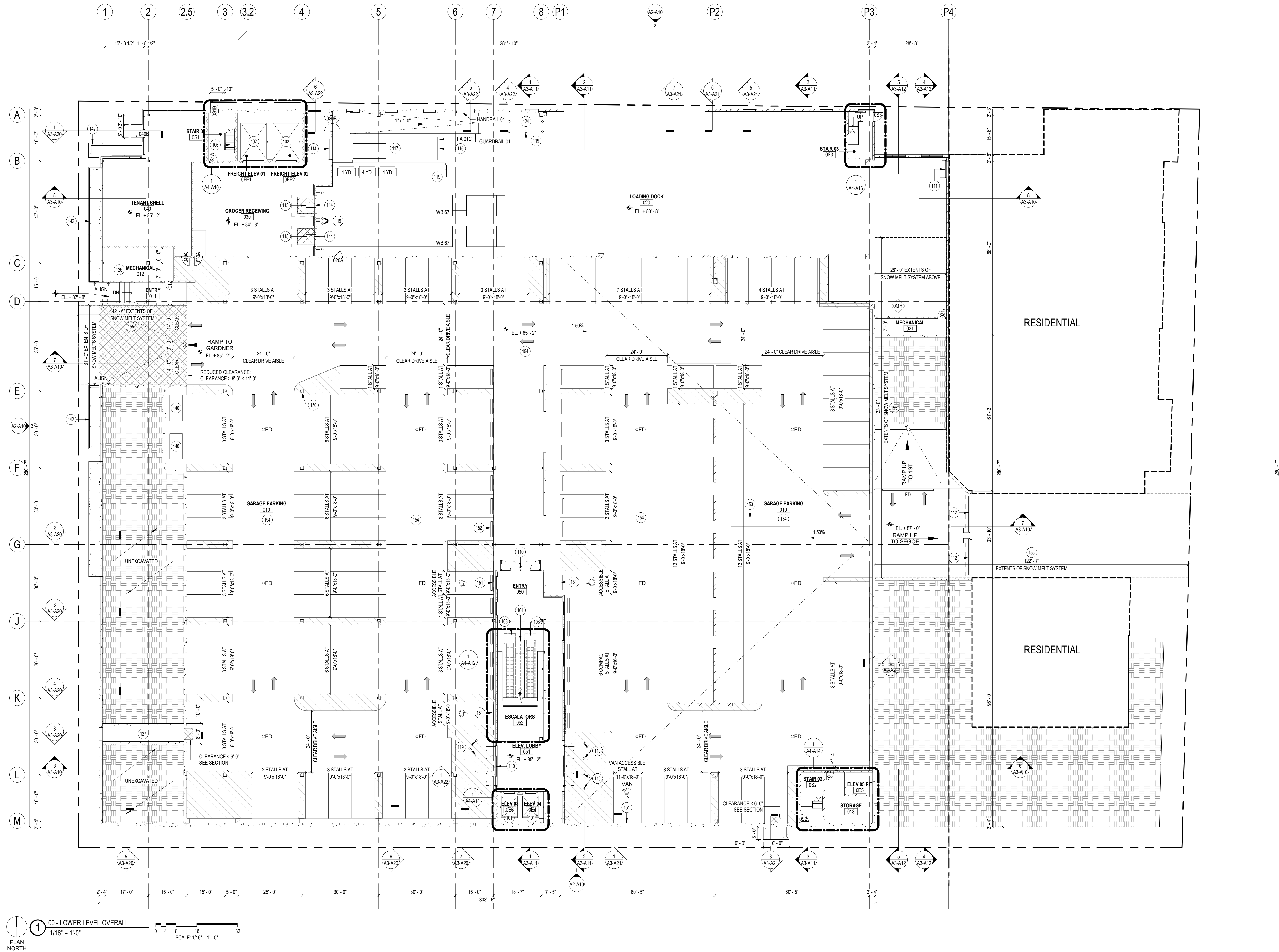
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Sheet Title

LOWER LEVEL PLAN

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Sheet No.
A1-A10



KEYNOTES - FLOOR PLAN	
101	MACHINE ROOM LESS PASSENGER SERVICE ELEVATOR, 5000 LB CAPACITY, 200 FPM, BASIS OF DESIGN: OTIS GEN2
102	FREIGHT ELEVATOR, 12,000 LB CAPACITY, 10'W x 14'D x 10'H
103	ESCALATOR, BASIS OF DESIGN THYSSENKRUPP VELINO
104	CART CONVEYING SYSTEM, SINGLE DOWNWARD TRACK, BASIS OF DESIGN: CARTVEYOR BY PFLOW INDUSTRIES
105	CONCRETE FILLED GALVANIZED STEEL STAIRS
110	16'-0" WIDE X 8'-8" HIGH AUTOMATIC SLIDING DOOR, BASIS OF DESIGN: BESAM
111	6'-0" x 8'-0" 3 HOUR RATED COILING FIRE DOOR
112	14'-0" x 8'-8" 3 HOUR RATED COILING FIRE DOOR
114	9'-0" x 10'-0" INSULATED SECTIONAL OVERHEAD DOOR, PROVIDE ELECTRONIC OPERATORS, MANUAL CHAIN HOIST OVERRIDE AND VISION PANELS
115	RAISED CONCRETE PLATFORM WITH MREDDIED GALVANIZED STEEL SKID PLATES FOR TRASH COMPACTOR, COORDINATE SIZE AND ELEVATION WITH TENANT.
117	TRASH COMPACTOR, COORDINATE REQUIRED SIZE AND PROVIDER WITH TENANT.

KEYNOTES - FLOOR PLAN	
119	6" DIAMETER CONCRETE FILLED BOLLARD
124	GENERATOR - VERIFY REQUIREMENTS w/ELECTRICAL
126	ROOM TO INCLUDE FIRE PROTECTION RISERS, WATER METER, FIRE DEPARTMENT CONNECTION & BACKFLOW PREVENTER, VERIFY REQUIREMENTS w/ELECTRICAL
127	AREAWAY w/GRATE, VERIFY REQUIREMENTS w/MECHANICAL
140	GREASE TRAPS, CHAINLINK FENCE w/ GATE
142	BUILT IN PLANTER - LINE WITH SHEET WATERPROOFING AND 2" EXTRUDED POLYSTYRENE INSULATION, PROVIDE 12" GARVEL BASE AND FILTER FABRIC AT BOTTOM OF PLANTER, FILL REMAINDER OF PLANTER WITH TOP SOIL, HOLD INSULATION 2" MIN. BELOW GRADE
150	CONCRETE ENCASED STEEL COLUMN, 1 HOUR FIRE RATED MINIMUM, TYPICAL
151	HANDICAP STALL SIGNAGE
152	PARKING BUMPER, TYPICAL
153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL
154	TRAFFIC BEARING MEMBRANE COATING
155	SNOW MELT SYSTEM - COORDINATE DESIGN BUILD MEP

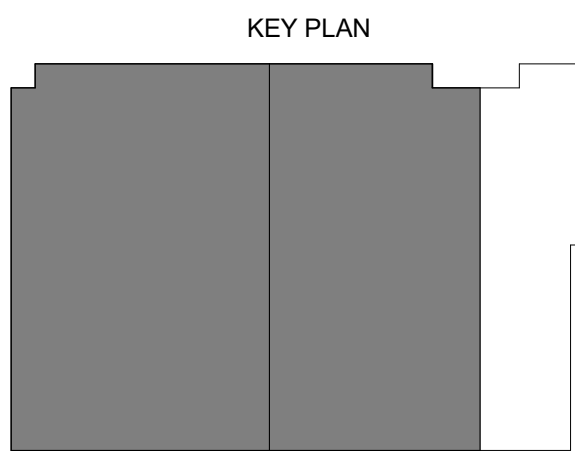
PARKING MATRIX - GROCER	
STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
COMPACT PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL	
STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	108
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

FLOOR PLAN SYMBOL LEGEND	
ALIGN	ALIGN FACE OF INDICATED ELEMENTS
7	PLAN KEYNOTE - SEE KEYNOTE LEGEND
FEC	FIRE EXTINGUISHER CABINET (FEC)
FE	FIRE EXTINGUISHER (FE)
RD	ROOF DRAIN
FD	FLOOR DRAIN
SKYLIGHT	SKYLIGHT

FLOOR PLAN GENERAL NOTES	
1.	VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2.	DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
3.	COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4.	REFER TO PARTITION SCHEDULE ON G000 FOR TYPICAL PARTITION TYPES, STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE OHD U.N.O.
5.	SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.

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Drawing Date
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MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

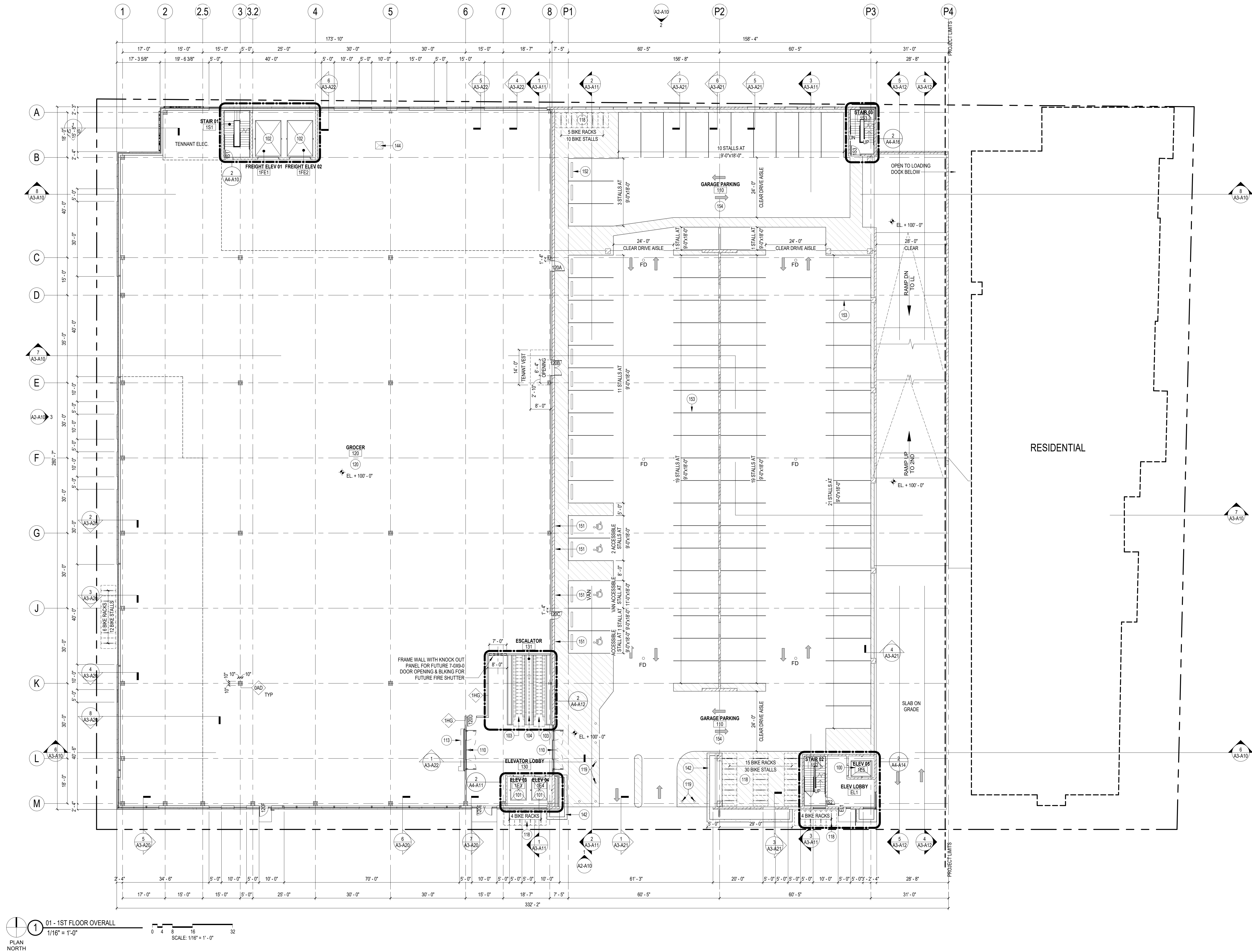
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1ST FLOOR PLAN

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Sheet No.
A1-A11



KEYNOTES - FLOOR PLAN

100	MACHINE ROOM LESS PASSENGER ELEVATOR, 3000 LB CAPACITY, 200 FPM, BASIS OF DESIGN: OTIS GEN2
101	MACHINE ROOM LESS PASSENGER SERVICE ELEVATOR, 5000 LB CAPACITY, 200 FPM, BASIS OF DESIGN: OTIS GEN2
102	FREIGHT ELEVATOR, 12,000 LB CAPACITY, 10'W x 14'D x 10'H
103	ESCALATOR, BASIS OF DESIGN: THYSSENKRUPP VELINO
104	CART CONVEYING SYSTEM, SINGLE DOWNWARD TRACK, BASIS OF DESIGN: CARTVEYOR BY PLOW INDUSTRIES.
110	16'-0" WIDE X 8'-6" HIGH AUTOMATIC SLIDING DOOR, BASIS OF DESIGN: BESAM
113	16'-0" x 8'-6" 1 HOUR RATED COILING FIRE DOOR
118	BIKE RACK - VERIFY REQUIREMENTS WITH GROCER TENANT.
119	10" DIAMETER CONCRETE FILLED SOLLARD
120	TENANT FINISH FLOOR AT 100'-0" LANDLORD PROVIDED STRUCTURAL SLAB AT 99'-3"
142	BUILT IN PLANTER - LINE WITH SHEET WATERPROOFING AND 2" EXTRUDED POLYSTYRENE INSULATION, PROVIDE 12" GARVEL BASE AND FILTER FABRIC AT BOTTOM OF PLANTER. FILL REMAINDER OF PLANTER WITH TOP SOIL. HOLD INSULATION 2" MIN. BELOW GRADE
144	LOCATION OF SLAB OPENING FOR TRASH CHUTE AT 1ST FLOOR GROCER. COORDINATE FINAL LOCATION W/ STRUCTURAL AND GROCER TENANT
151	HANDICAP STALL SIGNAGE
152	PARKING BUMPER, TYPICAL
153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL.
154	TRAFFIC BEARING MEMBRANE COATING

PARKING MATRIX - GROCER

STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL

STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	106
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

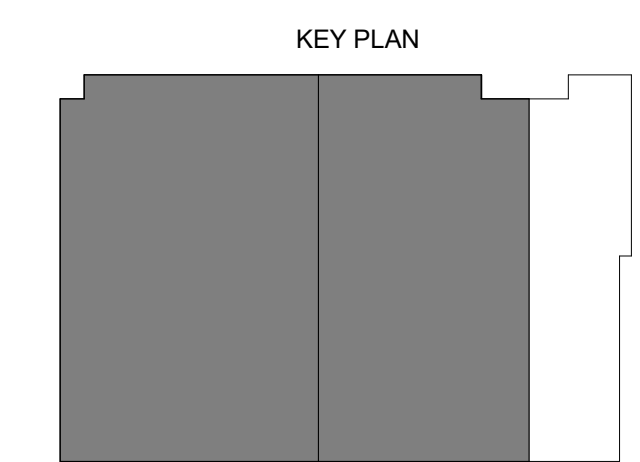
FLOOR PLAN SYMBOL LEGEND

ALIGN	ALIGN FACE OF INDICATED ELEMENTS
?	PLAN KEYNOTE: SEE KEYNOTE LEGEND
FEC	FIRE EXTINGUISHER CABINET (FEC)
FE	FIRE EXTINGUISHER (FE)
RD	ROOF DRAIN
FD	FLOOR DRAIN
SKYLIGHT	SKYLIGHT

FLOOR PLAN GENERAL NOTES

1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4. REFER TO PARTITION SCHEDULE ON G005 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE OHD U.N.O.
5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.

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**MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL**

UNIVERSITY AVENUE AT GARDNER ROAD

Project No.	SUMMIT SMITH/GILBANE
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2ND FLOOR PLAN

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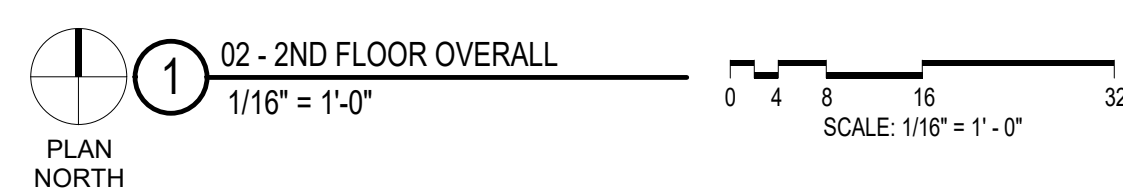
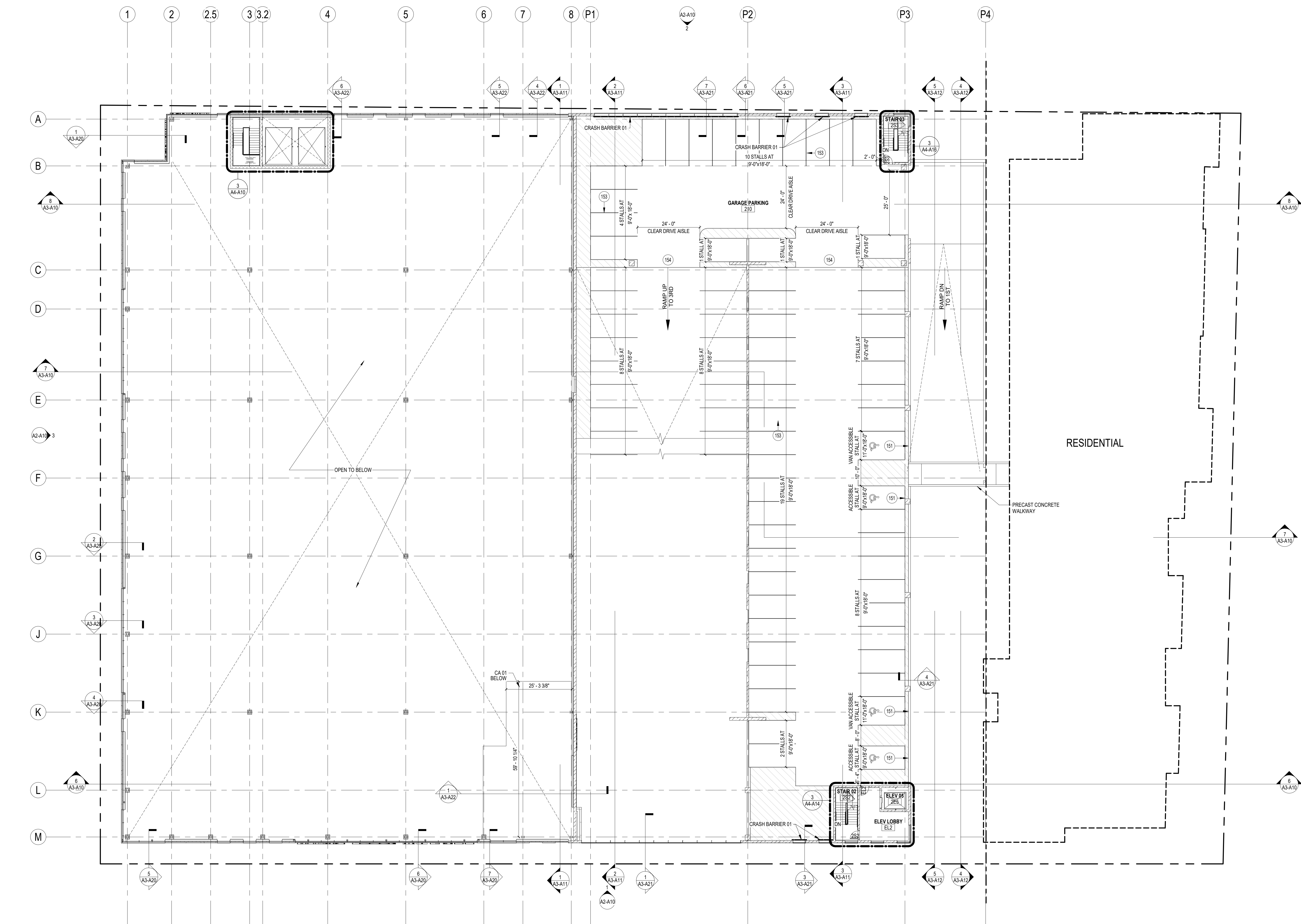
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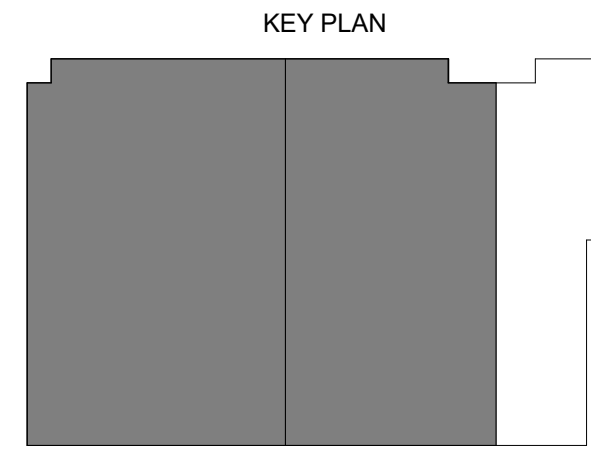
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A1-A12



ASSEMBLIES & COMPONENTS		KEYNOTES - FLOOR PLAN		PARKING MATRIX - GROCER		PARKING MATRIX - RESIDENTIAL		FLOOR PLAN SYMBOL LEGEND		FLOOR PLAN GENERAL NOTES
CA 01 CRASH BARRIER 01	C-JOIST FLOOR / CEILING ASSEMBLY UL-G556 42" HIGH 1+ STRAND HORIZONTAL CABLE VEHICLE CRASH BARRIER GUARD - SEE STRUCTURAL	151 HANDICAP STALL SIGNAGE	153 4" HEAVY DUTY, DURABLE WHITE 2 COAT STRIPING TYPICAL	154 TRAFFIC BEARING MEMBRANE COATING						1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK. 2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY. 3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS. 4. REFER TO PARTITION SCHEDULE ON G600 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE 0.60 AND U-0.9. 5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.
					STALL TYPE	NO. OF STALLS	STALL TYPE	NO. OF STALLS	<div>ALIGN</div> <div>↔</div> <div>ALIGN FACE OF INDICATED ELEMENTS</div>	
					LOWER LEVEL (PARKING)		2ND FLOOR (PARKING)		<div>PLAN KEYNOTE - SEE KEYNOTE LEGEND</div>	
					ACCESSIBLE PARKING STALL	3	ACCESSIBLE PARKING STALL	2	<div>FEC</div> <div></div> <div>FIRE EXTINGUISHER CABINET (FEC)</div>	
					COMPACT PARKING STALL	6	STANDARD PARKING STALL	69	<div>FE</div> <div></div> <div>FIRE EXTINGUISHER (FE)</div>	
					STANDARD PARKING STALL	139	VAN ACCESSIBLE PARKING STALL	2	<div>ROOF DRAIN</div> <div></div>	
					VAN ACCESSIBLE PARKING STALL	1			<div>FD</div> <div></div> <div>FLOOR DRAIN</div>	
					1ST FLOOR		3RD FLOOR (PARKING)		<div>SKYLIGHT</div> <div></div>	
					ACCESSIBLE PARKING STALL	3	ACCESSIBLE PARKING STALL	2		
					STANDARD PARKING STALL	86	STANDARD PARKING STALL	100		
					VAN ACCESSIBLE PARKING STALL	1	VAN ACCESSIBLE PARKING STALL	2		
					TOTAL STALLS	239	4TH FLOOR (PARKING)			
							STANDARD PARKING STALL	106		
							4.5 FLOOR (PARKING)			
							STANDARD PARKING STALL	30		
							TOTAL STALLS	313		

