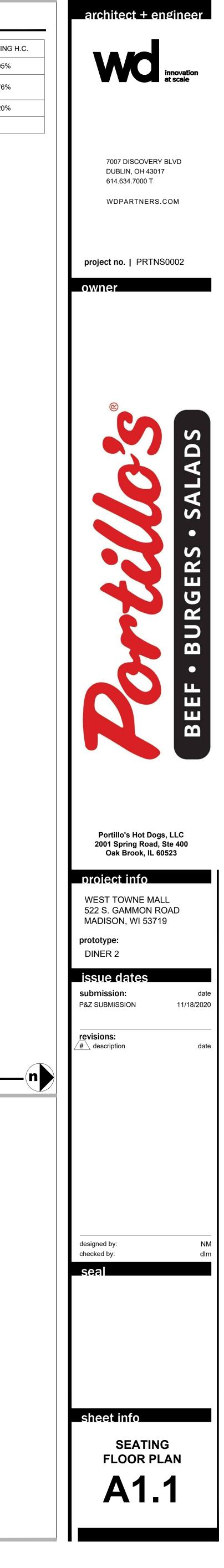
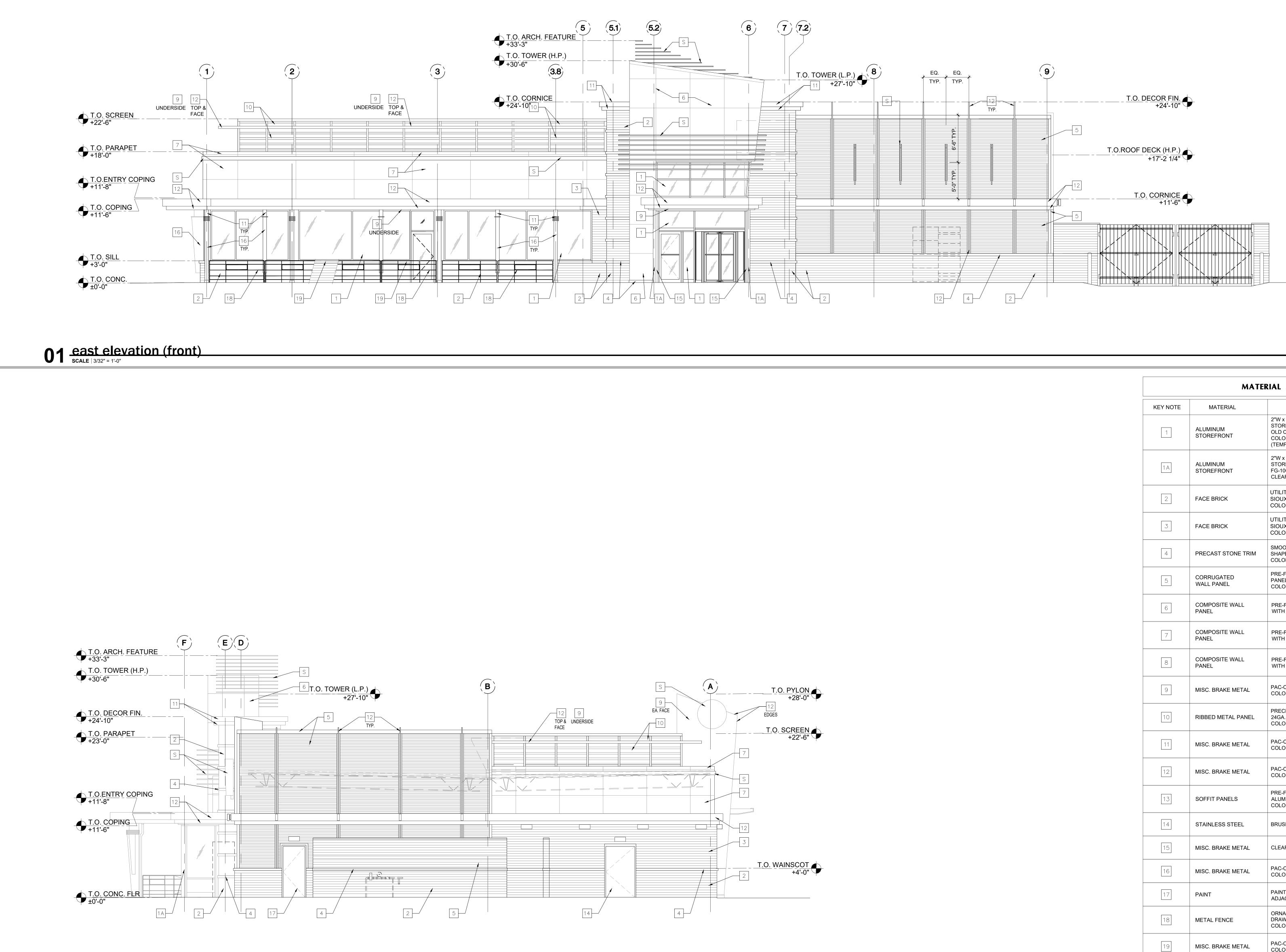


restaurant seating quantities

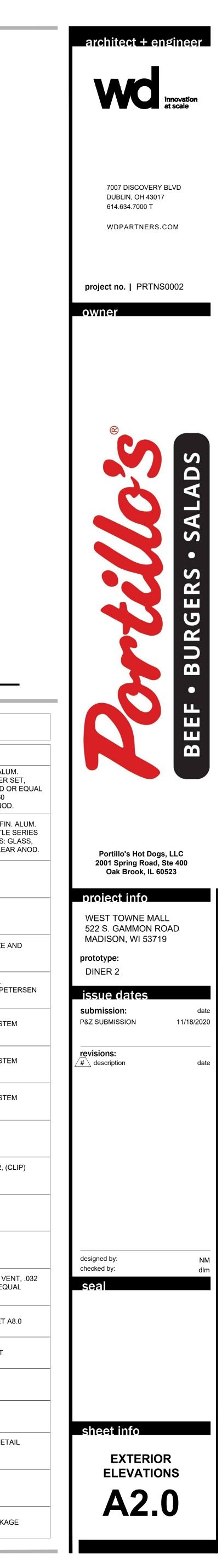
| TYPE | TOTAL SEATING | H.C. SEATING | % SEATING |
|-------------------------------|---------------|--------------|-----------|
| INDOOR TABLES | 178 | 9 | 5.05% |
| OUTDOOR TABLES (SEASONAL) | 52 | 3 | 5.76% |
| TOTAL | 230 | 12 | 5.20% |
| | | | |

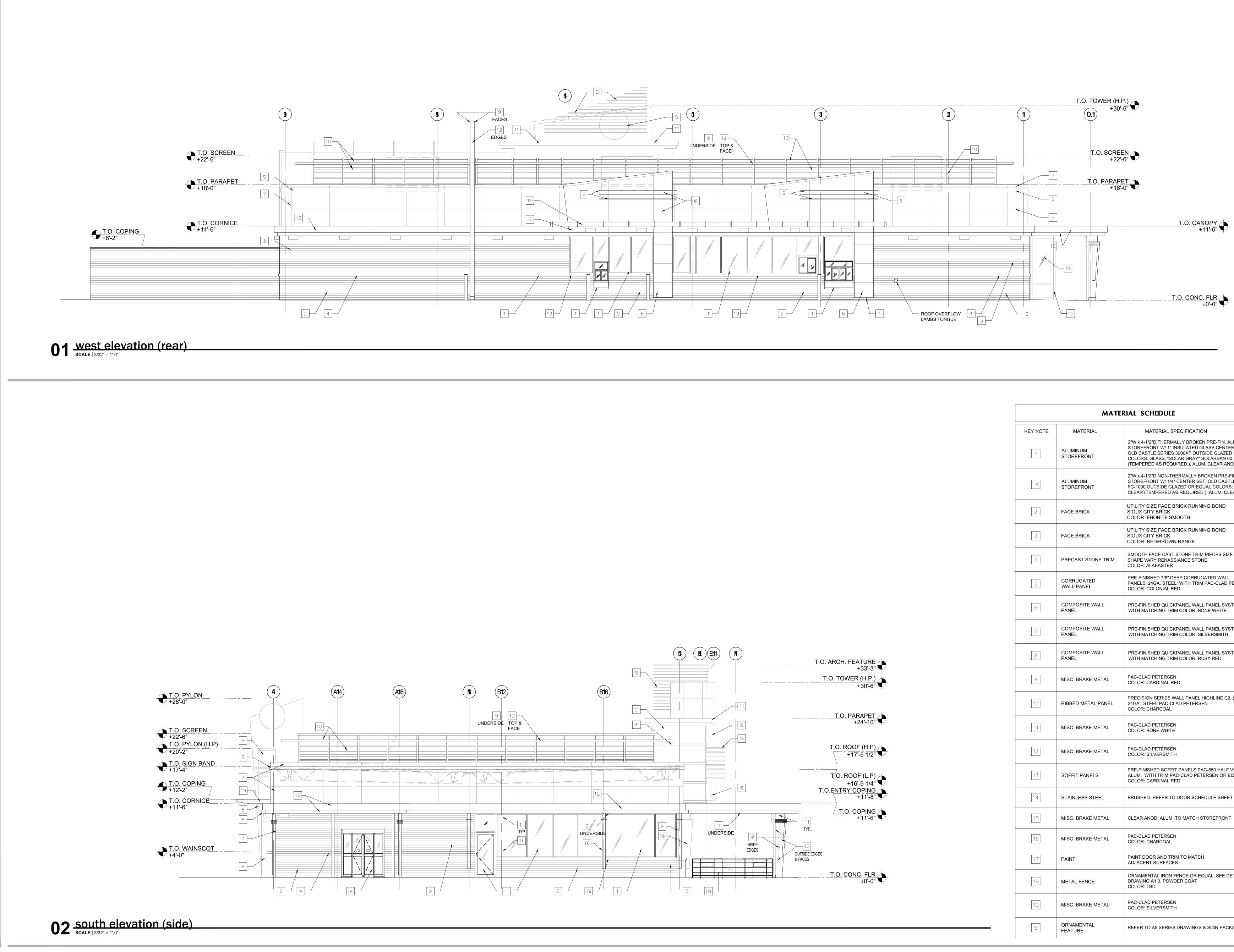




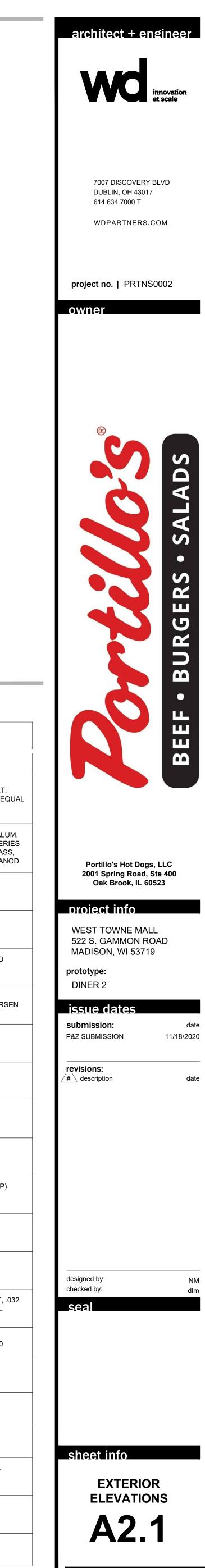


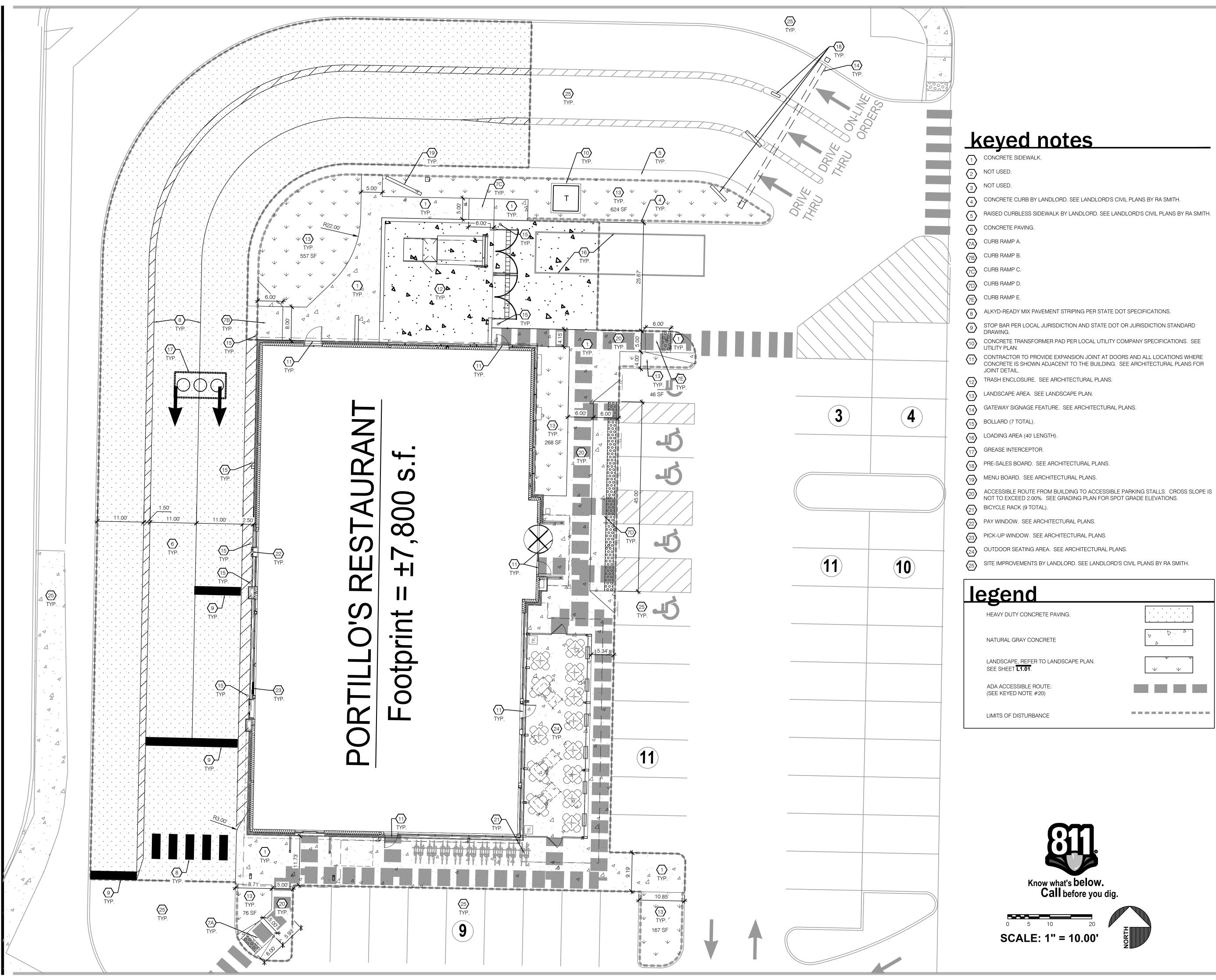
| KEY NOTE | MATERIAL | MATERIAL SPECIFICATION |
|----------|--------------------------|--|
| 1 | ALUMINUM STOREFRONT | 2"W x 4-1/2"D THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1" INSULATED GLASS CENTER SE OLD CASTLE SERIES 3000XT OUTSIDE GLAZED OR COLORS: GLASS, "SOLAR GRAY" SOLARBAN 60 (TEMPERED AS REQUIRED.), ALUM. CLEAR ANOD. |
| 1A | ALUMINUM STOREFRONT | 2"W x 4-1/2"D NON-THERMALLY BROKEN PRE-FIN. A STOREFRONT W/ 1/4" CENTER SET, OLD CASTLE SI FG-1000 OUTSIDE GLAZED OR EQUAL COLORS: GLA CLEAR (TEMPERED AS REQUIRED.), ALUM. CLEAR A |
| 2 | FACE BRICK | UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: EBONITE SMOOTH |
| 3 | FACE BRICK | UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: RED/BROWN RANGE |
| 4 | PRECAST STONE TRIM | SMOOTH FACE CAST STONE TRIM PIECES SIZE AN SHAPE VARY RENASSIANCE STONE COLOR: ALABASTER |
| 5 | CORRUGATED WALL PANEL | PRE-FINISHED 7/8" DEEP CORRUGATED WALL PANELS, 24GA. STEEL WITH TRIM PAC-CLAD PETE COLOR: COLONIAL RED |
| 6 | COMPOSITE WALL PANEL | PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: BONE WHITE |
| 7 | COMPOSITE WALL PANEL | PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: SILVERSMITH |
| 8 | COMPOSITE WALL PANEL | PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: RUBY RED |
| 9 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: CARDINAL RED |
| 10 | RIBBED METAL PANEL | PRECISION SERIES WALL PANEL HIGHLINE C2, (CLI 24GA. STEEL PAC-CLAD PETERSEN COLOR: CHARCOAL |
| 11 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: BONE WHITE |
| 12 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: SILVERSMITH |
| 13 | SOFFIT PANELS | PRE-FINISHED SOFFIT PANELS PAC-850 HALF VENT ALUM. WITH TRIM PAC-CLAD PETERSEN OR EQUA COLOR: CARDINAL RED |
| 14 | STAINLESS STEEL | BRUSHED. REFER TO DOOR SCHEDULE SHEET A8. |
| 15 | MISC. BRAKE METAL | CLEAR ANOD. ALUM. TO MATCH STOREFRONT |
| 16 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: CHARCOAL |
| 17 | PAINT | PAINT DOOR AND TRIM TO MATCH ADJACENT SURFACES |
| 18 | METAL FENCE | ORNAMENTAL IRON FENCE OR EQUAL, SEE DETAIL DRAWING A1.3, POWDER COAT COLOR: TBD |
| 19 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: SILVERSMITH |
| S | ORNAMENTAL FEATURE | REFER TO A5 SERIES DRAWINGS & SIGN PACKAGE |



