

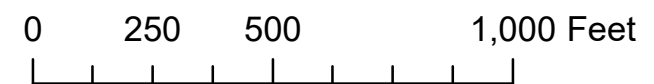


HY-VEE #1 - 3801 E. WASHINGTON AVE.

MADISON, WI

CONTEXT MAP

DATE: 10/07/2020





HY-VEE #1 - 3801 E. WASHINGTON AVE.

MADISON, WI

EXISTING CONDITIONS

DATE: 10/07/2020



SITE CONSTRUCTION DOCUMENT PACKAGE
HY-VEE MADISON #1
3801 E WASHINGTON AVENUE
MADISON, WI 53704
ONLINE AISLES KIOSK

PLANS ISSUED

REV	DATE	DESCRIPTION
1	10/07/2020	LUA-UDC INITIAL - FINAL

OWNER/DEVELOPER

HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA
 515-267-2800

CIVIL ENGINEER

JSD PROFESSIONAL SERVICES, INC.
 161 HORIZON DRIVE, SUITE 101
 VERONA, WI 53593
 608-848-5060

LANDSCAPE ARCHITECT

JSD PROFESSIONAL SERVICES, INC.
 161 HORIZON DRIVE, SUITE 101
 VERONA, WI 53593
 608-848-5060

REGULATORY AGENCIES

CITY ENGINEER/PUBLIC WORKS
 ROBERT PHILLIPS, P.E.
 608-266-4751

FIRE CHIEF
 STEVEN DAVIS
 608-266-4420

POLICE CHIEF
 VICTOR WAHL
 608-266-4022

UTILITY CONTACTS

DIGGER'S HOTLINE
 800-242-8511

GAS
 MADISON GAS & ELECTRIC
 608-252-5618

ELECTRIC
 ALLIANT ENERGY
 608-845-1148

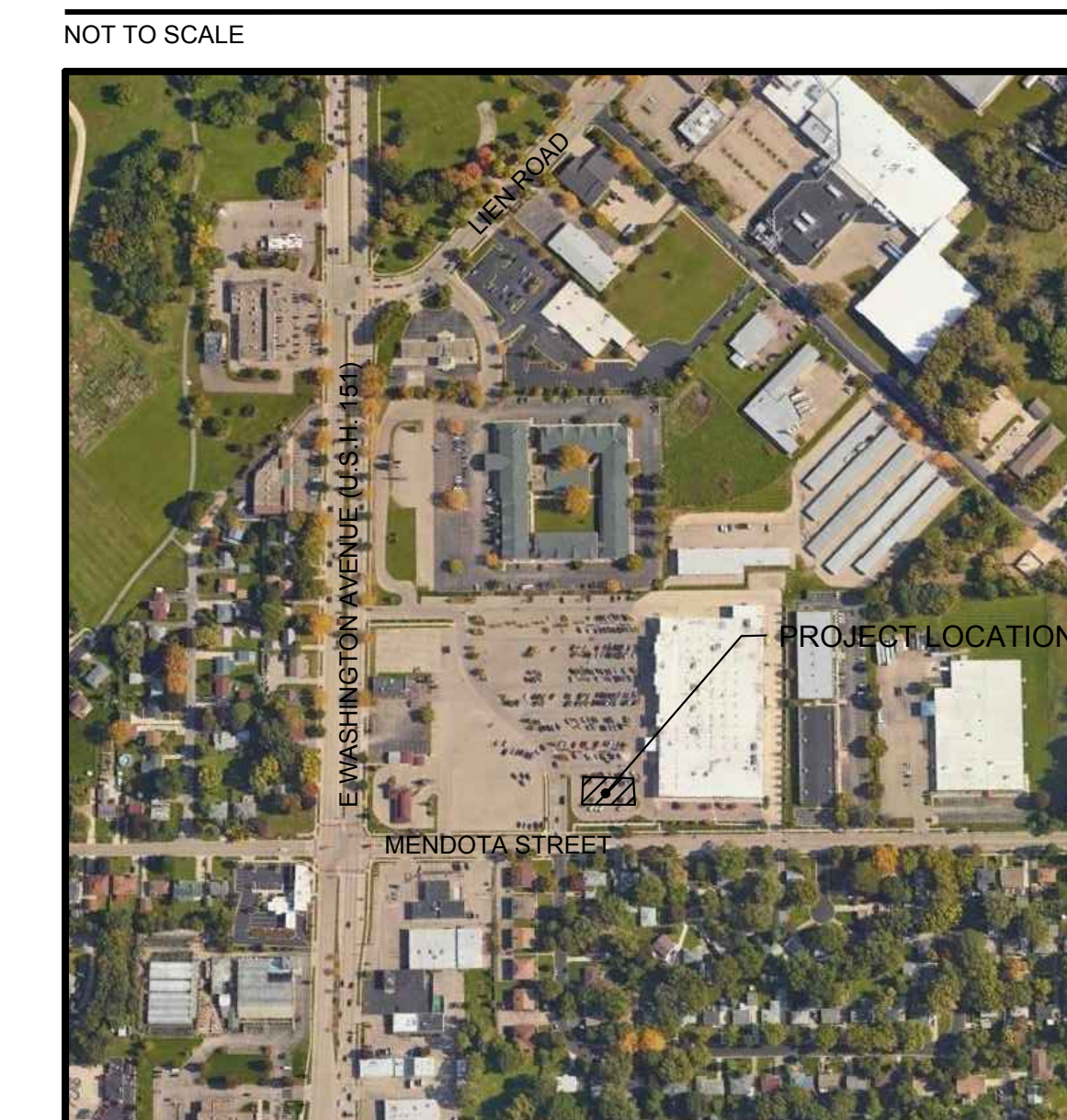
TELEPHONE/CABLE
 AT&T
 608-252-2432

SHEET INDEX

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS & OVERALL SITE MAP
- C1.1 DEMOLITION PLAN
- C2.0 SITE/LANDSCAPE PLAN
- C3.0 GRADING PLAN
- C3.1 EROSION CONTROL PLAN
- C4.0 UTILITY PLAN
- C5.0 CONSTRUCTION DETAILS
- C6.0 FIRE ACCESS PLAN



SITE LOCATION MAP



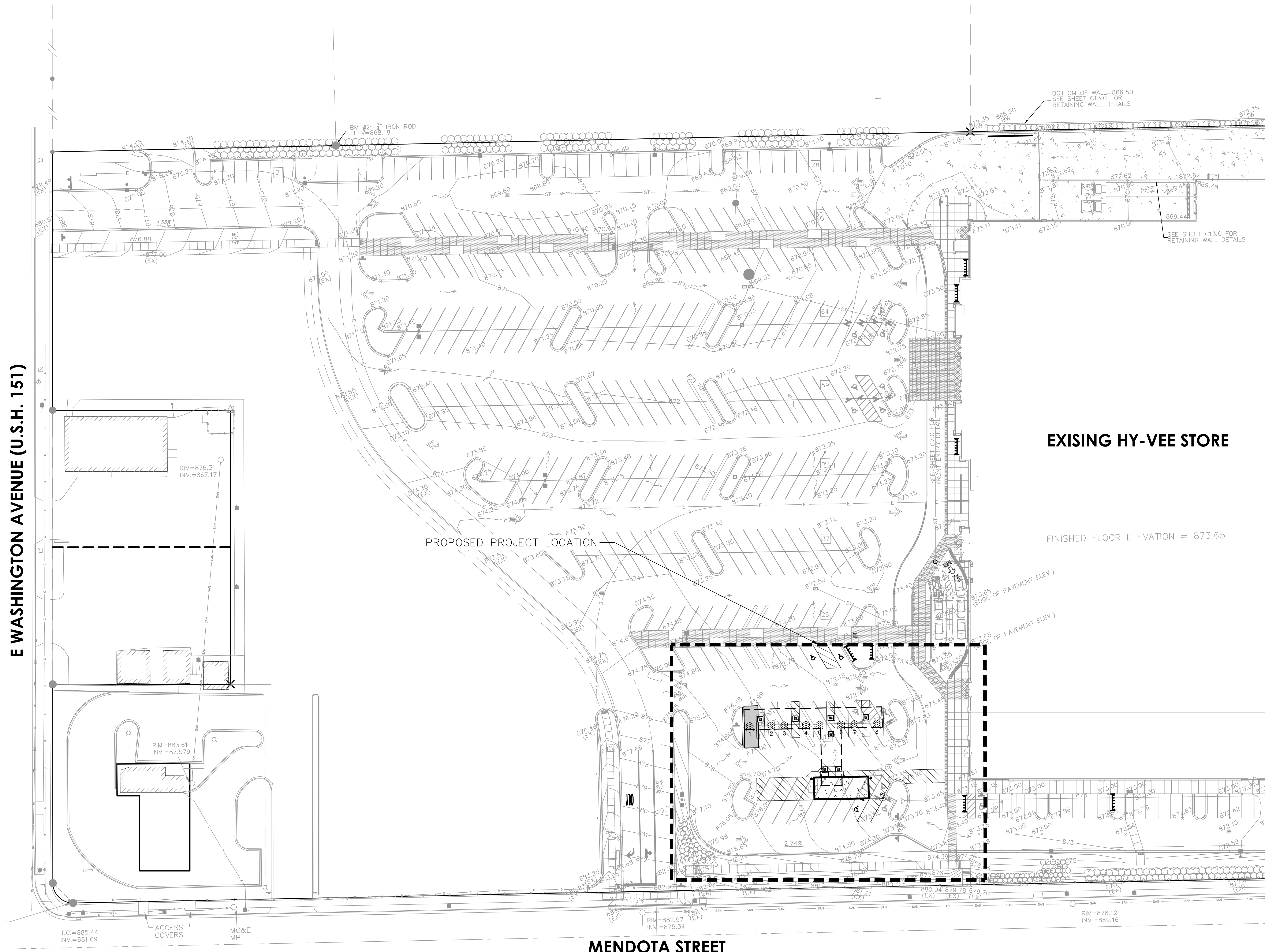
1 LUA-UDC INITIAL - FINAL 10/07/2020

C0.0

LEGEND

- PROPERTY LINE
- BUILDING OUTLINE
- - - CANOPY
- - - BUILDING SETBACK LINE
- - - PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND CUTTER
- REJECT CURB AND CUTTER
- ASPHALT PAVEMENT

E WASHINGTON AVENUE (U.S.H. 151)



EXISTING HY-VEE STORE

FINISHED FLOOR ELEVATION = 873.65

PROPOSED PROJECT LOCATION

MENDOTA STREET

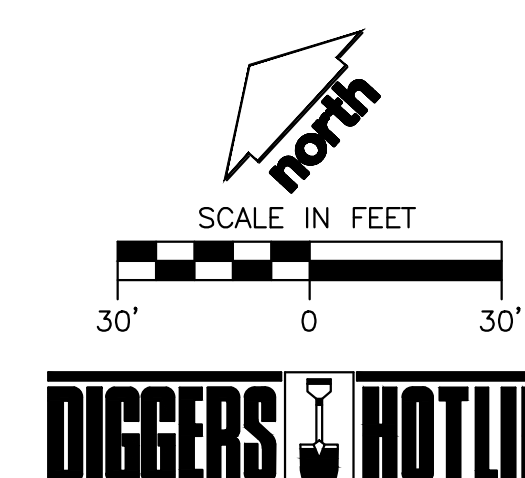
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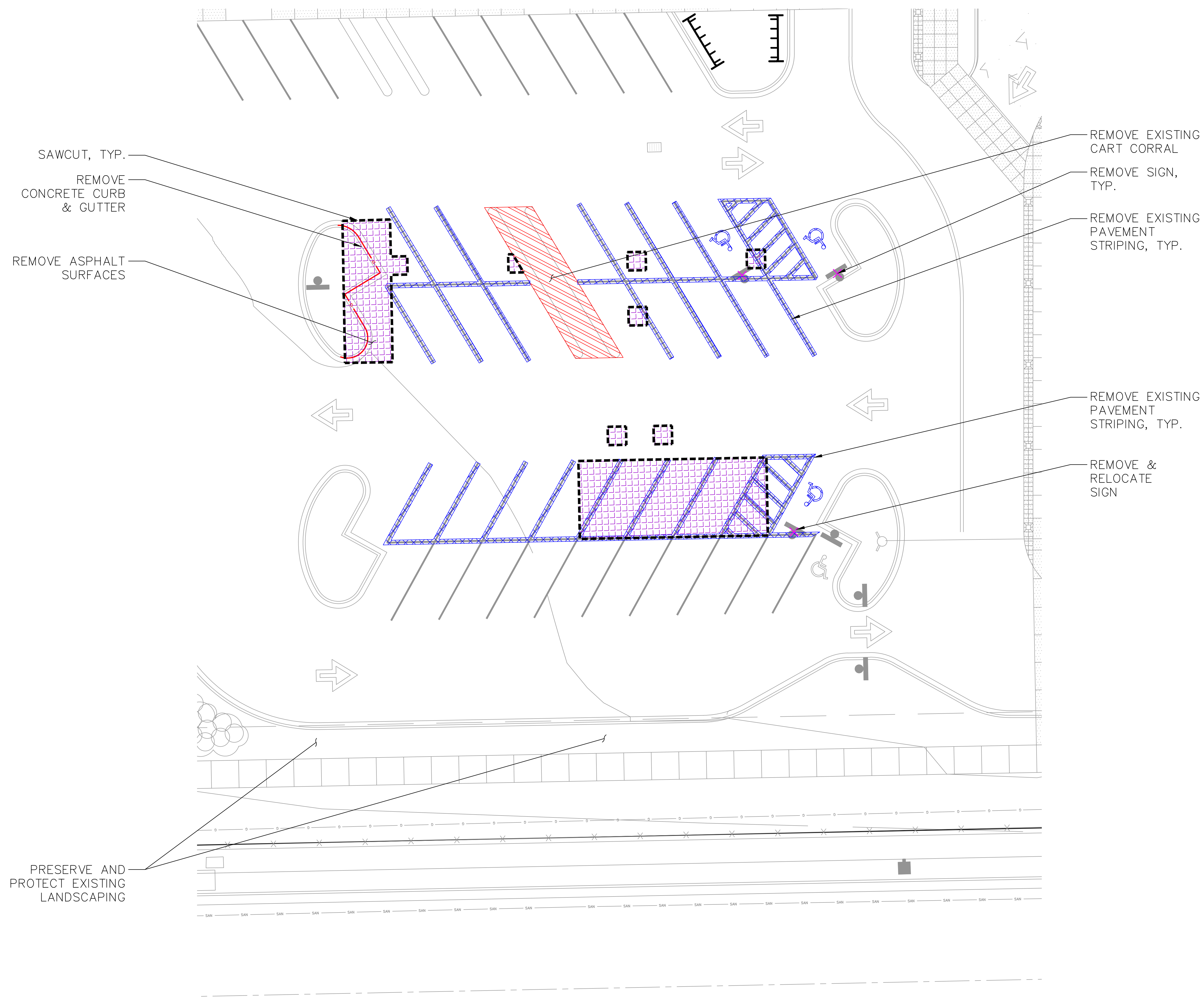
REVISIONS DATE DRAWN BY