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MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

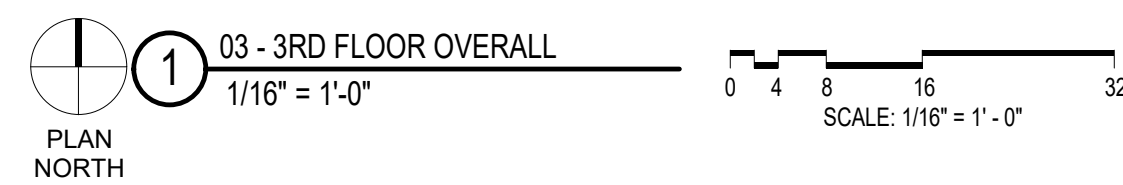
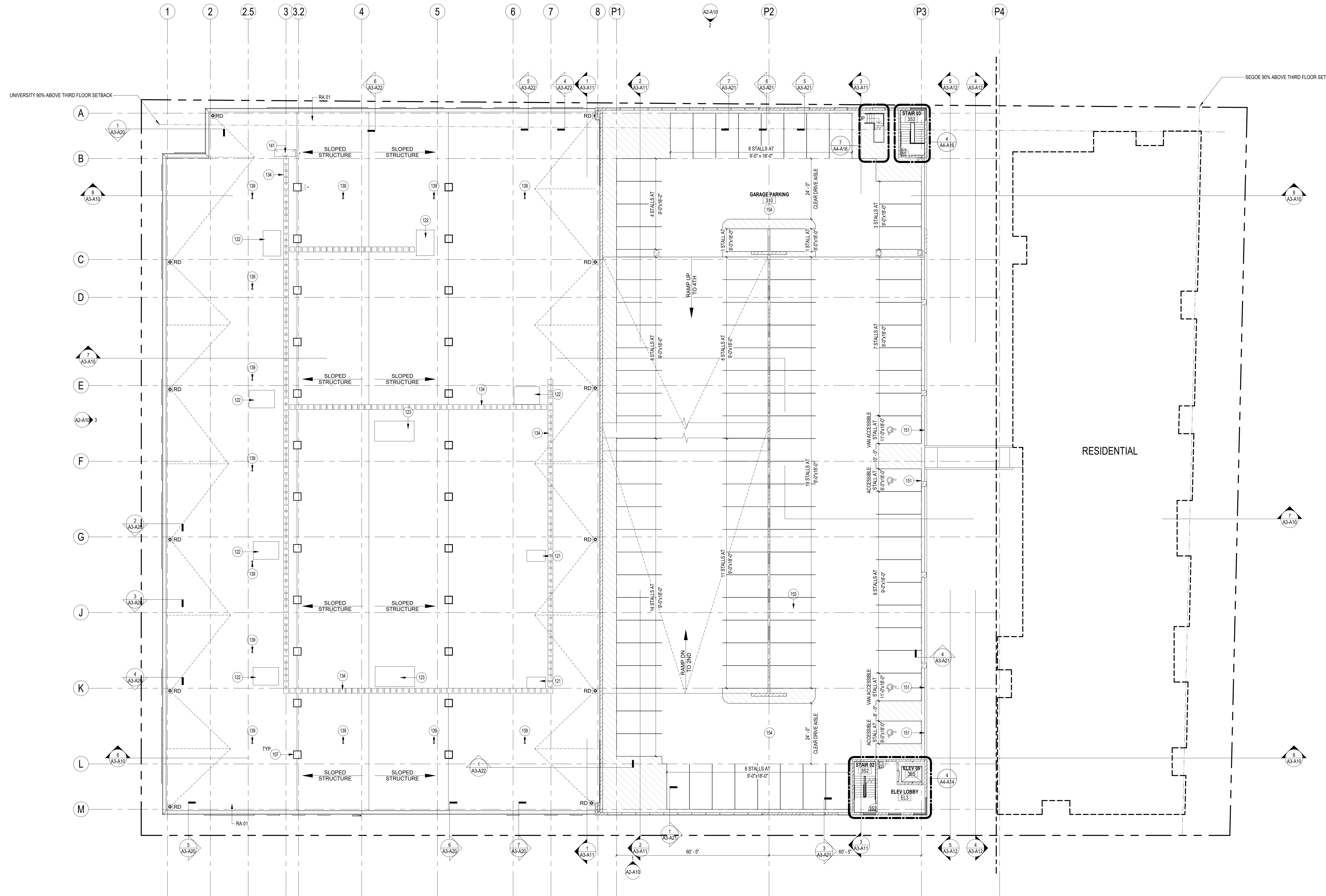
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3RD FLOOR PLAN

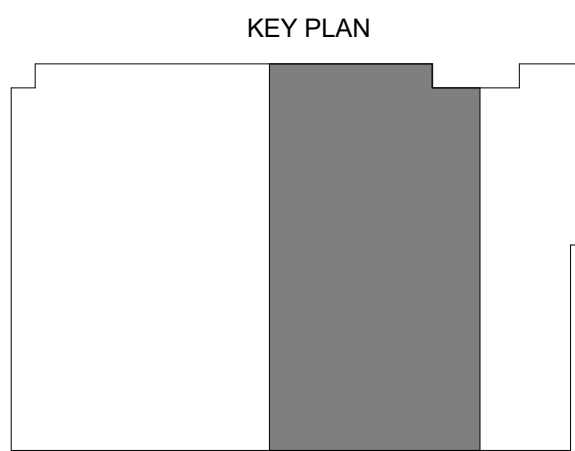
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Sheet No.
A1-A13



ASSEMBLIES & COMPONENTS		KEYNOTES - FLOOR PLAN		PARKING MATRIX - GROCER		PARKING MATRIX - RESIDENTIAL		FLOOR PLAN SYMBOL LEGEND		FLOOR PLAN GENERAL NOTES	
RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)	107	36" X36" DOUBLE DOME CLEAR ACRYLIC SKYLIGHT WITH INTERIOR SECURITY BARS. BASIS OF DESIGN: VELUX CT2 TRADITIONAL DOME SKYLIGHT WITH CRGA B8 SECURITY BARS	STALL TYPE	NO. OF STALLS	STALL TYPE	NO. OF STALLS	ALIGN	ALIGN FACE OF INDICATED ELEMENTS	1. VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK. 2. DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY. 3. COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS. 4. REFER TO PARTITION SCHEDULE ON G000 FOR TYPICAL PARTITION TYPES: STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE OHD U.N.O. 5. SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.	
		121	ROOFTOP UNIT - 2,000 LBS	LOWER LEVEL (PARKING)		2ND FLOOR (PARKING)		ALIGN	ALIGN FACE OF INDICATED ELEMENTS		
		122	ROOFTOP UNIT - 2,000 LBS	ACCESSIBLE PARKING STALL	3	ACCESSIBLE PARKING STALL	2	PLAN KEYNOTE: SEE KEYNOTE LEGEND			
		123	ROOFTOP UNIT - 6,000 LBS	COMPACT PARKING STALL	6	STANDARD PARKING STALL	69	FIRE EXTINGUISHER CABINET (FEC)			
		134	MANUFACTURERS STANDARD WALKWAY ROOF PADS. EXTEND FROM ROOF HATCH TO AND AROUND ALL ROOF TOP EQUIPMENT	STANDARD PARKING STALL	139	VAN ACCESSIBLE PARKING STALL	2	FIRE EXTINGUISHER (FE)			
		139	ROOF TIE OFF POSTS SPACED 36" MAX AT PERIMETER OF ROOF. BASIS OF DESIGN: MILLER FUSION ROOF ANCHOR POST OR EQUAL	VAN ACCESSIBLE PARKING STALL	1	3RD FLOOR (PARKING)		ROOF DRAIN			
		141	30"x60" LOCKABLE ROOF HATCH W/ SAFETY EXTENSION POLE. BASIS OF DESIGN: BABCOCK DAVIS BRHP	1ST FLOOR		ACCESSIBLE PARKING STALL	2	FLOOR DRAIN			
		151	HANDICAP STALL SIGNAGE	ACCESSIBLE PARKING STALL	3	STANDARD PARKING STALL	100	SKYLIGHT			
		153	4" HEAVY DUTY DURABLE WHITE, 2 COAT STRIPING TYPICAL	STANDARD PARKING STALL	86	VAN ACCESSIBLE PARKING STALL	2				
		154	TRAFFIC BEARING MEMBRANE COATING	VAN ACCESSIBLE PARKING STALL	1	4TH FLOOR (PARKING)					
				TOTAL STALLS	239	STANDARD PARKING STALL	106				
						4.5 FLOOR (PARKING)					
						STANDARD PARKING STALL	30				
						TOTAL STALLS	313				

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MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

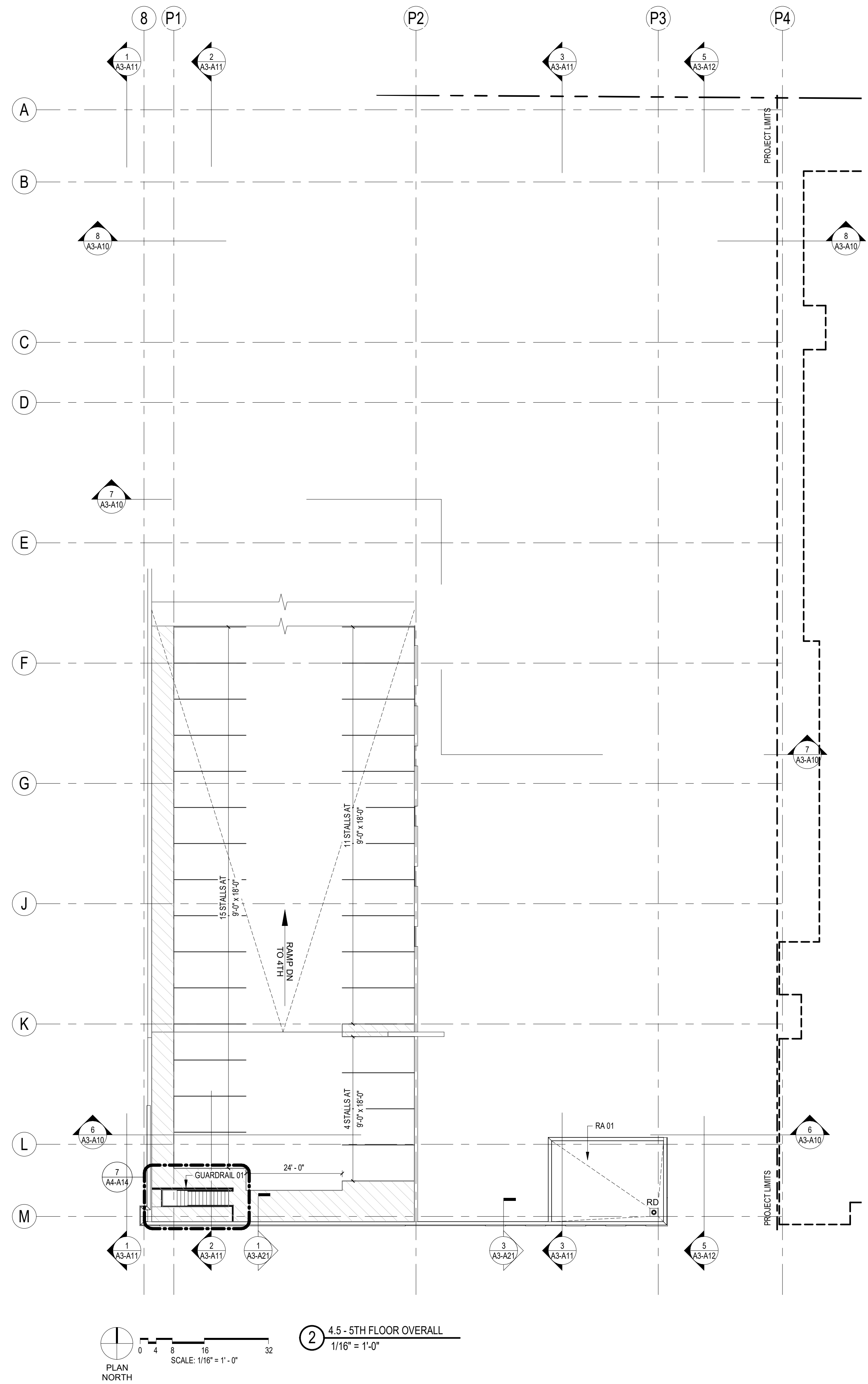
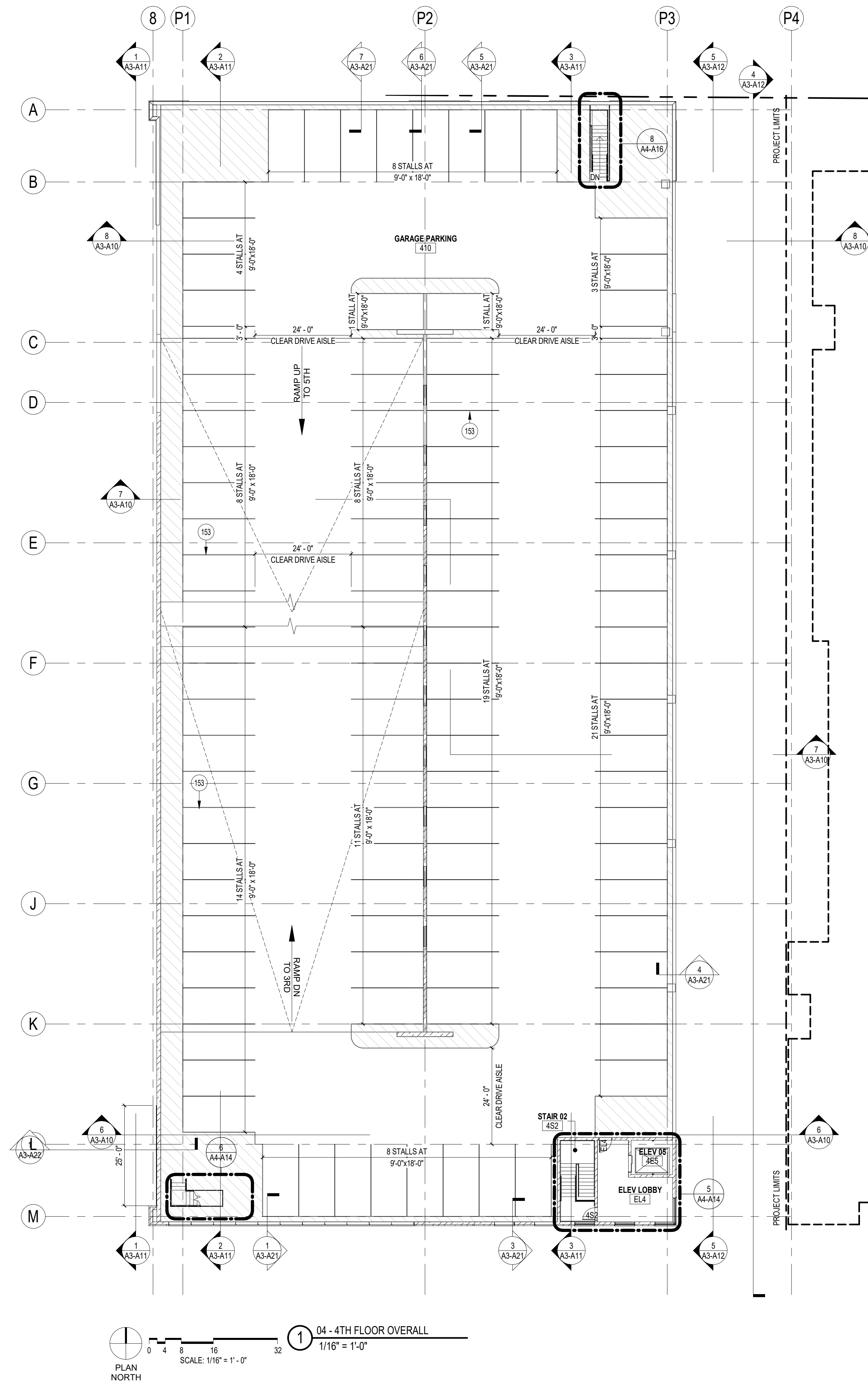
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4TH FLOOR & ROOF
PLANS

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Sheet No.
A1-A14



ASSEMBLIES & COMPONENTS	
GUARDRAIL 01	PREFABRICATED PAINTED STEEL GUARDRAIL, 42", STRINGER MOUNTED, 12" EXTENSIONS AT BOTH ENDS
RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)

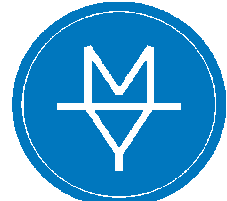
KEYNOTES - FLOOR PLAN	
153	4" HEAVY DUTY, DURABLE WHITE, 2 COAT STRIPING TYPICAL

PARKING MATRIX - GROCER	
STALL TYPE	NO. OF STALLS
LOWER LEVEL (PARKING)	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	6
STANDARD PARKING STALL	139
VAN ACCESSIBLE PARKING STALL	1
1ST FLOOR	
ACCESSIBLE PARKING STALL	3
STANDARD PARKING STALL	86
VAN ACCESSIBLE PARKING STALL	1
TOTAL STALLS	239

PARKING MATRIX - RESIDENTIAL	
STALL TYPE	NO. OF STALLS
2ND FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	69
VAN ACCESSIBLE PARKING STALL	2
3RD FLOOR (PARKING)	
ACCESSIBLE PARKING STALL	2
STANDARD PARKING STALL	100
VAN ACCESSIBLE PARKING STALL	2
4TH FLOOR (PARKING)	
STANDARD PARKING STALL	106
4.5 FLOOR (PARKING)	
STANDARD PARKING STALL	30
TOTAL STALLS	313

FLOOR PLAN SYMBOL LEGEND	
ALIGN	ALIGN FACE OF INDICATED ELEMENTS
?	PLAN KEYNOTE: SEE KEYNOTE LEGEND
FEC	FIRE EXTINGUISHER CABINET (FEC)
FE	FIRE EXTINGUISHER (FE)
RD	ROOF DRAIN
FD	FLOOR DRAIN
SKYLIGHT	SKYLIGHT

FLOOR PLAN GENERAL NOTES	
1.	VERIFY DIMENSIONS, CONDITIONS, AND FINISHES PRIOR TO PRICING OR PROCEEDING WITH WORK.
2.	DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS ATTENTION IMMEDIATELY.
3.	COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS.
4.	REFER TO PARTITION SCHEDULE ON G000 FOR TYPICAL PARTITION TYPES. STAIRS, ELEVATORS, MECHANICAL AND OTHER SHAFT WALLS TO HAVE A 1-HOUR FIRE RATING WHERE INDICATED. TYPICAL PARTITION WALLS TO BE OHD U.N.O.
5.	SLOPE ALL ROOF INSULATION 1/4" PER 1'-0" TOWARDS ROOF DRAINS PER PLAN ANNOTATIONS. MAINTAIN MINIMUM 4" INSULATION.

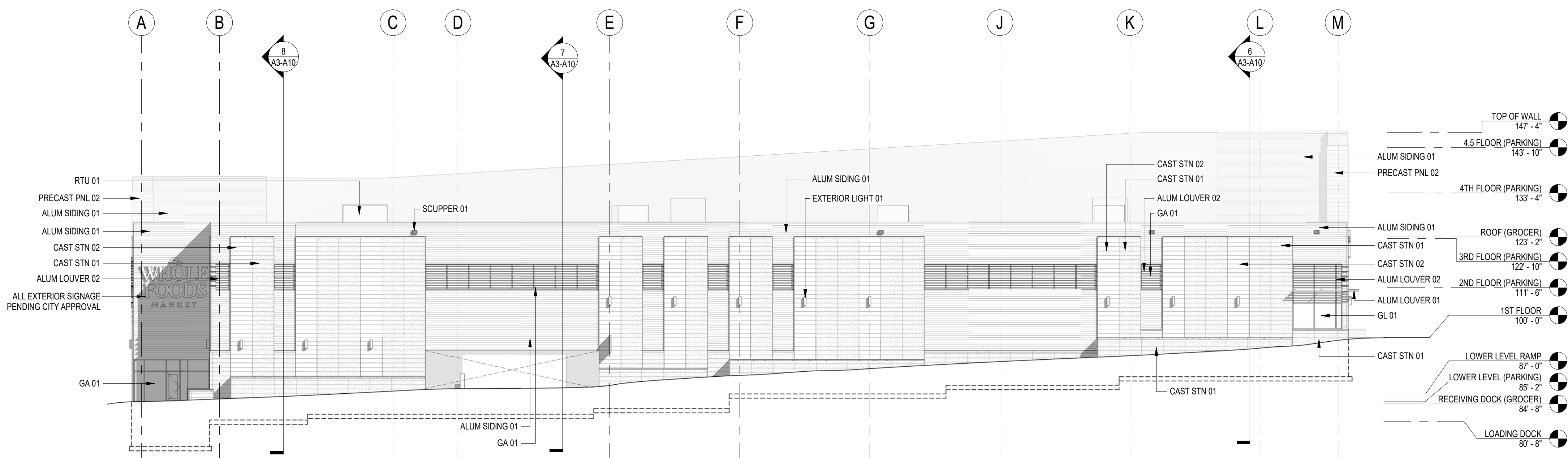
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EXTERIOR ELEVATION GENERAL NOTES

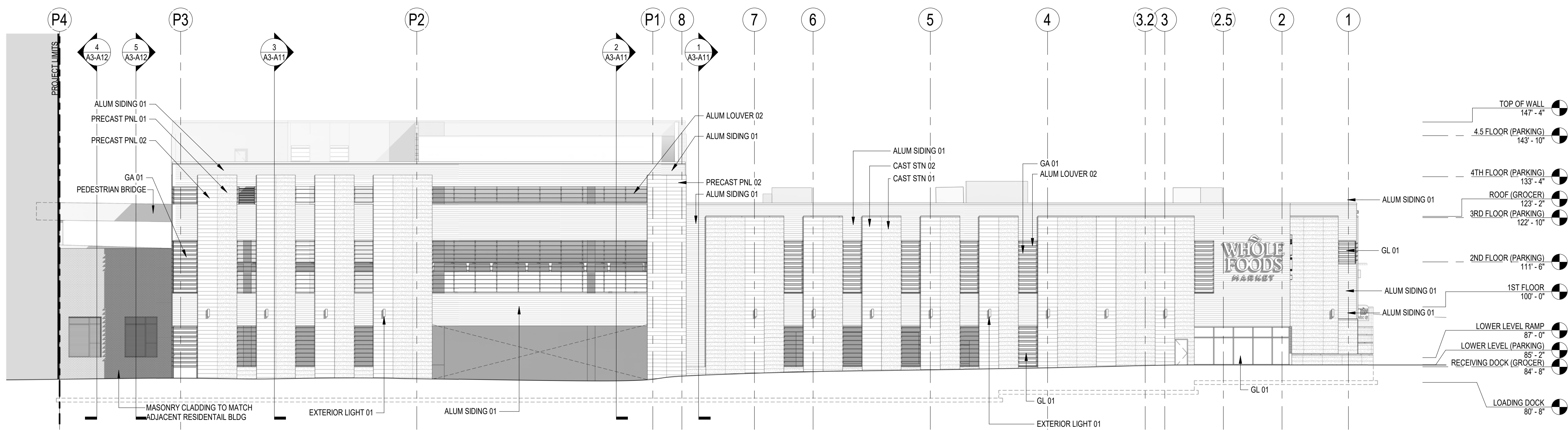
1. ALL SIGNAGE SUBJECT TO APPROVAL BY CITY OF MADISON
2. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 26" SPACING.
5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.

