

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Recei _____
Date received 10/21/2020
11:59 a.m. **RECEIVED**
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____
Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 5133-5237 University Avenue
Title: Degen & Associates - Mixed-Use Redevelopment

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested December 2, 2020

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Thomas G. Degen
Street address PO Box 5567
Telephone 608-239-3142

Company Degen & Associates, LLC
City/State/Zip Madison, WI 53705-0567
Email tdegen@tds.net

Project contact person Justin Frahm
Street address 7402 Stone Ridge Dr. Ste. 4
Telephone 608-220-7583

Company JSD Professional Services, Inc.
City/State/Zip Weston, WI 54476
Email justin.frahm@jsdinc.com

Property owner (if not applicant) N/A
Street address _____
Telephone _____

City/State/Zip _____
Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to planning@cityofwilmington.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on July 23, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Thomas G. Deger, Managing Member, Deger & Associates, LLC Relationship to property Owner

Authorizing signature of property owner  Date 10/20/20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Memorandum

To: City of Madison Urban Design Commission Members
From: Justin Frahm, Project Consultant, JSD Professional Services, Inc.
Re: Letter of Intent – 5133 & 5237 University Avenue Urban Design Commission Final Approval
JSD Project #: 07-2912
Date: October 21, 2020
cc: Tom Degen, Degen & Associates, Dale Streitenberger, JLA; Jennifer Camp, JLA

Urban Design Commission Final Approval

This memorandum will to serve as a supplement to the Land Use-Urban Design Commission Letter of Intent dated January 15, 2020 (REVISED March 5, 2020 and April 21, 2020) outlining development characteristics and land use.

In April 2020 in a response to market demands, Degen & Associates adjusted the overall project residential unit count from 79 to 85. The adjustment to the overall unit count was accomplished by a slight revision to the unit mix for each building as defined in this memorandum. As a result, the project and unit mix are better aligned with market trends, while remaining within the original building envelopes.

On March 11, 2020 the City of Madison Urban Design Commission granted initial approval for the project site, massing and landscape design with a number of conditions. On April 27, 2020, City of Madison Plan Commission granted conditional approval of the project. At this time, our intent is to provide the enclosed submittal package for review as part of our formal Urban Design Commission Final Approval application request.

Summary of Proposed Development

Buildings A, B & C:

- 4-stories / 34,740 square feet (ground floor)
- Approx. 10,713 square feet of commercial (5,176 square feet of commercial / 5,537 square feet of restaurant)
- 7 Three Bedroom Units
- 41 Two Bedroom Units (**Previously 40 units**)
- 37 One Bedroom Units (**Previously 38 units**)

Building A

- 4-story / 11,517 square feet (ground floor)
 - 25 Total Residential Units
 - 4 Three Bedroom Units
 - 13 Two Bedroom Units (**Previously 12**)
 - 8 One Bedroom Units (**Previously 9**)

- Approx. 5,537 square feet of restaurant (40% support 60% Dining - 190 person capacity) (Previously 5,200 square feet)
- Approx. 3,840 square feet of commercial flex space (tenants to be determined) (Previously 3,800 square feet)
- 158 square feet for leasing office (Previously 163 square feet)
- 34 lower level vehicular stalls, including 2 ADA stalls and 3 compact stalls
- 25 lower level bicycle stalls

Building B

- 4-story / 12,783 square feet (ground floor)
 - 30 Total Residential Units
 - 3 Three Bedroom Units
 - 19 Two Bedroom Units
 - 8 One Bedroom Units
 - Approx. 1,336 square feet of commercial flex space (tenants to be determined)
 - 21 first floor vehicular stalls, including 1 ADA stall
 - 11 first floor bicycle stalls
 - 34 lower level vehicular stalls, including 1 ADA stall
 - 24 lower level bicycle stalls

Building C

- 4-story / 10,440 square feet (ground floor)
 - 30 Total Residential Units
 - 9 Two Bedroom Units
 - 21 One Bedroom Units
 - 18 first floor vehicular stalls, including 1 ADA stall
 - 30 first floor bicycle stalls
 - 20 lower level vehicular stalls, including 1 ADA stall
 - 2 lower level bicycle stalls

For a list of updated Zoning Requirements, please see the table on the following page.

Suburban Employment Zoning Requirements Table

Suburban Employment (SE) District			
Requirement	SE Zoning	Proposed Site	Conformance
Lot Area (sq. ft.)	20,000 min.	151,704 sq. ft.	Met
Lot Area (Exclusive for residential Use)	2,000 sq. ft./unit	Not Applicable - Proposed Mixed-Use	Not Applicable
Lot width	65'	Northwest – 234.2' South – 519.2'	Met
Front Yard Setback	If not at corner location Not Applicable / No Minimum	3' (front setback to patio wall)	Not Applicable
Side Yard Setback	15' or 20% Building Height	27.92' (west property line) 15' (east property line)	Met
Rear Yard Setback	30'	57.99' Build C / 62.80' Build B	Met
Maximum Lot Coverage	75%	66%	Met
Minimum Height	22' measured to building cornice	36'	Met
Maximum Height	5 stories / 68' <u>Residential Uses:</u> 4 Stories/55'	4 stories / 50'	Met
Usable Open Space	400 sq. ft. / unit 85 units x 400 sq. ft. = 34,000 sq. ft.	Site = 30,566 sq. ft. Balcony = 5,181 sq. ft. Total = 35,747 sq. ft.	Met

Summary

The project team looks forward to continued coordination with City of Madison departmental staff and area stakeholders to implement a successful redevelopment plan for a property that has been vacant since September, 2017. We are confident the proposed project will contribute to a vibrant neighborhood on a significant City corridor and provide a strong sense of place for residents and visitors.

For questions or information please contact Tom Degen, Degen & Associates tdegen@tds.net or Justin Frahm, JSD Professional Services, Inc. justin.frahm@jsdinc.com.

Memorandum

To: City of Madison Urban Design Commission Members
From: Justin Frahm, Project Consultant, JSD Professional Services, Inc.
Re: Letter of Intent – 5133 & 5237 University Avenue Urban Design Commission Final Approval
JSD Project #: 07-2912
Date: October 21, 2020
cc: Tom Degen, Degen & Associates, Dale Streitenberger, JLA; Jennifer Camp, JLA

Urban Design Commission Final Approval

This memorandum will serve as a supplement to the Land Use-Urban Design Commission Letter of Intent dated January 15, 2020 (REVISED March 5, 2020 and April 21, 2020) outlining development characteristics and land use.

In April 2020 in a response to market demands, Degen & Associates adjusted the overall project residential unit count from 79 to 85. The adjustment to the overall unit count was accomplished by a slight revision to the unit mix for each building as defined in this memorandum. As a result, the project and unit mix are better aligned with market trends, while remaining within the original building envelopes.

On March 11, 2020 the City of Madison Urban Design Commission granted initial approval for the project site, massing and landscape design with a number of conditions. On April 27, 2020, City of Madison Plan Commission granted conditional approval of the project. At this time, our intent is to provide the enclosed submittal package for review as part of our formal Urban Design Commission Final Approval application request.

Summary of Proposed Development

Buildings A, B & C:

- 4-stories / 35,413 square feet (Building Footprints)
- Approx. 9,974 square feet of commercial square feet (5,067 square feet in three commercial suites and 4,907 square feet of restaurant space, including 1,112 SF of potential 2nd floor seating area)
- 7 Three Bedroom Units
- 41 Two Bedroom Units (Previously 40 units)
- 37 One Bedroom Units (Previously 38 units)

Building A

- 4-story / 11,729 square feet (Building Footprint)
 - 25 Total Residential Units
 - 4 Three Bedroom Units
 - 13 Two Bedroom Units (Previously 12)
 - 8 One Bedroom Units (Previously 9)
 - Approx. 4,907 square feet of restaurant space (Previously 5,200 square feet)
 - Approx. 3,840 square feet of flex space in two commercial suites (Previously 3,800 square feet)
 - 158 square feet for a leasing office (Previously 163 square feet)
 - 34 lower level vehicular stalls, including 2 ADA stalls and 3 compact stalls
 - 25 lower level bicycle stalls

Building B

- 4-story / 13,036 square feet (Building Footprint)
 - 30 Total Residential Units
 - 3 Three Bedroom Units
 - 19 Two Bedroom Units
 - 8 One Bedroom Units
 - Approx. 1,227 square feet of flex space in one commercial suite
 - 21 first floor vehicular stalls, including 1 ADA stall
 - 11 first floor bicycle stalls
 - 34 lower level vehicular stalls, including 1 ADA stall
 - 24 lower level bicycle stalls

Building C

- 4-story / 10,648 square feet (Building Footprint)
 - 30 Total Residential Units
 - 9 Two Bedroom Units
 - 21 One Bedroom Units
 - 18 first floor vehicular stalls, including 1 ADA stall
 - 30 first floor bicycle stalls
 - 20 lower level vehicular stalls, including 1 ADA stall
 - 2 lower level bicycle stalls

For a list of updated Zoning Requirements, please see the table on the following page.

Suburban Employment Zoning Requirements Table

Suburban Employment (SE) District			
Requirement	SE Zoning	Proposed Site	Conformance
Lot Area (sq. ft.)	20,000 min.	151,704 sq. ft.	Met
Lot Area (Exclusive for residential Use)	2,000 sq. ft./unit	Not Applicable - Proposed Mixed-Use	Not Applicable
Lot width	65'	Northwest – 234.2' South – 519.2'	Met
Front Yard Setback	If not at corner location Not Applicable / No Minimum	3' (front setback to patio wall)	Not Applicable
Side Yard Setback	15' or 20% Building Height	27.92' (west property line) 15' (east property line)	Met
Rear Yard Setback	30'	57.99' Build C / 62.80' Build B	Met
Maximum Lot Coverage	75%	66%	Met
Minimum Height	22' measured to building cornice	36'	Met
Maximum Height	5 stories / 68' <u>Residential Uses:</u> 4 Stories/55'	4 stories / 50'	Met
Usable Open Space	400 sq. ft. / unit 85 units x 400 sq. ft. = 34,000 sq. ft.	Site = 30,566 sq. ft. Balcony = 5,181 sq. ft. Total = 35,747 sq. ft.	Met

Summary

The project team looks forward to continued coordination with City of Madison departmental staff and area stakeholders to implement a successful redevelopment plan for a property that has been vacant since September, 2017. We are confident the proposed project will contribute to a vibrant neighborhood on a significant City corridor and provide a strong sense of place for residents and visitors.

For questions or information please contact Tom Degen, Degen & Associates tdegen@tds.net or Justin Frahm, JSD Professional Services, Inc. justin.frahm@jsdinc.com.



UNIVERSITY AVE MIXED-USE
VICINITY MAP





REFERENCE AERIAL



ENTRANCE TO PARCEL



EXISTING BUILDING ON PARCEL



VIEW TO SOUTHERN END OF PARCEL



EXISTING FIRE LANE ACCESS



EXISTING ACCESS TO ADJACENT PARCEL

**UNIVERSITY AVE MIXED-USE
EXISTING CONDITIONS - IMAGE BOARD 1**





REFERENCE AERIAL



VIEW OF SOUTHEAST PROPERTY LINE



**VIEW OF REAR YARD LOOKING
SOUTHWEST**



VIEW OF REAR PROPERTY LINE EXISTING FENCE



**VIEW LOOKING FROM BACK OF LOT NORTHEAST
TOWARDS UNIVERSITY AVE.**



VIEW OF REAR PROPERTY LINE EXISTING FENCE

**UNIVERSITY AVE MIXED-USE
EXISTING CONDITIONS - IMAGE BOARD 2**





EXISTING BUILDING A (PERKINS) : LOCATION



IMAGE 1 : ENTRY/FRONT COUNTER



IMAGE 2 : EAST DINING ROOM



IMAGE 3 : WEST DINING ROOM



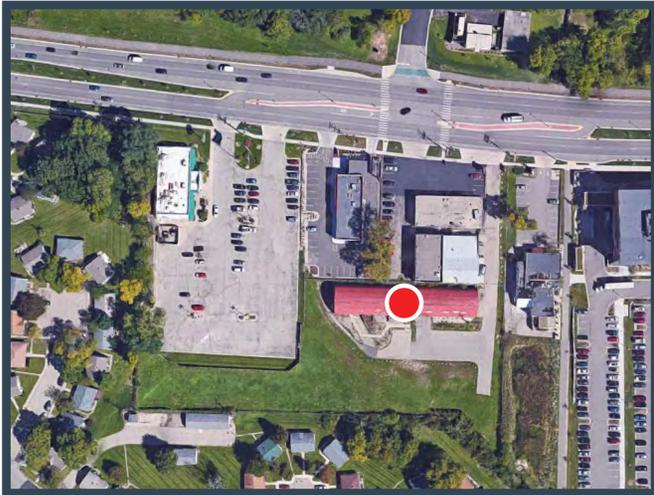
IMAGE 4 : PREP AREA



IMAGE 5 : KITCHEN AREA

**UNIVERSITY AVE MIXED-USE
EXISTING CONDITIONS - IMAGE BOARD 3**





EXISTING BUILDING B (WAREHOUSE) : LOCATION



IMAGE 1 : WAREHOUSE EAST END



IMAGE 2 : WAREHOUSE WEST END



IMAGE 3 : LOWER LEVEL ENTRY



IMAGE 4 : LOWER LEVEL OFFICE



IMAGE 5 : LOWER LEVEL STORAGE

**UNIVERSITY AVE MIXED-USE
EXISTING CONDITIONS - IMAGE BOARD 4**



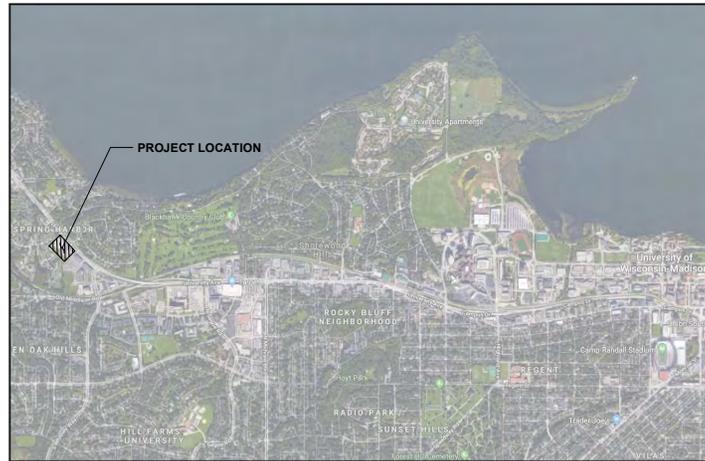
5133 & 5237 UNIVERSITY AVE

CITY OF MADISON, WISCONSIN

4 1/4, SW 1/4, SECTION 18, TOWNSHIP 07 NORTH, RANGE 09 EAST

DRAWING INDEX

C0.0	TITLE SHEET
1 OF 1	EXISTING CONDITIONS
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	SITE PLAN - 20 SCALE
C5.0	GRADING PLAN
C6.0	UTILITY PLAN
C7.0	FIRE ACCESS PLAN
L1.0	OVERALL LANDSCAPE PLAN
L1.1	DETAILED LANDSCAPE PLAN
L1.2	DETAILED LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES, DETAILS, AND SPECIFICATIONS
1 OF 1	LIGHTING PLAN
PAGE 1-5	LUMARK SITE LUMINAIRE CUT SHEETS
PAGE 1-3	LUMARK WALL MOUNT CUT SHEETS
	ARCH TITLE SHEET
A 100-A	LOWER LEVEL PLAN - BUILDING 'A'
A 101-A	FIRST FLOOR PLAN - BUILDING 'A'
A 102-A	SECOND FLOOR PLAN - BUILDING 'A'
A 103-A	THIRD FLOOR PLAN - BUILDING 'A'
A 104-A	FOURTH FLOOR PLAN - BUILDING 'A'
A 109-A	ROOF PLAN - BUILDING 'A'
A 200-A	EXTERIOR ELEVATIONS - BUILDING 'A' (COLOR)
A 201-A	EXTERIOR ELEVATIONS - BUILDING 'A' (COLOR)
A 200-A	EXTERIOR ELEVATIONS - BUILDING 'A' (B&W)
A 201-A	EXTERIOR ELEVATIONS - BUILDING 'A' (B&W)
A 100-B	LOWER LEVEL PLAN - BUILDING 'B'
A 101-B	FIRST FLOOR PLAN - BUILDING 'B'
A 102-B	SECOND FLOOR PLAN - BUILDING 'B'
A 103-B	THIRD FLOOR PLAN - BUILDING 'B'
A 104-B	FOURTH FLOOR PLAN - BUILDING 'B'
A 109-B	ROOF PLAN - BUILDING 'B'
A 200-B	EXTERIOR ELEVATIONS - BUILDING 'B' (COLOR)
A 201-B	EXTERIOR ELEVATIONS - BUILDING 'B' (COLOR)
A 200-B	EXTERIOR ELEVATIONS - BUILDING 'B' (B&W)
A 201-B	EXTERIOR ELEVATIONS - BUILDING 'B' (B&W)
A 100-C	LOWER LEVEL PLAN - BUILDING 'C'
A 101-C	FIRST FLOOR PLAN - BUILDING 'C'
A 102-C	SECOND FLOOR PLAN - BUILDING 'C'
A 103-C	THIRD FLOOR PLAN - BUILDING 'C'
A 104-C	FOURTH FLOOR PLAN - BUILDING 'C'
A 109-C	ROOF PLAN - BUILDING 'C'
A 200-C	EXTERIOR ELEVATIONS - BUILDING 'C' (COLOR)
A 201-C	EXTERIOR ELEVATIONS - BUILDING 'C' (COLOR)
A 200-C	EXTERIOR ELEVATIONS - BUILDING 'C' (B&W)
A 201-C	EXTERIOR ELEVATIONS - BUILDING 'C' (B&W)
A310	WALL SECTIONS



PROJECT AREA

NOT TO SCALE



PROJECT INFORMATION

OWNER
DEGEN & ASSOCIATES, LLC
TOM DEGEN
P.O. BOX 5567
MADISON, WI 53705
P: (608) 239-3142
tdegen@tds.net

CIVIL CONSULTANT
JSD PROFESSIONAL SERVICES, INC.
JUSTIN FRAHM
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
P: (715) 298-6330
justin.frahm@jdsinc.com

ARCHITECT
JLA ARCHITECTS & PLANNERS
DALE STREITENBRGER
311 E CHICAGO STREET, SUITE 240
MILWAUKEE, WI 53202
P: (414) 988-7520
dstreit@jla-ap.com

ELECTRICAL
CRESCENT ELECTRIC
TREVIS BAKER
1417 WRIGHT STREET
MADISON, WI 53708
P: (608) 216-6713
trevis.baker@cesco.com



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.988.5969

CLIENT:
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS:
PO BOX 5567
MADISON, WI 53705-0567

PROJECT:
5133 & 5237 UNIVERSITY AVE

PROJECT LOCATION:
MADISON, WI
DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	01.15.2020	LAND USE UDC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
3	10.21.2020	UDC FINAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CEJ, KA
Approved: AJB, JD

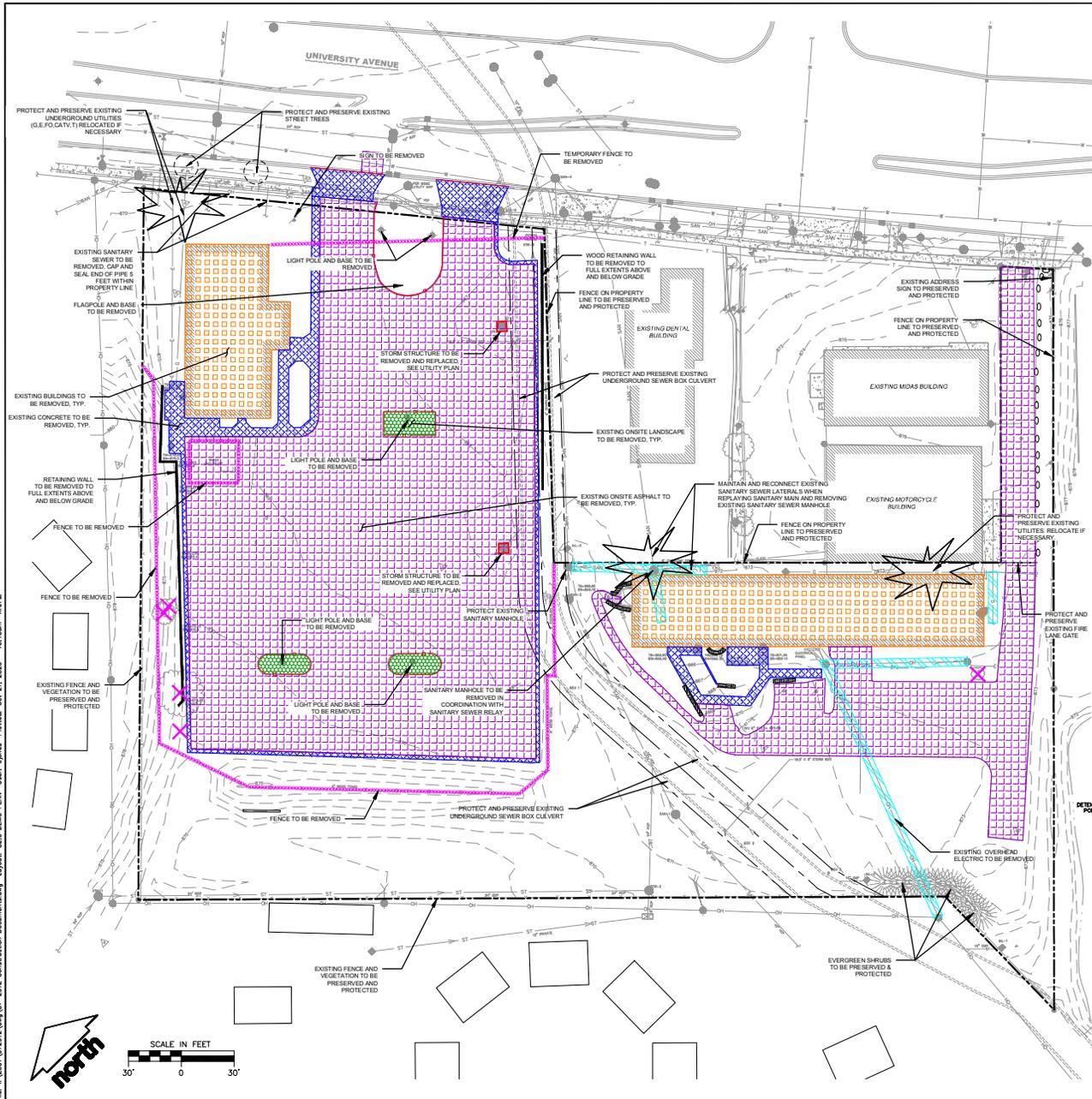
SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
C0.0



