

AGE BETTER COMMUNITY LIVING
MADISON, WI

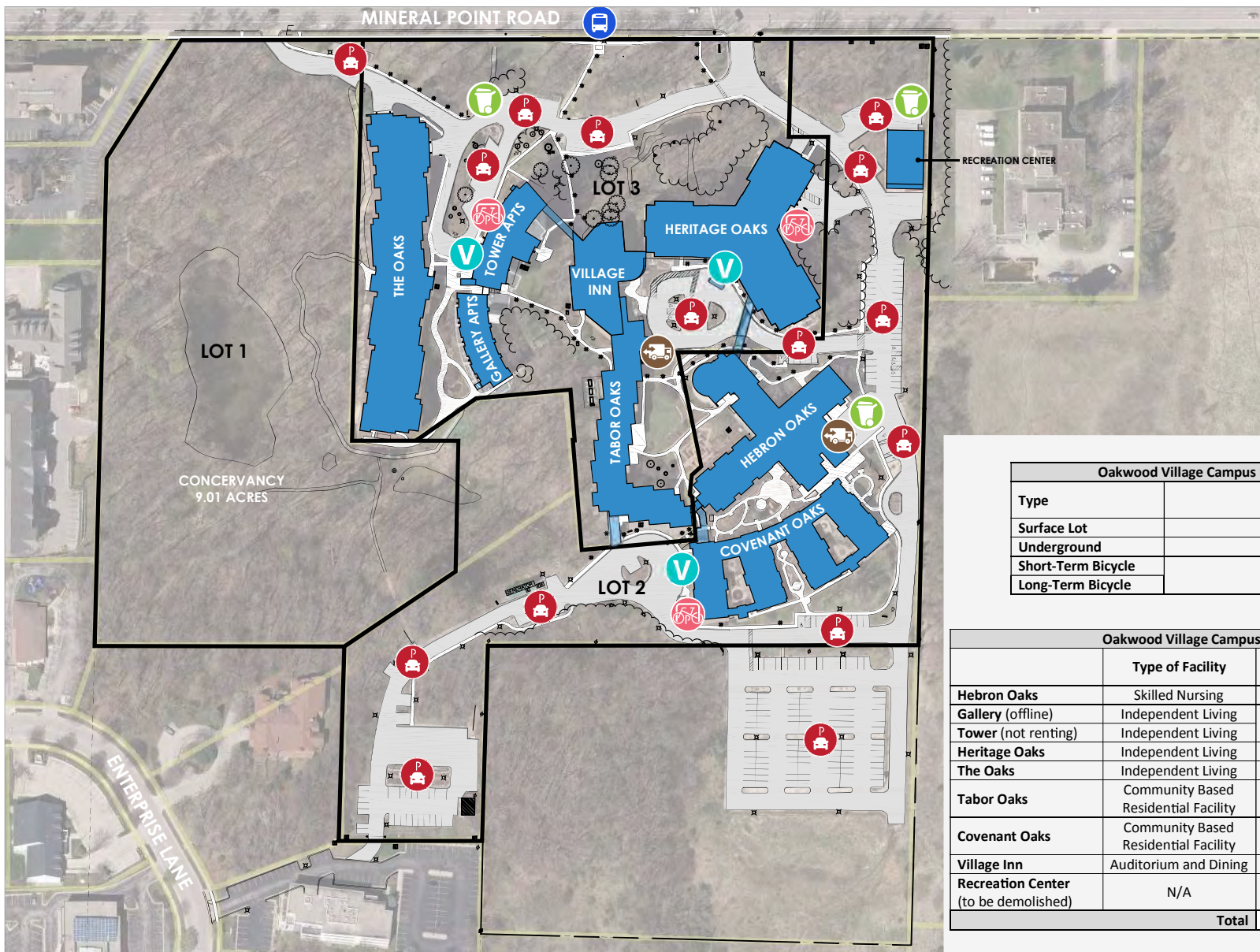
DATE 10.30.2020

CONTEXT PHOTOS







KA KORB + ASSOCIATES ARCHITECTS

GORMAN
& COMPANY, INC.

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners



LEGEND

-  BIKE PARKING AREA
-  VEHICLE PARKING AREA
-  BUS SHELTER
-  VISITOR ENTRANCE
-  LOADING AREA
-  TRASH ENCLOSURE

LAND AREA (LOTS 1-3) • 27.39 ACRES / 1,193,108 SF
 BUILDING COVERAGE • 184,882 SF / 15.5%
 IMPERVIOUS AREA • 417,690 SF / 35.0%
 OPEN SPACE • 775,418 SF / 65.0%

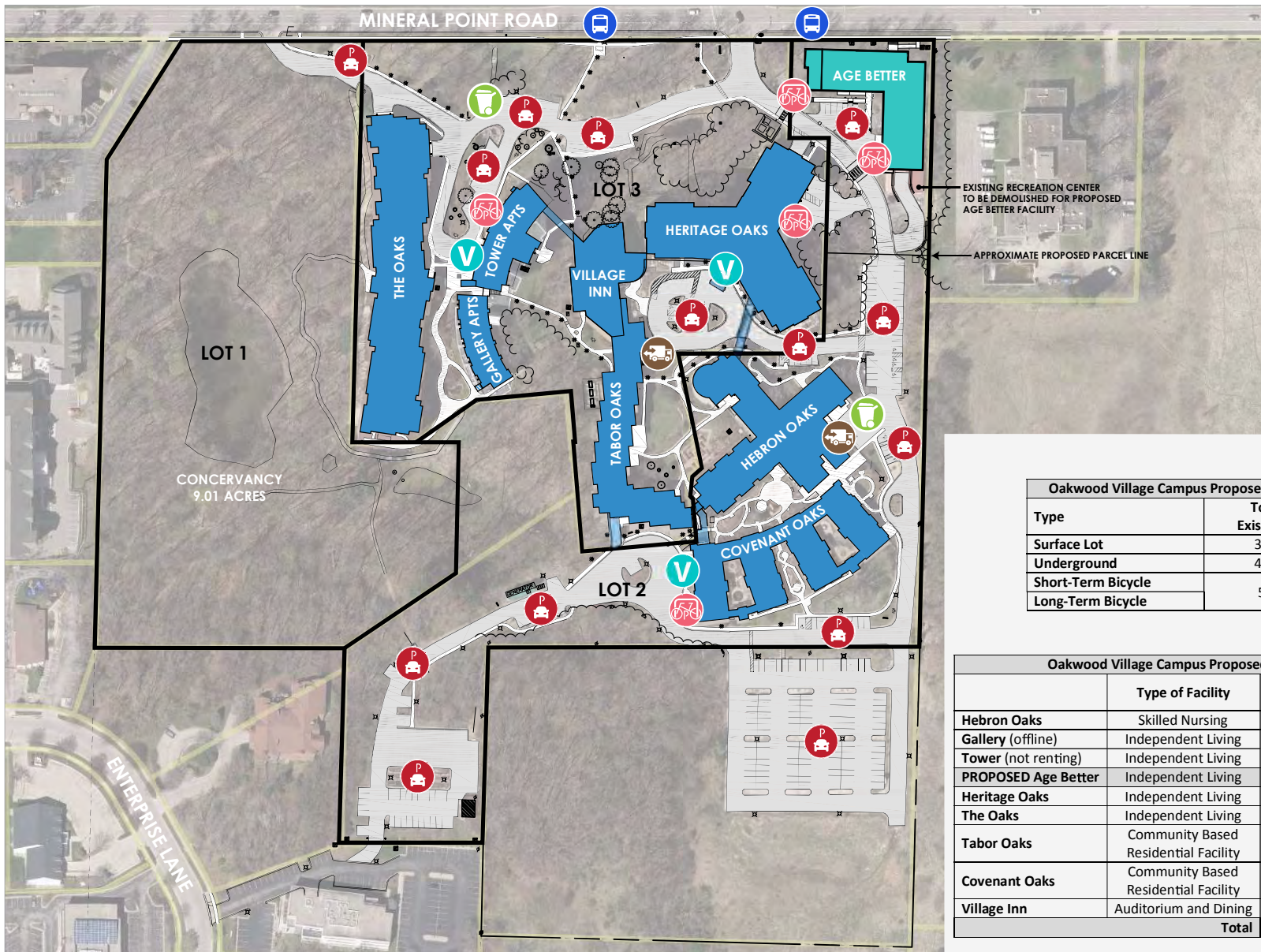
Oakwood Village Campus Existing GDP Parking Summary

| Type | Total Number of Spaces |
|--------------------|------------------------|
| | Existing |
| Surface Lot | 310 |
| Underground | 417 |
| Short-Term Bicycle | 53 |
| Long-Term Bicycle | |

