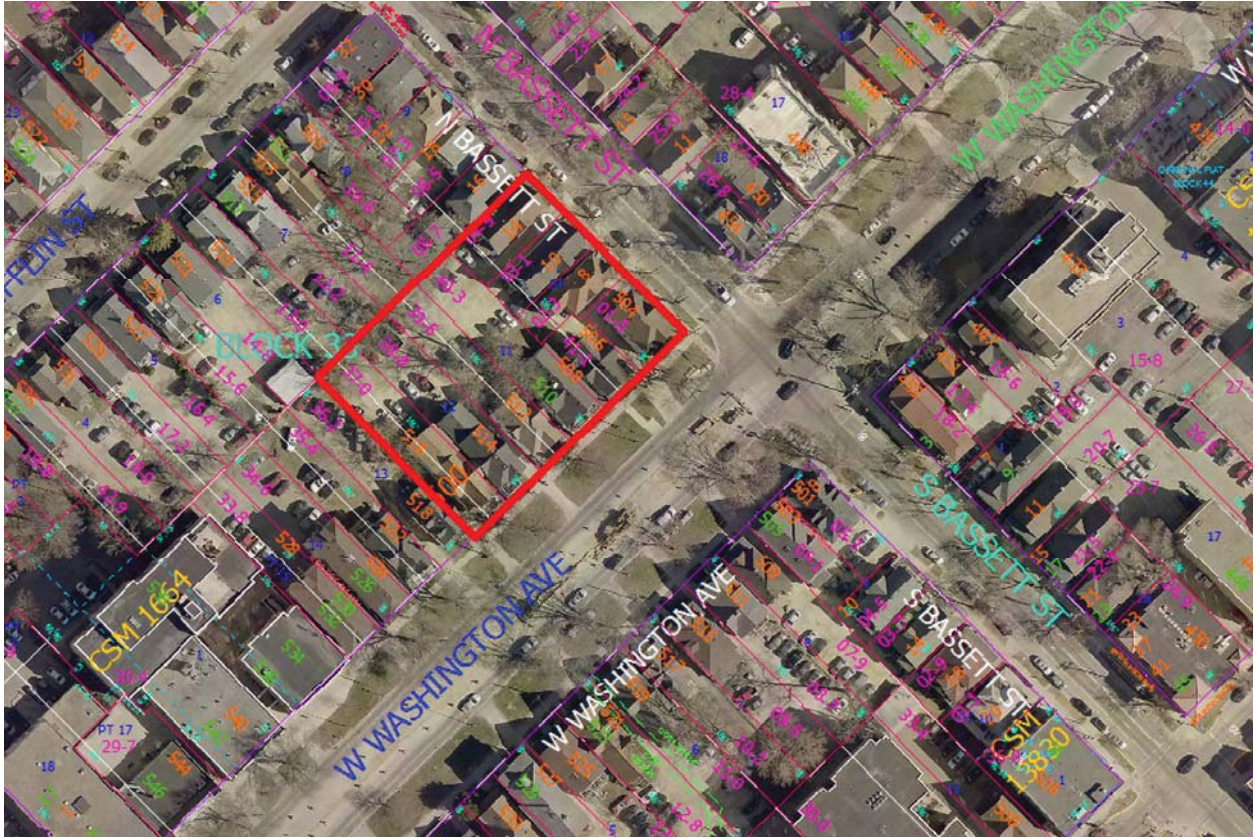


502 W Washington Avenue

Contract No. 8978

MUNIS No. 13273

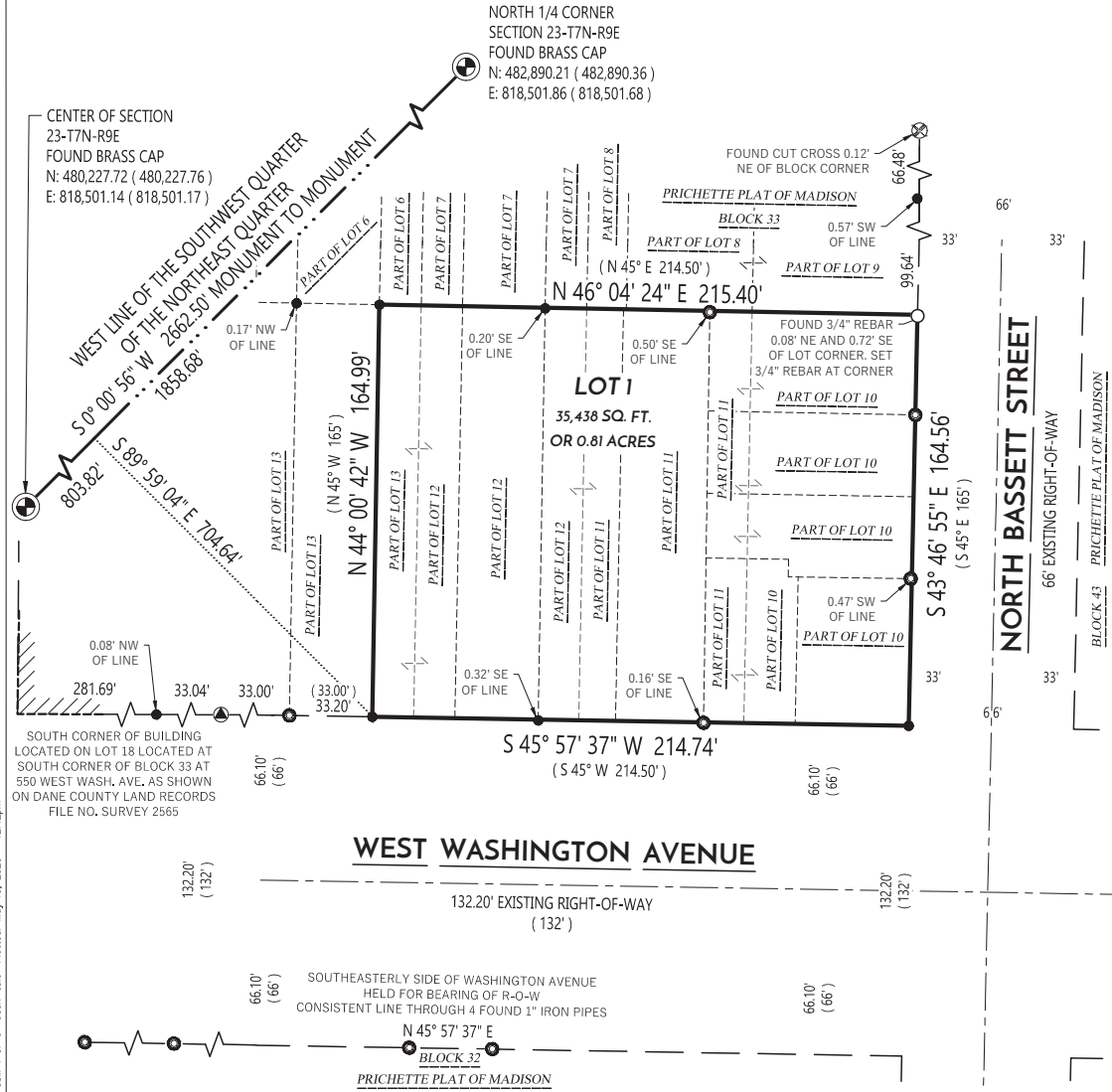


### Improvements Summary

- Public sidewalk remove & replace as needed to facilitate construction.
- Remove abandoned driveway apron(s) and close curb cuts with curb and gutter.
- Private utility service lateral connections to public utilities.
- Off-site sanitary sewer improvements if existing sanitary capacity is exceeded by the redevelopment.
- City street tree protection and replacement.
- Bus stop expansion.
- Construction staging and access due to limited access from W Washington Ave and N Bassett St.
- Coordinate project with City's W Washington St Resurfacing project.

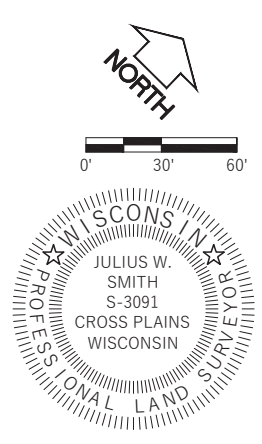
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF LOTS 10-12, AND PART OF LOT 13, OF BLOCK 33, PRICHETTE PLAT OF MADISON - ALSO KNOWN AS - PLAT OF MADISON THE CAPITOL OF WISCONSIN, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