Toll Free (800) 242-9511

JSD PROJECT NO: 07-2914



LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- - - DEMOLITION - REMOVAL OF ON-SITE CURB SURFACES AND BASE COURSE
- ▨ DEMOLITION - REMOVAL OF RETAINING WALL
- ▩ DEMOLITION - REMOVAL OF ASPHALT SURFACES
- ▧ DEMOLITION - REMOVAL OF CONCRETE SURFACES
- ▦ DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
- ▤ DEMOLITION - REMOVAL OF UTILITIES
- ▥ DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
- ▣ DEMOLITION - REMOVAL OF FENCE
- REMOVE AND REPLACE STRUCTURE, SEE UTILITY PLAN
- ⊗ TREE REMOVAL
- ⊗ SHRUB REMOVAL
- PROTECT EXISTING TREE

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEMAYIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISAPPROPRIATE ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE. "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEERS AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERMITTER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. SOLIDIFIED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/TROWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- ALL LIGHT POLES WITHIN THE LIMITS OF CONSTRUCTION TO BE REMOVED.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.9669

CLIENT:
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS
PO BOX 5867
MADISON, WI 53705-0567

PROJECT:
5133 & 5237 UNIVERSITY AVE

PROJECT LOCATION:
MADISON, WI DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	01/15/2020	LAND USE LOC INITIAL
2	10/17/2020	LAND USE RESUBMITTAL
3	10/21/2020	UDC FINAL

Design/Drawn: CEJ_KA
Approved: AJB_JD

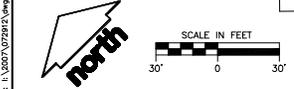
SHEET TITLE:
DEMO PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO: 07-2914



Toll Free (800) 242-9511



File: I:\2007\072912\072912.dwg User: jones Plotter: Oct 21, 2009 - 10:20am xref:



GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOO, SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TIMES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SOODING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SOODING AND/OR SEEDING AND MULCHING.
10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEED, MULCH, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRING TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

CONSTRUCTION SEQUENCING

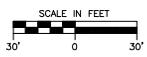
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 3. ROUGH GRADE RETENTION PONDS AND INSTALL POND OUTLETS.
 4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
 8. RESTORE RETENTION POND (FINAL GRADE RETENTION POND PER PLAN REQUIREMENTS)
 9. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

STORMWATER FACILITIES CONSTRUCTION NOTES

1. ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
3. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
5. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
7. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDMR TECH STANDARD 1004.

LEGEND

---	PROPERTY LINE	---	PROPOSED 1 FOOT CONTOUR
- - -	RIGHT-OF-WAY	---	PROPOSED 5 FOOT CONTOUR
- - -	EASEMENT LINE	---	EXISTING 1 FOOT CONTOUR
---	BUILDING OUTLINE	---	EXISTING 5 FOOT CONTOUR
---	BUILDING OVERHANG	---	DRAINAGE DIRECTION
---	EDGE OF PAVEMENT	---	GRADE BREAK
---	STANDARD CURB AND GUTTER	---	STORMWATER MANAGEMENT AREA
---	REJECT CURB AND GUTTER	---	RETAINING WALL
---	MOUNTABLE CURB AND GUTTER	---	BOULDER WALL
---	8" CONCRETE RIBBON CURB	---	RAILING
---	ASPHALT PAVEMENT	---	FENCE
---	HEAVY DUTY ASPHALT PAVEMENT	---	SPOT ELEVATION
---	CONCRETE PAVEMENT	---	EP - EDGE OF PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT	---	FG - FINISH GRADE
		---	EC - EDGE OF CONCRETE
		---	BC - BACK OF CURB
		---	MATCH - MATCH EXISTING GRADE
		---	HP - HIGH POINT
		---	SW - SIDEWALK



DIGGERS OUTLINE
Toll Free (800) 242-9511



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.9669

CLIENT:
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS:
**PO BOX 5867
MADISON, WI 53705-0567**

PROJECT:
**5133 & 5237
UNIVERSITY AVE**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

No.	Date	Description
1	01.15.2020	LAND USE UDC INITIAL
2	10.17.2020	LAND USE RESUBMITTAL
3	10.21.2020	UDC FINAL

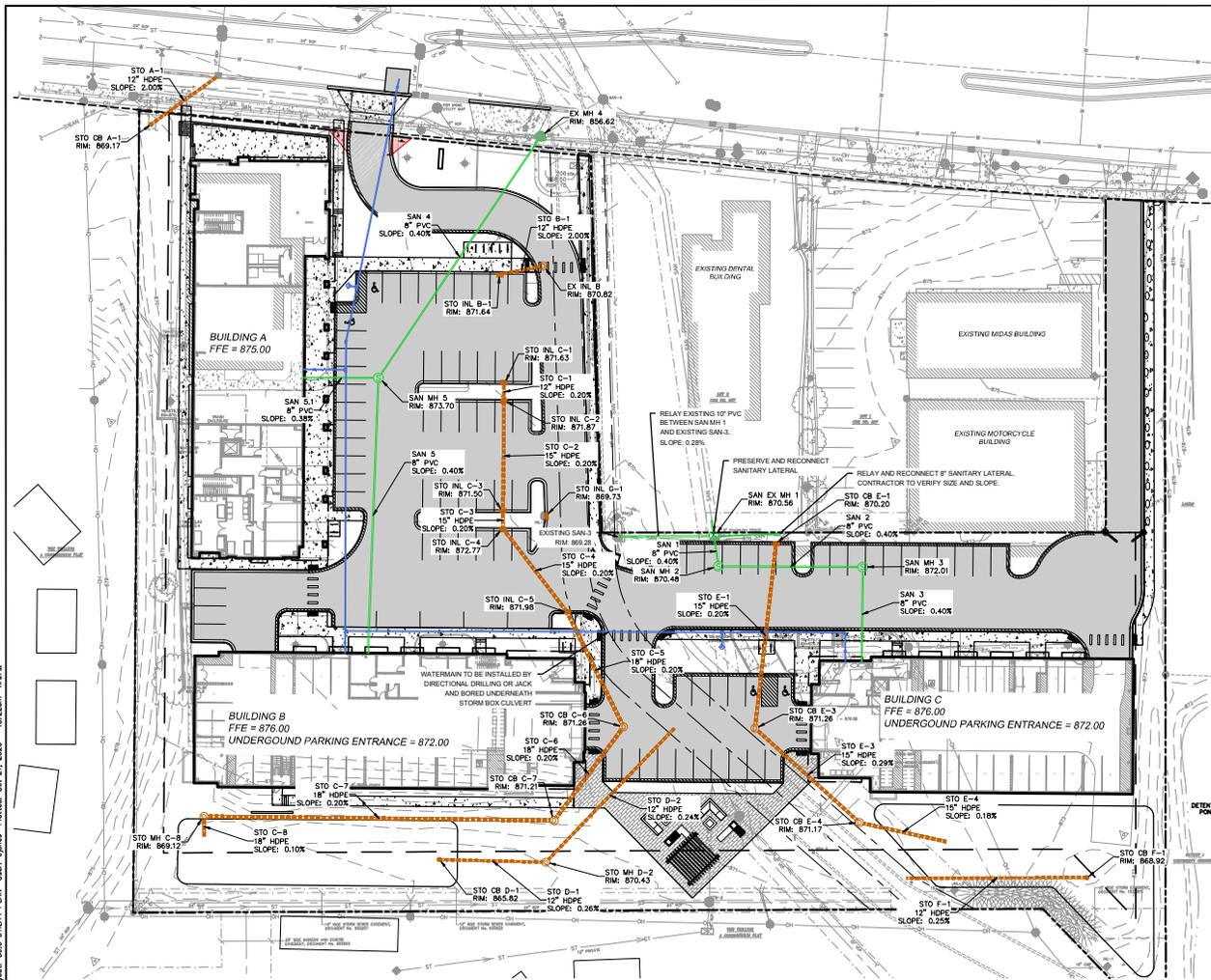
Design/Drawn: CEJ, KA
Approved: AJS, JD

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C5.0

JSD PROJECT NO: 07-2912

File: I:\2021\072912\072912.dwg User: jones Printed: Oct 21, 2020 - 10:25am xref.dwg



LEGEND	
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	MOUNTABLE CURB AND GUTTER
---	8" CONCRETE RIBBON CURB
---	ASPHALT PAVEMENT
---	HEAVY DUTY ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	STORMWATER MANAGEMENT AREA
---	RETAINING WALL
---	BOULDER WALL
---	RAILING
---	FENCE
---	SANITARY SEWER
---	WATERMAIN
---	STORM SEWER
---	8'x4'x2" INSULATION (PLAN VIEW)
---	8'x4'x2" INSULATION (PROFILE VIEW)

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WIDE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE PLAN OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -
 - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS II (MINIMUM) C-76 WITH RUBBER CASSETT JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS, OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF ASTM DESIGNATION M-294 TYPE "2".
 - INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING, CURB FRAME & GRATE SHALL BE NENAH R-3067 WITH TYPE "R" GRATE, OR EQUAL.
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN SPECIFICATIONS -
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER B.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(b).
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATIONS" WITH THE FOLLOWING MODIFICATION: COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (a). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH EACH LIFT OF BEDDING MATERIAL ENDING AT OR BELOW THE SPRING LINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE INCHOLE OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 INSULATION OF THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TP)".



CREATE THE VISION TELL THE STORY

MADISON MILWAUKEE
KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE
161 VERNON DRIVE, SUITE 101
VERNON, WISCONSIN 53593
P. 608.848.9969

CLIENT:
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS
**PO BOX 5667
MADISON, WI 53705-0567**

PROJECT:
**5133 & 5237
UNIVERSITY AVE**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS		
1.	01/15/2020	LAND USE LEGEND
2.	10/17/2020	LAND USE REVISIONS
3.	10/21/2020	UTIL. FINAL
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

Design/Drawn: CEJ, JKD
Approved: AJS, JD

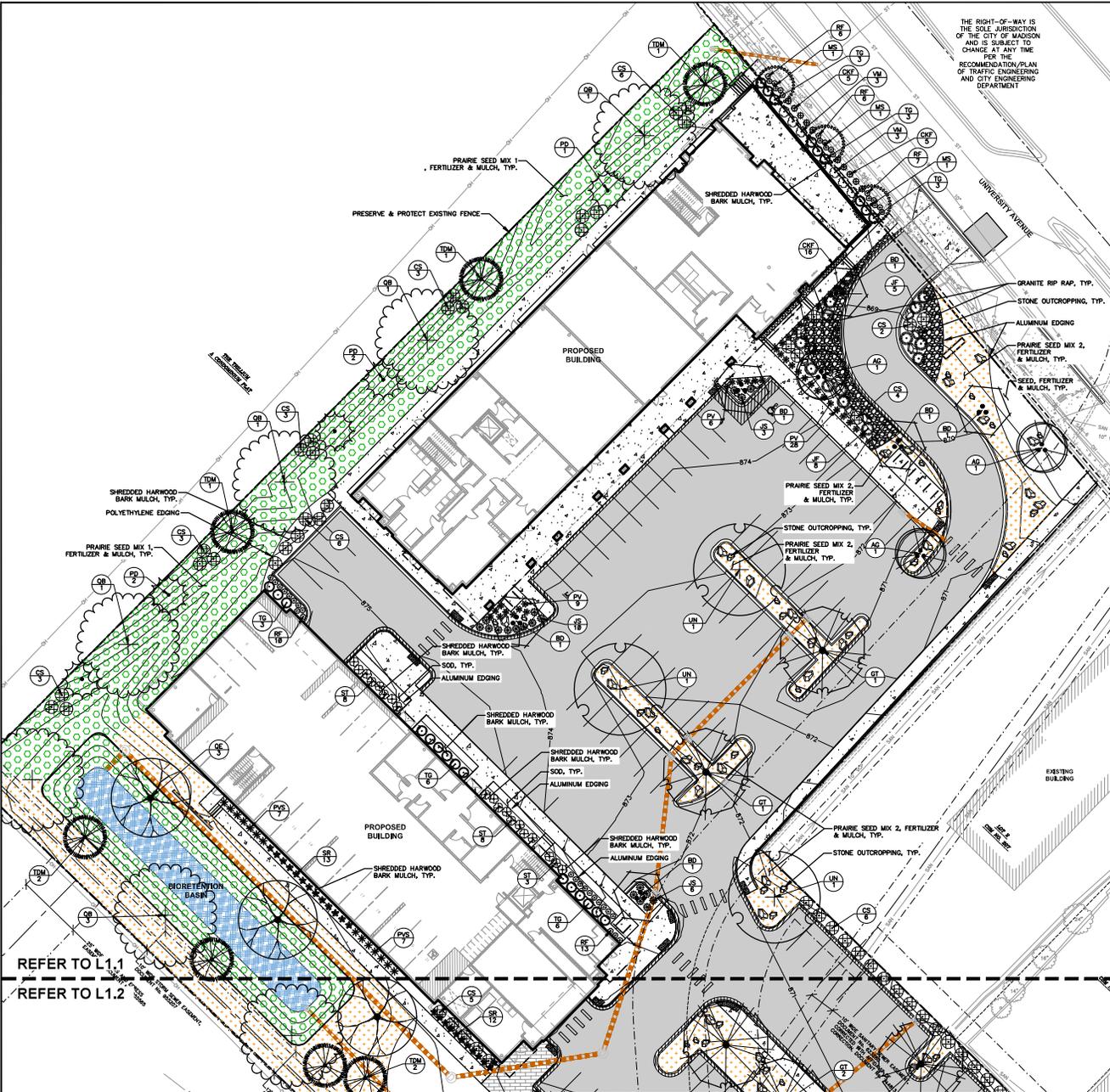
SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C6.0

JSD PROJECT NO: 07-2914

THIS DRAWING AND ALL CONTENTS ARE THE PROPERTY OF JSD PROFESSIONAL SERVICES, INC. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2007\072912\072912 Landscape.dwg Layout: L1.1 User: abrownell PlotDate: Oct 21, 2020 11:00am Ver/E: 07-2912 University Ave



THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME FOR THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

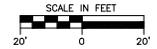
LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- STORMWATER MANAGEMENT AREA
- STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAN
- EXISTING STORM SEWER
- EXISTING FENCE
- RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BIK RACK
- LANDSCAPE EDGING
- BIORETENTION PLANTINGS (REFER TO L2.0)
- PRAIRIE SEED MIX 1 (REFER TO L2.0)
- PRAIRIE SEED MIX 2 (REFER TO L2.0)
- GRANITE RIP RAP

PLANT SCHEDULE

ORNA/MENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AG	American Elm / grandiflora Autumn Balance / Autumn Balance Serviceberry
	BD	Belted Hinge "BIMBT" TM / Dura Heat River Birch
	MB	Malus x Spring Snow / Spring Snow Crab-Apple
	AS	Acer saccharum / Sugar Maple
	GT	Gleditsia triacanthos f. inermis / Thornless Honeylocust
	QR	Quercus bicolor / Swamp White Oak
	DE	Quercus alba / Northern Pin Oak
	TM	Taxodium distichum / Michauxia / Swamp Brake Bald Cypress
	UN	Ulmus x New Horizon / New Horizon Elm
	PD	Prunella domestica / Black Hills Apricot
	CS	Cornus sericea / Pawnee / Sodic Fire Red Twig Dogwood
	SF	Spiraea salicifolia / Tor / Broomed Spirea
	VM	Viburnum dentatum / Blue Muffin / Blue Muffin Arrowwood Viburnum
	JN	Juncus chinensis / Sea Green / Sea Green Juniper
	JS	Juncus subnana / Sky Arcuate / Mini Arcuate Juniper
	TG	Taxus canadensis / Dark Green / Dark Green Yew
	CRP	Casuarina equisetifolia / Karri Pencil / Feather Reed Grass
	PV	Panicum virgatum / North Wind / Nathaniel Swanik Grass
	PKV	Panicum virgatum / Shendash / Shendash Red Switch Grass
	NF	Nyctaginia flexilis / Black-Eyed Susan Coreopsis
	BR	Berberis vulgaris / Fireweed / Strikeweed Galium
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME
	AS	Acer saccharum / Sugar Maple
	GT	Gleditsia triacanthos f. inermis / Thornless Honeylocust
	QR	Quercus bicolor / Swamp White Oak
	DE	Quercus alba / Northern Pin Oak
	TM	Taxodium distichum / Michauxia / Swamp Brake Bald Cypress
	UN	Ulmus x New Horizon / New Horizon Elm
TALL EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PD	Prunella domestica / Black Hills Apricot
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME
	CS	Cornus sericea / Pawnee / Sodic Fire Red Twig Dogwood
	SF	Spiraea salicifolia / Tor / Broomed Spirea
	VM	Viburnum dentatum / Blue Muffin / Blue Muffin Arrowwood Viburnum
	JN	Juncus chinensis / Sea Green / Sea Green Juniper
	JS	Juncus subnana / Sky Arcuate / Mini Arcuate Juniper
	TG	Taxus canadensis / Dark Green / Dark Green Yew
ORNA/MENTAL GRASSES/PERENNIALS	CODE	BOTANICAL / COMMON NAME
	CRP	Casuarina equisetifolia / Karri Pencil / Feather Reed Grass
	PV	Panicum virgatum / North Wind / Nathaniel Swanik Grass
	PKV	Panicum virgatum / Shendash / Shendash Red Switch Grass
	NF	Nyctaginia flexilis / Black-Eyed Susan Coreopsis
	BR	Berberis vulgaris / Fireweed / Strikeweed Galium

REFER TO L1.1
REFER TO L1.2





JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS
PO BOX 5567
MADISON, WI 53705-0567

PROJECT:
5133 & 5237 UNIVERSITY AVE

PROJECT LOCATION:
MADISON, WI DANE COUNTY

PLAN MODIFICATIONS		
#	Date	Description
1	01.15.2020	LAND USE LOD INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
3	10.21.2020	LOD FINAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		