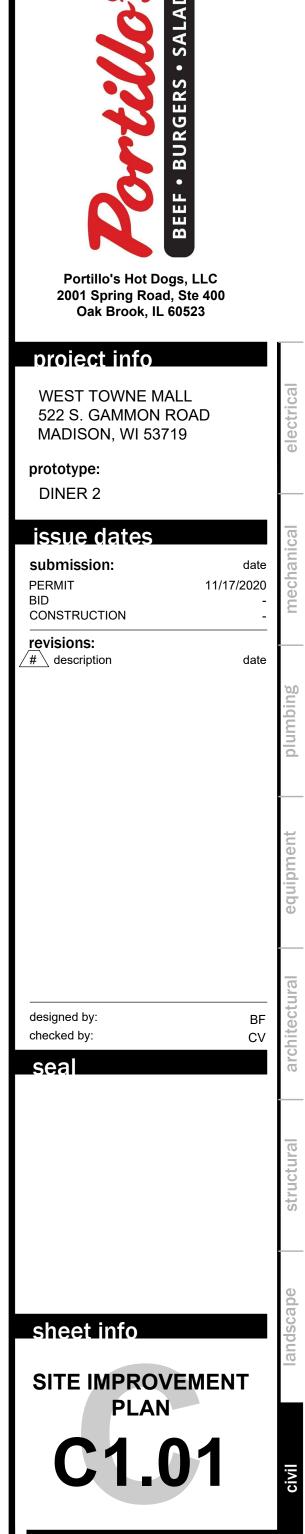


| | MATE | RIAL SCHEDULE |
|----------|--------------------------|---|
| KEY NOTE | MATERIAL | MATERIAL SPECIFICATION |
| 1 | ALUMINUM STOREFRONT | 2"W x 4-1/2"D THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1" INSULATED GLASS CENTER SET, OLD CASTLE SERIES 3000XT OUTSIDE GLAZED OR EQUA COLORS: GLASS, "SOLAR GRAY" SOLARBAN 60 (TEMPERED AS REQUIRED.), ALUM. CLEAR ANOD. |
| 1A | ALUMINUM STOREFRONT | 2"W x 4-1/2"D NON-THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1/4" CENTER SET, OLD CASTLE SERIES FG-1000 OUTSIDE GLAZED OR EQUAL COLORS: GLASS, CLEAR (TEMPERED AS REQUIRED.), ALUM. CLEAR ANOD. |
| 2 | FACE BRICK | UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: EBONITE SMOOTH |
| 3 | FACE BRICK | UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: RED/BROWN RANGE |
| 4 | PRECAST STONE TRIM | SMOOTH FACE CAST STONE TRIM PIECES SIZE AND SHAPE VARY RENASSIANCE STONE COLOR: ALABASTER |
| 5 | CORRUGATED WALL PANEL | PRE-FINISHED 7/8" DEEP CORRUGATED WALL PANELS, 24GA. STEEL WITH TRIM PAC-CLAD PETERSEN COLOR: COLONIAL RED |
| 6 | COMPOSITE WALL PANEL | PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: BONE WHITE |
| 7 | COMPOSITE WALL PANEL | PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: SILVERSMITH |
| 8 | COMPOSITE WALL PANEL | PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: RUBY RED |
| 9 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: CARDINAL RED |
| 10 | RIBBED METAL PANEL | PRECISION SERIES WALL PANEL HIGHLINE C2, (CLIP) 24GA. STEEL PAC-CLAD PETERSEN COLOR: CHARCOAL |
| 11 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: BONE WHITE |
| 12 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: SILVERSMITH |
| 13 | SOFFIT PANELS | PRE-FINISHED SOFFIT PANELS PAC-850 HALF VENT, .032 ALUM. WITH TRIM PAC-CLAD PETERSEN OR EQUAL COLOR: CARDINAL RED |
| 14 | STAINLESS STEEL | BRUSHED. REFER TO DOOR SCHEDULE SHEET A8.0 |
| 15 | MISC. BRAKE METAL | CLEAR ANOD. ALUM. TO MATCH STOREFRONT |
| 16 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: CHARCOAL |
| 17 | PAINT | PAINT DOOR AND TRIM TO MATCH ADJACENT SURFACES |
| 18 | METAL FENCE | ORNAMENTAL IRON FENCE OR EQUAL, SEE DETAIL DRAWING A1.3, POWDER COAT COLOR: TBD |
| 19 | MISC. BRAKE METAL | PAC-CLAD PETERSEN COLOR: SILVERSMITH |
| S | ORNAMENTAL FEATURE | REFER TO A5 SERIES DRAWINGS & SIGN PACKAGE |





| innovation at scale |
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| |
| 7007 DISCOVERY BLVD DUBLIN, OH 43017 614.634.7000 T |
| WDPARTNERS.COM |
| |
| roject no. PRTNS0002 |
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ENTRY AND PATIO - Street View (Patio Location May Vary)

Scale: N.T.S.

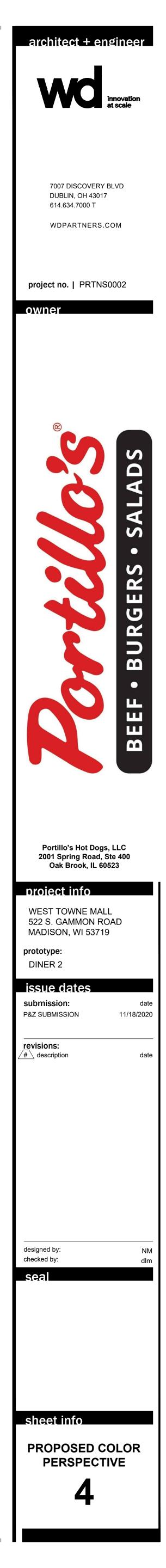
Scheme #1B RED - APRIL 2nd, 2019

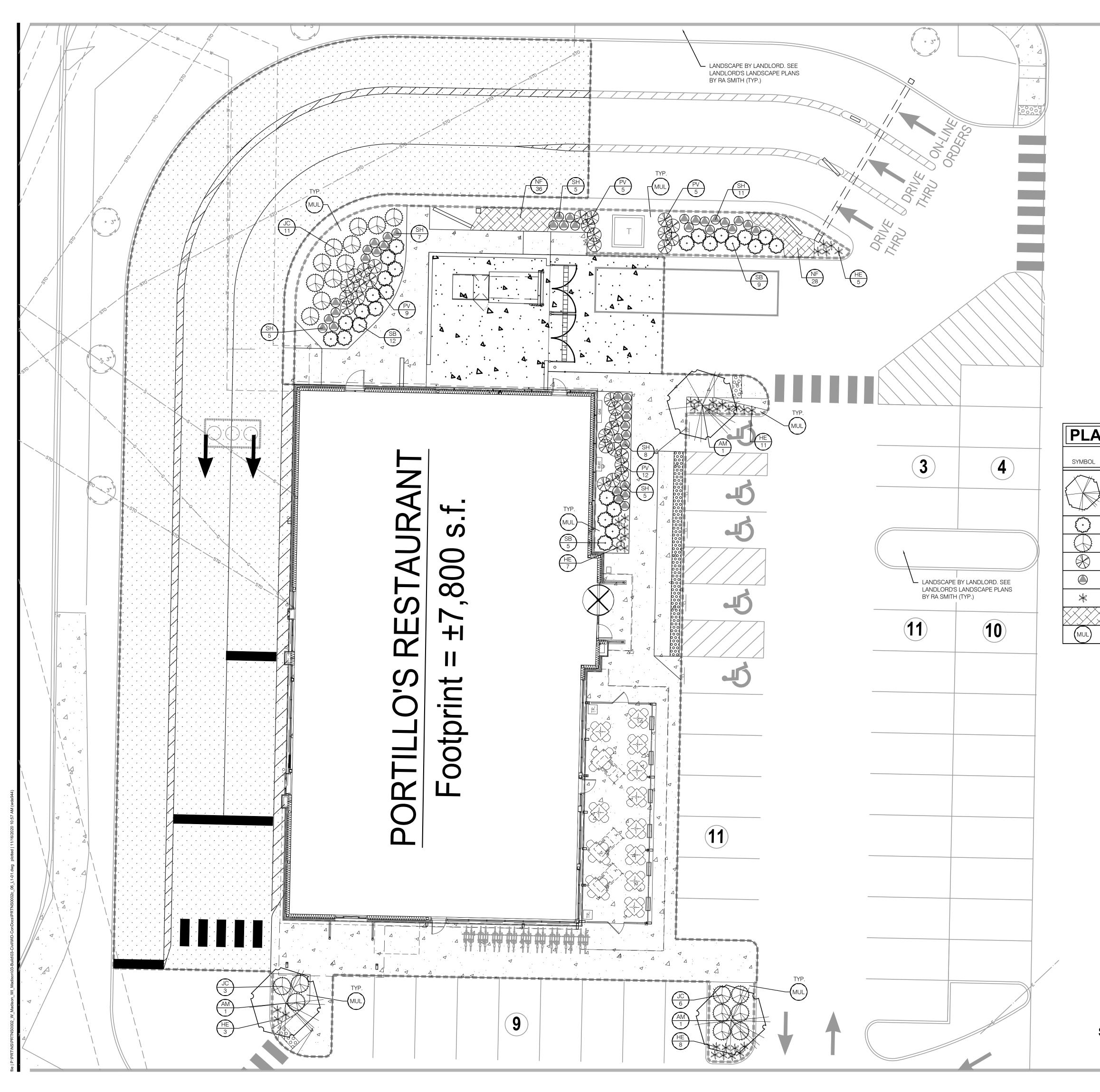




DINER CONCEPT AERIAL VIEW - Drive-Thru & B.O.H. Scale: N.T.S.

Scheme #1B RED - APRIL 2nd, 2019





architect + engineer



7007 DISCOVERY BLVD DUBLIN, OH 43017 614.634.7000 T

WDPARTNERS.COM

project no. | PRTNS0002

owner



Portillo's Hot Dogs, LLC 2001 Spring Road, Ste 400 Oak Brook, IL 60523

proiect info

WEST TOWNE MALL 522 S. GAMMON ROAD MADISON, WI 53719

prototype:

designed by: checked by:

seal

sheet info

DINER 2

submission:datePERMIT11/17/2020BID-CONSTRUCTION-revisions:-#descriptiondate

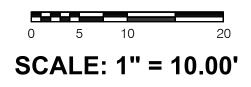
PLANTING SCHEDULE

| | KEY | QTY. | BOTANICAL NAME COMMON NAME | SIZE CONDITION | | COMMENTS |
|---|-----|--------|--|-------------------|---------|------------------------------|
| - | AM | 3 | ACER MIYABEI 'MORTON' STATE STREET MIYABE MAPLE | 3" CAL | B&B | 35 x 3=105 POINTS |
| | SB | 26 | SPIRAEA X BUMALDA 'FROEBELII' FROEBELII SPIREA | 15"-18" HT | CONT | 3 x 26=78 POINTS |
| | JC | 20 | JUNIPERUS CH. 'KALLAY'S COMPACT' KALLAY'S COMPACT JUNIPER | 18"-24" SPR | CONT | 4 x 20=80 POINTS |
| | PV | 31 | PANICUM VIRGATUM 'CHEYENNE SKY' CHEYENNE SKY SWITCH GRASS | | #2 CONT | 2 x 31=62 POINTS |
| | SH | 41 | SPOROBOLUS HETEROLEPIS 'TARA' TARA PRAIRIE DROPSEED | | #1 CONT | 2 x 41=82 POINTS |
| | HE | 34 | HEMEROCALLIS 'LITTLE BUSINESS' LITTLE BUSINESS DAYLILY | | #1 CONT | 3 FANS MIN. 2 x 34=68 POINTS |
| | NF | 64 | NEPETA FAASSENII 'KIT KAT' KIT KAT LOW CATMINT | | #1 CONT | 18" O.C. 2 x 64=128 POINTS |
| | DAF | RK BRO | WN SHREDDED HARDWOOD MULCH, 2" | | | |

CURB-IN: TOTAL 603 POINTS CURB-OUT: REFER TO LANDLORD'S LANDSCAPE PLANS BY RA SMITH



Know what's **below. Call** before you dig.











COUTLY ELEVIATION Entrance and Outdans Datis



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

| Project Location / Addre | ess 522 Gammon Road | k | |
|--------------------------|-------------------------|---------------|-------------------------|
| Name of Project W | /est Towne - Portillo's | | |
| Owner / Contact Tc | odd Mosher | | |
| Contact Phone (84 | 47) 682-9241 | Contact Email | todd.mosher@rasmith.com |

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 80,557 SF

Total landscape points required ______1,345

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = $\underline{217,800}$ square feet

First five (5) developed acres = 3,630 points

Remainder of developed area

Total landscape points required _____

(c) For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

| Dlout Truce/ Element | Minimum Size at | Points | | Existing caping | | roposed caping |
|---|---|--|----------|--------------------|----------|--------------------|
| Plant Type/ Element | Installation | Points | Quantity | Points Achieved | Quantity | Points Achieved |
| Overstory deciduous tree | 2 ¹ / ₂ inch caliper measured diameter at breast height (dbh) | 35 | 4 | 140 | 28 | 980 |
| Tall evergreen tree (i.e. pine, spruce) | 5-6 feet tall | 35 | | | | |
| Ornamental tree | 1 1/2 inch caliper | 15 | | | | |
| Upright evergreen shrub (i.e. arborvitae) | 3-4 feet tall | 10 | | | | |
| Shrub, deciduous | #3 gallon container size, Min. 12"-24" | 3 | | | 153 | 459 |
| Shrub, evergreen | #3 gallon container size, Min. 12"-24" | 4 | | | 49 | 196 |
| Ornamental grasses/ perennials | #1 gallon container size, Min. 8"-18" | 2 | | | 317 | 634 |
| Ornamental/ decorative fencing or wall | n/a | 4 per 10 lineal ft. | | | | |
| Existing significant specimen tree | Minimum size: 2 ¹ / ₂ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points. | 14 per caliper inch dbh. Maximum points per tree: 200 | | | | |
| Landscape furniture for public seating and/or transit connections | * Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points. | 5 points per "seat" | | | | |
| Sub Totals | | | | 140 | | 2269 |

2409

Total Number of Points Provided ____

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

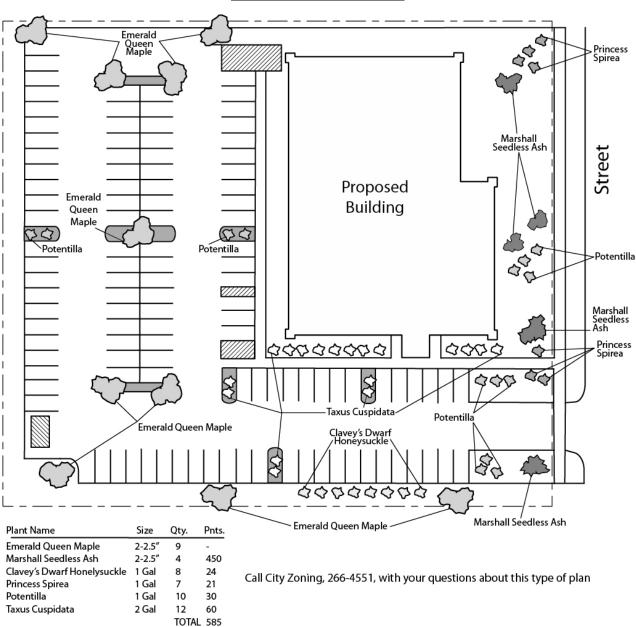
Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.



Example Landscape Plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 - 3. Storage areas including trash and loading.
 - 4. Lighting (landscape, pedestrian or parking area).
 - 5. Irrigation.
 - 6. Hard surface materials.
 - 7. Labeling of mulching, edging and curbing.
 - 8. Areas of seeding or sodding.
 - 9. Areas to remain undisturbed and limits of land disturbance.
 - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 - 11. Existing trees eight (8) inches or more in diameter.
 - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) <u>Refuse Disposal Areas.</u> All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) <u>Outdoor Storage Areas.</u> Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) <u>Loading Areas.</u> Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) <u>Mechanical Equipment.</u> All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

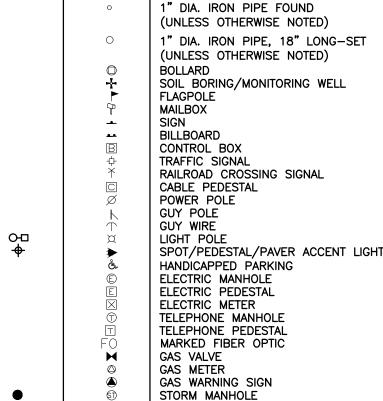
Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.

SITE, GRADING, EROSION CONTROL, PAVING, UTILITY AND LANDSCAPE PLANS FOR PORTILLO'S AT WEST TOWNE MALL CITY OF MADISON, WISCONSIN

GENERAL NOTES

- 1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- 2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND
- TESTING OF THE WORK ON THIS PROJECT. 3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- 7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- 9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- 10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- 11. VERTICAL DATUM IS NAVD1927. 12. TOPOGRAPHIC AND EXISTING CONDITIONS SHOWN HERON CREATED FROM SURVEY DATA TAKEN
- ON SEPTEMBER 17, 2020. 13. PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE
- BENCHMARKS ILLUSTRATED HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION



LEGEND

MEASUREMENT

INDICATES RECORDED DIMENSION

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ROUND INLET OR CATCH BASIN SQUARE INLET OR SLOT DRAIN STORM SEWER END SECTION SANITARY MANHOLE CLEANOUT OR VENT SANITARY INTERCEPTOR MANHOLE MISCELLANEOUS MANHOLE WATER VALVE

HYDRANT WATER SERVICE CURB STOP WATER MANHOLE WATER SURFACE WETLANDS FLAG

CONIFEROUS TRE DECIDUOUS TREE SHRUB -EDGE OF TREES -GRAVITY SANITARY SEWER

MARSH

-SANITARY FORCE MAIN -STORM SEWER -WATERMAIN -GAS MAIN -ELECTRIC SERVICE -OVERHEAD WIRES -BUREAU ELEC. SERV.