ASSEMBLIES & COMPONENTS

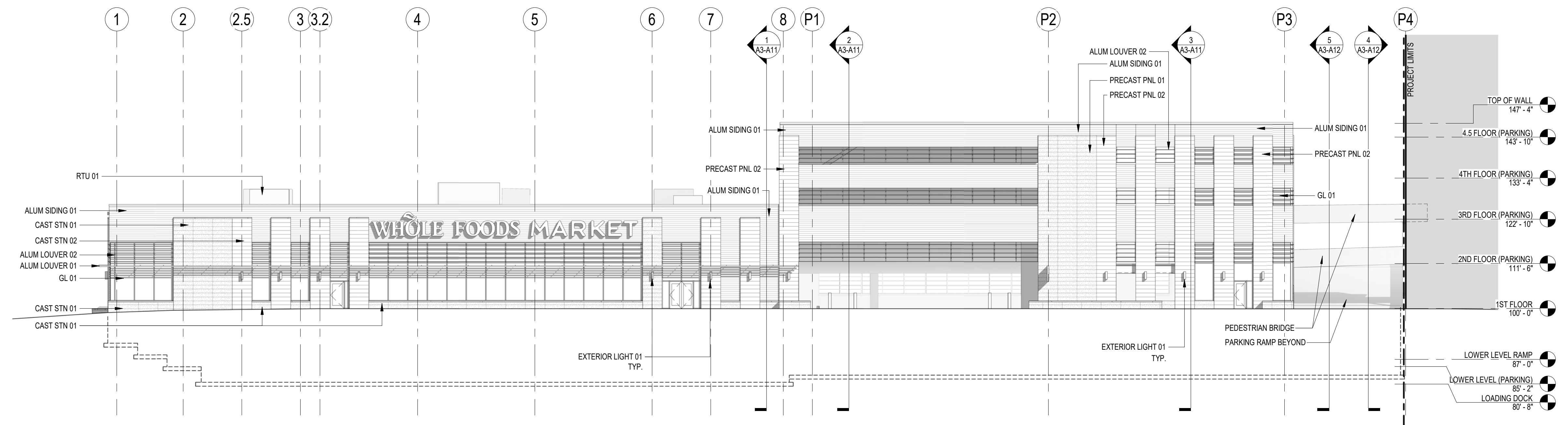
ALUM LOUVER 01	DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM LOUVER 02	DECORATIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM-- SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
CAST STN 02	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
GL 01	GLAZING - VISION GLASS: 1" INSULATED GLAZING UNIT
PRECAST PNL 01	PRE-CAST PANEL 01 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 01
PRECAST PNL 02	PRE-CAST PANEL 02 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 02
RTU 01	ROOFTOP UNIT - COORDINATE W/MECHANICAL
SCUPPER 01	PREFINISHED ALUMINUM SCUPPER TO MATCH ALUM SIDING 01



3 WEST ELEVATION

1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1'-0"

2 NORTH ELEVATION

1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1'-0"

1 SOUTH ELEVATION

1/16" = 1'-0"
0 4 8 16 32
SCALE: 1/16" = 1'-0"

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

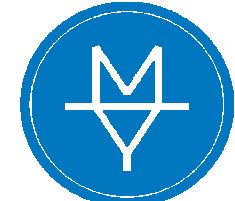
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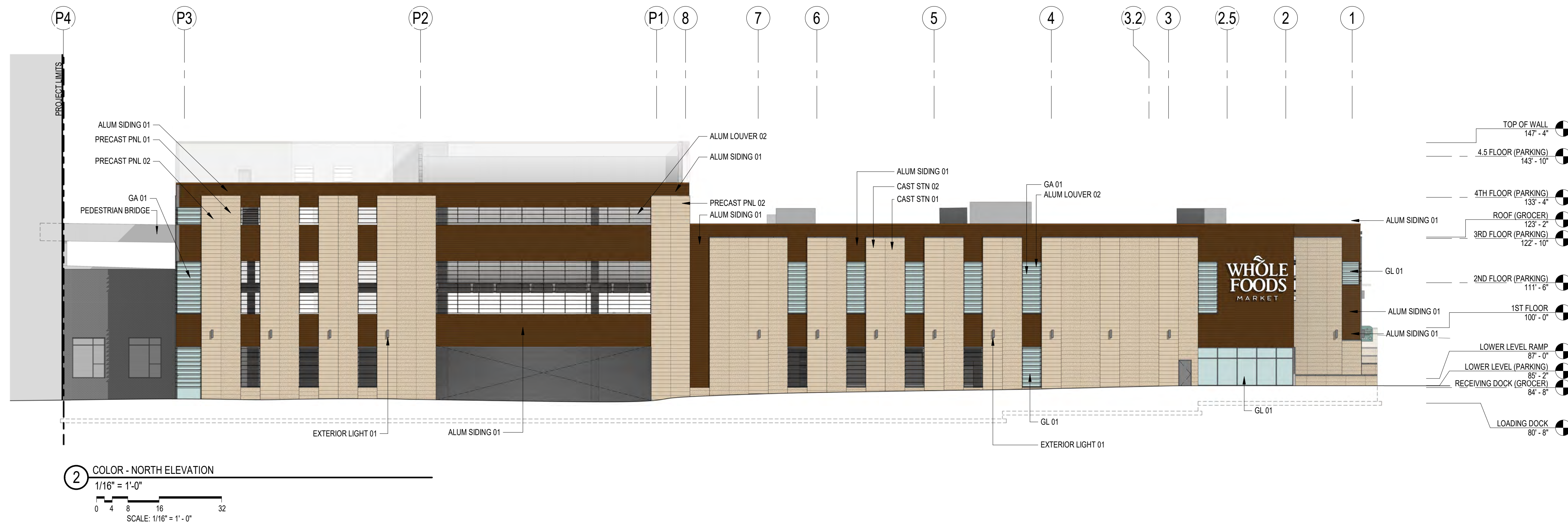
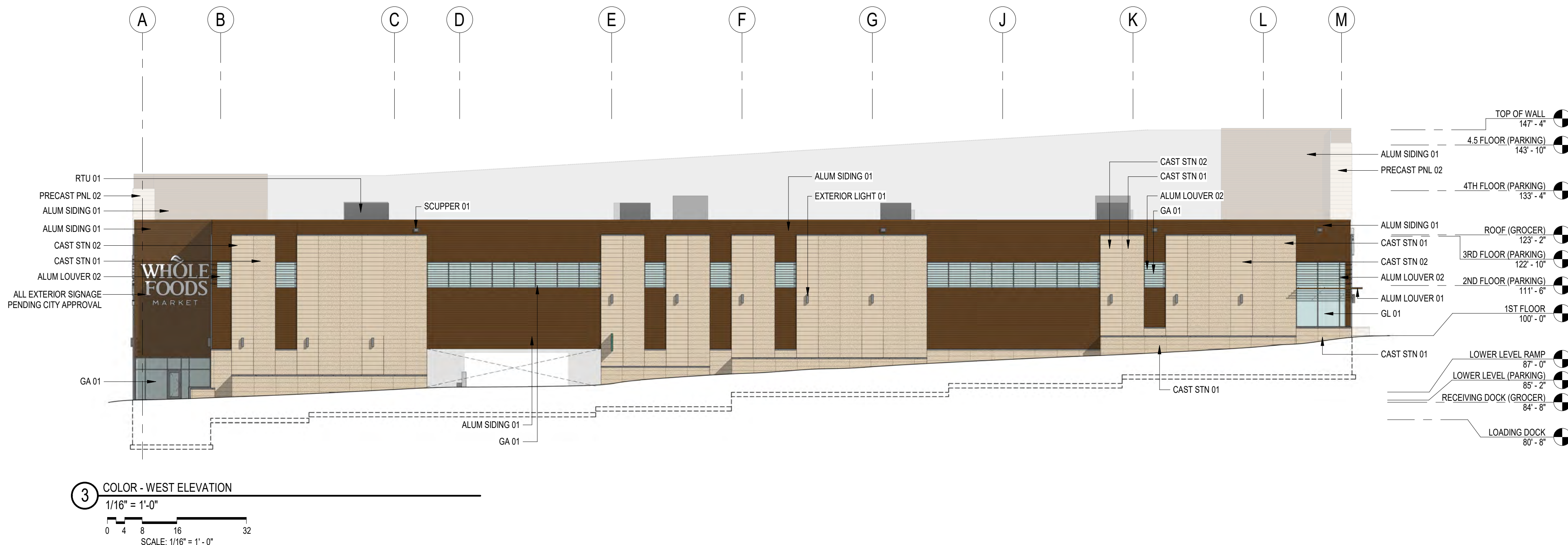
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A2-A10



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CONSTRUCTION

EXTERIOR ELEVATION GENERAL NOTES	ASSEMBLIES & COMPONENTS
1. ALL SIGNAGE SUBJECT TO APPROVAL BY CITY OF MADISON	ALUM LOUVER 01 DECORATIVE HORIZONTAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
2. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS, PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED U.N.O.	ALUM LOUVER 02 DECORATIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.	ALUM SIDING 01 ALUMINUM WOOD-LOOK SIDING SYSTEM-- SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 28" SPACING.	CAST STN 01 CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER
5. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.	CAST STN 02 CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER
	EXTERIOR LIGHT 01 EXTERIOR DOWN-LIGHT SCONCE
	GA 01 ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
	GL 01 GLAZING - VISION GLASS: 1" INSULATED GLAZING UNIT
	PRECAST PNL 01 PRE-CAST PANEL 01 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 01
	PRECAST PNL 02 PRE-CAST PANEL 02 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 02
	RTU 01 ROOFTOP UNIT - COORDINATE W/MECHANICAL
	SCUPPER 01 PREFINISHED ALUMINUM SCUPPER TO MATCH ALUM SIDING 01



Revisions

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NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
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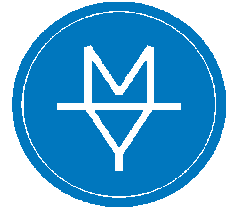
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Sheet No.
A2-A10C

EXTERIOR ELEVATION GENERAL NOTES	ASSEMBLIES & COMPONENTS	
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3. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.	ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
4. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 26" SPACING.	CAST STN 01	CAST STONE MASONRY - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: STONECAST PRODUCTS FULL DEPTH VENEER.
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	EXTERIOR LIGHT 01	EXTERIOR DOWN-LIGHT SCONCE
	GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
	ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM. COLOR TO MATCH MF-1

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MADISON YARDS
HILL FARMS

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CONSTRUCTION

ROOF EDGE 01
ALUM SIDING 01
CAST STN 01
CAST STN 02
ALUM LOUVER 02
ALUM LOUVER 01
EXTERIOR LIGHT 01
GA 01
CAST STN 01



1 SOUTHWEST PERSPECTIVE
NOT TO SCALE

ROOF EDGE 01
ALUM SIDING 01
ALUM LOUVER 02
ALUM LOUVER 01
GA 01
CAST STN 01
CAST STN 02



2 SOUTHEAST PERSPECTIVE
NOT TO SCALE

ALUM SIDING 01
ALUM LOUVER 02



3 SOUTHEAST PERSPECTIVE 2
NOT TO SCALE

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

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Telephone 312.789.4516

Sheet No.
A2-A20



EXTERIOR ELEVATION GENERAL NOTES	ASSEMBLIES & COMPONENTS	
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	GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
	ROOF EDGE 01	PREFINISHED METAL ROOF EDGE SYSTEM. COLOR TO MATCH MF-1



3 NORTHWEST PERSPECTIVE
NOT TO SCALE



2 NORTHWEST PERSPECTIVE
NOT TO SCALE



1 SOUTHWEST PERSPECTIVE
NOT TO SCALE

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Drawing Date
NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

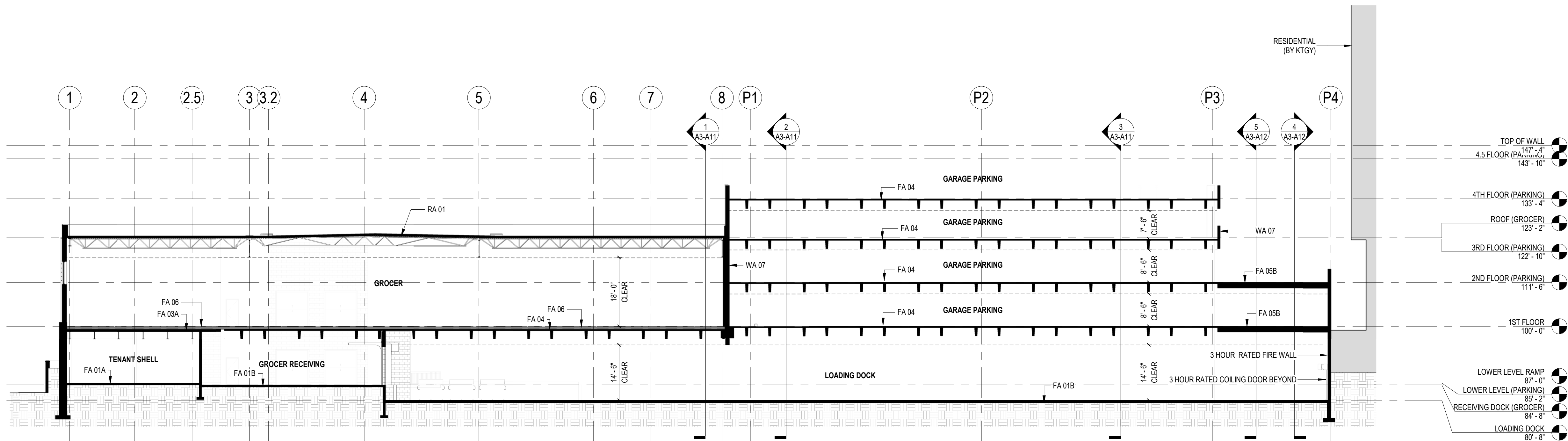
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Project No. SUMMIT SMITH/GILBANE
219143.00

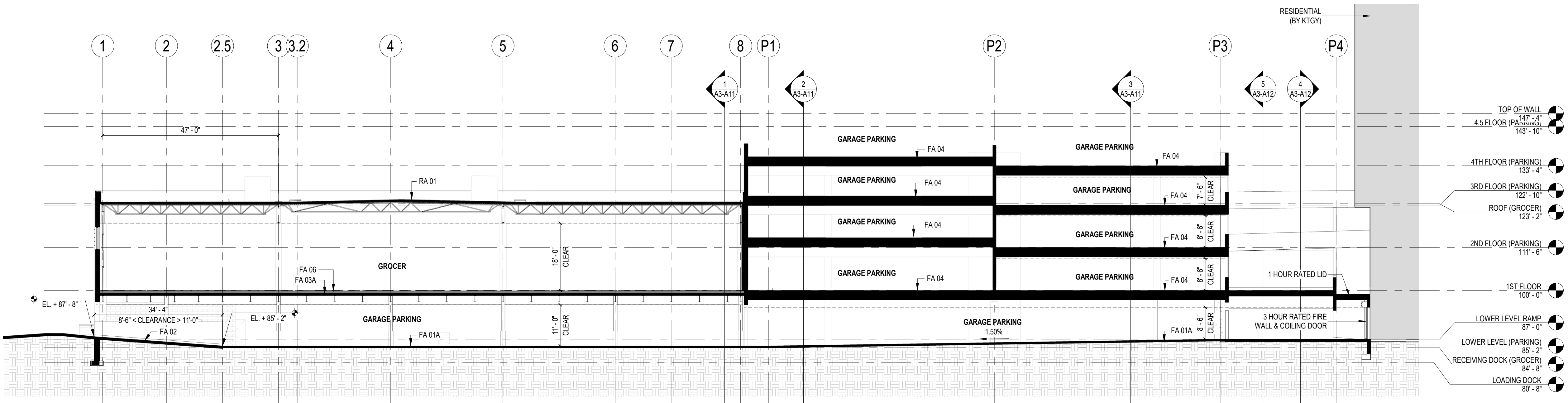
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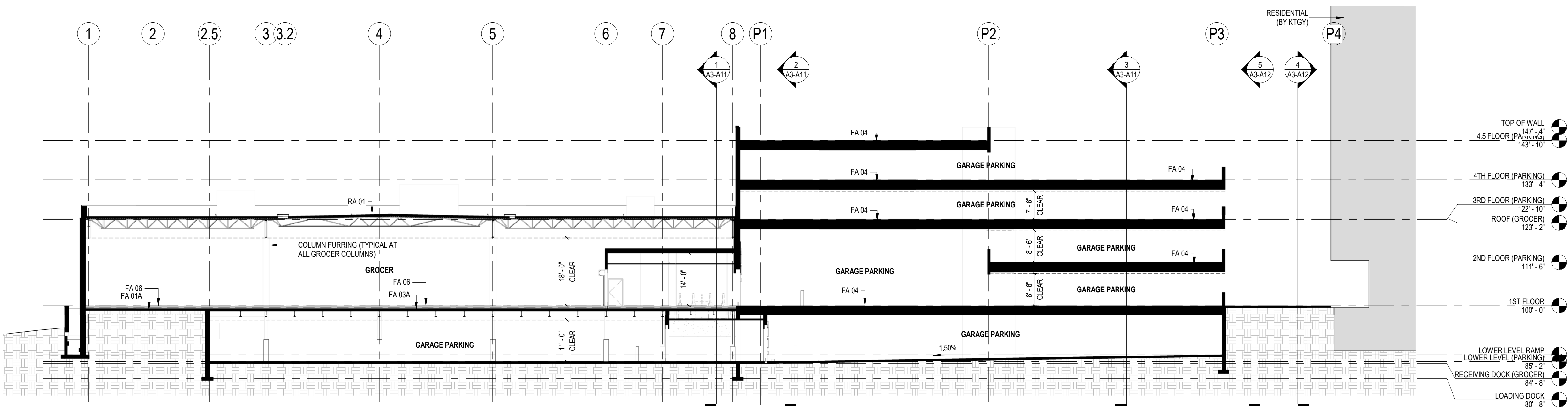
Sheet No.
A2-A21



8 BUILDING SECTION 8 - E/W AT LOADING DOCK
1/16" = 1'-0"



7 BUILDING SECTION 7 - E/W AT ENTRY RAMPS
1/16" = 1'-0"



6 BUILDING SECTION 6 - E/W
1/16" = 1'-0"

ASSEMBLIES & COMPONENTS	
FA 01A	6" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 01B	8" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 02	8" CONCRETE SLAB ON GRADE ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIANT HEAT SNOW MELT SYSTEM OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 03A	7" CONCRETE ON COMPOSITE METAL DECK ON STEEL BEAMS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING)
FA 04	PRECAST CONCRETE DOUBLE TEE - SEE STRUCTURAL
FA 05B	4" CONCRETE SLAB ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIANT HEAT SNOW MELT SYSTEM ON PRECAST CONCRETE PLANK - SEE STRUCTURAL
FA 06	5" CONCRETE SLAB (BY TENANT) ON 4" OF 40 PSI EXTRUDED POLYSTYRENE INSULATION (R-20 MINIMUM) & WATERPROOFING MEMBRANE OVER FLOOR ASSEMBLY 03A
RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)
WA 07	PRECAST CONCRETE WALL - PAINTED - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION

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MADISON YARDS
HILL FARMS

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Revisions

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Drawing Date
NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

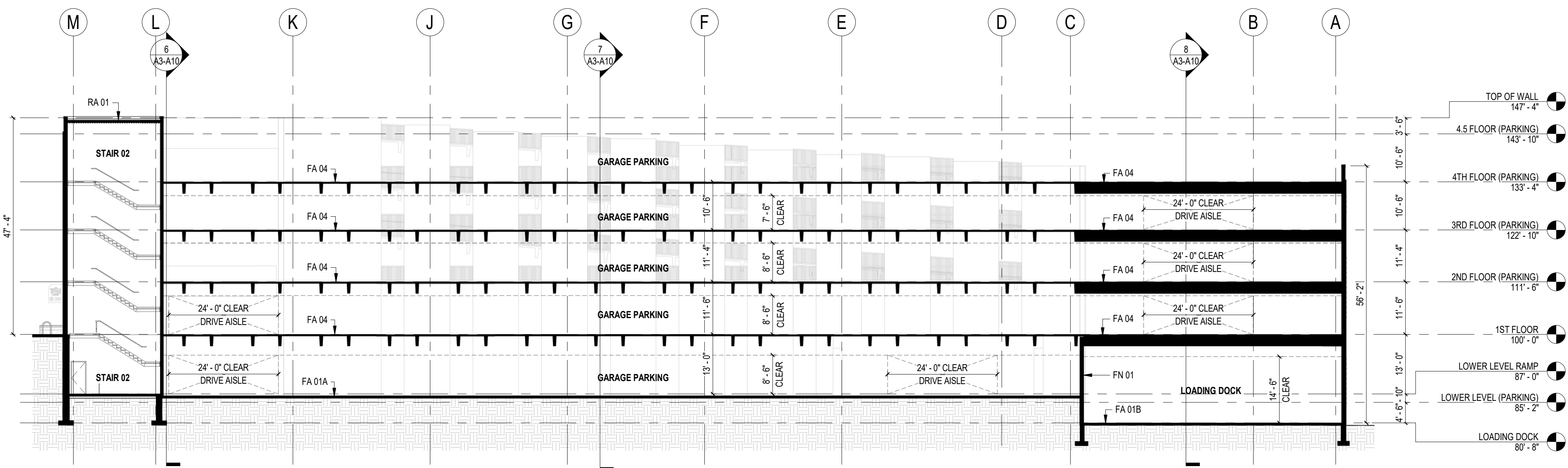
UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