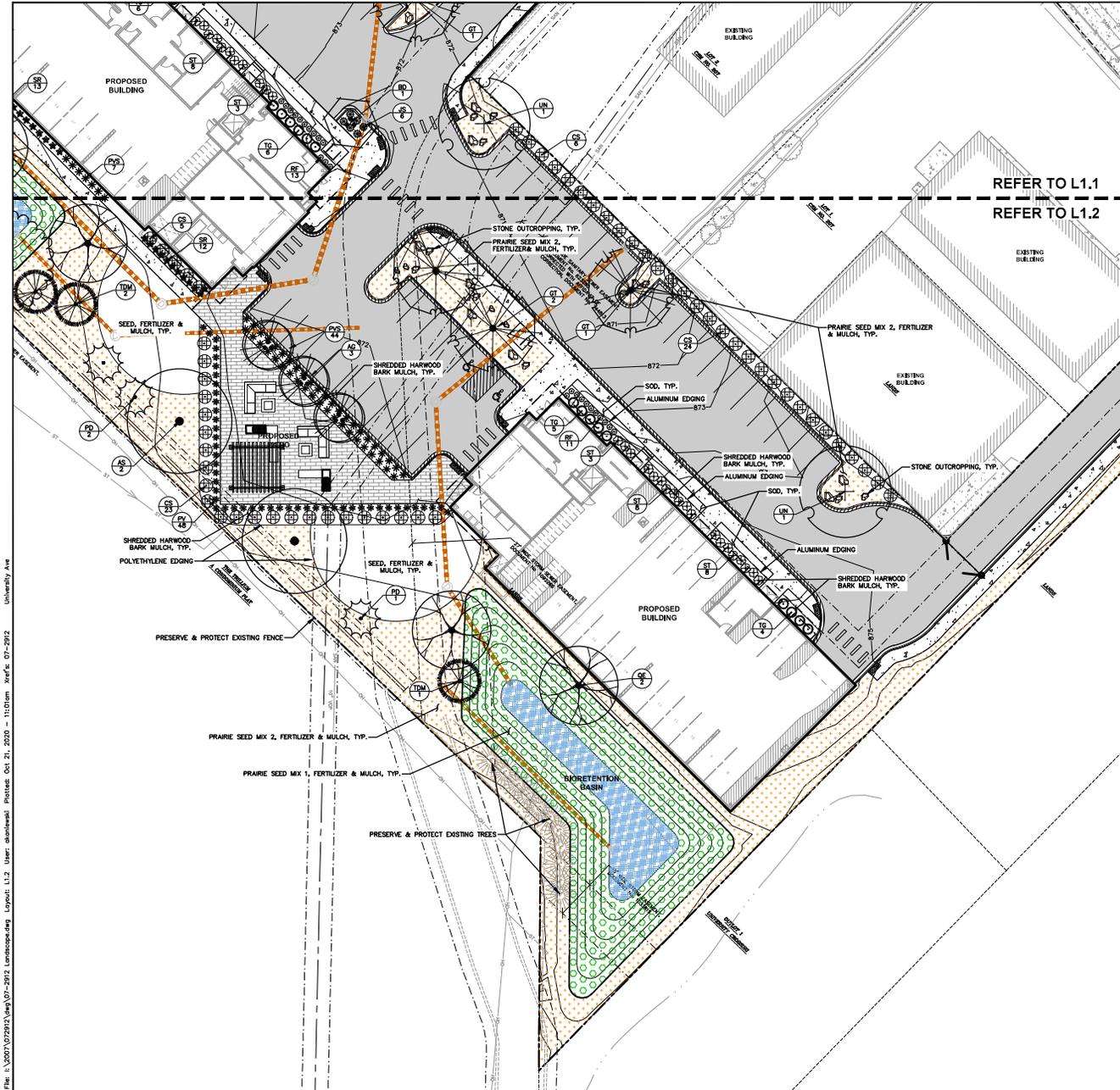
Design/Drawn: HJS
Approved: MAS

SHEET TITLE
DETAILED LANDSCAPE PLAN

SHEET NUMBER
L1.1

ISS PROJECT NO: 07-2912

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



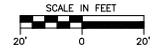
REFER TO L1.1
REFER TO L1.2

LEGEND

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ▭ BUILDING OUTLINE
- ▭ EDGE OF PAVEMENT
- ▭ STANDARD CURB AND GUTTER
- ▭ REJECT CURB AND GUTTER
- ▭ MOUNTABLE CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- 959 PROPOSED 1 FOOT CONTOUR
- 959 EXISTING 1 FOOT CONTOUR
- STORMWATER MANAGEMENT AREA
- STORM SEWER
- SAN EXISTING SANITARY SEWER
- W EXISTING WATERMAIN
- ST EXISTING STORM SEWER
- X EXISTING FENCE
- RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- ▭ BIKE RACK
- ▭ LANDSCAPE EDGING
- ▭ BIORETENTION PLANTINGS (REFER TO L2.0)
- ▭ PRAIRIE SEED MIX 1 (REFER TO L2.0)
- ▭ PRAIRIE SEED MIX 2 (REFER TO L2.0)
- ▭ GRANITE RIP RAP

PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	AG	Arcadia/Prunus x grandiflora Autumn Balance / Autumn Balance Serviceberry
	BD	Betula nigra 'BIMATT' TM / Dura Heat River Birch
	MB	Malus x Spring Snow / Spring Snow Crab-Apple
	AS	Acer saccharum / Sugar Maple
	GT	Gleditsia inaequalis / Inermis / Thornless Honeylocust
	QR	Quercus alba / Swamp White Oak
	DE	Quercus ellipsoides / Northern Pin Oak
	TEM	Taxodium distichum 'Mikolston' / Shawnee Brave Bald Cypress
	UN	Ulmus x New Horizon / New Horizon Elm
	PD	Prunella domestica / Black Hills Spice
	CS	Cornus sericea 'Farrow' / Farrow Fire Red Twp Dogwood
	SF	Spiraea salicifolia 'Tor' / Broomed Spirea
	VM	Viburnum dentatum 'Blue Muffin' / Blue Muffin Arrowwood Viburnum
	JS	Juncus subnana 'Mini Arcadia' / Mini Arcadia Juniper
	TG	Taxus x media 'Zanti Green' / Zanti Green Yew
	DRP	Desmodium illinoense / Black Hills Spice
	PV	Panicum virgatum 'North Wind' / Northwind Switch Grass
	PKG	Panicum virgatum 'Shenandoah' / Shenandoah Red Switch Grass
	NF	Nyctaginia spicata 'Black-eyed Susan Convolvulus'
	BR	Berberis vulgaris 'Fireworks' / Fireworks Barberry



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
141 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53599
P. 608.848.5060

CLIENT
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS
PO BOX 5567
MADISON, WI 53705-0567

PROJECT:
5133 & 5237 UNIVERSITY AVE

PROJECT LOCATION:
MADISON, WI DANE COUNTY

PLAN MODIFICATIONS

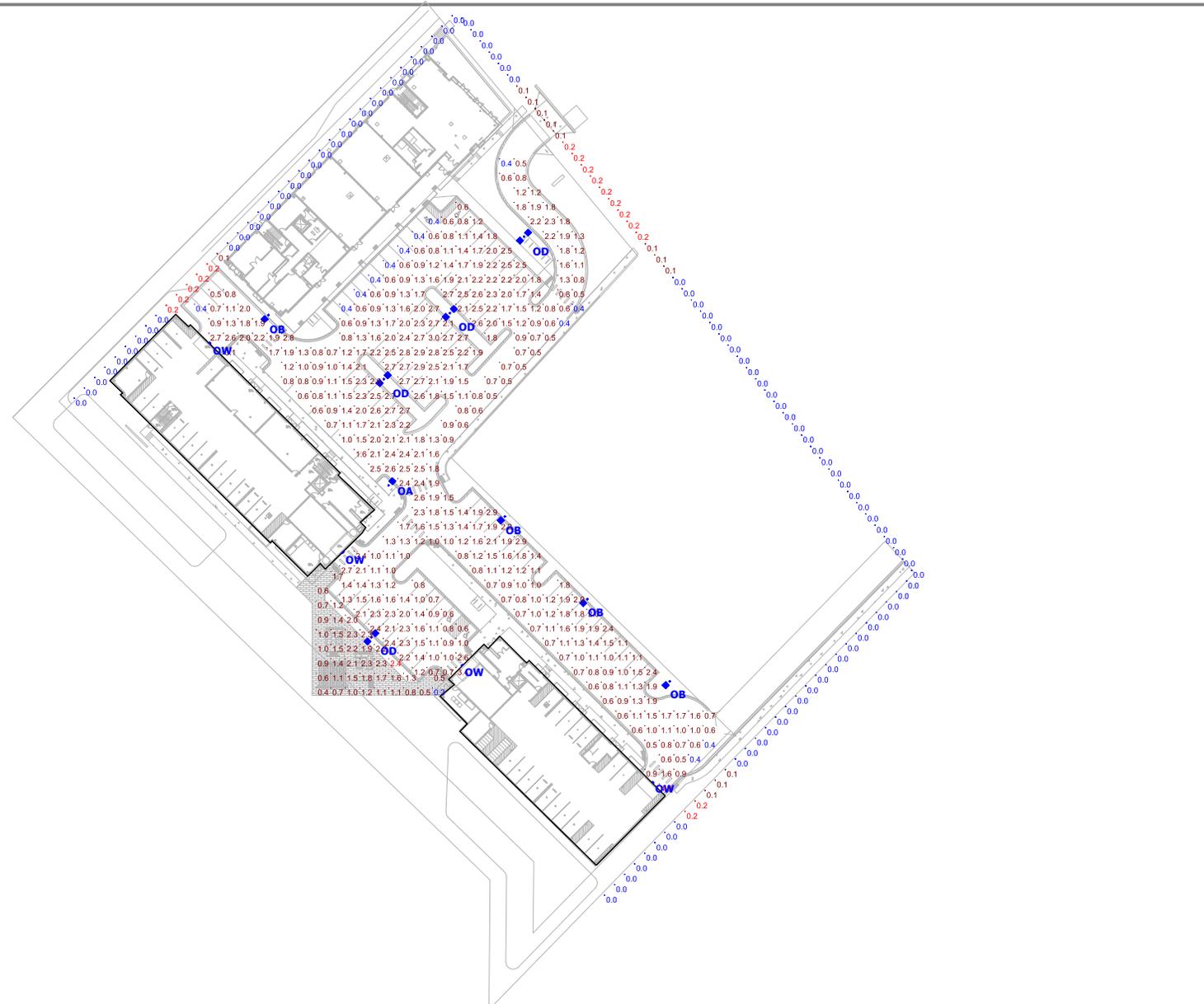
#	Date	Description
1	01.15.2020	LAND USE LOC INITIAL
2	04.17.2020	LAND USE RESUBMITTAL
3	10.21.2020	LOC FINAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **HLS**
Approved: **MAS**

SHEET TITLE
DETAILED LANDSCAPE PLAN

SHEET NUMBER
L1.2

ISS PROJECT NO: 07-2012



Plan View
Scale: 1" = 35'

Schedule				
Symbol	Label	Quantity	Manufacturer	Catalog Number
	OA	1	LUMARK	PRV SERIES
	OB	4	LUMARK	PRV SERIES
	OD	4	LUMARK	PRV SERIES
	OW	4	LUMARK	CROSSTOUR SERIES

Statistics						
Description	Symbol	Avg	Min	Max	Max/Min	Avg/Min
PARKING LOT	+	1.5 fc	0.4 fc	4.0 fc	10.0:1	3.8:1
PATIO	◇	1.4 fc	0.3 fc	2.4 fc	8.0:1	4.7:1
PROPERTY LINE	X	0.0 fc	0.0 fc	0.2 fc	N/A	N/A

Designer
Date
6/4/2019
Scale
Not to Scale
Drawing No.

Summary

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

PRV / PRV-XL Prevail LED

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Configurations [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

Product Certifications



Product Features

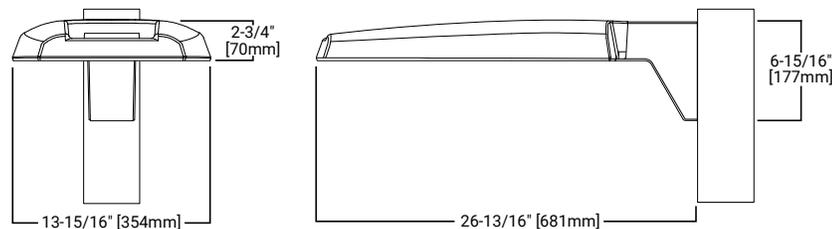


Quick Facts

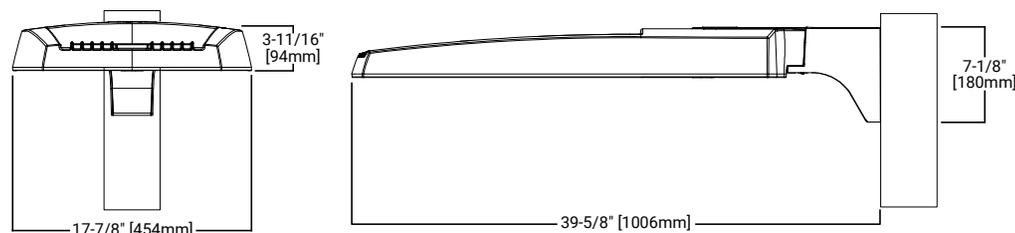
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Prevail



Prevail XL



Ordering Information

SAMPLE NUMBER: PRV-XL-C75-D-UNV-T4-SA-BZ

Product Family ^{1,2}	Light Engine ³	Driver	Voltage	Distribution	Mounting (Included)	Color
PRV=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	D=Dimming (0-10V)	UNV=Universal (120-277V) 347=347V 480=480V ⁴	T2=Type II T3=Type III T4=Type IV T5=Type V	SA=Standard Versatile Arm MA=Mast Arm WM=Wall Mount Arm	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Coastal Construction
PRV-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens					

Options (Add as Suffix)	Accessories (Order Separately) ¹⁸
7030=70 CRI / 3000K CCT ⁵ 7050=70 CRI / 5000K CCT ⁵ HSS=House Side Shield ⁶ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right 10K=10kV UL 1449 Fused Surge Protective Device 20MSP=20kV MOV Surge Protective Device 20K=20kV UL 1449 Fused Surge Protective Device HA=50°C High Ambient Temperature ⁷ PER=NEMA 3-PIN Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height ^{8,9} MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height ^{8,9} MSP-L12=Integrated Sensor ON/OFF Operation, 8' - 12' Mounting Height ^{8,9} MSP-L30=Integrated Sensor ON/OFF Dimming Operation, 12' - 30' Mounting Height ^{8,9} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{9,10} MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{9,10} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{9,10} MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ^{9,10} ZD=DAL-enabled 4-PIN Twistlock Receptacle ^{9,11,12} ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle ^{9,11,12} SWPD4XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{9,11,12,13,14} SWPD5XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{9,11,12,13,14} LWR-LW=Enlighted Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{9,15} LWR-LN=Enlighted Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{9,15} (See Table Below)=LumenSafe Integrated Network Security Camera ^{16,17}	PRVWM-XX=Wall Mount Kit ⁸ PRVMA-XX=Mast Arm Mounting Kit ⁸ PRVSA-XX=Standard Arm Mounting Kit ⁸ PRVXLSA-XX=Standard Arm Mounting Kit (for Prevail XL) ¹⁶ PRVXLWM-XX=Wall Mount Kit (for Prevail XL) ¹⁶ PRVXLMA-XL=Mast Arm Mounting Kit (for Prevail XL) ¹⁶ MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon HS/VERD=House Side Shield ^{6,19} VGS-F/B=Vertical Glare Shield, Front/Back ¹⁹ VGS-SIDE=Vertical Glare Shield, Side ¹⁹ OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V ISHH-01=Integrated Sensor Programming Remote ²⁰ FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²¹ SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{12,13,14} SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{12,13,14} WOLC-7P-10A=Wavelinx Outdoor Control Module (7-PIN) ²²

NOTES:

- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WPS13001EN for additional support information.
- Standard 4000K CCT and 70CRI.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Use dedicated IES files on product website for non-standard CCTs.
- Option will come factory-installed. House Side Shield not suitable with T5 distribution or C60 lumen package.
- Not available with C60 lumen package.
- Only available in PRV configurations C15, C25, C40 or C60.
- Controls system is not available with photocontrol receptacle (PER or PER7) or other controls systems (MS, MSP, ZW, ZD or LWR).
- Utilizes the Wattstopper sensor FSP-211.
- Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F).
- For the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more WaveLinx application information.
- Replace XX with sensor color (WH, BZ, or BK).
- Requires 4-PIN twistlock receptacle (ZD or ZW) option.
- Enlighted wireless sensors are factory installed and require network components LWP-EM-1, LWP-GW-1, and LWP-PoE8 in appropriate quantities. See website for application information.
- Only available in PRV-XL configurations C75, C100, C125, C150, or C175.
- Not available with 347V, 480V, or HA options. Consult LumenSafe system product pages for additional details and compatibility information.
- Replace XX with paint color.
- Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 4, or 6).
- This tool enables adjustment to Integrated Sensor (MSP) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, MSP, ZW, ZD or LWR). Operates on 120-347V input voltages.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Dome Camera	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking

Stock Ordering Information

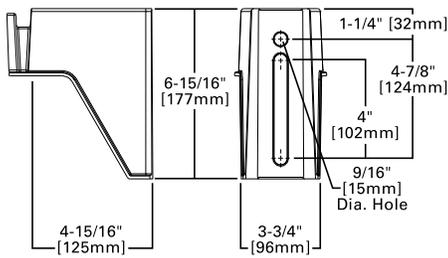
Product Family ¹	Light Engine	Voltage	Distribution	Options (Add as Suffix)
PRVS=Prevail	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LEDs) 13,100 Nominal Lumens C40=(2 LEDs) 17,100 Nominal Lumens C60=(2 LEDs) 20,000 Nominal Lumens	UNV=Universal (120-277V) 347=347V ²	T3=Type III T4=Type IV	MSP/DIM-L30=Integrated Sensor for Dimming Operation, Maximum 30' Mounting Height ²
PRVS-XL=Prevail XL	C75=(4 LED) 26,100 Nominal Lumens C100=(4 LED) 31,000 Nominal Lumens C125=(4 LED) 36,000 Nominal Lumens C150=(6 LED) 41,100 Nominal Lumens C175=(6 LED) 48,600 Nominal Lumens			

NOTES:

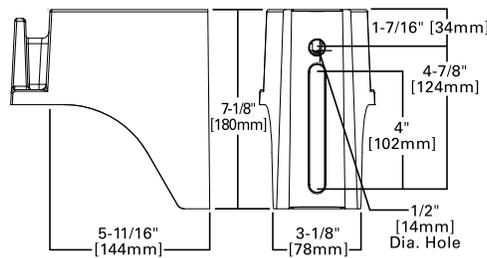
- All stock configurations are standard 4000K/70CRI, bronze finish, and include the standard versatile mounting arm.
- Only available in PRVS configurations C15, C25, C40 or C60.

Mounting Details

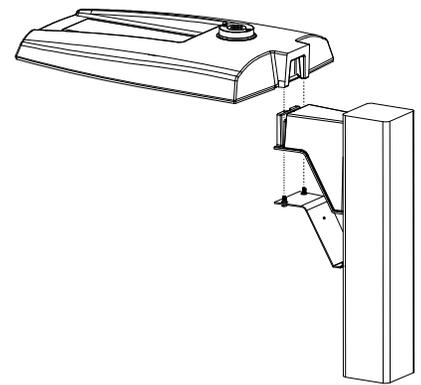
Pole Mount Arm (PRV)



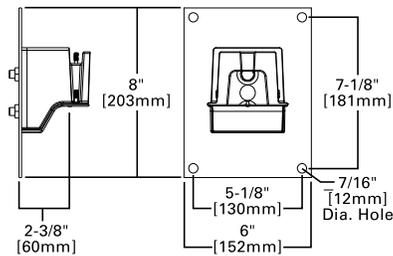
Pole Mount Arm (PRV-XL)



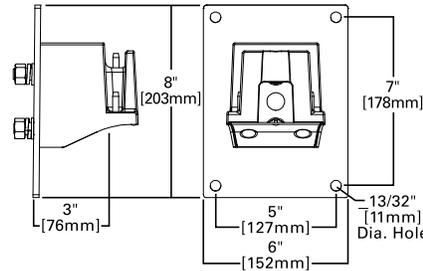
Versatile Mount System



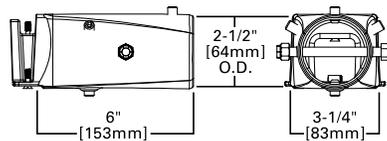
Wall Mount (PRV)



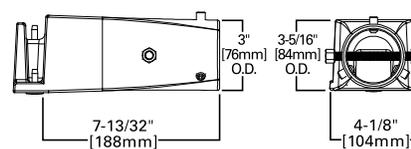
Wall Mount (PRV-XL)



Mast Arm Mount (PRV)



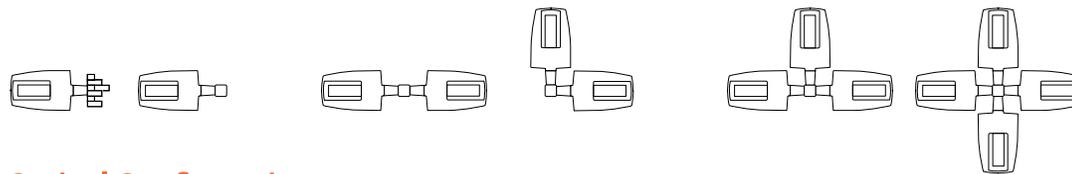
Mast Arm Mount (PRV-XL)



Mounting Configurations and EPAs

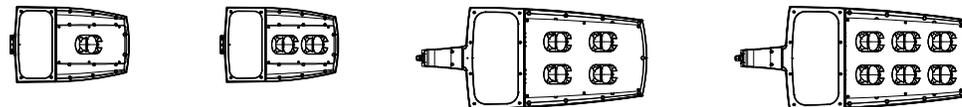
NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

Wall Mount	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
EPA 0.92 (PRV)	EPA 1.35 (PRV)	EPA 1.35 (PRV)	EPA 1.42 (PRV)	EPA 1.63 (PRV)	EPA 1.63 (PRV)
EPA 1.12 (PRV-XL)	EPA 1.12 (PRV-XL)	EPA 2.25 (PRV-XL)	EPA 2.13 (PRV-XL)	EPA 2.52 (PRV-XL)	EPA 2.52 (PRV-XL)



Optical Configurations

PRV-C15	PRV-C25/C40/C60	PRV-XL-C75/C100/C125	PRV-XL-C150/C175
(7,100 Nominal Lumens)	(13,100/17,100/20,000 Nominal Lumens)	(26,100/31,000/36,300 Nominal Lumens)	(41,100/48,600 Nominal Lumens)



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion

- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8"
- A knock-out on the standard mounting arm enables round pole mounting
- Prevail: 3G vibration rated
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)

Energy and Performance Data

Power and Lumens (PRV)

 [View PRV IES files](#)

Light Engine	C15	C25	C40	C60	
Power (Watts)	52	96	131	153	
Input Current @ 120V (A)	0.43	0.80	1.09	1.32	
Input Current @ 277V (A)	0.19	0.35	0.48	0.57	
Input Current @ 347V (A)	0.17	0.30	0.41	0.48	
Input Current @ 480V (A)	0.12	0.22	0.30	0.35	
Distribution					
Type II	4000K Lumens	7,123	13,205	17,172	20,083
	BUG Rating	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3
	3000K Lumens	6,994	12,965	16,860	19,718
Type III	4000K Lumens	7,111	13,183	17,144	20,050
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4
	3000K Lumens	6,982	12,944	16,832	19,686
Type IV	4000K Lumens	7,088	13,140	17,087	19,984
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5
	3000K Lumens	6,959	12,901	16,777	19,621
Type V	4000K Lumens	7,576	14,045	18,264	21,360
	BUG Rating	B3-U0-G3	B4-U0-G3	B4-U0-G4	B5-U0-G4
	3000K Lumens	7,438	13,790	17,932	20,972