EXISTING CONDITIONS AND OVERALL SITE

DRAWN BY APM DATE 10-07-2020
SCALE AS NOTED
SHEET

C1.0





LEGEND

- o — PROPERTY LINE
- DEMOLITION - REMOVAL OF ON-SITE CURB SURFACES AND BASE COURSE
- DEMOLITION - REMOVAL OF CONCRETE SURFACES
- DEMOLITION - REMOVAL OF ASPHALT SURFACES
- DEMOLITION - REMOVAL OF PAVEMENT STRIPING
- SAWCUT EXISTING PAVEMENT
- X SIGN REMOVAL

DEMOLITION NOTES

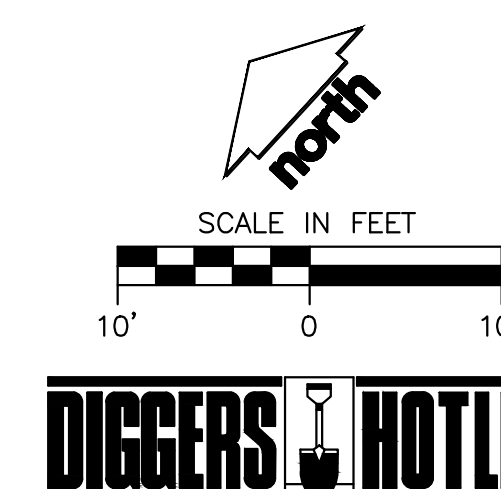
1. REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
2. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OR RECYCLED OFF SITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
3. PROTECT ADJACENT PROPERTY DURING DEMOLITION.
4. PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN MAY BE PRESENT.
5. PROTECT EXISTING PARKING STRIPING UNLESS NOTED OTHERWISE.
6. REMOVE ALL DESIGNATED STREETS, DRIVEWAYS, ETC. IN THEIR ENTIRETY. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 98% STANDARD PROCTOR DENSITY. BACKFILLING TO BE OBSERVED BY GEOTECHNICAL ENGINEER EMPLOYED BY OWNER.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION, BOTH PUBLIC AND PRIVATE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND SALVAGING ANY IRRIGATION COMPONENTS AND ADJUSTING IRRIGATION AS REQUIRED FOR OPERATION ON REMAINDER OF SITE DURING CONSTRUCTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING SITE DEMOLITION PRIOR TO CONSTRUCTION.

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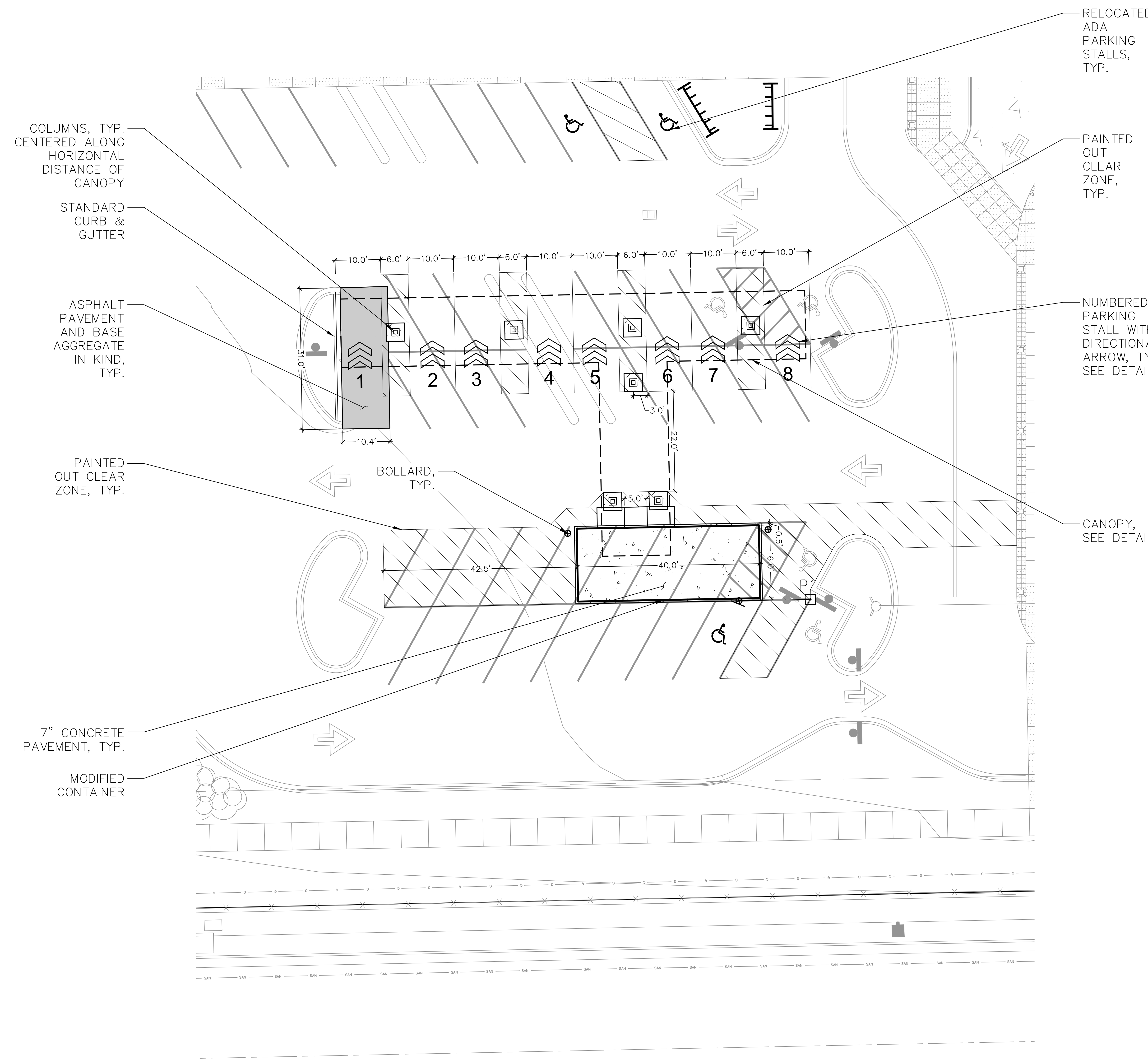
REVISIONS	DATE

DEMOLITION PLAN

DRAWN BY APM	DATE 10-07-2020
SCALE AS NOTED	
SHEET	



C1.1



LEGEND

---	PROPERTY LINE
---	BUILDING OUTLINE
---	CANOPY
---	BUILDING SETBACK LINE
---	PAVEMENT SETBACK LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
●	BOLLARD

- GENERAL NOTES**
1. PROTECT EXISTING STRUCTURES AND ADJACENT PROPERTY DURING CONSTRUCTION.
 2. PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
 3. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
 4. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
 5. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
 6. FINISH GRADES SHOWN ARE TO TOP OF PAVING, SIDEWALKS, OR FINISH GRADE.
 7. STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS TO BE COORDINATED WITH AND APPROVED BY THE OWNER.

- PAVEMENT SPECIFICATIONS**
- ASPHALT:**
1. TACK COAT. REFER TO IOWA SUDAS SPECIFICATIONS:
A. PG 66-22
 2. APPLY TACK COAT AT .08 GSY RESIDUAL RATE ON CLEAN, DRY SURFACE FREE OF LOOSE PARTICLES PRIOR TO PLACING HMA MIX.
 3. HOT MIX ASPHALT. REFER TO IOWA SUDAS SPECIFICATIONS:
A. SUBMIT MIX DESIGN FOR APPROVAL
B. HMA STANDARDS TRAFFIC (ST) SURFACE: 2", PG 58-28H
C. MAXIMUM RAP: 20%
 4. PLACE THE HMA MIXTURE IN THE NUMBER OF LIFTS REQUIRED TO PRODUCE THE REQUIRED THICKNESS. THE COMPACTED THICKNESS OF THE TOP LIFT SHALL NOT EXCEED 2 INCHES.
 5. PLACE SUCCEEDING LIFTS OF HMA AS SOON AS THE PREVIOUS LIFT HAS BEEN COMPACTED.
 6. COMPACT EACH LIFT TO 92-96% DENSITY. VERIFY DENSITY BY PROVIDING CORES PER OWNERS TESTING AGENCY.

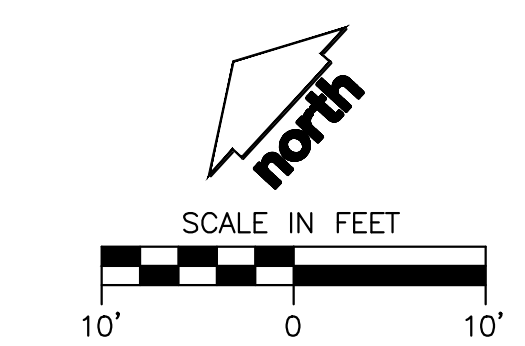
- SIGNAGE AND STRIPING SPECIFICATIONS:**
1. PAINT TRAFFIC DIRECTION ARROWS AND PARKING STRIPES "TRAFFIC YELLOW".
 2. PAINT SHALL BE LEAD FREE WATERBORNE TRAFFIC AND HIGHWAY MARKING PAINT UC-3586 YELLOW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
 3. PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A 50/60 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136 OR GLASS BEADS THAT MEET FEDERAL SPECIFICATION TT-B-1325, TYPE I, GRADATION A.
 4. BEFORE APPLICATION OF PAINT, PAINTING SURFACE MUST BE DRY AND FREE FROM DIRT, GREASE, OIL, OR OTHER MATERIAL THAT WOULD REDUCE THE BOND BETWEEN THE PAVEMENT AND PAINT. CLEAN THE AREA TO BE PAINTED BY SWEEPING OR COMPRESSED AIR.
 5. APPLY PAINT AT LOCATIONS, DIMENSIONS, AND SPACING SHOWN ON THE PLANS.
 6. MIX PAINT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLY AT THE RATE OF 115 SF/GALLON. THE ADDITION OF THINNER WILL NOT BE PERMITTED.
 7. APPLY SILICA SAND AT 4 LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. SILICA SAND SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE AND PAYMENT.
 8. TREAT GLASS BEADS WITH ADHESION PROMOTING COATINGS AS SPECIFIED BY THE PAINT MANUFACTURER. APPLY GLASS BEADS AT 7 LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. GLASS BEADS SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE OF PAYMENT.
 9. PROTECT ALL MARKINGS FROM DAMAGE UNTIL PAINT IS DRY.

LOCATION
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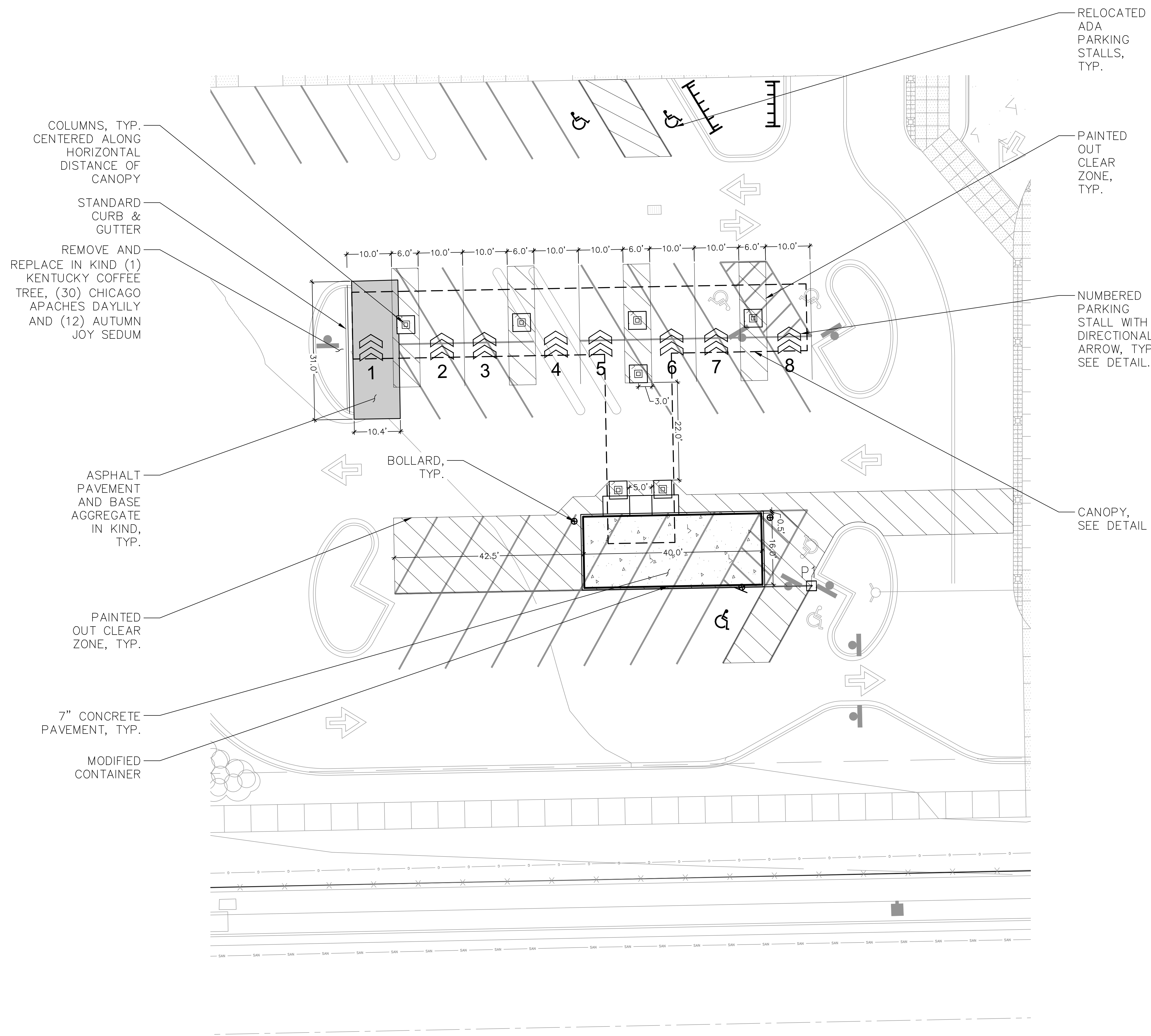
REVISIONS	DATE