- LEGEND**
- SECTION CORNER FOUND
  - 3/4" REBAR FOUND
  - 1" IRON PIPE FOUND
  - RAIL SPIKE FOUND
  - CUT CROSS FOUND
  - 3/4" REBAR SET 2.55 LB/FT
  - CSM BOUNDARY
  - RIGHT-OF-WAY LINE
  - CENTERLINE
  - SECTION/QUARTER LINE
  - PLATTED LINE
  - ( ) RECORDED INFORMATION

- NOTES:**
- FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC. ON MARCH 20 & 23, 2020 AND APRIL 13, 2020.
  - NORTH REFERENCE FOR THIS CERTIFIED SURVEY AND MAP ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, WISCRS DANE, NAD 83 (2011), GRID NORTH. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 23, T7N, R9E, MEASURED TO BEAR S 0°00' 56" W.
  - BOUNDARY FOR THIS SURVEY IS BASED ON FOUND IRONS AS SHOWN BY PREVIOUS SURVEY PERFORMED BY WYSER ENGINEERING, DATED APRIL 22, 2020.
  - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
  - SEE SHEET 2 OF 6 FOR EXISTING STRUCTURE DETAILS.
  - SEE SHEET 3 OF 6 FOR EXISTING EASEMENT DETAILS.

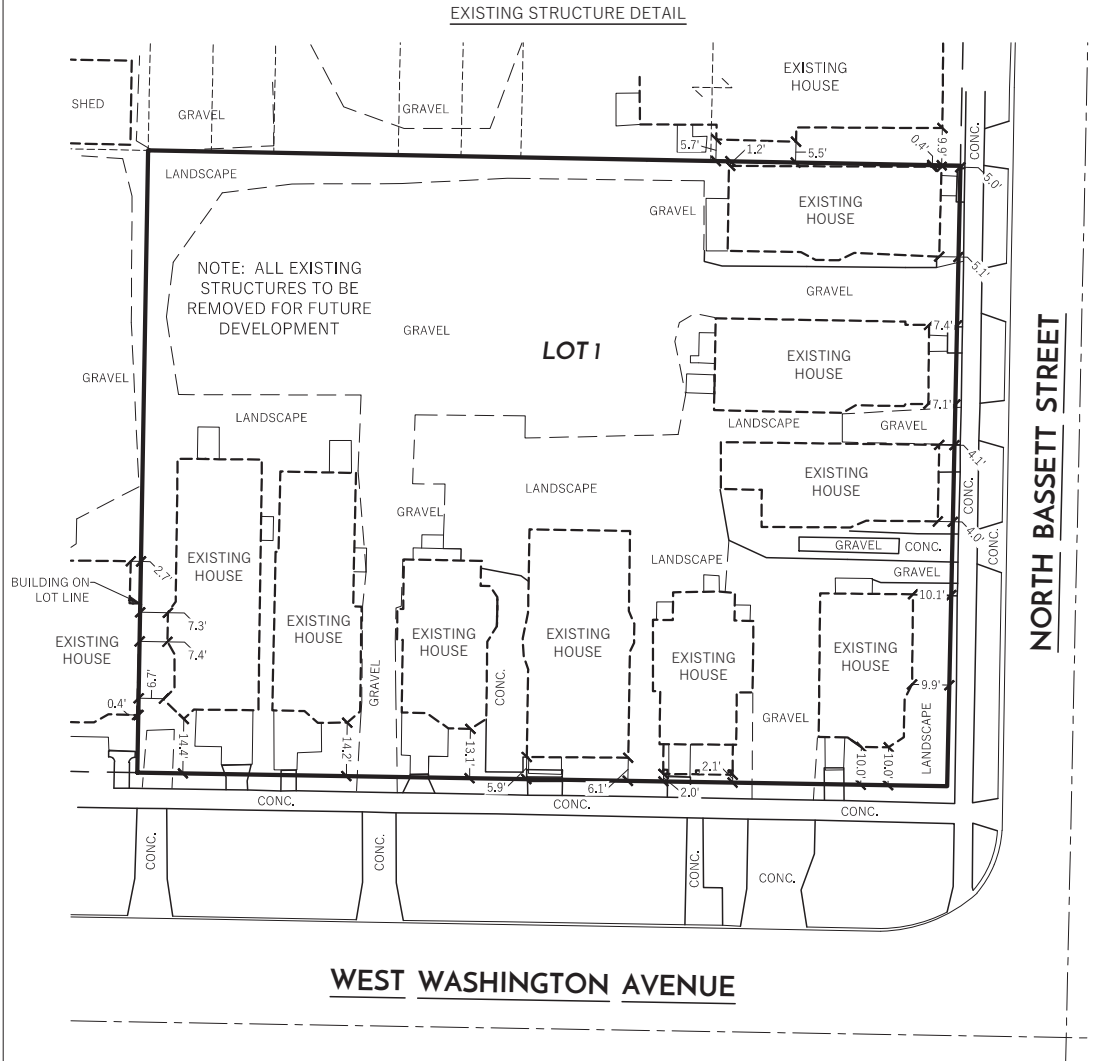


File: C:\Users\jude\Desktop\200688\_P1 - 500 W. Washington\dwg\200688\_P1 500 W Wash - CSM.dwg Layout: CSM 1 OF 6 User: jude Plotted: May 15, 2020 - 12:12pm