-TELEPHONE SERVICE -MARKED CABLE TV LINE -MARKED FIBER OPTIC -GRAVITY LEACHATE SYSTEM -LEACHATE FORCE MAIN -EXISTING UTILITY TO BE ABANDONED

IN PLACE -EXISTING MANHOLE/INLET TO BE ABANDONED IN PLACE OR EXISTING LIGHT POLE AND BASE TO BE REMOVED. PROPOSED 1-FOOT GRADE CONTOUR

PROPOSED 5-FOOT GRADE CONTOUR SPOT/CURB FLOW LINE ELEVATION TOP OF CURB SPOT ELEVATION TEMPORARY INLET PROTECTION

PROPOSED CONSTRUCTION ENTRANCE

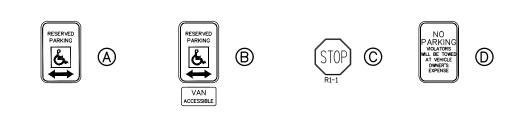
CONCRETE SIDEWALK PAVEMENT

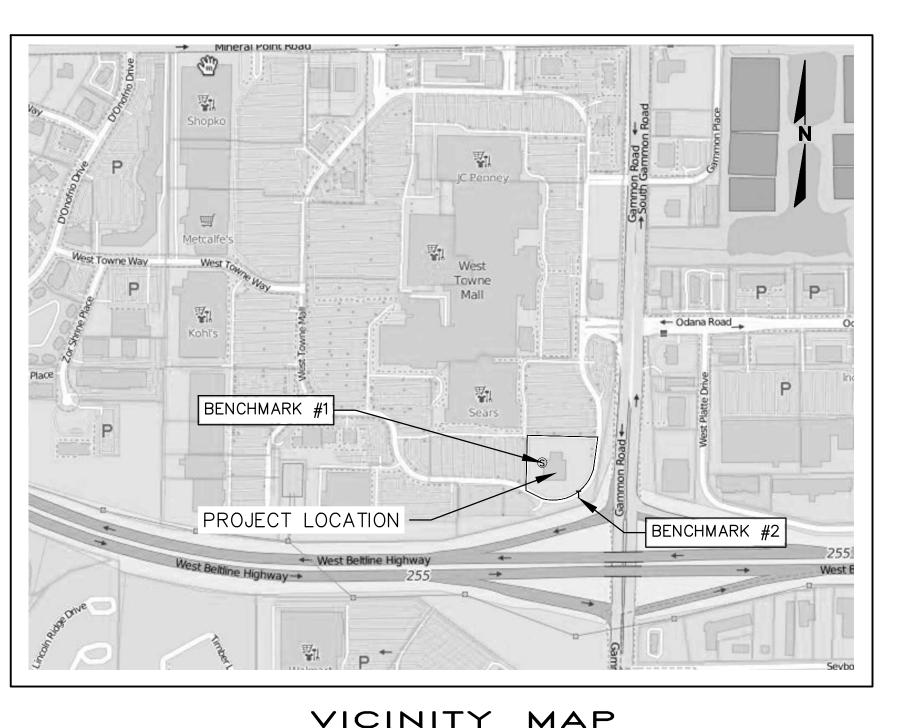
STANDARD DUTY ASPHALT PAVEMENT

HEAVY DUTY ASPHALT PAVEMENT HEAVY DUTY CONCRETE PAVEMENT

PROPOSED LANDSCAPE AREA

SIGN LEGEND





beginning.

SCALE: NOT TO SCALE

BENCHMARKS

BENCHMARK #1 CUT T ON SANITARY RIM NORTHWEST CORNER OF EX BLDG ELEV: 210.84

BENCHMARK #2 CHISELED T IN CURB ELEV: 210.70

PROJECT DIRECTORY

OWNER/DEVELOPER: SERITAGE GROWTH PROPERTIES ANDREW GLASSMAN DEVELOPMENT ASSOCIAT 500 FIFTH AVENUE, SUITE 1530 NEW YORK, NY 10110 PH: (646-876-7360) EMAIL: AGLASSMAN**G**SERITAGE.COM

STORM SEWER UTILITY: CITY OF MADISON ROBERT PHILLIPS, P.E. CITY ENGINEER CITY-COUNTY BUILDING 210 MARTIN LUTHER KING, JR. BLVD. MADISON. WI 53703 PH: (608) 266-4751 EMAIL: RPHILLIPSOCITYOFMADISON.COM

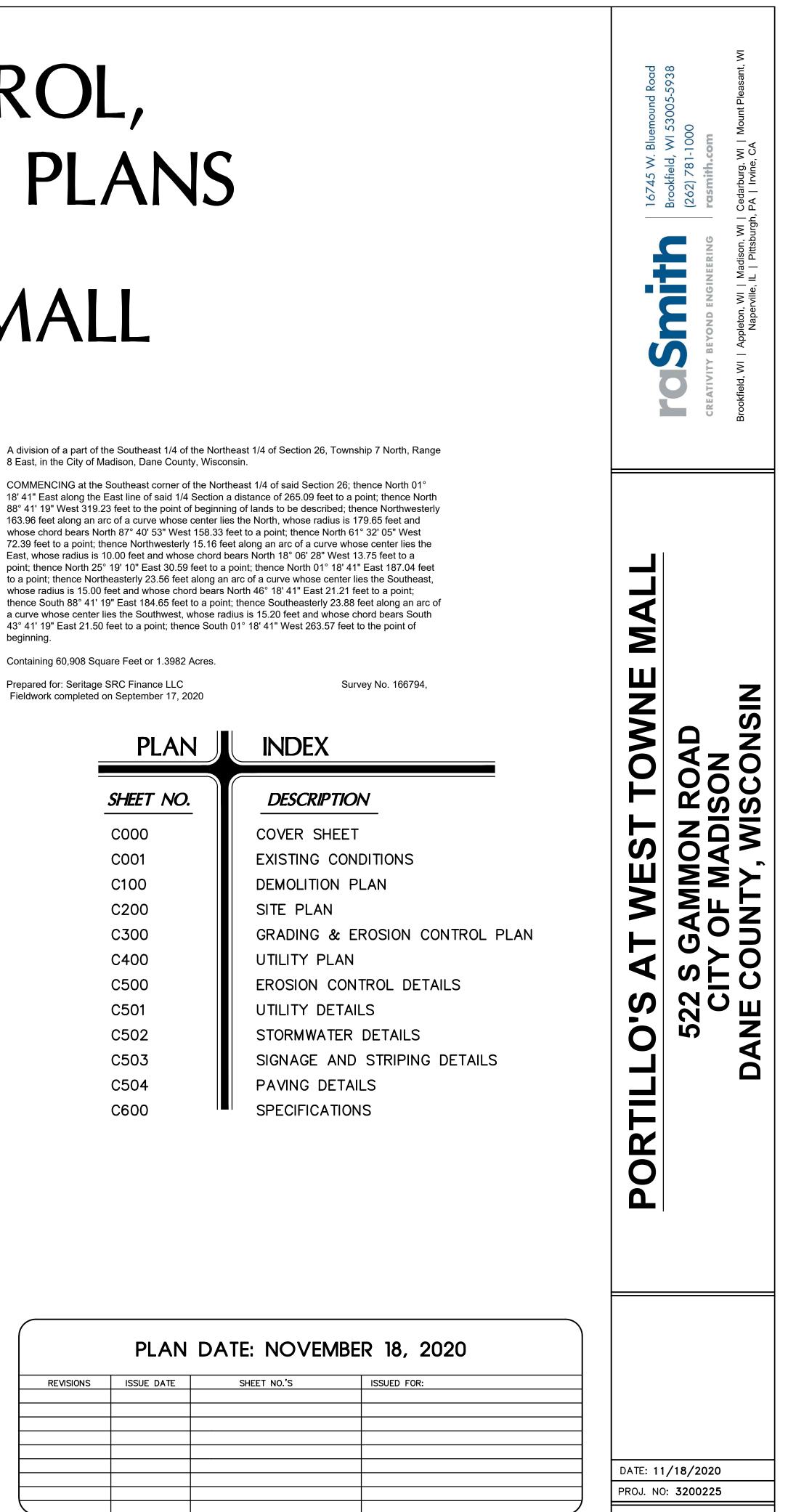
ELECTRIC UTILITY: ALLIANT ENERGY DENISE GEVELINGER PH: (608) 845-1129 (608) 575–7833

SANITARY SEWER UTILITY: CITY OF MADISON ROBERT PHILLIPS, P.E. CITY ENGINEER CITY-COUNTY BUILDING 210 MARTIN LUTHER KING, JR. BLVD. MADISON. WI 53703 PH: (608) 266-4751 EMAIL: RPHILLIPS**C**(ITYOFMADISON.COM

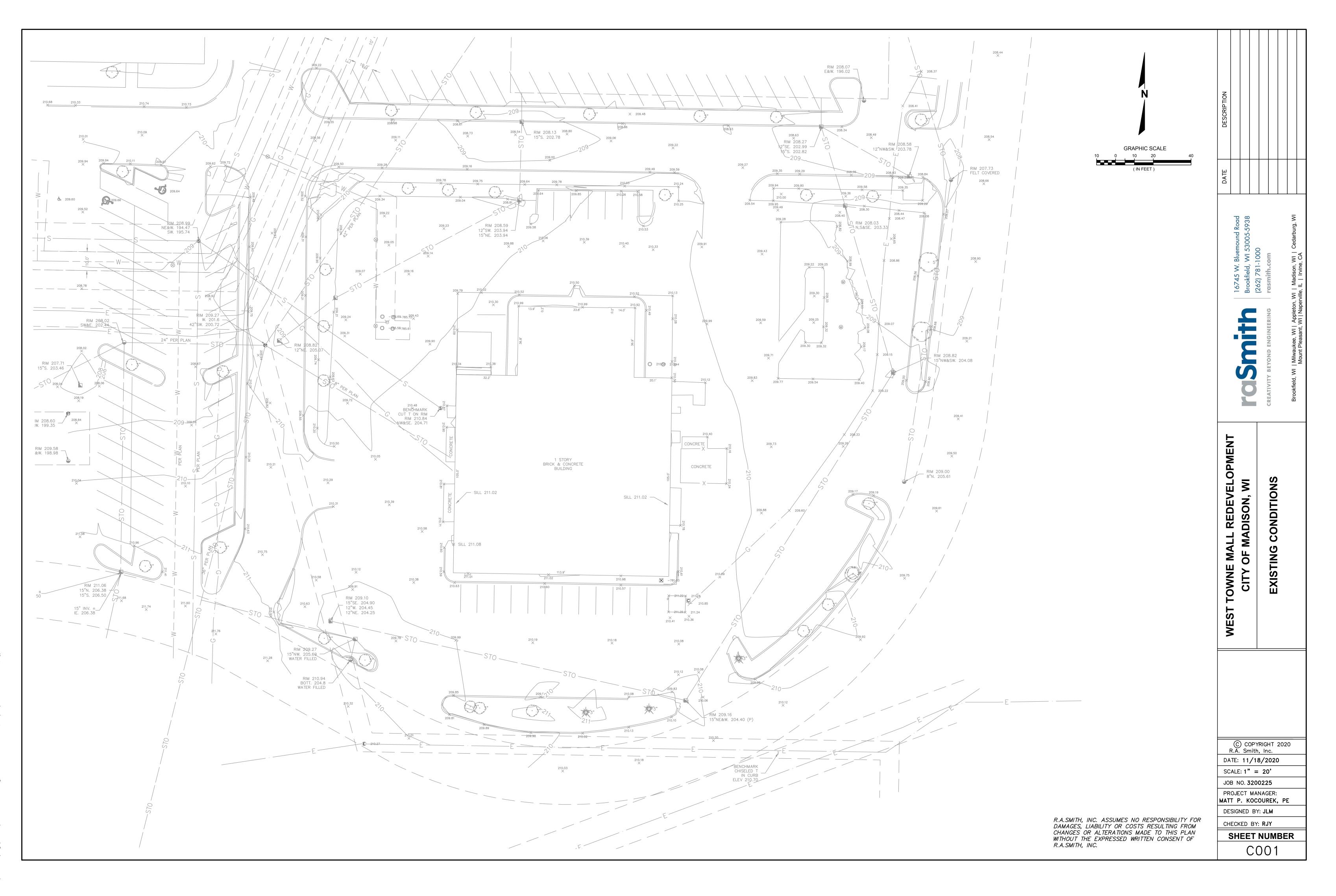
MADISON FIRE DEPARTMENT: BILL SULLIVAN FIRE PROTECTION ENGINEER CITY OF MADISON FIRE DEPARTMENT **314 WEST DAYTON STREET** MADISON, WI 53703 PH: (608) 261-9658 EMAIL: WSULLIVAN CITYOFMADISON.COM

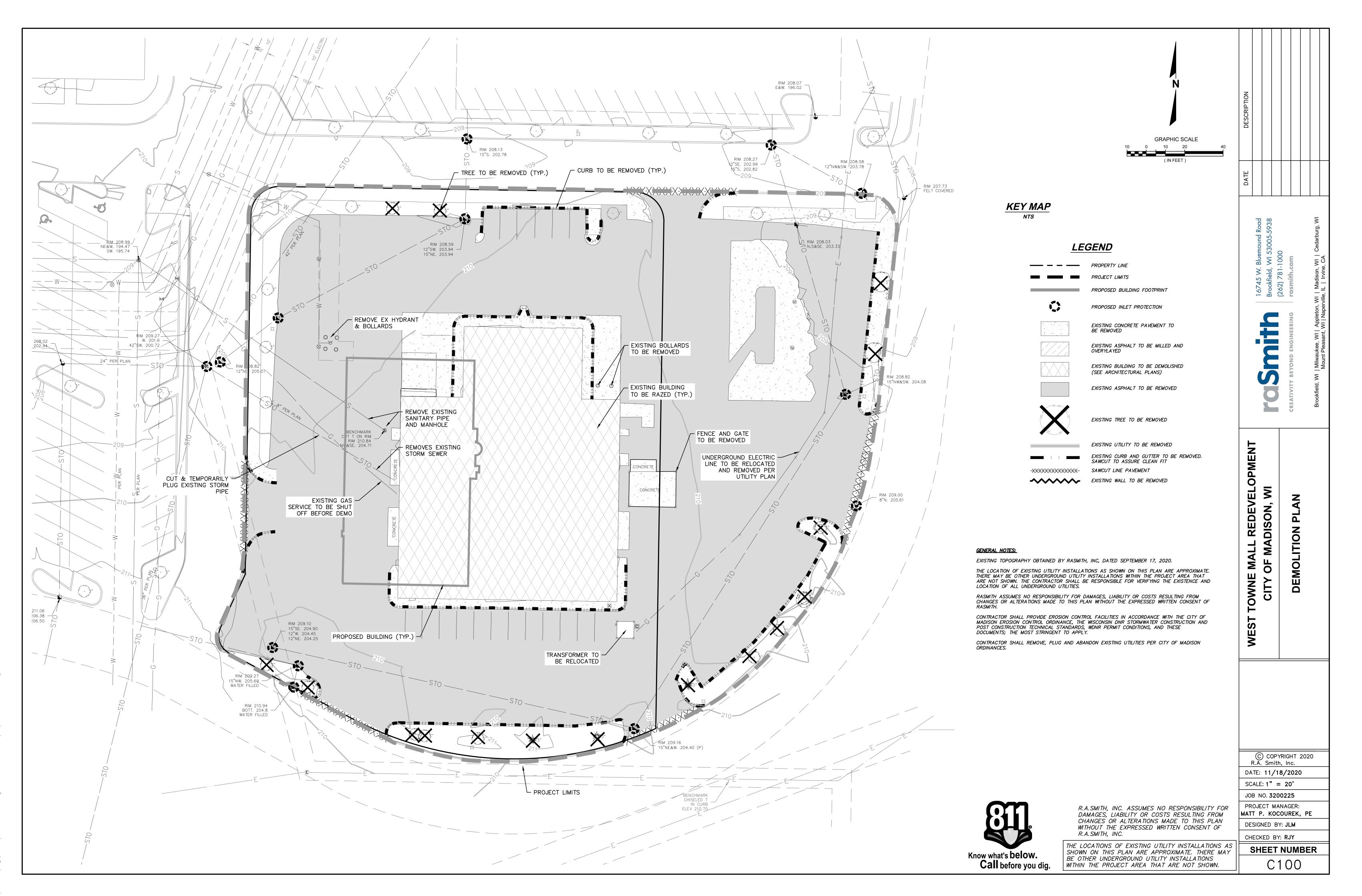
WATER UTILITY: MADISON WATER UTILITY ADAM WEDERHOEFT 119 EAST OLIN AVE. MADISON, WI 53713 PH: (608) 266-9121 EMAIL: AWIEDERHOEFT OMADISON WATER. ORG

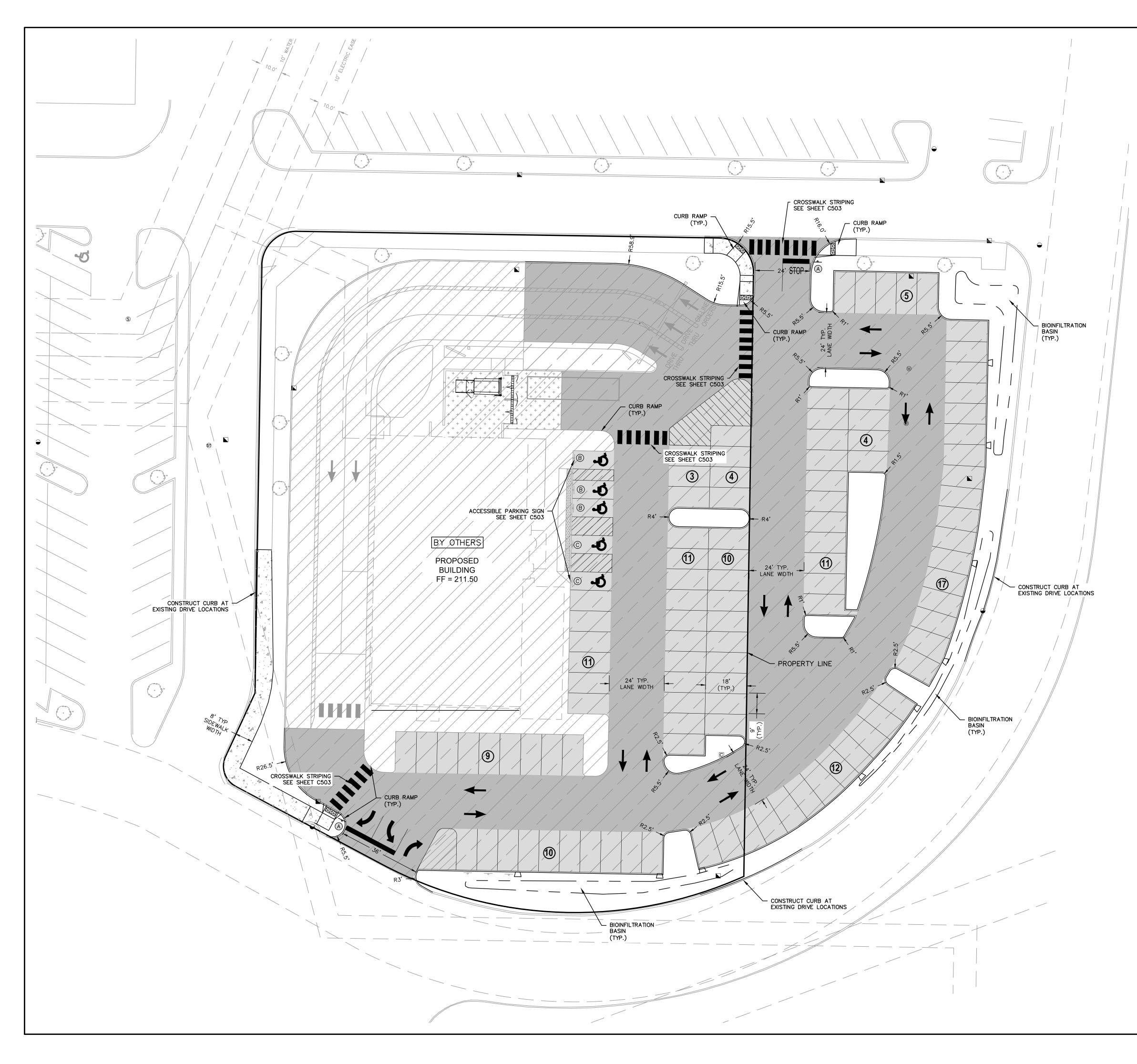
GAS UTILITY: MADISON GAS & ELECTRIC COMPANY STEVEN BEVERSDORF, P.E. 133 S BLAIR ST MADISON. WI 53788 PH: (608) 252-1552 OFFICE (608) 444-9620 MOBILE