SITE/LANDSCAPE PLAN

DRAWN BY APM	DATE 10-07-2020
SCALE AS NOTED	
SHEET	



C2.0



LEGEND

- PROPERTY LINE
- BUILDING OUTLINE
- - - CANOPY
- - - BUILDING SETBACK LINE
- - - PAVEMENT SETBACK LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- BOLLARD

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- SIGNAGE AND STRIPING SPECIFICATIONS:**
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 2. PAINT SHALL BE LEAD FREE WATERBORNE TRAFFIC AND HIGHWAY MARKING PAINT UC-3886 YELLOW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
 3. PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A 50/60 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136 OR GLASS BEADS THAT MEET FEDERAL SPECIFICATION TT-B-1325, TYPE I, GRADATION A.
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 5. APPLY PAINT AT LOCATIONS, DIMENSIONS, AND SPACING SHOWN ON THE PLANS.
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 8. TREAT GLASS BEADS WITH ADHESION PROMOTING COATINGS AS SPECIFIED BY THE PAINT MANUFACTURER. APPLY GLASS BEADS AT 7 LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. GLASS BEADS SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE OF PAYMENT.
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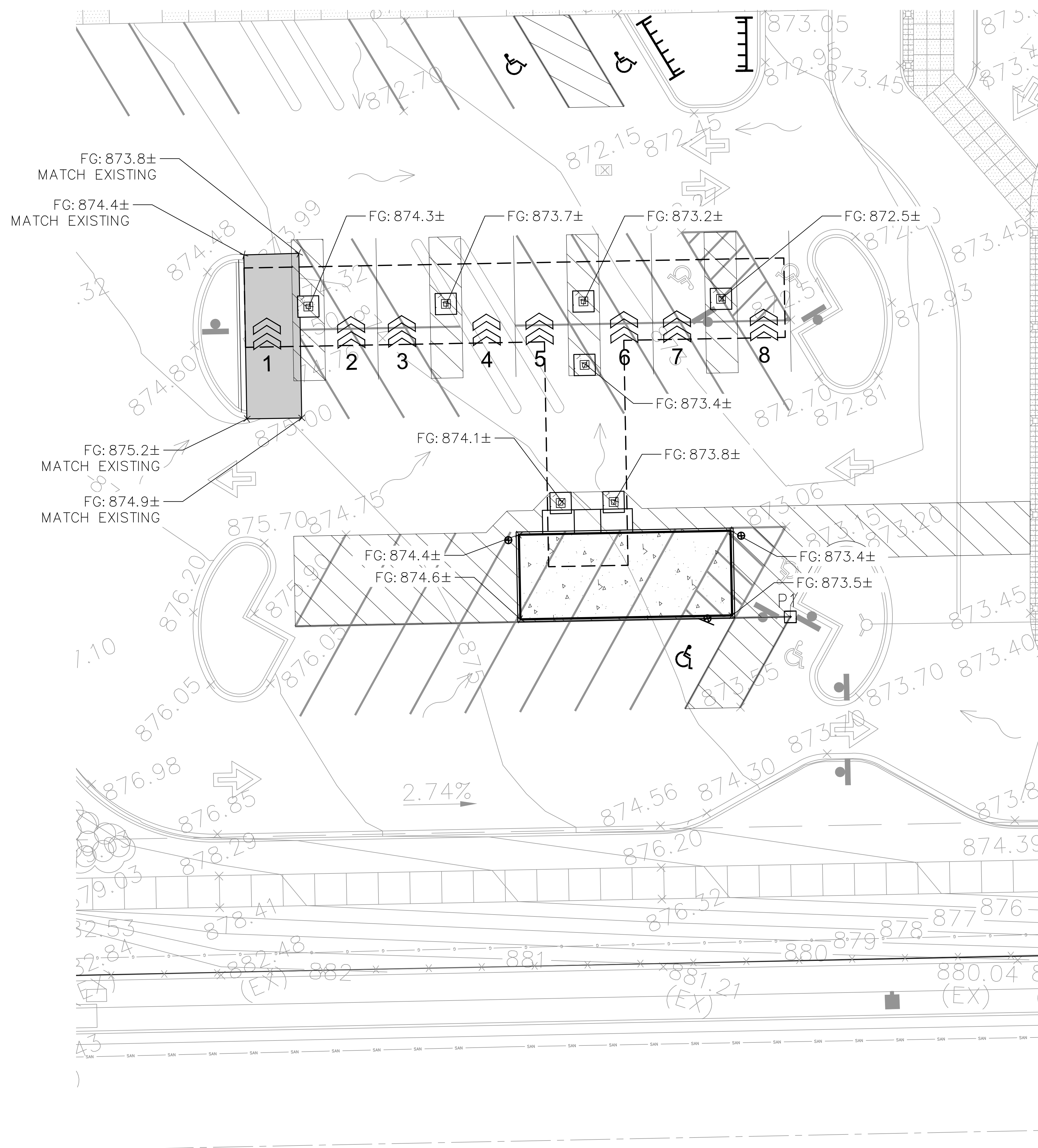
SITE/LANDSCAPE PLAN

DRAWN BY APM	DATE 10-07-2020
SCALE AS NOTED	
SHEET	

SCALE IN FEET

DIGGERS HOTLINE

C2.0



LEGEND

- PROPERTY LINE
- BUILDING OUTLINE
- - - CANOPY
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- RELECT CURB AND GUTTER
- ASPHALT PAVEMENT
- 959 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- - - 959 EXISTING 1 FOOT CONTOUR
- - - 960 EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- FG: XXX.XX SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- BCC - BACK OF CURB
- MATCH - MATCH EXISTING GRADE
- HP - HIGH POINT
- SW - SIDEWALK

GRADING NOTES

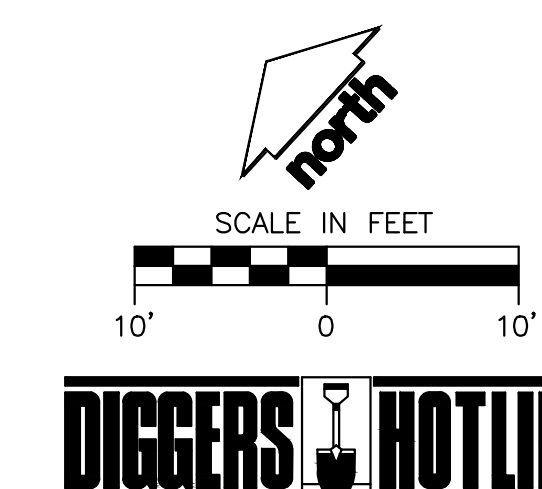
1. PROVIDE AND MAINTAIN EROSION CONTROL DEVICES WHERE SHOWN ON PLANS. DEVICES TO REMAIN IN PLACE UNTIL PAVEMENT AND INTAKES ARE CONSTRUCTED AND UNTIL A LAWN IS ESTABLISHED.
3. IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS. REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT TO 95% STANDARD PROCTOR DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR.
4. SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR.
5. PROVIDE MINIMUM OF 1.0' OF COMPACTED NON-EXPANSIVE COHESIVE SOIL BENEATH ALL PAVEMENTS.
6. ALL FILL AND BACKFILL MATERIALS SHALL BE APPROVED BY THE SOILS ENGINEER. PLACE ALL FILLS IN LIFTS OF NINE INCHES OR LESS LOOSE THICKNESS. ALL FILL SHALL BE PLACED BETWEEN 1% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT.
7. FINISH CONTOURS SHOWN ARE TO TOP OF PAVEMENT OR TO TOP OF TOPSOIL. SEE BUILDING PLANS AND CONSTRUCTION DETAILS FOR FINISHED SUBGRADE BELOW FINISHED FLOOR AND PAVEMENT SECTIONS.
8. SCARIFY SUBGRADE TO DEPTH OF 3" WHERE TOPSOIL IS SCHEDULED. SCARIFY IN AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS CAUSED COMPACTED SUBSOIL.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION, BOTH PUBLIC AND PRIVATE.
10. SPOT ELEVATIONS ARE SHOWN AT TOP OF FINISH GRADE. ADD 6" TO ELEVATIONS IN PAVED AREAS TO FIND TOP OF CURB ELEVATIONS.

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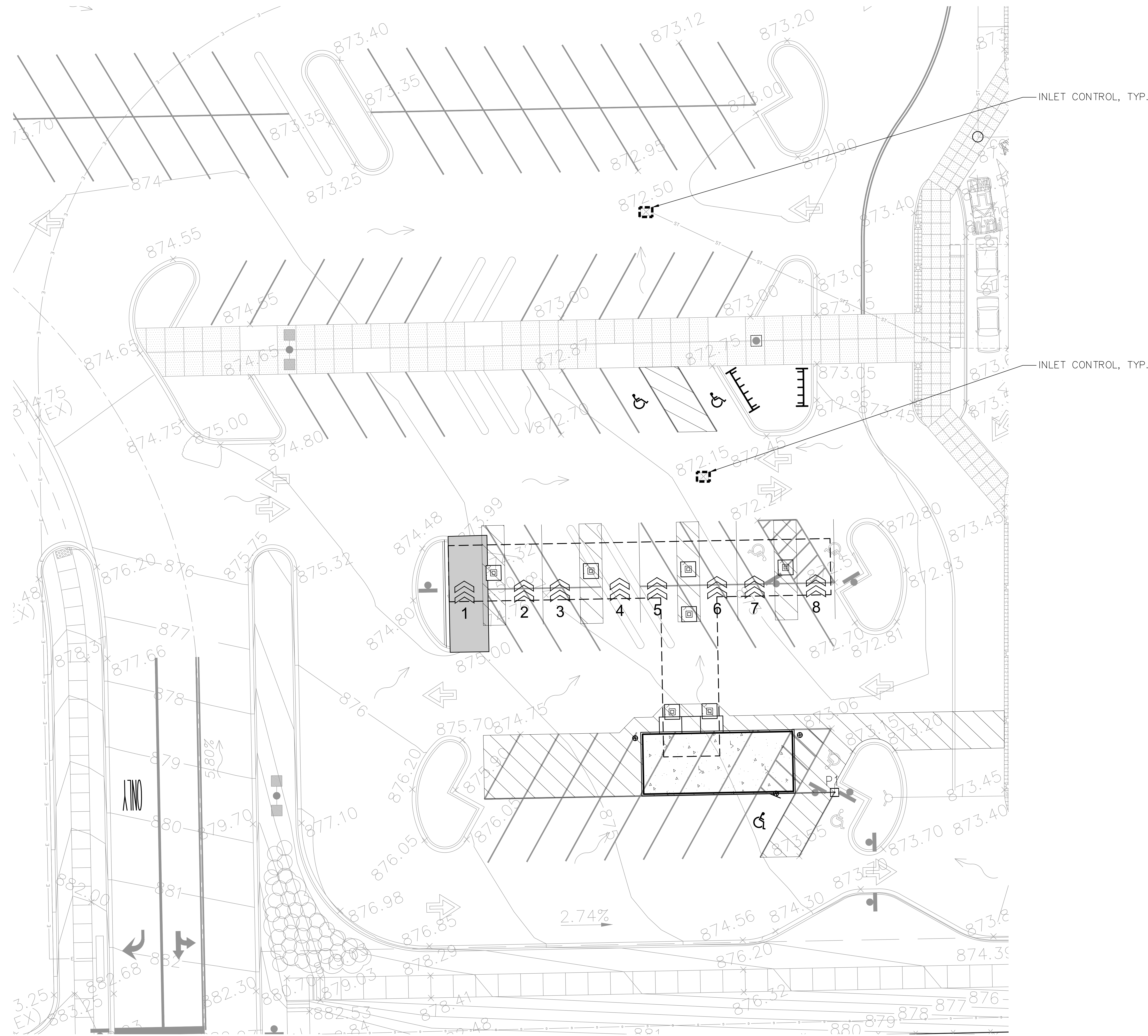
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GRADING PLAN

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C3.0



LEGEND

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- FG:XXX.XX SPOT ELEVATION
- EP — EDGE OF PAVEMENT
- FG — FINISH GRADE
- EC — EDGE OF CONCRETE
- BC — BACK OF CURB
- MATCH — MATCH EXISTING GRADE
- HP — HIGH POINT
- SW — SIDEWALK
- INLET PROTECTION