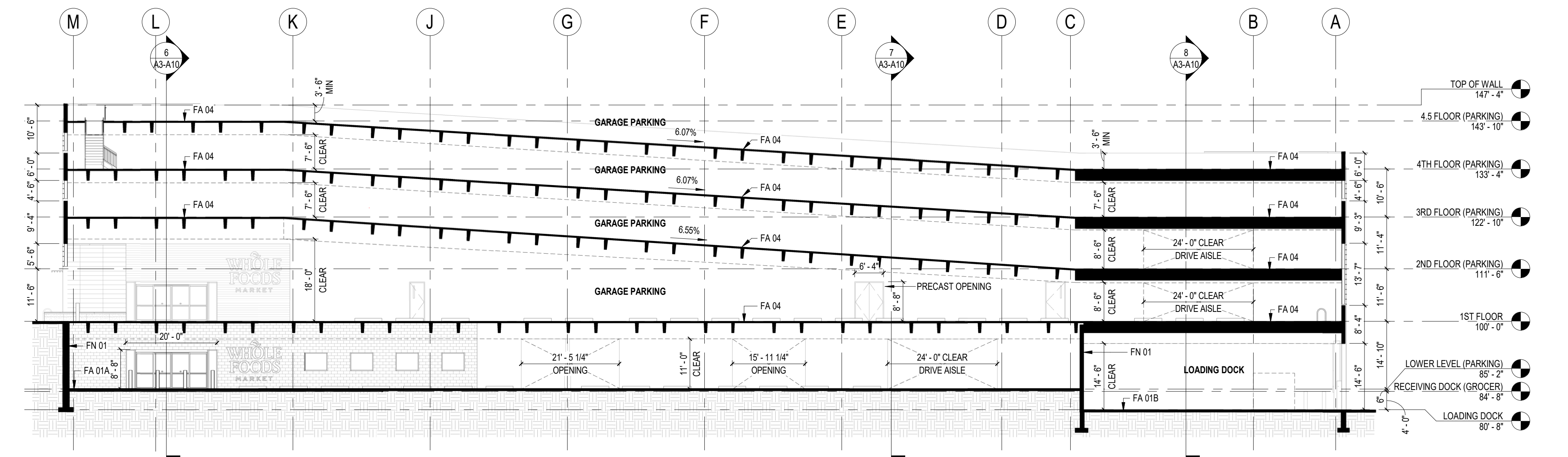
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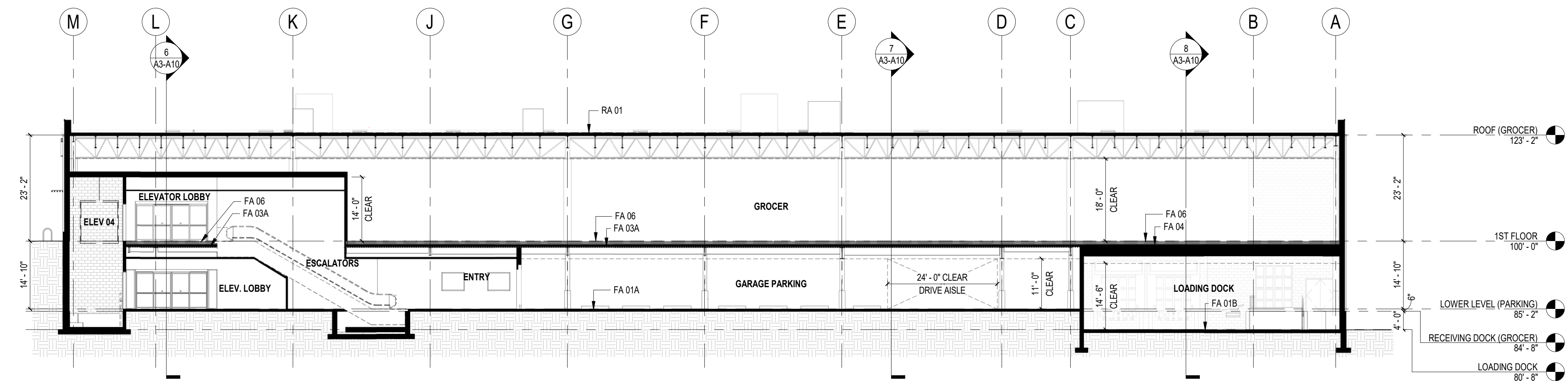
Sheet No.
A3-A10



3 BUILDING SECTION 3 - N/S AT PARKING
1/16" = 1'-0"



2 BUILDING SECTION 2 - N/S AT PARKING
1/16" = 1'-0"



1 BUILDING SECTION 1 - N/S AT GROCER
1/16" = 1'-0"

ASSEMBLIES & COMPONENTS	
FA 01A	6" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 01B	8" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 03A	7" CONCRETE ON COMPOSITE METAL DECK ON STEEL BEAMS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING)
FA 04	PRECAST CONCRETE DOUBLE TEE - SEE STRUCTURAL
FA 06	5" CONCRETE SLAB (BY TENANT) ON 4" OF 40 PSI EXTRUDED POLYSTYRENE INSULATION (R-20 MINIMUM) & WATERPROOFING MEMBRANE, OVER FLOOR ASSEMBLY 03A
FN 01	CAST-IN-PLACE CONCRETE FOUNDATION WALL - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION
RA 01	FULLY ADHERED TPO MEMBRANE ON RIGID INSULATION, VAPOR RETARDER, COVERBOARD, METAL DECK OVER STRUCTURAL STEEL JOISTS WITH SPRAY APPLIED FIREPROOFING (1-HOUR FIRE RATING MINIMUM)

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SMITH Gilbane



MADISON YARDS
HILL FARMS

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CONSTRUCTION

Revisions

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Drawing Date
NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
BUILDING SECTIONS

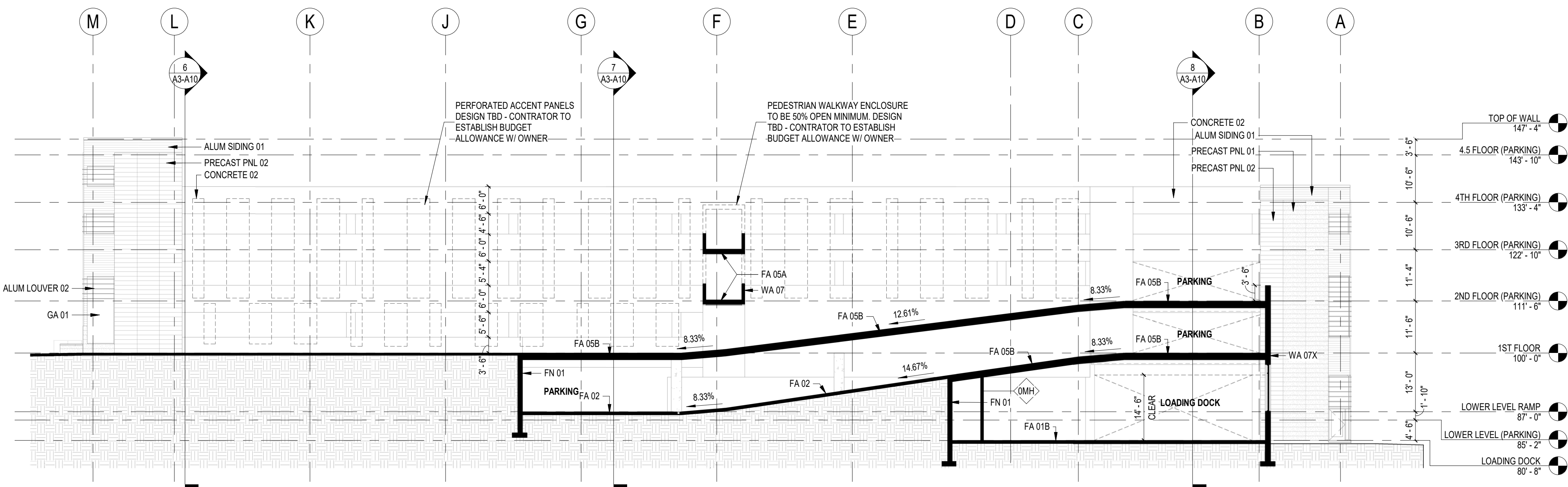
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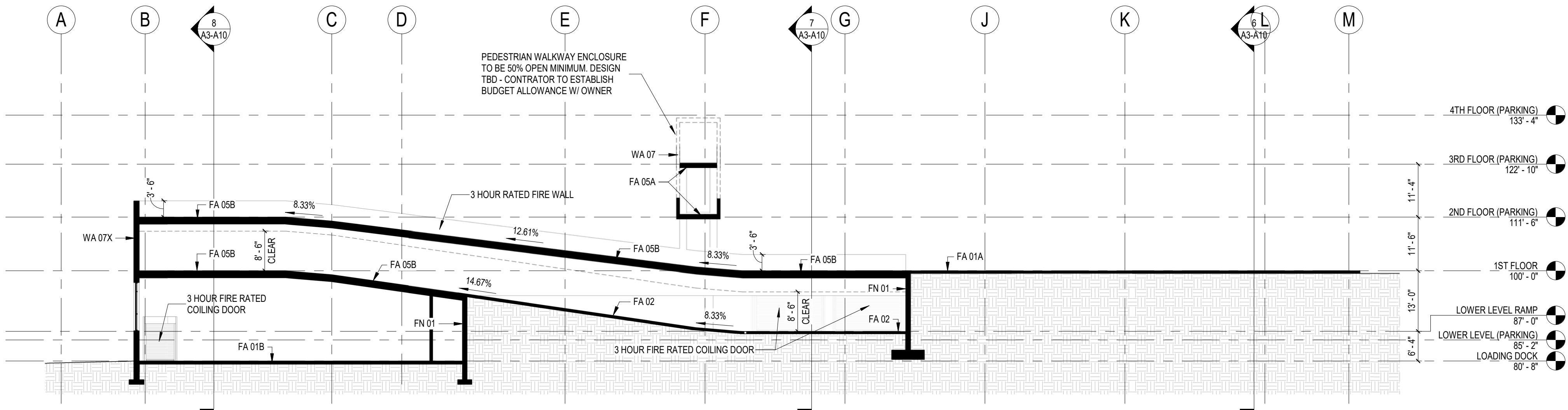
A3-A11

ASSEMBLIES & COMPONENTS	
ALUM LOUVER 02	DECORTIVE VERTICAL EXTRUDED ALUMINUM WOOD-LOOK LOUVER. BASIS OF DESIGN: LONGBOARD FIXED LOUVER SYSTEM
ALUM SIDING 01	ALUMINUM WOOD-LOOK SIDING SYSTEM - SEE ELEVATIONS FOR SIZE AND COURSING. COLOR TBD. BASIS OF DESIGN: LONGBOARD PLANK SYSTEM
CONCRETE 02	PRE-CAST CONCRETE
FA 01A	6" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 01B	6" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 02	6" CONCRETE SLAB ON GRADE ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIANT HEAT SNOW MELT SYSTEM OVER VAPOR RETARDER OVER COMPACTED GRANULAR FILL
FA 05A	PRECAST CONCRETE PLANK - SEE STRUCTURAL
FA 05B	4" CONCRETE SLAB ON 2" OF EXTRUDED POLYSTYRENE INSULATION WITH RADIANT HEAT SNOW MELT SYSTEM ON PRECAST CONCRETE PLANK - SEE STRUCTURAL
FN 01	CAST-IN-PLACE CONCRETE FOUNDATION WALL - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION
GA 01	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS. BASIS OF DESIGN: KAWNEER 601T GLAZING SYSTEM
PRECAST PNL 01	PRE-CAST PANEL 01 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 01
PRECAST PNL 02	PRE-CAST PANEL 02 - PRECAST WALL PANEL W/ MASONRY LOOK FORMLINER COLOR AND TEXTURE TO MATCH CAST STN 02
WA 07	PRECAST CONCRETE WALL - PAINTED - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION
WA 07X	FULL DEPTH BRICK MASONRY VENEER (MATCH RESIDENTIAL BUILDING) ON PRECAST CONCRETE BACKUP WALL - REFER TO ASSEMBLIES SHEET FOR MORE INFORMATION

NOT FOR
CONSTRUCTION



5 BUILDING SECTION 4 - N/S AT SPEED RAMP
1/16" = 1'-0"



4 BUILDING SECTION 5 - N/S AT SPEED RAMP
1/16" = 1'-0"

Revisions

GMP/SIP PACKAGE

Drawing Date
NOVEMBER 17, 2020

MADISON YARDS:
BLOCK 2 - GROCER
BASE CORE & SHELL

UNIVERSITY AVENUE AT GARDNER ROAD

Project No. SUMMIT SMITH/GILBANE
219143.00

Sheet Title
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Sheet No.
A3-A12

**KTGY Project No:** 20200326

Developer



**MADISON YARDS BLOCK 2
BUILDING B**

[illegible]

BUILDING B

A0-B10

Stair Heads and Risers	4"	T.B.D.	(Section 1011.5.2)	Minimum Riser
Height of Handrails	11"	T.B.D.	(Section 1011.5.2)	Minimum Tread
Height of Guardrails	34" to 38"	34"	(Section 1014.2)	Height of grip surface
	42"	42"	(Section 1014.2)	
	4 1/2"		(Section 1014.8)	Maximum Projection
	1 1/2"		(Section 1014.8)	Clear space form wall to Rail
Stair to Roof	Yes	Yes	(Section 1011.12)	Refer to plans
Corridors (Section 1018)				
	Required	Provided		
Corridor Width	44"	5'-6"	(Table 1018.2)	Measured from wall to wall
Corridor Headroom	80"	T.B.D.	(Section 1011.3)	Measured vertically tread to nosing
Doors (Section 1010)				
	Required	Provided		
Door Headroom	80"	Yes	(Section 1010.1.1)	Minimum Height
	78"	Yes	(Section 1010.1.1.1)	Projections - Door Closer and Stops minimum clear
Door Width	32"	Yes	(Section 1010.1.1)	Minimum Width
	48"	Yes	(Section 1010.1.1)	Maximum Width of Swing door leaf
Door Swing	Yes	Yes	(Section 1010.1.2.1)	Swing in direction of egress where space has 50 or more...
Door Encroachment	Yes	Yes	(Section 1005.7.1)	Door in open position shall not reduce required width by more...
	Yes	Yes	(Section 1005.7.1)	Door in any position shall not reduce the required width by 50%
Door Hardware	Yes	Yes	(Section 1010.1.10)	Serving rooms or spaces with 50 or more Occupants
Door Arrangement	Yes	Yes	(Section 1010.1.8)	Space between two doors in a series shall be 48" minimum plus the width of a door swinging into the spaces.

Fire Protection and Life Safety (Section 9)	YES NO	
Automatic Sprinkler System (Section 903)	X	(Section 903.3) Required for Group R in accordance with (Section 403.3) Secondary water supply NOT required. Building is less than 420 feet
Standpipe System (Section 905)	X	(Section 403.4.3) as per (Section 905.3.1) Class I standpipes are allowed in buildings equipped with an automatic sprinkler system in accordance with Section 903.1.1 Required in Interior Exit Stairways with a maximum remote spacing of 200' 0"
Portable Fire Extinguishers (Section 906)	X	(Table 903.1) Maximum distance of travel 75'-0" As per City of Madison Requirements
Smoke Detection (Section 907)	X	(Section 403.4.1) as per (Section 907.2.12.1) Installed in immediate vicinity of bedroom. Installed in each room used for sleeping
Fire Alarm System (Section 907)	X	(Section 403.4.2) as per (Section 907.2.12.1) Manual fire alarm boxes are not required where building is equipped with an automatic sprinkler system in accordance with Section 903.3.1.1 (Section 907.5.2.3) Visible Alarm notification appliances shall be provided
Fire Command Center (Section 911)	X	(NFPA 72). Minimum size of 200 sq. ft. with a minimum dimension of 10'-0". (Section 3008.6.6) Two-Way Communication to Elevator lobbies with Manual Elevator Recall
Fire Department Connection (Section 912)	X	As per City of Madison Requirements

Building Data						
FL	Stories	Dwelling Units /Ft	Gross Area	Common Area	Net Rentable	EFF
1st	1	6	16,615	9,210	5,405	33%
2nd	1	10	19,477	11,040	6,429	43%
1st	19	19,368	3,167	16,711	85%	
3rd	1	19	18,510	2,448	16,062	87%
4th	1	19	18,510	2,256	16,252	86%
5th	1	19	18,510	2,256	16,252	86%
6th	1	19	18,510	2,256	16,252	86%
7th	1	19	18,510	2,256	16,252	86%
8th	1	19	18,510	2,256	16,252	86%
9th	1	19	18,510	2,256	16,252	86%
10th	1	19	18,510	2,256	16,252	86%
11th	1	19	18,510	2,256	16,252	86%
12th	1	19	18,510	2,256	16,252	86%
13th	1	19	18,510	2,256	16,252	86%
14th	1	19	18,510	2,256	16,252	86%
15th/Mech	1	10	15,946	7,192	8,754	55%
Total	16	273	291,526	67,933	233,999	80%
		Average Unit Size		855 SQT		

Unit Mix																								
Unit Type	Area SF	Quantity at LL		Quantity at 1st Flr	Quantity at 2nd Flr	Quantity at 3rd Flr	Quantity at 4th Flr	Quantity at 5th Flr	Quantity at 6th Flr	Quantity at 7th Flr	Quantity at 8th Flr	Quantity at 9th Flr	Quantity at 10th Flr	Quantity at 11th Flr	Quantity at 12th Flr	Quantity at 13th Flr	Quantity at 14th Flr	Quantity at 15th Flr	Total	Total SQFT	Average Unit Size SF	Percentage		
STUDIO																								
B0-A	548					1		1	1	1	1	1	1	1	1	1	1	1	12	6576				
B0-B	547				1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	7656				
B0-F	563	1	1	1															3	1689				
B0-G	572				1	1	1	1	1	1	1	1	1	1	1	1	1	1	12	6864				
Subtotal			1	1	2	3	3	3	3	3	3	3	3	3	3	3	3	3	1	41	22787	556	15.0%	
ONE BEDROOM																								
B1-A	801					1	1	1	1	1	1	1	1	1	1	1	1	1	12	9612				
B1-B	697					1	1	1	1	1	1	1	1	1	1	1	1	1	12	8364				
B1-C	959			1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	13	12467			
B1-D	850					1	1	1	1	1	1	1	1	1	1	1	1	1	12	10200				
B1-D.1	722			1															1	722				
B1-E	895				1	1	1	1	1	1	1	1	1	1	1	1	1	1	12	9660				
B1-E.1	701			1															1	701				
B1-F	736				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	10304			
B1-F.1	769					1													1	769				
B1-G	753			1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	15	11295			
B1-H	730			1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	15	10950			
B1-I	701			1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	15	10515			
B1-J	799					1	1	1	1	1	1	1	1	1	1	1	1	1	1	12	9588			
B1-J.1	923			1	1	1													3	2769				
B1-K	925			1	1	1													3	2775				
B1-L	835			1		1	1	1	1	1	1	1	1	1	1	1	1	1	3	2555				
B1-M	767					1													1	767				
B1-N	908					1	1												3	2724				
B1-O	799					1													1	799				
Subtotal			4	8	12	10	10	10	10	10	10	10	10	10	10	10	10	10	5	149	117486	788	54.6%	
TWO BEDROOM																								
B2-A	1066					1	1	1	1	1	1	1	1	1	1	1	1	1	12	13140				
B2-B	1331					1	1	1	1	1	1	1	1	1	1	1	1	1	12	15972				
B2-C	1038			1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	14332			
B2-D	1110					1	1	1	1	1	1	1	1	1	1	1	1	1	1	13	14433			
B2-D.1	1127			1															1	1127				
B2-E	1152					1	1	1	1	1	1	1	1	1	1	1	1	1	1	13	14976			
B2-F	1251			1	1	1													3	3753				
B2-H	1028					1	1	1	1	1	1	1	1	1	1	1	1	1	1	14	14392			
B2-I	957					1													1	957				
Subtotal			1	1	5	6	6	6	6	6	6	6	6	6	6	6	6	6	4	83	93279	1124	30.4%	
Total		6	10	19	19	19	19	19	19	19	19	19	19	19	19	19	19	19	10	273				

MADISON YARDS BLOCK 2 - BUILDING B BIKE PARKING CALCULATIONS			
UNIT TYPE	#UNITS	BIKE PRKG REQD	# BIKE RACKS REQD
STUDIOS	42	1	42
1 BED	148	1	148
2 BED	83	1	83
	273		273
GUEST BIKES		1/10 UNITS	28.0
TOTAL BIKES			301
		TYPE	REQUIRED
GUEST		28	55
LONG TERM - INTERIOR REG	90% OF RES - VERT	273	171
LONG TERM - VERTICAL	25% OF TOTAL	0	75
		301	301

	BLD B - BIKE PARKING PROVIDED			
	SITE	BUILDING A - PARKING GARAGE	BUILDING B - BIKE ROOM	BUILDING B - EXTERIOR
SHORT TERM	55			0
LONG TERM - REGULAR				
GROUND FLOOR		40	99	0
SECOND FLOOR		20		
THIRD FLOOR		12		
LONG TERM VERTICAL				
GROUND FLOOR			75	
TOTAL	55	72	174	0
				301

MADISON YARDS BLOCK 2 - BUILDING B		
OPEN SPACE CALCULATIONS		
# UNITS	REQD AREA/ UNIT (SF)	OPEN SPACE REQD (SF)
273	40	10920 SF
LEVEL	TYPE	AREA
GRADE		
1L	BALCONIES	284 SF
1	BALCONIES/ COMMON	1572 SF
2	BALCONIES	679 SF
3	BALCONIES	2042 SF
4	BALCONIES	688 SF
5	BALCONIES	688 SF
6	BALCONIES	688 SF
7	BALCONIES	688 SF
8	BALCONIES	688 SF
9	BALCONIES	688 SF
10	BALCONIES	688 SF
11	BALCONIES	688 SF
12	BALCONIES	688 SF
13	BALCONIES	688 SF
14	BALCONIES	688 SF
15	BALCONIES/ COMMON	3110 SF
TOTAL OPEN SPACE		15255 SF
UNITS		273
OUTDOOR SPACE PER UNIT		56 SF

PROJECT NOTES

1. BUILDING A - RETAIL/ PARKING GARAGE STRUCTURE LOCATED ON THE WESTERN PORTION OF THE PROJECT SITE. SEE KAHLER SLATER DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
2. BUILDING B - IS STORY ABOVE GRADE PLANE) HIGH-RISE RESIDENTIAL BUILDING LOCATED ON THE EASTERN PORTION OF THE PROJECT SITE. SEE KGTG DRAWINGS FOR INFORMATION RELATED TO BUILDING B. SEE CODE ANALYSIS FOR HIGH-RISE CODE REQUIREMENTS RELATED TO BUILDING B.
 - a. A FIRE SEPARATION LINE (FSL) IS UTILIZED TO CONTROL THE FIRE RESISTANCE RATING OF THE EXTERIOR WALLS ADJACENT TO THE FSL.
 - b. OPENING PROTECTIVES ARE REQUIRED AT THE LOWER LEVEL BETWEEN BUILDINGS A AND B.
 - c. EXTERIOR WALL FIRE RESISTANCE RATING IS REDUCED ABOVE GRADE PER SECTION 709.4 AND EXTERIOR WALL OF THE PARKING GARAGE RAMP CONSTRUCTION IS RATED TO AT LEAST 1 HOUR AND EXTENDS MORE THAN 10 FT HORIZONTALLY SUCH THAT OPENING PROTECTIVES IN BUILDING B ABOVE THIS RAMP ELEVATION ARE NOT REQUIRED AND THE RATING OF THE EXTERIOR WALL IS REDUCED TO 0-HOURS ABOVE GRADE OR THE ELEVATION OF THE RAMP.
3. EACH BUILDING SHALL BE SEPARATE AND HAVE A UNIQUE BUILDING ADDRESS FOR EMERGENCY RESPONSE.
4. PROVIDE MINIMUM 2" EXPANSION JOINT BETWEEN BUILDING A / B. TYPE OF EXPANSION JOINT SHALL BE AS REQUIRED TO PROTECT WEATHER FROM ALL BUILDING EXTERIOR LOCATIONS.
5. PROJECT SHALL UTILIZE "FIRE SEPARATION LINE" TO CONTROL OPENINGS WITHIN BUILDINGS A / B. SEE DRAWINGS FOR LOCATION AND EXTENT OF THE FIRE SEPARATION LINE.
6. PENINGS BETWEEN BUILDINGS A / B SHALL BE OPENED WITH 3-HOUR RATED FIRE SHUTTER IN LOCATIONS INDICATED ON THE PLANS. FIRE SHUTTERS SHALL BE CONNECTED TO THE FIRE ALARM FOR EACH BUILDING.



MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
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Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer



PHONE NO.

**MADISON YARDS BLOCK 2
BUILDING B**

BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

BUILDING B

PROJECT SUMMARY & AREAS

A0-B20



Project Contact: Eric Lukacsik
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Project Designer: Demetrios Stavrianos

SMITH Gilbane

PHONE NO.

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OVERALL LOWER
LEVEL PLAN
(REFERENCE)

A2-00



1/16" = 1'-0"	1
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Project Contact: Eric Lukacsik
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Project Designer: Demetrios Stavrianos

SMITH Gilbane

PHONE NO.

UNIVERSITY AVE AT SEGOE ROAD

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OVERALL FIRST
FLOOR PLAN
(REFERENCE)

A2-01



	1/16" = 1'-0"
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Q^*	
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Project Contact: Eric Lukacsik
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Project Designer: Demetrios Stavrianos

SMITH Gilbane

**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

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OVERALL SECOND
FLOOR PLAN
(REFERENCE)

A2-02





Project Contact: Eric Lukacsik
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SMITH Gilbane

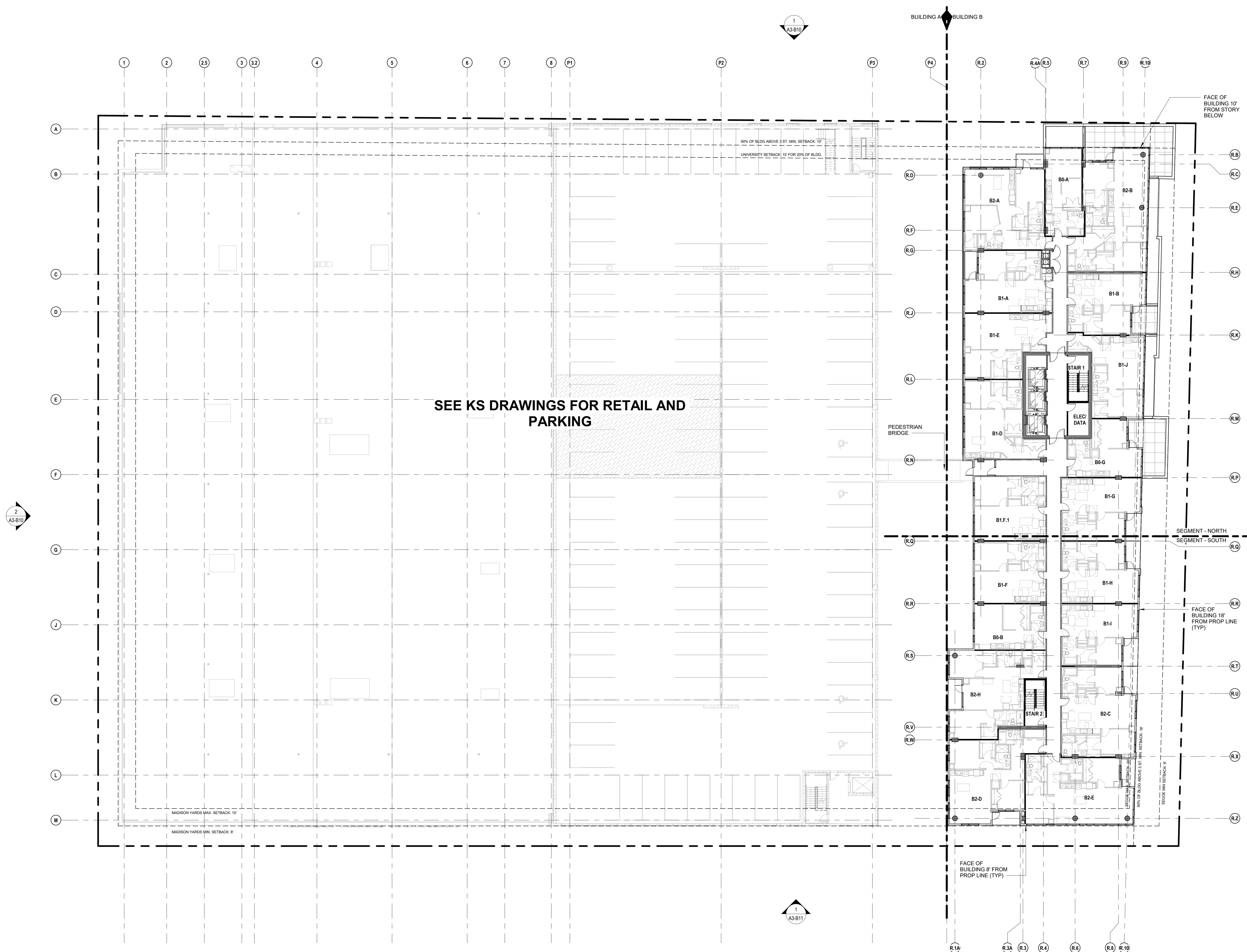
**SON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

OVERALL THIRD
FLOOR PLAN
(REFERENCE)

A2-03





PHONE NO. _____

UNIVERSITY AVE AT SEGOE ROAD

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A2-04





KTGY Project No: 2020032

Project Contact: Eric Lukacsik
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Principal: Craig Pryde
Project Designer: Demetrios Stavrianou

Developer



PHONE NO. _____

**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

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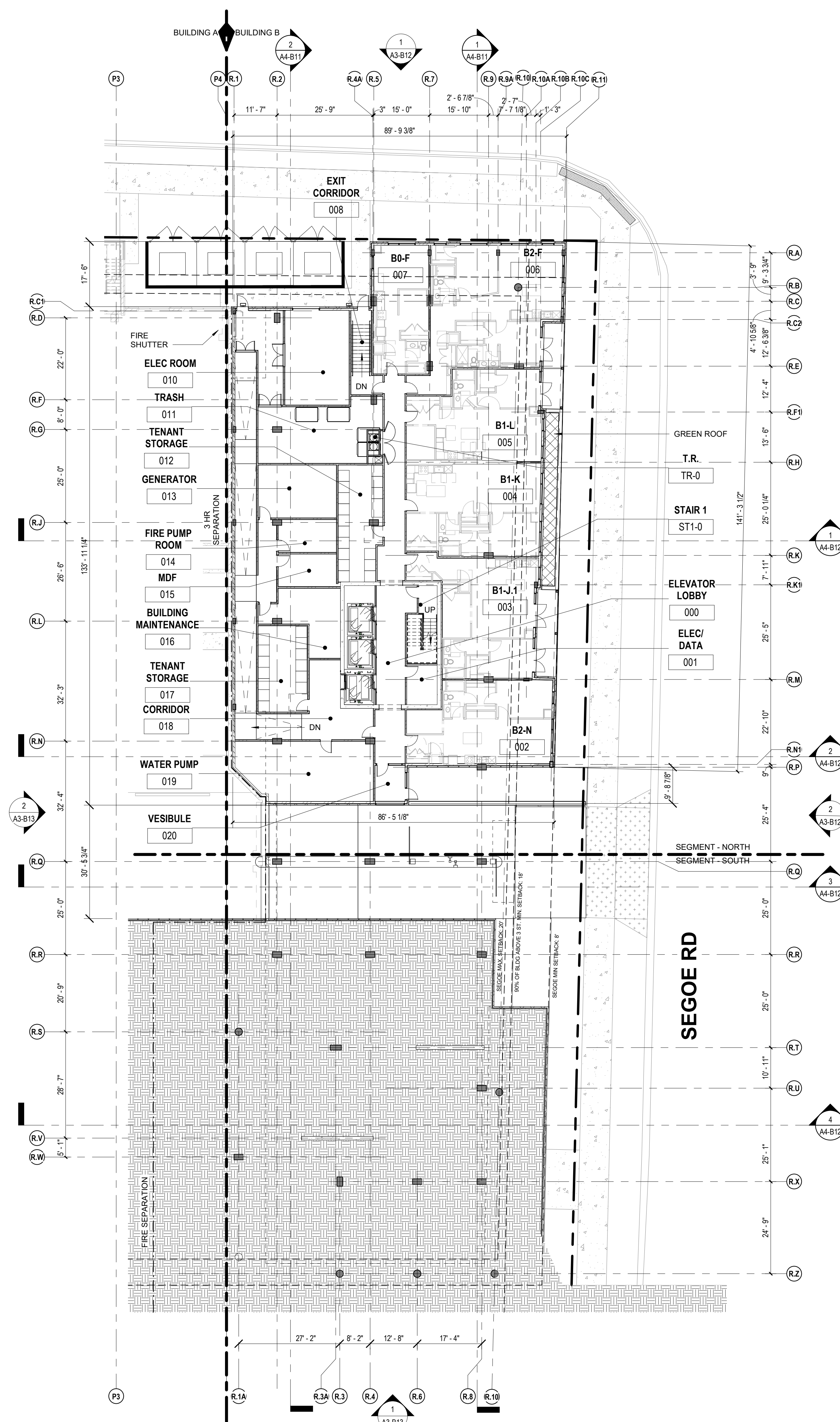
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BUILDING B

BUILDING B
LOWER LEVEL
PLAN

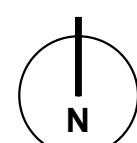
A2-B00

1. SEE SEGMENT PLANS FOR ADDITIONAL DIMENSIONS, TARGETS AND NOTES.
2. ALL DIMENSIONS ARE TO THE FACE OF STUD (INTERIOR), FACE OF SHEATHING (EXTERIOR) OR FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
3. PROVIDE WATER PROOFING OF ELEVATOR PIT FOUNDATION WALLS TO INCLUDE SUMP PIT/ PUMPS FOR WATER DISCHARGE.
4. PROVIDE R-10 RIGID INSULATION ON INTERIOR SURFACE OF PERIMETER CONCRETE FOUNDATION WALL. INSULATION SHALL EXTEND FROM THE BOTTOM OF INTERIOR CONCRETE SLAB TO THE TOP OF THE EXISTING FLOOR NOT LESS THAN 4 FT BELOW GRADE.
5. PROVIDE R-10 RIGID INSULATION AT THE PERIMETER OF ALL INTERIOR SLAB ON GRADE LOCATIONS AT THE EXTERIOR WALL FOR A HORIZONTAL DISTANCE NOT LESS THAN 4 FT FROM THE INTERIOR FACE OF THE EXTERIOR WALL.
6. PROVIDE BRICK LEDGE IN EXTERIOR FOUNDATION WALL AND STEP WITH EXTERIOR FINISH GRADE SO NO FOUNDATION WALL IS EXPOSED. USE SOLID BRICK AND FULLY MORTARED CAVITY BELOW GRADE AND FLASH/ WEEP MASONRY CAVITY ABOVE GRADE. STEP FLASHING TO EXTERIOR FINISH GRADE.
7. FIRE ACCESS LOBBY NOT REQUIRED AT LOWER LEVEL (LEVEL OF EXIT DISCHARGE).
8. STAIR #1 TO DISCHARGE TO BUILDING ENTRANCE AT SOUTH END OF LOWER LEVEL. INTERIOR AND EXTERIOR WALLS OF VESTIBULE SHALL BE ALUM STOREFRONT VESTIBULE WITH GLASS TO THE EXTERIOR.
9. PROVIDE SUSPENDED ACOUSTICAL CEILING (9 FT MIN) IN CORRIDOR/ VESTIBULE AREAS OF LOWER LEVEL.
10. ALL DOOR FRAMES SHALL BE PAINTED.
11. ALL NON-RESIDENTIAL UNIT DOORS/FRAMES SHALL BE HOLLOW METAL PAINTED THIS LEVEL.
12. PROVIDE EMERGENCY LIGHTING AND EXIT LIGHTING PER CODE.
13. PROVIDE LED CORRIDOR LIGHTING ON OCCUPANCY SENSORS.
14. PROVIDE HARD TROWELED SEALED CONCRETE FLOORING IN ALL "BACK OF HOUSE" AREAS THIS LEVEL.
15. PROVIDE 5% OF TOTAL BIKE PARKING FOR UP TO 25% OF TOTAL BIKE STORAGE REQUIREMENTS. INSTALL WALL MOUNTED SYSTEM AS INDICATED ON THE PLANS.
16. PROVIDE (2) 3 YARD CAPACITY TRASH COMPACTORS/ WITH HOPPER. CHUTES TO HAVE OVERHEAD RATED DISCHARGE BAYS.
17. INTERIOR PAINTING:
 - A. BACK OF HOUSE – PAINT ALL WALLS WITH SEMI-GLOSS/ FULL HEIGHT
 - B. CORRIDORS – EGSSHELL TO CEILING OR AS NOTED.
 - C. UNITS – SEE INTERIOR DRAWINGS OR DESIGN NARRATIVE
18. WALL PROTECTION – PROVIDE CORNER GUARDS AT CORRIDOR IN BACK OF HOUSE AREA.
19. PROVIDE STL PIPE RAILING (PTD) ON BOTH SIDES OF INTERIOR RAMP IN BACK OF HOUSE AREA.
20. PROVIDE SUSPENDED LED LIGHTING IN ALL BACK OF HOUSE AREAS ON OCCUPANCY SENSORS.
21. PROVIDE METAL PANEL CEILING ABOVE GARAGE ENTRY DRIVE AND LOWER LEVEL RESIDENT ENTRY WITH RECESSED LED LIGHTING CENTERED ON EACH DRIVE AISLE AND ENTRANCE WALKWAY ON 10 FT CENTERS
22. EXPOSED CONCRETE COLUMNS, WALLS AT GARAGE ENTRY DRIVE SHALL BE PAINTED



OVERALL LOWER LEVEL PLAN

1/16" = 1'-0"



1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/ B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/ SEWER SERVICES TO THE BUILDING.
11. COORDINATE ENTRANCE TO LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD – SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE REQUIRED ON NORTH SIDE OF WAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL/ SYSTEMS DESCRIPTIONS.



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UNIVERSITY AVE AT SEGOE ROAD

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A2-B10



1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/SEWER SERVICES TO THE BUILDING.
11. COORDINATE ELEVATION OF LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD - SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED IN BUILDING A AND BUILDING B.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL SYSTEMS DESCRIPTIONS.


$$1/16'' = 1'-0''$$

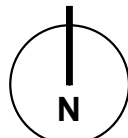
1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/SEWER SERVICES TO THE BUILDING.
11. COORDINATE ELEVATION OF LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD - SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED IN THE MAIN ENTRANCE WALKWAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL SYSTEMS DESCRIPTIONS.



UNIVERSITY AVE AT SEGOE ROAD

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A2-B30





1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS.
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING B/A IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION CONSTRUCTION FOR OTHER ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREA.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/SEWER SERVICES TO THE BUILDING.
11. PROVIDE THE ENTRANCE TO LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD - SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED ON WEST SIDE OF S. HWAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL SYSTEMS DESCRIPTIONS.

UNIVERSITY AVE AT SEGOE ROAD

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A2-B40



1. SEE CIVIL DRAWINGS FOR GRADE ELEVATIONS AT BUILDING EXTERIOR AND AT CONNECTIONS TO EXISTING AREAS.
2. SEE CIVIL DRAWINGS FOR UTILITY CONNECTION LOCATIONS
3. SEE CIVIL DRAWINGS FOR SOIL EROSION CONTROL.
4. SEE KAHLER SLATER (KS) DRAWINGS FOR INFORMATION RELATED TO BUILDING A.
5. SEE STRUCTURAL DRAWINGS FOR FOUNDATIONS, STRUCTURAL FRAME AND OTHER INFORMATION RELATED TO BUILDING B.
6. SEE INTERIOR DRAWINGS FOR INTERIOR SCOPE OF WORK AND FINISHES.
7. MATCH LINE FOR BUILDING A/B IS LOCATED ON COLUMN LINE "P4" OF BUILDING A.
8. FOUNDATION OR OTHER BUILDING ELEMENTS SHALL NOT EXTEND PAST THE PROPERTY LINE UNLESS NOTED OTHERWISE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAGING AND STORAGE AREAS AND SHALL NOT BE ON PUBLIC RIGHT-OF-WAY AREAS.
10. CONTRACTOR TO COORDINATE ELEVATION OF UTILITIES THAT PASS UNDER BUILDING B STRUCTURE AND SHALL NOTIFY ARCHITECT OF CONFLICTS. PROVIDE REQUIRED COVER AND FROST PROTECTION FOR ALL WATER/ SEWER SERVICES TO THE BUILDING.
11. COORDINATE ENTRANCE TO LOWER LEVEL PARKING GARAGE WITH PROPOSED CURB CUT ON N. SEGOE RD -- SEE CIVIL DRAWINGS.
12. SEE CIVIL DRAWINGS FOR ACCESSIBLE ROUTE FROM PUBLIC R.O.W. TO BUILDING ENTRANCE. ACCESSIBLE ENTRANCE PROVIDED ON AVAILABLE SIDEWAYS WAY.
13. SEE DESIGN NARRATIVE FOR ADDITIONAL SCOPE OF WORK, MATERIAL SYSTEMS DESCRIPTIONS.



It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

A2-B150



KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

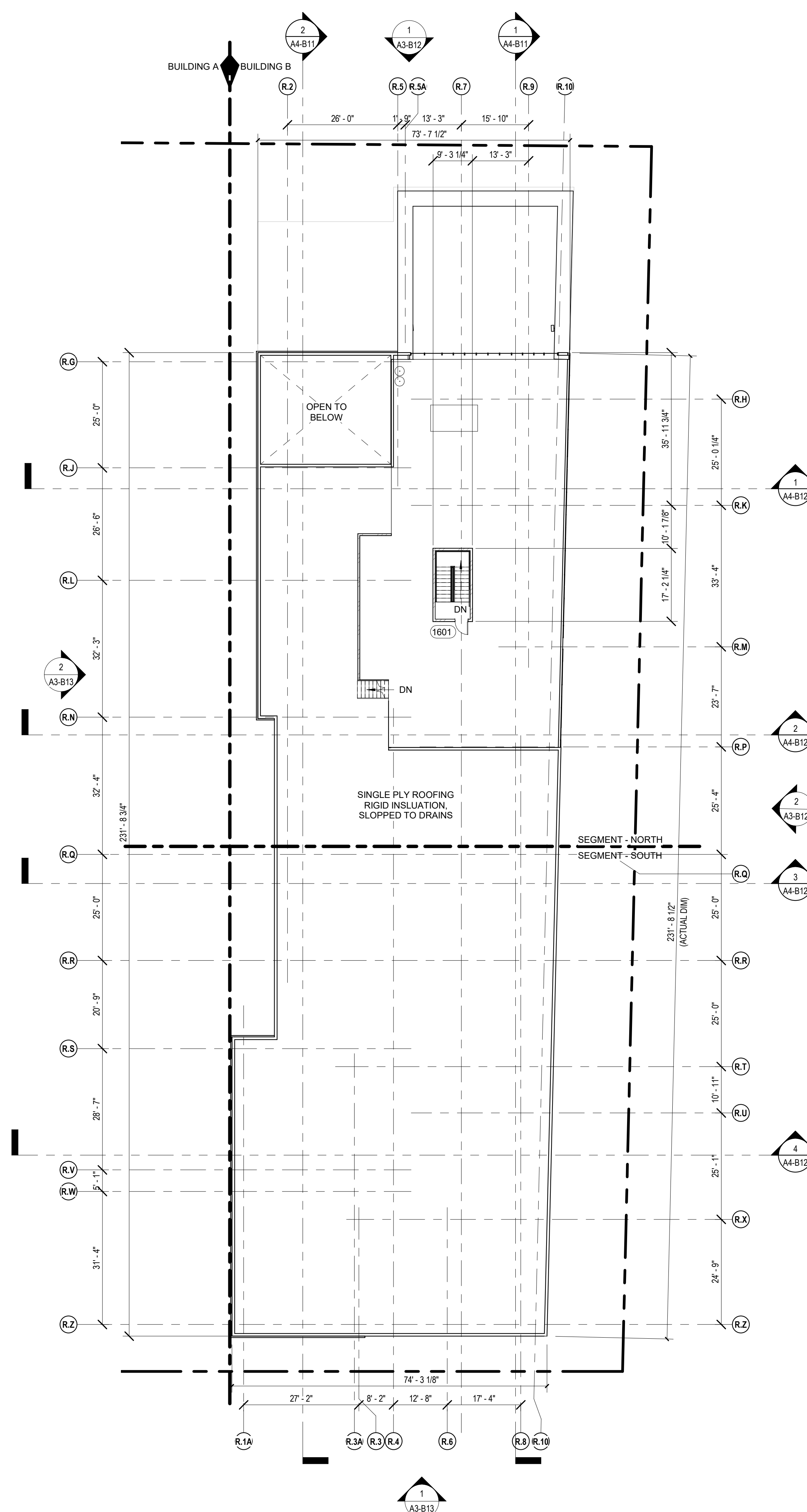
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BUILDING B

BUILDING B ROOF AND PENTHOUSE PLANS

A2-B160



ROOF PLAN

1/16" = 1'-0"



KTGY Project No: 2020032

Project Contact: Eric Lukacs
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianou

Developer



PHONE NO. _____

**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

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BUILDING B

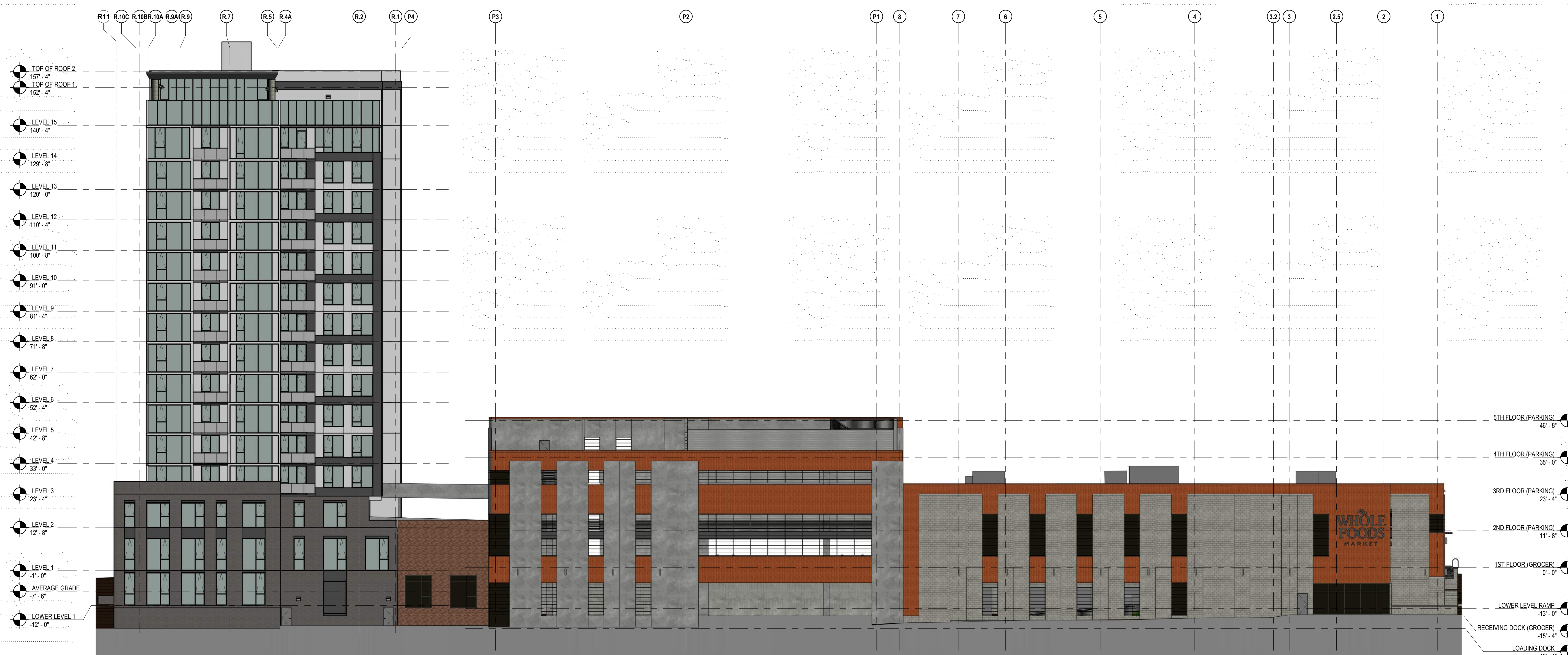
OVERALL ELEVATIONS

A3-B10

1. SEE CIVIL DRAWINGS FOR FINISH GRADES.
2. SEE MATERIAL NOTES FOR DESCRIPTION OF MATERIALS PROPOSED. SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION.
3. BUILDING B: EXTERIOR WALL RATINGS/ PROTECTED OPENINGS:
 - A. NORTH WALL = 0-HOUR/ UNLIMITED OPENINGS
 - B. EAST WALL = 0-HOUR/ UNLIMITED OPENINGS
 - C. SOUTH WALL = 0-HOUR/ UNLIMITED OPENINGS
 - D. WEST WALL
 - a. 1ST FLOOR – SEE PLAN
 - b. 2ND FLOOR – SEE PLAN
 - c. 3RD FLR – 15TH FLR = 0-HOUR/ UNLIMITED OPENINGS (SECTION 705.8.6)
4. EXTERIOR WALL IS INTENDED TO BE A SINGLE SOURCE RESPONSIBILITY AND IS THEREFORE DEFINED IN THE DESIGN NARRATIVE.
 - A. WINDOW WALL SYSTEM – GLAZED WITH TINTED INSULATED GLASS PANELS INCLUDING OPERABLE WINDOWS. SEE DESIGN NARRATIVE/ DRAWINGS FOR SPECIFICATION.
 - B. PROVIDE TEEGERED GLAZING WHERE REQUIRED BY CODE.
 - C. WINDOW WALL SYSTEM – GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
 - D. IBC SECTION 1609.4.2 – SURFACE ROUGHNESS B.
 - E. IBC SECTION 1609.4.3 – EXPOSURE CATEGORY C
 - F. DELEGATED DESIGN FOR EXTERIOR WALL ASSEMBLY FOR WIND LOAD REQUIREMENTS/ AIR AND WATER CONTINUITY DESIGN.
 - G. TYPICAL EXTERIOR WALL TO BE INDEPENDENTLY LABORATORY TESTED FOR AIR INFILTRATION PER ASTM E283, WATER INFILTRATION PER ASTM E331 AND AAMA 501.1 AT 12 LB/FSF.
 - H. INCLUDE THREE FIELD VERIFICATION TESTS PER AAMA 502.
5. A VAPOR RESISTANT AIR AND WATER BARRIER WILL BE REQUIRED BEHIND ALL "CLADDING" MATERIALS CONSTRUCTED OVER EXTERIOR SHEATHINGS, MASONRY OR CONCRETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUBMITTING TO THE ARCHITECT, THE TRANSITIONS OF ALL AIR AND WATER BARRIER CONDITIONS.
6. PROVIDE SEALANTS AT ALL CHANGE OF MATERIALS ON THE EXTERIOR WALL IN COLOR AS SELECTED BY THE ARCHITECT. PROVIDE COMPATABILITY TESTING WHERE REQUIRED.
7. PROVIDE COPING/ FLASHINGS AT ALL TOP OF WALL AREAS THAT ARE FULLY INTEGRATED WITH THE WALL MATERIAL/ SYSTEM TO PROVIDE A WATERTIGHT ASSEMBLY.
8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE).
9. PROVIDE FIRE RATED ASSEMBLIES THAT COMPLETE THE COMPARTMENTALIZED AREA FOR EACH FLOOR OF THE RESIDENTIAL BUILDING AT THE INTERSECTION OF THE FLOOR ASSEMBLY AND EXTERIOR WALL ASSEMBLY.
10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO THE BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET CODE REQUIREMENTS.
11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
12. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANEL SYSTEMS OVER STRUCTURAL FRAMING AND INSULATION AS REQUIRED / NOTED.
13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND SCREEN ON 15TH FLOOR.
14. EXPOSED CONCRETE COLUMNS AT CORNERS OF BUILDING SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
15. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER.
16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR WITH WEEPS (TOP BOTTOM).
17. PROVIDE METAL SIGNAGE. NAMES SHALL BE PAINTED – GLOSS FINISH.
18. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
 - A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
19. PROVIDE CORRUGATED METAL WALL PANELS AT ROOF LEVEL FOR MECHANICAL SCREENING AND AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT ASSEMBLY.



Overall West Elevation	1/16" = 1'-0"	2
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Overall North Elevation	1/16" = 1'-0"	1
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KTGY Project No: 2020032

Developer

SMITH Gilbane

PHONE NO. _____

UNIVERSITY AVE AT SEGOE ROAD

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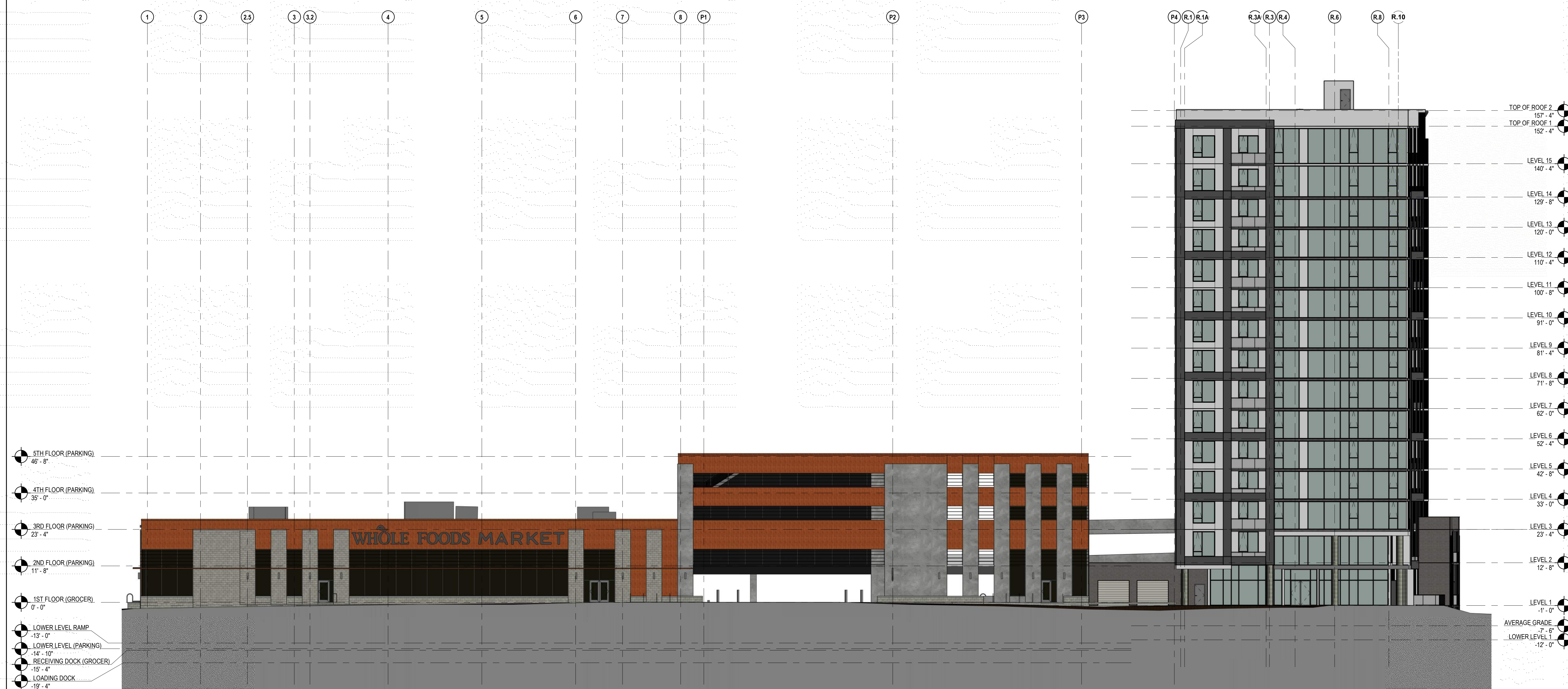
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BUILDING B

OVERALL ELEVATIONS

A3-B11

1. SEE CIVIL DRAWINGS FOR FINISH GRADES.
2. SEE MATERIAL NOTES FOR DESCRIPTION OF MATERIALS PROPOSED. SEE DESIGN NARRATIVE FOR ADDITIONAL INFORMATION.
3. BUILDING B: EXTERIOR WALL RATINGS/ PROTECTED OPENINGS:
 - A. NORTH WALL = 0-HOUR/ UNLIMITED OPENINGS
 - B. EAST WALL = 0-HOUR/ UNLIMITED OPENINGS
 - C. SOUTH WALL = 0-HOUR/ UNLIMITED OPENINGS
 - D. WEST WALL
 - a. 1ST FLOOR – SEE PLAN
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 - c. 3RD FLR – 15TH FLR = 0-HOUR/ UNLIMITED OPENINGS (SECTION 705.8.6)
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 - A. WINDOW WALL SYSTEM – GLAZED WITH TINTED INSULATED GLASS PANELS INCLUDING OPERABLE WINDOWS. SEE DESIGN NARRATIVE/ DRAWINGS FOR SPECIFICATION.
 - B. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
 - C. WINDOW WALL SYSTEM – GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
 - D. IBC SECTION 1609.4.2 – SURFACE ROUGHNESS B.
 - E. IBC SECTION 1609.4.3 – EXPOSURE CATEGORY C
 - F. DELEGATED DESIGN FOR EXTERIOR WALL ASSEMBLY FOR WIND LOAD REQUIREMENTS/ AIR AND WATER CONTINUITY DESIGN.
 - G. TYPICAL EXTERIOR WALL TO BE INDEPENDENTLY LABORATORY TESTED FOR AIR INFILTRATION PER ASTM E283, WATER INFILTRATION PER ASTM E331 AND AAMA 501.1 AT 12 LB/FSF.
 - H. INCLUDE THREE FIELD VERIFICATION TESTS PER AAMA 502.
5. A VAPOR RESISTANT AIR AND WATER BARRIER WILL BE REQUIRED BEHIND ALL “CLADDING” MATERIALS CONSTRUCTED OVER EXTERIOR SHEATHINGS, MASONRY OR CONCRETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SUBMITTING TO THE ARCHITECT, THE TRANSITIONS OF ALL AIR AND WATER BARRIER CONDITIONS.
6. PROVIDE SEALANTS AT ALL CHANGE OF MATERIALS ON THE EXTERIOR WALL IN COLOR AS SELECTED BY THE ARCHITECT. PROVIDE COMPATIBILITY TESTING WHERE REQUIRED.
7. PROVIDE COPING/ FLASHINGS AT ALL TOP OF WALL AREAS THAT ARE FULLY INTEGRATED WITH THE WALL MATERIAL/ SYSTEM TO PROVIDE A WATERTIGHT ASSEMBLY.
8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE).
9. PROVIDE FIRE RATED ASSEMBLIES THAT COMPLETE THE COMPARTMENTALIZED AREA FOR EACH FLOOR OF THE RESIDENTIAL BUILDING AT THE INTERSECTION OF THE FLOOR ASSEMBLY AND EXTERIOR WALL ASSEMBLY.
10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO THE BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET CODE REQUIREMENTS.
11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
12. ALL SOFFITS SHALL BE PRE-FINISHED WITH METAL PANEL SYSTEMS OVER SILENTMENT, FRAMING AND INSULATION AS REQUIRED / NOTED.
13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL SCREEN ON 15TH FLOOR.
14. EXPOSED CONCRETE COLUMNS AT CHASE Labeled SYSTEMS BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
15. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER.
16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR WITH WEEPS (TOP/ BOTTOM).
17. PROVIDE METAL FRAME FLASHINGS SHALL BE PAINTED – GLOSS FINISH.
18. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
 - A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
19. PROVIDE CORRUGATED METAL WALL PANELS AT ROOF LEVEL FOR MECHANICAL SCREENING AND AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT ASSEMBLY.



Overall South Elevation	1/16" = 1'-0"	1
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KTGY Project No: 2020032

Project Contact: Eric Lukacs
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianou

Developer



PHONE NO _____

MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which the contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client's subcontractors proceeding with the work. The client will be responsible for defects in construction if these procedures are not followed.

BUILDING B

EXTERIOR BUILDING ELEVATIONS

A3-B12

EWS-1 - ALUM WINDOW WALL/ SLAB EDGE COVER
EWS-2 - INSULATED METAL PANEL/ ALUM
WINDOWS (COLOR 1/ COLOR 2)
EWS-3 - BRICK VENEER
EWS-4 - METAL WALL PANEL

EWS-1: PRIMARY WALL SYSTEM CONSISTS OF THERMALLY BROKEN ALUMINUM WINDOW WALL WITH STRUCTURALLY GLAZED 1" INSULATED GLASS WITH VENTED UNITS AS INDICATED/ REQUIRED, PREFINISHED METAL SLAB EDGE COVERS AND FIRE STOP MATERIAL AT FLOORS. ALTERNATE: FULLY CAPTURED GLAZING SYSTEM

EWS-2: PRIMARY WALL SYSTEM CONSISTS OF LIGHT GAUGE EXTERIOR WALL FRAMING (DELEGATED DESIGN), INTERIOR DRYWALL, VAPOR BARRIER, CAVITY WALL INSULATION, EXTERIOR SHEATHING, AIR BARRIER AND INSULATED METAL PANEL AS INDICATED TO MATCH THE WALL PANELS. SEE ELEVATIONS/ SECTIONS FOR LOCATIONS.

EWS-3: PRIMARY WALL SYSTEM CONSISTS OF LIGHT GAUGE EXTERIOR WALL FRAMING (DELEGATED DESIGN), INTERIOR DRYWALL, VAPOR BARRIER, CAVITY WALL INSULATION, EXTERIOR SHEATHING, AIR BARRIER, 2" CONTINUOUS INSULATION, AIR CAVITY AND 4" BRICK VENEER WITH STEEL LINTELS AS REQUIRED. BRICK VENEER SHALL BE SUPPORTED AT EACH FLOOR LEVEL OF THE STRUCTURAL SLAB. CONTROL JOINTS AS REQUIRED.

EWS-4: PRIMARY WALL SYSTEM CONSISTS OF LIGHT GAUGE FRAMING AND SHEATHING WITH CORRUGATED METAL WALL PANEL (MECHANICAL PENTHOUSE/ ROOF) INSTALLED OVER 2" CONTINUOUS INSULATION.

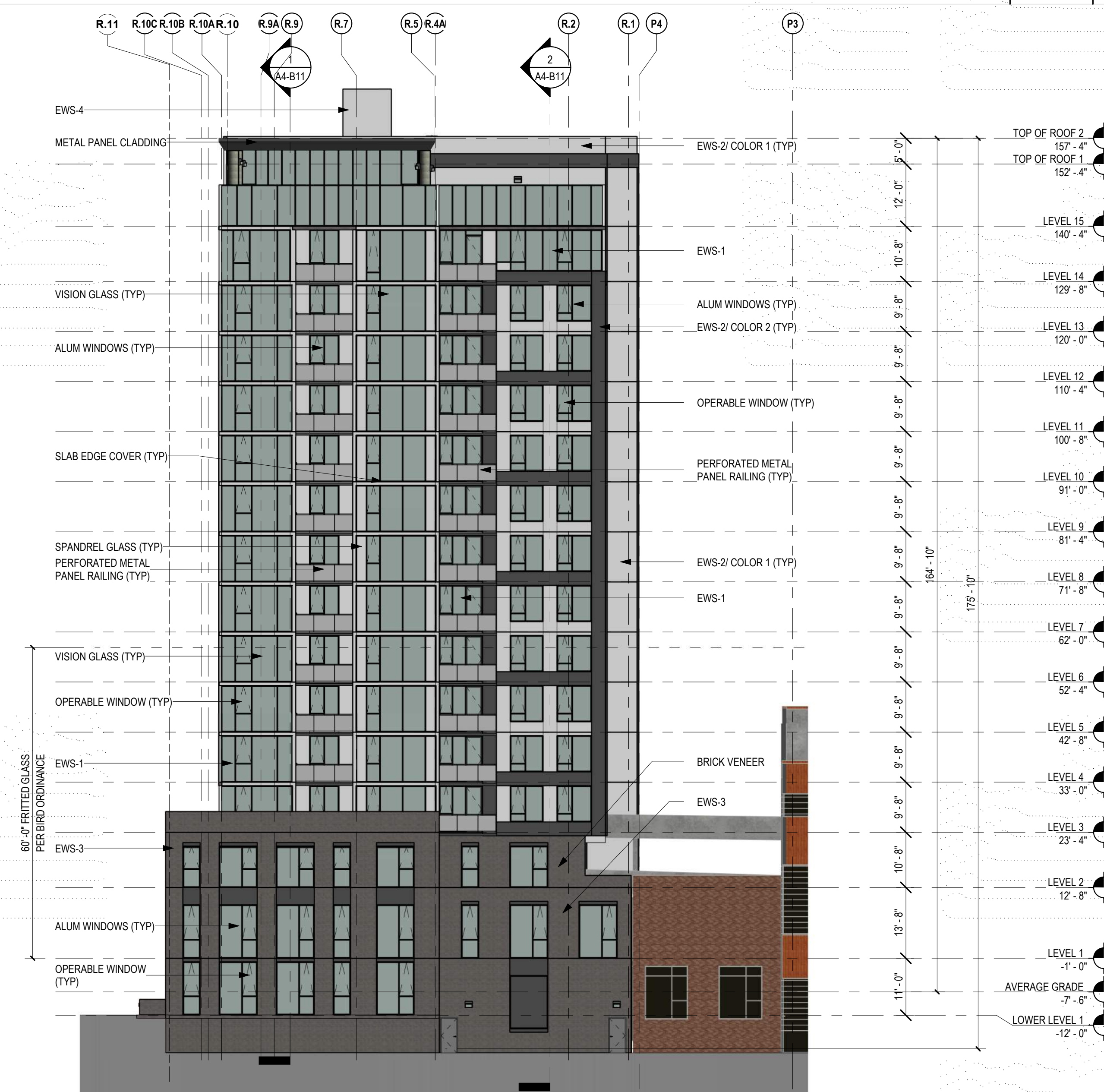
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 - A. NORTH WALL = 0-HOUR/ UNLIMITED OPENINGS
 - B. EAST WALL = 0-HOUR/ UNLIMITED OPENINGS
 - C. SOUTH WALL = 0-HOUR/ UNLIMITED OPENINGS
 - D. WEST WALL
 - a. 1ST FLOOR – SEE PLAN
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 - B. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
 - C. WINDOW WALL SYSTEM – GLAZED WITH INSULATED METAL PANEL. SEE DESIGN NARRATIVE/ DRAWINGS FOR COLOR AND SPECIFICATION.
 - D. IBC SECTION 1609.4.2 – SURFACE ROUGHNESS B
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 - F. DELEGATED DESIGN FOR EXTERIOR WALL ASSEMBLY FOR WIND LOAD REQUIREMENTS/ AIR AND WATER CONTINUITY DESIGN.
 - G. TYPICAL EXTERIOR WALL TO BE INDEPENDENTLY LABORATORY TESTED FOR AIR INFILTRATION PER ASTM E283, WATER INFILTRATION PER ASTM E331 AND AAMA 501.1 AT 12 LB/SF.
 - H. INCLUDE THREE FIELD VERIFICATION TESTS PER AAMA 502.
5. A VAPOR RESISTANT AIR AND WATER BARRIER WILL BE REQUIRED BEHIND ALL "CLADDING" MATERIALS CONSTRUCTED OVER EXTERIOR SHEATHINGS, MASONRY OR CONCRETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SUBMITTING TO THE ARCHITECT, THE TRANSITIONS OF ALL AIR AND WATER BARRIER CONDITIONS.
6. PROVIDE SEALANTS AT ALL CHANGE OF MATERIALS ON THE EXTERIOR WALL IN COLOR AS SELECTED BY THE ARCHITECT. PROVIDE COMPATIBILITY TESTING WHERE REQUIRED.
7. PROVIDE COPING/ FLASHINGS AT ALL TOP OF WALL AREAS THAT ARE FULLY INTEGRATED WITH THE WALL MATERIAL/ SYSTEM TO PROVIDE A WATERTIGHT ASSEMBLY.
8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE).
9. PROVIDE FIRE RATED ASSEMBLIES THAT COMPLETE THE COMPARTMENTALIZED AREA FOR EACH FLOOR OF THE RESIDENTIAL BUILDINGS AT THE INTERSECTION OF THE FLOOR ASSEMBLY AND EXTERIOR WALL ASSEMBLY.
10. PROVIDE PRE-FINISH METAL BALCONY RAILINGS WITH PERFORATED METAL PANELS AND / OR GLASS AS INDICATED ON THE DRAWINGS. RAILINGS SHALL BE TOP MOUNTED TO BALCONY DECK AND SHALL BE DELEGATED DESIGN TO MEET CODE REQUIREMENTS.
11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
 - A. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANEL SYSTEM OVER SUPPLEMENTAL FRAMING AND INSULATION AS REQUIRED / NOTED.
12. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND SCREEN ON 15TH FLOOR.
13. EXPOSED CONCRETE COLUMNS AT GROUND LEVEL SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
14. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER.
15. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR WITH WEEPS (TOP/ BOTTOM).
16. HUNG METAL BALCONY GLASS PAMES SHALL BE PAINTED – GLOSS FINISH.
17. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
 - A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
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..... MATERIAL NOTES:

Key	Material
13	PRE-FINISHED METAL PANEL
14	ALUMINUM WINDOW WALL



EAST ELEVATION	1/16" = 1'-0"
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NORTH ELEVATION 1/16" = 1'-0"



KTGY Project No: 2020032

Project Contact: Eric Lukacs
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianou

Developer



PHONE NO.

MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

BUILDING B

EXTERIOR BUILDING ELEVATIONS

A3-B13

EWS-1 - ALUM WINDOW WALL/ SLAB EDGE COVER
EWS-2 - INSULATED METAL PANEL/ ALUM
WINDOWS (COLOR 1/ COLOR 2)
EWS-3 - BRICK VENEER
EWS-4 - METAL WALL PANEL

EWS-1 - ALUM WINDOW WALL/ SLAB EDGE COVER
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EWS-1; PRIMARY WALL SYSTEM CONSISTS OF THERMALLY BROKEN ALUMINUM WINDOW WALL WITH STRUCTURALLY GLAZED 1" INSULATED GLASS WITH VENTED UNITS AS INDICATED/REQUIRED, PREFINISHED METAL SLAB EDGE COVERS AND FIRE STOP MATERIAL AT FLOORS. ALTERNATE: FULLY CAPTURED GLAZING SYSTEM.

EWS-2: PRIMARY WALL SYSTEM CONSISTS OF LIGHT GAUGE EXTERIOR WALL FRAMING (DELEGATED DESIGN), INTERIOR DRYWALL, VAPOR BARRIER, CAVITY WALL INSULATION, EXTERIOR SHEATHING, AIR BARRIER AND INSULATED METAL PANEL AS INDICATED TO MATCH THE WALL PANELS. SEE ELEVATIONS/ SECTIONS FOR LOCATIONS.

EWS-3; PRIMARY WALL SYSTEM CONSISTS OF LIGHT GAUGE EXTERIOR WALL FRAMING (DELEGATED DESIGN), INTERIOR DRYWALL, VAPOR BARRIER, CAVITY WALL INSULATION, EXTERIOR SHEATHING, AIR BARRIER, 2" CONTINUOUS INSULATION, AIR CAVITY AND 4" BRICK VENEER WITH STEEL LINELS AS REQUIRED. BRICK VENEER SHALL BE SUPPORTED AT EACH FLOOR LEVEL OF THE STRUCTURAL SLAB. CONTROL JOINTS AS REQUIRED.

EWS-4: PRIMARY WALL SYSTEM CONSISTS OF LIGHT GAUGE FRAMING AND SHEATHING WITH CORRUGATED METAL WALL PANEL (MECHANICAL PENTHOUSE/ ROOF) INSTALLED OVER 2" CONTINUOUS INSULATION

Figure 1 is a 3D scatter plot showing the distribution of the number of nodes in the network. The x-axis, y-axis, and z-axis are all labeled 'Number of nodes' and range from 0 to 100. The plot shows a dense cluster of points at the origin (0,0,0) and a sparse distribution of points extending along the axes and in the volume.

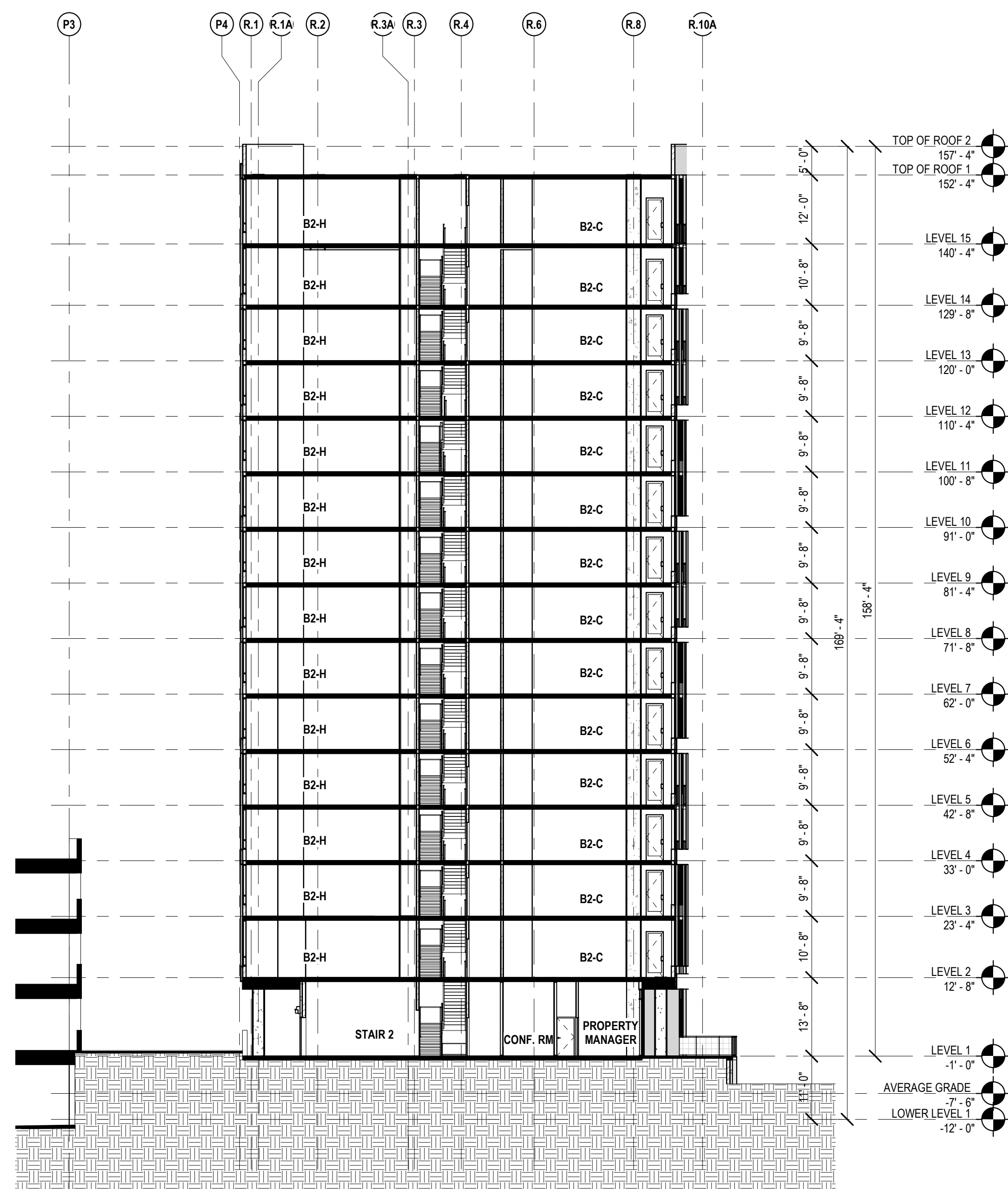
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8. PROVIDE MATERIALS WITHIN THE EXTERIOR WALL ASSEMBLY THAT ARE COMPLIANT WITH NFPA 285 (MORE THAN 40 FT ABOVE THE GRADE PLANE).
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11. ALL UNIT BALCONY DOORS SHALL HAVE ADA THRESHOLDS.
 - A. ALL SOFFITS SHALL BE PRE-FINISHED METAL PANELS WITH STAINS OVER SUPPLEMENTAL FRAMING AND INSULATION AS REQUIRED / NOTED.
13. PROVIDE SUPPLEMENTAL STEEL FRAMING SUPPORTS (PTD) AT WINDOW WALL WIND SCREEN ON 15TH FLOOR.
14. EXPOSED CONCRETE COLUMNS AT GROUND LEVEL SHALL BE SMOOTH FORM AND PREPARED FOR PAINT FINISH.
15. EXTERIOR SIGNAGE SHALL BE A SEPARATE CONTRACT BY OWNER
16. PROVIDE THRU WALL FLASHINGS IN ALL MASONRY VENEER WALLS AT EACH FLOOR W/ WEEPS (TO BCK FM).
17. HOLLOW METAL DOOR FRAMES SHALL BE PAINTED – GLOSS FINISH.
18. PROVIDE PRE-FINISHED ARCHITECTURAL METAL LOUVERS AS INDICATED. INTEGRATE LOUVERS INTO THE WINDOW WALL SYSTEM AND PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
 - A. PROVIDE INSECT SCREENS ON LOUVERS TO ENCLOSED SPACES OR CONNECTED TO DUCTWORK.
19. PROVIDE CORRUGATED METAL WALL PANELS AT ROOF LEVEL FOR MECHANICAL AND SKEENING AREA AT STAIR TO ROOF. TERMINATE WALL PANELS INTO ROOFING SYSTEM TO PROVIDE WATERTIGHT ASSEMBLY.



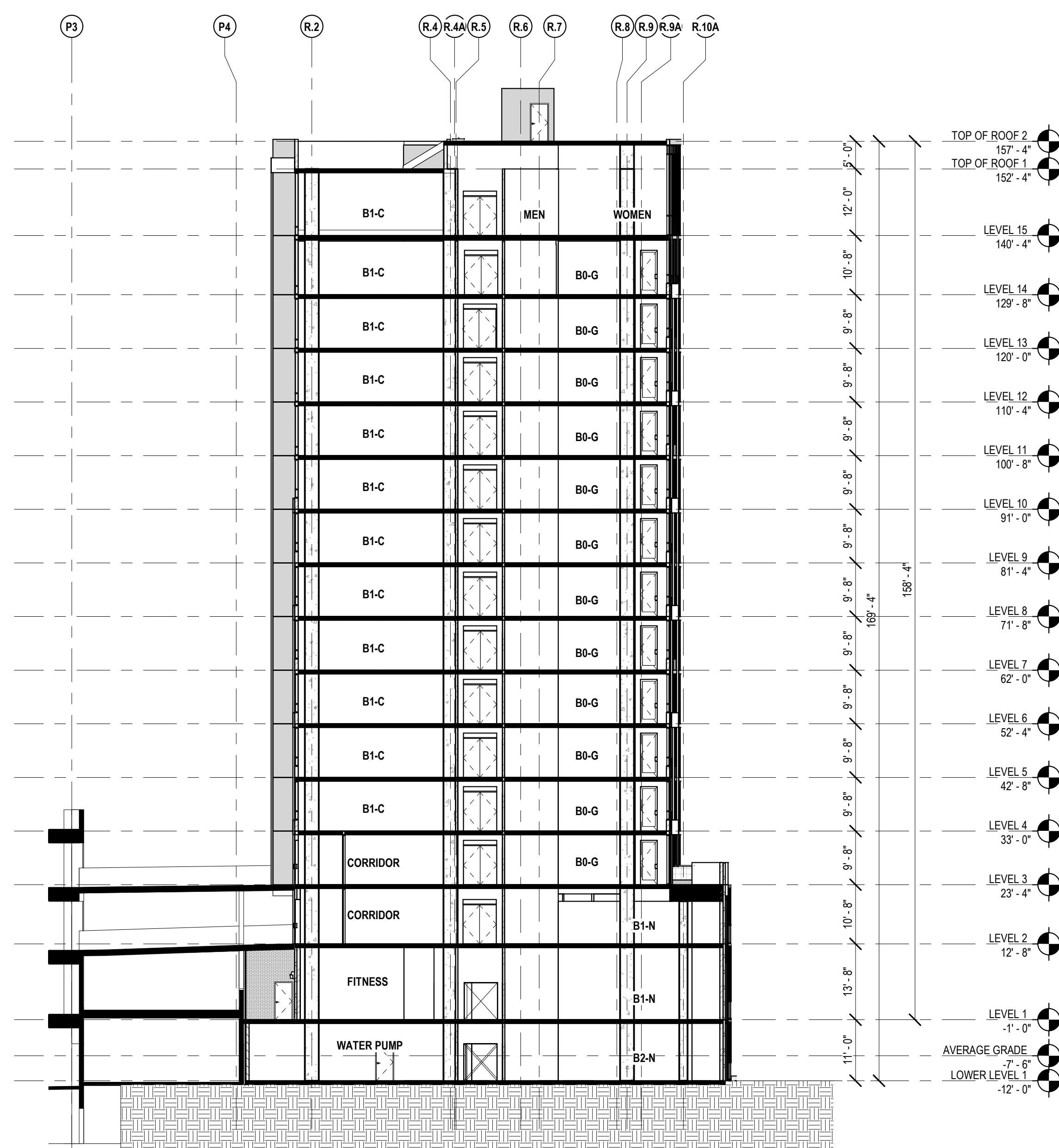
WEST ELEVATION	1/16" = 1'-0"	2
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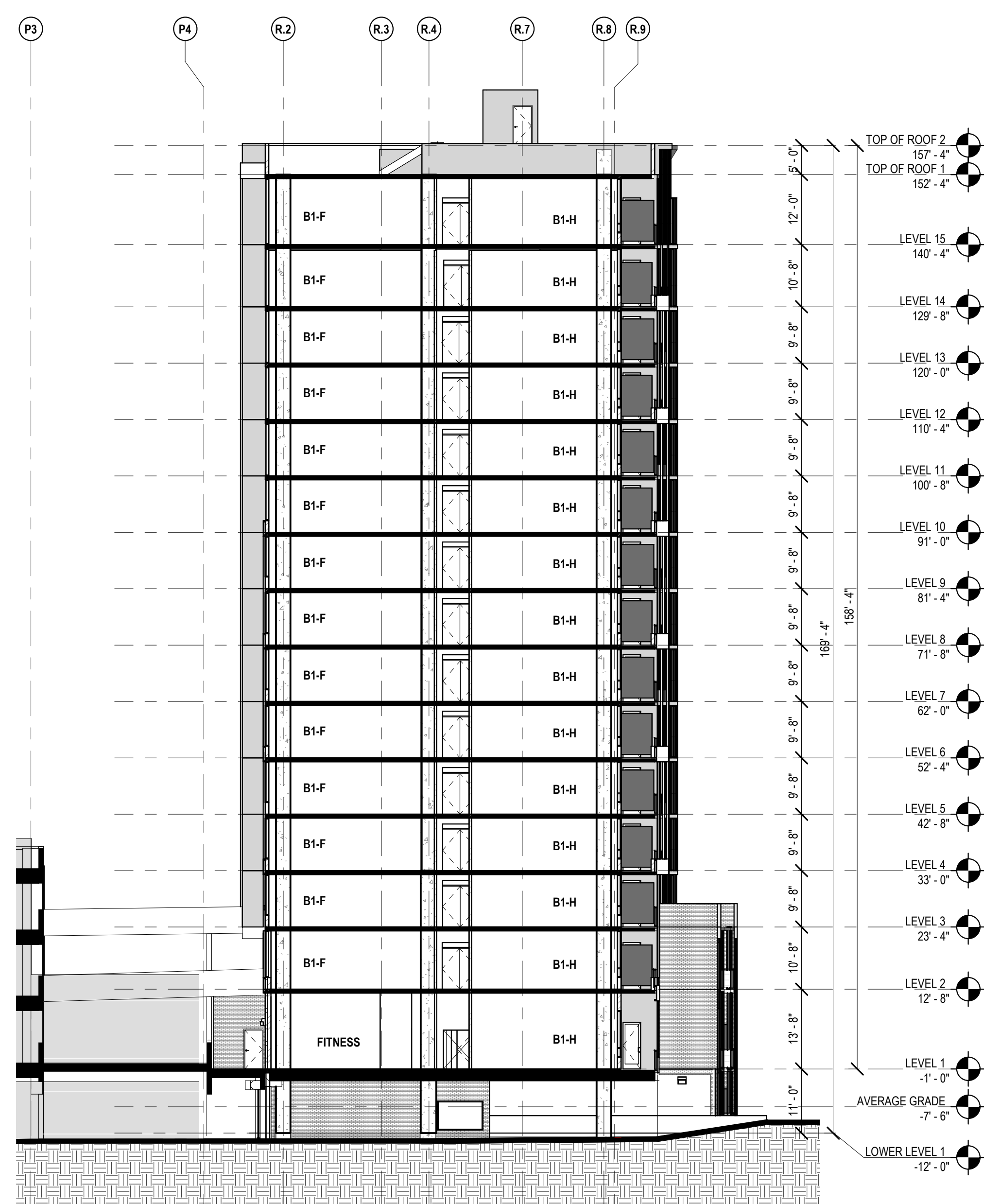
SOUTH ELEVATION	1/16" = 1'-0"	1
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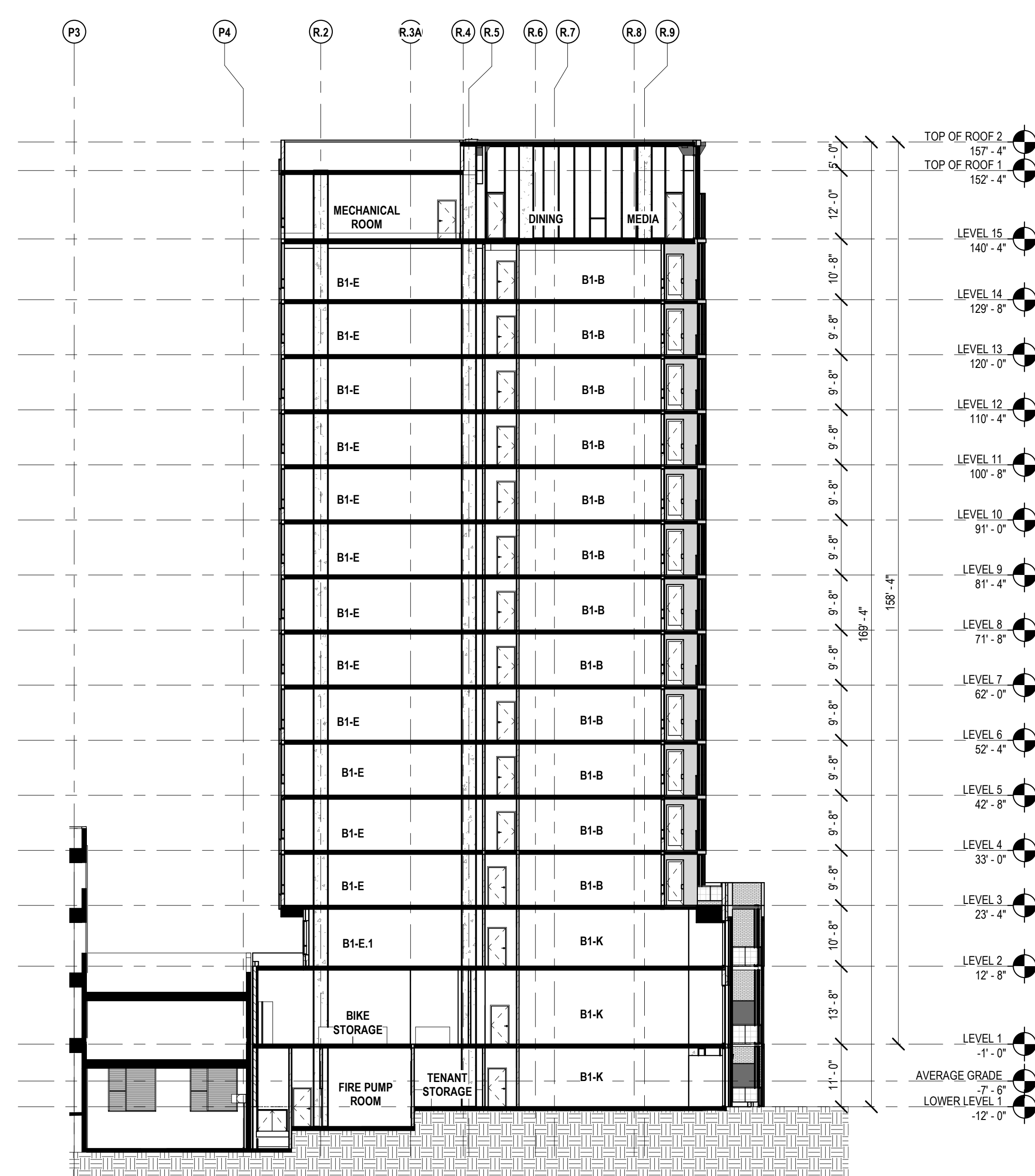
EAST WEST SECTION 4	1/16" = 1'-0"	4
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EAST WEST SECTION 2	1/16" = 1'-0"	2
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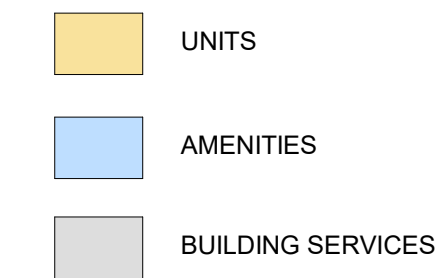


EAST WEST SECTION 3	$1/16" = 1'-0"$	3
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EAST WEST SECTION 1	1/16" = 1'-0"	1
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BUILDING SECTION LEGEND



MADISON YARDS
HILL FARMS

KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer



PHONE NO.