Oakwood Village Campus Existing GDP Building Summary

| | Type of Facility | Total Gross Floor Area | Total Units/Beds | Current Occupied Units |
|--------------------------------------|--------------------------------------|------------------------------|------------------|------------------------|
| Hebron Oaks | Skilled Nursing | 89,000 square-feet | 70 beds | 46 |
| Gallery (offline) | Independent Living | 170,940 square-feet | 56 units | 0 |
| Tower (not renting) | Independent Living | | 147 units | 52 |
| Heritage Oaks | Independent Living | 442,530 square-feet | 125 units | 116 |
| The Oaks | Independent Living | 235,760 square-feet | 90 units | 87 |
| Tabor Oaks | Community Based Residential Facility | 60,880 square-feet | 60 beds | 40 |
| Covenant Oaks | Community Based Residential Facility | 50,960 square-feet | 40 beds | 38 |
| Village Inn | Auditorium and Dining | 23,450 square-feet | N/A | N/A |
| Recreation Center (to be demolished) | N/A | 4,500 square-feet | N/A | N/A |
| Total | | 1,078,020 square-feet | 588 | 379 |





LEGEND

- BIKE PARKING AREA
- VEHICLE PARKING AREA
- BUS SHELTER
- VISITOR ENTRANCE
- LOADING AREA
- TRASH ENCLOSURE

LAND AREA (LOTS 1-3) • 27.39 ACRES / 1,193,108 SF
 BUILDING COVERAGE • 199,230 SF / 16.7%
 IMPERVIOUS AREA • 434,178 SF / 36.4%
 OPEN SPACE • 758,930 SF / 63.6%

Oakwood Village Campus Proposed GDP/SIP Amendment Parking Summary

| Type | Total Number of Spaces | | Total |
|--------------------|------------------------|----------|-------|
| | Existing | Proposed | |
| Surface Lot | 310 | 6 | 316 |
| Underground | 417 | 66 | 483 |
| Short-Term Bicycle | 53 | 16 | 140 |
| Long-Term Bicycle | | 71 | |

Oakwood Village Campus Proposed GDP/SIP Amendment Building Summary

| | Type of Facility | Total Gross Floor Area | Total Units/Beds | Current Occupied Units |
|---------------------|--------------------------------------|------------------------|------------------|------------------------|
| Hebron Oaks | Skilled Nursing | 89,000 square-feet | 70 beds | 46 |
| Gallery (offline) | Independent Living | 170,940 square-feet | 56 units | 0 |
| Tower (not renting) | Independent Living | | 147 units | 52 |
| PROPOSED Age Better | Independent Living | 110,290 square-feet | 77 units | N/A |
| Heritage Oaks | Independent Living | 442,530 square-feet | 125 units | 116 |
| The Oaks | Independent Living | 235,760 square-feet | 90 units | 87 |
| Tabor Oaks | Community Based Residential Facility | 60,880 square-feet | 60 beds | 40 |
| Covenant Oaks | Community Based Residential Facility | 50,960 square-feet | 40 beds | 38 |
| Village Inn | Auditorium and Dining | 23,450 square-feet | N/A | N/A |
| Total | | 1,183,810 square-feet | 665 | 379 |

OAKWOOD VILLAGE UNIVERSITY WOODS
MADISON, WI

DATE 10.30.2020

OVERALL AMENDED GDP EXHIBIT



0 75 150 300



OAKWOOD
VILLAGE

GORMAN
& COMPANY, INC.

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

NORTH QUARTER CORNER
SECTION 25-07-08
FOUND 1-1/4" REBAR
N=477,769.56
E=792,126.90

NORTHEAST CORNER
SECTION 25-07-08
FOUND ALUMINUM MONUMENT
N=477,775.19
E=794,780.36

1986.56' S89°52'42"W 2653.47' 666.91'

MINERAL POINT ROAD

PARCEL A
60,886 S.F.
1.398 ACRE

INGRESS-EGRESS EASEMENT
DOCUMENT No. 1437676
CURRENT ZONING IS PD









| LINE TABLE | | |
|------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L-1 | S01°25'01"W | 59.71' |
| () | S01°01'32"W | 59.79' |
| L-2 | S01°25'01"W | 330.62' |
| () | S01°01'32"W | - |
| L-3 | N88°34'53"W | 157.96' |
| L-4 | N01°25'02"E | 176.39' |
| () | N01°01'32"E | - |
| L-5 | S89°53'07"W | 60.00' |
| () | S89°29'32"W | 60.00' |
| L-6 | N01°25'02"E | 150.00' |
| () | N01°01'32"E | 150.00' |
| L-7 | N89°53'07"E | 218.01' |
| () | N89°29'32"W | 218.00' |

LOT 3
CSM 1616

LOT 1
CSM 4896

LOT 2
CSM 1616

LEGEND

-  GOVERNMENT CORNER
-  PLAT BOUNDARY
-  CHORD LINE
-  CENTERLINE
-  RIGHT-OF-WAY LINE
-  PLATTED LOT LINE
-  SECTION LINE
-  EASEMENT LINE

NOTES

1. FIELD WORK PERFORMED ON JULY 17 AND 20, 2020.
2. BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 25-07-08, BEARS S89°52'42"W.



0 40' 80'
SCALE: 1" = 80'

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

PROJECT:
GORMAN AND COMPANY
200 N. MAIN ST.
OREGON, WI 53575

SHEET TITLE:
EXHIBIT

| | |
|--------------------------------|--------------------|
| JSD PROJECT NUMBER: 20-9748 | SHEET NUMBER: 1 |
| DRAWN BY: JK | CHECKED BY: CJO |
| DATE: AUGUST 11, 2020 | |

MINERAL POINT ROAD (WB)

MINERAL POINT ROAD (EB)