EROSION CONTROL NOTES

1. DISTURB THE LEAST AREA POSSIBLE TO COMPLETE THE SCOPE OF THE PROJECT.
2. ALL SEDIMENT AND EROSION CONTROL PRACTICES WILL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD BY RESPONSIBLE PERSONNEL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE BEST MANAGEMENT PRACTICES SHALL BE MADE IMMEDIATELY.
4. INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. COPIES OF THE INSPECTION FORMS SHALL BE SENT TO HY-VEE.
5. FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH ARE NOT BEING USED FOR MATERIAL STORAGE, OR ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE BEING PERFORMED.
6. SOIL STABILIZATION SCHEDULE TEMPORARY SEEDING WITH OATS - 2 TO 3 BUSHELS PER ACRE - AND MULCH ALL SLOPES 4:1 AND STEEPER WILL BE INITIATED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF MORE THAN 21 CALENDAR DAYS BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED. THIS SEQUENCE SHALL REPEAT AS GROUND COVER IS REMOVED BY SUBSEQUENT CONSTRUCTION ACTIVITY.
7. GENERAL CONTRACTOR SHALL IMPLEMENT ALL POLLUTION PLAN ACTIVITY WITH THE ASSISTANCE OF THE UTILITY SUBCONTRACTORS, BUILDING CONTRACTORS AND SUPPLIERS.
8. APPLY FREQUENT LIGHT WATERING TO GROUND SURFACE, AS REQUIRED TO CONTROL DUST.
9. UPON COMPLETION AT CONSTRUCTION, SOD ALL DISTURBED AREAS PER PROJECT SPECIFICATIONS.
10. MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTORS. CLEANING OF CONTROL DEVICES SHALL BEGIN WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
11. LOCATION OF SOLID WASTE CONTAINER AND PORTABLE RESTROOM TO BE SPECIFIED BY CONTRACTOR.
12. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
13. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE IMPLEMENTING AGENCY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENT.
14. LIMIT DUST GENERATION BY CLEARING ONLY THOSE AREAS WHERE IMMEDIATE ACTIVITY WILL TAKE PLACE, LEAVING THE REMAINING AREA(S) IN THE ORIGINAL CONDITION, IF STABLE. MAINTAIN THE ORIGINAL GROUND COVER AS LONG AS PRACTICAL. VEGETATE OR MULCH AREAS WITH EXPOSED SOILS THAT WILL NOT RECEIVE VEHICLE TRAFFIC. IN AREAS WHERE PLANTING, MULCHING OR PAVING IS IMPRACTICAL, APPLY GRAVEL OR LANDSCAPING ROCK. ADD SURFACE GRAVEL TO REDUCE THE SOURCE OF DUST EMISSION. LIMIT THE AMOUNT OF FINE PARTICLES (THOSE SMALLER THAN 0.075MM) TO 10 TO 20 PERCENT. SPRINKLE THE SITE WITH WATER UNTIL SURFACE IS WET. REPEAT AS NEEDED TO PREVENT CARRYOUT OF MUD ONTO STREET. USE VACUUM STREET SWEEPERS TO SWEEP UP ANY TRACKED SEDIMENT. REMOVE MUD AND OTHER DIRT PROMPTLY SO IT DOES NOT DRY AND THEN TURN INTO DUST. LIMIT DUST CAUSING WORK ON WINDY DAYS.

OWNER

HY-VEE, INC.
5820 WESTTOWN PARKWAY
WEST DES MOINES, IOWA, 50266

AREA TO BE DISTURBED: 0.017 AC OR 746 SF

NEW IMPERVIOUS AREA: 0.006 AC OR 276 SF

LOCATION
ONLINE AISLES KIOSK
3801 E WASHINGTON AVENUE
MADISON, WI 53704

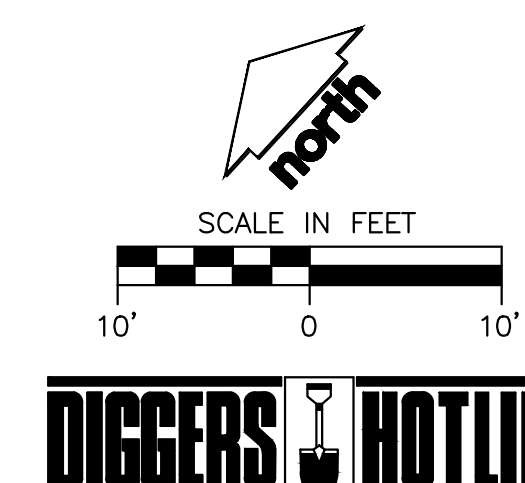
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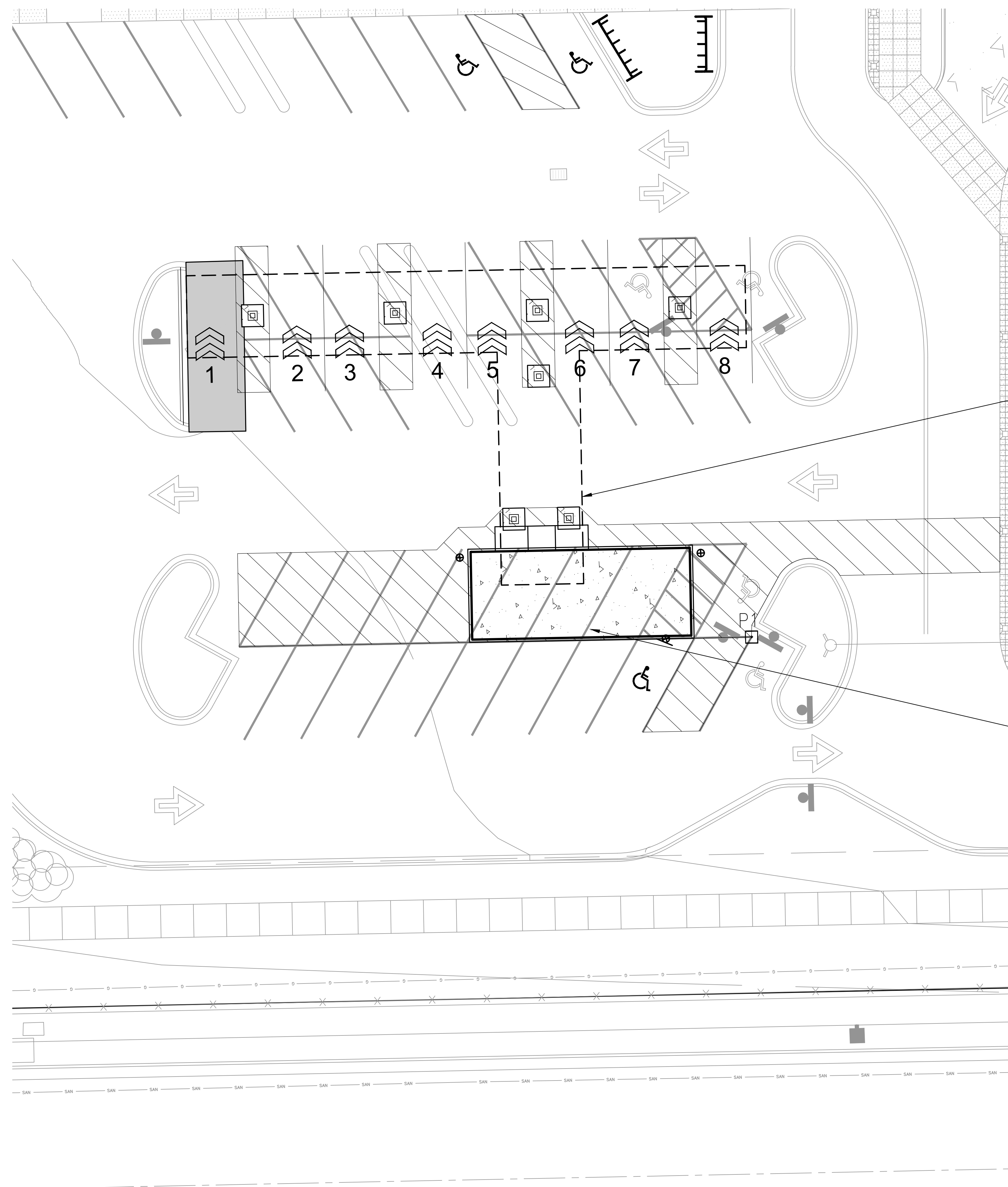
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EROSION CONTROL PLAN

DRAWN BY APM	DATE 10-07-2020
SCALE AS NOTED	
SHEET	

C3.1





LEGEND

---	PROPERTY LINE
---	BUILDING OUTLINE
---	CANOPY
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	REFLECT CURB AND GUTTER
---	ASPHALT PAVEMENT

- UTILITY NOTES**
1. PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
 2. SEE DETAILS FOR UTILITY TRENCH CONSTRUCTION REQUIREMENTS. GEOTECHNICAL ENGINEER TO OBSERVE UTILITY TRENCH BACKFILL AND COMPACTION PROCEDURES.

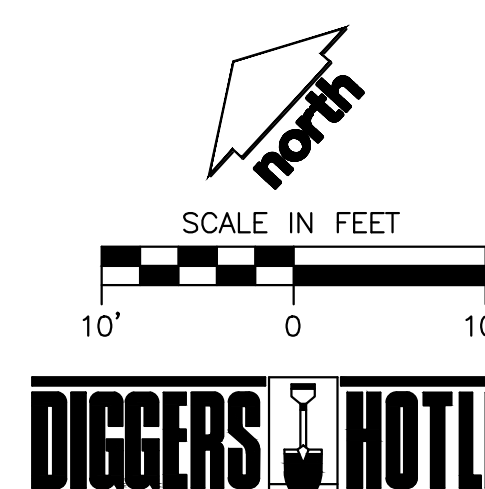
- SITE LIGHTING NOTES**
1. NOTIFICATION: CONTRACTOR SHALL NOTIFY HY-VEE A MINIMUM OF 60 DAYS PRIOR TO THE ANTICIPATED DATE OF INSTALLATION.
 2. MATERIAL: OWNER WILL PURCHASE SITE LIGHTING MATERIALS. THOSE MATERIALS INCLUDE THE FOLLOWING: FIXTURES WITH LAMPS, TENON, POLE, ANCHOR BOLTS AND ANCHOR BOLT TEMPLATE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, AND VERIFYING QUANTITIES AND CONDITIONS OF THESE MATERIALS. INSPECT ALL PACKAGES FOR EXTERIOR DAMAGE BEFORE THE CARRIER LEAVES THE SITE, AND NOTIFY OWNER'S REPRESENTATIVE WITH INFORMATION ON THE SHIPMENT. RETURN A COPY OF THE PACKING LIST TO HY-VEE WITHIN SEVEN DAYS AFTER RECEIPT OF THE MATERIALS WITH NOTES REGARDING ANY DAMAGED GOODS OR THE LACK OF DAMAGE.
 3. STORAGE OF MATERIALS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND PROTECTION OF ALL SITE LIGHTING MATERIALS, AND FOR INSTALLATION OF A FUNCTIONING SYSTEM WHICH MEETS HY-VEE'S APPROVAL.
 4. CONDUIT AND WIRE: CONDUIT AND WIRE FOR SITE LIGHTING SHALL BE SIZED BY THE GENERAL CONTRACTOR AND APPROVED BY HY-VEE.
 5. TESTING: A MINIMUM OF 30 DAYS BEFORE THE ONLINE AISLES OPENING, THE CONTRACTOR SHALL CONDUCT A 100 HOUR CONSECUTIVE TEST OF THE SITE LIGHTING SYSTEM. THIS IS INTENDED TO EXPOSE BURNED OUT LAMPS OR OTHER PROBLEMS WHILE ELECTRICIANS AND EQUIPMENT ARE STILL ON SITE. HY-VEE SHALL BE NOTIFIED WITH THE RESULTS OF THIS TEST AS SOON AS POSSIBLE SO REPLACEMENT MATERIALS CAN BE OBTAINED IF NECESSARY.
 6. WIRING INFORMATION: SEE SHEET E-1 FOR CIRCUIT AND PANEL ASSIGNMENTS. A WIRING DIAGRAM FOR THE PARKING LOT LIGHTS IS REQUIRED FOR FUTURE REFERENCE. MAKE EDITS ON SITE UTILITY PLAN AND RETURN TO OWNER WITH AS-BUILT NOTES.
 7. REFER TO FIXTURE AND POLE BASE DETAIL.

CANOPY LIGHTING.
SEE ARCHITECTURAL
DRAWINGS.