C000





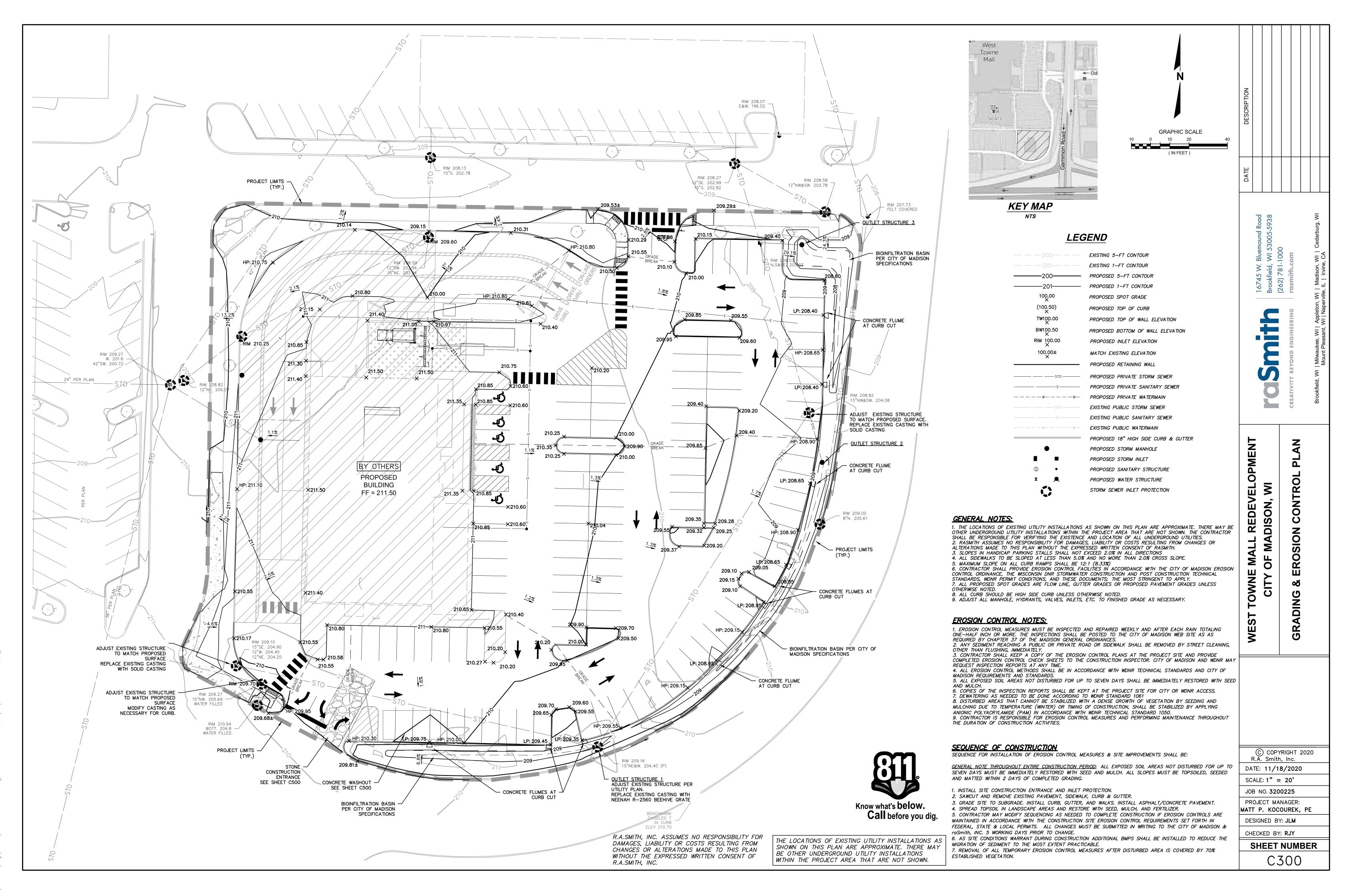


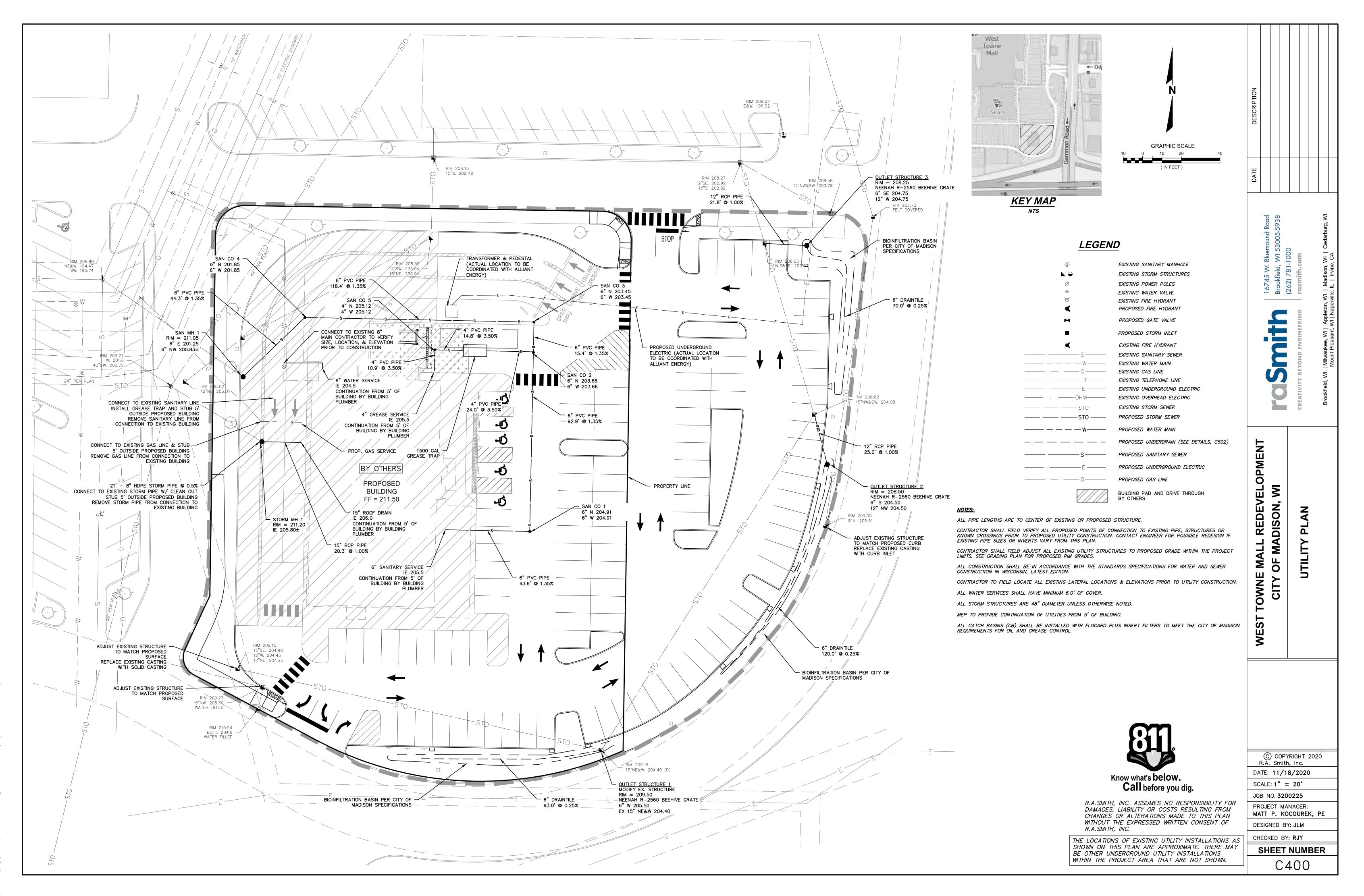
| | | 10 • • • • | GRAPHIC SCALE 0 10 20 (IN FEET) | 40 | DATE DESCRIPTION | | |
|---|--|---|---|--|---|-------------------------------|---|
| SIGN PROPOSED 18" CONC HIGH SIDE CURB & HEAVY-DUTY CONCE PAVEMENT LIGHT-DUTY CONCRE BUILDING PAD AND BY OTHERS STANDARD-DUTY ASPHA STANDARD-DUTY ASPHA STANDARD-DUTY ASPHA STANDARD-DUTY ASPHA | GUTTER RETE ETE PAVEMEN DRIVE THROU SPHALT PAVE SPHALT PAVE IT MARKING – ISLANDS, | JGH MENT IT MENT | A STOP SIB ADA | IGN | 1674 Brook | (262) OND ENGINEERING rasm | Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA |
| PROJECT LIMITS TAINED BY RASMITH, IN TO ARCHITECTURAL P NING WALLS, RAMPS, F DE EROSION CONTROL RDS AND WISCONSIN D RESPONDING HORIZONTA S REPRESENT FINISHED BUILDING. ANY UTILITY CONSTRUC NECTION AND VERIFY OMPLY WITH THE MOST FIC CONTROL DEVICES. PLANS FOR SITE LIGHT SOLID LINE 4" IN WIDTH SOLID LINE 4" IN WIDTH CONTROL DEVICES | LANS FOR EL PRECISE BUIL FACILITIES IN NR TECHNICA CONTROL GRADES UN CTION, THE C THE SIZE, LC RECENT EDI ING ELECTRIC H. | XACT LOCATIO DING DIMENSION AL STANDARDS RELATED TO F ILESS OTHERW CONTRACTOR S DCATION AND TION OF THE CAL PLAN. | N AND DIMENSION OF EN NS AND EXACT BUILDING WITH THE CITY OF MAD PAVING REPRESENT FACE SE INDICATED. BUILDING HALL EXCAVATE EACH E ELEVATION OF ALL UTILI FEDERAL HIGHWAY ADMIN | G UTILITY DISON E OF CURB, S ARE EXISTING TIES. NISTRATION | WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI | SITE PLAN | |
| MPERVIOUS AREA: SITE GREENSPACE: ILDING AREA BUILDING AREA PARKING (2017 SITE PL PARKING (PORTILLO'S PARKING (SERITAGE) | AN - 26,200 | | 91.74% 84.88% 15.12% 16.15% 8.79% 119 (115 & 4 ADA) 61 (56 & 5 ADA) 46 18 | | R.A. Smi DATE: 11/ | th, Inc. 1 8/2020 | 20 |
| | Y MAP NTS SIGN PROPOSED 18" CONG HIGH SIDE CURB & HEAVY-DUTY CONCEP PAVEMENT LIGHT-DUTY CONCEP BUILDING PAD AND BY OTHERS STANDARD-DUTY ASPHA STANDARD-DUTY ASPHA STANDARD-STANDARD-DUTY ASPHA STANDARD-STANDARD-STANDARD STANDARD | PROPOSED 18" CONCRETE FIND SIGN PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER HEAVY-DUTY CONCRETE PAVEMENT LIGHT-DUTY CONCRETE PAVEMENT BUILDING PAD AND DRIVE THROUGY STANDARD-DUTY ASPHALT PAVEMENT PROPOSED PAVEMENT MARKING (PARKING LOT) PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC (PARKING LOT BUILDING OUTLINE PROJECT LIMITS TAINED BY RASMITH, INC, DATED SER RING WALLS, RAMPS, PRECISE BUILDING DE EROSION CONTROL FACILITIES IN RESOND WISCONSIN DURE TECHNICK RESPONDING HORIZONTAL CONTROL PROPOSED FINISHED GRADESU VN BUILDING. ANY UTILITY CONSTRUCTION, THE CONTROL FORCONTROL DEVICES. PLANS FOR SITE LIGHTING ELECTRI SOLID LINE 4" IN WIDTH. SOLID LINE 4" IN WIDTH. SOLID LINE 4" IN WIDTH. SOLID LINE 4" IN W | Image: Second state of the second s | | <image/> <complex-block><complex-block></complex-block></complex-block> | | |

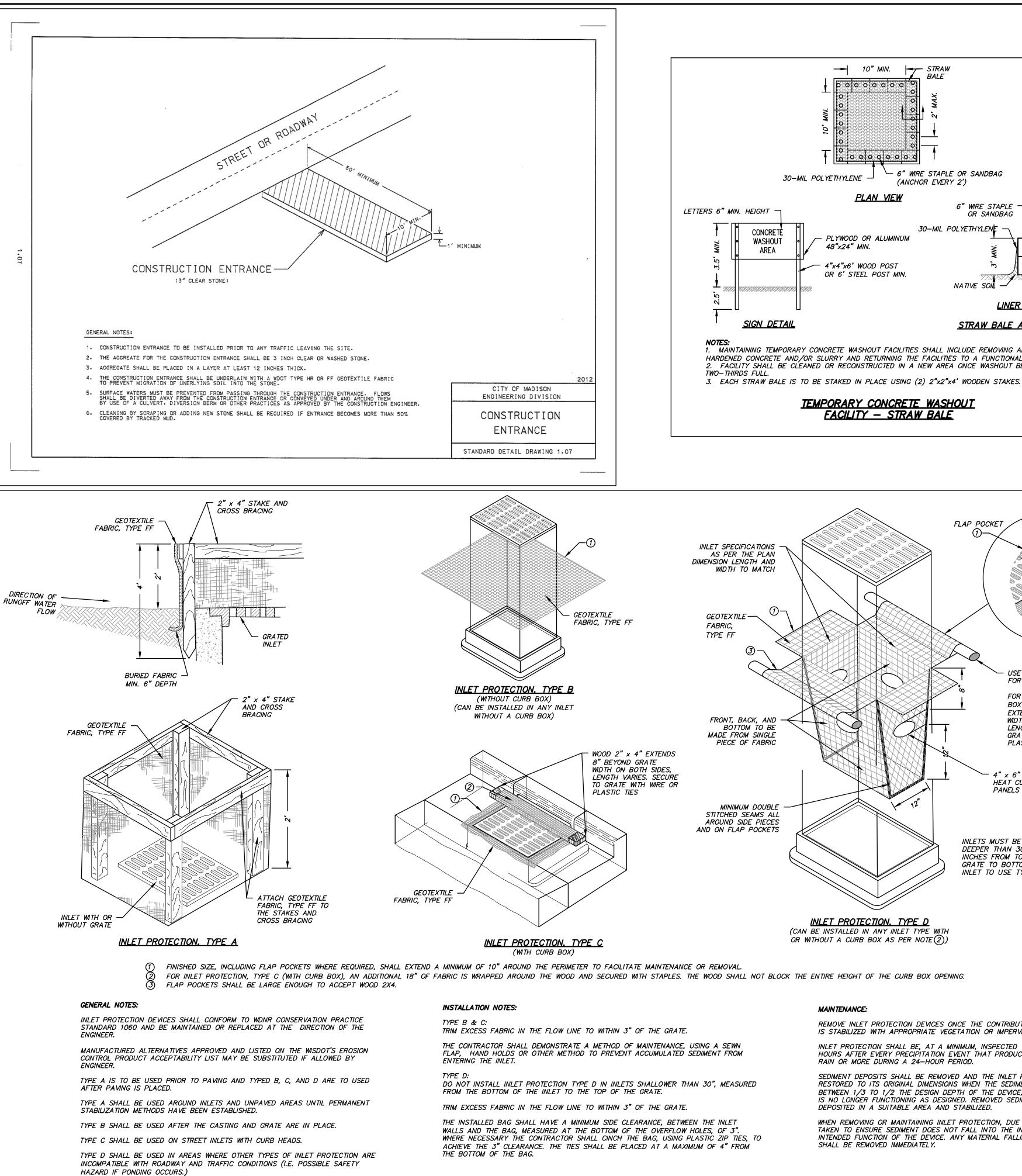
Call before you dig.

BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

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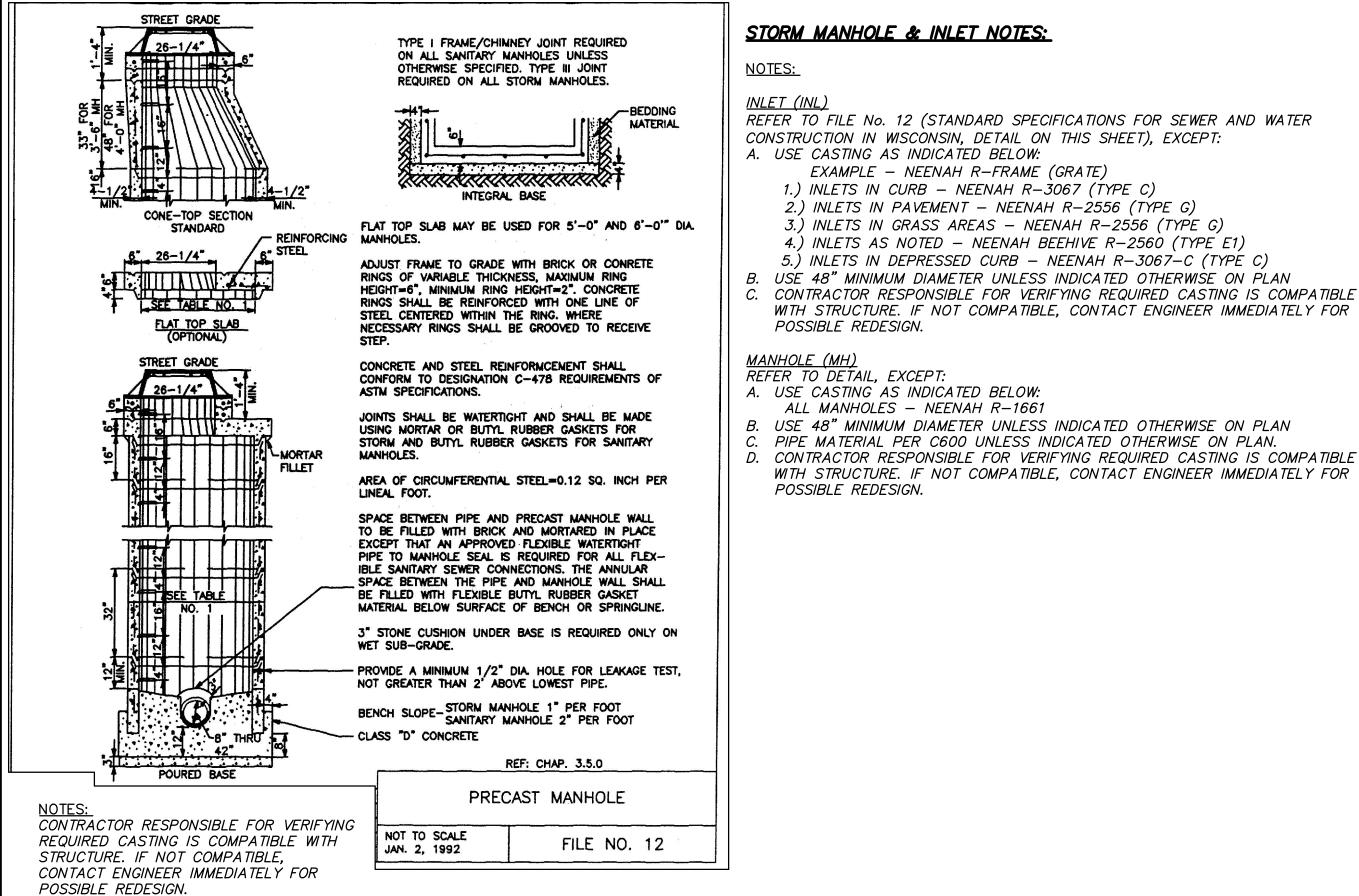






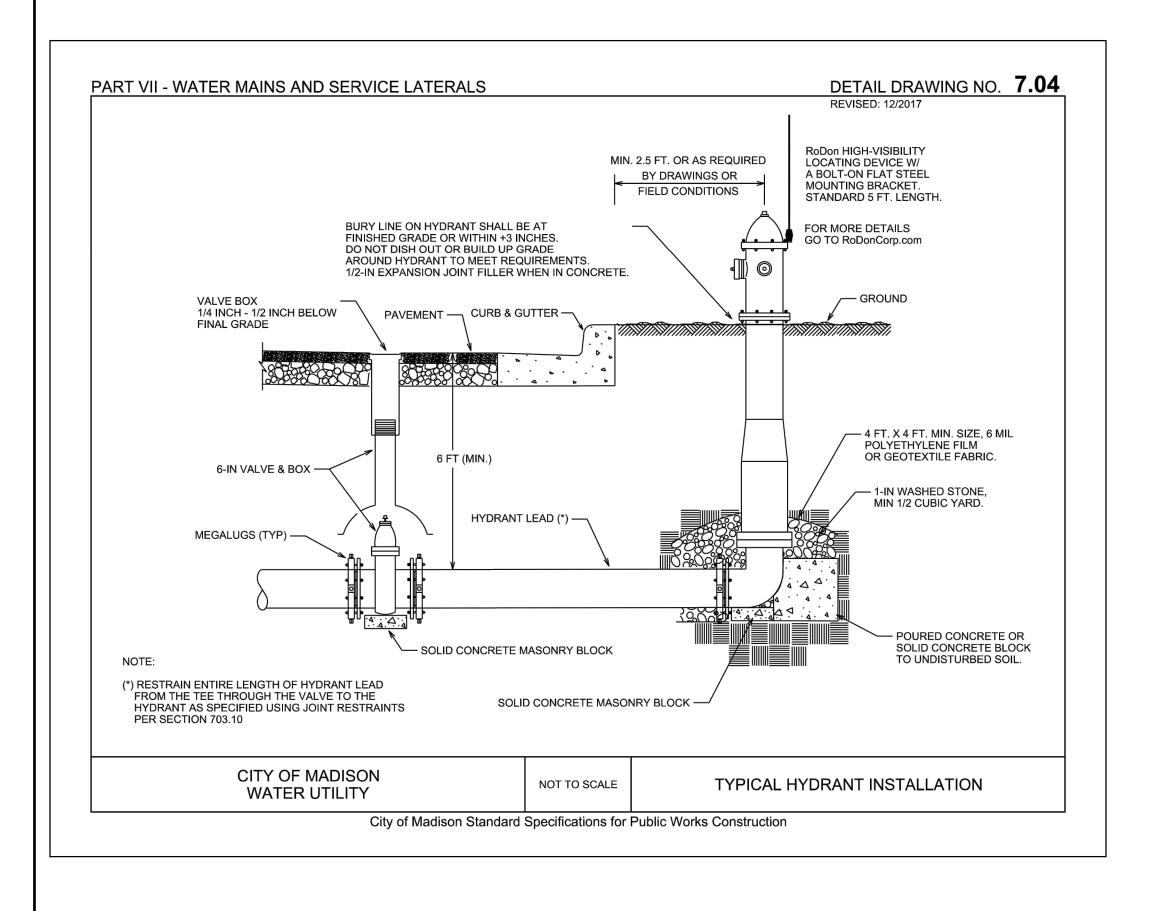
STORM DRAIN INLET PROTECTION DETAILS (NOT TO SCALE)

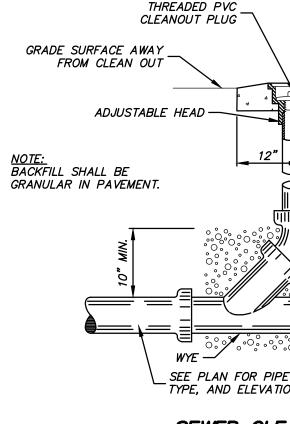
| | DESCRIPTION | | | | | | | |
|--|-------------------------------------|---|--|--|---|------------------|---|---------------------|
| STRAW BALE | DATE | | | | | | | |
| ENTRENCH 3" R ANCHOR ANCHOR SECTIONS AND DISPOSING OF AL CONDITION. BECOMES S. | | | Brookfield, WI 53005-5938 | | CREATIVITY BEYOND ENGINEERING rasmith.com | | Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI | // Naperville, IL |
| E REBAR OR STEEL ROD OR REMOVAL OR R INLETS WITH CAST CURB DX USE WOOD 2" x 4", TEND 10" BEYOND GRATE OTH ON BOTH SIDES, NGTH VARIES. SECURE TO ATE WITH WIRE OR ASTIC TIES. "OVAL HOLE SHALL BE CUT INTO ALL FOUR SIDE S TOP OF TOM OF TYPE D. | WEST TOWNE MALL BEDEVELODMENT | | CITY OF MADISON, WI | | | | | |
| UTING DRAINAGE AREA WOUS AREA. WEEKLY AND WITHIN 24 ICES 0.5 INCHES OF PROTECTION DEVICE MENT HAS ACCUMULATED E, OR WHEN THE DEVICE DIMENT SHALL BE INLET AND IMPEDE THE LING INTO THE INLET | DA SC JOI PR MATT DE | R.A. TE: ALE: B NC OJEC F P. SIGN ECKE | Smi 11/ N.T D. 32 CT M KO ED I ED I | th, (18/ .S. 2002 ΙΑΝ/ COL ΒΥ: 3Υ: Γ Ν | Inc. /202 225 AGEF JREF | 20 R: K, P | E | |

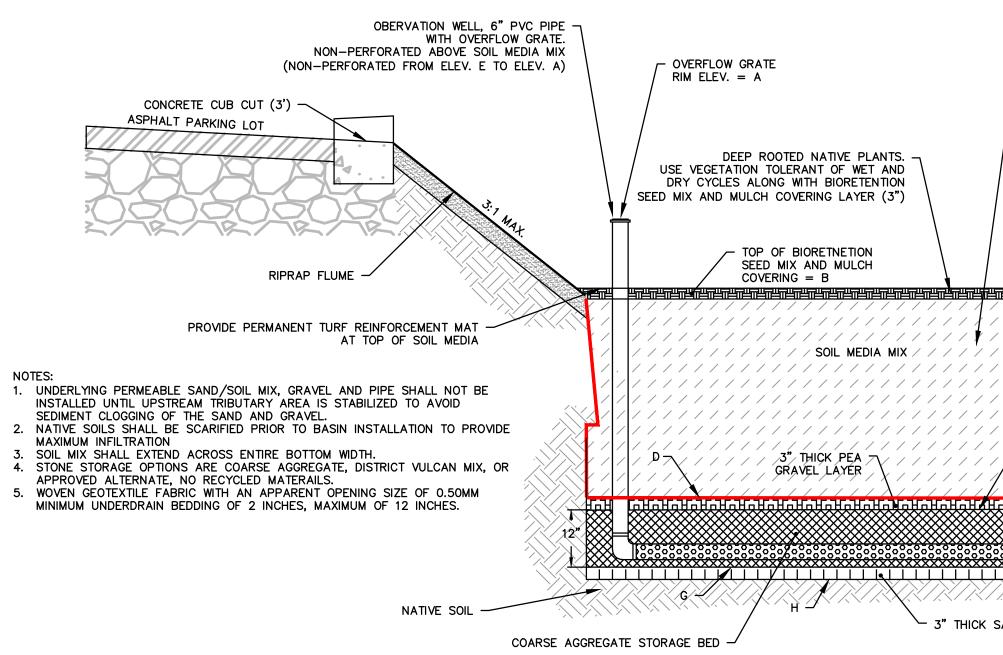


FOR ALL INLETS REFER TO FILE No. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, DETAIL ABOVE)

STORM INLET DETAIL







| OBERVATION WELL, 6° PVC PIPE WITH OVERFLOW GRATE. | GRADE SURFACE FROM CLEA JOIN MOTE: BACKFILL SHALL BE CRANULAR IN PAC | N OUT STABLE HEAD | 12" SIZE AS DETE FROM PLAN 11 12" SIZE AS DETE FROM PLAN DIRECTION DIRECTION SIZE, SIZE, SIZE, SIZE, SIZE, SIZE, SIZE, SIZE AS DETE SIZE AS DETE | GRASSY AREA GRASSY AREA PAVED AREA 00 PSI P.C. COLLAR RMINED | | | DateDateDescription16745 W. Bluemound RoadDATEDESCRIPTIONBrookfield, WI 53005-593816745 W. Bluemound Road16745 W. Bluemound Road(262) 781-10001000 | ith.com lison, WI Irvine, C |
|--|---|---|---|---|------------------------------|---|--|-----------------------------------|
| NON-PERFORATED ABOVE SOIL MEDIA MIX (NON-PERFORATED FROM ELEV. E TO ELEV. A) | DEEP ROOTED NAUSE VEGETATION TOLERANT DRY CYCLES ALONG WITH SEED MIX AND MULCH COVERING - TOP OF BIORE SEED MIX AND COVERING = 1 | OF WET AND BIORETENTION IG LAYER (3") | C HINHINHINHINHINHINHIN C C C C C C C C C C C C C | PERF PIPE | ENTIRE TOP OF TH | E W/ NEENAH VE GRATE E FABRIC TO COVER IE PEA GRAVEL LAYER IA MIX WITHIN THE ICE | WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI | UTILITY DETAILS |
| NATIVE SOIL | ХХ 100000000000000000000000000000000000 | </td <td>SAND INTERFACE LAYER</td> <td>F</td> <td></td> <td></td> <td>></td> <td></td> | SAND INTERFACE LAYER | F | | | > | |
| NATIVE SOIL | EGATE STORAGE BED - | </td <td></td> <td>F</td> <td></td> <td></td> <td></td> <td></td> | | F | | | | |
| NATIVE SOIL | EGATE STORAGE BED - | PICAL SECTION | | G | Н | J | | |
| NATIVE SOIL COARSE AGGRE BASIN NAME BASIN NAME EMERGENCY OVERFLOW RIM ELEVATION | EGATE STORAGE BED - TY B C TOP OF BIOSWALE TOP OF SOIL | D TOP OF PEA TOP AGRAVEL | E F OF REGATE UNDERDRAIN | TOP OF SAND | H BOTTOM OF BASIN | OUTLET PIPE | | |
| NATIVE SOIL NATIVE SOIL COARSE AGGRE BASIN NAME BASIN NAME BASIN NAME BASIN NAME | EGATE STORAGE BED - TY B C TOP OF BIOSWALE SEED MIX AND MULCH TOP OF SOIL MEDIA MIX | D TOP OF PEA GRAVEL TOP AGG STOP | E F OF REGATE RAGE | TOP OF SAND INTERFACE LAYER | BOTTOM OF BASIN | OUTLET PIPE SIZE/INVERT ELEVATION | | |
| NATIVE SOIL NATIVE SOIL COARSE AGGRE COARSE AGGRE MATIVE SOIL COARSE AGGRE COARSE AGGRE MATIVE SOIL COARSE AGGRE MATIVE SOIL MATIVE SOIL COARSE AGGRE MATIVE SOIL COARSE AGGRE MATIVE SOIL MATIVE SOIL COARSE AGGRE MATIVE SOIL MATIVE SOIL COARSE AGGRE MATIVE SOIL MATIVE SOIL MATIV | EGATE STORAGE BED EGATE STORAGE BED TOP OF BIOSWALE SEED MIX AND MULCH 209.00 208.75 | D TOP OF PEA TOP GRAVEL AGG 206.75 20 | E F OF REGATE RAGE INVERT OF UNDERDRAIN 06.50 205.50 | TOP OF SAND INTERFACE LAYER 205.50 | BOTTOM OF BASIN 205.25 | OUTLET PIPE SIZE/INVERT ELEVATION 15"/204.40 | © COPYF R.A. Smith, | |
| NATIVE SOIL NATIVE SOIL COARSE AGGRE BASIN NAME BASIN NAME BASIN NAME BASIN NAME | EGATE STORAGE BED - TY B C TOP OF BIOSWALE SEED MIX AND MULCH TOP OF SOIL MEDIA MIX | D TOP OF PEA TOP AGGS GRAVEL AGGS 206.75 20 205.75 20 | E F OF REGATE RAGE | TOP OF SAND INTERFACE LAYER | BOTTOM OF BASIN | OUTLET PIPE SIZE/INVERT ELEVATION | | 3/2020 |

DESIGNED BY: JLM

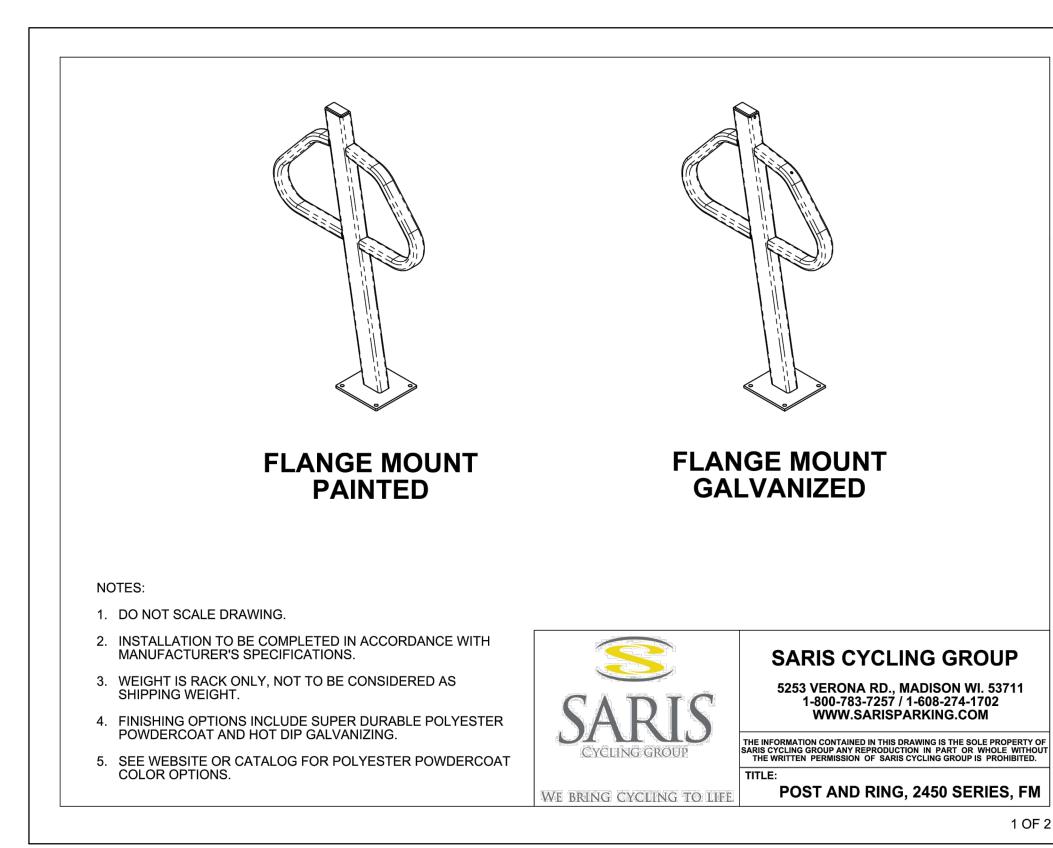
CHECKED BY: RJY

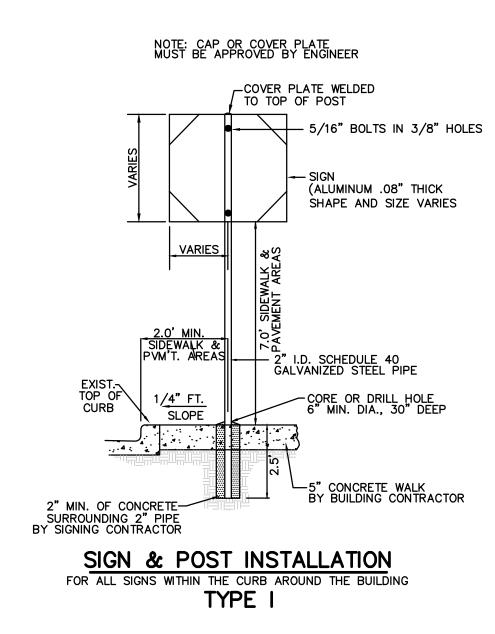
SHEET NUMBER

C501

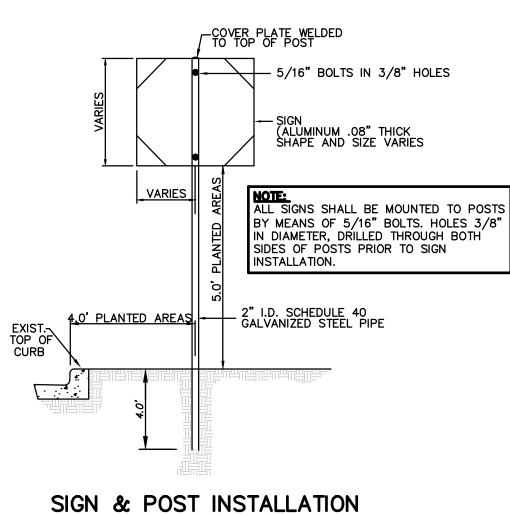
<u>BIOSWALE DETAIL</u>

(NOT TO SCALE)