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Up to PRV-C60 at 25°C	91.30%	194,000
Up to PRV-C60 at 40°C	87.59%	134,000
Up to PRV-XL-C175 at 25°C	91.40%	204,000
Up to PRV-XL-C175 at 40°C	89.41%	158,000

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

Power and Lumens (PRV-XL)

 [View PRV-XL IES files](#)

Light Engine	C75	C100	C125	C150	C175	
Power (Watts)	176	217	264	285	346	
Input Current @ 120V (A)	1.50	1.84	2.21	2.38	2.92	
Input Current @ 277V (A)	0.66	0.82	0.97	1.04	1.25	
Input Current @ 347V (A)	0.54	0.66	0.79	0.84	1.02	
Input Current @ 480V (A)	0.40	0.48	0.57	0.62	0.74	
Distribution						
Type II	4000K Lumens	26,263	31,231	36,503	41,349	48,876
	BUG Rating	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G5
	3000K Lumens	25,786	30,664	35,840	40,598	47,989
Type III	4000K Lumens	26,120	31,061	36,304	41,124	48,610
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	3000K Lumens	25,646	30,497	35,645	40,377	47,727
Type IV	4000K Lumens	26,098	31,035	36,274	41,089	48,569
	BUG Rating	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	3000K Lumens	25,624	30,471	35,615	40,343	47,687
Type V	4000K Lumens	28,129	33,450	39,097	44,287	52,349
	BUG Rating	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	3000K Lumens	27,618	32,843	38,387	43,483	51,398

Control Options

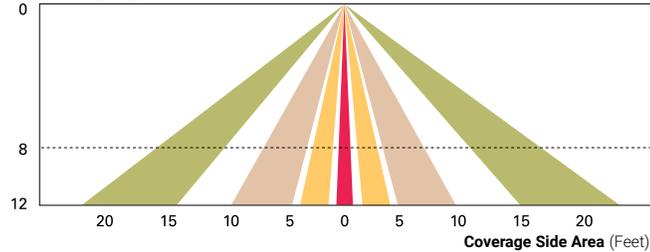
0-10V (D) The dimming option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PER and PER7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

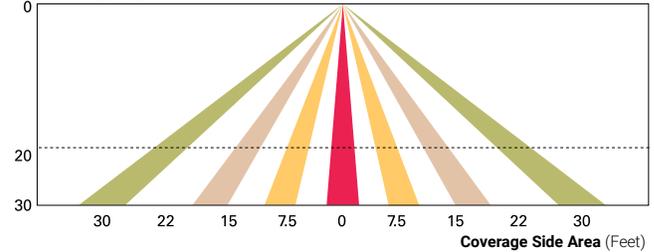
Dimming Occupancy Sensor (MSP and MS) These sensors are factory installed in the luminaire housing. When a sensor for dimming operation (/DIM) option is selected, the luminaire will dim down to approximately 50 percent power after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation is selected, the luminaire will turn off after five minutes of no activity.

These occupancy sensors include an integral photocell that can be activated or inactivated with the programming remote / configuration tool for "dusk-to-dawn" control or "daylight harvesting". **Note:** For MSP sensors, the factory preset is ON (Enabled), and for MS sensors, the factory preset is OFF (Disabled). The programming remote / tool is a wireless tool that can be utilized to change the dimming level, time delay, sensitivity and other parameters. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 8'-40'.

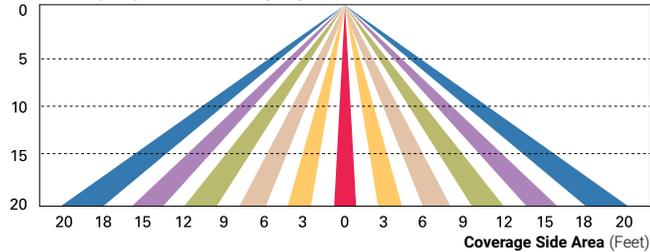
For mounting heights from 8' to 12' (-L12)



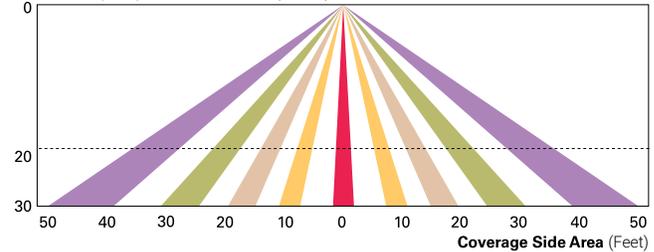
For mounting heights from 12' to 30' (-L30)



For mounting heights from 9' to 20' (-L20)



For mounting heights from 21' to 40' (-L40W)

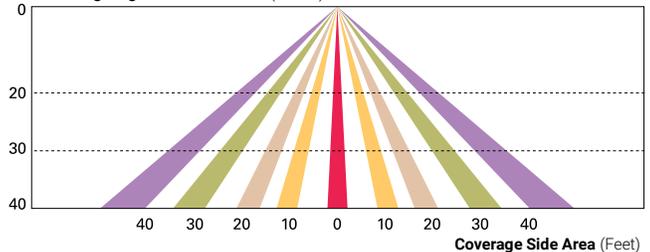


WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinx Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

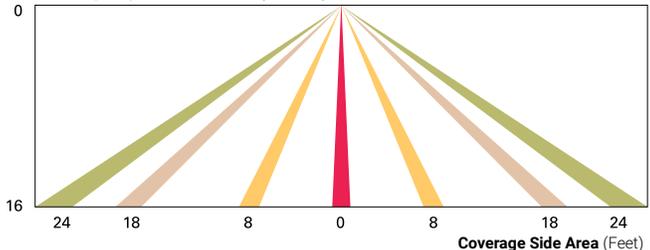
WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

For mounting heights from 16' to 40' (SWPD)

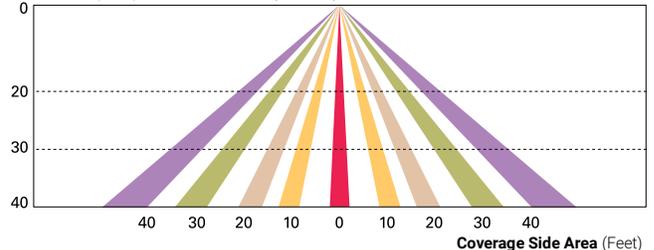


Enlighted Wireless Control and Monitoring System (LWR-LW and LWR-LN) The Enlighted System is a connected lighting solution that combines LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of other resources beyond lighting.

For mounting heights from 8' to 16' (LWR-LW)



For mounting heights from 16' to 40' (LWR-LN)



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized

Catalog #		Type
Project		
Comments		Date
Prepared by		

electrical wiring compartment.

Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

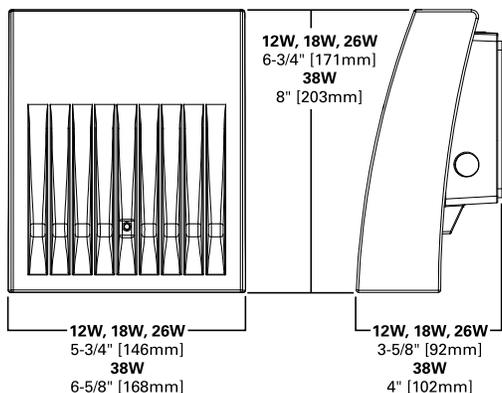
Five-year warranty.



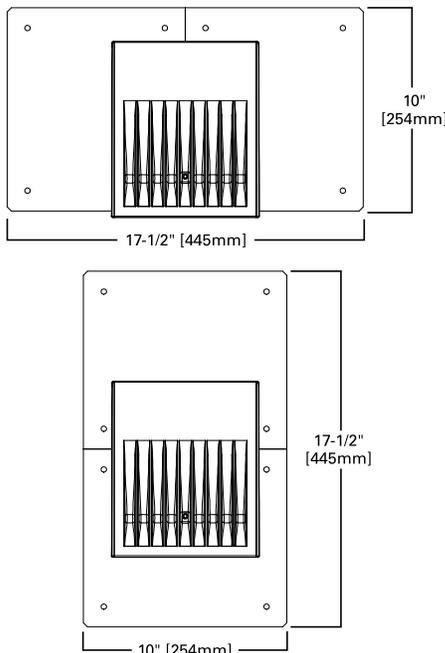
XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA

Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant
DesignLights Consortium® Qualified*

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.):
XTOR1B, XTOR2B, XTOR3B=0.34
XTOR4B=0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

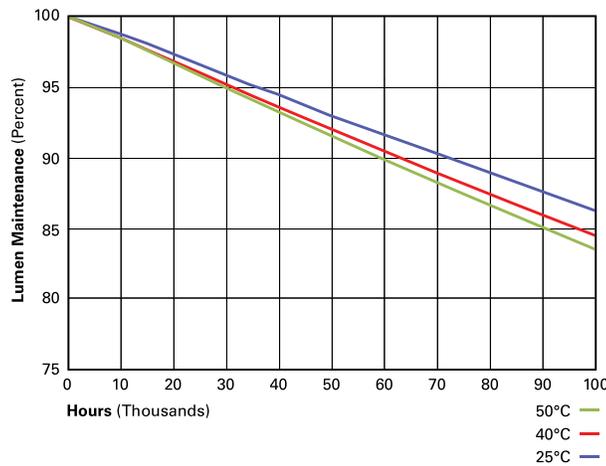
POWER AND LUMENS BY FIXTURE MODEL

LED Information	XTOR1B	XTOR1B-W	XTOR1B-Y	XTOR2B	XTOR2B-W	XTOR2B-Y	XTOR3B	XTOR3B-W	XTOR3B-Y	XTOR4B	XTOR4B-W	XTOR4B-Y
Delivered Lumens (Wall Mount)	1,418	1,396	1,327	2,135	2,103	1,997	2,751	2,710	2,575	4,269	4,205	3,995
Delivered Lumens (With Flood Accessory Kit) ¹	1,005	990	940	1,495	1,472	1,399	2,099	2,068	1,965	3,168	3,121	2,965
B.U.G. Rating ²	B1-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0								
CCT (Kelvin)	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000	5,000	4,000	3,000
CRI (Color Rendering Index)	70	70	70	70	70	70	70	70	70	70	70	70
Power Consumption (Watts)	12W	12W	12W	18W	18W	18W	26W	26W	26W	38W	38W	38W

NOTES: **1** Includes shield and visor. **2** B.U.G. Rating does not apply to floodlighting.

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1B Model		
25°C	> 90%	255,000
40°C	> 89%	234,000
50°C	> 88%	215,000
XTOR2B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR3B Model		
25°C	> 89%	240,000
40°C	> 88%	212,000
50°C	> 87%	196,000
XTOR4B Model		
25°C	> 89%	222,000
40°C	> 87%	198,000
50°C	> 87%	184,000



CURRENT DRAW

Voltage	Model Series			
	XTOR1B	XTOR2B	XTOR3B	XTOR4B
120V	0.103A	0.15A	0.22A	0.34A
208V	0.060A	0.09A	0.13A	0.17A
240V	0.053A	0.08A	0.11A	0.17A
277V	0.048A	0.07A	0.10A	0.15A
347V	0.039A	0.06A	0.082A	0.12A

ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1B =Small Door, 12W XTOR2B =Small Door, 18W XTOR3B =Small Door, 26W XTOR4B =Medium Door, 38W	[Blank] =Bright White (Standard), 5000K W =Neutral White, 4000K Y =Warm White, 3000K	[Blank] =Carbon Bronze (Standard) WT =Summit White BK =Black BZ =Bronze AP =Grey GM =Graphite Metallic DP =Dark Platinum	PC1 =Photocontrol 120V ² PC2 =Photocontrol 208-277V ^{2,3} 347V =347V ⁴ HA =50°C High Ambient ⁴	WG/XTOR =Wire Guard ⁵ XTORFLD-KNC =Knuckle Floodlight Kit ⁶ XTORFLD-TRN =Trunnion Floodlight Kit ⁶ XTORFLD-KNC-WT =Knuckle Floodlight Kit, Summit White ⁶ XTORFLD-TRN-WT =Trunnion Floodlight Kit, Summit White ⁶ EWP/XTOR =Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT =Escutcheon Wall Plate, Summit White

NOTES:

1. DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
2. Photocontrols are factory installed.
3. Order PC2 for 347V models.
4. Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
5. Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
6. Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

12W Series	18W Series	26W Series	38W Series
XTOR1B =12W, 5000K, Carbon Bronze	XTOR2B =18W, 5000K, Carbon Bronze	XTOR3B =26W, 5000K, Carbon Bronze	XTOR4B =38W, 5000K, Carbon Bronze
XTOR1B-WT =12W, 5000K, Summit White	XTOR2B-W =18W, 4000K, Carbon Bronze	XTOR3B-W =26W, 4000K, Carbon Bronze	XTOR4B-W =38W, 4000K, Carbon Bronze
XTOR1B-PC1 =12W, 5000K, 120V PC, Carbon Bronze	XTOR2B-WT =18W, 5000K, Summit White	XTOR3B-WT =26W, 5000K, Summit White	XTOR4B-WT =38W, 5000K, Summit White
XTOR1B-W =12W, 4000K, Carbon Bronze	XTOR2B-PC1 =18W, 5000K, 120V PC, Carbon Bronze	XTOR3B-PC1 =26W, 5000K, 120V PC, Carbon Bronze	XTOR4B-PC1 =38W, 5000K, 120V PC, Carbon Bronze
	XTOR2B-W-PC1 =18W, 4000K, 120V PC, Carbon Bronze	XTOR3B-W-PC1 =26W, 4000K, 120V PC, Carbon Bronze	XTOR4B-W-PC1 =38W, 4000K, 120V PC, Carbon Bronze
	XTOR2B-347V =18W, 5000K, Carbon Bronze, 347V	XTOR3B-347V =26W, 5000K, Carbon Bronze, 347V	XTOR4B-347V =38W, 5000K, Carbon Bronze, 347V
	XTOR2B-WT-PC1 =18W, 5000K, 120V PC, Summit White	XTOR3B-PC2 =26W, 5000K, 208-277V PC, Carbon Bronze	

DEGEN UNIVERSITY AVENUE MIXED-USE

MADISON, WISCONSIN



UDC FINAL

NOVEMBER 4, 2020



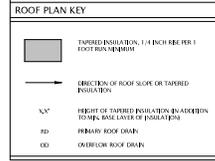
JLA
ARCHITECTS

JLA PROJECT NUMBER: 18-1112

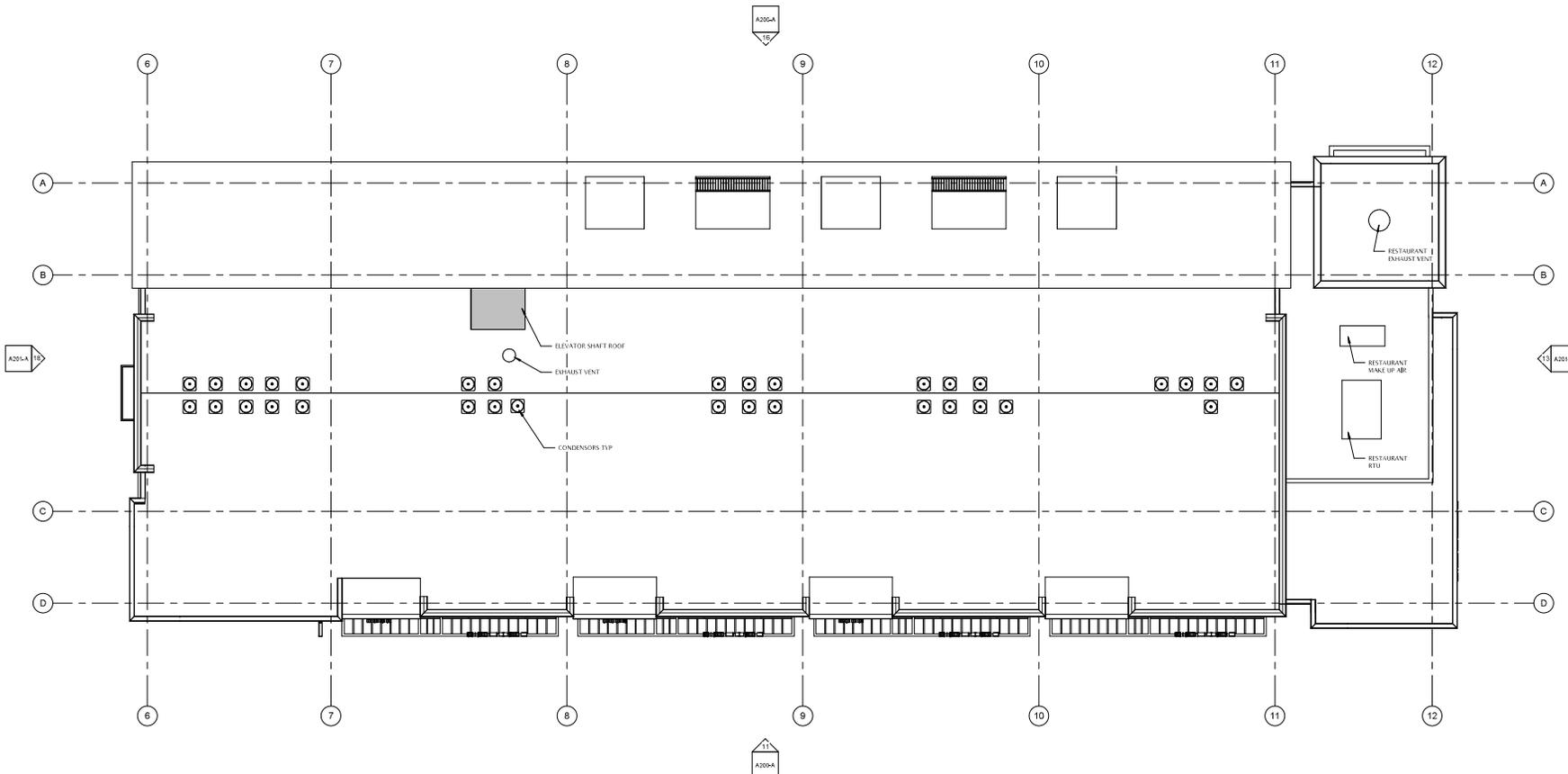
DEGEN UNIVERSITY AVENUE MIXED-USE - BUILDING 'A'
MULTI-FAMILY BUILDING DA 'A'
September 14, 2020

BUILDING DATA	1-BEDROOM UNITS				2-BEDROOM UNITS				3-BEDROOM UNITS				TOTALS		
	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #	UNIT #
REAR	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115
Area	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Perimeter	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Volume	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Weight	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Countdown	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Total	4,284	4,484	4,484	4,484	4,484	4,484	4,484	4,484	4,484	4,484	4,484	4,484	4,484	4,484	4,484
Unit Breakdown	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115
Area	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Perimeter	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Volume	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121
Weight	1,077	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121	1,121

NOTE: Final Unit Counts, Types, Mix, and Size are subject to change. The Total Unit Count & Density has been developed by the Approved HUD/GEF Package and subsequently approved HUD/GEF Package.
All measured units are accounted for on the Base unit type.