ELECTRIC
CONNECTION TO
KIOSK TO BE
COORDINATED BY
OWNER

LOCATION
ONLINE AISLES KIOSK
3801 E WASHINGTON AVENUE
MADISON, WI 53704

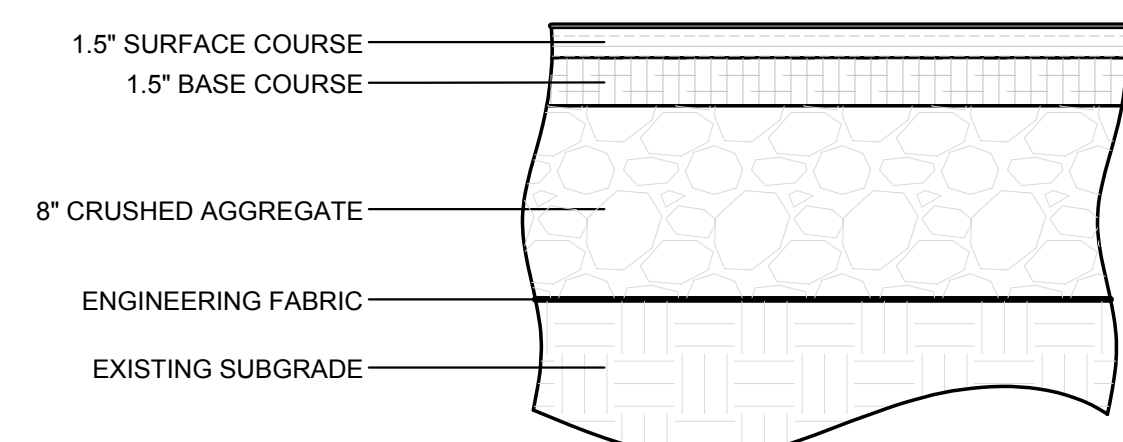
REVISIONS	DATE	DRAWN BY



UTILITY PLAN

DRAWN BY APM	DATE 10-07-2020
SCALE AS NOTED	
SHEET	

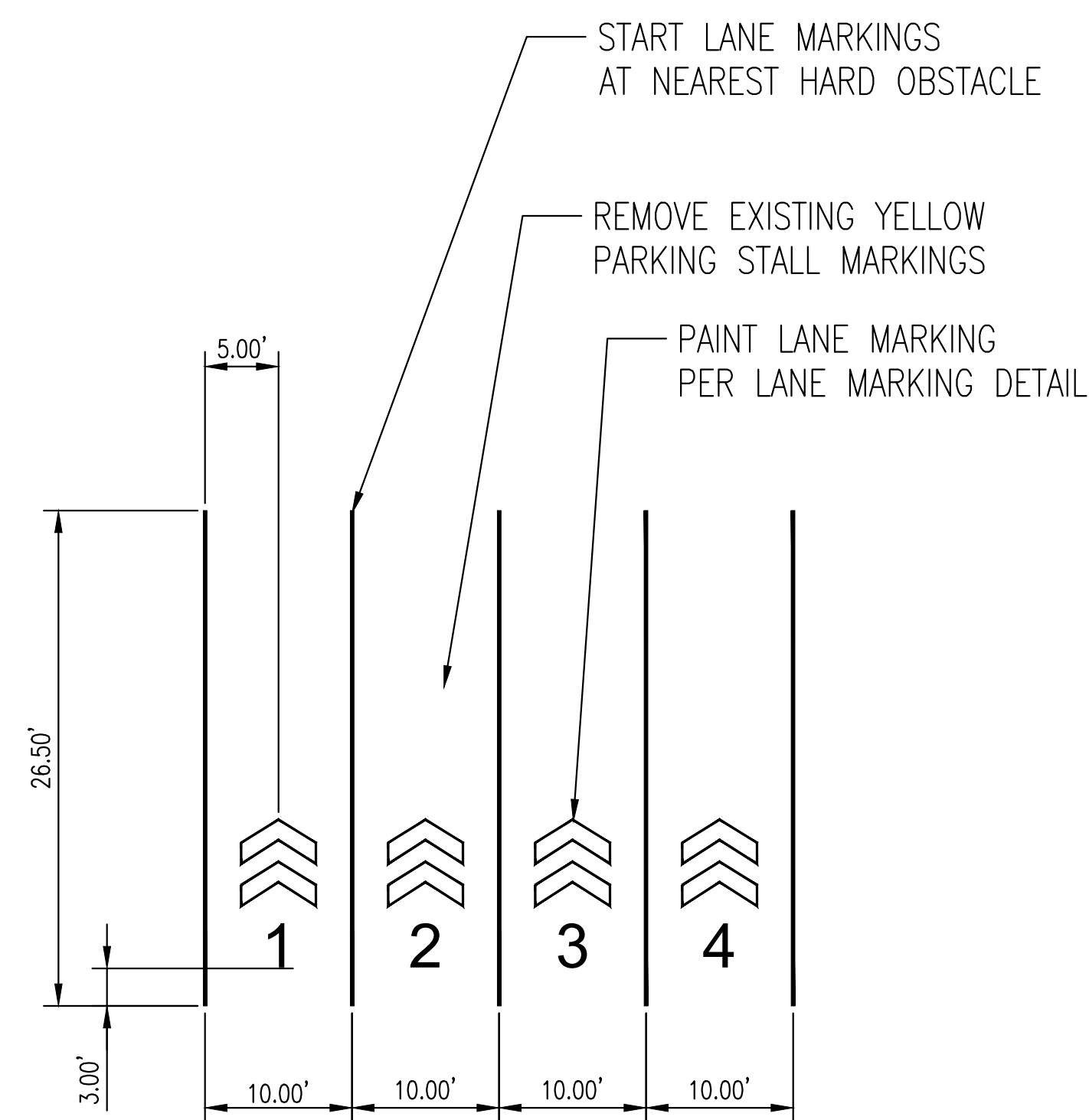
C4.0



1. PAVEMENT SECTION TO MATCH EXISTING PAVEMENT SECTION ONSITE. ABOVE ASPHALT SECTION IS BASED ON ORIGINAL RECORD DRAWINGS FOR REFERENCE FOR BIDDING PURPOSES.

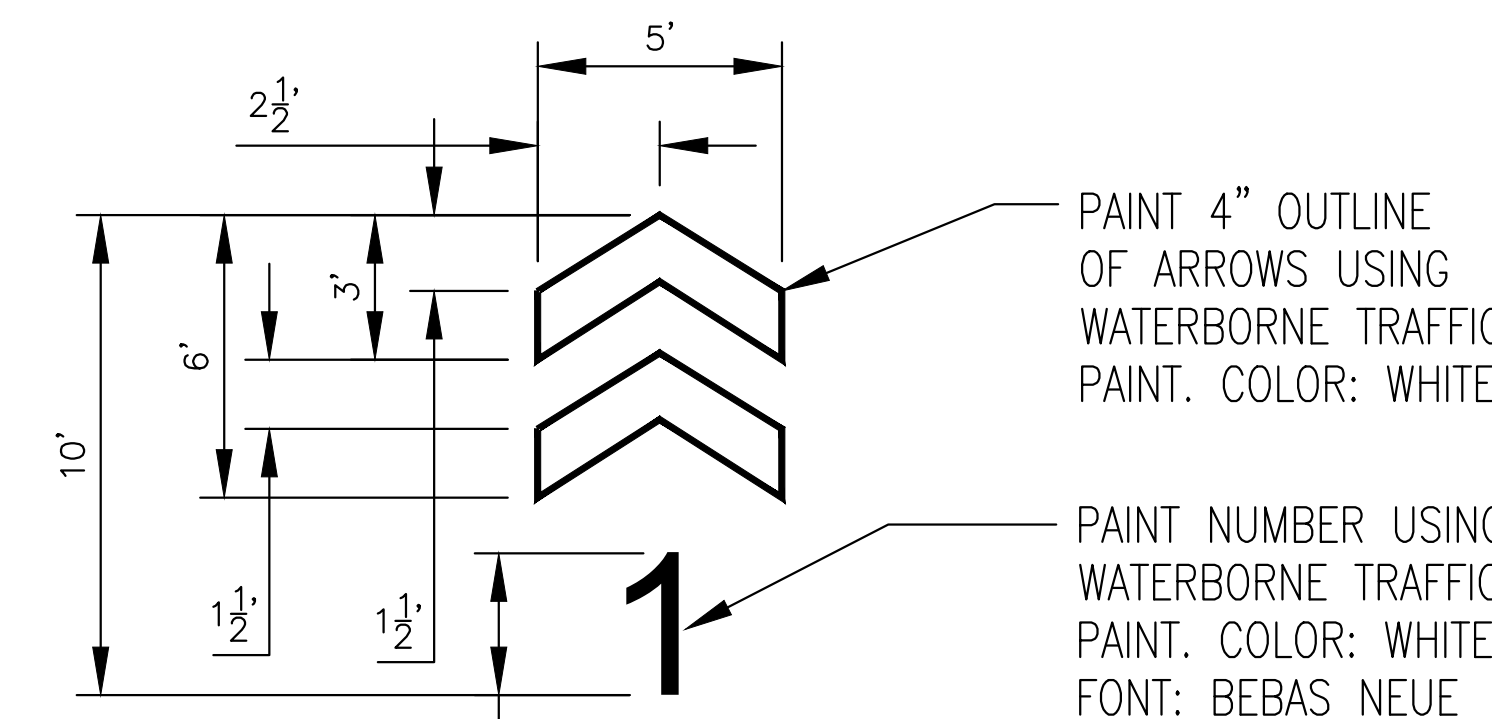
ASPHALTIC CONCRETE PAVING SECTION

N.T.S.



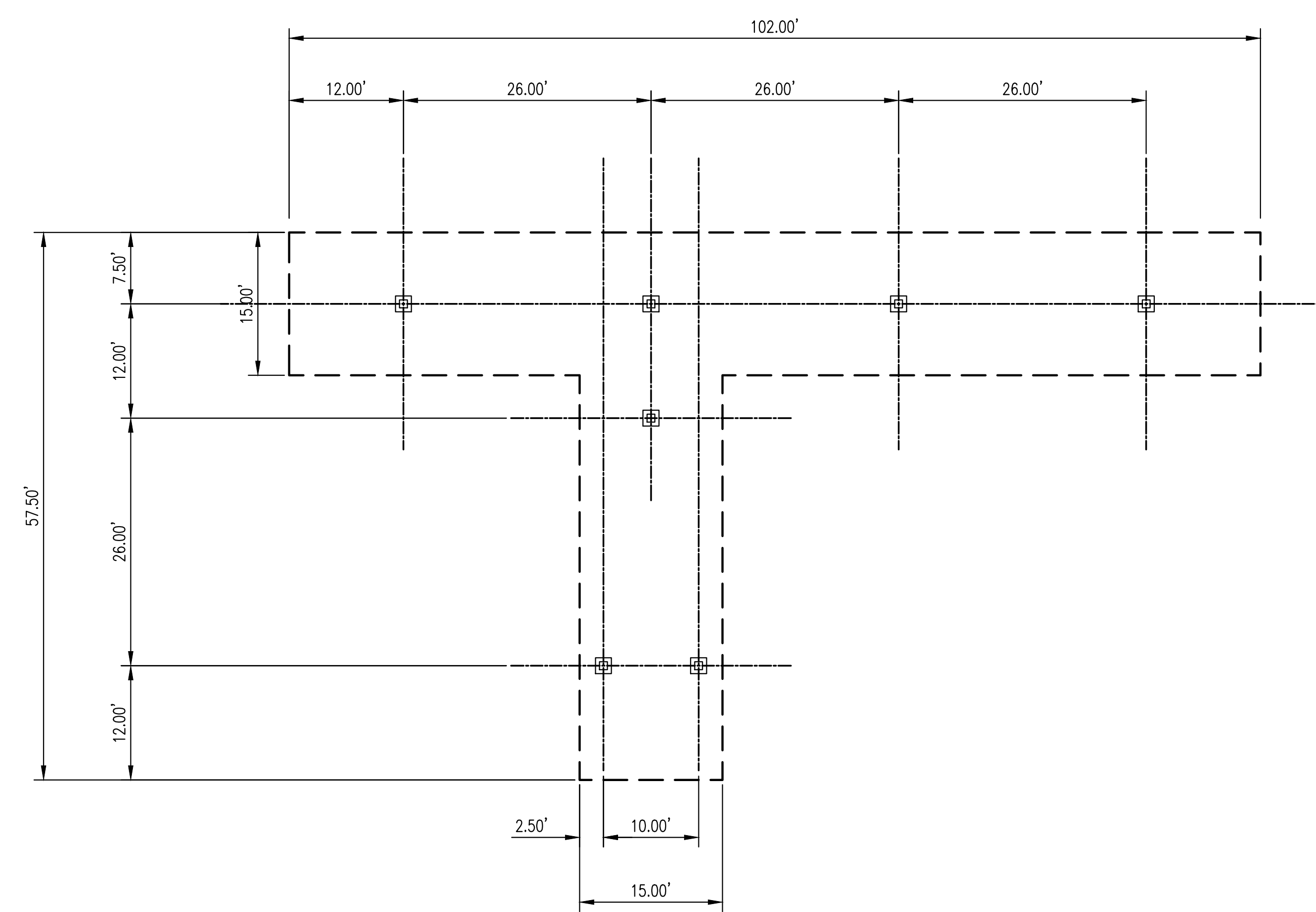
PICKUP STALLS

N.T.S.



LANE MARKING DETAIL

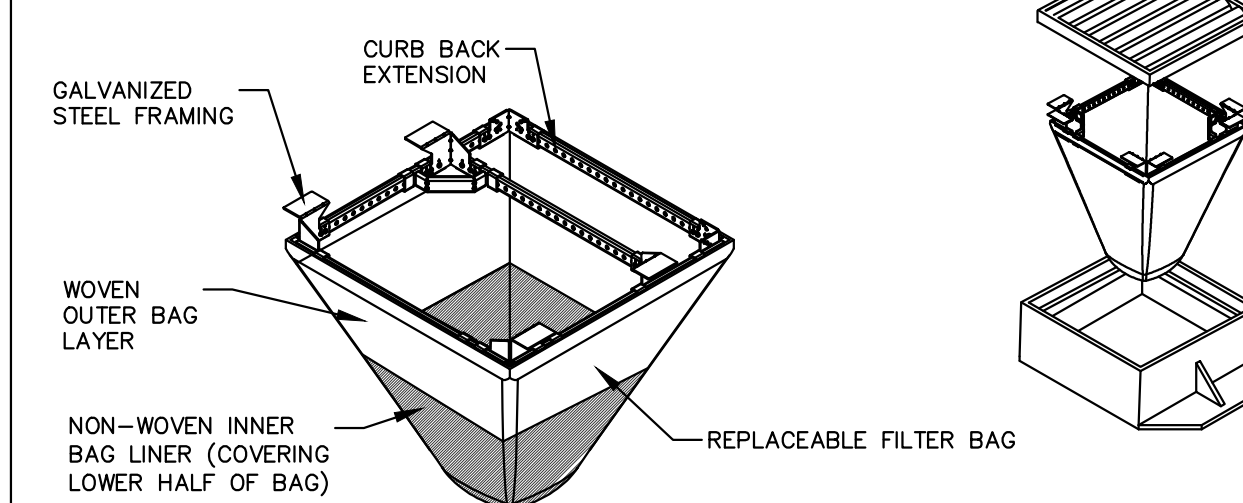
N.T.S.



CANOPY DIMENSIONS

N.T.S.