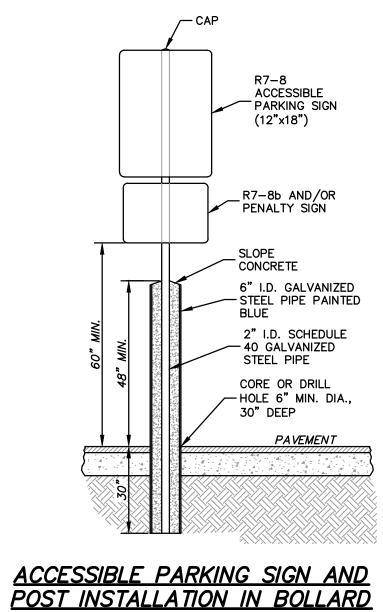
NOTE: CAP OR COVER PLATE MUST BE APPROVED BY ENGINEER



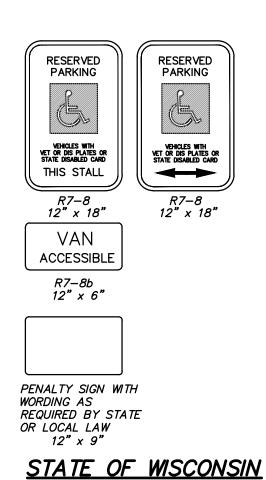
FOR ALL SIGNS ON SITE, OUTSIDE THE BUILDING CURB TYPE II



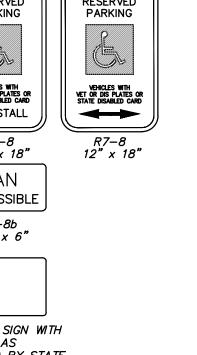
1 OF 2

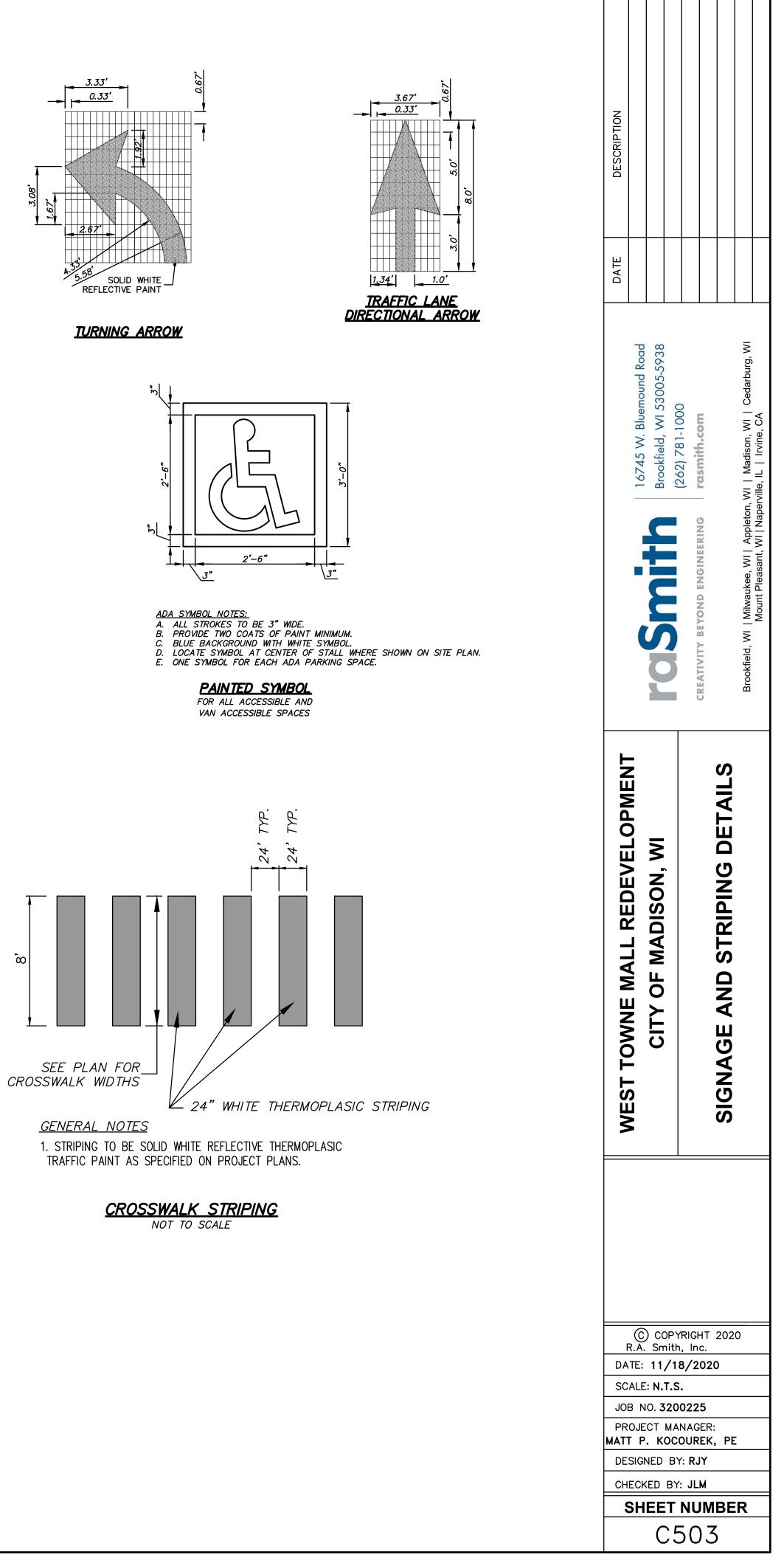


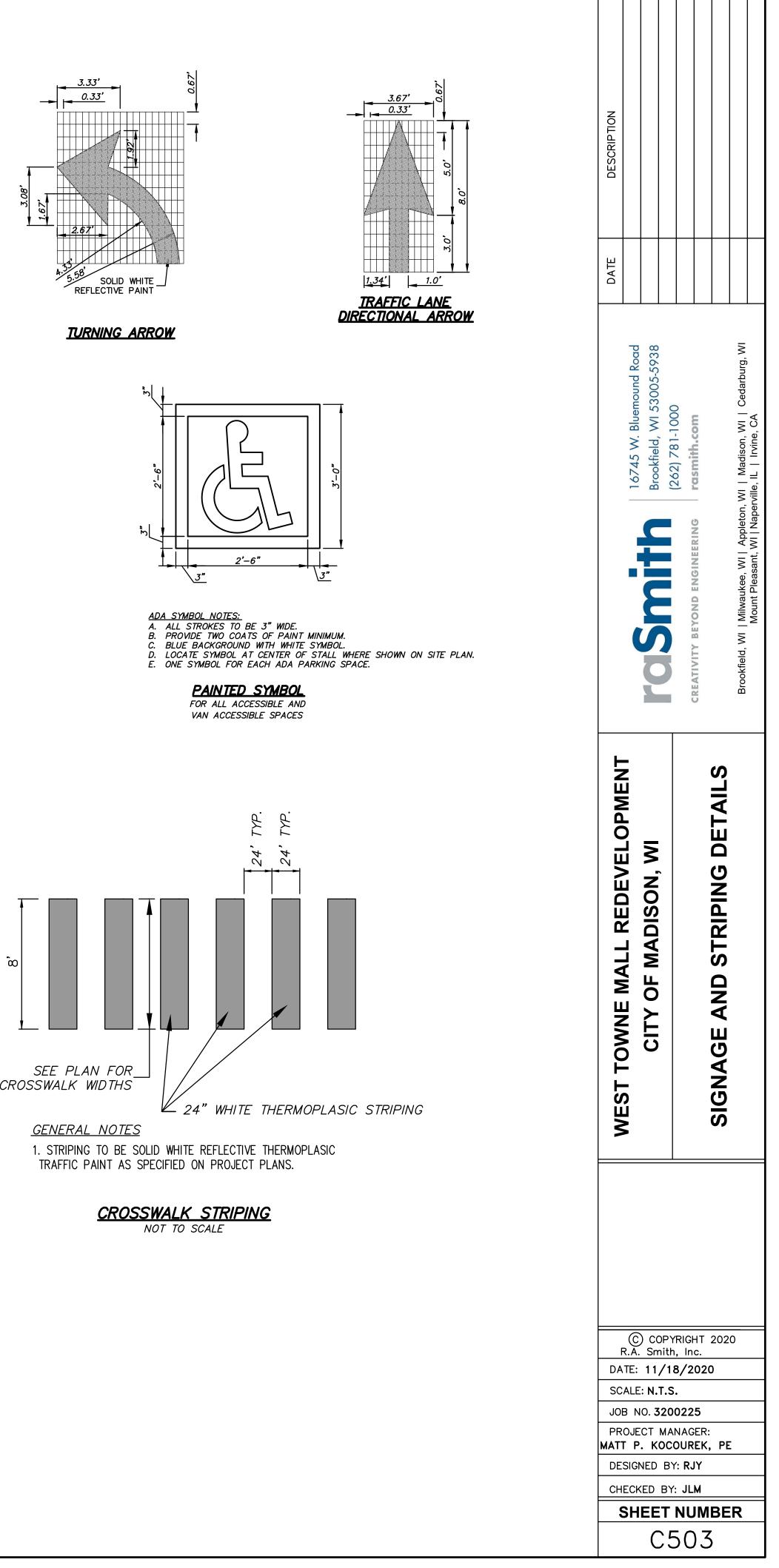
TYPE III

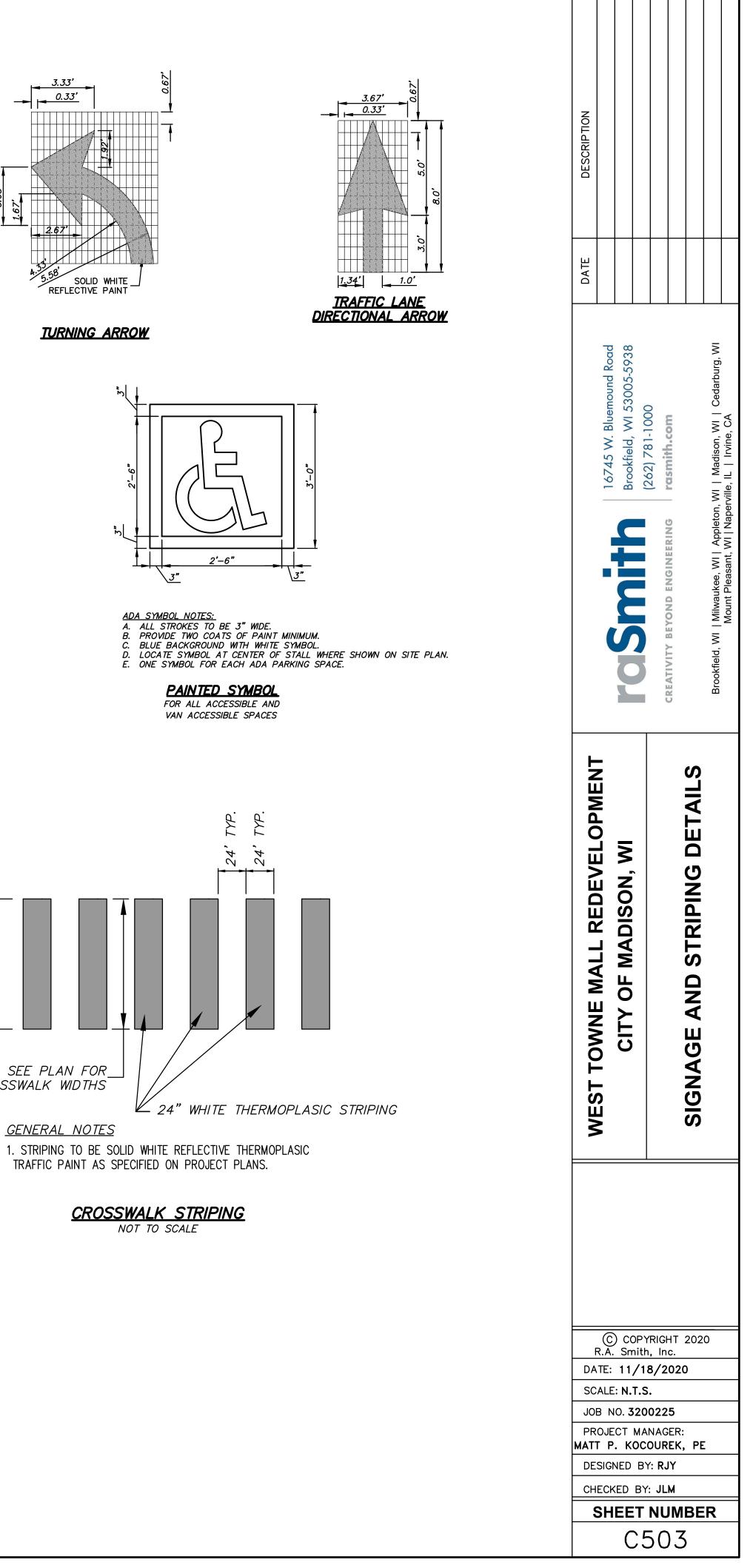


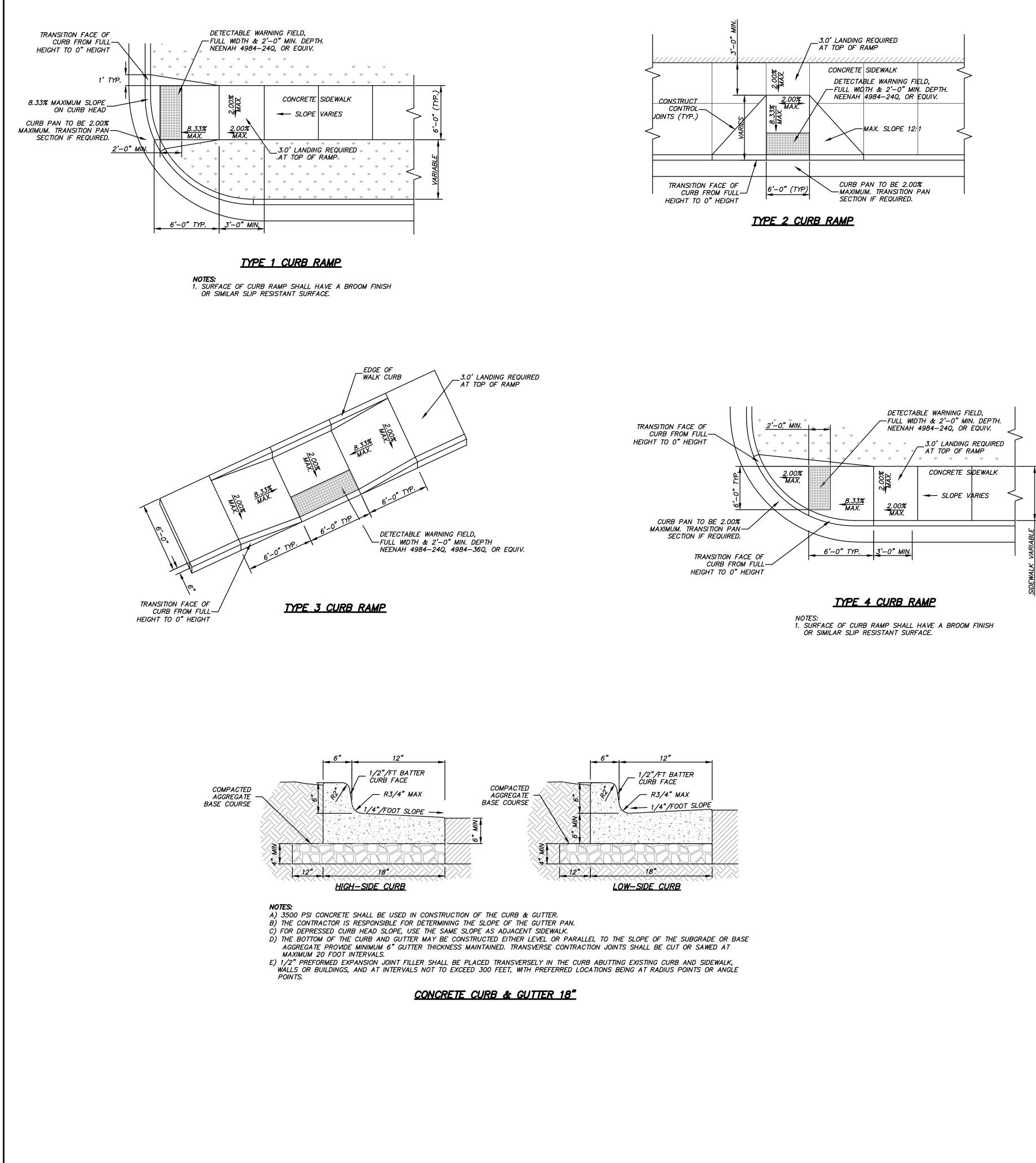
ACCESSIBLE PARKING SIGNS

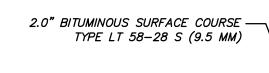












TACK COAT -

3.5" BITUMINOUS BINDER COURSE -TYPE LT 58-28 S (19.0 MM)

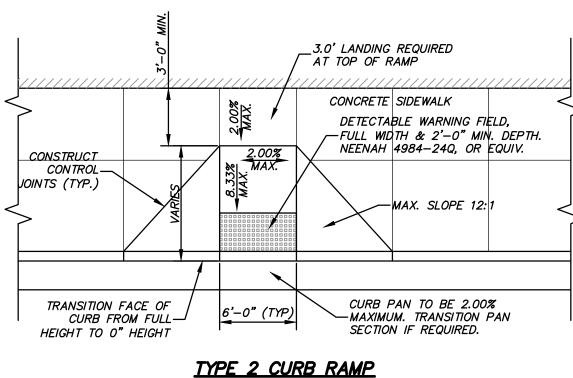
> 6" CRUSHED — STONE BASE COURSE 1 1/4" DENSE GRADED BASE