- ROOF PLAN NOTES**
- 1) MAIN ROOF SHALL BE ASSEMBLY WR-CAL UNLESS NOTED OTHERWISE. TOP ROOF OF THESE SHALL BE COVERED BY 1" OF FIBER CEMENT BOARDING TO PROVIDE ROOF FINISHING. SEE ASH FOR ROOF ASSEMBLY SPECIFICATIONS.
 - 2) PROVIDE TYPED INDICATION BOARD WHERE NECESSARY OVER ROOF ASSEMBLY TO INDICATE 1/4" OF FIBER CEMENT BOARDING TO ROOF DRAIN. PROVIDE A 1/4" PER FOOT OVERLAP FOR TYPED INDICATIONS. PROVIDE 1/4" OVERLAP FOR TYPED INDICATIONS.
 - 3) PROVIDE 1/4" TYPED INDICATION BOARD OVER ROOF ASSEMBLY TO INDICATE 1/4" OF FIBER CEMENT BOARDING TO ROOF DRAIN. PROVIDE A 1/4" PER FOOT OVERLAP FOR TYPED INDICATIONS. PROVIDE 1/4" OVERLAP FOR TYPED INDICATIONS.
 - 4) ROOF DRAIN AND GUTTER DRAIN ARE SHOWN FOR RAIN ONLY. DETAILABLE FINISHING CONTRACTOR SHALL PROVIDE MEASUREMENTS TO DETERMINE FINAL GUTTER, SEAL, AND LOCATION OF ROOF DRAIN AND GUTTER DRAIN. COORDINATE ALL ROOF DRAIN WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE, COORDINATE DRAINAGE, DESIGN, AND FINISHING CONTRACTOR TO COORDINATE DRAINAGE WITH ROOFING CONTRACTOR AND LAMP TYPED INDICATIONS WITH BUILDING ROOF PLAN AND FINISHING REFER TO ROOF PLAN FOR PROPER LOCATION.
 - 5) PROVIDE 1/4" TYPED INDICATION BOARD OVER ROOF ASSEMBLY TO INDICATE 1/4" OF FIBER CEMENT BOARDING TO ROOF DRAIN. PROVIDE A 1/4" PER FOOT OVERLAP FOR TYPED INDICATIONS. PROVIDE 1/4" OVERLAP FOR TYPED INDICATIONS.
 - 6) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPUTS, AND ALL PENETRATIONS ACCESSIBLE WITHIN BUILDING & TYPED AND LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.
 - 7) ALL DRAINS SHALL BE INSTALLED WITH GALVNEUM COATED DRAIN PAN AND VENT. PROVIDE PROPER ROOFER TO VERIFY IF UNIT WITH SERIES 254C.
 - 8) PROVIDE GUTTER DRAIN CONTRACTOR SHALL COORDINATE THE LOCATION OF ROOF DRAIN WITH ROOFING CONTRACTOR. COORDINATE LOCATION WITH BUILDING ROOF PLAN AND FINISHING REFER TO ROOF PLAN FOR PROPER LOCATION.
 - 9) PROVIDE WATER TIGHT DETAILS AT ALL PENETRATIONS AND CORNERS. THE ROOFER SHALL PROVIDE STANDARD DETAILS AND CORNERS. PROVIDE DETAILS FOR ALL PENETRATIONS AND CORNERS.
 - 10) DESIGN, BUILD CONTRACTOR, INSURING ROOF PENETRATIONS MUST PROVIDE TYPED INDICATIONS FOR CORNER AND POINT OF PENETRATIONS OR CORNER.
 - 11) VERIFY ALL ROOFING EQUIPMENT AND PENETRATIONS WITH OWNER'S DESIGNABLE MECHANICAL, ELECTRICAL, AND PLUMBING (M/E/P).
 - 12) PROVIDE CONTINUOUS AT-RICE DRAINAGE COMMENTS AT LOCATION FOR AT-RICE DRAIN PLAN. EXTEND DRAIN STOPPING FROM FLOOR TO ROOF PENETRATIONS. SEAL ALL PENETS WITH CARE AND/OR TAPE AS NEEDED TO PROVIDE SMOKE/TIGHT SEAL.



18 ROOF PLAN - BUILDING 'A'
1/8" = 1'-0"



MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

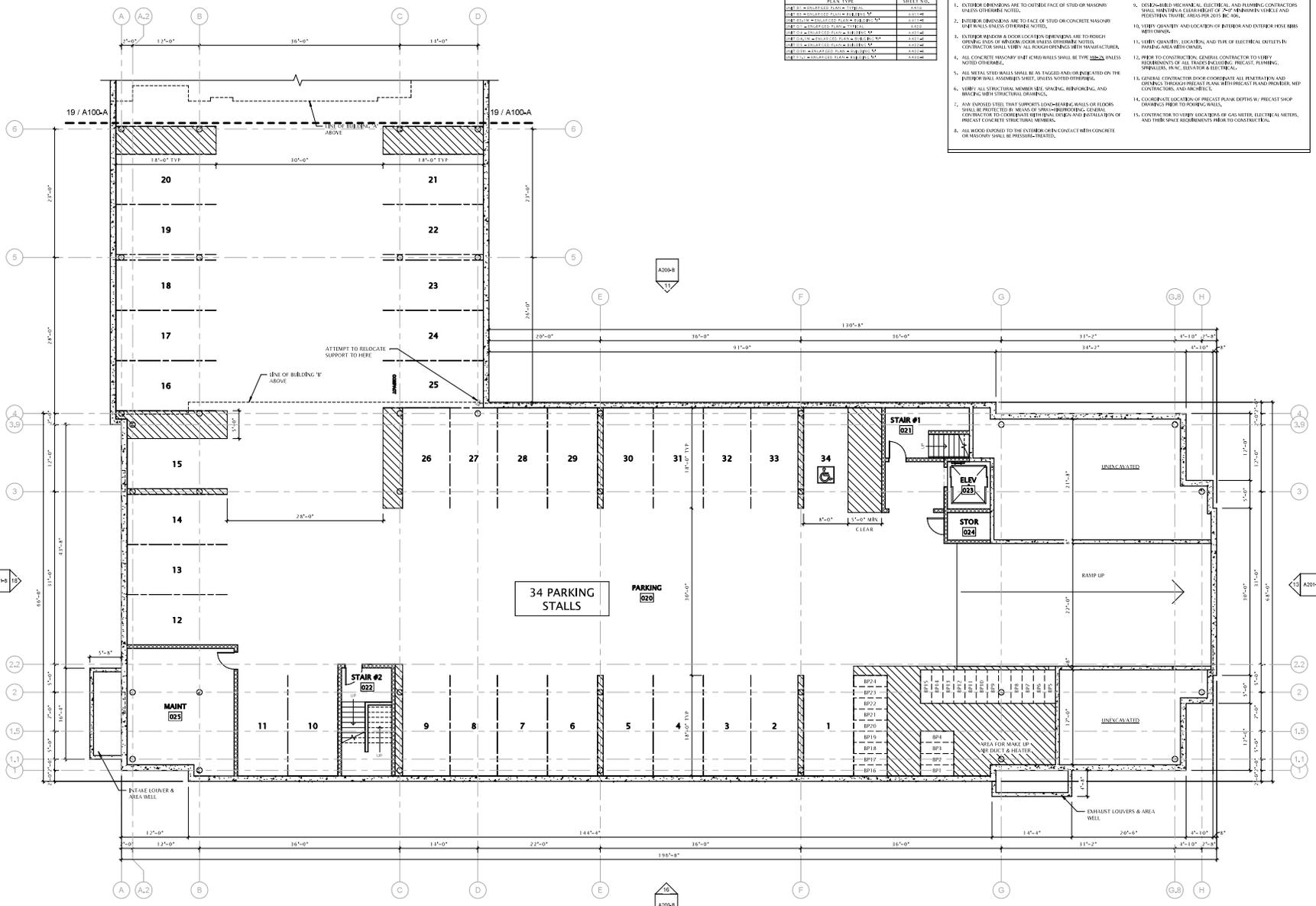
UDC FINAL

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	NOVEMBER 4, 2020	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ROOF PLAN - BUILDING 'A'

SHEET NUMBER
A109-A



SHEET INDEX - ENLARGED UNIT TYPES - BUILDING 'B'	
PLAN TYPE	SHEET NO.
PLAN - UNFINISHED FLOOR - TYPICAL	020
PLAN - UNFINISHED FLOOR - TYPICAL - 10'	101
PLAN - UNFINISHED FLOOR - TYPICAL - 12'	102
PLAN - UNFINISHED FLOOR - TYPICAL - 14'	103
PLAN - UNFINISHED FLOOR - TYPICAL - 16'	104
PLAN - UNFINISHED FLOOR - TYPICAL - 18'	105
PLAN - UNFINISHED FLOOR - TYPICAL - 20'	106
PLAN - UNFINISHED FLOOR - TYPICAL - 22'	107
PLAN - UNFINISHED FLOOR - TYPICAL - 24'	108
PLAN - UNFINISHED FLOOR - TYPICAL - 26'	109
PLAN - UNFINISHED FLOOR - TYPICAL - 28'	110
PLAN - UNFINISHED FLOOR - TYPICAL - 30'	111

- OVERALL PLAN NOTES - PARKING LEVEL**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
 - INTERIOR WINDOW & DOOR LOCATION OPENINGS ARE TO REICH OPENING FROM WINDOW COORDINATES DETERMINED BY MANUFACTURER. CONTRACTOR SHALL VERIFY ALL REICH OPENINGS WITH MANUFACTURER.
 - ALL CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE TYPE 2000 UNLESS NOTED OTHERWISE.
 - ALL METAL STUD WALLS SHALL BE AS TRIMMED AND/OR PAINTED ON THE EXTERIOR UNLESS OTHERWISE NOTED. FINISH NOTES OTHERWISE.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL ENGINEER.
 - ANY ENJOINED STEEL THAT SUPPORTS LOAD-BEARING WALLS OR FLOORS SHALL BE PROTECTED BY MEANS OF SPRAY-APPLIED INSULATION. GENERAL CONTRACTOR TO COORDINATE WITH STRUCTURAL ENGINEER AND ESTABLISH LOCATION OF PRECAST CONCRETE STRUCTURAL MEMBERS.
 - ALL WOOD SUPPLIED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
 - DETAILED MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS SHALL VERIFY ALL ELEVATIONS FOR 2" AIR GAP IN VEHICLE AND RESTRICTION TRAFFIC AREAS PER 2015 BC 406.
 - VERIFY QUANTITY AND LOCATION OF INTERIOR AND EXTERIOR POSE BIRTS WITH OWNER.
 - VERIFY QUANTITY, LOCATION AND TYPE OF ELECTRICAL DIFFUSERS IN PUBLIC AREAS WITH OWNER.
 - BEFORE TO CONSTRUCTION, GENERAL CONTRACTOR TO VERIFY REQUIREMENTS OF ALL TRADES INCLUDING PRECAST PLUMBING, STRUCTURAL, HVAC, ELEVATOR & ELECTRICAL.
 - GENERAL CONTRACTOR DOOR COORDINATE ALL PENETRATIONS AND OPENINGS THROUGH PRECAST IN ACCORDANCE WITH PRECAST PLUMBING, MEP CONTRACTORS AND ARCHITECT.
 - COORDINATE LOCATION OF PRECAST PLANK DEPTHS WITH PRECAST SHOP (INCLUDING PRECAST SHOP COORDINATE) PRIOR TO POURING CONCRETE.
 - CONTRACTOR TO VERIFY LOCATION OF GAS METER, ELECTRICAL METERS, AND THEIR UNITS REQUIREMENTS PRIOR TO CONSTRUCTION.

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112

Degen & Associates, LLC
Real Estate Development

DEGEN UNIVERSITY AVENUE MIXED-USE

UCD FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	NOVEMBER 4, 2020	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN - BUILDING 'B'

SHEET NUMBER

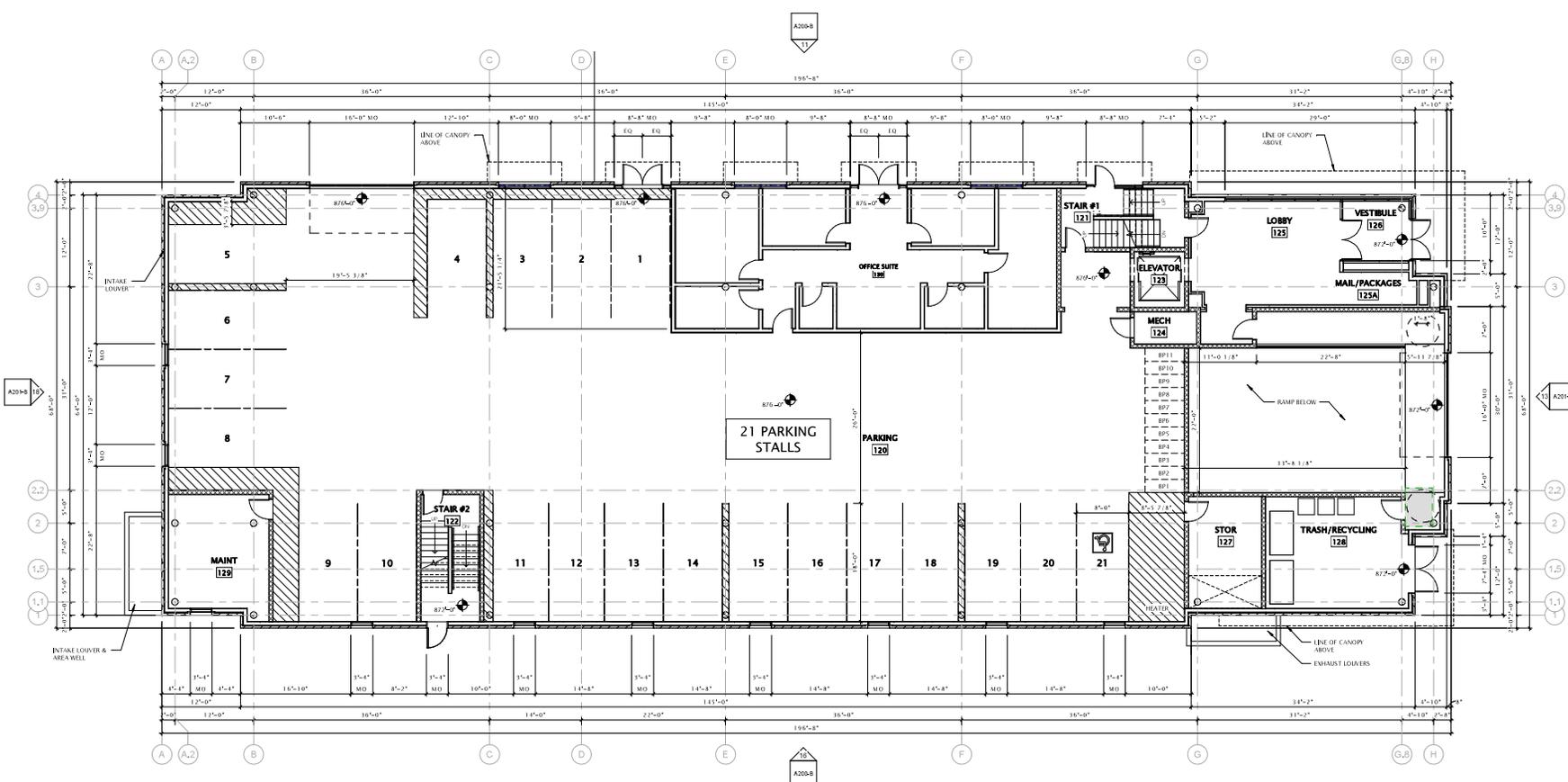
A 100-B

19 LOWER LEVEL PLAN - 'B' BUILDING
1/8" = 1'-0"

DATE PLOTTED: 11/11/20

SHEET INDEX - ENLARGED UNIT TYPES - BUILDING 'B'	
PLAN TYPE	SHEET NO.
1. 10'-0" x 10'-0" (1:1)	101
2. 10'-0" x 10'-0" (1:1)	102
3. 10'-0" x 10'-0" (1:1)	103
4. 10'-0" x 10'-0" (1:1)	104
5. 10'-0" x 10'-0" (1:1)	105
6. 10'-0" x 10'-0" (1:1)	106
7. 10'-0" x 10'-0" (1:1)	107
8. 10'-0" x 10'-0" (1:1)	108
9. 10'-0" x 10'-0" (1:1)	109
10. 10'-0" x 10'-0" (1:1)	110

- OVERALL PLAN NOTES**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL WINDOW OPENINGS WITH MANUFACTURER.
 - INTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL WINDOW OPENINGS WITH MANUFACTURER.
 - ALL CORRIDOR WALLS SHALL BE TYPE 222 UNLESS NOTED OTHERWISE.
 - ALL UNIT CORRIDOR WALLS SHALL BE TYPE 222 UNLESS NOTED OTHERWISE.
 - ALL COMMON AREA WALLS SHALL BE TYPE 222 UNLESS NOTED OTHERWISE.
 - FIRE-RATED UNIT DIVIDING WALLS AS REQUIRED TO ADJACENT EXTERIOR WALL FACES.
 - FIRE-RATED UNIT DIVIDING WALLS AS REQUIRED TO ADJACENT EXTERIOR WALL FACES.
 - VERIFY ALL STRUCTURAL MEMBER SPACING, REINFORCING, AND BRACING WITH STRUCTURAL ENGINEER.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVE-TREATED.
 - INSTALL ENTIRE, ACCESSORIES, ETC., ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE ABOVE SHEETS.
 - VERIFY ALL BRACING, BRACKETS, SHOWER, OPERANCE EQUIPMENT, ETC. MOUNTING HEIGHTS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND RATED PARTITIONS AT ALL WALLS SEPARATING BATHROOMS, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE BRACING AT ALL GRID BAR LOCATIONS INCLUDING LOCATIONS OF FUTURE GRID BARS & SECTION BATHROOMS DESIGNATED AS ACCESSIBLE.
 - FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE MECHANICAL REQUIREMENTS OF ALL APPLIANCES & UTILITIES. PROVIDE FINISHED FLOOR FINISH AT ALL CABINETRY FLOOR FINISH.
 - CARE AT FURNITURE OF ALL TUB & SHOWER ENCLOSURES, CALLS AT FURNITURE OF ALL CORNER OF MIRROR CASES & MIRROR CASES.
 - PROVIDE MEDIUM-RESISTANT AND MOIST-RESISTANT TYPE CROWN BOARD AT PLUMBING ENTRY WALLS.
 - PROVIDE 5" PRECAST/CAST TRAYED TRAYS AS BACKING FRAMES FOR ELECTRICAL EQUIPMENT. INSTALL AT 12" OFF TO FINISHED CEILING. REFER TO MECHANICAL TO IDENTIFY TRAY, COMPARTMENT PANEL SIZE AND LOCATION WITH DESIGNATED ELECTRICAL CONTRACTOR.



19 FIRST FLOOR PLAN - BUILDING 'B'
18" = 1'-0"

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112

Real Estate Development

DEGEN UNIVERSITY AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

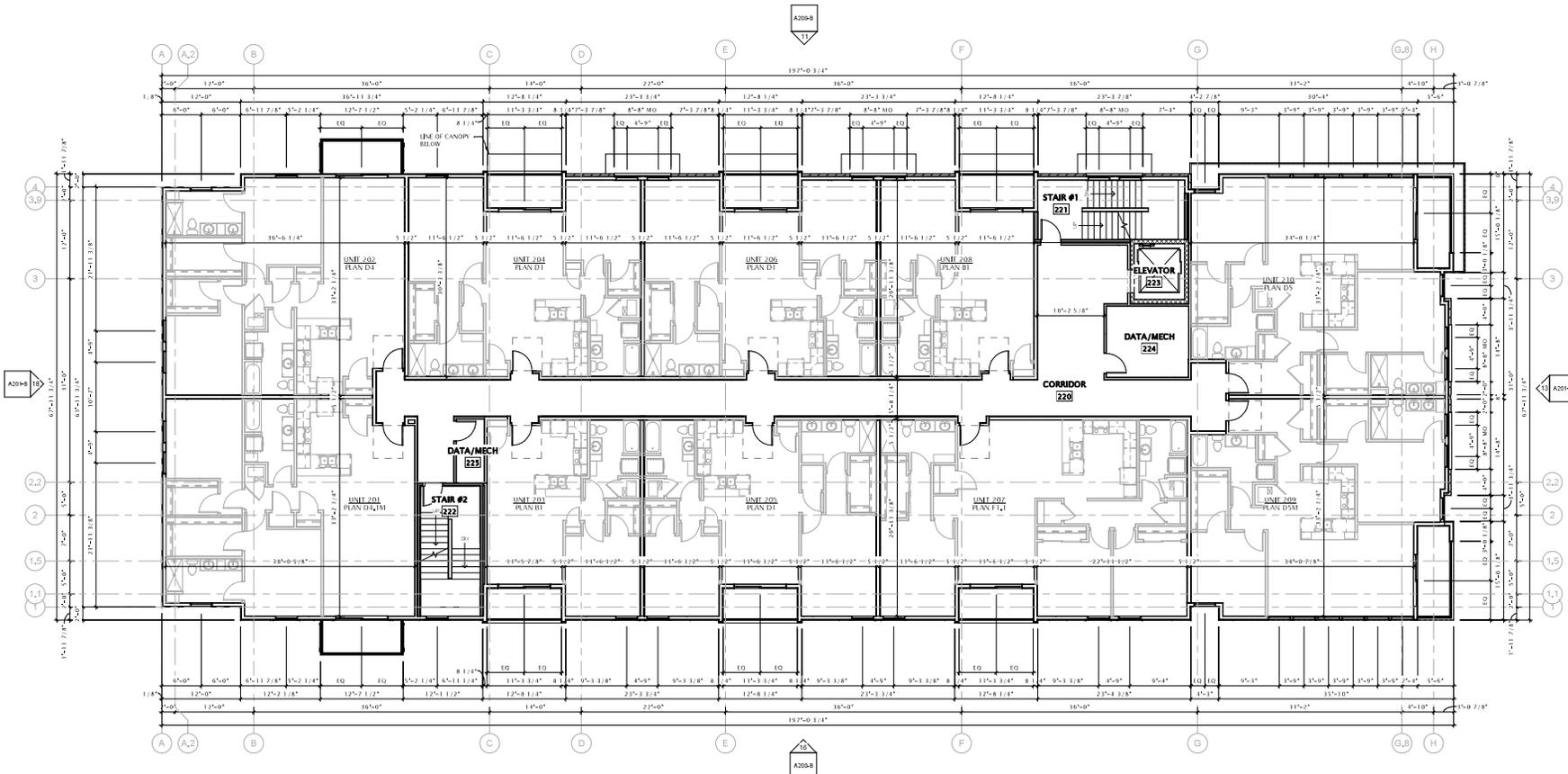
DATE OF ISSUANCE	NOVEMBER 4, 2020
REVISION SCHEDULE	
Mark	Description
	Date

SHEET TITLE
FIRST FLOOR PLAN - BUILDING 'B'