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



Inlet Type	Grate Size	Opening Size	Bag Cap (ft')	Flow Ratings (CFS)		ADS PIN	
				HB (Hybrid Bag)	Bypass		
3087	Curb Box 35.25 x 17.75	33.0 x 15.0	4.4	2.2	5.8	62LCS9624HB	
3246A	Curb Box 35.75 x 23.875	33.5 x 21.0	4.2	1.1	3.3	62LCS9624HB	
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.8	0.7	2.2	62MCS2316HB
3087-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0	5.2	62LCS2618HB
R-2001	Round (RD)	-20	-24	2.3	0.8	5.2	62MCS2001HB
R-1772-2580	Round (RD)	22.25 x 23.5	20.5 x 21	1.5	0.8	4.8	62MCS2225HB

(HB) HYBRID FILTER BAG SPECIFICATIONS:

PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (INNER)
TENSILE STRENGTH	ASTM D4852	300 x 220 lbs	100 lbs
ELONGATION	ASTM D4852	200 x 10%	30%
CBR PUNCTURE	ASTM D5241	1000 lbs	65 lbs
TRAPEZOIDAL TEAR	ASTM D4851	150 x 75 lbs	45 lbs
UV RESISTANCE	ASTM D4851	90%	70%
OPENING SIZE (ADS)	ASTM D4751	20 US STD SEIVE	40 US STD SEIVE
PERMEABILITY	ASTM D4851	1.5 sec ²	3.0 sec ²
WATER FLOW RATE	ASTM D4851	200 gpm/100 ft ²	140 gpm/100 ft ²

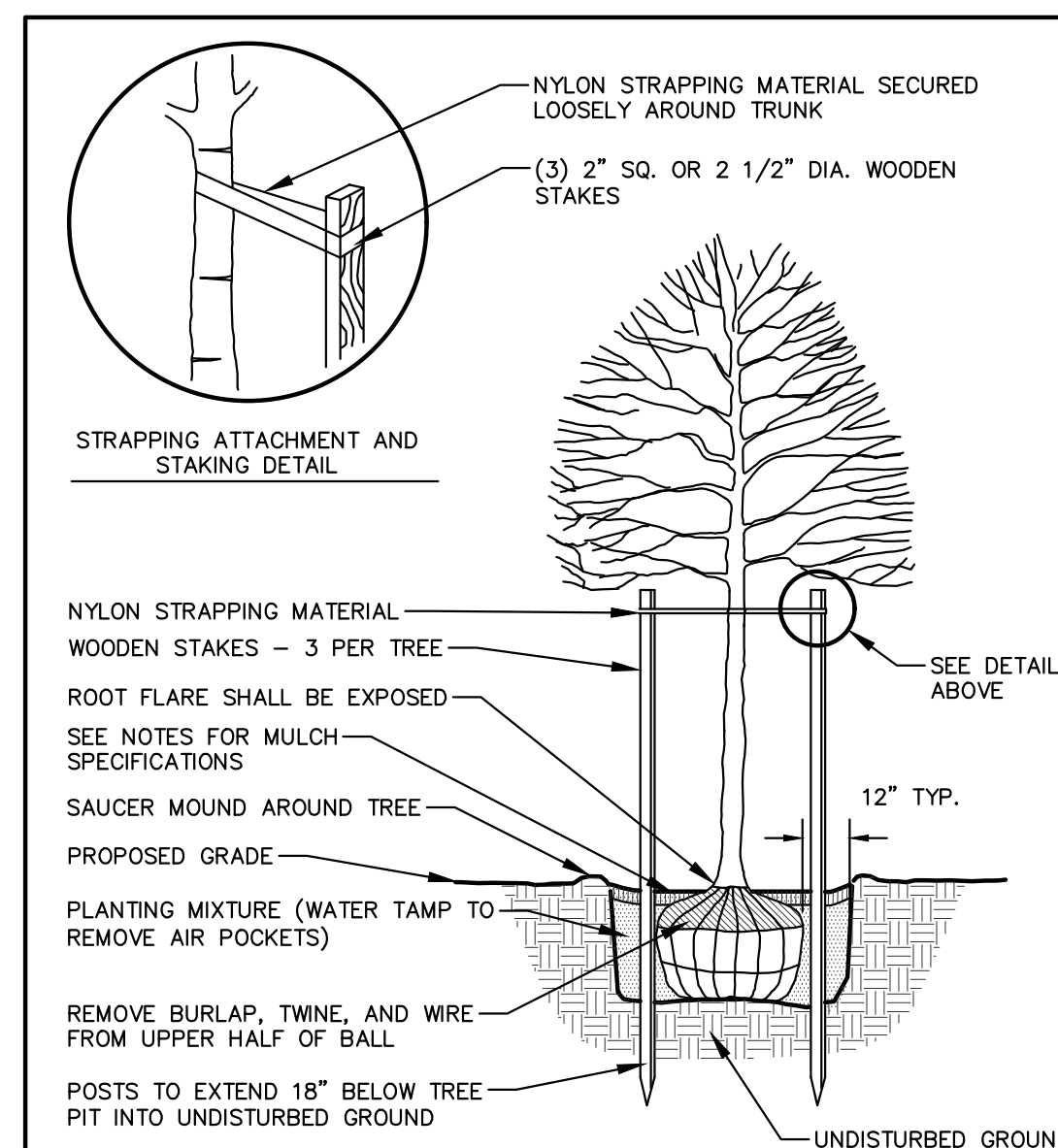
- INSTALLATION INSTRUCTIONS:**
- REMOVE GRATE FROM THE DRAINAGE STRUCTURE.
 - CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE.
 - DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE.
 - REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

- MAINTENANCE GUIDELINES:**
- EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS.
 - REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE.
 - DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT.
 - ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG.



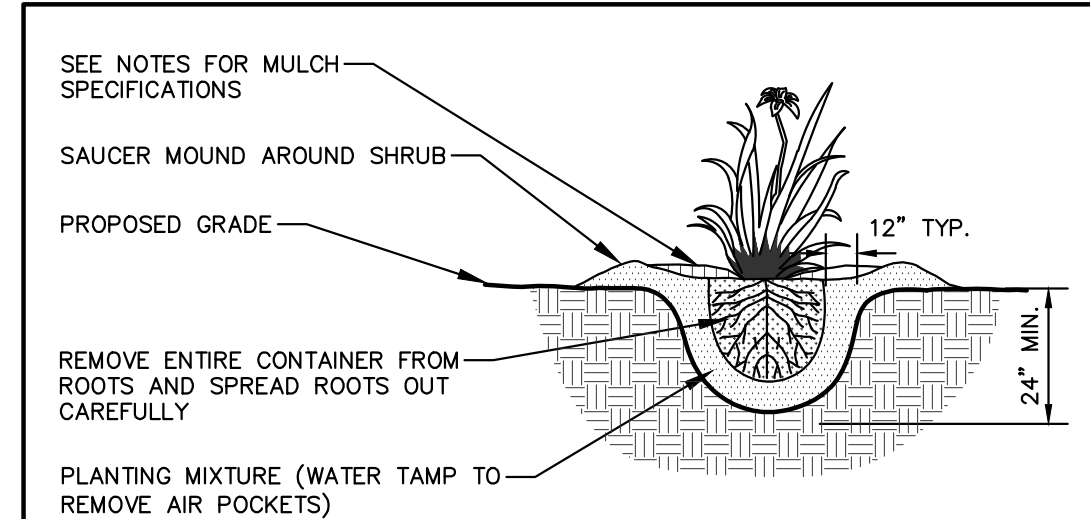
FRAMED INLET PROTECTION

N.T.S.



- DECIDUOUS TREE PLANTING DETAIL**
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
 - REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION.

N.T.S.



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

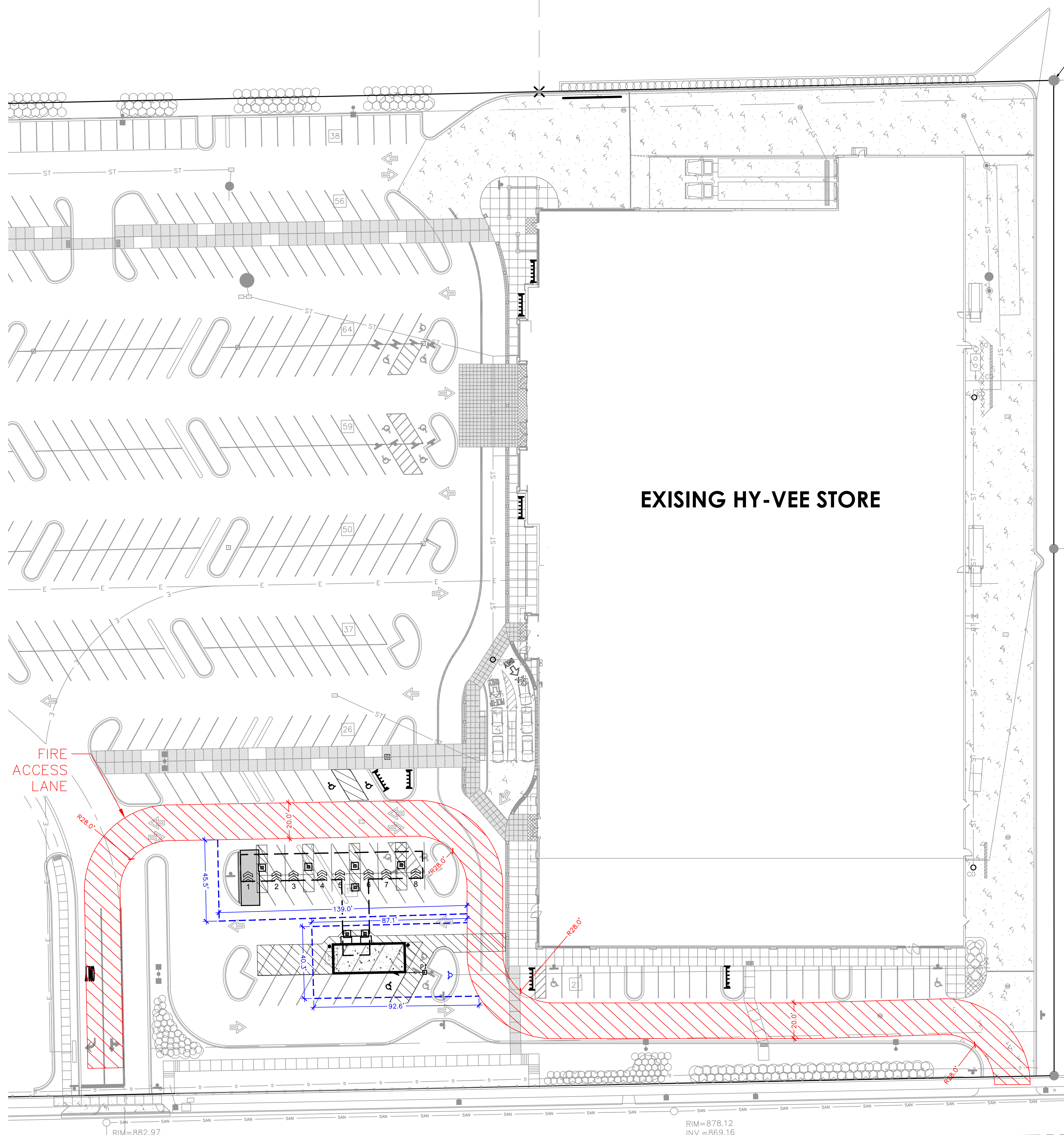
LOCATION
ONLINE AISLES KIOSK
3801 E WASHINGTON AVENUE
MADISON, WI 53704

REVISIONS DATE
DRAWN BY

CONSTRUCTION DETAILS

DRAWN BY APM DATE 10-07-2020
SCALE AS NOTED
SHEET

C5.0



LEGEND

—	PROPERTY LINE
—	BUILDING OUTLINE
- - - -	CANOPY
- - - -	BUILDING SETBACK LINE
- - - -	PAVEMENT SETBACK LINE
—	EDGE OF PAVEMENT
—	STANDARD CURB AND GUTTER
—	REJECT CURB AND GUTTER
—	ASPHALT PAVEMENT

MENDOTA STREET

EXISTING HY-VEE STORE



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 3801 E WASHINGTON AVENUE
Contact Name & Phone #: JUSTIN FRAHM, (715) 298-6330

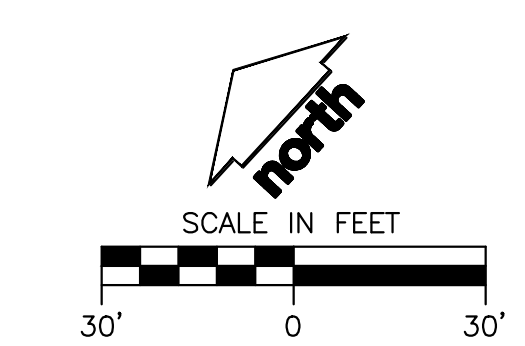
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-foot clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 1/21/2016



LOCATION
ONLINE AISLES KIOSK
3801 E WASHINGTON AVENUE
MADISON, WI 53704

REVISIONS DATE DRAWN BY

FIRE ACCESS PLAN

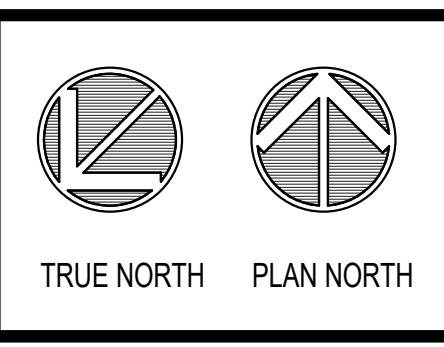
DRAWN BY APM DATE 10-07-2020
SCALE AS NOTED
SHEET