PREVIOUS FOOTPRINT
OUTLINE

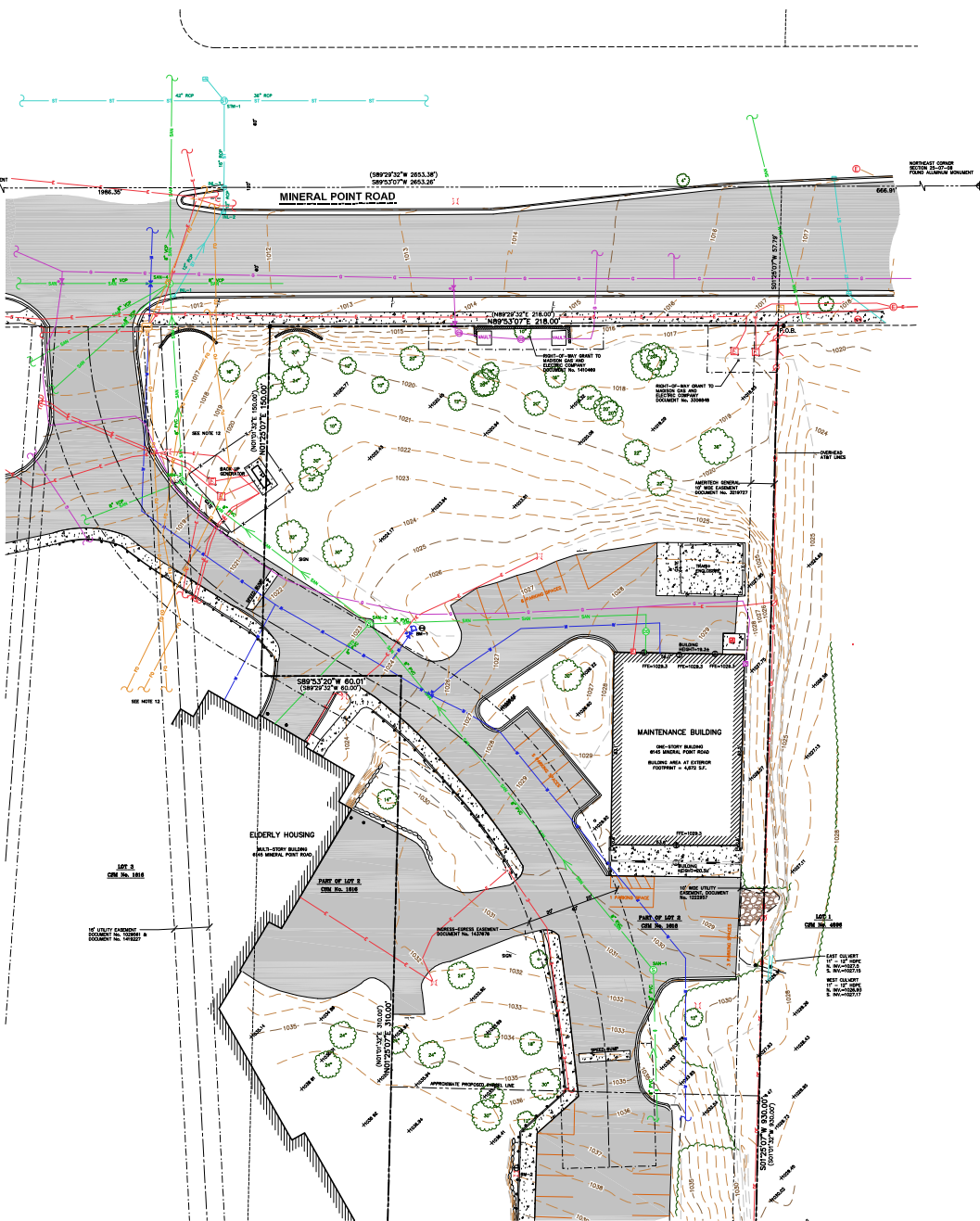
GREEN
ROOF

PRIVATE DRIVE

PROPOSED
BUILDING

PREVIOUS FOOTPRINT
OUTLINE

PRIVATE DRIVE



EXISTING CONDITIONS SURVEY

PART OF LOT 2, CERTIFIED SURVEY MAP No. 1616, LOCATED IN PART OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 07 NORTH, RANGE 08 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- SON
- SANITARY MANHOLE
- HYDRANT
- WATER VALVE
- CURB STOP/SERVICE VALVE
- STORM MANHOLE
- CURB INLET
- GAS REGULATOR/METER
- GAS VALVE
- MANHOLE - UNCOVERED TYPE
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- AIR CONDITION UNIT
- LIGHT POLE
- POWER POLE W/STAY
- TRAFFIC SIGNAL
- Vault
- CABLE PEDESTAL
- DECIDUOUS TREE
- PARCEL BOUNDARY
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- EASEMENT LINE
- LANDSCAPE LIMITS
- FENCE LINE
- GUARD OR SAFETY RAIL
- STONE WALL
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- EDGE OF GRAVEL
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OVERHEAD ELECTRIC DISTRIBUTION
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- EDGE OF WOODS OR BRUSH
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- RETAINING WALL
- GRAVEL
- PAVEMENT STRIPING
- END OF FLAGGED UTILITIES
- REVERSES RECORD DATA SENSING THE SAME LINE ON THE GROUND AS RETAINED BY THIS SURVEY

NOTES

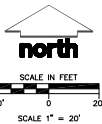
- FIELD WORK PERFORMED ON JULY 17 AND 20, 2020.
- BEARINGS FOR THIS SURVEY AND ANY ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 25-07-08, RECORDED AS N18°57'E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A ALUMINUM MONUMENT MARKING THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 07 NORTH, RANGE 08 EAST, RECORDED AS N18°57'E.
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOLE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOLE FIELD MARKING NO. 2020020136, 2020020141 AND 2020020176, WITH A START DATE OF JULY 21, 2020.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOLE:
 - CITY OF MADISON ENGINEERING
 - CHARTER COMMUNICATIONS
 - AT&T DISTRIBUTION
 - WESTERN COMMUNICATIONS (NO UTILITIES ON SITE)
 - WILLIS TOWERWATSON
 - THE TELECOM
 - SUPERNET COMMUNICATIONS
 - MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)
 - METROPOLITAN UTILITIES NETWORK CONSORTIUM
 - CENTURYPUNK (LEVEL 3 - NO UTILITIES ON SITE)
 - WESTON SERVICES
 - MTS METROCOM
 - TESS METROCOM
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOLE, AT 1.800.242.8871.
- NO PROFESSIONAL GUARANTEE. THIS SURVEY DOES NOT GUARANTEE THAT THE BENCHMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.
- SITE PLAN RECORDS WERE REQUESTED FROM THE CITY OF MADISON PLANNING DEPARTMENT. NO RECORDS WERE SUPPLIED FOR THIS SITE.
- ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.
- FIBER OPTIC LINE'S ARE FROM A CAD FILE SUPPLIED BY OAKWOOD VILLAGE AND WERE NOT FIELD LOCATED BY DIGGERS HOLE.

| SANITARY SEWER MANHOLES | | | | | |
|-------------------------|---------------|--------|-----------|-----------|-----------|
| STRUCT. ID | R/W ELEVATION | INVERT | ELEVATION | PIPE SIZE | PIPE TYPE |
| SAN-1 | 1023.13 | NW | 1024.08 | 8" | PVC |
| SAN-2 | 1023.13 | NW | 1024.08 | 8" | PVC |
| | | SW | 1024.34 | 8" | PVC |
| SAN-3 | 1018.88 | NW | 1024.33 | 8" | PVC |
| | | SW | 1027.35 | 8" | PVC |
| SAN-4 | 1017.58 | S | 1023.33 | 8" | PVC |
| | | SW | 1026.36 | 8" | PVC |
| | | W | 1028.29 | 8" | PVC |
| | | N | 1023.22 | 8" | PVC |

| STORM SEWER INLETS | | | | | |
|--------------------|---------------|--------|-----------|-----------|-----------|
| INLET ID | R/W ELEVATION | INVERT | ELEVATION | PIPE SIZE | PIPE TYPE |
| INL-1 | 1017.12 | NE | 1008.92 | 12" | RCP |
| INL-2 | 1017.30 | SW | 1006.76 | 12" | RCP |
| INL-3 | 1016.84 | N | 1006.71 | 12" | RCP |
| | | SW | 1007.48 | 12" | RCP |
| STM-1 | 1017.80 | N | 1007.48 | 12" | RCP |
| | | SW | 1006.65 | 12" | RCP |
| | | E | 1006.65 | 12" | RCP |
| | | W | 1006.68 | 12" | RCP |
| | | N | 1006.65 | 12" | RCP |

| BENCHMARKS | | |
|------------|-----------|---|
| BM# | ELEVATION | DESCRIPTION |
| BM-1 | 1028.25 | TOP NAIL ON TOWER, NORTHWEST OF MAINTENANCE BUILDING |
| BM-2 | 1028.92 | CHARLED STAKE ON LIGHT POLE BASE, SOUTHWEST OF MAINTENANCE BUILDING |

NOTES: THIS SURVEY DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.