SHEET NUMBER
A101-B

UNIT SCHEDULE - SECOND FLOOR BUILDING 'B'		
UNIT NO.	PLAN TYPE	AREA
200	PLAN D2, D3	122.97
201	PLAN D1	131.33
202	PLAN D1	142.97
203	PLAN D1	133.24
204	PLAN D1	132.34
205	PLAN D1	142.97
206	PLAN D1	132.34
207	PLAN D1	132.34
208	PLAN D1	132.34
209	PLAN D1	132.34
210	PLAN D5	132.34
211	PLAN D5	132.34
212	PLAN D5	132.34
213	PLAN D5	132.34
214	PLAN D5	132.34
215	PLAN D5	132.34
216	PLAN D5	132.34
217	PLAN D5	132.34
218	PLAN D5	132.34
219	PLAN D5	132.34
220	PLAN D5	132.34
221	PLAN D5	132.34
222	PLAN D5	132.34
223	PLAN D5	132.34
224	PLAN D5	132.34
225	PLAN D5	132.34
226	PLAN D5	132.34
227	PLAN D5	132.34
228	PLAN D5	132.34
229	PLAN D5	132.34
230	PLAN D5	132.34
231	PLAN D5	132.34
232	PLAN D5	132.34
233	PLAN D5	132.34
234	PLAN D5	132.34
235	PLAN D5	132.34
236	PLAN D5	132.34
237	PLAN D5	132.34
238	PLAN D5	132.34
239	PLAN D5	132.34
240	PLAN D5	132.34
241	PLAN D5	132.34
242	PLAN D5	132.34
243	PLAN D5	132.34
244	PLAN D5	132.34
245	PLAN D5	132.34
246	PLAN D5	132.34
247	PLAN D5	132.34
248	PLAN D5	132.34
249	PLAN D5	132.34
250	PLAN D5	132.34
251	PLAN D5	132.34
252	PLAN D5	132.34
253	PLAN D5	132.34
254	PLAN D5	132.34
255	PLAN D5	132.34
256	PLAN D5	132.34
257	PLAN D5	132.34
258	PLAN D5	132.34
259	PLAN D5	132.34
260	PLAN D5	132.34
261	PLAN D5	132.34
262	PLAN D5	132.34
263	PLAN D5	132.34
264	PLAN D5	132.34
265	PLAN D5	132.34
266	PLAN D5	132.34
267	PLAN D5	132.34
268	PLAN D5	132.34
269	PLAN D5	132.34
270	PLAN D5	132.34
271	PLAN D5	132.34
272	PLAN D5	132.34
273	PLAN D5	132.34
274	PLAN D5	132.34
275	PLAN D5	132.34
276	PLAN D5	132.34
277	PLAN D5	132.34
278	PLAN D5	132.34
279	PLAN D5	132.34
280	PLAN D5	132.34
281	PLAN D5	132.34
282	PLAN D5	132.34
283	PLAN D5	132.34
284	PLAN D5	132.34
285	PLAN D5	132.34
286	PLAN D5	132.34
287	PLAN D5	132.34
288	PLAN D5	132.34
289	PLAN D5	132.34
290	PLAN D5	132.34
291	PLAN D5	132.34
292	PLAN D5	132.34
293	PLAN D5	132.34
294	PLAN D5	132.34
295	PLAN D5	132.34
296	PLAN D5	132.34
297	PLAN D5	132.34
298	PLAN D5	132.34
299	PLAN D5	132.34
300	PLAN D5	132.34

- OVERALL PLAN NOTES**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR CONCRETE MASONRY UNLESS NOTED OTHERWISE.
 - EXTERIOR CHIMNEYS ARE TO FACE OF STUD OR CONCRETE MASONRY UNLESS NOTED OTHERWISE.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTRING OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTRING OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL CORNER WALLS SHALL BE TYPE III/IV UNLESS NOTED OTHERWISE.
 - ALL CORNER AREA WALLS SHALL BE TYPE III UNLESS NOTED OTHERWISE.
 - FINISH OUT SET FINISHING WALLS AS REQUIRED TO MATCH WITH EXTERIOR WALL FINISHES.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED.
 - INSTALL ENTICES, ACCESSORIES, ETC. ACCORDING TO THE MANUFACTURER'S HEIGHT SCHEDULE - SEE THE ACCESSORIES SHEETS.
 - VERIFY ALL WINDOW, DOOR, VENT, SHOWER, APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOMS, LINDEN ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER PLUMBING WALLS.
 - PROVIDE ROCKING AT ALL CORNER LOCATIONS INCLUDING LOCATIONS OF CURVE, CORNER AREA, BAYS & BATHROOMS IDENTIFIED AS ACCESSIBLE.
 - RELOCATE ALL CABINETS, SINKS AND COORDINATE WITH THE FINISHING REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHING PANELS AT ALL CORNER CABINETS, SINKS, AND LOCATIONS WITH EXPOSED BAY OR BATHROOM ELECTRICAL CONTRACTOR.
 - VERIFY ALL CABINETS, SINKS AND COORDINATE WITH THE FINISHING REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISHING PANELS AT ALL CORNER CABINETS, SINKS, AND LOCATIONS WITH EXPOSED BAY OR BATHROOM ELECTRICAL CONTRACTOR.
 - CABLE AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES, CABLE AT PERIMETER OF ALL EXCEPTED ENCLOSURES & VENT EXITS.
 - PROVIDE WEATHER-RESISTANT AND MOISTURE-RESISTANT TYPE GYPHUM BOARD AT PLUMBING FINISH WALLS.
 - PROVIDE 3/4" BRISTERBOARD TREATED WOOD AS RACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL 1/2" GYPSUM TO FINISHING. FINISH WOOD TO MATCH EXISTING WALL FINISH. COORDINATE WITH SET AND LOCATIONS WITH EXPOSED BAY OR BATHROOM ELECTRICAL CONTRACTOR.



19 SECOND FLOOR PLAN - BUILDING 'B'
1/8" = 1'-0"



JLA ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	NOVEMBER 4, 2020	
REVISION SCHEDULE		
Mark	Description Date	

SHEET TITLE
SECOND FLOOR PLAN - BUILDING 'B'

SHEET NUMBER
A102-B

UNIT NO.	PLAN TYPE	AREA
100	PLAN D1, D2	122.77
101	PLAN D1	122.77
102	PLAN D1	122.77
103	PLAN D1	122.77
104	PLAN D1	122.77
105	PLAN D1	122.77
106	PLAN D1	122.77
107	PLAN D1	122.77
108	PLAN D1	122.77
109	PLAN D1	122.77
110	PLAN D1	122.77

- OVERALL PLAN NOTES**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD OR STUCCO UNLESS OTHERWISE NOTED.
 - EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALL UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTRELINE OF WINDOW OR DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTRELINE OF WINDOW OR DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL CORNER WALLS SHALL BE TYPE III BRICK UNLESS NOTED OTHERWISE.
 - ALL UNIT EXTERIOR WALLS SHALL BE TYPE III BRICK UNLESS NOTED OTHERWISE.
 - ALL COMMON AREA WALLS SHALL BE TYPE III BRICK UNLESS NOTED OTHERWISE.
 - FIBRE CEMENT SIDING WALLS AS REQUIRED TO MATCH WITH EXTERIOR WALL FACES.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL ENGINEER.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED.
 - INSTALL FINISHES, ACCESSORIES, ETC., ACCORDING TO THE MOVING HEIGHT SCHEDULE - SEE THE ADDITIONAL SHEETS.
 - VERIFY ALL WINDOW, DOOR, TUB, SHOWER, APPLIANCE EQUIPMENT, ETC., ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE SOUND RATED PENETRATIONS AT ALL WALLS BROADCASTING BATHROOMS, KITCHENS, HALLWAYS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER FLOORING WALLS.
 - PROVIDE FLOORING AT ALL CORNER BA LOCATIONS INCLUDING LOCATIONS OF FUTURE GARAGE & SIPS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - FIELD OVER ALL COMMON AREAS AND CORRIDORS TO MEET THE MINIMUM REQUIREMENTS OF ALL APPLICABLE ACTS, RULES, ORDINANCES AND LOCAL ORDINANCES.
 - PROVIDE FIBRE CEMENT SIDING AT ALL EXPOSED CORNER WALLS, EXPOSED WALLS AT PERIMETER OF ALL TUB & SHOWER ENCLOSURES, CABINETS AT PERIMETER OF ALL COUNTERTOPS, CLOSET & MECH. ROOMS.
 - PROVIDE METAL-CLAD AND METAL-CLAD SHEET METAL TYPE GYPSUM BOARD AT FLOORING FUTURE WALLS.
 - PROVIDE 3/4" FIRE-RATED TREATED WOOD AS SANDING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL 1/2" GYPSUM BOARD OVER TREATED WOOD TO MATCH EXISTING PART FINISH TO MATCH EXISTING GYPSUM BOARD. COORDINATE PANEL SIZE AND LOCATION WITH ELECTRICAL CONTRACTOR.



JLA ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



Degen & Associates, LLC
Real Estate Development

DEGEN UNIVERSITY AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

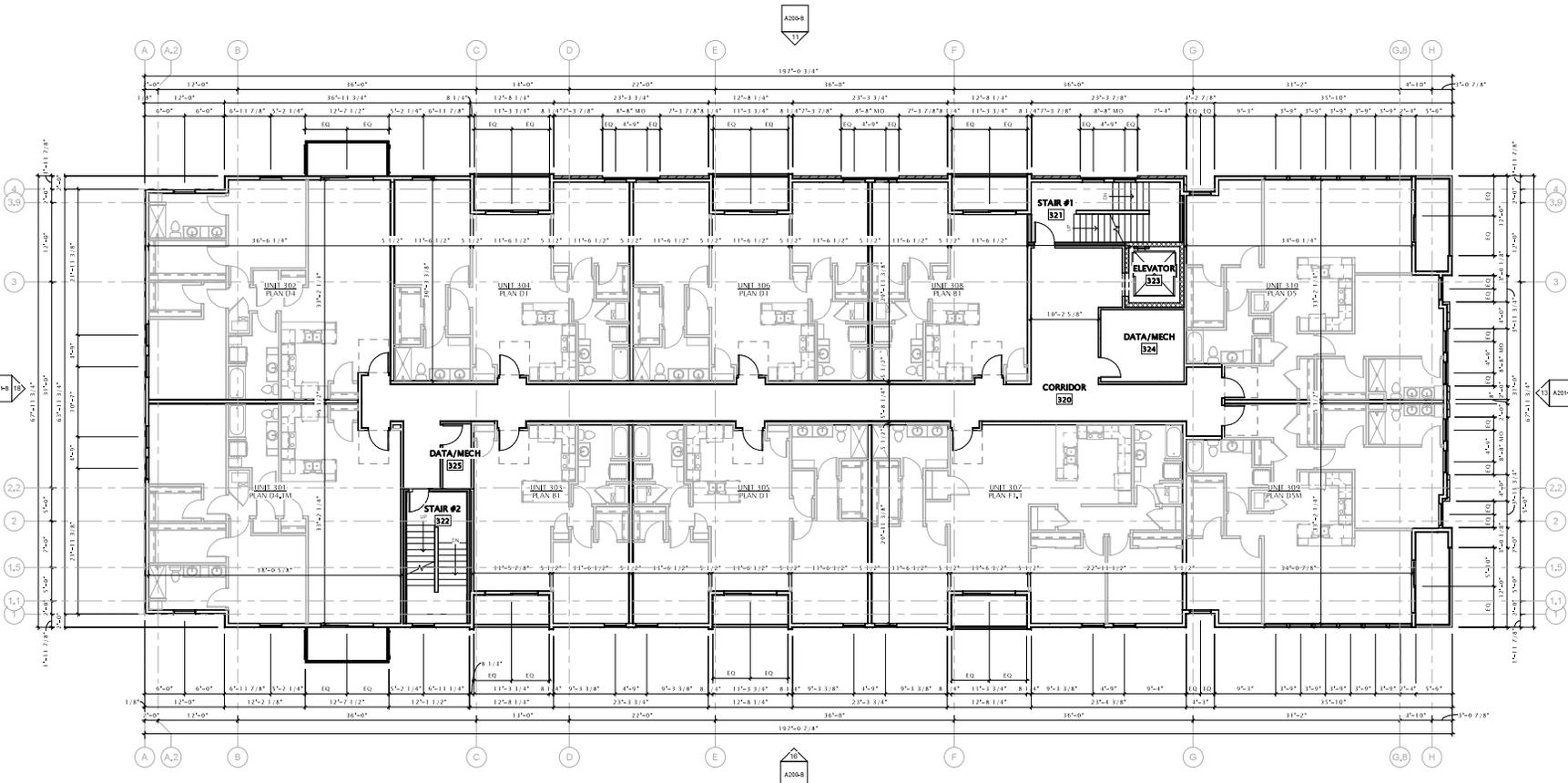
DATE OF ISSUANCE	NOVEMBER 4, 2020	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN - BUILDING 'B'

SHEET NUMBER

A103-B



18 THIRD FLOOR PLAN - BUILDING 'B'
18" = 1'-0"

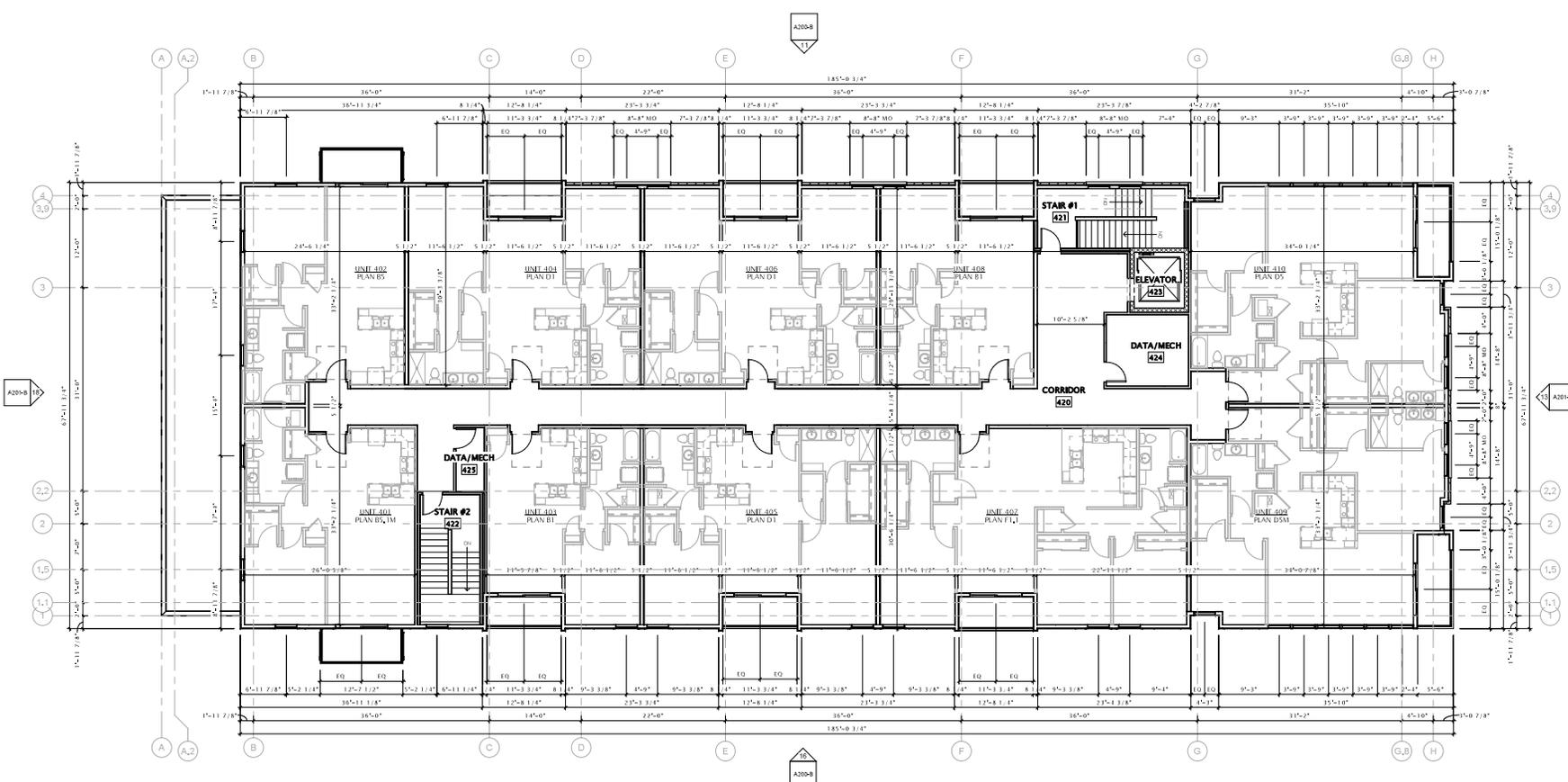
DATE PLOTTED: 11/11/20

UNIT SCHEDULE - FOURTH FLOOR BUILDING 'B'

UNIT NO.	PLAN TYPE	AREA
401	CLAD EX	113.29
402	CLAD EX	113.29
403	CLAD EX	113.29
404	CLAD EX	113.29
405	CLAD EX	113.29
406	CLAD EX	113.29
407	CLAD EX	113.29
408	CLAD EX	113.29
409	CLAD EX	113.29
410	CLAD EX	113.29

OVERALL PLAN NOTES

- 1) EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED.
- 2) EXTERIOR DIMENSIONS ARE TO FACE OF STUD OR CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
- 3) EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTRELINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL HEIGHTS (OPENING) WITH MANUFACTURER.
- 4) EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTRELINE OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- 5) ALL CORRIDOR WALLS SHALL BE TYPE III-G unless noted otherwise.
- 6) ALL UNIT BOUNDING WALLS SHALL BE TYPE III-G unless noted otherwise.
- 7) ALL COMMON AREA WALLS SHALL BE TYPE III-G unless noted otherwise.
- 8) FIRE RATED UNIT BOUNDING WALLS AS REQUIRED TO ADJOIN WITH EXTERIOR WALL FACES.
- 9) VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL ENGINEER.
- 10) ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED.
- 11) INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE FINISHING SPECS.
- 12) VERIFY ALL WINDOW, DOOR, TUB, SHOWER, APPLIANCE EQUIPMENT, ETC. READING OPENING & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
- 13) PROVIDE SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOM, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER BOUNDING WALLS.
- 14) PROVIDE BLOCKING AT ALL GARAGE LOCATIONS INCLUDING LOCATIONS OF EXTERIOR GARAGE DOORS & SALES BY BATHROOMS DESIGNATED AS ACCESSIBLE.
- 15) FIELD VERIFY ALL CABINETS LAYOUTS AND CORNER/CUTS WITH THE ARCHITECTURAL REQUIREMENTS OF ALL APPLIANCES & MATERIALS.
- 16) CHECK SET NUMBER OF ALL TUB & SHOWER ENCLOSURES, CHECK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SEALS/FLASHES.
- 17) PROVIDE WEAR-THEAT-RESISTANT AND MOIST-RESISTANT TYPE GYMNASIUM FLOOR AT BOUNDING ENTIRE WALLS.
- 18) PROVIDE 3/4" FIRE-RATED TREATED PLYWOOD AS KICKING PANELS FOR ELECTRICAL EQUIPMENT. PROVIDE 1/2" GYPSUM BOARD OVER EXISTING PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE WITH ALL AND LOCAL AGENCY REQUIREMENTS FOR ELECTRICAL CONTRACTOR.