MADISON YARDS BLOCK 2 BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

BUILDING B

BUILDING SECTIONS

A4-B12

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KTGY Project No: 2020032

Project Contact: Eric Lukacs
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianou

Developer



PHONE NO. _____

**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

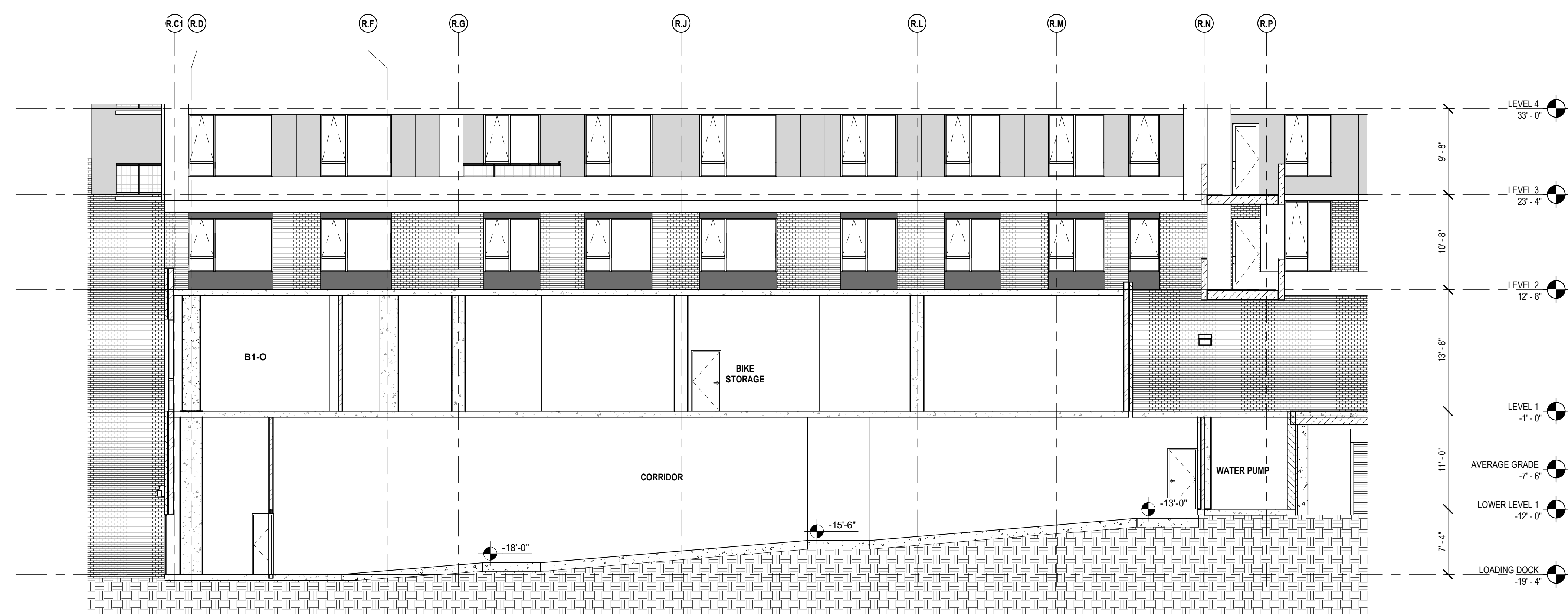
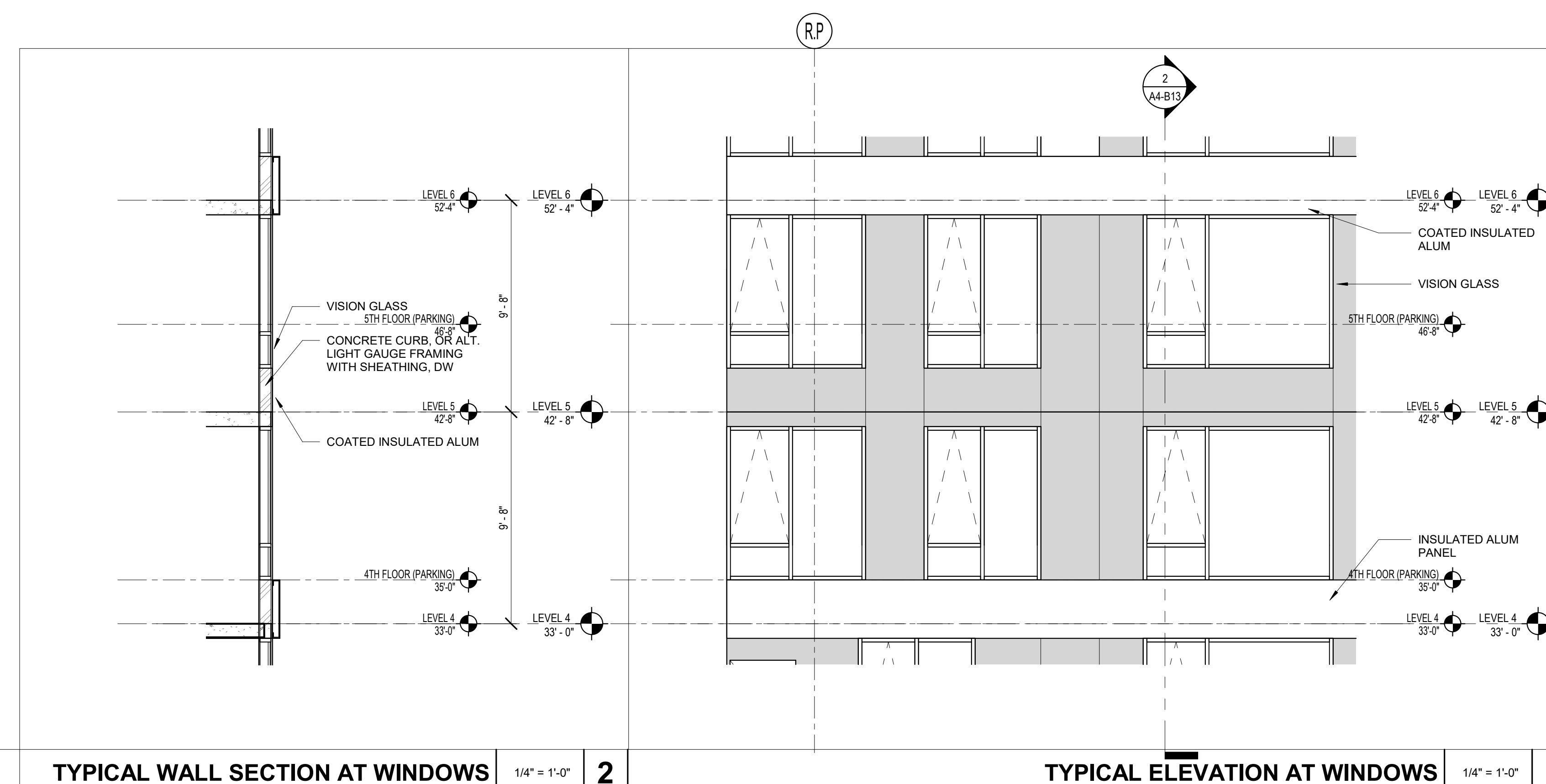
[illegible]

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BUILDING B

ENLARGED
BUILDING
SECTIONS & TYP
WALL SECTIONS

A4-B13



ENLARGED BUILDING - NORTH SOUTH SECTION 1 $1/8" = 1'-0"$

CORVU



KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer



PHONE NO.



ON LANDS BUILDING B

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

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BUILDING B

3D PERSPECTIVES

3D PERSPECTIVE

NT:

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A8-B10



KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.



**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

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BUILDING B

3D PERSPECTIVES

3D PERSPECTIVE

NT

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A8-B11



KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH Gilbane

PHONE NO.

**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

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BUILDING B

3D PERSPECTIVES

A8-B12



KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH **Gilbane**

PHONE NO.

**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

[illegible]

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BUILDING B

3D PERSPECTIVES

A8-B13



KTGY Project No: 20200326

Project Contact: Eric Lukacsik
Email: elukacsik@ktgy.com
Principal: Craig Pryde
Project Designer: Demetrios Stavrianos

Developer

SMITH **Gilbane**

PHONE NO.

**MADISON YARDS BLOCK 2
BUILDING B**

UNIVERSITY AVE AT SEGOE ROAD

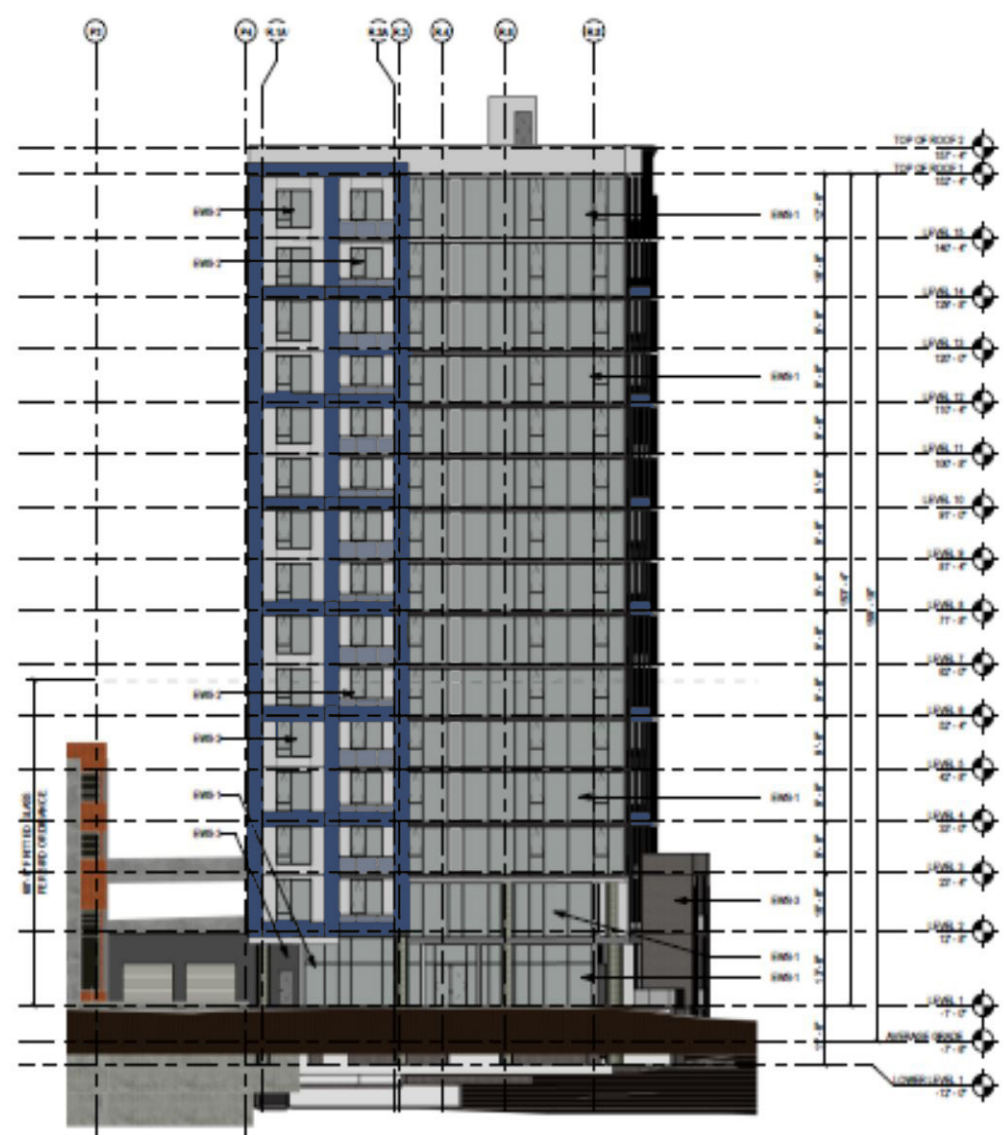
[illegible]

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BUILDING B

3D PERSPECTIVES

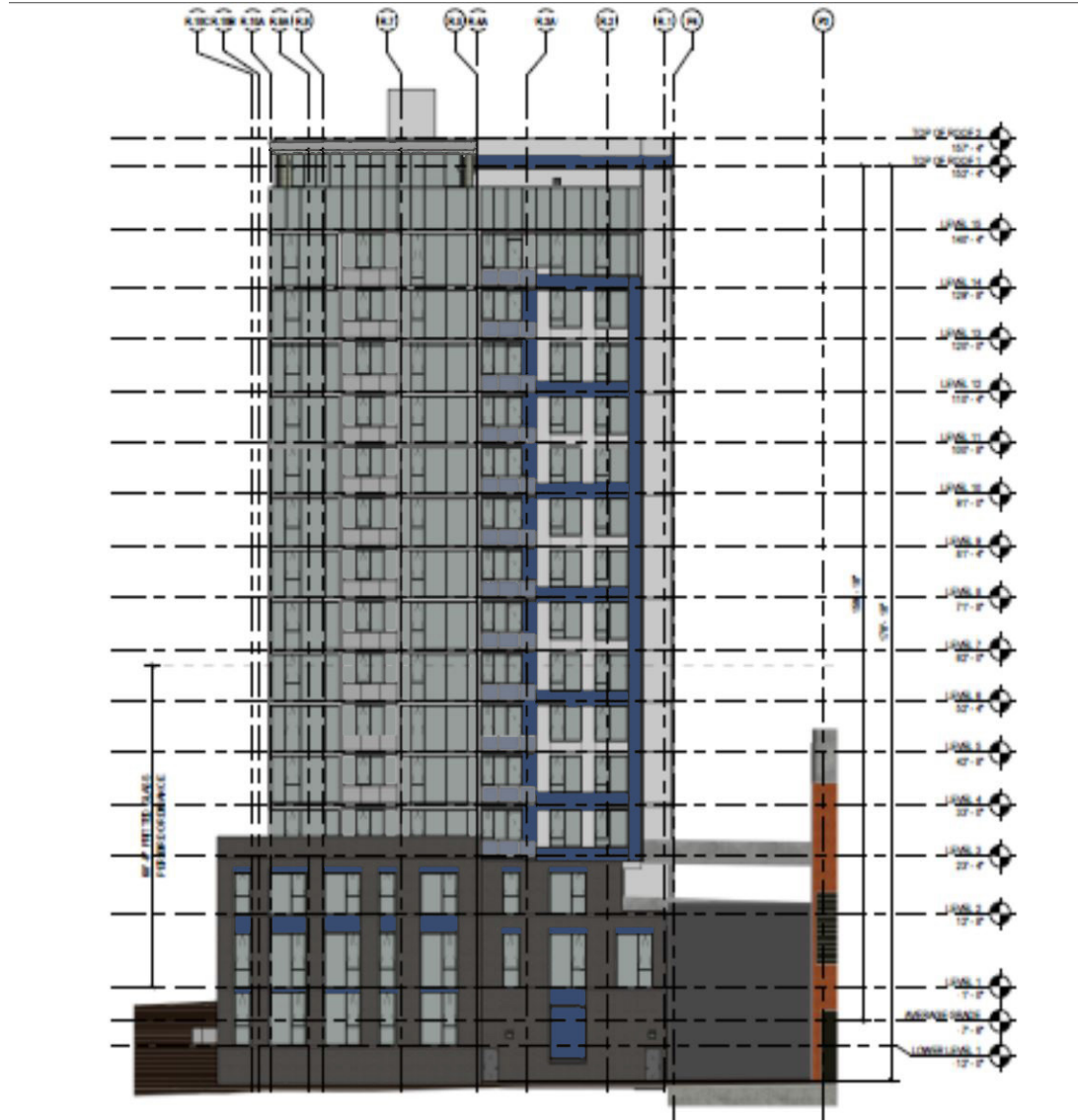
A8-B14



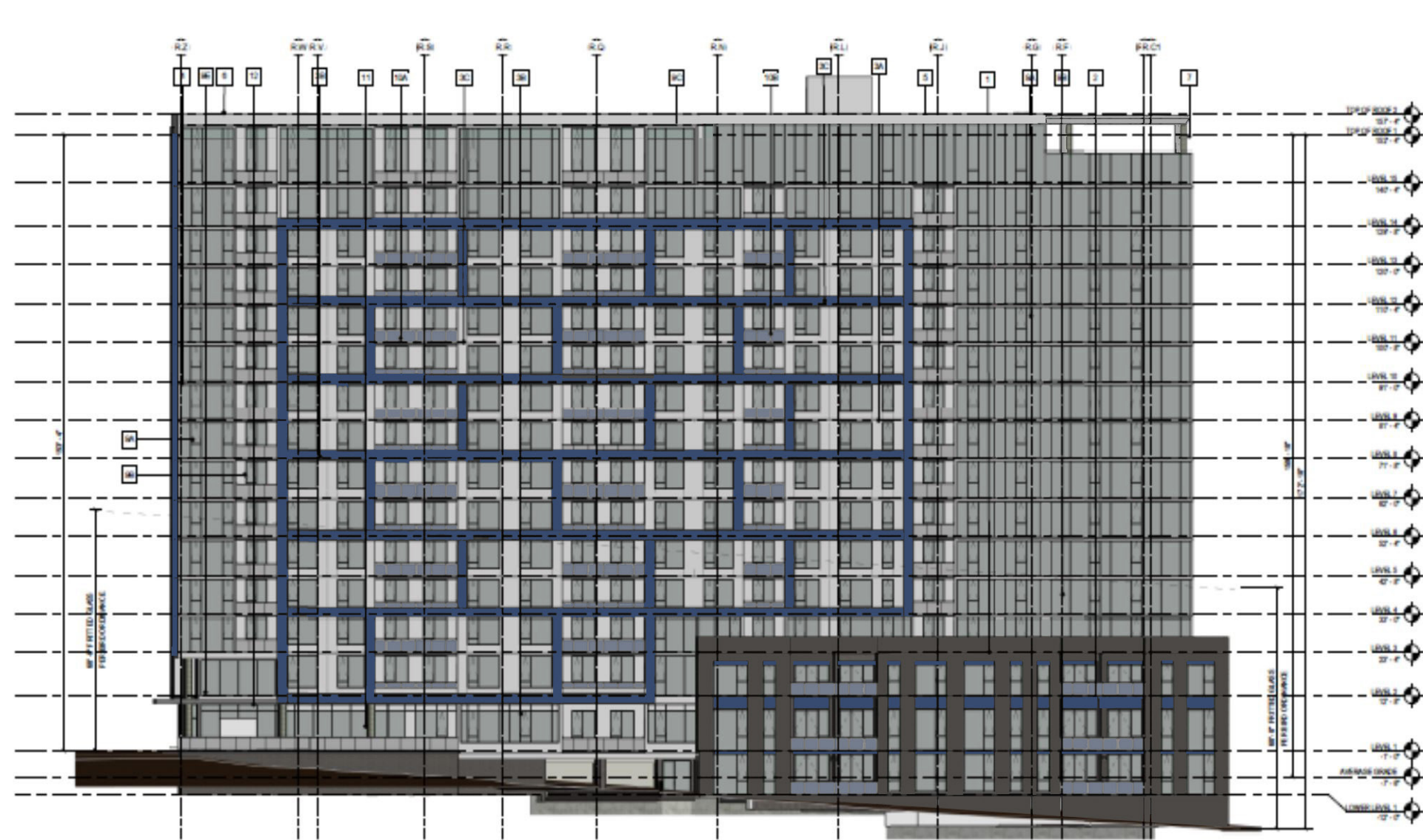
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



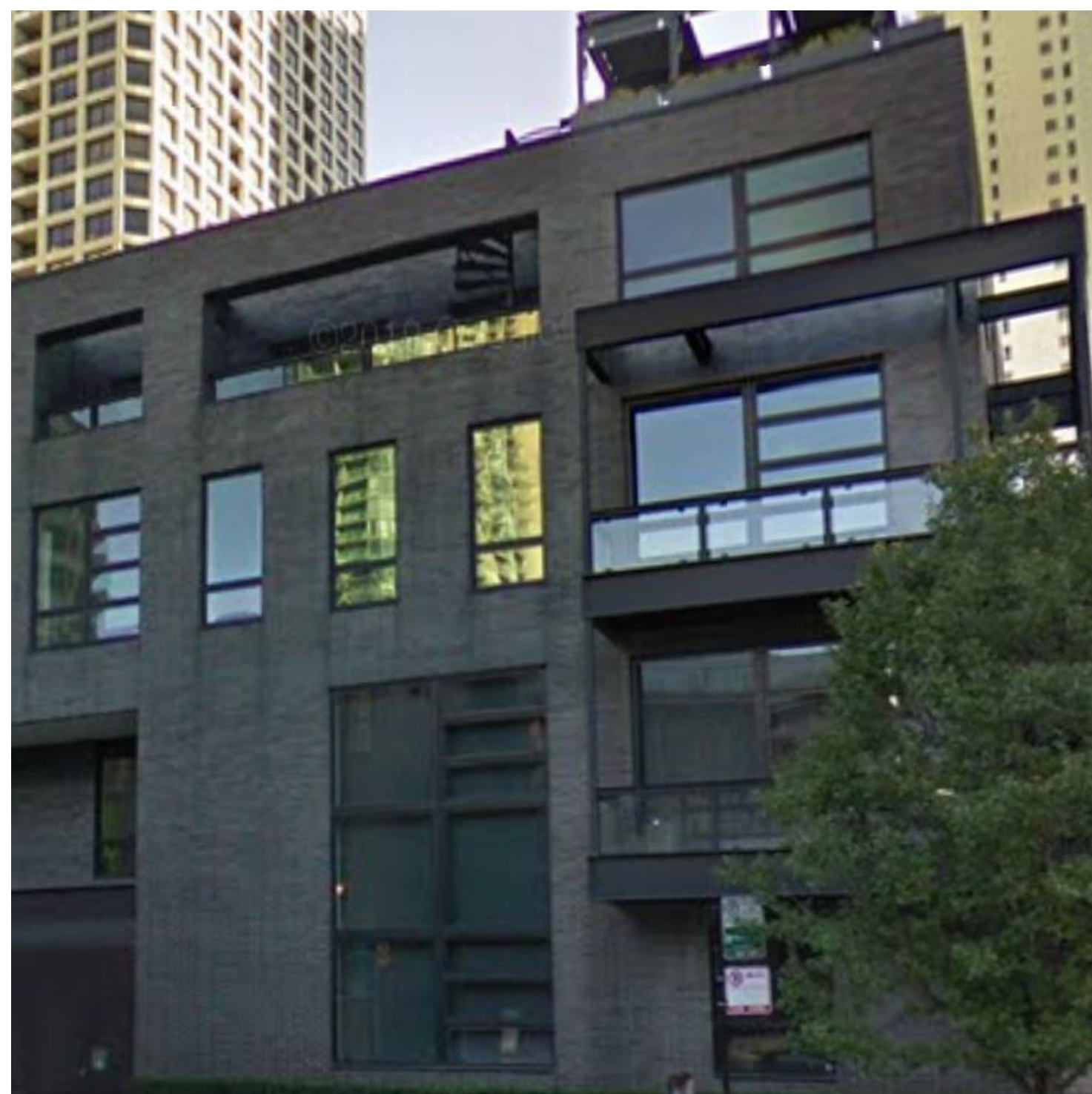
EAST ELEVATION



EWS-1 ALUMINUM AND GLASS WINDOW WALL /SLAB EDGE COVER SYSTEM (SIM)



EWS-2 INSULATED METAL PANEL/ALUMINUM WINDOWS (SIM)



EWS-3 BRICK VENEER BASE DETAIL (SIM)



EWS-4 METAL WALL PANEL (SIM)



DECORATIVE LIGHT FIXTURE AT RESIDENTIAL BALCONY



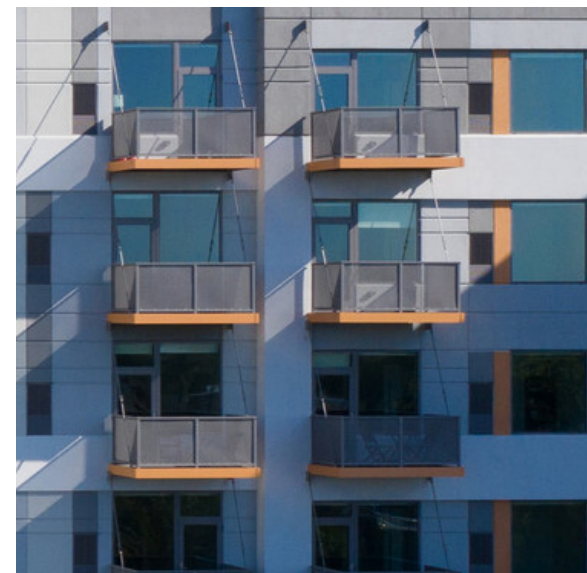
GUARDIAN SunGuard - AG 43



GUARDIAN SunGuard - AG 50



ALUMINUM STOREFRONT AT RETAIL BASE



PREFINISHED PERFORATED METAL PANEL RAILING SYSTEM - DARK GRAY



MODULAR BRICK - GRAY BLEND



METAL WALL PANEL - REGAL BLUE
METAL WALL PANEL - CHROME. GRAY