

























AGE BETTER COMMUNITY LIVING

MADISON, WI DATE 10.30.2020

CONTEXT PHOTOS



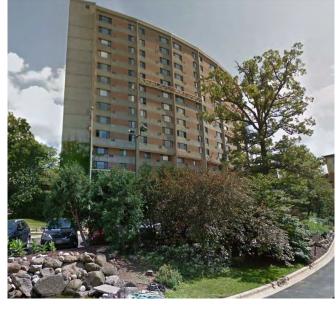


















AGE BETTER COMMUNITY LIVING

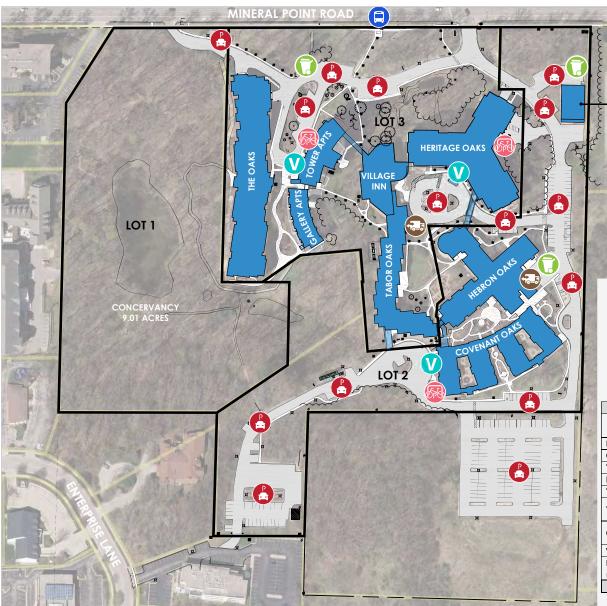
MADISON, WI DATE 10.30.2020

CONTEXT PHOTOS









LEGEND



BIKE PARKING AREA



VEHICLE PARKING AREA



BUS SHELTER



VISITOR ENTRANCE



LOADING AREA



TRASH ENCLOSURE

LAND AREA (LOTS 1-3) • 27.39 ACRES / 1,193,108 SF BUILDING COVERAGE • 184,882 SF / 15.5%

Oakwood Village Campus Existing GDP Parking Summary		
Туре	Total Number of Spaces	
	Existing	
Surface Lot	310	
Underground	417	
Short-Term Bicycle	53	
Long-Term Bicycle	55	

Oakwood Village Campus Existing GDP Building Summary				
	Type of Facility	Type of Facility Total Gross Floor Area		Current Occupied Units
Hebron Oaks	Skilled Nursing	89,000 square-feet	70 beds	46
Gallery (offline)	Independent Living	170 040 square foot	56 units	0
Tower (not renting)	Independent Living	170,940 square-feet	147 units	52
Heritage Oaks	Independent Living	442,530 square-feet	125 units	116
The Oaks	Independent Living 235,760 square-feet		90 units	87
Tabor Oaks	Community Based Residential Facility	60,880 square-feet	60 beds	40
Covenant Oaks Community Based Residential Facility		50,960 square-feet	40 beds	38
Village Inn	Auditorium and Dining	23,450 square-feet	N/A	N/A
Recreation Center (to be demolished)	N/A	4,500 square-feet	N/A	N/A
	Total	1,078,020 square-feet	588	379

OAKWOOD VILLAGE UNIVERSITY WOODS

MADISON, WI

DATE 10.30.2020

OVERALL EXISTING GDP EXHIBIT

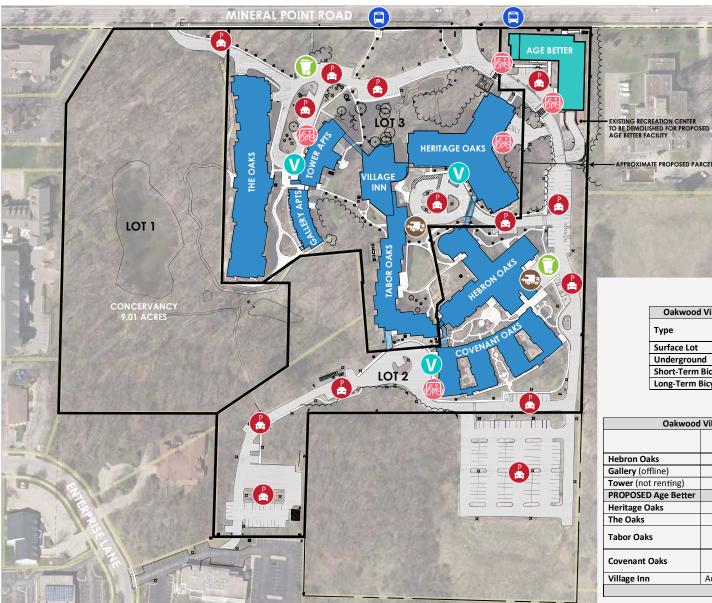












LEGEND



BIKE PARKING AREA



VEHICLE PARKING AREA



BUS SHELTER



VISITOR ENTRANCE



LOADING AREA



TRASH ENCLOSURE

LAND AREA (LOTS 1-3) • 27.39 ACRES / 1,193,108 SF BUILDING COVERAGE • 199,230 SF / 16.7%

IMPERVIOUS AREA **OPEN SPACE**

• 434,178 SF / 36.4% • 758,930 SF / 63.6%

Oakwood Village Campus Proposed GDP/SIP Amendment Parking Summary				
Turno	Total Numb	T-4-1		
Туре	Existing	Proposed	Total	
Surface Lot	310	6	316	
Underground	417	66	483	
Short-Term Bicycle	F2	16	140	
Long-Term Bicycle	53	71	140	

Oakwood Village Campus Proposed GDP/SIP Amendment Building Summary					
	Type of Facility	Total Gross Floor Area	Total	Current	
	Type of Facility		Units/Beds	Occupied Units	
Hebron Oaks	Skilled Nursing	89,000 square-feet	70 beds	46	
Gallery (offline)	Independent Living	170 040 square foot	56 units	0	
Tower (not renting)	Independent Living	170,940 square-feet	147 units	52	
PROPOSED Age Better	Independent Living	110,290 square-feet	77 units	N/A	
Heritage Oaks	Independent Living	442,530 square-feet	125 units	116	
The Oaks	Independent Living	235,760 square-feet	90 units	87	
Tabor Oaks	Community Based	60,880 square-feet	60 beds	40	
Tabul Caks	Residential Facility	00,000 Square-reet	oo beus	40	
Covenant Oaks	Community Based	F0.000 annuar fact	40 beds	38	
Covenant Oaks	Residential Facility	50,960 square-feet	40 Deas	36	
Village Inn	Auditorium and Dining	23,450 square-feet	N/A	N/A	
	Total	1,183,810 square-feet	665	379	

OAKWOOD VILLAGE UNIVERSITY WOODS

MADISON, WI

DATE 10.30.2020

OVERALL AMENDED GDP EXHIBIT



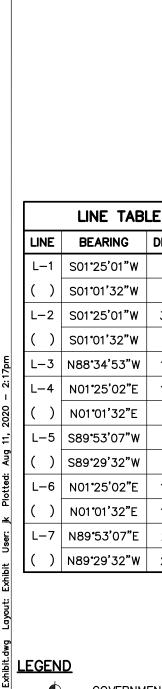


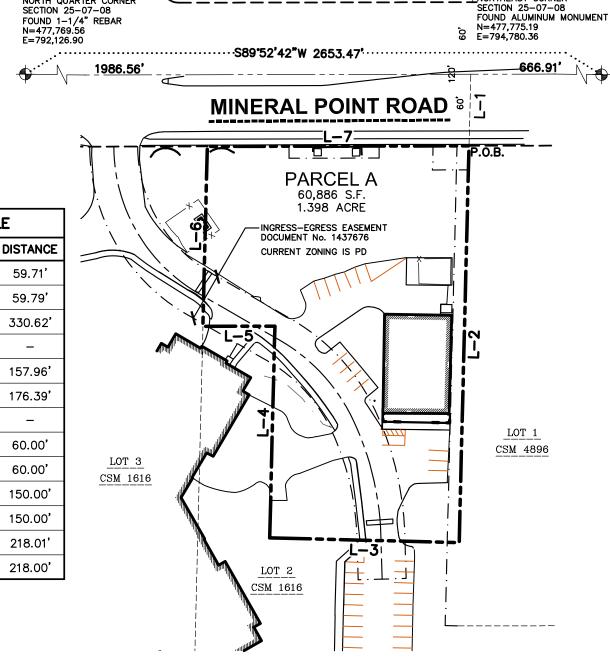


APPROXIMATE PROPOSED PARCEL LINE









LEGEND

GOVERNMENT CORNER PLAT BOUNDARY ····· CHORD LINE **CENTERLINE**

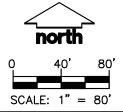
RIGHT-OF-WAY LINE PLATTED LOT LINE

- SECTION LINE

- EASEMENT LINE

NOTES

- 1. FIELD WORK PERFORMED ON JULY 17 AND 20, 2020.
- 2. BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 25-07-08, BEARS S89°52'42"W.