FOURTH FLOOR PLAN - BUILDING 'B'
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY
AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: NOVEMBER 4, 2020

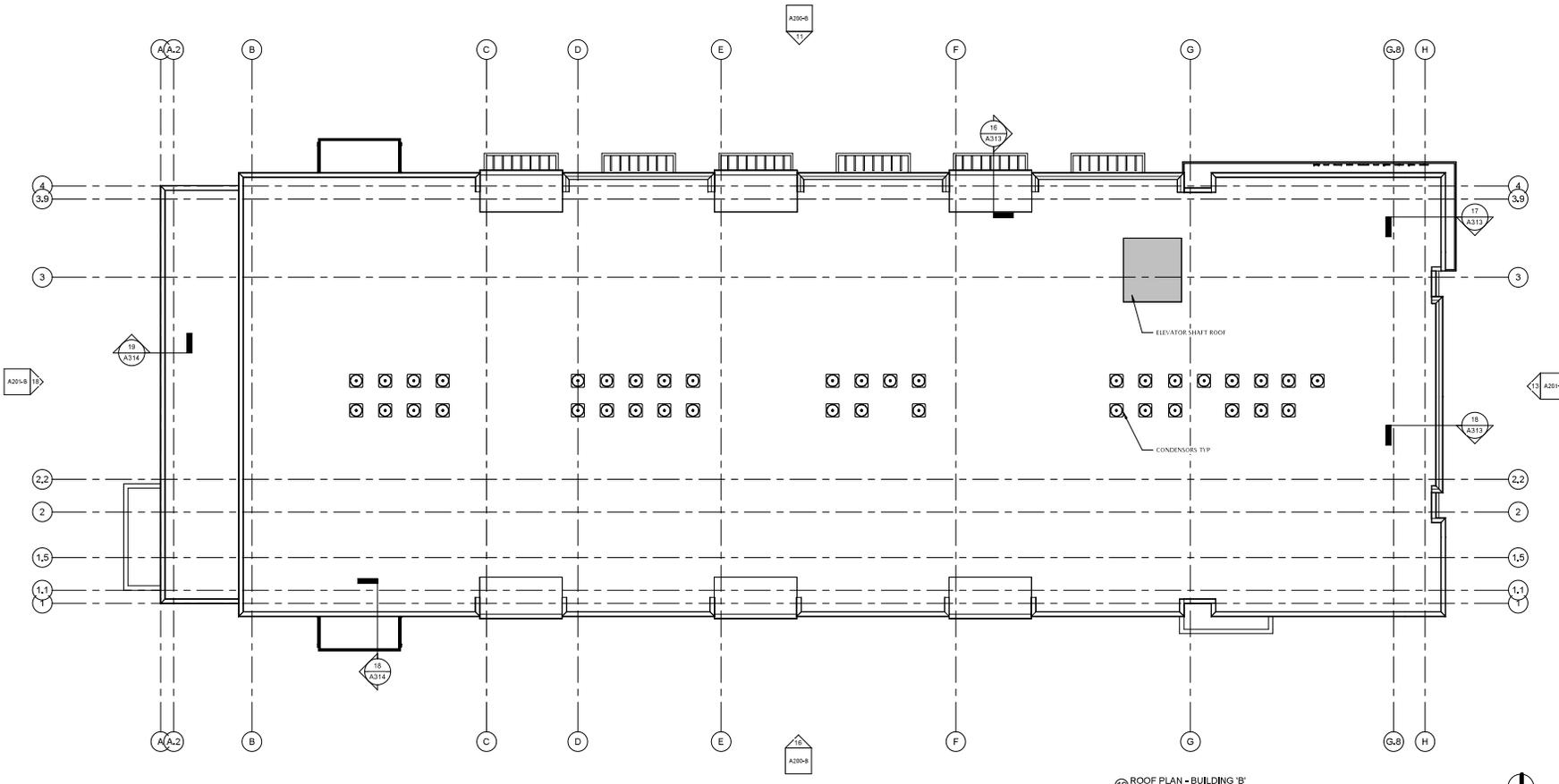
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FOURTH FLOOR PLAN - BUILDING 'B'

SHEET NUMBER
A104-B

ROOF PLAN KEY	
	TAPERED INSULATION, 1/4 INCH PER 1 FOOT RUN MINIMUM
	DIRECTION OF ROOF SLOPE OR TAPERED POSITION
N/C	HEIGHT OF TAPERED INSULATION IN ADDITION TO METL BASE LAYER OF INSULATION
RD	PRIMARY ROOF DRAIN
OD	OVERFLOW ROOF DRAIN

- ROOF PLAN NOTES**
- 1) MAIN ROOFS SHALL BE ASSEMBLY DETAILS, UNLESS NOTED OTHERWISE. TOP COVERS OF FLASHINGS SHALL BE FINISHED AT 1/4" PER FOOT MINIMUM TO THE ROOF OR DRAINAGE. SEE ASSOCIATED ROOF ASSEMBLY DESCRIPTIONS.
 - 2) PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM RICH FOR TAPERED INSULATION SHOULD AND OR CRIBS WHERE NECESSARY.
 - 3) PROVIDE FINISHED SHEET METAL CORNICE AND OR GRAVEL STEPS PER DRAIN. REFER TO EXTERIOR ELEVATIONS MATERIAL SCHEDULE FOR SPECIFIED METAL COLOR.
 - 4) ROOF DRAINS AND OVERFLOW DRAINS ARE SHOWN FOR IDENTIFY ONLY. TECHNICAL PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE DRAIN QUANTITIES. THE AND DIRECTION OF ROOF DRAINS AND OVERFLOW DRAINS. COORDINATE ALL ROOF DRAINS WITH THE CONTRACTOR TO DETERMINE PROPER DRAINAGE. COORDINATE WITH MECHANICAL PLUMBING CONTRACTOR TO COORDINATE DRAINAGE OVERFLOW DRAIN QUOTE AND SAME TO THE LOCATION WITH BUILDING ROOF PLAN AND ELEVATIONS. REFER TO ROOF PLAN FOR PROPOSED LOCATIONS.
 - 5) PROVIDE FINISHED SHEET METAL COLLECTION RIMS AND DOWNSPOUTS TO COORDINATE WITH MECHANICAL CONTRACTOR. REFER TO EXTERIOR ELEVATIONS AND ROOF PLAN FOR PROPOSED LOCATIONS, AND EXTERIOR MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. FINAL DOWNSPOUT LOCATION AND QUANTITY TO BE DETERMINED BY MECHANICAL PLUMBING CONTRACTOR.
 - 6) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PROVIDED ACCESSORIES MATCHES COLOR & STYLE AND ARE LOCATED CLEAR OF ALL WINDOWS, DOORS, AIR HANDLERS, ETC.
 - 7) ALL DOWNSPOUTS SHALL BE WATER-REPELLED, CLAMPED DOWN ROOF AND VENT. PROVIDE POWER BOOSTER PUMP/STIFF VENT RUN EXCEEDS 25MG.
 - 8) PLUMBING DETERMINABLE CONTRACTOR SHALL COORDINATE THE LOCATION OF ROOF FRESH-AIR ROOF PENETRATIONS WITH OWNER. COORDINATE LOCATION WITH FRESH AIR VENT AND SFP LAYOUT PLANS.
 - 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER STANDARD DETAILS AND REQUIREMENTS FOR MOMENTARY AND CURRENT WIND LOADS/STORMS.
 - 10) DRAINAGE FIELD CONTRACTOR PROVIDING ROOF PENETRATIONS MUST PROVIDE TYPICAL WATER TIGHT DETAILS FOR OPENING TYPE PLACEMENT OF FINISHED MARK OR COATING.
 - 11) VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER'S DESCRIBED MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 - 12) PROVIDE CONTINUOUS AT THE DRAFTING/PROG. COMMITMENTS AT LOCATIONS NOT SHOWN ON THIS PLAN. OTHER DRAFTING/PROG. FULLY DETAILED AND PROVIDED. SHALL ALL DETAILS WITH CALL AND/OR CALL AS NEEDED TO PROVIDE WATER TIGHT SEAL.



19 ROOF PLAN - BUILDING 'B'
1/8" = 1'-0"



JLA ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: NOVEMBER 4, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
ROOF PLAN - BUILDING 'B'

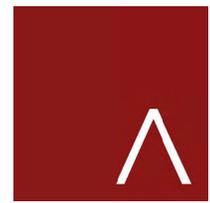
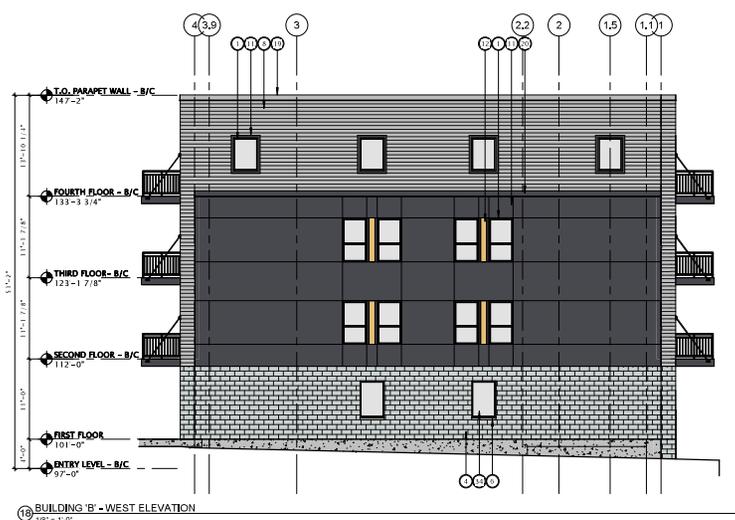
SHEET NUMBER
A 109-B

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
2	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
3	STONE	STONE	STONE	STONE	STONE	STONE
4	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS
5	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
6	STEEL	STEEL	STEEL	STEEL	STEEL	STEEL
7	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
8	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
9	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING
10	LANDSCAPE	LANDSCAPE	LANDSCAPE	LANDSCAPE	LANDSCAPE	LANDSCAPE
11	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL
12	ELECTRICAL	ELECTRICAL	ELECTRICAL	ELECTRICAL	ELECTRICAL	ELECTRICAL
13	PLUMBING	PLUMBING	PLUMBING	PLUMBING	PLUMBING	PLUMBING
14	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
15	OTHER	OTHER	OTHER	OTHER	OTHER	OTHER

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
2	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
3	STONE	STONE	STONE	STONE	STONE	STONE
4	GLASS	GLASS	GLASS	GLASS	GLASS	GLASS
5	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
6	STEEL	STEEL	STEEL	STEEL	STEEL	STEEL
7	WOOD	WOOD	WOOD	WOOD	WOOD	WOOD
8	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT
9	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING
10	LANDSCAPE	LANDSCAPE	LANDSCAPE	LANDSCAPE	LANDSCAPE	LANDSCAPE
11	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL
12	ELECTRICAL	ELECTRICAL	ELECTRICAL	ELECTRICAL	ELECTRICAL	ELECTRICAL
13	PLUMBING	PLUMBING	PLUMBING	PLUMBING	PLUMBING	PLUMBING
14	FINISH	FINISH	FINISH	FINISH	FINISH	FINISH
15	OTHER	OTHER	OTHER	OTHER	OTHER	OTHER

EXTERIOR ELEVATION NOTES

- COORDINATE WITH ARCHITECT THE LOCATION OF ALL MATERIALS TRANSITIONS OF THE EXTERIOR ELEVATION.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIALS PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS.
- REFER TO BUILDING DETAILS FOR PRECAST RANKING AND ALL OTHERS.
- ALL WINDOW GLAZING IN FINISH AREAS SHALL BE OPIQUE - COLOR AND PATTERNS TO BE DETERMINED.



JLA ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

UDC FINAL

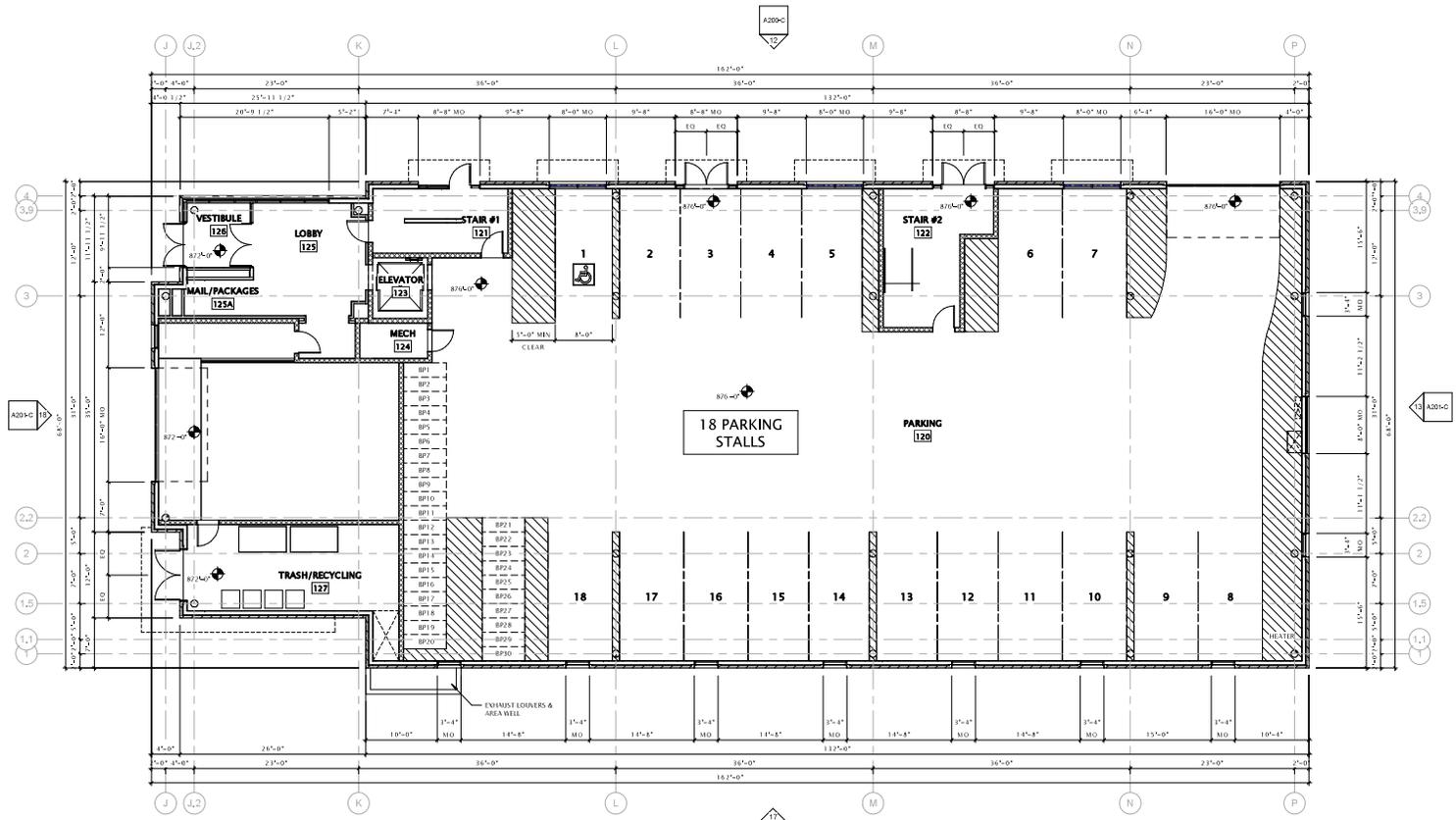
PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional details. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	NOVEMBER 4, 2020	
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS- BUILDING 'B'

SHEET NUMBER
A201-B

- OVERALL PLAN NOTES**
- EXTERIOR FINISHES ARE TO EXPOSE FACE OF STUD UNLESS OTHERWISE NOTED.
 - EXTERIOR FINISHES ARE TO FACE OF OTHER OR CONCRETE MASONRY UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL CORNER WALLS SHALL BE TYPE B LLS UNLESS NOTED OTHERWISE.
 - ALL LINE FINISHING WALLS SHALL BE TYPE B LLS UNLESS NOTED OTHERWISE.
 - ALL CORNER MEA WALLS SHALL BE TYPE B LLS UNLESS NOTED OTHERWISE.
 - FIBER OPTIC DUCT WALLS SHALL BE AS NOTED TO ALIGN WITH EXTERIOR WALL FACE.
 - VERIFY ALL STRUCTURAL NUMBER, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE ASSOCIATED SHEETS.
 - VERIFY ALL WINDOW, DOOR, TIRE, LOCKER, UTILITY EQUIPMENT, ETC. HEIGHTS, CLEARANCES & CLEARANCE REQUIREMENTS WITH MANUFACTURER, BATHROOM, HALLWAY, READING ROOMS, CLOSETS, AND OTHER FINISHING WALLS.
 - PREFER SOUND BATT INSULATION AT ALL WALLS SURROUNDING BATHROOM, HALLWAY, READING ROOMS, CLOSETS, AND OTHER FINISHING WALLS.
 - PREFER ELECTRICAL ALL CHASE AND LOCATIONS INCLUDING LOCATIONS OF FUTURE GRAB BAR & SEAT IN BATHROOM COORDINATED AS APPLICABLE.
 - FIELD VERIFY ALL CABINETS LAYOUTS AND COORDINATE WITH THE ARCHITECTURAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PRESURE FINISH FOR PANELS AT ALL EXPOSED CABINETS ENDS.
 - CABLE AT PERIMETER OF ALL TOP & BOTTOM ENCLOSURES, CABLE AT PERIMETER OF ALL CORNERPOST ENCLOSURES & BROADCASTERS.
 - PREFER NORTH-UP-RESISTANT AND MILD-ROBUSTANT FIVE GPM/NO. BOARD AT PUMPING FUTURE WALLS.
 - PREFER 1/4" THICK ALUMINUM FINISH FLOORING TO BE BUILT UP FOR ELECTRICAL COMPANY. INSTALL AT POE AT TERMINUS CHASE. PREP FLOORING TO MATCH ADJACENT BUILDING. COORDINATE WITH SEE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.



19 FIRST FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY
AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: NOVEMBER 4, 2020

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FIRST FLOOR PLAN - BUILDING 'C'

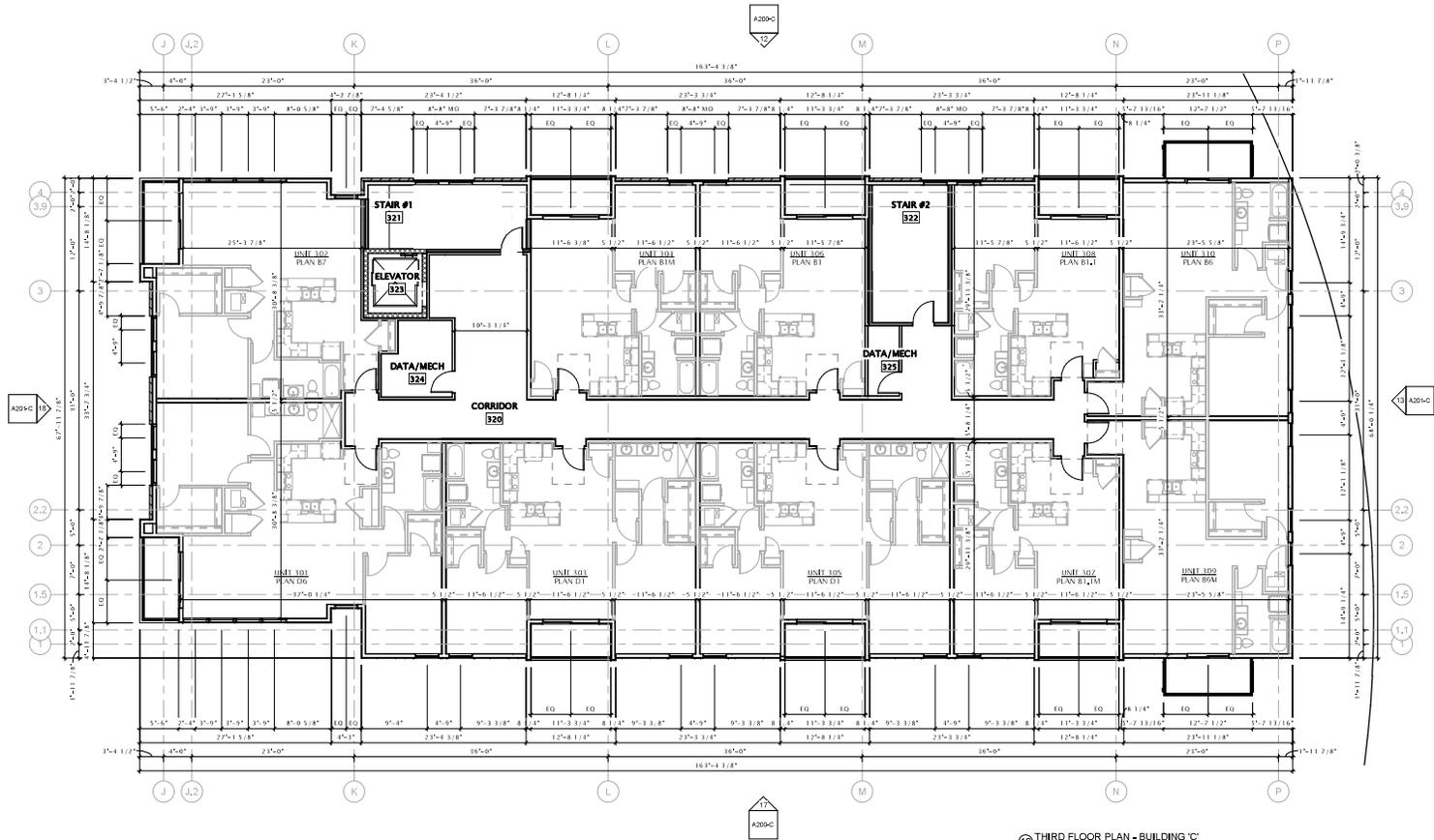
SHEET NUMBER
A101-C

UNIT SCHEDULE - THIRD FLOOR BUILDING 'C'

UNIT NO.	PLAN TYPE	AREA
321	PLAN D6	1,272.2
322	PLAN D6	1,272.2
323	PLAN D6	1,272.2
324	PLAN D6	1,272.2
325	PLAN D6	1,272.2
326	PLAN D6	1,272.2
327	PLAN D6	1,272.2
328	PLAN D6	1,272.2
329	PLAN D6	1,272.2
330	PLAN D6	1,272.2

OVERALL PLAN NOTES

- 1) INTERFERENCES ARE TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED.
- 2) INTERFERENCES ARE TO FACE OF STUD OR CONCRETE MASONRY UNLESS OTHERWISE NOTED.
- 3) EXTERIOR WINDOW AND DOOR LOCATION DIMENSIONS ARE TO EXTERIOR FACE OF WINDOW UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- 4) EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
- 5) ALL CORRIDOR WALLS SHALL BE TYPE 325 UNLESS NOTED OTHERWISE.
- 6) ALL UNIT FORMING WALLS SHALL BE TYPE 325 UNLESS NOTED OTHERWISE.
- 7) ALL COMMON AREA WALLS SHALL BE TYPE 322 UNLESS NOTED OTHERWISE.
- 8) FIRE RATED FORMING WALLS AS REQUIRED TO MATCH WITH EXISTING WALLS.
- 9) VERIFY ALL STRUCTURAL MEMBERS, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
- 10) ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVED.
- 11) INSTALL FURNITURE, ACCESSORIES, ETC. ACCORDING TO THE MOVING HERBERT SCHEDULE - SEE THE APPROPRIATE SHEETS.
- 12) VERIFY ALL WINDOW, DOOR, TUB, SHOWER, APPLIANCE, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER, AND OTHER PLUMBING WALLS.
- 13) PROVIDE SCHEDULE NOT POSITIONED AT ALL WALLS SPHERING, RESTROOMS, JANUARY, ROOMS, CLOSETS, RECEPTIONAL ROOMS, ELEVATORS, AND OTHER PLUMBING WALLS.
- 14) PROVIDE BUILDING IT IS CARBON LOCKING INCLUDING LOCATIONS OF FUTURE CARBON DABS & SITS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
- 15) VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL APPLIANCES & FIXTURES. PROVIDE FINISH FLOOR FINISHES AT ALL UNITS & COMMON AREAS.
- 16) CARE AT PERIMETER OF ALL TUBS, SHOWER ENCLOSURES, CABS AT PERIMETER OF ALL CONCRETE MASONRY UNITS & RECEPTIONS.
- 17) PROVIDE MOISTURE-RESISTANT AND NOISE-RESISTANT TYPE COPING BOARD AT PLUMBING FIXTURE WALLS.
- 18) PROVIDE 5/8" BR-RESISTANT TREATED HERRING AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1/2" OFF TO FINISH CEILING. PART POINTS TO MATCH WITH WALL FRAME. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.