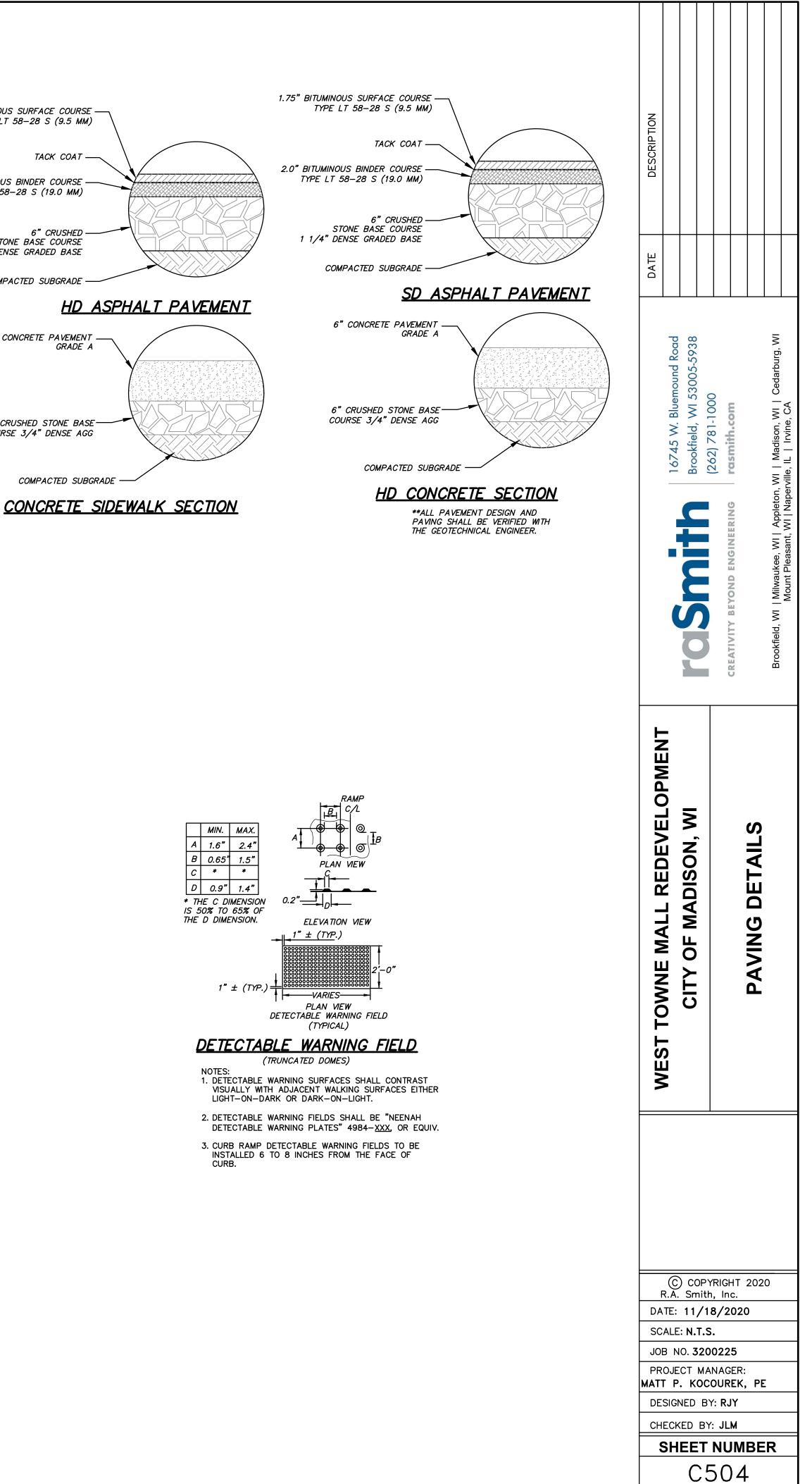
> > COMPACTED SUBGRADE

5" CONCRETE PAVEMENT -----GRADE A

6" CRUSHED STONE BASE -----COURSE 3/4" DENSE AGG

COMPACTED SUBGRADE -





SPECIFICATIONS

<u>DIVISION 1 – GENERAL REQUIREMENTS</u>

- 01 41 00 REGULATORY REQUIREMENTS
- 1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:
- WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST
- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW) WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 382-387
- WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION
- FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)
- UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS
- UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES MUNICIPALITY DEVELOPMENT STANDARDS
- COUNTY DEVELOPMENT STANDARDS THE OWNER. ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS. 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE
- SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER. a. ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC. HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
- b. CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DESIGN (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM USE OF THE PROPOSED SUBSTITUTE.
- 6. THE CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. IF CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR HIS REPRESENTATIVE. a. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE OWNER OR HIS REPRESENTATIVE SHALL DECIDE ALL
 - QUESTIONS WHICH SHALL ARISE AS TO THE QUALITY AND ACCEPTABILITY OF MATERIALS FURNISHED, WORK PERFORMED, AND WORKMANSHIP, INTERPRETATION OF THE PLANS AND SPECIFICATIONS HE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND MATERIALS FURNISHED. b. FAILURE OR NEGLIGENCE ON THE PART OF THE OWNER OR HIS REPRESENTATIVE TO CONDEMN OR REJECT SUBSTANDARD OR INFERIOR WORK OR MATERIALS SHALL NOT BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR MATERIALS, IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER. NEITHER SHALL IT BE CONSTRUED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME. FROM THE RECOVERY OF DAMAGES OR OF SUCH A SUM OF MONEY AS MAY BE NEEDED TO BUILD ANEW ALL PORTIONS OF
 - THE SUBSTANDARD OR INFERIOR WORK OR REPLACEMENT OF IMPROPER MATERIALS WHEREVER FOUND. INSPECTORS EMPLOYED BY THE OWNER SHALL BE AUTHORIZED TO INSPECT ALL WORK DONE AND ALL MATERIAL FURNISHED. SUCH INSPECTION MAY EXTEND TO ALL OR ANY PART OF THE WORK AND TO THE PREPARATION, FABRICATION OR MANUFACTURE OF THE MATERIALS TO BE USED. THE INSPECTOR IS NOT AUTHORIZED TO REVOKE, ALTER OR WAIVE ANY REQUIREMENTS OF THE SPECIFICATIONS, NOR IS HE AUTHORIZED TO APPROVE OR ACCEPT ANY PORTION OF THE COMPLETED PROJECT. HE SHALL CALL THE ATTENTION OF THE CONTRACTOR TO ANY FAILURE OF THE WORK OR MATERIALS TO CONFORM TO THE SPECIFICATIONS AND CONTRACT, AND SHALL HAVE THE AUTHORITY TO REJECT MATERIALS. ANY DISPUTE BETWEEN THE INSPECTOR AND CONTRACTOR SHALL BE REFERRED TO THE OWNER OR HIS REPRESENTATIVE.
 - ANY ADVICE WHICH THE INSPECTOR MAY GIVE THE CONTRACTOR SHALL IN NO WAY BE CONSTRUED AS BINDING THE ENGINEER IN ANY WAY OR RELEASING THE CONTRACTOR FROM FULFILLING ANY OF THE TERMS OF THE CONTRACT. ALL MATERIALS AND EACH PART OF DETAIL OF THE WORK SHALL BE SUBJECT AT ALL TIMES TO INSPECTION BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE OR THE AUTHORITY HAVING JURISDICTION AND THE CONTRACTOR WILL BE HELD STRICTLY TO THE TRUE INTENT OF THE SPECIFICATIONS IN REGARD TO QUALITY OF MATERIALS, WORKMANSHIP, AND THE DILIGENT EXECUTION OF THE CONTRACT. SUCH INSPECTION MAY INCLUDE MILL, PLANT OR SHOP INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO SUCH INSPECTION. THE OWNER OR HIS REPRESENTATIVES SHALL BE ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE
- FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION. e. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE. UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE STANDARDS OF WORKMANSHI
- ALL EXPOSED ITEMS OF WORK SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS GENERALLY USED IN THE RESPECTIVE TYPES OF WORK. ITEMS OF WORK SHALL BE SOUND AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DETERIORATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY AND ACCEPTABILITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE OWNER OR HIS REPRESENTATIVE
- ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE, AND ALL SUCH MATERIALS, WHETHER IN-PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REPLACE SUCH DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF REMOVAL AND REPLACEMENT FROM ANY MONIES DUE OR WHICH MAY BECOME DUE THE CONTRACTOR. THE CONTRACTOR SHALL KEEP A LEGIBLE COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES.
- AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE OWNER OR HIS REPRESENTATIVE WITH A MARKED-UP SET OF DRAWINGS SHOWING ALL CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON A SET OF FIELD DRAWINGS AS THE WORK TAKES PLACE, AND NOT FROM MEMORY WHEN THE WORK IS DONE. THIS SET OF DRAWINGS SHOULD BE KEPT CLEAN IN A LOCATION AT THE SITE WHERE THE OWNER OR HIS REPRESENTATIVE MAY EXAMINE THEM. THE MARKED-UP DRAWINGS SHALL BE ACCURATE. ARBITRARY MARKINGS ARE OF NO VALUE. CAREFUL MEASUREMENTS SHALL BE
- MADE TO LOCATE UNDERGROUND EXTERIOR AND UNDERGROUND INTERIOR SEWERS, GAS LINES, WATER LINES, ELECTRICAL CONDUIT AND MISCELLANEOUS PIPIN 7. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ONSITE OR IN THE PUBLIC RIGHT-OF WAY.
- 01 70 00 EXECUTION & CLOSEOUT REQUIREMENTS
- 1. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL
- COMPARE WITH THIS PLAN. 2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS. AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION
- THE CONTRACTOR SHALL FIELD VERIFY FLEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK
- SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE. 7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. 8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE
- COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED. 9. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.
- 10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL
- WRITTEN RESPONSES WILL BE ISSUED. OFFICIAL WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE. 12. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY.
- CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS ISSUED. 13. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
- 14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

DIVISION 31 – EARTHWORK

31 10 00 - SITE CLEARING & DEMOLITION

- WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATTER INTERFERING WITH NEW CONSTRUCTION.
- ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. 3. CALL 811 TO NOTIFY UTILITY PROVIDERS AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES. 4. INSTALL PERIMETER FENCING AS INDICATED PRIOR TO COMMENCING ANY CONSTRUCTION RELATED ACTIVITY.
- 5. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.
- 6. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. 8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.
- 9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE
- 10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS 11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.
- 12. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER. 13. VOIDS LEFT BY REMOVALS SHALL BE LEVELED TO PREVENT PONDING OF WATER.
- 14. REMOVE AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.

31 20 00 - EARTH MOVING

MATERIAI

ONE TIME.

OUT ON LANDSCAPE PLAN.

1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL. EXCAVATION. EMBANKMENT. IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING. SUBGRADE PREPARATION. AND REPLACEMENT OF TOPSOIL. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.

3. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS, AND THESE REQUIREMENTS. THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.

4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE WORK. 5. EXISTING FOUNDATIONS. BUILDING REMNANTS. AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL. 6. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE WITHIN GREENSPACE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL

7. AREAS SHALL BE GRADED TO WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSISTENT IN ONE DIRECTION. 8. DISKING. HARROWING. AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. 9. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER. PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER

12. TOPSOIL REPLACEMENT DEPTH SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF FOUR INCHES IF NOT CALLED

WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. DO NOT PROOF ROLL WET OR SATURATED SUBGRADE. 10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND/OR SURROUNDING AREAS. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

31 25 00 - EROSION & SEDIMENTATION CONTROLS

1. WORK SHALL CONSIST OF INSTALLATION OF TEMPORARY AND PERMANENT PRACTICES FOR SEDIMENTATION CONTROL, EROSION CONTROL, SLOPE PROTECTION, AND REMOVAL OF PRACTICES UPON FINAL SITE STABILIZATION. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.

INSTALLATION AND MAINTENANCE OF PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WONR TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE. ALL PRACTICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY. EARTHWORK ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY.

5. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS. 6. ALL PRACTICES SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS AS NEEDED. 7. ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING UPON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES

NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISDOT STANDARD SPECIFICATIONS. WINTER WHEAT OR RYE SHALL BE USED FOR TEMPORARY SEED AFTER SEPTEMBER 1

9. DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM). 10. ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY

11. DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING, OR OTHER APPROPRIATE MEASURES. 12. THE CONTRACTOR SHALL BE PREPARED FOR DEWATERING CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE PROJECT SITE. 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC ROADS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MFASURES.

14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. 15. ALL SEEDED AREAS SHALL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.

DIVISION 32 - EXTERIOR IMPROVEMENTS

32 12 00 - ASPHALT PAVING

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT. PAVEMENT MARKING, SIGNAGE, AND CLEANUP.

. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.

4. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS.

WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP; TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE INSTALLATION: TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION

7. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE (NO MINUS). APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY

9. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED. 10. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED

LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE. 11. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. 12. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE

32 13 00 - CONCRETE PAVING

1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.

CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS. 4. CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4.000 PSI.

5. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS. 6. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260.

3. LIQUID CURING COMPOUND SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS AND AASHTO M 148. CURBING SHALL BE IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS. 10. SIDEWALK AND PATIO SHALL BE IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS.

11. CONCRETE FORMS SHALL REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE INSTALLATION AND SHALL BE CLEANED AFTER EACH USE. CONCRETE FORMS SHALL BE COATED WITH RELEASE AGENT TO ALLOW SEPARATION WITHOUT DAMAGE TO CONCRETE. 12. CONSTRUCTION AND CONTRACTION JOINTS SHALL BE IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD SPECIFICATIONS. JOINT PATTERN SHALL FOLLOW ARCHITECTURAL PLANS IF AVAILABLE. 13. ISOLATION JOINTS SHALL CONSIST OF PREFORMED JOINT FILLER STRIPS ABUTTING CURBING, INLETS, CATCH BASINS, MANHOLES, STRUCTURES, AND

OTHER FIXED OBJECTS. 14. EDGES OF CONCRETE PAVEMENT, CURBING, SIDEWALK, PATIOS, AND JOINTS SHALL BE TOOLED IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING AFTER APPLYING SURFACE FINISHES AND ELIMINATE TOOL MARKS ON SURFACES. 15. FINISH, CURE, AND PROTECT CURBING IN ACCORDANCE WITH SECTION 601 OF WISDOT STANDARD SPECIFICATIONS. 16. FINISH (LIGHT BROOM), CURE, AND PROTECT SIDEWALK AND PATIOS IN ACCORDANCE WITH SECTION 602 OF WISDOT STANDARD SPECIFICATIONS. 17. FINISH (ARTIFICIAL TURF DRAG), CURE, AND PROTECT VEHICULAR PAVEMENT AND PADS IN ACCORDANCE WITH SECTION 415 OF WISDOT STANDARD

SPECIFICATIONS. 18. MAINTAIN CONCRETE FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PRIOR TO SUBSTANTIAL COMPLETION INSPECTION.

19. MAXIMUM DIFFERENCE BETWEEN CONCRETE SIDEWALKS AND ADJACENT PAVEMENT SURFACES SHALL NOT EXCEED 1/4-INCH VERTICAL. 20. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. 21. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

22. ALL HANDICAP ACCESSIBLE DOORWAYS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF 5 FEET BY 5 FEET WITH A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. 23. REMOVE AND REPLACE CONCRETE THAT IS BROKEN, DAMAGED, DEFECTIVE, OR DOES NOT COMPLY WITH THE REQUIREMENTS LISTED ABOVE.

32 17 00 – PAVEMENT MARKING & SIGNAGE

WORK SHALL CONSIST OF INSTALLATION OF PARKING LOT STRIPING, DIRECTION ARROWS, HANDICAP ACCESSIBLE SYMBOLS AND SITE SIGNAGE. . All ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. PAVEMENT MARKING PAINT SHALL BE IN ACCORDANCE WITH SECTION 646 OF WISDOT STANDARD SPECIFICATIONS AND WISDOT APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS NOTED OTHERWISE ON THIS PLAN. MARKINGS SEPARATING OPPOSING TRAFFIC SHALL BE YELLOW. 4. ALL PARKING LOT STRIPING SHALL BE 4—INCH WIDTH UNLESS NOTED OTHERWISE ON THIS PLAN. 5. BARRICADE WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING PAINT IS DRIED. PROTECT ADJACENT AREAS FROM RECEIVING PAINT. 6. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS TO PRODUCE MARKINGS AS INDICATED WITH UNIFORM, STRAIGHT EDGES. TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS.

7. APPLY PAINT TO CLEAN AND DRY SURFACE, FREE FROM FROST, TO ENSURE PROPER BONDING. 8. NOTIFY OWNER OF ANY UNSOUND CONDITIONS PRIOR TO COMMENCING WORK. APPLYING PAVEMENT MARKING PAINT CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

32 32 00 - RETAINING WALLS

1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALL SYSTEMS IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES, AND DIMENSIONS SHOWN ON THIS PLAN. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR GENERAL LOCATION AND MATERIAL REFERENCE ONLY.

2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. 3. THE CONTRACTOR SHALL PROCURE DETAILED DESIGN CALCULATIONS AND DRAWINGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT. 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.