	PREPARED BY: 312 EAST MAIN STREET MOUNT HOREB, WI 53572 <a href="http://www.wyserengineering.com">www.wyserengineering.com</a>	PREPARED FOR: KELLER REAL ESTATE GROUP 448 WEST WASHINGTON AVENUE MADISON, WI 53703	SURVEYED BY: ZMR/MAL DRAWN BY: ZMR/JWS APPROVED BY: JWS	VOL. _____ PAGE _____ PROJECT NO: 200688 SHEET NO: 1 of 6 DOC. NO. _____ C.S.M. NO. _____
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# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF LOTS 10-12, AND PART OF LOT 13, OF BLOCK 33, PRICHETTE PLAT OF MADISON - ALSO KNOWN AS - PLAT OF MADISON THE CAPITOL OF WISCONSIN, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

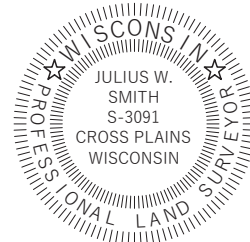
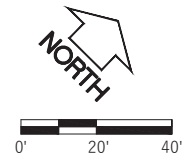


## LEGEND

- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- PLATTED LINE
- BUILDING FOOTPRINT

## NOTES:

1. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
2. SEE SHEET 3 OF 6 FOR EXISTING EASEMENT DETAILS
3. ALL EXISTING BUILDINGS TO BE REMOVED



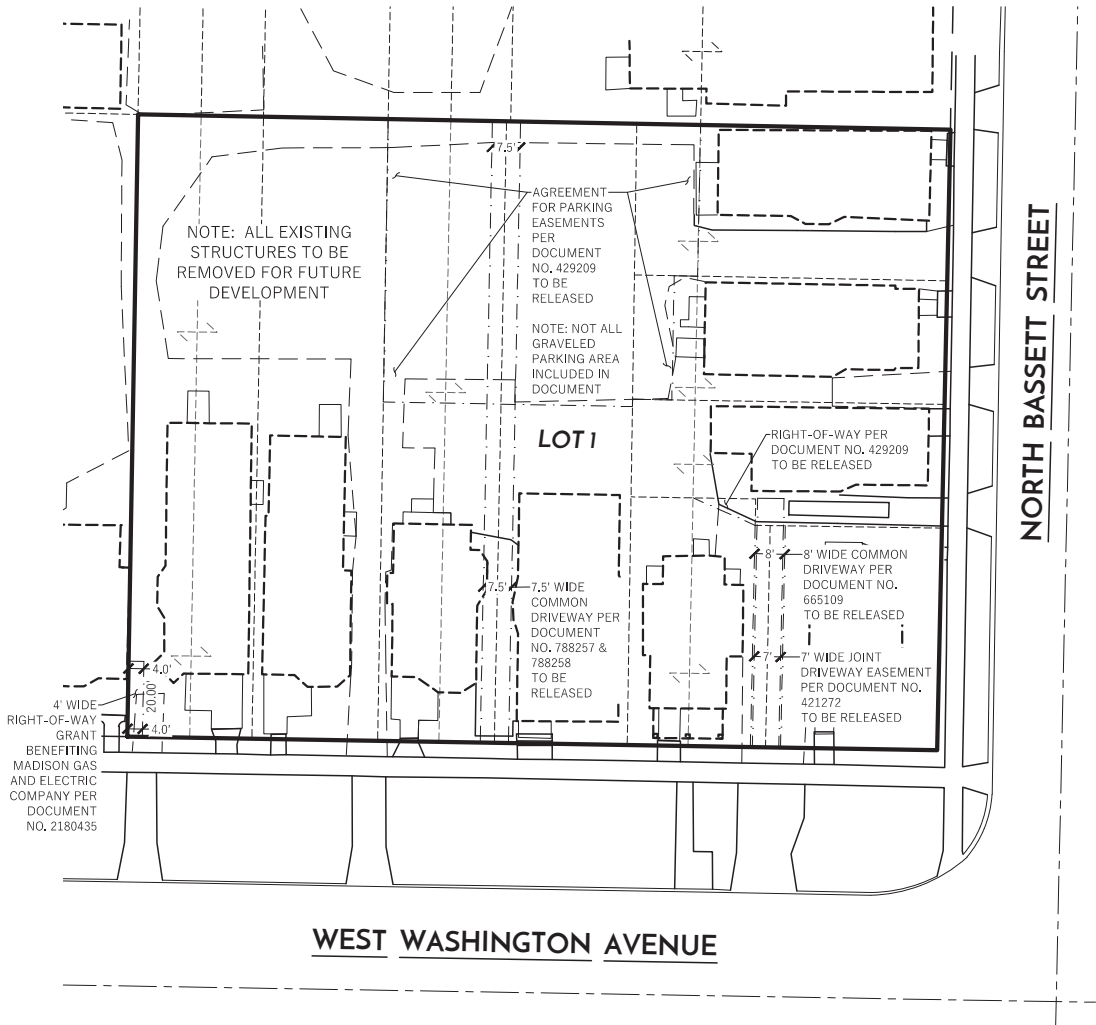
File: C:\Users\jude\Desktop\200688\_PU - 500 W. Washington Ave\200688\_PU 500 W Wash-CSM.dwg Layout: CSM 2 OF 6 User: jule Plotted: May 15, 2020 - 12:13pm