THIRD FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"



JLA ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: NOVEMBER 4, 2020

REVISION SCHEDULE

Mark	Description	Date

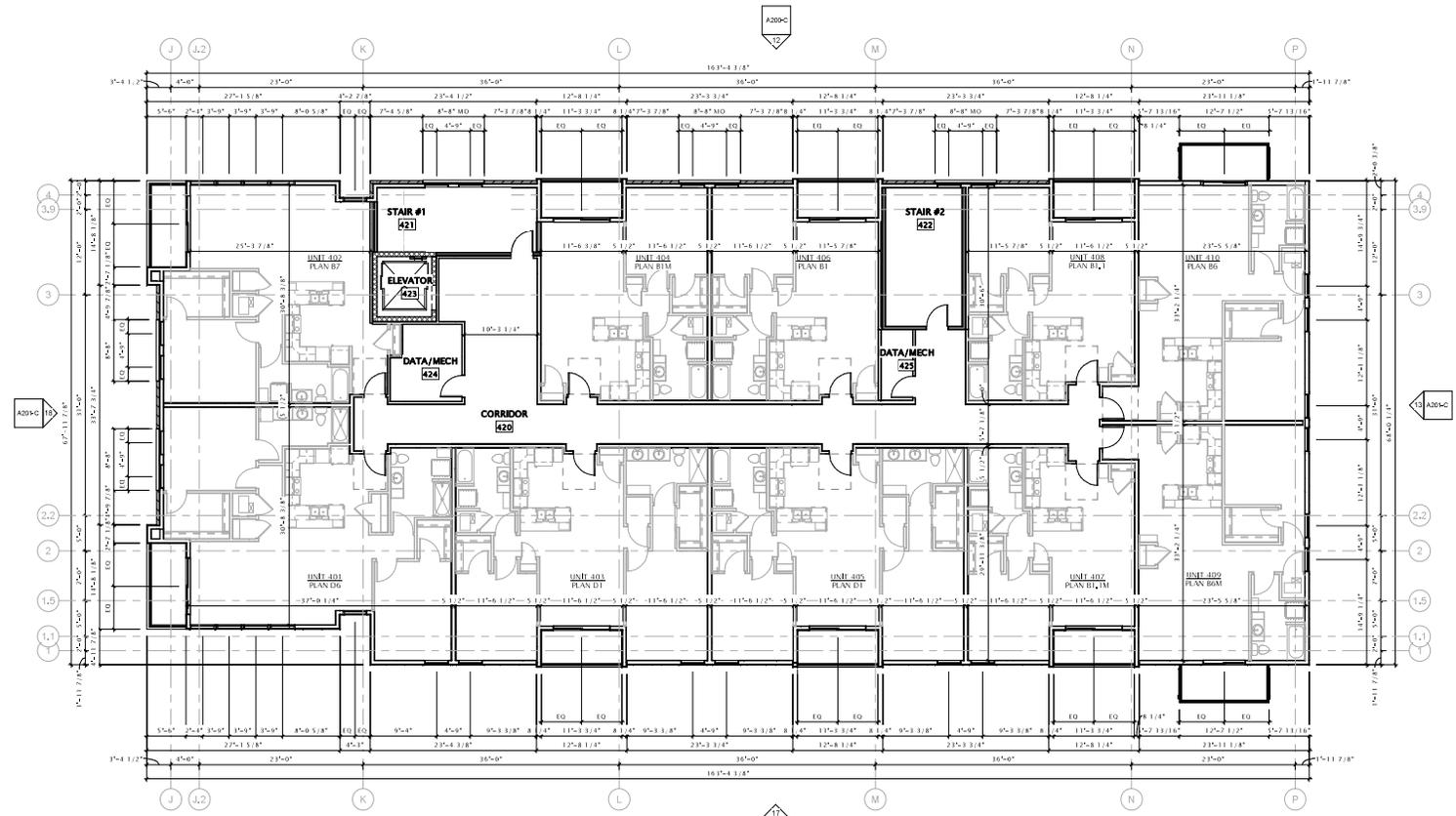
SHEET TITLE
THIRD FLOOR PLAN - BUILDING 'C'

SHEET NUMBER

A103-C

UNIT SCHEDULE - FOURTH FLOOR BUILDING 'C'		
UNIT NO.	PLAN TYPE	AREA
421	PLAN E7	227.27
422	PLAN E8	227.27
423	PLAN E9	227.27
424	PLAN E10	227.27
425	PLAN E11	227.27
426	PLAN E12	227.27
427	PLAN E13	227.27
428	PLAN E14	227.27
429	PLAN E15	227.27
430	PLAN E16	227.27
431	PLAN E17	227.27
432	PLAN E18	227.27
433	PLAN E19	227.27
434	PLAN E20	227.27
435	PLAN E21	227.27
436	PLAN E22	227.27
437	PLAN E23	227.27
438	PLAN E24	227.27
439	PLAN E25	227.27
440	PLAN E26	227.27
441	PLAN E27	227.27
442	PLAN E28	227.27
443	PLAN E29	227.27
444	PLAN E30	227.27
445	PLAN E31	227.27
446	PLAN E32	227.27
447	PLAN E33	227.27
448	PLAN E34	227.27
449	PLAN E35	227.27
450	PLAN E36	227.27
451	PLAN E37	227.27
452	PLAN E38	227.27
453	PLAN E39	227.27
454	PLAN E40	227.27
455	PLAN E41	227.27
456	PLAN E42	227.27
457	PLAN E43	227.27
458	PLAN E44	227.27
459	PLAN E45	227.27
460	PLAN E46	227.27
461	PLAN E47	227.27
462	PLAN E48	227.27
463	PLAN E49	227.27
464	PLAN E50	227.27
465	PLAN E51	227.27
466	PLAN E52	227.27
467	PLAN E53	227.27
468	PLAN E54	227.27
469	PLAN E55	227.27
470	PLAN E56	227.27
471	PLAN E57	227.27
472	PLAN E58	227.27
473	PLAN E59	227.27
474	PLAN E60	227.27
475	PLAN E61	227.27
476	PLAN E62	227.27
477	PLAN E63	227.27
478	PLAN E64	227.27
479	PLAN E65	227.27
480	PLAN E66	227.27
481	PLAN E67	227.27
482	PLAN E68	227.27
483	PLAN E69	227.27
484	PLAN E70	227.27
485	PLAN E71	227.27
486	PLAN E72	227.27
487	PLAN E73	227.27
488	PLAN E74	227.27
489	PLAN E75	227.27
490	PLAN E76	227.27
491	PLAN E77	227.27
492	PLAN E78	227.27
493	PLAN E79	227.27
494	PLAN E80	227.27
495	PLAN E81	227.27
496	PLAN E82	227.27
497	PLAN E83	227.27
498	PLAN E84	227.27
499	PLAN E85	227.27
500	PLAN E86	227.27
501	PLAN E87	227.27
502	PLAN E88	227.27
503	PLAN E89	227.27
504	PLAN E90	227.27
505	PLAN E91	227.27
506	PLAN E92	227.27
507	PLAN E93	227.27
508	PLAN E94	227.27
509	PLAN E95	227.27
510	PLAN E96	227.27
511	PLAN E97	227.27
512	PLAN E98	227.27
513	PLAN E99	227.27
514	PLAN E100	227.27

- OVERALL PLAN NOTES**
- EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO CENTERLINE OF STUD UNLESS OTHERWISE NOTED.
 - INTERIOR DIMENSIONS ARE TO CENTERLINE OF WINDOW DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL WINDOW OPENINGS WITH MANUFACTURER.
 - INTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO CENTERLINE OF WINDOW DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL WINDOW OPENINGS WITH MANUFACTURER.
 - ALL CORRIDOR WALLS SHALL BE TYPE W220 UNLESS NOTED OTHERWISE.
 - ALL CORRIDOR WALLS SHALL BE TYPE W220 UNLESS NOTED OTHERWISE.
 - ALL COMMON AREA WALLS SHALL BE TYPE W220 UNLESS NOTED OTHERWISE.
 - FURNISH UNIT DIMENSIONS AS REQUIRED TO ALIGN WITH EXTERIOR WALL FINISH.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL ENGINEER.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE-TREATED.
 - INSTALL EXTERIOR ACCESSORIES, ETC. ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS - SEE THE SCHEDULE SHEETS.
 - VERIFY ALL WINDOW, DOOR, THE SHOWER, AIR FORCE, EQUIPMENT, ETC. ROOM OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - PROVIDE CROWN MOULDING AT ALL WALLS SURROUNDING BATHROOM, LAUNDRY ROOMS, CLOSETS, MECHANICAL ROOMS, CLOSETS, AND OTHER FINISH WALLS.
 - PROVIDE BRICKING AT ALL GRAB BAR LOCATIONS INCLUDING LOCATIONS OF FUTURE GRAB BARS & SEATS IN BATHROOMS DESIGNATED AS ACCESSIBLE.
 - FIELD VERIFY ALL CABINETRY LAYOUTS AND COORDINATE WITH THE MECHANICAL REQUIREMENTS OF ALL APPLIANCES & REFRIGERATORS. PROVIDE FINISH PANELS AT ALL FINISHED CABINETS ENDS.
 - CALLS AT FINISH OF ALL TUB & SHOWER ENCLOSURES, CALLS AT FINISH OF ALL CENTER OF BATHROOMS & SHOWERBATHS.
 - PROVIDE WATER-RESISTANT AND MOIST-RESISTANT TYPE GYPUM BOARD AT FINISH OF ALL WALLS.
 - PROVIDE 1/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" ON CENTER. VERIFY FINISH TO MATCH APPLIANCE WALL FINISH. COORDINATE FINISH TYPE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.



FOURTH FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY
AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: NOVEMBER 4, 2020

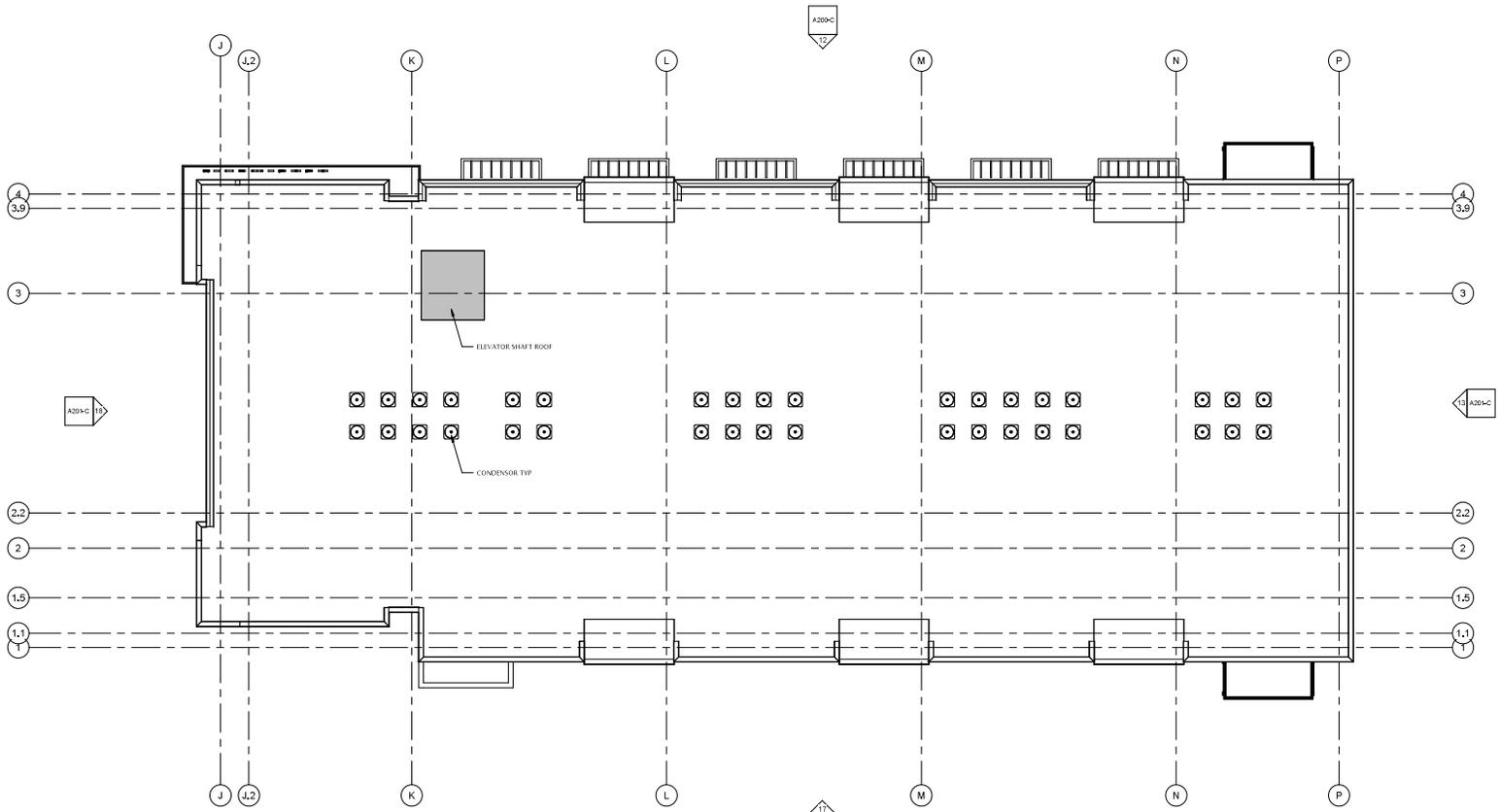
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
FOURTH FLOOR PLAN - BUILDING 'C'

SHEET NUMBER
A104-C

ROOF PLAN KEY	
	TAMPED INSULATION, 1/4 INCH PER 1 FOOT RUN MINIMUM
	DIRECTION OF ROOF SLOPE OR TAMPED POSITION
N/C	HEIGHT OF TAMPED INSULATION IN ADDITION TO NEXT LAYER OF INSULATION
RD	PRIMARY ROOF DRAIN
OD	OVERFLOW ROOF DRAIN

- ROOF PLAN NOTES**
- 1) MAIN ROOFS SHALL BE ASSEMBLY BUILT, UNLESS NOTED OTHERWISE. TOP COURSE OF INSULATION SHALL BE 1/4" THICK AND ASSEMBLY BUILT TO THE ROOF EDGE. SEE ASSOCIATED ROOF ASSEMBLY DESCRIPTIONS.
 - 2) PROVIDE TAMPED INSULATION BOARD WHERE NECESSARY OVER ROOF DRAINS. PROVIDE A 3/16" PER FOOT MINIMUM SLOPE FOR TAMPED INSULATION SHOULD AND OR GRATE WHERE NECESSARY.
 - 3) PROVIDE PREFINISHED SHEET METAL CORNICE AND OR GRAVEL STEPS PER IBC. REFER TO EXTERIOR ELEVATION MATERIAL SCHEDULE FOR SPECIFIED METAL COLOR.
 - 4) ROOF DRAINS AND OVERFLOW DRAINS ARE SHOWN FOR IDENTIFY ONLY. TECHNICAL PLUMBING CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS TO DETERMINE DRAINAGE. THE LOCATION OF ROOF DRAINS AND OVERFLOW DRAINS, ELEVATIONS AND ROOF DRAIN WITH SLOPE CALCULATIONS TO DETERMINE PROPER DRAINAGE. COORDINATE WITH PLUMBING CONTRACTOR TO CORRECTLY SCHEDULE ROOF DRAIN ROUTE AND SLOPE TO ROOF PLAN FOR PROPOSED LOCATIONS. REFER TO ROOF PLAN FOR PROPOSED LOCATIONS.
 - 5) PROVIDE PREFINISHED SHEET METAL COLLECTION BINS AND DOWNSPOUTS TO COLLECT RAINWATER OVERFLOW. REFER TO EXTERIOR ELEVATION AND ROOF PLAN FOR PROPOSED LOCATIONS, AND EXTERIOR MATERIAL SCHEDULE FOR SPECIFIED METAL COLORS. FINAL DOWNSPOUT LOCATION AND QUANTITY TO BE DETERMINED BY REGISTERED PLUMBING CONTRACTOR.
 - 6) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREPARED ACCESSORIES MATCH COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, ETC.
 - 7) ALL DRAINS SHALL BE WATER-TIGHT, COVERED DRAIN BOX AND VENT. PROVIDE POWER BOOSTER PUMP AS NOTED IN VENT RUN DECEES 2506.
 - 8) PLUMBING DESIGNER/REGISTERED CONTRACTOR SHALL COORDINATE THE LOCATION OF ROOF DRAIN-ROOF DRAIN WITH OWNER. COORDINATE LOCATION WITH FLOOR LAYOUT AND MEP LAYOUT BEFORE.
 - 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT THROUGH ROOFING. MANUFACTURER STANDARD DETAILS AND REQUIREMENTS FOR MOMENT AND CURRENT SACS TO APPLY.
 - 10) DESIGNER/REGISTERED CONTRACTOR PROVIDING ROOF PENETRATIONS MUST PROVIDE TECHNICAL DRAWINGS TO BE USED FOR DETERMINING THE PLACEMENT OF FINISHED WORK OR COVERING.
 - 11) VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNERS DESCRIBED MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 - 12) PROVIDE CONTINUOUS AT THE DRAFTING/WORK COMPARTMENTS AT SECTION LINE INTO OTHER PLAN. DETAIL DRAFTING/WORK FULLY DETAILED AND PROVIDE DRAINAGE. SHALL DRAIN WITH CALL AND/OR AS SHOWN TO PROTECT WORKER SAFETY.



19 ROOF PLAN - BUILDING 'C'
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY
AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: NOVEMBER 4, 2020

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
ROOF PLAN - BUILDING 'C'

SHEET NUMBER
A109-C

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
2	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
3	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
4	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
5	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
6	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
7	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
8	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
9	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
10	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
11	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
12	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
13	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
14	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
15	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
16	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
17	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
18	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
19	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
20	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
21	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
22	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
23	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
24	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
25	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
26	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
27	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
28	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
29	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
30	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
31	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
32	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
33	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
34	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
35	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
36	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
37	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
38	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
39	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
40	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
41	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
42	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
43	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
44	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
45	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
46	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
47	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
48	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
49	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
50	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
18	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
19	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
20	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
21	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
22	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
23	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
24	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
25	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
26	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
27	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
28	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
29	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
30	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
31	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
32	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
33	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
34	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
35	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
36	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
37	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
38	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
39	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
40	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
41	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
42	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
43	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
44	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
45	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
46	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
47	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
48	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
49	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED
50	PAVING MATERIAL	TRUSCO BRICKS AND CO. INC.	REDACTED	REDACTED	REDACTED	REDACTED

EXTERIOR ELEVATION NOTES

- COORDINATE WITH ARCHITECT THE LOCATION OF ALL IMPERMEABLE FINISHES IN THE EXTERIOR WALLS.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MULTIPLE PANEL Joints, CONTROL Joints, AND EXPANSION Joints.
- REFER TO BIDDING DETAILS FOR PRECAST BANKING AND REINFORCING.
- ALL WINDOW GLAZING IN FINISHING AREAS SHALL BE OPERATE - COLOR AND FINISH TO BE DETERMINED.



16 'C' - NORTH ELEV
1/8" = 1'-0"



17 BUILDING 'C' - SOUTH ELEVATION
1/8" = 1'-0"



JLA ARCHITECTS
MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 18-1112



DEGEN UNIVERSITY AVENUE MIXED-USE

UDC FINAL

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE	NOVEMBER 4, 2020
REVISION SCHEDULE	
Mark	Description Date

SHEET TITLE
EXTERIOR ELEVATIONS- BUILDING 'C'

SHEET NUMBER
A200-C



Teak Shingles



Metal Trim



Trex Decking



Precast - Vanilla



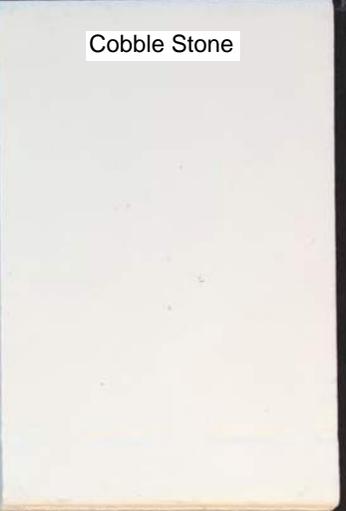
Golden Luster



Iron Gray



Artful Clay



Cobble Stone



Solstice



Clay Windows

Black Storefront



Black Granite



Autumn Clear and Sunset Clear blend