CREATE THE VISION. TELL THE STORY.

MADISON REGIONAL OFFICE
1400 E. MONROE STREET, SUITE 101
MADISON, WISCONSIN 53703
P: 608.261.2000

CLIENT:
GORMAN & COMPANY

CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI 53575**

PROJECT:
6145 MINERAL POINT RD.

PROJECT LOCATION:
**CITY OF MADISON
DANE COUNTY, WISCONSIN**

| AS NOTED/REVISIONS | |
|--------------------|-------------|
| # | Description |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |
| 11 | |
| 12 | |
| 13 | |
| 14 | |
| 15 | |

Drawn By: JH 07/20/20
Checked By: JH 07/20/20

SHEET TITLE:
**EXISTING
CONDITIONS
SURVEY**

SHEET NUMBER:
1 OF 1

NOT PROJECT FILE: 04/17/20





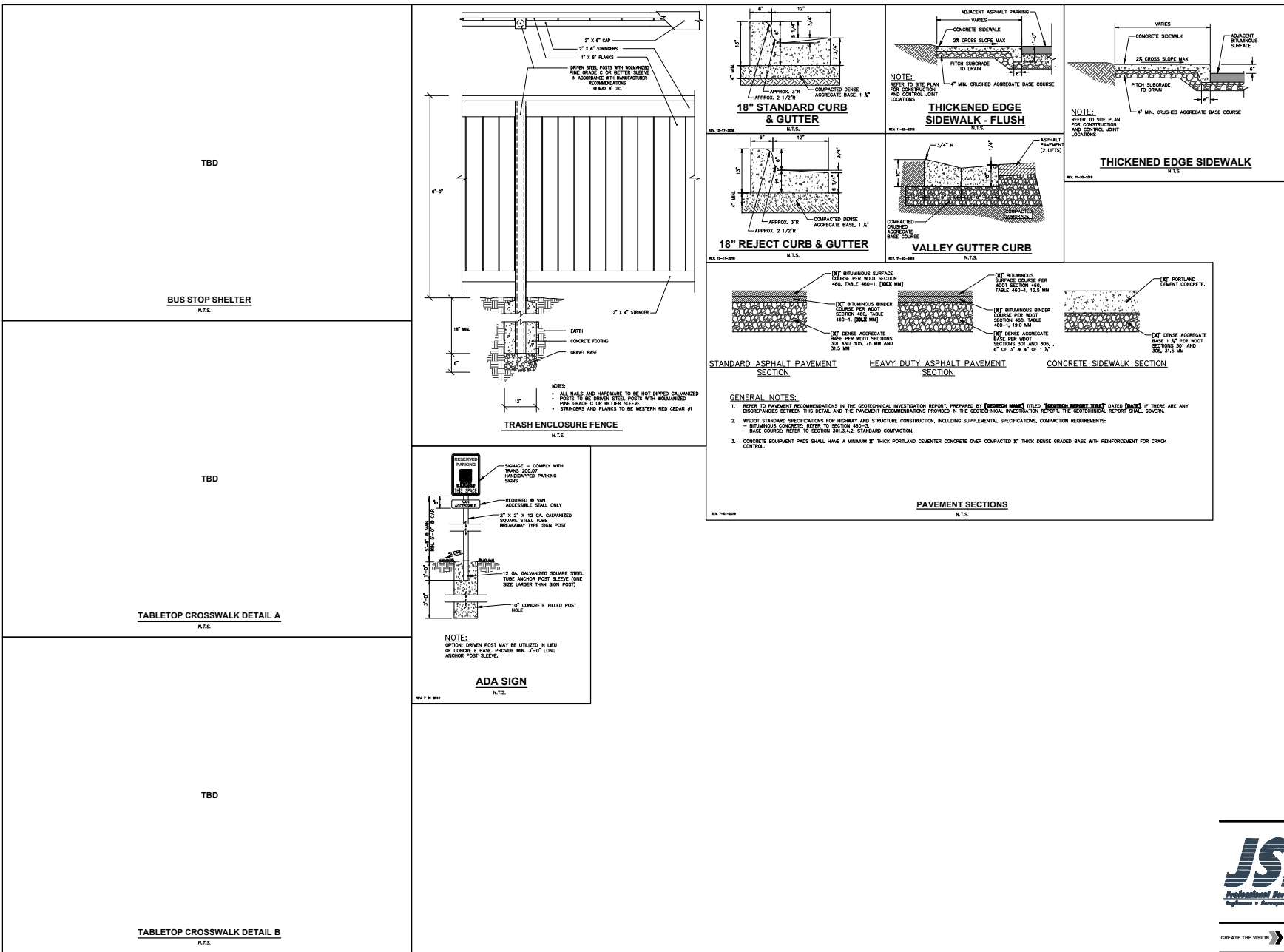
| | |
|----------|--------------------|
| COMM No: | TED |
| SCALE: | AS NOTED |
| PHASE: | LAND USE SUBMITTAL |
| DATE: | 08.12.2020 |

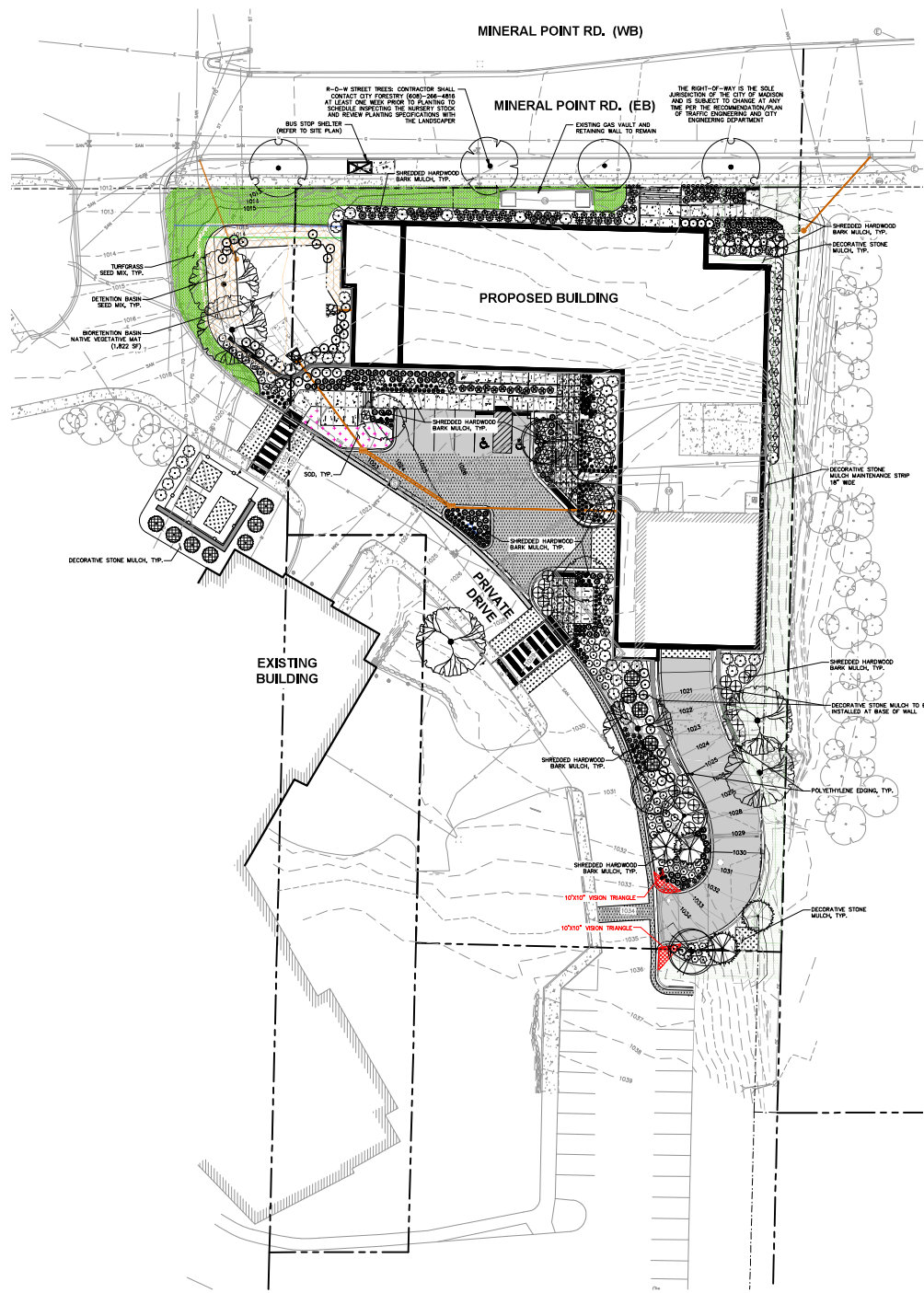
C500



[illegible]

| | |
|------------|--------------------|
| COMMITTEE: | TBD |
| SCALE: | AS NOTED |
| PHASE: | LAND USE SUBMITTAL |
| DATE: | 06.12.2020 |





GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
3. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
4. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
5. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCKS, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
6. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE.
7. GENERAL: ALL WORK IN THE R-0-W AND PUBLIC ENCLOSURES SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JOBS SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCREPANCY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-246-8811 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEW EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADERS. CONTRACTOR IS RESPONSIBLE FOR SAVING THE PLANT MATERIALS FROM THE SITES BY CONFINING PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE OWNER.
8. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS PLANTED BY STORING THEM IN A SHADE, SECURE AREA, PROTECTING THE ROOT MASS WITH NETS, MULCH, OR OTHER METHODS. PLANTS SHALL BE PLANTED IN A SHADE PLANT MATERIALS ADJACENTLY NEEDED TO PREVENT ROOT DECOMPOSITION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLEED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALLEED. PLANTS ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
9. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND SOIL. PLANTS SHALL BE TAKEN TO SPECIES AND VARIETY SPECIFIED AND NURSERY SHOWN IN ACCORDANCE WITH SOON HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 5 YEARS. PLANTS SHALL BE TREELY GROWN (GROWN THE MOST RECENT FRUITFUL HARVEST SEASON). PLANTS SHALL BE SO TREED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SHAPENESS. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND GENUINELY RELATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (LOCAL ROOT BORER OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OF OTHER CONTAINERS THAT WOULD PREVENT FUTURE GROWTH OF PLANTATIVE. ADULT PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM, BE FREE OF DISEASE, INJURY, AND BE FREE OF INJURY. PLANTS AND PLANTING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
10. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND SHRUBS REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADER, LEAD BRANCHES, LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND SOIL. PRUNING SHALL BE IN ACCORDANCE WITH AN QUALIFIED, CP NOT FOR PRUNING. PRUNING SHALL BE ACCORDING TO SHADING AND PLANTING. PRUNING SHALL BE DONE OVER 2/3 IN LENGTH OF BRANCHES OR SCARS OR BARK. TREES SHALL BE INJURED CANNON LATER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED MICROBIOLOGICAL LATEX RESIN ANTISETIC TREE SEAL, IF PRUNING OCCURS IN WINTER. DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
11. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL AND BRANCHED, BARK AND BARK. REMOVE ALL WASTE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER ITEMS RESULTING FROM PLANTING AND REMOVAL FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL BRANCHED OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR COMPLAIN. UNDER NO CIRCUMSTANCES SHALL ANY SOILS OR RECEIVED MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
12. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES, QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- BUILDING OUTLINE
- BUILDING OVERLAP
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- VALLEY CURB OR RIBBON CURB (REFER TO SITE PLAN)
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE PAVEMENT W/ INTERNAL COLOR AND LIGHT, SANDBLAST FINISH
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- STORMWATER MANAGEMENT AREA
- SANITARY SEWER
- WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING STORM SEWER
- MODULAR BLOCK RETAINING WALL
- RAILROAD
- FENCE
- LIGHT POLE (REFER TO PHOTOGRAPHIC PLAN)
- ADA PARKING SIGN
- BIKE RACK
- ADA WARNING DETECTOR PLATE (REFER TO SITE PLAN FOR LENGTH)
- MOVABLE PLANTER
- TRASH/RECYCLING RECEPTACLE
- BENCH SEATING
- RECYCLED RUBBER WHEEL STOP
- LIGHT BOLLARD (REFER TO PHOTOGRAPHIC PLAN)
- POLYETHYLENE EDGING
- SEED MIX - DETENTION BASIN
- SEED MIX - TURFGRASS
- SOIL

PROJECT
AGE BETTER COMMUNITY
LIVING
6165 MINERAL POINT RD.
MADISON, WI 53705

OWNER
CORMAN & COMPANY
200 N. MAIN STREET
OREGON, WI 53575

ARCHITECT
K&A ASSOCIATES
648 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53203

LANDSCAPE ARCHITECT
JSD PROFESSIONAL
SERVICES, INC.
151 HERZOG DR.
SUITE 101
VERONA, WI 53593

STRUCTURAL ENGINEER
TBD

| REV. | DATE | DESCRIPTION |
|------|----------|----------------------|
| 1 | 07/29/20 | REVISED PER COMMENTS |
| 2 | 07/29/20 | REVISED PER COMMENTS |
| 3 | 07/29/20 | REVISED PER COMMENTS |

MEETS 10 MINUTE
Toll Free (800) 242-8511

JSD
Professional Services, Inc.
Engineers • Architects • Planners

CREATE THE VISION TELL THE STORY

MADISON • MILWAUKEE • WAUWATON
APPLETON • KENOSHA • CHICAGO
COLORADO SPRINGS

MADISON REGIONAL OFFICE
141 HERZOG DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.261.0000