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REVISION	DATE BY

CITY OF MADISON
LAND USE & UDC
10.07.2020

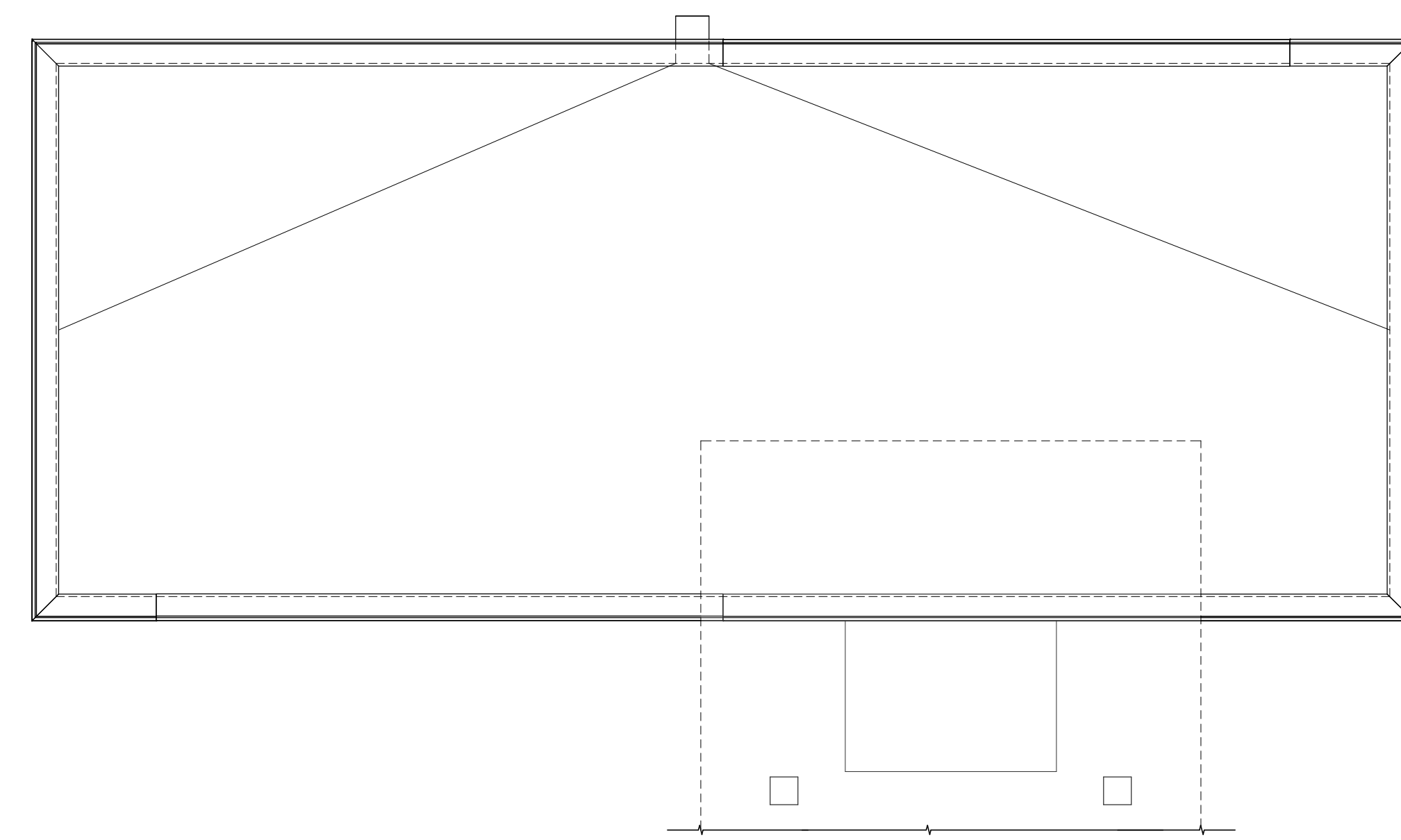
LOCATION:
MADISON 1
AISLES ONLINE KIOSK
HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2535
HyVee
EMPLOYEE OWNED



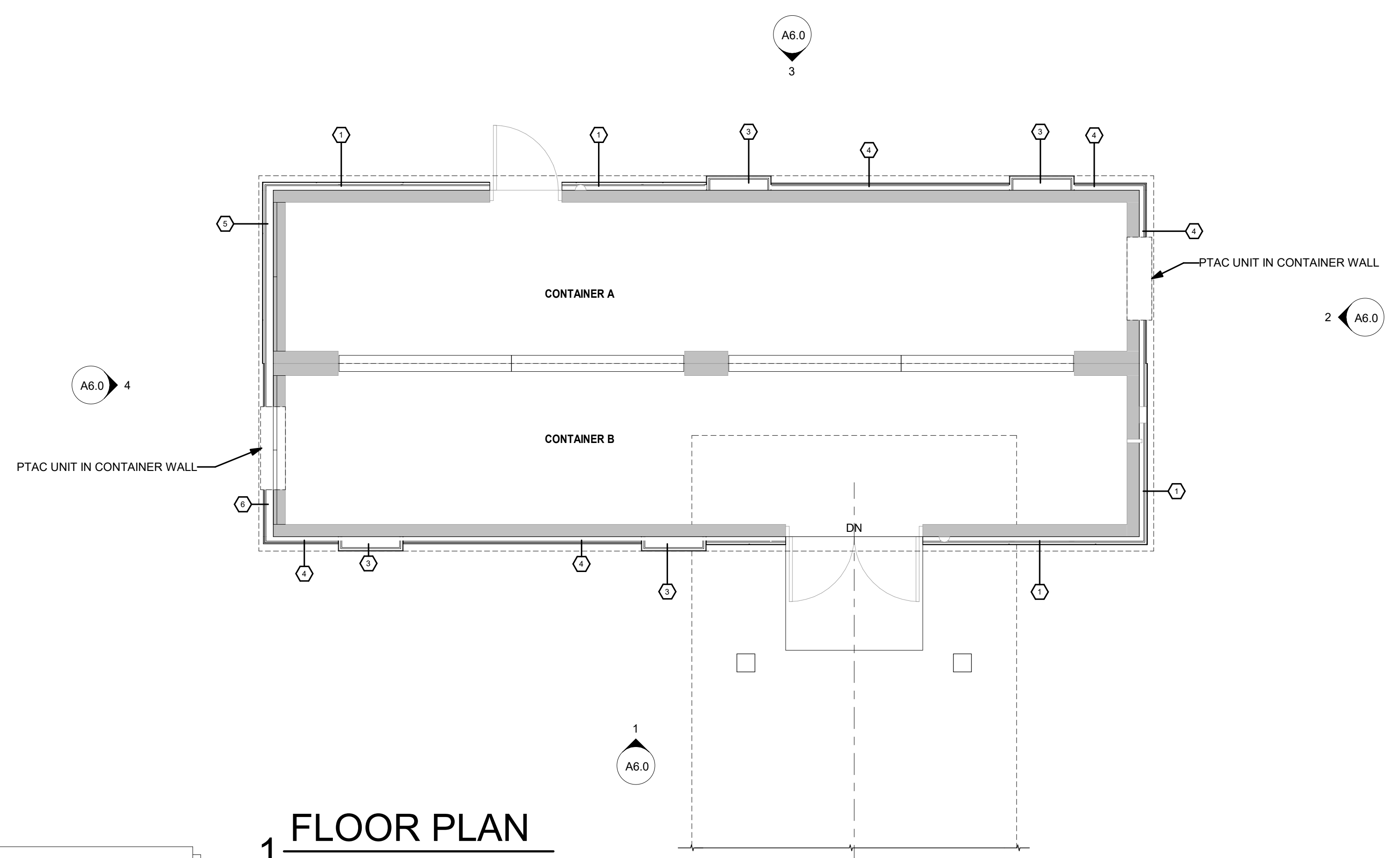
FLOOR AND ROOF PLAN,
WALL TYPES

DATE	SCALE	JOB NUMBER
10/07/2020	As indicated	20050

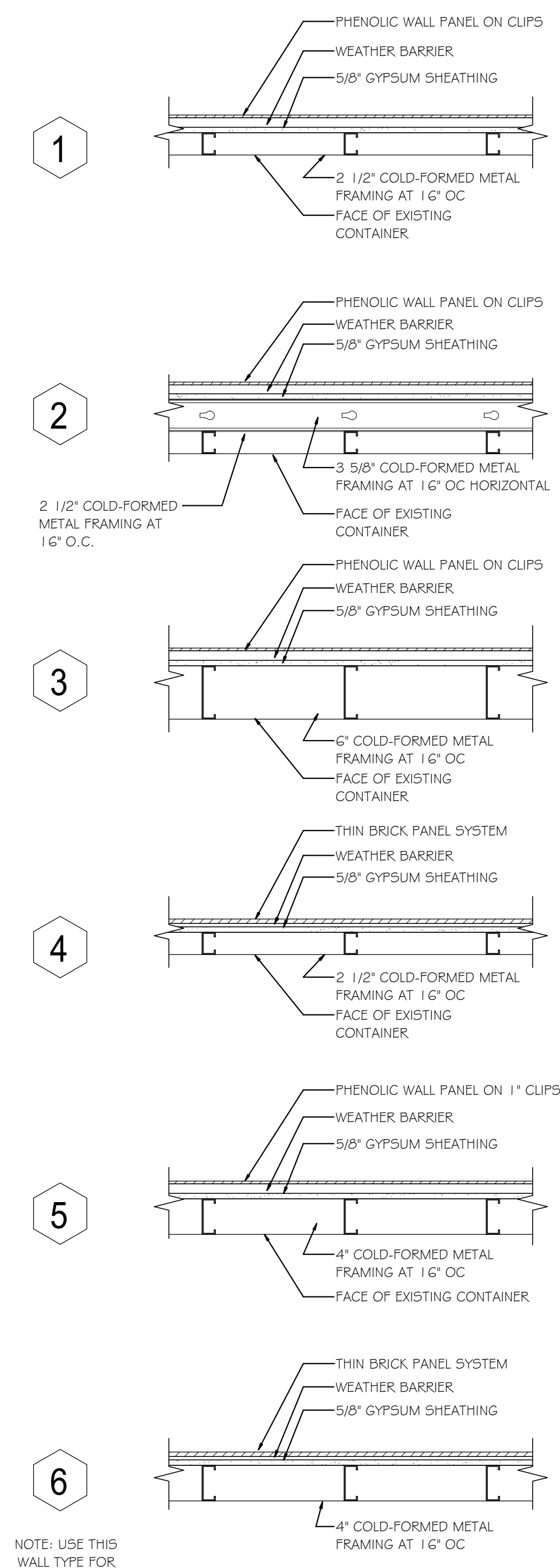
SHEET:
A1.0



2 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL TYPES
SCALE: 1" = 1'-0"

NOTE: USE THIS WALL TYPE FOR BRICK COLUMN SURROUNDS AS SHOWN ON ARJING COMPANY'S CANOPY DRAWINGS

GENERAL NOTES

1. ACTUAL CONTAINER DOOR AND OVERALL DIMENSIONS MAY DIFFER FROM THOSE SHOWN. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY ANY ITEMS THAT MAY OBSTRUCT WALL TYPE PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY ANY ITEMS THAT MAY REQUIRE ACCESS FROM EXTERIOR.

WALL PARTITION LEGEND

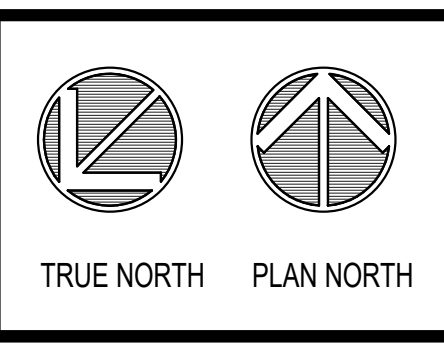
	CONTAINER WALL
	EXTERIOR CLADDING
	OVERHEAD CANOPIES

PRELIMINARY - NOT FOR CONSTRUCTION

REVISION	DATE BY

CITY OF MADISON
LAND USE & UDC
10.07.2020

LOCATION:
MADISON 1
AISLES ONLINE KIOSK
HY-VEE INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2835
HyVee
EMPLOYEE OWNED



EXTERIOR ELEVATIONS

DRAWN: MJ / KK	DATE: 10/07/2020
SCALE: As Indicated	JOB NUMBER: 20050

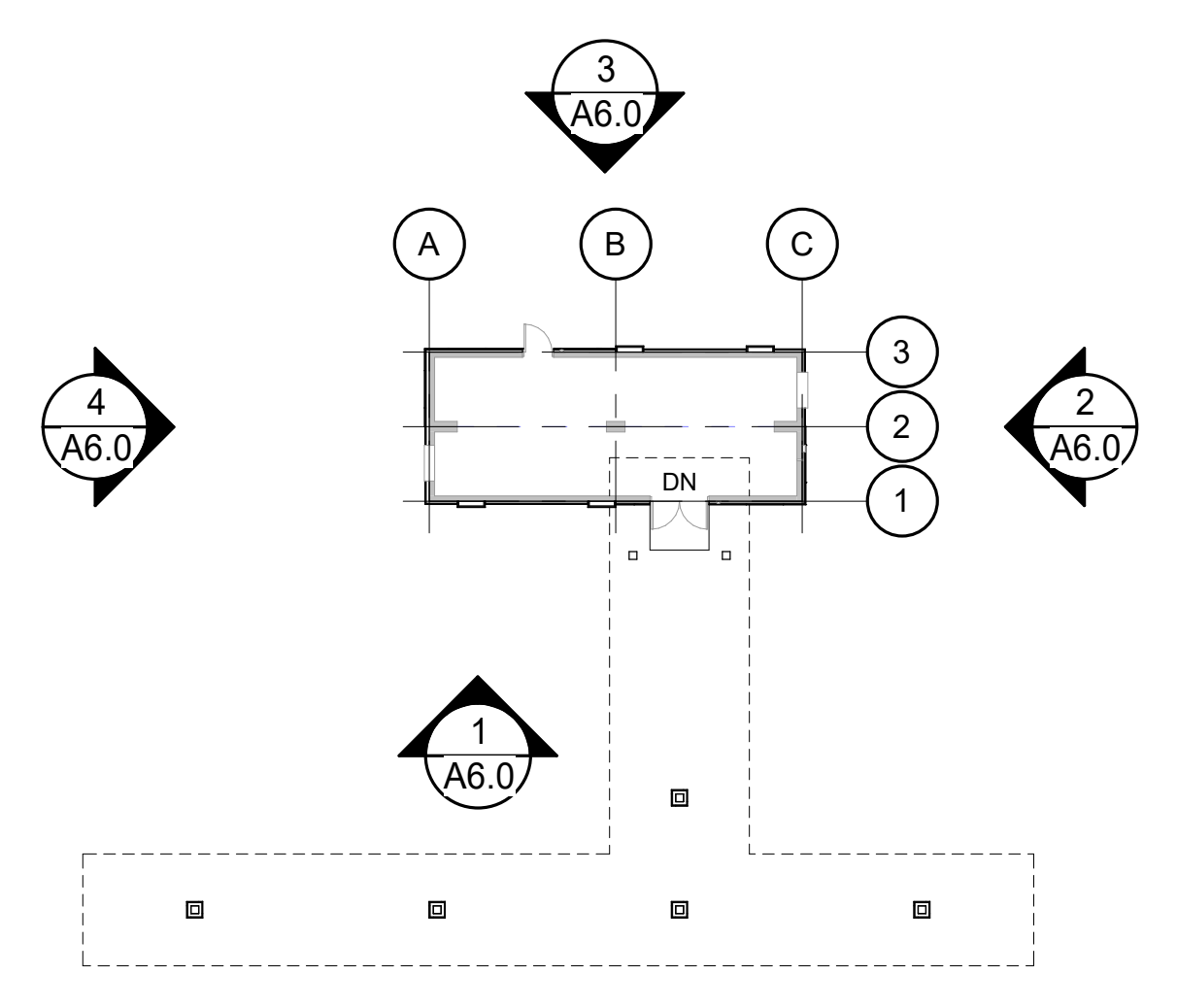
SHEET:
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PRELIMINARY - NOT FOR CONSTRUCTION