NORTHEAST CORNER

Professional Serviges, Ing. Engineers · Surveyers · Planners MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060

PROJECT: **GORMAN AND** COMPANY 200 N. MAIN ST. OREGON, WI 53575

NORTH QUARTER CORNER

59.71

59.79

60.00'

60.00'

SHEET TITLE: **EXHIBIT** JSD PROJECT NUMBER: **ISHEET NUMBER:** 20-9748 DRAWN BY: CHECKED BY: JK CJO

DATE: AUGUST 11, 2020

I: \2020\209748\DWG\Survey Sheets\209748



EXISTING CONDITIONS SURVEY PART OF LOT 2, CERTIFIED SURVEY MAP No. 1616, LOCATED IN PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP OF NORTH, RANGE 08 EAST, OTH OF MANISON, DANE COUNTY, MISCONIETY CORENIEST CORRES JAF RESENT RUNDS SAFETE RUNDS RECOMMENT FINSHED FLOOR SHOT LOCATION ROLLAND SOLAND ATTENDED TO LINE ACRESSIT LINE ACR NORTHEAST CORNER SECTION 25-07-08 FOUND ALLMINUM MONUME NORTH QUARTER COPNER SECTION 25-07-08 FOUND ALIMINUM NORM MINERAL POINT ROAD BUILDING 1025- INDEX CONTOUR 1024- INTERMEDIATE CONTOUR SPOT ELEVATION BUILDING BUILDING SPOT ELEVATION BUILDINGS PAYMENT BUILDINGS PAYMENT BUILDINGS PAYMENT RETAINING WALL PAVEMENT STRIPING PAVEMENT STRIPING END OF FLAGGED UTILITIES () DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRIACED BY THIS SURVEY NOTES 1. FIELD WORK PERFORMED ON JULY 17 AND 20, 2020 2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE MISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF THE NORTHEAST QUARTER OF 25-07-08, RECORDED AS NBPSSTOTE. MICHT-OF-BIXY CRANT T MARSON CRS AND ELECTRIC COMPANY DOCUMENT No. 3308048 3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHWARK IS A ALUMINUM MONUMENT MARKING THE NORTHEAST CORNER OF SECTION 25, TO7N, ROBE, ELEVATION = 1032.93° 4. CONTOUR INTERVAL IS ONE FOOT. 0 6. Subsurface utilities and features shown on this map have been approximated by locating surpicial features and appureenances, locating diogers hotline field markings and by reference to utility records and maps. Dioger's hotline ticket no.'s 20202921396, 20202921411 and 20202921578, with a start date of July 21, 2020 \$ 7. UTILITY COMPANES CONTACTED THRU DIOGERS HOTUNE: CITY OF MADISON EXCHERENG CHARTER TOOMANUCATIONS WINDSTREAM COMMUNICATIONS (NO UTILITIES ON SITE) WIN, LLC. TIS TILLECOM. SUPPLANET COMMUNICATIONS MACISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS) METROPOLITAN UNFED NETWORK CONSORTIUM CIDITURYUNK (LEVEL 3 - NO UTILITIES ON SITE) RESTECH SERVICES MCI TIOS METROCOM AMERITECH GENERAL, 10° MOC EASEMENT COCUMENT No. 321972 8. REFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED, FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGIES HOTLINE, AT 1,800,242,8511. 9. JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENDMARKS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERFELD BEFORE BEING UTILIZED. 11. ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS. 12 FIBER OPTIC LINE'S ARE FROM A CAD FILE SUPPLIED BY CAKWOOD VILLAGE AND WERE NOT FIELD LOCATED BY DIGGERS HOTLINE. SANITARY SEWER MANHOLES STRUCT. ID RIM ELEVATION INVERT ELEVATION PIPE SIZE PIPE TYPE SAN-1 1030.73 S 1024.99 8" PVC SAN-2 1023.13 1018.88 SAN-4 1011.58 CHE-STORY BUILDING 6145 MINERAL POINT ROAD BULDING AREA AT EXTERIOR FOOTPENT = 4,672 S.F. STORM SEWER INLETS EUDERLY HOUSING PART OF LOT 2 CEN No. 1816 EASTMONT, DOCUMENT MORESS-EDRESS CASENE DOCUMENT No. 1020001 A DOCUMENT No. 1020001 A DOCUMENT No. 1419227 BENCH LEVATION DESCRIPTION MARK LLEVATION DESCRIPTION BM-1 1029:25 TOP NUT ON HYDRANT, NORTHEEST OF MAINTENANCE BULLING BM-2 1039:92 CHSELD SQUARE ON HOUT POLE BASE SOUTHWEST OF MAINTENANCE BULLING -- EAST CULVERT 11" - 12" HOPE N. INV.-1027.0 S. INV.-1027.15 NED DOES NOT QUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED O MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHAPE OF THE SURVEY AND CONTROL OF THE SURVEY OF THE SURVEY AND CONTROL OF THE SURVEY OF T

SCALE 1" = 20"



REATE THE VISION TELL THE STORY

MADISON MILWAUKEE KENOSHA APPLETON WAUSAU

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUTTE 101 VERONA, MISCONSIN 53933 P. 608,848,5060

GORMAN & COMPANY

NORTH MAIN STREET

6145 MINERAL POINT RD.

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WISCONSIN

ndgr/Dreams JK 07 porowed MIT 00

EXISTING CONDITIONS SURVEY

1 OF 1



GENERAL NOTES

- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEMER & WATER
 CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
- EXSTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES, DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- USD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CON-PLANS THAT WAY RESULT IN DISOPLINARY ACTIONS BY ANY OR ALL REGULATORY ADENDES. 6. THE RICHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

DEMOLITION NOTES

- THE PAR ADDRESS THE OR THE PREPARED PROTECT OF COUNTRY IN AUTO OF A COMENT THE CASE THE THE PAR ADDRESS THE PA
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LINITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LICHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES, SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONNENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO
- OVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE RECONDESS OF WHETHER THE CONSTRUCTION EXISTED PRIOR DESIGNANCES OF WHETHER THE CONSTRUCTION EXISTED PRIOR TO BEGINNING.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS NUICATED ON THE ENGINEERING DRAWNOS, ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE DISCRIPT AND RESOCUED PRIOR TO THE START OF CONSTRUCTION.
- 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES AND RESOLVED.
- 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 46 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- 8. ANY SANTARY SEMBR, SANTARY SEMER SERVICES, WATER MAIN, WATER SERVICES, STORM SEMER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- 9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- 11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- 12. ANY CONTAMINATED SOLS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL. 13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- 14. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVIDUENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER
 CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONNENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP
 ALL STREETS AND PAYMENT FREE AND GLEAR OF ALL CONSTRUCTION RELATED DRT, DUST AND DEBRIS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FILDWARLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL, THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOLL, SEEDING AND MULCHING

AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD. MADISON, WI 53705

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575

ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203

CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC. 161 HORIZON DR. SUITE 101 VERONA, WI 53593

STRUCTURAL ENGINEER

LEGEND

----- EASEMENT UNE DEMOLITION - REMOVAL OF CINSITE CURB SURFACES AND BASE COURSE DEMOLITION - PAVEMENT MILL AND OVERLAY DEMOLITION - REMOVAL OF RETAINING WALL

DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURE DEMOUTION - REMOVAL OF UTILITIES

SAWCUT EXISTING PAVEWENT







MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERDINA, WISCONSIN 53503 P. 608.848.5060



COMMINS: TED SCALE: AS NOTED

PHASE: LAND USE SUBMITTAL

DATE: 08.12.2020

DEMOLITION PLAN C100



AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD. MADISON, WI 53705

GORMAN & COMPANY
200 N. MAIN STREET
OREGON, WI 53575

ARCHITECT:
KORB + ASSOCIATES
648 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53203

JSD PROFESSIONAL SERVICES, INC. 161 HORIZON DR. SUITE 101 VERONA, WI 53593

STRUCTURAL ENGINEER

PAVING NOTES

1. GENERAL

- 1.1. ALL PAYING SHALL CONFORM TO "STATE OF INSCONSIN STANDARD SPECIFICATIONS FOR HICHMAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MACISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY (TRD)
- 1.2. ALL PAYING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE
- 1.3. SURFACE PREPARATION NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMED
 2. ASPIRALTIC CONCRETE PAYING SPECIFICATIONS
- . CODES AND STANDARDS THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE.

 SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 450, 450.
- STANDARD SPECIFICATIONS FOR HICHMAY AND STRUCTURE CONSTRUCTION, GURRENT EDITION, HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHMAY SPECIFICATIONS.