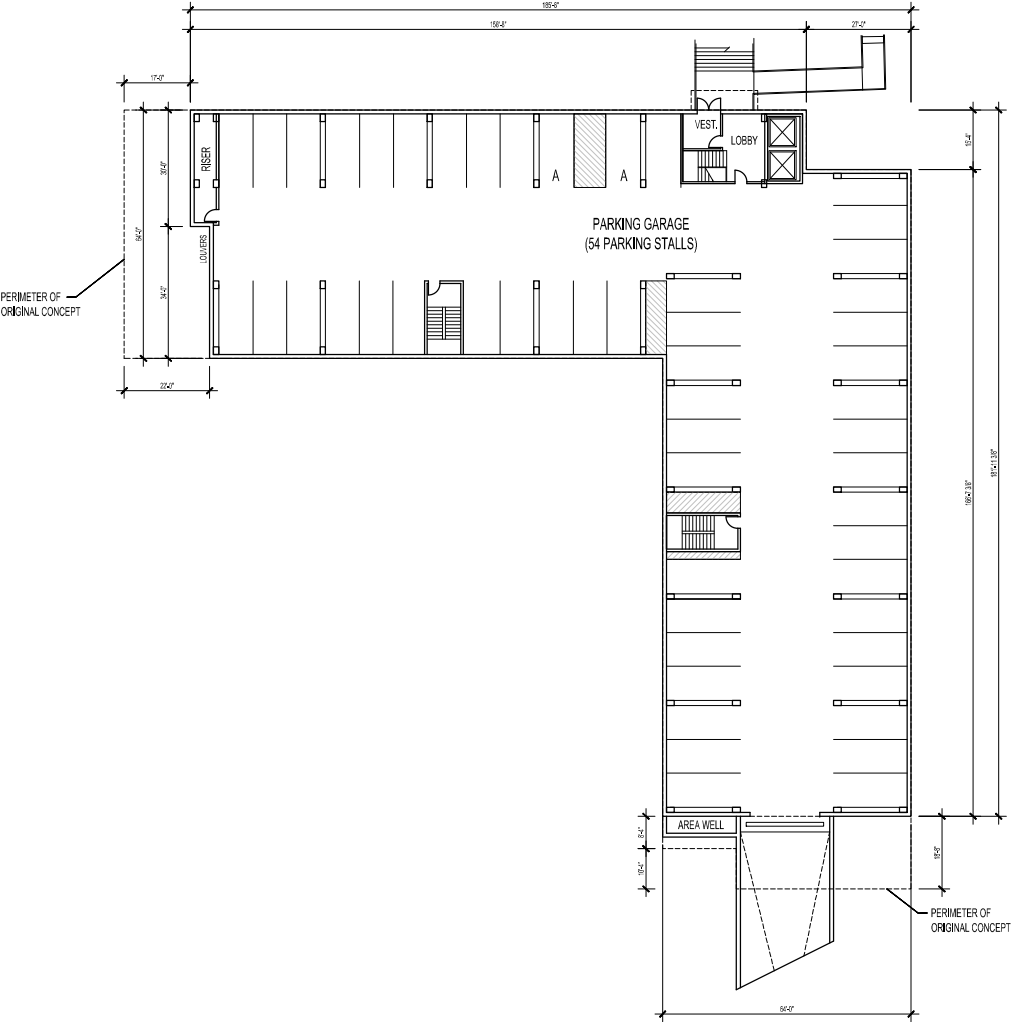
LANDSCAPE PLAN

L100



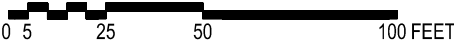
BASEMENT FLOOR PLAN
GSF: 18,848 SF

RESIDENTIAL PARKING:
LL: 54 INTERIOR STALLS
1ST: 12 INTERIOR STALLS
1ST: 6 EXTERIOR STALLS
TOTAL PARKING: 72 PARKING STALLS



LOWER LEVEL PARKING PLAN

$\frac{1}{16}'' = 1'-0''$



REVIEW SET ONLY
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PROJECT NAME:
AGE BETTER COMMUNITY
LIVING
6145 MINERAL POINT RD
MADISON, WI 53705

OWNERS INFO:
GORMAN & COMPANY
200 N. MAIN STREET
OREGON, WI 53575
P 608.635.3600

ARCHITECT:
KORB + ASSOCIATES
648 N. PLANKINTON AVE.
SUITE 240
MILWAUKEE, WI 53203
P 414.273.8230

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| PROJ. NO. | 20002.02 |
| SCALE | AS NOTED |
| PHASE | PLANNING APPROVALS |
| DATE | 10-30-2020 |

FIRST FLOOR PLAN
GSF: 18,848 SF

UNIT QUANTITIES:

1 BR - 61
2 BR - 16
TOTAL: 77

RESIDENTIAL PARKING:

LL: 54 INTERIOR STALLS
1ST: 12 INTERIOR STALLS
1ST: 6 EXTERIOR STALLS
TOTAL PARKING: 72 PARKING STALLS

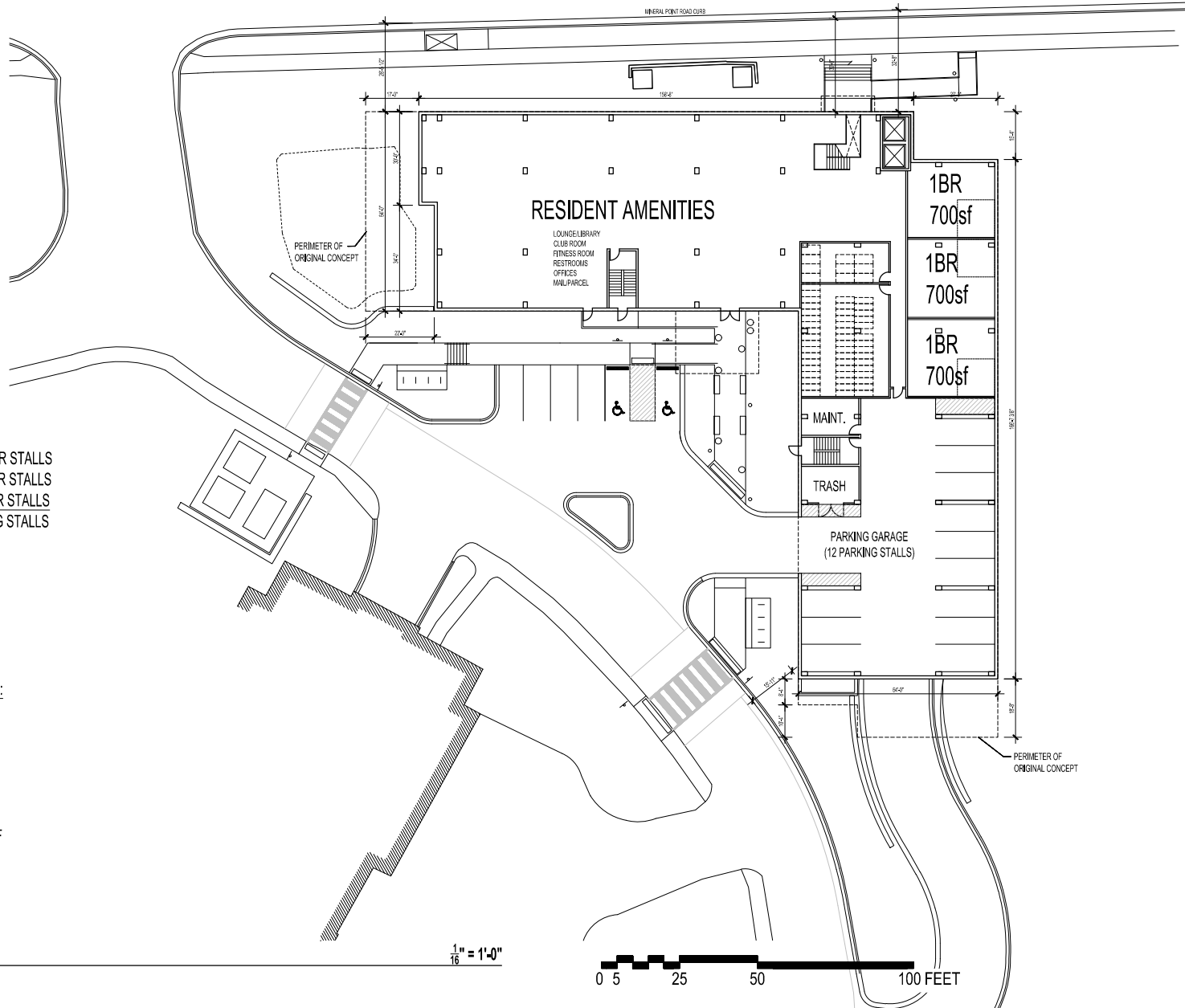
BIKE PARKING:

EXTERIOR 16
INTERIOR - GROUND 49
INTERIOR - STRUCTURED 22
TOTAL: 87

BUILDING SQUARE FOOTAGE:

LL 18,848 SF
1ST 18,848 SF
2ND 18,400 SF
3RD 18,400 SF
4TH 18,400 SF
5TH 17,394 SF
TOTAL GSF: 110,290 GSF

MINERAL POINT ROAD



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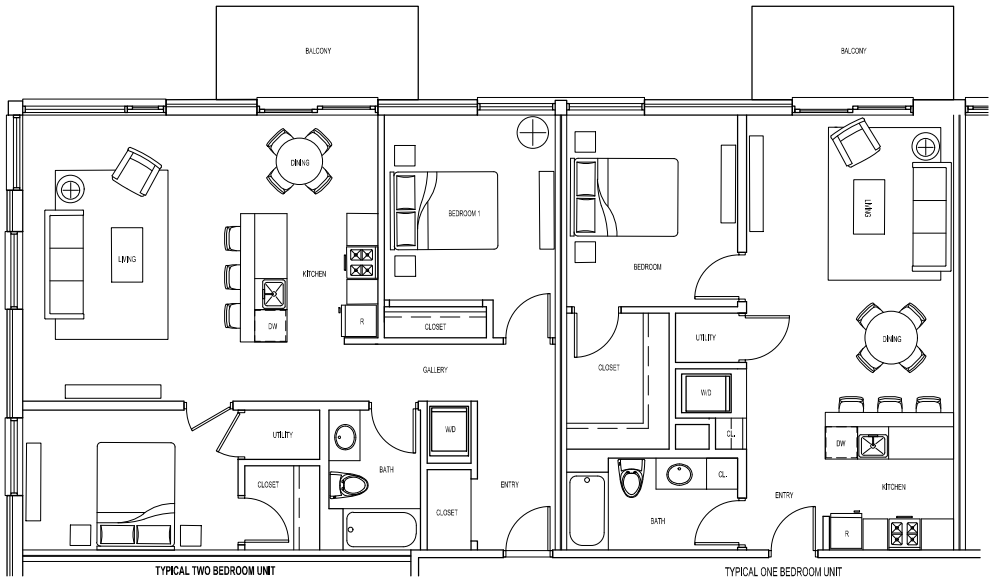
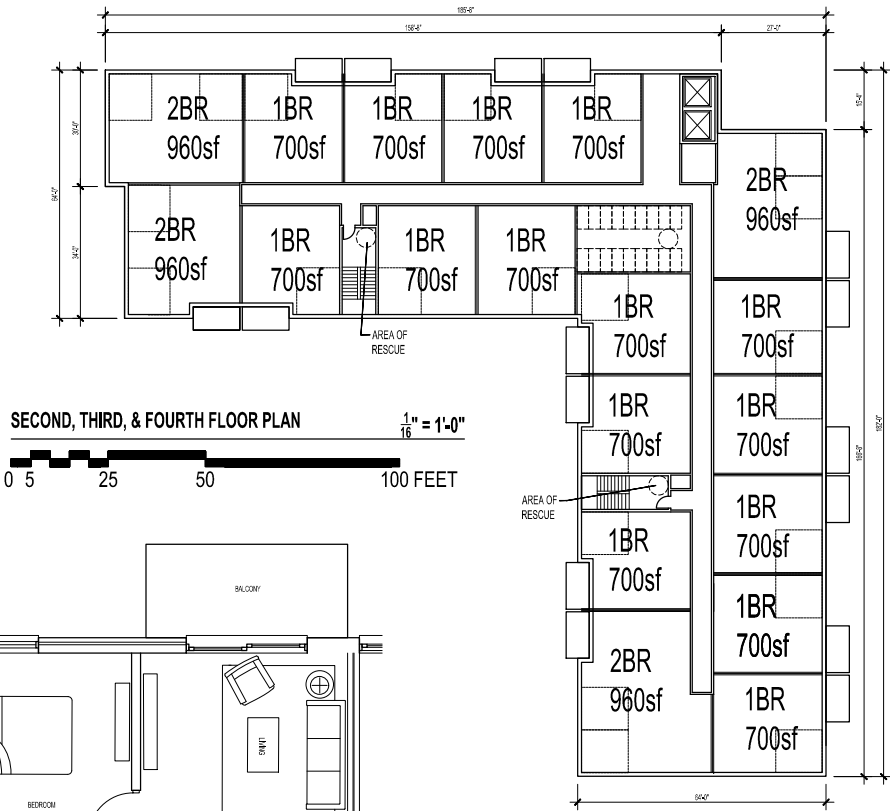
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FIRST FLOOR PLAN

A101

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TYPICAL FLOOR PLAN
GSF: 18,400 SF



TYPICAL UNIT PLANS

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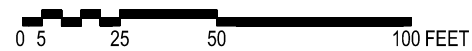
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| DATE | 10-30-2020 |



TYPICAL 24 FLOOR PLAN

A102

GSF: 17,394 SF


$$\frac{1}{16}'' = 1'-0''$$


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KORB + ASSOCIATES
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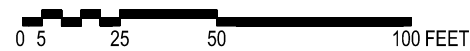
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A103

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ROOF PLAN


$$\frac{1}{4}'' = 1'-0''$$


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KORB + ASSOCIATES ARCHITECTS

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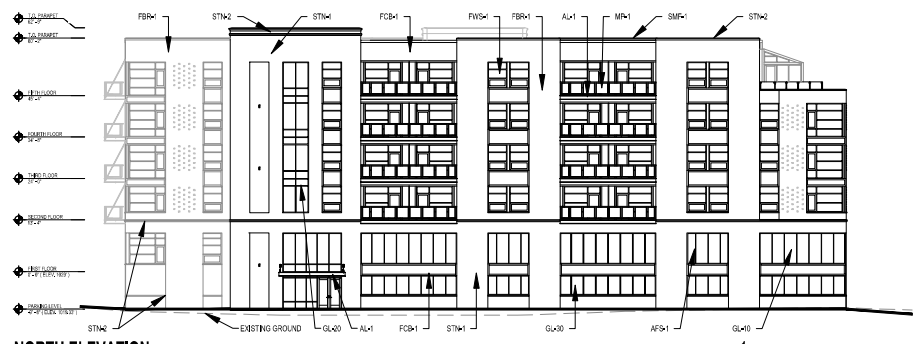
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| SCALE: | AS NOTED |
| PHASE: | PLANNING APPROVALS |
| DATE: | 10-30-2020 |

ROOF PLAN

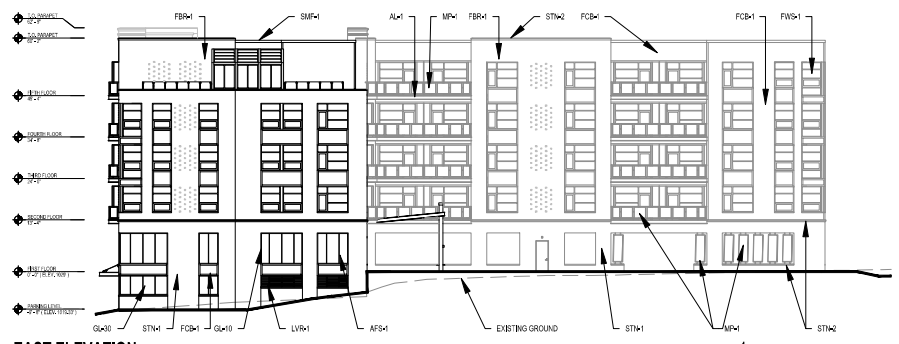
A104

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NORTH ELEVATION
 $\frac{1}{16}'' = 1'-0''$



EAST ELEVATION
 $\frac{1}{16}'' = 1'-0''$

PROJECT NAME:
AGE BETTER COMMUNITY LIVING
6145 MINERAL POINT RD
MADISON, WI 53705

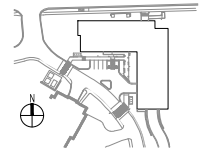
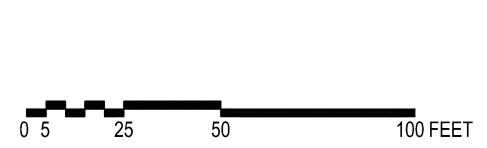
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OREGON, WI 53575
P 608.835.3600