	<b>PREPARED BY:</b> 312 EAST MAIN STREET MOUNT HOREB, WI 53572 <a href="http://www.wyserengineering.com">www.wyserengineering.com</a>	<b>PREPARED FOR:</b> KELLER REAL ESTATE GROUP 448 WEST WASHINGTON AVENUE MADISON, WI 53703	<b>SURVEYED BY:</b> ZMR/MAL <b>DRAWN BY:</b> ZMR/JWS <b>APPROVED BY:</b> JWS	<b>PROJECT NO:</b> 200688 <b>SHEET NO:</b> 2 of 6	<b>VOL.</b> _____ <b>PAGE</b> _____ <b>DOC. NO.</b> _____ <b>C.S.M. NO.</b> _____
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**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

ALL LOTS 10-12, AND PART OF LOT 13, OF BLOCK 33, PRICHETTE PLAT OF MADISON - ALSO KNOWN AS - PLAT OF MADISON THE CAPITOL OF WISCONSIN, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**EXISTING EASEMENT DETAIL**



**WEST WASHINGTON AVENUE**

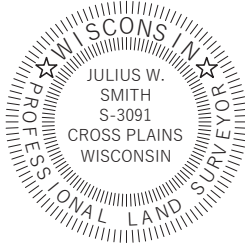
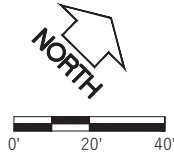
**NORTH BASSETT STREET**

**LEGEND**

- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- PLATTED LINE
- EXISTING EASEMENT
- BUILDING FOOTPRINT

**NOTES:**

- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.



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PREPARED BY:  
312 EAST MAIN STREET  
MOUNT HOREB, WI 53572  
[www.wyserengineering.com](http://www.wyserengineering.com)

PREPARED FOR:  
KELLER REAL ESTATE GROUP  
448 WEST WASHINGTON AVENUE  
MADISON, WI 53703

SURVEYED BY: ZMR/MAL  
DRAWN BY: ZMR/JWS  
APPROVED BY: JWS

PROJECT NO: 200688  
SHEET NO: 3 of 6

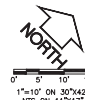
VOL. \_\_\_\_\_ PAGE \_\_\_\_\_  
DOC. NO. \_\_\_\_\_  
C.S.M. NO. \_\_\_\_\_