 2. BETTIPE HIGHTATIONS. APPLY TACK COATS WHILL AMBIENT TEMPERATURE IS AROUS FOR 6 (10) OF AND WHEN TEMPERATURE HAS NOT REFN.
- DRY AND WHEN WEATHER IS NOT RANY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30" F (-1" C).
- 2.4. CRUSHED AGGREGATE BASE COURSE THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
- 2.5. BRDER COURSE AGGREGATE THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
- 2.6. SURFACE COURSE AGGREGATE THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
- 2.7. ASPHALTIC MATERIALS THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 486 AND 460, STATE HIGHWAY SPECIFICATIONS.
- 3.1. CONCRETE PAYING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS
- 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RAT
- 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS AS SHOWN ON SITE PLAN
- 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- THE COMPANY OF THE PROPERTY OF THE PARTY OF
- 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- 3.8. WAN ENTRANCE CONCRETE WALK SHALL BE INSTALLED WITH SCOPIELD INTEGRAL COLOR SC = 860 METALLIC GRAY WITH LIGHT, SANDBLAST SUBFACE FINISH
- 4. PAVEMENT MARKING SPECIFICATIONS
- 4.1. USE 4" WIDE, HIGH VISIBILITY WHITE LATEX PAINT FOR STALL LINES.
- 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH WHITE, LATEX PAINT PER SPECIFICATIONS.
- 4.4. 1.5' x (LENGTH VARIES) TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

SITE INFORMATION	IBLOCK
SITE ADDRESS	6145 NINERAL POINT R
PROPERTY ACREAGE	1.398 ACRE
NUMBER OF BUILDING STORIES	
TOTAL BUILDING SQUARE FOOTAGE	18,848 9
GROSS BUILDING SQUARE FOOTAGE	110,290 G
NUMBER OF PARKING STALLS	
SURFACE	
REGULAR	
ACCESSIBLE	
TOTAL SURFACE	
UNDERGROUND	
TOTAL UNDERGROUND	
NUMBER OF BICYCLE STALLS:	
EXTERIOR (SHORT-TERM)	
INTERIOR (LONG-TERM)	
INTERIOR (LONG-TERM STRUCTURED)	
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERMOUS SURFACE AREA	25,0
EXISTING PERMOUS SURFACE AREA	35,8
EXISTING IMPERVIOUS SURFACE AREA RAT	10 a.
PROPOSED IMPERVIOUS SURFACE AREA	40,00
PROPOSED PERVIOUS SURFACE AREA	20,87
PROPOSED IMPERVIOUS SURFACE AREA R.	ATIO 0.FA

LEGEND

	PROPERTY LINE
	RIGHT-0F-WAY
	EASEMENT LINE
	BULDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	REJECT CURB AND GUTTER
$\overline{}$	VALLEY CURB OR RIBBON CURB (REFER TO SITE PLAN)

ASPHALT PAVEMENT
HEAVY DUTY ASPHALT PAVEMENT
CONCRETE PAVEMENT

CONCRETE PARKEDIT MY INTEGRAL COLOR AND LIGHT, SANDBLAST FINISH
CONCRETED TO DUTY CONCRETE PARKEDIT
HEAVY DUTY CONCRETE PARKEDIT

MCDULAR BLOCK RETAINING WALL

RAILING

FENCE

O FENCE

OB LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

BNE RACK

ADA WARNING DETECTOR PLATE (REFER TO SITE PLAN FOR LENGTH)

MOVABLE PLANTER

TRASH/RECYCLING RECEPTACLE

BENCH SEATING
RECYCLED RUBBER WHEEL STOP
UIGHT BOLLARD (REFER TO PHOTOMETRIC PLAN)









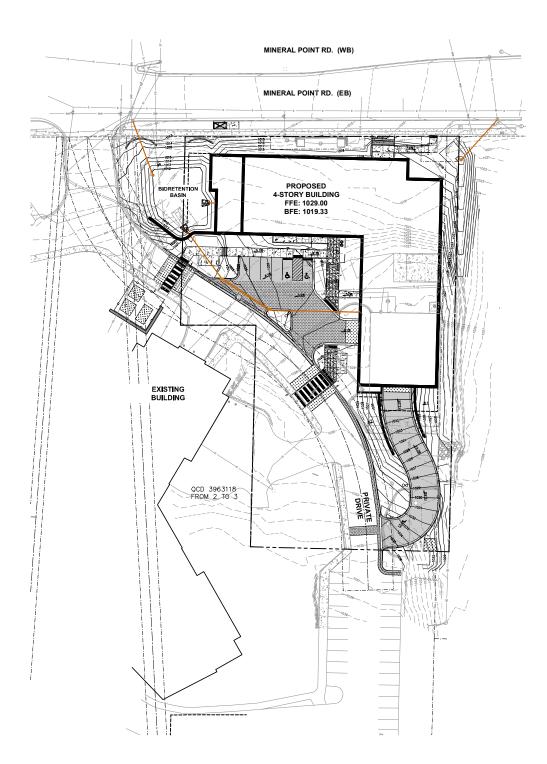
COMMAN. TEC

SCAL: AS NOTED

PROSE: UNCLUSE SUBSTITAL

DATE: 08.02.2001

C200



CONSTRUCTION SEQUENCING

- INSTALL PERMETER SET FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- E. STRIP AND STOCKPILE TOPSOIL, INSTALL SLT FENCE AROUND PERIMETER OF STOCKPILE.
- 3. ROUGH GRADE RETENTION POND AND INSTALL POND OUTLET.
- 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- 7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- B. RESTORE RETENTION POND (FINAL GRADE RETENTION POND PER PLAN REQUIREMENTS)
- 9. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMMATER MANAGEMENT PLANS. BUSINEER OF RECORD AND APPROPRIATE CITY OF MACISION OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEMATION FROM THE APPROVED THE PLANS.
- I METAL PRIMETE PRODUC CHARGO, MAGNES (IGUS AS CHARGEDON CHARGES, MIL TRUCE AND ESSING MET PRITECTION) PRIME MY STE GON, INCLUDING GAMBION OF CHARGANGE OF CHARGE METAL CHARGE AS SHOWN IN A MAGNESATION THE APPROVED PRODUC CONTROL DESIGN IN GROUP TO MET LIMORESEEN FRED CONDITIONS IS ALLORED INCOPATIONS CONTROL TO BMPS. ALL DESIGN MODIFICATION UND STEE APPROVED THE CETT OF MAGNESIAN FROM TO DEVALUTION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- 5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROL MEASURES ARE TO BE IN MORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION DITRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/CORESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHORN ON THE PLANS SHALL BE 50 LOSS AND TO LESS THAN 17 SHORN BY LOCATION CONTINUED DITRANCES SHALL BE 150 LOSS AND TO LESS THAN 17 SHORN BY LOCE OF YOUR LOCATION CONTINUED SHALL BE WANTAKED OF THE CONTINUED ON LOCATION WHO WELL SHACK IT.
- 8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE DND OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- 9. PILET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEMER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED COLVERT INLETS TO PREVENT SEDMENT DEPOSITION WITHIN STORM SEMER SYSTEMS.
- 10. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOL. TRANSPORTATION.

- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER STANDARD 1048.
- 14. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERSONAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST TOX FOR UNPAVED AREAS AND AREAS NOT COMBED BY PERMANENT STRUCTURES OR THAT DIRLOY COUNTAINED PERMANNET STRUCTURES OR MEASURES.
- 15. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WORR REQUIREMENT AND/OR PROPERTY SALE IN ACCORDANCE WITH MORR REQUIREMENTS.

- JUAINON, MENGANES PHILL EN WINTED AS SOON AS PROTECUES IN PORTIONS OF THE SIZE WINTER CONSTRUCTION ACTIVITIES MAY TRANSPORTED YEAR THE CONSTRUCTION ACTIVITIES MAY TRANSPORTED YEAR THE CONSTRUCTION ACTIVITIES MAY TRANSPORTED YEAR THE PROTECTION ACTIVITIES MAY THE PROTECTION ACTIVITIES WAS ACTIVITIES WITH A CONSTRUCTION ACTIVITIES WAS A

GRADING AND SEEDING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINSHED GRADES, CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVING ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BRAINCE EXPENDING, GRADING DESIGN IS BASED ON MANY FACTORS, INCL. ASSISTENCE, AND COMMON DESIGNERS STANDARDS OF CARE, TRIPSFORE, NO QUANTITIES ON BEING FOR A BRAINCE SHE.
- 4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COGROMATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMEN OF ANY CONSTRUCTION ACTIVITIES, ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRACING ACTIVITIES. SCO/SEED IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TIMES ALL STORNWATER MANAGEMENT FACILITIES JUST PRIOR TO SCOONING AND/OR SEEDING AND MULCHING TO PROMOTE INFLITRATION.
- 8. CONTRACTOR SHALL WATER ALL NEWLY SOCIOED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- 9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- 10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHN 2 WEEKS OF DISTURBANCE.
- 11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERBOD GREATER THAN 30 DAYS AND REQUIRE VEDETAMY COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEZEMIC FOR REQUIRE VEDETAMY COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEZEMIC FOR REQUIRE OWNER.
 SEEDING FOR ERGOSION CONTROL SHALL BE IN ACCORDANCE WITH MOBIRE TEMPORAL STANDARY GOOD AND GITT OF MANISON GROWINGE.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
<i></i>	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVENENT
	CONCRETE PAVEMENT
3000000000000	HEAVY DUTY CONCRETE PAVEMENT
	PERMEABLE PAVERS
959	PROPOSED 1 FOOT CONTOUR
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	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	GRADE BREAK
	RETAINING WALL
	RAILING
	ECHOC









MADISON REGIONAL OFFICE P. 608.848.5060



/ DRAWING DEPT CONSTRUCTION 07-29-207

REVIEW I NOT TO BE USED FO DATE OF ISSUE

AGE BETTER COMMUNITY 6145 MINERAL POINT RD. MADISON, WI 53705

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575

ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE

CIVIL ENGINEER

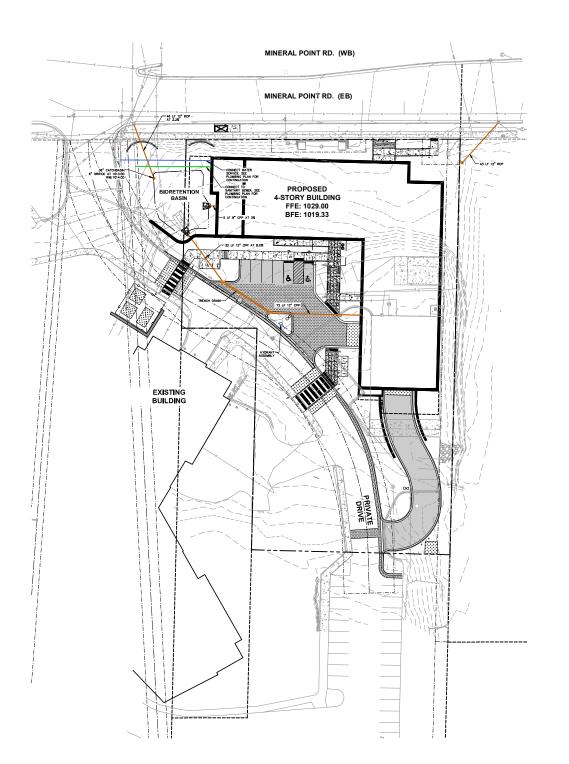
JSD PROFESSIONAL SERVICES, INC. 161 HORIZON DR. SUITE 101

VERONA, WI 53593 STRUCTURAL ENGINEER

COMMINS: TED SCALE: AS NOTED

PHASE LAND USE SUBMITTAL DATE: 08.12.2020 GRADING & EROSION

CONTROL PLAN C300





UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMANDION AS TO THE TIPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVIDED DAMAGE THERETO, CONTRACTOR/OWNER SHALL CALL "DIOCERS'S HOTILE" PROPORT OF ANY CONSTRUCTION.
- AND THE ORDER OF THE PROPERTY OF THE ORDER ORDER

- CONSTRUCTION DESERVATION.

 COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY EMPIRES OF DISCREPANCIES BETWEEN THESE PLANS AND PLANS PROPARED BY OTHERS.
- 3. ALL UTLITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEMER AND WATER CONSTRUCTION IN WECCASIN AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRICTIONS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODE APPLY, AND TO CORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- 5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FILLD DURING CONSTRUCTION.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- 8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 10. ANY SANTARY SEMER, SANTARY SEMER SERVICES, WATER MAIN, WATER SERVICES, STORM SEMER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR PROMODIC THE ENCINEER WITH AS-HULLT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPHATE CRAININGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE GRAININGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS MORN PROMOSESSES. 12. STORM SEWER SPECIFICATIONS -

PPE — RENFORCED CONCRETE PPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS II (NINMUM) C-78 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM G-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TODY LONGS, AND SHALL MEET THE REQUIREMENTS OF MASSYC DISSIDNATION M-294 TYPE "S". INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE, NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1"-8" X 2"-8" MAXIMUM OPENING, CURB FRAME & GRATE SHALL BE NEDWH R-3067 WITH TYPE R GRATE, OR FOLKL.

BACKFUL AND REDONG - STORM SEMER SHALL BE CONSTRUCTED WITH GRAVE, BACKFUL AND CLASS "B" REDONG IN ALL PAVED AREAS AND TO A POINT 5 FEET RECOND THE EDGG OF PAYEMENT, TRONGES REGINES DO LESS THAN 5 FEET FROM THE EDGG OF PAYEMENT SHALL. ALSO REQUIRE GRAVEL BACKFULL UNDSCAPED AREAS MAY BE BACKFULD WITH ECONOMED MATERIA, IN CONFORMANCE WITH SECTION, 8.4.3.6 OF THE

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. THE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

13. WATER MAIN SPECIFICATIONS -PRE - DUTILLI RINI PRE SHULL EL CLASS SE CONTOMINO TO ARRIA CITÀ INDICHIENTE RING OF THE "STANDAND SECRICIATIONS", PELVINNI. CONCREC (PRE) RIS-SHULL METT EN REGUNERATIO E OF HINE STANDAND - CANCO CLASS 100, DEI HE MINT OUT ENGLO. AND RIFEREN. ELASTIMENE BELL AND SPICOT JOHIS, NON-HETALLIC WATER MANS SHALL BE RISTALLED WITH BLUE RISULTION TRACES WER AND CONFORM WITH SES 382-202-10(1).

VALVES AND VALVE BOXES - GATE VALVES SHALL BE ANNA GATE VALVES MEETING THE REQUIREMENTS OF ANNA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES. HODBANTS — HODBANTS SHALL CONDOM TO THE SPECIFICATIONS OF THE CITY OF MASSON. THE DISTANCE FROM THE GROUND LINE TO THE CIDITIES. OF THE LOWEST MOZELE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 25-INCHES SEED THAN 18-INCHES AND NO GREATER THAN 25-INCHES SEED THAN 18-INCHES AND NO

BACKFIL - BACKFIL WATERA, AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.0.0 OF THE "STANDARD SPECIFICATIONS", GRAND, BACKFILL IS REQUIRED IN ALL PARED AREAS AND TO A POINT 5 FETT RETORN BE LODG OF PAYDEMY, TRENCHES ROMANNO PARALLEL TO AND LESS WHAT SET THE CONTROL FOR LODGE OF PAYDEMY THE CONTROL PAYDEMY SHEET IN THE BACKFILL DIMENSION FROM THE CONTROL PAYDEMY SHEET AND THE BACKFILL DIMENSION FROM THE CONTROL PAYDEMY SHEET AND THE SHEET SHEET

PPE — SANTARY SEMER PIPE MATERIAL SHALL BE POLYWING, CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

AND THE PROPERTY OF THE PROPER

MOSTIL — MOSTIL MATERIA, MO INSTALLATION SHALL BY IN ACCORDINGE CHAPTER ZAO, OF THE "STANDARD SPECIFICATIONS," GAMEL INCOME FEET FROM THE EDGE OF PANISHATI SHALL ALSO REQUIRE GRANT, SACRELL LANGSOUPED AREAS MAY BE INACPILLED WITH EDICARITED MATERIAL IN CONFORMANCE WITH SCIENCE ASLAS OF THE "STANDARD SPECIALISMOS."

MANIFOLES - MANIFOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 16 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROMISENS OF THE CITY OF MADISON. 15, WATERMAN AND SANTARY SEMER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET, INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFIDENCE WHITE ALTJO "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEMER AND WATER CONSTRUCTION IS WISCONDEN IN EDITION UPDATED WITH ITS LATEST ADDRESSAY (THEY LIVING 6145 MINERAL POINT RD. MADISON, WI 53705 GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575

AGE BETTER COMMUNITY

ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203

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STRUCTURAL ENGINEER











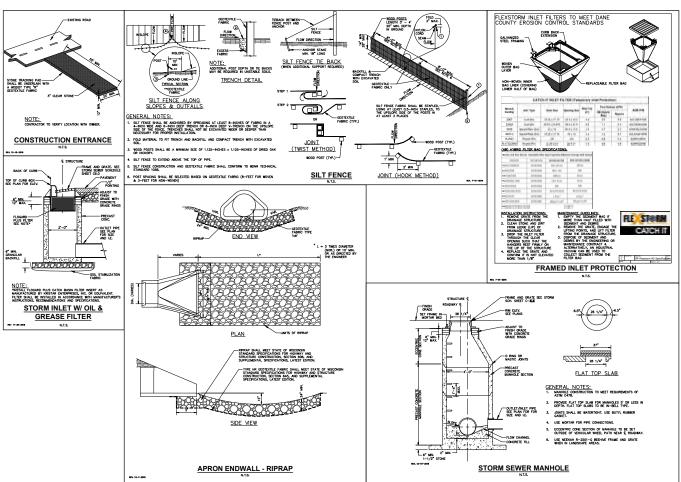


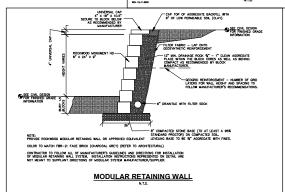
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DATE: 08.12.2020

UTILITY PLAN C400







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GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575

ARCHITECT:
KORB + ASSOCIATES
648 N. PLANKINTON AVE
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MILWAUKEE, WI 53203

JSD PROFESSIONAL SERVICES, INC. 161 HORIZON DR. SUITE 101 VERONA, WI 53593

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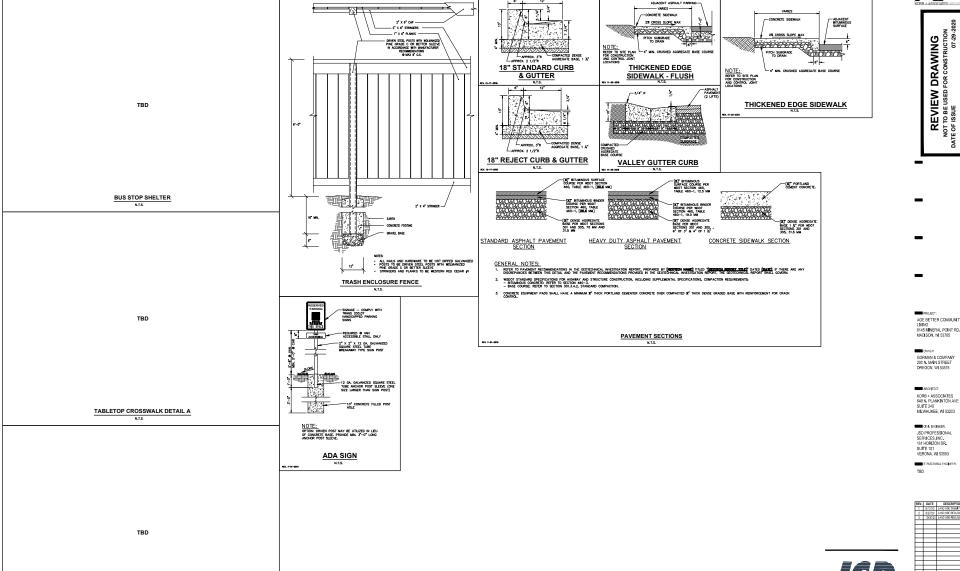
MADISON MALWALKE MAUSAU APPLETON MENDALEN DATEN

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DETAILS

C500

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERDINA, WISCONSIN 53503 P. 608.848.5060





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MADISON MILWAUKEE WAUSAU APPLETON KENOSHA CHICAGO COEUR D'ALENE

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN \$3500 P. 608.848.5060

SCALE AS NOTED

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DATE: 08:12.2020

DETAILS

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GENERAL NOTES

REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.

2. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PINE GRADING AND TOPSOLING WITH GENERAL CONTRACTOR.
 REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUIRANATES AND EXECUTION RELATED TO LANDSCAPE FLAN.

 CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRICE TO PLANT INSTALLATION, REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LAURELINE ADMINISTRY.

5. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING

7. GERME! ALL WORK IN THE RYO-MY AND PUBLIC DESIDENTS SHALL BE IN ACCORDANCE WITH LOCAL MANOPIAL REQUIREMENTS. AS SHALL BE HELD HANGLESS AND DOCS MOT MANORED ANY EXCHANGE OF THE OWNER/CONTRICTION THAN THE APPROVED CONSTRUCTION CONSTRUCTION. THE CONTRICTION EXPROSED FOR REPAYABLE AND PUBLIC DESIDENCE TO MUST CALL. 1-800-148-801 FOR UNITED CONTRICTION AT LOCAT THREE DOOR PORT DODAKE, HAND DO AND ROCKLA, ALL PLANTS THAT MAY ACCORD THE CONTRICTION AND TO LAND THE PUBLIC DOCKRICKED AS STORY AND ALL PLANTS THAT MAY ACCORD THE CONTRICTION AND TO LAND THE CONTRICTION OF THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTIONAL ALL PLANTS THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTION AND THAT MAY ACCORD THE PUBLIC CONTRICTIONS OF SECTION AND THE PUBLIC CONTRICTIONS OF SECTION AND THAT MAY ACCORD THE PUBLIC CONTRICTION OF SECTION AND THAT MAY AN

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MEMBERS - PURISHED ALL FLANTS SHALL CONFIDENT TO THE LIVEST WEISTON OF THE AMERICAN STANDARD FOR MARGINE STOCK AND ALL PROMOTIONS AND ALL PROMOTIONS SHARE TO THOSE IN THE LIVEST PROMOTION SHARE THE STANDARD ALL PROMOTIONS SHARE TO THOSE IN THE LIVEST PROMOTION AND ALL PROMOTIONS AND ALL PROMOTIONS

TO PRIMARE THE CONTROLLED SHALL PRIMARE ALL THESE AND REPART AND REAL THAT CONTROLLED DESIRE THE VARIABLE PROTECTION.

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11. CLANUP, THE BODK MERA SHALL BE KERT SME AND NEXT OF ALL TREES, DISPOSED OF EXCESS SOLE. BENEFA ALL CUTTINGS AND WASTE MATERIALS, SOLE AND REMOVES ERM AND HIGH PIECES METERS, ANY READETTION FUNDS, NO. AND OTHER DESIRES RESIDES FROM ALL PLANTING TASICS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT STELL UPONED NO. CRECUMSTANCES SHALL THE ACCUMULATION OF SOLE REMOVEDS OF OTHER BEAL ALLOWED LOVE A FURILLY PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE AMENIES AND REMOVED AS THE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE AMENIES AND RESIDENCE AND A STALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE AMENIES AND RESIDENCE AND A STALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE AMENIES AND RESIDENCE AND A STALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE AMENIES AND RESIDENCE AND A STALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE! A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN SOLE A MANNER AS TO RESIDENT IN A SCALE PROPERTY IN A SCALE PROPERTY IN SOLE A MANNER A

12. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PROR TO INSTALLATION.
13. CONTRACTOR TO VERBY PLANT MATERIA, QUANTITIES AND SQUARE FOOTAGES, QUANTITIES SHOWN ON PLAN TAKE PRECIDENCE OVER THOSE ON SOCIEDUE.

LEGEND

EDGE OF PAVEMENT
STANDARD CURB AND CUTTER

REJECT CURB AND GUTTER

WALLEY CURB OR REBON CURB (REFER TO SITE PLAN)

ASPHALT PAYEMENT
HEAVY DUTY ASPHALT PAVENENT

CONDETE PAVEMENT

EXECUTIVITIES

CONDETE PAVEMENT W/ INTEGRAL COLOR AND LIGHT, SANDBLAST RINGS

CONDETE PAVEMENT W/ INTEGRAL COLOR AND LIGHT, SANDBLAST RINGS

HEAVY DUTY CONCRETE PAVEMENT

| 959 | EXSTING 5 FOOT CONTOUR

STORMWATER MANAGEMENT AREA
SANITARY SEMER
WATERMAN
STORM SEMER

SAM EXSTING SANITARY SEMER

W EXSTING SANITARY SEMER

ST EXSTING STORM SEWER

MODULAR BLOCK RETAINING WALL

RAILING

O FENCE
OB LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

ADA PARKING SKIN

ADA WARNING DETECTOR PLATE (REFER TO SITE PLAN FOR LENGTH)

O MOVABLE PLANTER

TRASH/RECYCLING RECEPTACLE

BENCH SEATING

RECYCLED RUBBER WHELL STOP

INCIDENT AND LED GESTER TO BENCHWISTER

LIGHT BOLLARD (REFER TO PHOTOMETRIC PLAN)
 POLYTHYLDINE EDOING
 NATIVE VECETATIVE MAT
 SEED MIX - DETENTION BASIN

SEED MIX — DETENTION E
SEED MIX — TURFGRASS
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MADISON ME.WAUKEE WAUSAU APPLETON KENOSHA CHICAGO COEUR D'ALENE

MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 55693 P. 608,848,5060



AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD. MADISON, WI 53705

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575

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ARCHITECT:

CIVIL ENGINEER

JSD PROFESSIONAL SERVICES, INC. 161 HORIZON DR. SUITE 101 VERONA, WI 53593

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LANDSCAPE PLAN

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- TIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
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- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT INSTALLATION, REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANGUAGE ADMINISTRY.

- SECONDARIA DE L'ALTERNATION DE L'ALTERNA
- MINISTRUCT, PROVIDED, THE ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STRANGER FOR AMERICAN FORWARD FOR AMERICAN STRANGER STORY, AND SHALL SHAL

- 12. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION 13. CONTRACTOR TO VEHILY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES, QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.



LIGHT BOLLARD (REFER TO PHOTOMETRIC PLAN) POLYETHYLENE EDGING NATIVE VEGETATIVE MAT SEED MIX - TURFGRASS



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VERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	To
\sim	ВН	Betula nigra 'BINMTF' TM / Dura Heat River Birch	8 & 8	2.5" Cal	35	2
(*)				(Multi-Stern)		
Ã	BP	Betula populifolia "Whitespire" — Single / Whitespire Birch — Single	8 & 8	2.5 Cal	35	6
\mathcal{L}	QR.		8 & B	2.5"Cal	.35	.3
₩	U.	Quercus robur 'Regal Prince' / Regal Prince English Oak		2.5 Car	35	ľ
	QG	Quercus x macdanieli "Clemons" TM / Heritage Dak	8 & 8	2.5"Cal	35	6
LL EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	Q
(%	PD	Picea glauca 'Densata' / Black Hills Spruce	B & B	Min. 6 ft tall	35	1
PRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	10
~	70	Thuja occidentalis 'Emerald' / Emerald Arborvitae	B&B	Min. 6 ft tall	10	4
\odot						
₩	77	Thuja occidentalis 'Techny' / Techny Arborvitoe	8 & 8	Min. 6 ft tall	10	12
ECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	-
0	AB	Aronia melanocarpa "Morton" TM / Iroquis Beauty Black Chokeberry	# 5	Min. 24" tall	3	3
	CR	Clethra alnifolia 'Ruby Spice' / Ruby Spice Clethra	#5	Min. 24" tall	3	1,
₩					ľ	ľ
0	СВ	Comus balleyi / Balley's Red-twig Dogwood	B & B	Min. 36" tall	3	3
()	CA	Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood	# 5	Min. 24" tall	3	13
⊗	н	Hydrangea orborescens 'incrediball' / incrediball White #5 Hydrangea		Min. 24" tall	3	4
₩	но	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire #5 Hydrangea		Min. 24" tall	3	12
0	PJ	Physocorpus opulifolius 'Jefam' / Amber Jubilee		Min. 24" tall	3	12
⊕	RG	Rhus triiobata 'Gro Low' / Gro-Low Sumac	# 5	Min. 24" wide	3	2
0	WH	Viburnum trilobum 'Hahs' / American Cranberrybush	8 & 8	Min. 36" tall	3	5
VERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	+
⊗	JS	Juniperus sabina 'Mini-Arcadia' / Mini Arcadia Juniper	# 5	Min. 24" wide	4	1
*	TD	Taxus x media 'Densiformis' / Dense Yew	8 & 8	Min. 24" tall	4	2
0	TM .	Taxus x media 'Everiow' / Everiow Yew	# 5	Min. 24" wide	4	1
ERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	0
*	AΡ	Astilbe chinensis "Vision in Pink" / Vision in Pink Chinese Astilbe	#1	Min. 8"-18"	2	2
●	AV	Astilbe chinensis 'Vision in White' / Vision in White Chinese Astilbe	#1	Min. 8"-18"	2	3
	CN	Calamintha nepeta 'Montrose White' / Montrose White Catmint #		Min. 8"-18"	2	6
	EP	Echinacea x 'CBC Cone 2' TM / Pixie Meadombrite Purple Coneficmer	#1	Min. 8"-18"	2	5
	на	Hemerocallis x "Chicago Apache" / Dayilly	<i>#</i> 1	Min. 8"-18"	2	2
	LS	Liatris spicata "Kobold" / Kobold Spike Gayleather	#1	Min. 8"-18"	2	11
	PV	Panicum virgatum "Shenandoah" / Shenandoah Switch Grass	#1	Min. 8"-18"	2	9.
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	2	1,0
*	307	Sporobolus neterolepis lara / Praine propseed	F'	mm. 0 - 18	l*	ľ