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ELEVATIONS
A200
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6145 MINERAL POINT RD
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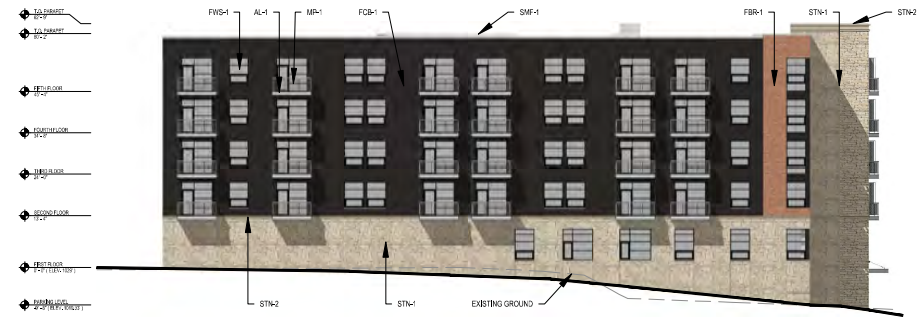
OWNERS INFO
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200 N. MAIN STREET
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P 608.835.3600

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SUITE 240
MILWAUKEE, WI 53203
P 414.273.8230



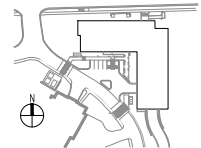
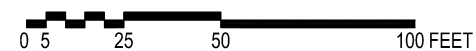
SOUTH ELEVATION

1" = 1'-0"



WEST ELEVATION

1" = 1'-0"

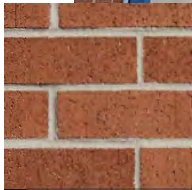


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ELEVATIONS
A201

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Summit Brick Company
Medium Red

FBR-1 : Face Brick



HardiePlank Lap - Select Cedarmill
Rich Espresso

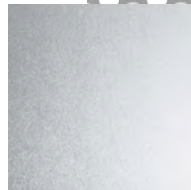
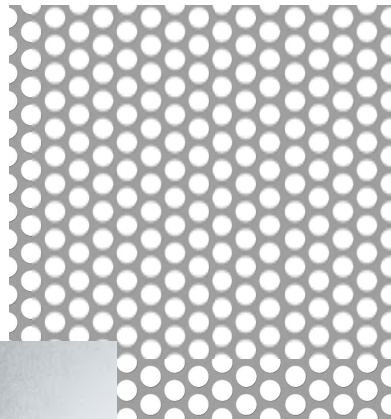
FCB-1 : Fiber Cement Board Siding



Echelon Masonry Waterford Stone
London Gray

STN-1 : Anchored Stone Veneer

STN-2 : Cast Stone Sill & Accessories - To Match



MP-1 : Perforated Metal Panel

Centria Concept CS-660
181 Slate Gray

AL-1 : Clear Anodized Aluminum

SMF-1 : Prefinished Sheet Metal - To match



Guardian Glass - Deco HT
Warm Grey - Low-E Coating

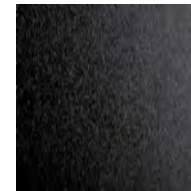
GL-30 : Low-E, Ceramic-Coated Insulating Spandrel Glass



Guardian Glass
Sunguard - Low-E Coating

GL-10 : Low-E Clear Insulating Glass

GL-20 : Low-E Clear Insulating Glass - Frosted Film



Kawneer Trifab VG 451T
Anodized Black

AFS-1 : Aluminum Storefront Framing System

LVR-1 : Prefinished Aluminum Louver



Pella Impervia - Fiberglass
Black

FWS-1 : Fiberglass Window System

OCTOBER 30, 2020

KORB + ASSOCIATES ARCHITECTS

EXTERIOR MATERIALS

AGE BETTER COMMUNITY LIVING



OCTOBER 30, 2020

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - MINERAL POINT RD EAST FACADE
AGE BETTER COMMUNITY LIVING



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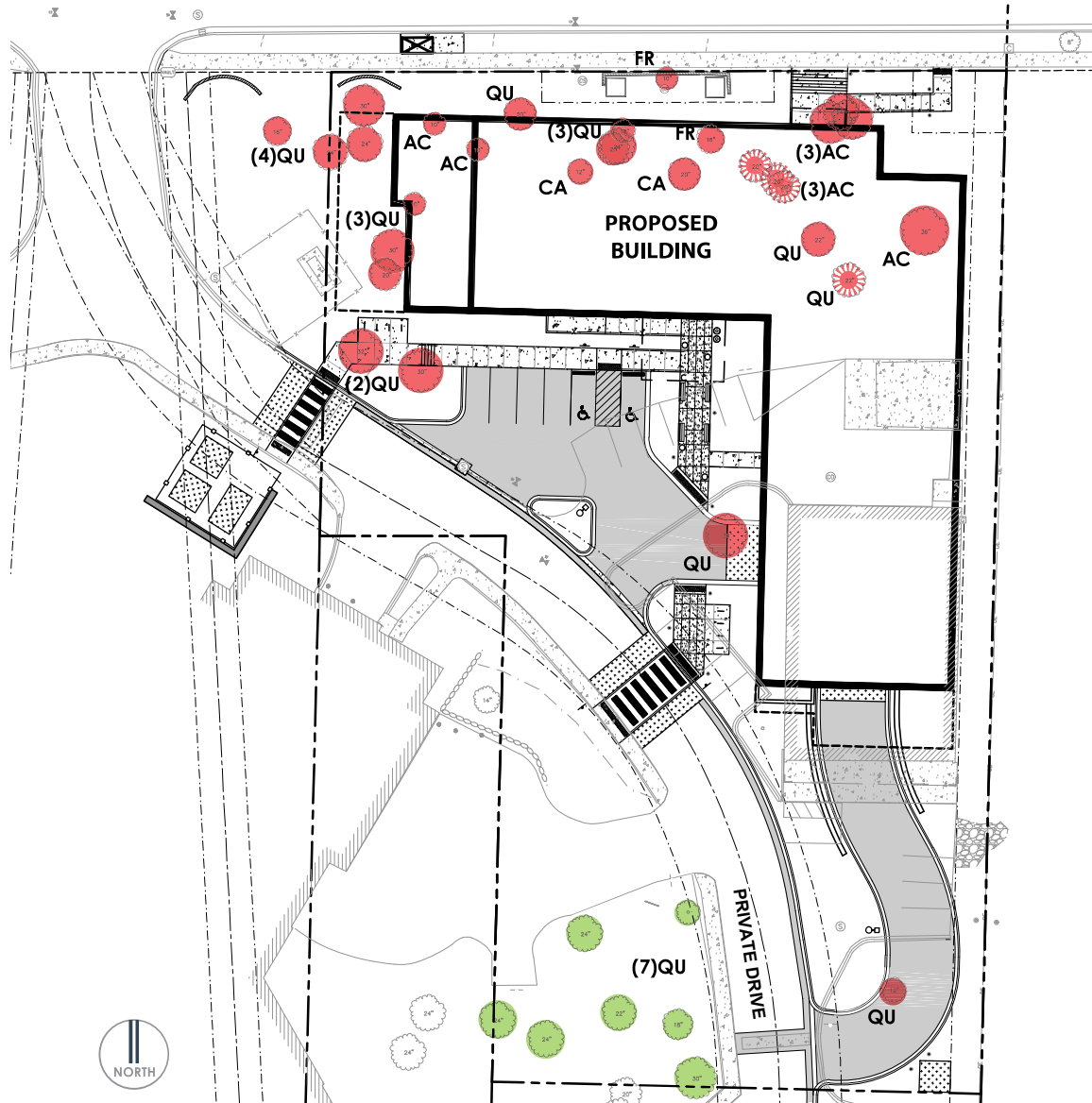
EXTERIOR RENDERING - MINERAL POINT RD WEST FACADE
AGE BETTER COMMUNITY LIVING



OCTOBER 30, 2020

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - ENTRANCE DRIVE
AGE BETTER COMMUNITY LIVING



| LEGEND | |
|--------------------------------------|--|
| ● | EXISTING TREE TO BE PRESERVED |
| ● | EXISTING TREE TO BE REMOVED |
| ✱ | EXISTING TREE IN POOR HEALTH TO BE REMOVED |
| AC | MAPLE |
| CA | HICKORY |
| FR | ASH |
| QU | OAK |