3. ALL WORK IN THE RIGHT OF WAY, WITH THE EXCEPTION OF THE WORK SHOWN FOR GRADING INFORMATION ONLY, REFER TO THE CITY OF MADISON PUBLIC IMPROVEMENT PLANS FOR FINAL DESIGN.
4. THE BUS STOP SHALL INCLUDE REPLACEMENT OF THE HAWK-FLY CUSTOM PASSENGER SHELTER (TYPE 60, 6000) BUS STOP DESIGN OF MADISON STREET LIGHTING.
5. THE DEVELOPER SHALL REPLACE ALL CURBS AND SIDEWALKS THAT IS DAMAGED OR DETRIEVED BE IN THE PROJECT AREA. THIS DETRIEVAL SHALL BE AT THE DISCRETION OF THE CITY ENGINEERING DIVISION.
6. ALL PERMANENT SIGNAGE SHALL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.
7. THE DEVELOPER SHALL PROVIDE A INITIAL AND MAINTAIN ALL STREET END DRAINAGES, SIGNING AND TRAFFIC SIGNALS, AS REQUIRED BY THE CITY ENGINEERING DIVISION.
8. THE CONTRACTOR SHALL SUBMIT A TRAFFIC PLAN FOR REVIEW TO THE CITY TRAFFIC ENGINEERING DIVISION AT LEAST 3 WORKING DAYS PRIOR TO WORK. BEGINNING THE TRAFFIC CONTROL PLAN SHALL COMPLY WITH ALL MAINT AND TRAFFIC CONTROL MANUALS AND SPECIFICATIONS, AND THE CITY ENGINEERING DIVISION SHALL BE NOTIFIED OF ANY CHANGES TO THE TRAFFIC CONTROL PLAN PRIOR TO ANY WORKING REVISIONS. ACCESS REQUIREMENTS TO THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PHASE AND THE TRAFFIC CONTROL PLAN SHALL BE REVIEWED BY THE CITY ENGINEERING DIVISION.
9. PROPERTY / SIDEWALK / CURB DAMAGE AND TRAFFIC SIGNALS / LIGHTS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SIGNAGE AND LIGHTS SHOWN ON THE PLANS ARE BASED ON ANTICIPATED OBTAINANCE AND THE PATENTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY AND THE TRAFFIC SIGNALS / LIGHTS.

BUILDING FOOTPRINT SHOWN BASED ON ARCHITECTURAL FLOOR PLAN AS PROVIDED TO WYSER ENGINEERING ON 08-13-2020. THIS DRAWING SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT UNTIL FOUNDATION IS VERIFIED BY FINAL STRUCTURAL PLANS. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



UNDEVELOPED SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY ENGINEER WORKING ON THE BENCH OF MARCH 23, 2020. SURVEYING ENGINEERING SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE. A 2' BENCH SHALL BE REQUIRED FOR ALL ELEVATIONS AND CANNOTS THAT MAY ARISE. A 2' BENCH SHALL BE REQUIRED FOR ALL ELEVATIONS AND CANNOTS THAT MAY ARISE. A 2' BENCH SHALL BE REQUIRED FOR ALL ELEVATIONS AND CANNOTS THAT MAY ARISE.

2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY. ON THIS PLAN, THE BENCHMARK SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION.

3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND OF REQUIRED.

4. ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR TO APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.

5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.

6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF MASON'S STANDARD SPECIFICATIONS FOR CONSTRUCTION.

SITE ADDRESS: 505 WEST WASHINGTON AVENUE  
SITE COORDINATES: 39.4348 50.11 (SBL AC)  
USE OF PROPERTY: COMMERCIAL/RESIDENTIAL MIXED USE  
ZONING: DOWNTOWN RESIDENTIAL 2 (DR-2)

**SETBACKS:**

- FRONT YARD (WEST WASHINGTON): 20 FEET
- SIDE YARD (NORTH BACKSIDE): 10 FEET
- REAR YARD (NORTHEAST): 10 FEET
- SIDE YARD (SOUTHWEST): 5 FEET

TOTAL NUMBER OF EXTERIOR BIKE STALLS: 10

**EXISTING IMPERVIOUS SURFACE AREA: 25,980 SQ. FT.**

- ROOFTOP: 11,142 SQ. FT.
- DECK: 70.50 SQ. FT.
- GRAVEL: 11,999 SQ. FT.
- PAVED: 1,868 SQ. FT.