REV. 0 1 3 2 2 37 3 10





MADISON NELWAUKEE WAUSAU
APPLETON KENOSHA CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE 181 HORIZON DRIVE. SUITE 101 VERONA, WISCONSIN \$3593 <u>Κ</u>Λ

REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
DATE OF ISSUE

PROJECT:
AGE BETTER COMMUNITY
LIVING
6145 MINERAL POINT RD.
MADISON, WI 53705

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575

KORB + ASSOCIATES
648 N. PLANKINTON AVE
SUITE 240
MILWAUKEE, WI 53203

CNI, ENGINEER:

JSD PROFESSIONAL
SERVICES, INC.
161 HORIZON DR.
SUITE 101
VERONA, WI 53593

STRUCTURAL ENGINEER:



COMMINAL TED

SCALE: AS NOTED

PHASE: LAND USE SUBMITTAL

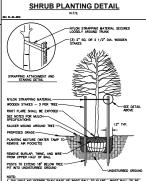
DATE: 08.12.2021

PLANTING PLAN

L102

SEE NOTES FOR A EXISTING/INSTALLED-CURB AND GUTTER PARKING ISLAND LANDSCAPE DETAIL

SEE NOTES FOR MULCH SPECIFICATIONS REMOVE BURLAP, TWINE AND WRE-PLANTING MIXTURE (WATER TAMP TO-REMOVE AIR POCKETS) NOTE: 1. ROOT FLARE TO BE EXPOSED.



DECIDUOUS TREE PLANTING DETAIL

CITY OF MADISON

LANDSCAPE WORKSHEET

Tabulation of Points and Credits

Plant Type/ Element

Overstory deciduous trea

Shrub, deciduous

Shorts evergreen

Ornamental grasse

Ornamental/ decorative fencing or wall

Sub Totals

10/2013

Use the table to indicate the quantity and points for all existing

Minimum Size at

at breast height (allsh)

3-4 feet tall

#3 gallon containts size, blin. 12"-24"

30% of total required points.

3/8" GALVANIZED STEEL SPIKE 8" - 10" LONG POLYETHYLENE LANDSCAPE EDGING DETAIL ROOT FLARE SHALL BE EXPOSE SEE NOTES FOR MULCH SPECIFICATIONS

EVERGREEN TREE PLANTING DETAIL

Credits/Existing Landscaping

New/Proposed Landscaping

17 595

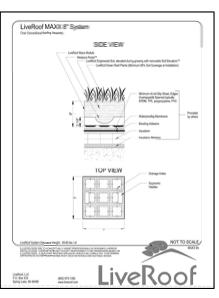
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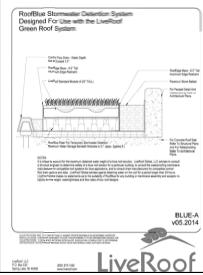
16 100

240 720

90 360

406 812







MATERIALS -- PLANTING MIXTURE: ALL HOLES EXCMATED FOR TREES, SHRUBS, PERENNIALS AND GRIMMENTAL GRASSES SHALL BE BACKFLIED WITH TWO (2) PARTS TOPSON, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PROPE TO INSTRUCTION

- MITTHINE TOPSOL TOPPOL TO BE CLEAN, FINHEL LOW FROM A LOCAL SOURCE, FREE FROM STONES OR BERRS OVER 3/4" IN DIMETER, AND FREE FROM SIGNES OR DEEPEN OVER 3/4" IN DIMETER, AND FREE FROM SIGNES OR DIMETER OF AND PLANTED SIGNES OF TOPSOL. ON PLANTED S
- MATERIALS SHREDDE HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFED WEID FREE
 SHEDDED HARDWOOD BANK MULCH HISTALLED TO A MINIMAL HAZ DOSSITHET EITH OF "S-ANCESS, SPENETED HARDWOOD BANK MULCH
 BANK MATERIAL BOOK SHAN SHAD SHAN MATERIAL BANK MULCH BANK MULCH BANK SHAD HAZ BANK MATERIAL BOOK BANK MULCH BARKS SHALL NOT BETEN'T KONN MEDI
- MERISIA ISSUE MAIOE: ALL PLANTING AREAS LARELED ON PLAN SHALL RECEIVE DECORATIVE STORE MALDH SPREAD TO A MANAMA MATERIAS STORE MAIOE: ALL PLANTING AREAS LARELED ON PLAN SHALL RECEIVE DECORATIVE STORE MALDH SPREAD TO A MANAMA PROOF TO INSTILLATION, FERTILLIZER SHALL RE IN ACCORDANCE WITH APPLICABLE LOCAL COUNTY AND STARE RECOVERABITS. STORE MADULINEAUS SHALL RECORDE MODIL MEDI RAREREZ JORGES OF A NATIO-PREPRIORS SHAPPIES WILL REPORTING DECORATION ENCORED.

- MATERIALS POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING, OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- . MATERIALS TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LECNARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.

SEEDING, SODDING & VEGETATIVE MATTING NOTES

- MATERIALS THEFORMS SEED DISTURBED LIMIN MAYAS LIBELED ON PLAN AS SICH, SMLL RECENT & OF TOPPOS, MO EARTH COMPIT'S "MASSION PRIMAS" GROSS SEED, OR EXCINALISE AS PROPOSED BY THE ORIGIN'S REPRESENTATION, ROSFLLED FOR MAYASCHURD'S RECOMMENDATIONS. IN AGROSTION TO INTERNISE SEED, ANNUAL INTERNIL SEE PRIMED AS LIBERTIES RECOMMENDATIONS. MAY LIBERTIES AND MACH FOR MANIFACTURES'S RECOMMENDATIONS, MAILTH SHALL BE CENTERED MODIFIED SEED-THEE.
- CERTIFIC DIXOGS BETS SEED-FIRST.

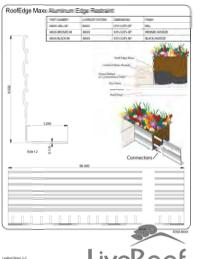
 MITTHELS DOES DOTHERS LAWA AREA LAREAD OF PLAN AS SLOT, SHALL RECEIVE 6" OF TIPOSS, AND A FROMAN GROUP THROWS SOO, ONLY MEMORY THRES OF 500 (SEED) ARE COLORAGE, IMPROVED SHALL SE MOVERN COLORAGE AND A MEMORY SHALL SH
- MATERIAS DETINION BISIN SEED MIX DISTINEED LIMIN AREAS LABELED ON PLAN AS SUCH, SHALL BE REPROJONED SEED WITH DETINION BISIN BOSRAL'S SEED MIX, AS PROVIDED BY PRAME WINDERF, P.O. DOX DOX, WESTFELD, WISCONSIN, SSHA, TEL, 600-204-2-107, DEPWINDED CORNION, TORKILL SEED MIX PREVIOUNTAL METERS AND AMERICANS AN COMPANION OF SUPPLIER MO AT MIXES AND OFFINIAM THATS OF THE TIME AS TO THE TIME AS TO SEED SUPPLIER MO AT MIXES AND OFFINIAM THATS OF THE TIME AS TO SEED SUPPLIER MO AT MIXES AND OFFINIAM THAT OF THE TIME AS TO SEED SUPPLIER MO AT MIXES AND OFFINIAM THAT OF THE TIME AS TO SEED SUPPLIER. TO DESIRES SUCCESSFUL, COMMINION AND SEED/MOST ZONE CORNION DECEMBRANCH, THE TO PROCOLUT SEPECTATIONS AND MIXEMATICANS RECOMMENDED AS

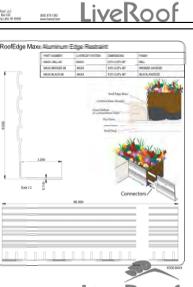
CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- CUARANTEE: THE CONTRACTOR SHALL CUARANTEE ALL FLANTS THROUGH RDE (1) YEAR AFTER ACCEPTANCE PROPERSTATION, FLANTS SHALL BE ALUKE AND IN HEALTHY AND EXCURSIONS CONDITION, AT THE END OF THE THE CONTRACTOR SHALL BELOCK AT NO COST TO GRADEN MY FLANTS TO FARE DEAD OF BOTH AND BED ACCENTED ON THE SHALL COST THE SHALL WAR AND OFF SECONDAL USES CONTRACTOR.

- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD

BASE BID - DRIP IRRIGATION PROVIDED IN ALL PLANT BID AREAS SURROUNDING ALTERNATE BID - POP-UP IRRIGATION FOR ALL PERMETER PLANTING BEDS AND TURFORASS AREAS







REATE THE VISION TELL THE STORY

MADISON NE WAUKEE WAUSAU APPLETON KENOSHA CHICAGO COEUR D'ALENE

MADISON REGIONAL OFFICE

VERONA, WISCONSIN 535 P. 608.848.5060

COMMINS: TED SCALE: AS NOTED

PHASE: LAND USE SUBMIT DATE: 08.12.2020

/ DRAWING DEPT CONSTRUCTION 07-29-203

REVIEW I

AGE BETTER COMMUNITY

6145 MINERAL POINT RD. MADISON, WI 53705

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575

KORB + ASSOCIATES 648 N. PLANKINTON AVE

ADCHITECT:

CIVIL ENGINEER

VERONA WI 53593

STRUCTURAL ENGINEER

NOT 1 DATE OF I

LANDSCAPE DETAILS & NOTES

L200

Name of Project OAKWOOD VILLAGE AGE BETTER
Owner / Contact KEVIN YESKA / JSD PROFESSIONAL SERVICES, INC. Contact Phone 608.848.5060 Contact Email kevin.yeska@jsdinc.com ** Landscape plans for roning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ** Haddcalditic
The following standards apply to all exterior occurrection and development activity, including the expansion of existing
standards, structures and peaking late, except the construction of detailed single-family and two-family developes and
standards, structures and peaking late, except the construction of detailed single-family and two-family developes, and
structure and the structure of the struct (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period. (c) No demelition of a principal building is involved. (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping slar Landstage Colondarium and Goutlanium.

Emporation indicates are all the incidenced based upon the total developed nees of the property. Developed area, in Emporation indicates area within a single configurate boundary which is made up of structures, nothing, drivenays and defended as that ears within a single configurate boundary which is made up of structures, nothing, drivenays and defended and that ears are also as a few positions generate graphs, land endiquental for quest species such as adultic fields, and undeveloped land zero on the same ravings for. There are three methods for caudating intended proposition on the size of the and Zening Directic. (a) For all loss except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hasdred (300) square fort of developed area.

Total square footage of developed area ___11,119 SF

Project Location / Address 6145 MINERAL POINT RD.

Five (5) acres = 217,800 square feet First five (5) developed acres = 3,630 points

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided Total square footage of developed area

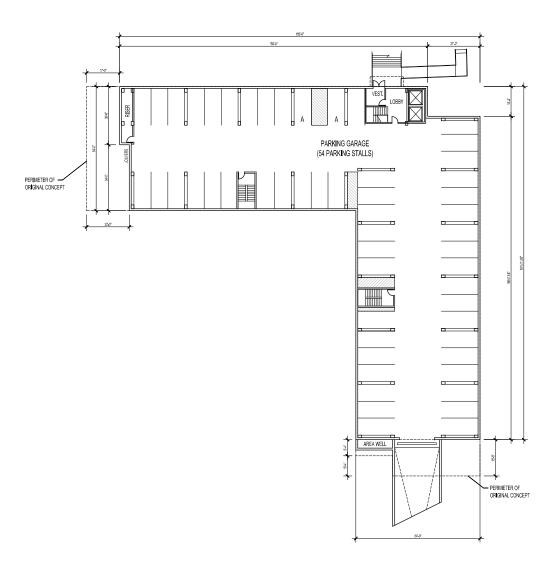
10/2013

Total Number of Points Provided 2,787

ALTERNATE BID 1* - INSTALLATION OF ONE (1) WATERING BAG PER TREE. DOCUMENTATION OF WEEKLY WATERING PROGRAM REQUIRED

RESIDENTIAL PARKING:

LL: 54 INTERIOR STALLS 12 INTERIOR STALLS 1ST: 6 EXTERIOR STALLS 1ST: TOTAL PARKING: 72 PARKING STALLS



REVIEW SET ONLY NOT FOR CONSTRUCTION

PROJECT NAME:

AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD MADISON, WI 53705

OWNERS INFO:

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575 P 608.835.3900

ARCHITECT:

KORB + ASSOCIATES 648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203 P 414.273.8230

REV. NO:	DATE:
\triangle	08/12/2020 LAND USE SUBMITTAL
2	SUBMITTAL 08/27/2020 LAND USE RESUBMITTAL
<u> </u>	10/30/2020 LAND USE RESUBMITTAL

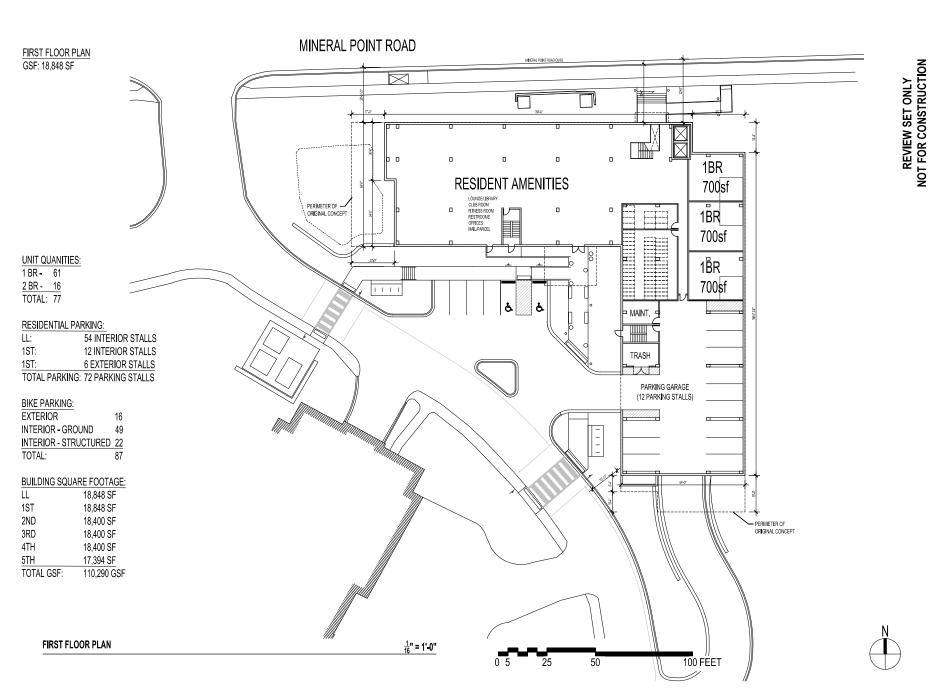
PROJ. NO:	20002 02
SCALE	AS NOTED
PHASE	PLANNING APPROVALS
DATE:	10-30-2020

BASEMENT FLOOR PLAN

LOWER LEVEL PARKING PLAN

 $\frac{1}{16}$ " = 1'-0"

100 FEET





AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD MADISON, WI 53705

OWNERS INFO:

PROJECT NAME

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575 P 608.835.3900

ARCHITECT:

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REV. NO:	DATE:
Λ	08/12/2020 LAND USE
 	SUBMETTAL 08/27/2020 LAND USE
	RESUBMITTAL 10/30/2020 LAND USE
	RESUBMITTAL

PROJ. NO:	20002 02
SCALE	AS NOTED
PHASE	PLANNING APPROVALS
DATE:	10-30-2020

A101

REVIEW SET ONLY NOT FOR CONSTRUCTION

PROJECT NAME:

AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD MADISON, WI 53705

OWNERS INFO:

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53675 P 608.835.3900

ARCHITECT:

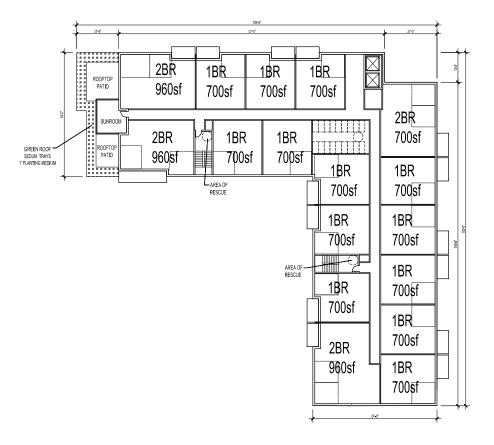
KORB + ASSOCIATES 648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203 P 414.273.8230

REV, NO:	DATE
Λ	08/12/2020 LAND USE SURMITTAL
2	SUBMITTAL 08/27/2020 LAND USE RESURMITTAL
<u> </u>	RESUBMITTAL 10/30/2020 LAND USE RESUBMITTAL

PROJ	NO:	20002 02
SC	ALE:	AS NOTED
PH	ASE:	PLANNING APPROVALS
0	ATE:	10-30-2020



A102



NOTES + ASSOCIATES ATCHTECT

REVIEW SET ONLY
NOT FOR CONSTRUCTION

PROJECT NAME:

AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD MADISON, WI 53705

OWNERS INFO:

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575 P 608.835.3900

ARCHITECT:

KORB + ASSOCIATES 648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203 P 414.273.8230

REV. NO:	DATE:
\triangle	08/12/2020 LAND USE SUBMITTAL
2	SUBMITTAL 08/27/2020 LAND USE RESUBMITTAL
<u> </u>	10/30/2020 LAND USE RESUBMITTAL

PROJ. NO:	20002 02
SCALE:	AS NOTED
PHASE:	PLANNING APPROVALS
DATE:	10-30-2020

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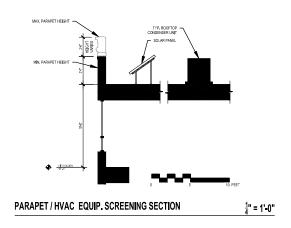
DATE 10-30-2020

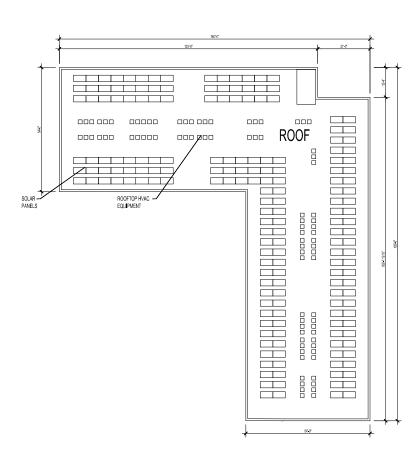
FIFTH FLOOR PLAN

ROOF PLAN $\frac{1}{16}$ " = 1'-0"