DIVISION 33 - UTILITIES

33 10 00 - WATER DISTRIBUTION

- WORK SHALL CONSIST OF INSTALLATION AND TH . ALL ITEMS SHALL INCLUDE ALL NECESSARY MA
- 3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL 4. ALL PRIVATE WATER DISTRIBUTION WORK SHALL 5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDI
- ACCORDANCE WITH SECTION 8.20.0 OF SSSWCW 6. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 150
- SSSWCW. POLYETHYLENE TUBING SHALL BE SDR 9 IN AC
- COPPER TUBING SHALL BE TYPE "K" IN ACCOR BALL VALVES SHALL BE IN ACCORDANCE WITH 10. GATE VALVES SHALL BE IN ACCORDANCE WITH
- 11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE 12. VALVE BOXES SHALL BE IN ACCORDANCE WITH TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKE
- USE OF ADAPTOR. 13. HYDRANTS SHALL BE IN ACCORDANCE WITH SE AND ORIENTED TOWARDS THE PAVEMENT. HYDR
- 21 INCHES 14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE 15. MECHANICAL JOINTS SHALL BE MADE WITH "CON
- 16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE 7. THRUST RESTRAINT SHALL BE IN ACCORDANCE 18. TRENCH SECTION SHALL BE IN ACCORDANCE W
- PLUS 20 INCHES. 19. PIPE BEDDING AND COVER MATERIAL SHALL BE 20. TRENCH BACKFILL MATERIAL SHALL BE MECHAN WITHIN 5 FEET OF PAVEMENT AREAS. AND SHAL UNLESS ALTERNATIVE COMPACTION IS RECOMME
- WHICH CASE THE CONTRACTOR IS TO FOLLOW 21. CAUTION MUST BE FOLLOWED REGARDING THE 22. TRACER WIRE SHALL BE BLUE AND INSTALLED PRIVATE WATER MAIN PIPE. AND BUILDING WATE
- COPPER COATED STEEL WIRE, SECURED AT LEA 23. PROPOSED WATER SERVICES SHOWN ON THIS I 24. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZ
- AND INCLUDED IN THE COST OF WORK. 25. THE CONTRACTOR SHALL ADJUST ALL VALVE B 26. THE CONTRACTOR IS RESPONSIBLE FOR PRESSU 4.15.0 OF SSSWCW. DISINFECTION SHALL BE IN
- FLUSHED AND TESTED IN THE PRESENCE OF TH 33 30 00 - SANITARY SEWERAGE
- WORK SHALL CONSIST OF INSTALLATION AND TE ALL ITEMS SHALL INCLUDE ALL NECESSARY MA ALL PUBLIC SANITARY SEWERAGE WORK SHALL
- 4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL 5. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS CONFORMING TO AWWA COOD FOR DEPTHS GREA
- 8.10.6 AND 8.41.4 OF SSSWCW. 6. MANHOLES SHALL BE PRECAST REINFORCED CO AS INDICATED AND VERIFIED BY THE CONTRACT
- 7. TRENCH SECTION SHALL BE CLASS B IN ACCOR OF PIPE PLUS 20 INCHES. 8. PIPE BEDDING AND COVER MATERIAL SHALL BE
- TRENCH BACKFILL MATERIAL SHALL BE MECHAN WITHIN 5 FEET OF PAVEMENT AREAS. AND SHA UNLESS ALTERNATIVE COMPACTION IS RECOMME WHICH CASE THE CONTRACTOR IS TO FOLLOW
- 10. CAUTION MUST BE FOLLOWED REGARDING THE 11. ALL CONNECTIONS TO EXISTING SANITARY SEWE WYE CONNECTIONS ARE REQUIRED FOR ALL BUIL 12. CLEANOUTS AND RISER EXTENSIONS SHALL BE
- LOADING CLASSIFICATION SHALL BE USED IN UN HEAVY DUTY LOADING CLASSIFICATION SHALL E 13. TRACER WIRE SHALL BE GREEN AND INSTALLED SEWER PIPE, PRIVATE SANITARY INTERCEPTOR GAUGE SOLID COPPER OR COPPER COATED STE 300 FEET.
- 14. PROPOSED SANITARY SERVICES SHOWN ON THIS 15. THE CONTRACTOR SHALL ADJUST ALL MANHOLE 16. AFTER INSTALLATION OF SANITARY SEWERAGE PIPE IN ACCORDANCE WITH SSSWCW. REPAIR A

33 40 00 – STORMWATER DRAINAGE

- WORK SHALL CONSIST OF INSTALLATION AND 2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MA 3. ALL PUBLIC STORMWATER DRAINAGE WORK SHA 4. ALL PRIVATE STORMWATER DRAINAGE WORK SH
- STANDARDS. 5. REINFORCED CONCRETE PIPE (RCP) AND END S RUBBER GASKETED JOINTS CONFORMING TO AS
- SHALL BE CLASS IV. AND 18-INCH DIAMETER I 6. CORRUGATED METAL PIPE (CMP) AND END SEC HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AND PROFESSIONAL SERVICES PLUMBING PRODUCTS
- 8. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS TO ASTM D3212.
- 9. MANHOLES SHALL BE PRECAST REINFORCED CO AS INDICATED AND VERIFIED BY THE CONTRACT
- 10. CATCH BASINS SHALL BE PRECAST REINFORCED BE AS INDICATED AND VERIFIED BY THE CONTR
- 11. INLETS SHALL BE PRECAST REINFORCED CONCRA INDICATED AND VERIFIED BY THE CONTRACTOR
- 12. AREA DRAINS SHALL BE ADS NYLOPLAST AS A REGISTER.
- 13. FRAMES AND GRATES SHALL BE AS INDICATED. STRUCTURES PRIOR TO ORDERING.
- 14. TRENCH SECTION SHALL BE CLASS B IN ACCOR OF PIPE PLUS 20 INCHES. 15. PIPE BEDDING AND COVER MATERIAL SHALL BE
- 16. TRENCH BACKFILL MATERIAL SHALL BE MECHAN WITHIN 5 FEET OF PAVEMENT AREAS. AND SHAN UNLESS ALTERNATIVE COMPACTION IS RECOMME WHICH CASE THE CONTRACTOR IS TO FOLLOW
- 17. CAUTION MUST BE FOLLOWED REGARDING THE C 18. ALL CONNECTIONS TO EXISTING STORM SEWER 19. FLEXIBLE COMPRESSION COUPLINGS SHALL BE 20. CLEANOUTS AND RISER EXTENSIONS SHALL BE
- LOADING CLASSIFICATION SHALL BE USED IN UN HEAVY DUTY LOADING CLASSIFICATION SHALL E 21. TRACER WIRE SHALL BE BROWN AND INSTALLED PIPE. PRIVATE STORM INTERCEPTOR PIPE, AND

- 24. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS AND INLETS TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS.

| STING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES. TERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS. BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS. R 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN | NOI | | |
|---|-------------------------------------|----------------------------|---|
| CONFORMING TO AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.18.0 OF CORDANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO ASTM B88. DANCE WITH SECTION 8.24.0 OF SSSWCW AND CONFORM TO ASTM B88. SECTION 8.30.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B62. SECTION 8.27.0 OF SSSWCW AND CONFORM TO AWWA C500. WITH SECTION 8.28.0 OF SSSWCW AND CONFORM TO AWWA C504. SECTION 8.29.0 OF SSSWCW AND CONFORM TO ASTM A48. VALVE BOXES SHALL BE SIZE DD, SCREW D "WATER". ALL VALVE BOXES SHALL BE SET TO PROPOSED GRADE, TRULY VERTICAL, AND SUPPORTED BY | DESCRIPT | | |
| CTION 8.26.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO ANTS SHALL BE ATTACHED BY MEANS OF TEE AND HAVE A GROUND LINE TO CENTER DISTANCE OF 18 TO | | | |
| WITH SECTION 8.22.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS. R TEN" NUTS AND BOLTS, OR CORROSION—RESISTANT EQUIVALENTS CONFORMING TO AWWA C111. E WITH SECTION 8.21.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS. WITH SECTION 4.3.13 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES. TH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE | DATE | | |
| IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES. CALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND L BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS, NDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN HE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. N ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE, R SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR ST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET. LAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. E, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL | emound Road 53005-5938 | Q | I Cedarburg, WI |
| DXES TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS. RE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION ACCORDANCE WITH SECTION 4.16.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE E WATER UTILITY OPERATOR. | 16745 W. Bluem Brookfield, WI 55 | 62) 781-1000 ssmith.com | Madison, WI L │ Irvine, CA |
| STING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES. TERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS. BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT STANDARDS. SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 NTER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS | | EERING 120 | Appleton, WI Madison, WI WI Naperville, IL Irvine, C |
| NCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE OR PRIOR TO ORDERING. DANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER | | U U | ee, WI easant, |
| IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWOW. MINIMUM ALLOWABLE THENOLY WIDTH SHALL BE 10 INCHES. CALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWOW BENEATH AND L BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWOW BENEATH GREENSPACE AREAS, NDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN HE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. R PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREFABRICATED DING SANITARY SERVICE PIPES, UNLESS NOTED OTHERWISE. INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY IPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. E USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE. IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWOW ON ALL BURIED NON-METALLIC PUBLIC SANITARY PIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 VIPE, AND BUILDING SANITARY SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 EL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY | | CREATIVITY BEYOND EN | Brookfield, WI Milwaukee, WI Mount Pleasant, |
| PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. RIMS TO FINISHED SURFACE UPON COMPLETION OF PAVING OPERATIONS. SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. CONDUCT TESTING OF INSTALLED IY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING. | ENT | | |
| STING OF THE STORMWATER DRAINAGE SYSTEM AND ALL APPURTENANCES. TERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. LL BE IN ACCORDANCE WITH SSSWCW AND MUNICIPALITY DEVELOPMENT STANDARDS. ALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE AND MUNICIPALITY DEVELOPMENT | LOPMI | | |
| ECTIONS SHALL BE IN ACCORDANCE WITH SECTION 8.6.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH TM C443. UNLESS NOTED OTHERWISE, 12—INCH DIAMETER PIPE SHALL BE CLASS V, 15—INCH DIAMETER PIPE IPE AND LARGER SHALL BE CLASS III. TONS SHALL BE 16 GAUGE CONFORMING TO ASTM A760. FITTINGS SHALL BE ADS N12 AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND REGISTER. SHALL BE SDR 35 CONFORMING TO ASTM D3034 WITH PUSH—ON RUBBER GASKETED JOINTS CONFORMING | REDEVEI ISON, W | TIONS | |
| NCRETE IN ACCORDANCE WITH SECTION 8.39.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE OR PRIOR TO ORDERING. CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL ACTOR PRIOR TO ORDERING. ETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C913. SIZES SHALL BE AS PRIOR TO ORDERING. PROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS | E MALL R OF MADI | ECIFICA | |
| THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FRAMES AND GRATES ARE COMPATIBLE WITH PRECAST DANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER | OWNE | SP | |
| IN ACCORDANCE WITH SECTION 8.43.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES. CALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF SSSWCW BENEATH AND L BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF SSSWCW BENEATH GREENSPACE AREAS, NDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN HE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. ISED IN THE CONNECTION OF DISSIMILAR PIPE MATERIALS. INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY IPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. IN STALLED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE. IN ACCORDANCE WITH SECTION 2.11.1 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC STORM SEWER | WEST TOV C | | |

COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 300 FEET. 22. FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL. DOCUMENTATION OF SUCH FIELD TILE SHALL BE PROVIDED TO THE OWNER. 23. PROPOSED STORM SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. CONNECTIONS TO DOWNSPOUTS SHALL BE PER DETAILS ON THE BUILDING PLUMBING PLANS. THE EXACT LOCATION OF DOWNSPOUTS SHALL BE PER THE ARCHITECTURAL

25. AFTER INSTALLATION OF STORMWATER DRAINAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. REPAIR ANY DAMAGE.



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R.A. Smith, Inc.

DATE: **11/18/2020**

SCALE: N.T.S.

JOB NO. 3200225

PROJECT MANAGER:

DESIGNED BY: JLM

CHECKED BY: RJY

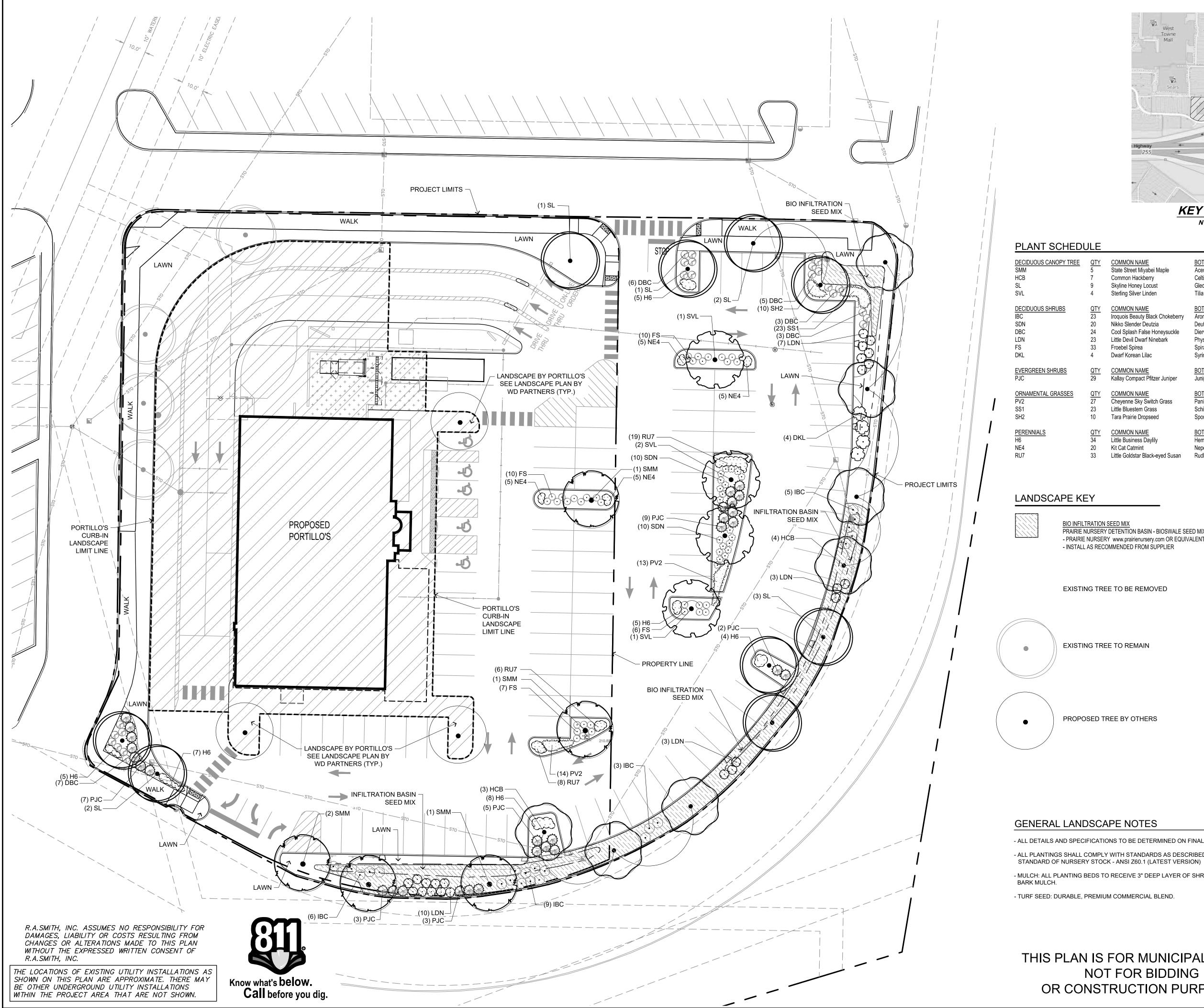
MATT P. KOCOUREK, PE

SHEET NUMBER

C600

Know what's **below**. **Call** before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.



THIS PLAN IS FOR MUNICIPAL REVIEW NOT FOR BIDDING OR CONSTRUCTION PURPOSES

- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS. - ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN

| <u>COMMON NAME</u> Iroquois Beauty Black Chokeberry Nikko Slender Deutzia Cool Splash False Honeysuckle Little Devil Dwarf Ninebark Froebel Spirea Dwarf Korean Lilac | <u>BOTANICAL NAME</u> Aronia melanocarpa `Morton` Deutzia gracilis `Nikko` Diervilla sessilifolia `Cool Splash` Physocarpus opulifolius `Little Devil` TM Spiraea x bumalda `Froebelii` Syringa meyeri `Palibin` | <u>SIZE</u> 15" HT 15" HT 15" HT 24" HT 15" HT 24" HT | ROOT CONT. CONT. CONT. CONT. CONT. |
|---|--|---|---|
| COMMON NAME | BOTANICAL NAME | <u>SIZE</u> | ROOT |
| Kallay Compact Pfitzer Juniper | Juniperus chinensis `Kallays Compact` | 18"SPD | CONT. |
| <u>COMMON NAME</u> | BOTANICAL NAME | <u>SIZE</u> | <u>ROOT</u> |
| Cheyenne Sky Switch Grass | Panicum virgatum `Cheyenne Sky` | 1 GAL | POT |
| Little Bluestem Grass | Schizachyrium scoparium | 1 GAL | POT |
| Tara Prairie Dropseed | Sporobolus heterolepis `Tara` | 1 GAL | POT |
| COMMON NAME | <u>BOTANICAL NAME</u> | <u>SIZE</u> | <u>ROOT</u> |
| Little Business Daylily | Hemerocallis x `Little Business` | 1 GAL | POT |
| Kit Cat Catmint | Nepeta x faassenii `Kit Cat` | 1 GAL | POT |
| Little Goldstar Black-eyed Susan | Rudbeckia fulgida var. sullivantii `Little Goldstar` | 1 GAL | POT |
| | | | |

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|---------------------|-------------------|
| | |
| | |
| | |
| SEED MIX | |
| | |
| Y DETENTION BASIN - | DIUSWALE SEED IVI |

PRAIRIE NURSERY DETENTION BASIN - BIOSWALE SEED MIX - PRAIRIE NURSERY www.prairienursery.com OR EQUIVALENT - INSTALL AS RECOMMENDED FROM SUPPLIER

EXISTING TREE TO BE REMOVED

| | NTS | | |
|----------------------------------|---|-------------|--|
| | | | |
| <u>COMMON NAME</u> | BOTANICAL NAME | <u>SIZE</u> | |
| State Street Miyabei Maple | Acer miyabei `Morton` TM | 2 1/2" CAL | |
| Common Hackberry | Celtis occidentalis | 2 1/2" CAL | |
| Skyline Honey Locust | Gleditsia triacanthos `Skyline` | 2 1/2" CAL | |
| Sterling Silver Linden | Tilia tomentosa `Sterling` | 2 1/2" CAL | |
| <u>COMMON NAME</u> | BOTANICAL NAME | <u>SIZE</u> | |
| Iroquois Beauty Black Chokeberry | Aronia melanocarpa `Morton` | 15" HT | |
| Nikko Slender Deutzia | Deutzia gracilis `Nikko` | 15" HT | |
| Cool Splash False Honeysuckle | Diervilla sessilifolia `Cool Splash` | 15" HT | |
| Little Devil Dwarf Ninebark | Physocarpus opulifolius `Little Devil` TM | 24" HT | |
| Froebel Spirea | Spiraea x bumalda `Froebelii` | 15" HT | |
| Dwarf Korean Lilac | Syringa meyeri `Palibin` | 24" HT | |
| COMMON NAME | BOTANICAL NAME | <u>SIZE</u> | |
| Kallay Compact Pfitzer Juniper | Juniperus chinensis `Kallays Compact` | 18"SPD | |
| <u>COMMON NAME</u> | <u>BOTANICAL NAME</u> | <u>SIZE</u> | |
| Cheyenne Sky Switch Grass | Panicum virgatum `Cheyenne Sky` | 1 GAL | |
| Little Bluestem Grass | Schizachyrium scoparium | 1 GAL | |
| Tara Prairie Dropseed | Sporobolus heterolepis `Tara` | 1 GAL | |

ROOT B&B

B&B

B&B

B&B

<u>REMARKS</u> Full, matching heads

Full, matching heads

Full, matching heads Full, matching heads

REMARKS

REMARKS

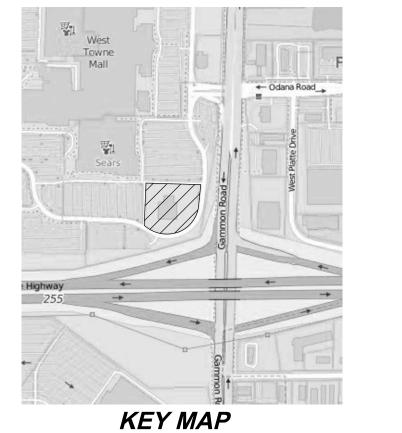
REMARKS 18" Spacing

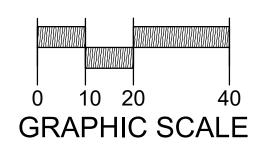
18" Spacing

18" Spacing

REMARKS 24" Spacing

18" Spacing 18" Spacing







| | GREA |
|--|----------------|
| WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI | LANDSCAPE PLAN |
| | |



CHECKED BY: LJH SHEET NUMBER L100

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DATE: 11/18/2020

SCALE: 1" = 20'

JOB NO. 3200225

PROJECT MANAGER: MATT P. KOCOUREK, PE

DESIGNED BY: NJW/LJH