**NEW IMPERVIOUS SURFACE AREA: 30,853 SQ. FT.**

- ROOFTOP: 26,622 SQ. FT.
- PAVED: 304 SQ. FT.
- SIDEWALK / PATIO: 1,927 SQ. FT.

**DISTURBANCE LIMITS: 35,438 SQ. FT.**

IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS  
PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 81.1%

A MAXIMUM OF 2,553 SQ. FT. OF GREEN ROOF WILL BE  
REQUIRED TO LOWER IMPERVIOUS AREA OF THE LOT TO 80% PERCENT

PROPOSED BUILDING  
26.600 SE

PRIVATE FRONT ENTRIES

FDC LOCATION

COMMERCIAL FRONT ENTRIES

NORTH BASSET STREET

**WEST WASHINGTON AVENUE**

WARNING: EXISTING TREE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. COORDINATE WITH THE CITY FORESTER.

— **WARNING:** EXISTING TREE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. COORDINATE WITH

BUS PAD TO BE RECONSTRUCTED  
AND NEW BUS SHELTER  
INSTALLED. SEE SITE PLAN NOTE  
NO. XXX. REPLACE SIDEWALK  
CONNECTION TO PUBLIC

WARNING: EXISTING TREE TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. COORDINATE WITH THE CITY FORESTER

REQUIRED 2" MILL AND OVERLAY DUE  
TO UTILITY WORK. FINAL LIMITS TO BE  
DETERMINED BY CONSTRUCTION  
ENGINEER

POTENTIAL 2" MILL AND OVERLAY. TAKE CARE TO NOT DAMAGE PAVEMENT EDGE TO AVOID MILL AND OVERLAY. FINAL LIMITS TO BE DETERMINED BY CONSTRUCTION ENGINEER.

POTENTIAL 2" MILL AND OVERLAY. TAKE CARE TO NOT DAMAGE PAVEMENT EDGE TO AVOID MILL AND OVERLAY. FINAL LIMITS TO BE DETERMINED BY CONSTRUCTION ENGINEER.



Toll Free (800) 242-8511 or 800-242-8512  
Hearing Impaired TDD (800) 542-2289  
[www.Digicore-online.com](http://www.Digicore-online.com)