0 5 25 50 100 FEET

ROOF PLAN





= 1'=0"

0 5 25 50 100 FEET



AGE BETTER COMMUNITY LIVING 6145 MINERAL POINT RD MADISON, WI 53705

GORMAN & COMPANY

PROJECT NAME

GORMAN & COMPANY 200 N. MAIN STREET OREGON, WI 53575 P 608.835.3900

ROHITECT:

KORB + ASSOCIATES
648 N. PLANKINTON AVE.
SUITE 240
MILWAUKEE, WI 53203
P 414.273.8230

REV, NO:	DATE
\triangle	08/12/2020 LAND USE SUBMITTAL
2	SUBMITTAL 08/27/2020 LAND USE RESUBMITTAL
/3	10/30/2020 LAND USE RESUBMITTAL

PROJ. NO:	20002 02
SCALE	AS NOTED
PHASE	PLANNING APPROVALS
DATE:	10-30-2020

A104

ROOF PLAN $\frac{1}{16}$ " = 1'-0"





100 FEET

25

50

PROJ. NO. 20002 02

SCALE AS NOTED

PHASE PLANNING APPROVALS

DATE: 10-30-2020

ELEVATIONS

A200

HVING

6145 MINERAL POINT RD MADISON, WI 53705

GORMAN & COMPANY

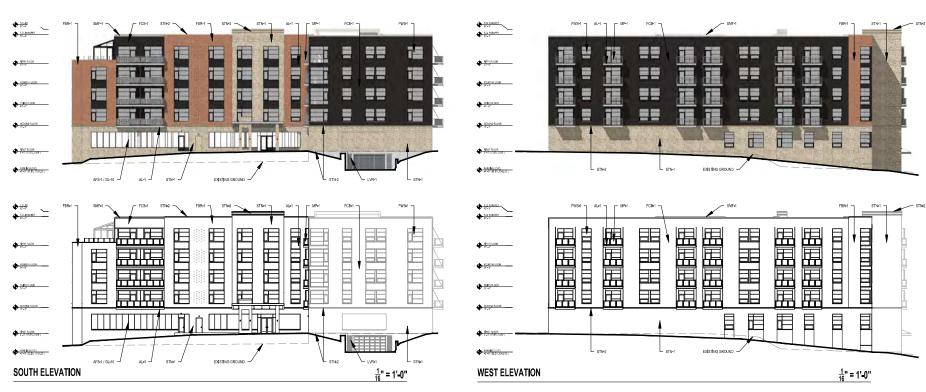
200 N. MAIN STREET OREGON, WI 53575 P 608.835.3900

KORB + ASSOCIATES 648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203

08/12/2020 LAND USE

PHASE: PLANNING APPROVALS DATE: 10-30-2020

> ELEVATIONS A201



PROJ. NO: 20002 02 SCALE: AS NOTED

100 FEET

25

50



FBR-1: Face Brick

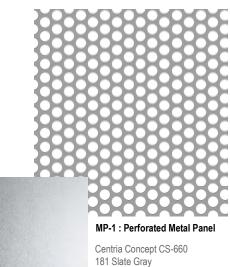


FCB-1: Fiber Cement Board Siding



STN-1: Anchored Stone Veneer

STN-2: Cast Stone Sill & Accessories - To Match



AL-1: Clear Annodized Aluminum SMF-1: Prefinished Sheet Metal - To match



Guardian Glass - Deco HT Warm Grey - Low-E Coating

GL-30: Low-E, Ceramic-Coated Insulating Spandrel Glass





Guardian Glass Sunguard - Low-E Coating

GL-10 : Low-E Clear Insulating Glass GL-20 : Low-E Clear Insulating Glass - Frosted Film



Kawneer Trifab VG 451T Anodized Black

AFS-1: Aluminum Storefront Framing System LVR-1: Prefinished Aluminum Louver





Pella Impervia - Fiberglass

FWS-1: Fiberglass Window System

OCTOBER 30, 2020

EXTERIOR MATERIALS



OCTOBER 30, 2020

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - MINERAL POINT RD EAST FACADE

AGE BETTER COMMUNITY LIVING



OCTOBER 30, 2020

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - MINERAL POINT RD WEST FACADE

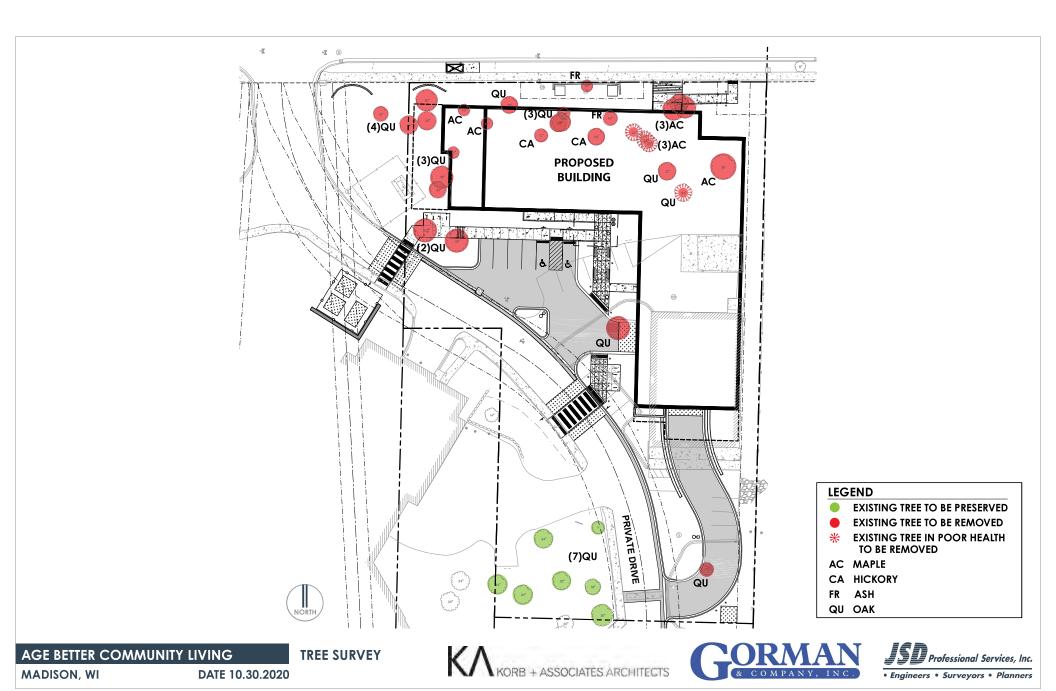
AGE BETTER COMMUNITY LIVING

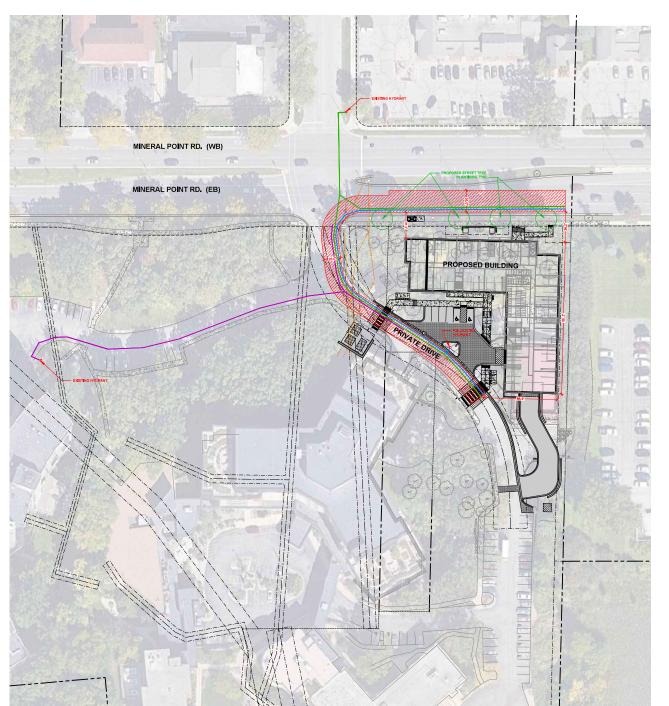


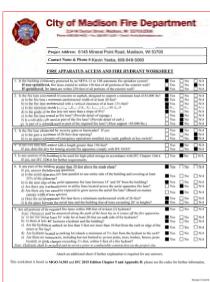
OCTOBER 30, 2020

KORB + ASSOCIATES ARCHITECTS

EXTERIOR RENDERING - ENTRANCE DRIVE AGE BETTER COMMUNITY LIVING







NOTE: ALL HOSE LAY LENGTHS SHOWN ARE A MAXIMUM OF 500 FEET

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
Z;::\Z;:Z\::\	PROPOSED EASEMENT HATCH
	BUILDING OUTLINE
	BULDING SETBACK LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
3000000000000	HEAVY DUTY CONCRETE PAVEMENT
	PERMEABLE PAVERS
	RETAINING WALL
	RAILING
-00	FENCE
••	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
-	ADA PARKING SIGN
	BOLLARD
	BOLLARD WITH ADA PARKING SIGN
_	BIKE RACK
٥	EXISTING HYDRANT









REVIEW DRAWING
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DATE OF ISSUE

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JSD PROFESSIONAL SERVICES, INC. 161 HORIZON DR. SUITE 101 VERONA, WI 53593