**Potter  
Lawson**  
Success by Design

WYSE  
ENGINEERING

Notes

**PRELIMINARY**  
NOT FOR CONSTRUCTION

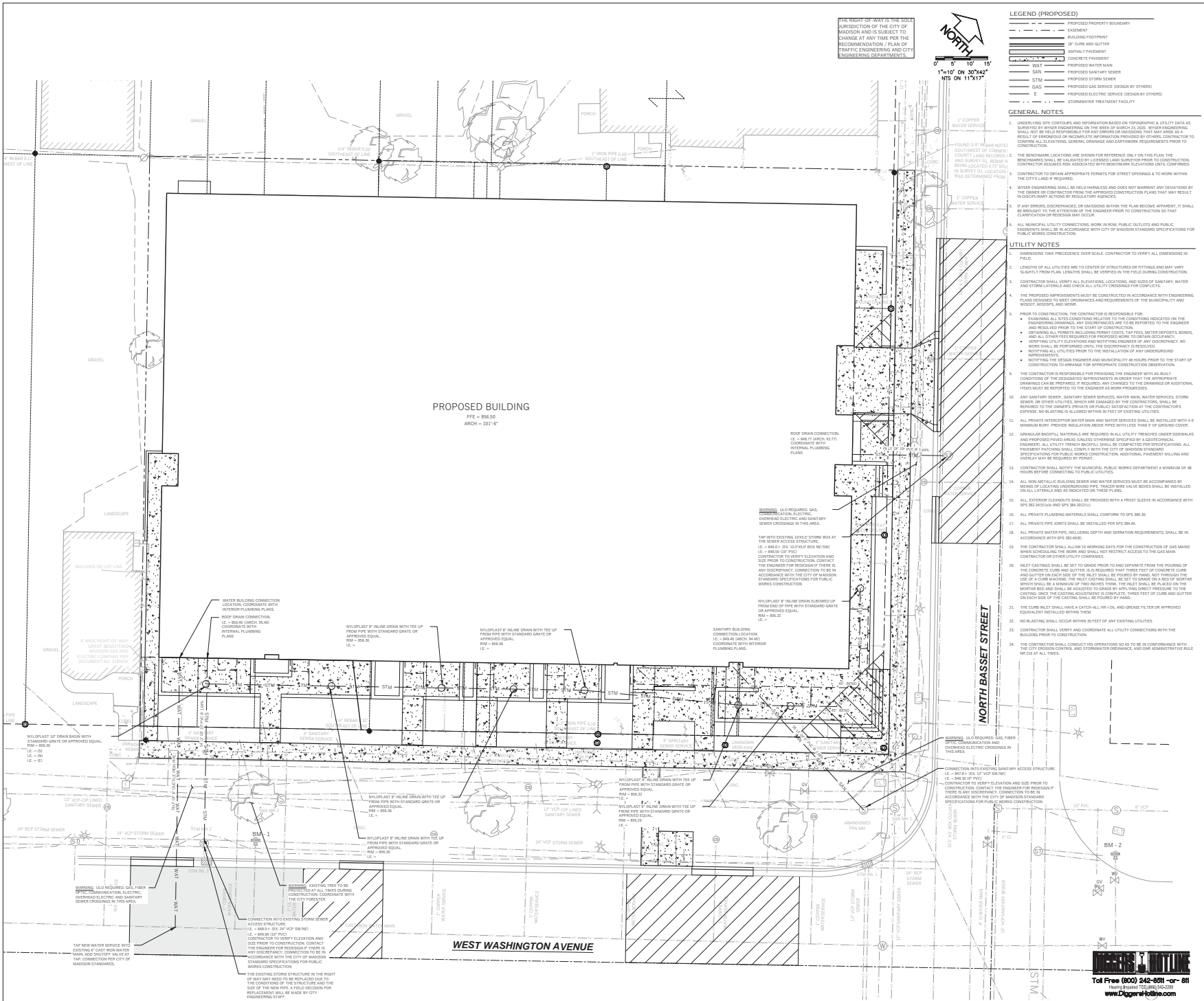
500 West Washington  
Development  
Keller Real Estate Group  
502 West Washington Avenue  
Madison, WI

2019.25.00

[illegible]

## SITE PLAN

# C100



**Potter Lawson**  
Success by Design

**WYSE ENGINEERING**

Notes:

**PRELIMINARY**  
NOT FOR CONSTRUCTION































500 West Washington  
Development  
Keller Real Estate Group  
502 West Washington Avenue  
Madison, WI

2019.25.00

DATE	ISSUANCE REVISIONS
09/16/20	CONDITIONS OF APPROVAL SUBMITTAL

**UTILITY PLAN**

**C300**

PLANT SCHEDULE - SITE PLANTING PLAN							
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	HEIGHT	QTY	
	104	Thorn acacia/ Wattle / Thornal Acacia	8.0		9' HT (MN)	1	
	106	Thorn acacia/ Red Wattle/ Wattle Wattle/ Thornal Acacia	8.0		9' HT (MN)	14	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	HEIGHT	QTY	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	8.0		10' HT (MN)	3	
	Q8B	Quercus / Oak / Red Oak / Red Oak	8.0		12' HT	1	
SHADE TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	HEIGHT	QTY	
	AMM	American maple / Red Maple / Red Maple	8.0		12' HT	1	
	ADU	Australian gum / Eucalyptus / Red Gum / Red Gum	8.0		12' HT	1	
	ASU	Australian gum / Eucalyptus / Red Gum / Red Gum	8.0		12' HT	1	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	2 gal		10' HT (MN)	1	
	104	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	31	
	106	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	1	
	104	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	1	
	104	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	1	
	104	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	1	
	104	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	1	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY	
	104	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	1	
	104	Hydrangea / Hydrangea / Hydrangea / Hydrangea	3 gal		10' HT (MN)	1	
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			14	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
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	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
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	ARH	Australian gum / Eucalyptus / Red Gum / Red Gum	1 gal			1	
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City of Madison Landscape Worksheet						
500 W Washington Ave						
August 28, 2020						
Developed Lots		SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal	
Total Developed Area		8,951	419	20	140	
				Landscape Points Required	140	
Development Frontage - W Washington Avenue						
Total LF of Street Frontage Between Bldg & Parking & Streets		LF	Overstory Tree Req. (or 1/2 for On-Street Tree Sub)	Shrub Required		
160		160	7		31	
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