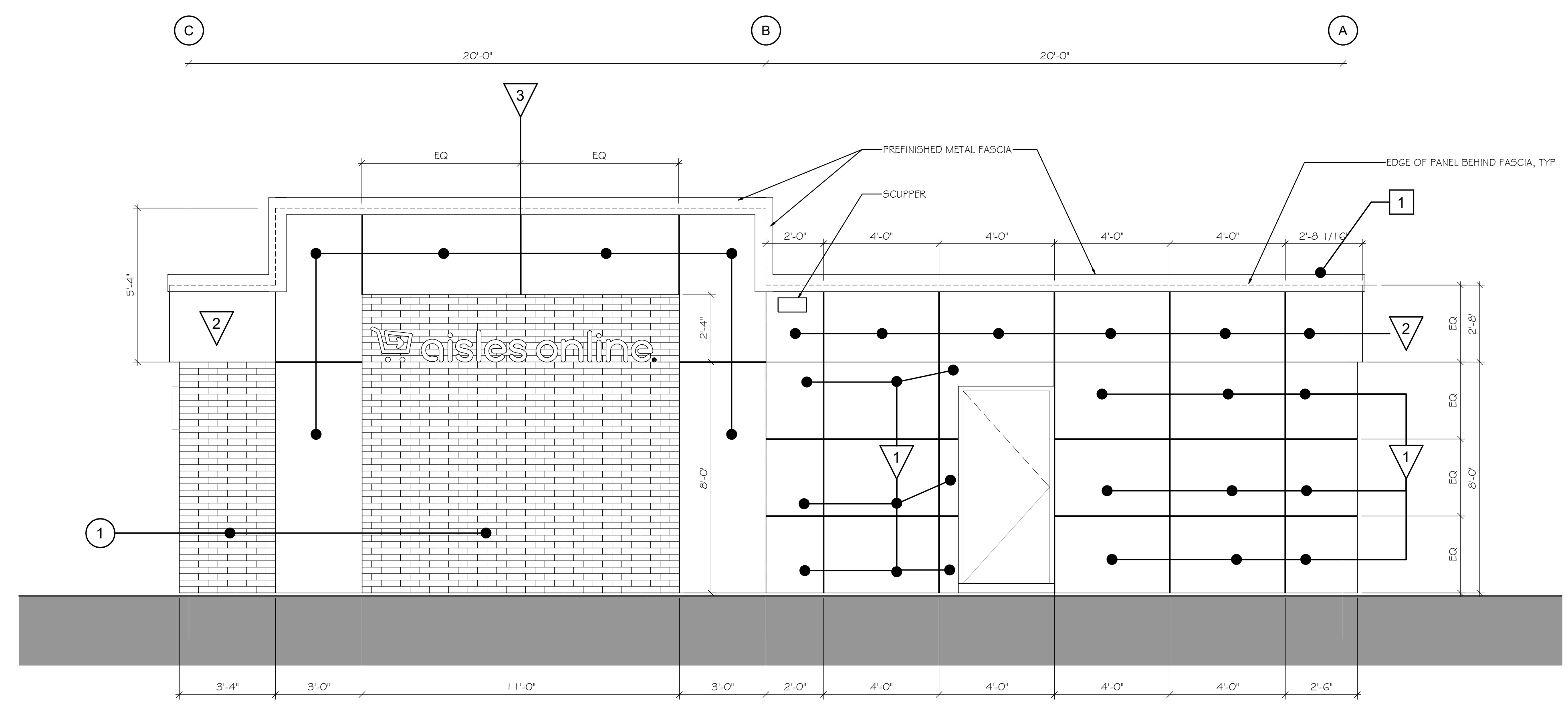
GENERAL NOTES

- STUD SPACING TO ALIGN WITH VERTICAL PANEL JOINTS.
- SPACE STUDS BETWEEN VERTICAL PANEL JOINTS AS REQUIRED FOR EQUAL SPACING BETWEEN PANEL FASTENERS.

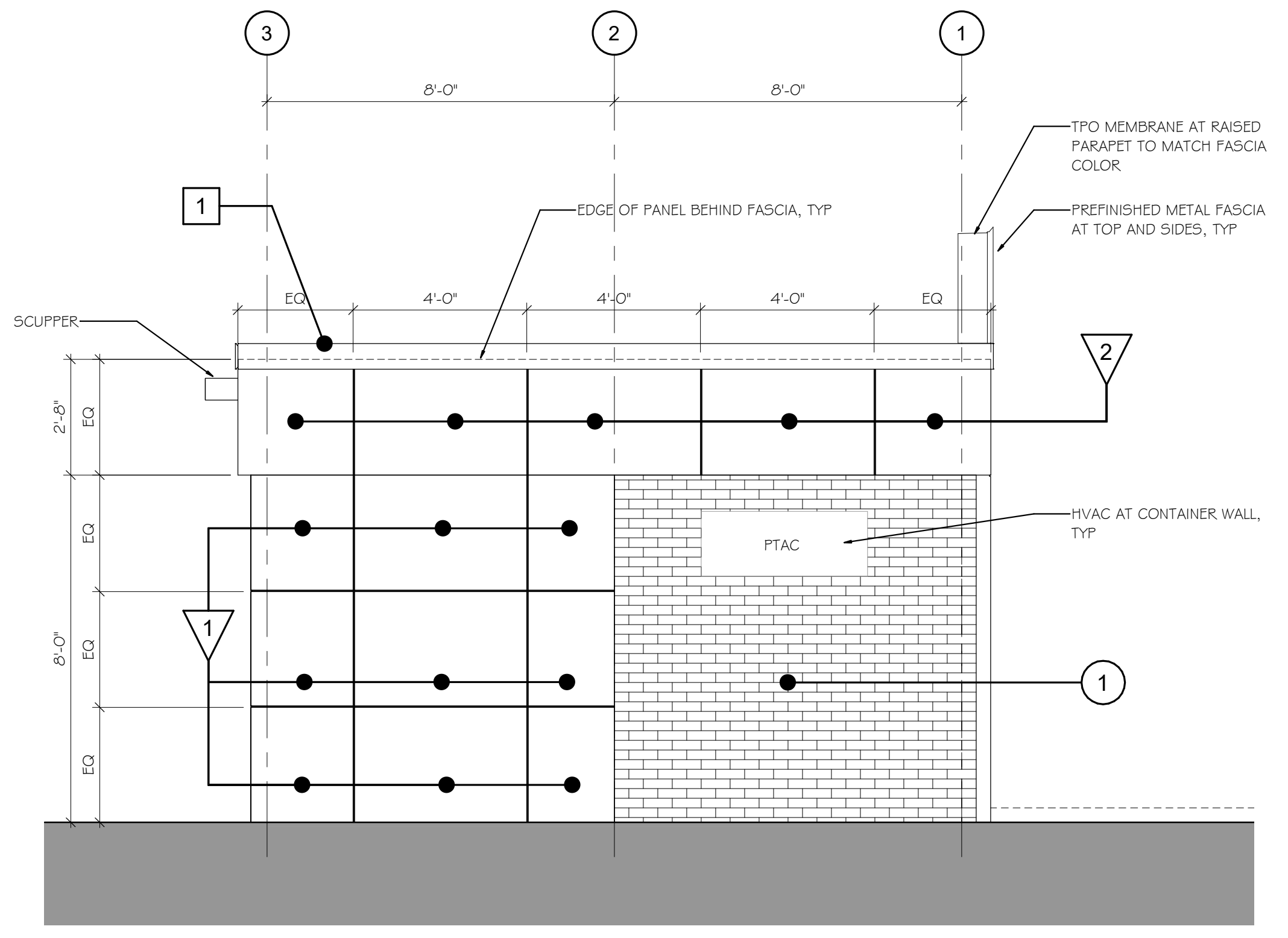
- MASONRY UNITS:**
- THIN BRICK BY KANSAS BRICK & TILE
COLOR: #630 FLASH
SIZE: MODULAR
BOND: 1/3 RUNNING
MORTAR: SOLOMON GRIND 10H
- CLADDING & CANOPIES:**
- PHENOLIC WALL PANEL: STONEWOOD
COLOR: MATCH SHERWIN-WILLIAMS
"MAISON BLANCHE" 7528
 - PHENOLIC WALL PANEL: STONEWOOD
COLOR: MATCH SHERWIN-WILLIAMS
"NAUTUCKET DUNE" 7527
 - PHENOLIC WALL PANEL: STONEWOOD
COLOR: ALPOLIC "NSG GREY"
- METAL TRIM COLORS:**
- PREFINISHED 6.40 ALUMINUM PANELS
COLOR: GRANITE GREY



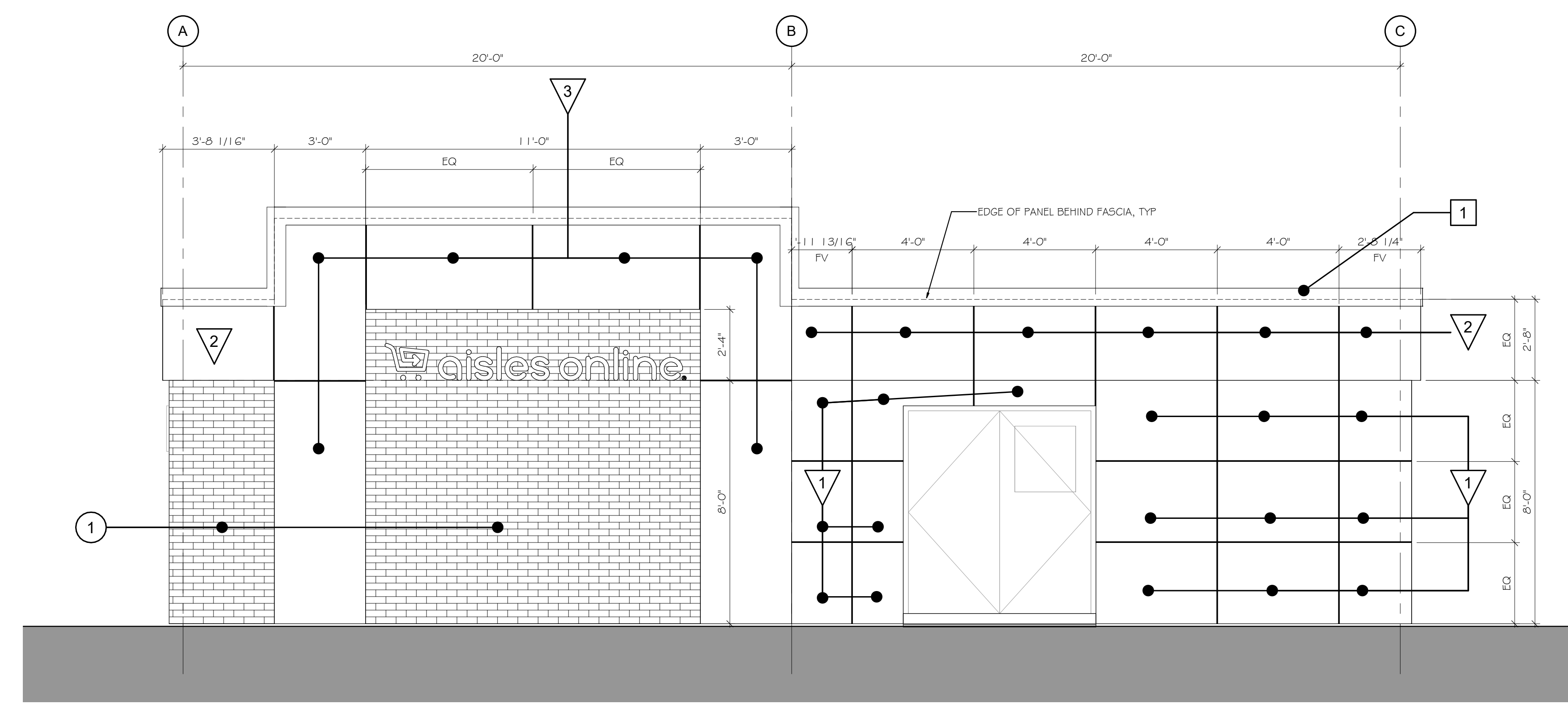
KEY PLAN
SCALE: N.T.S.



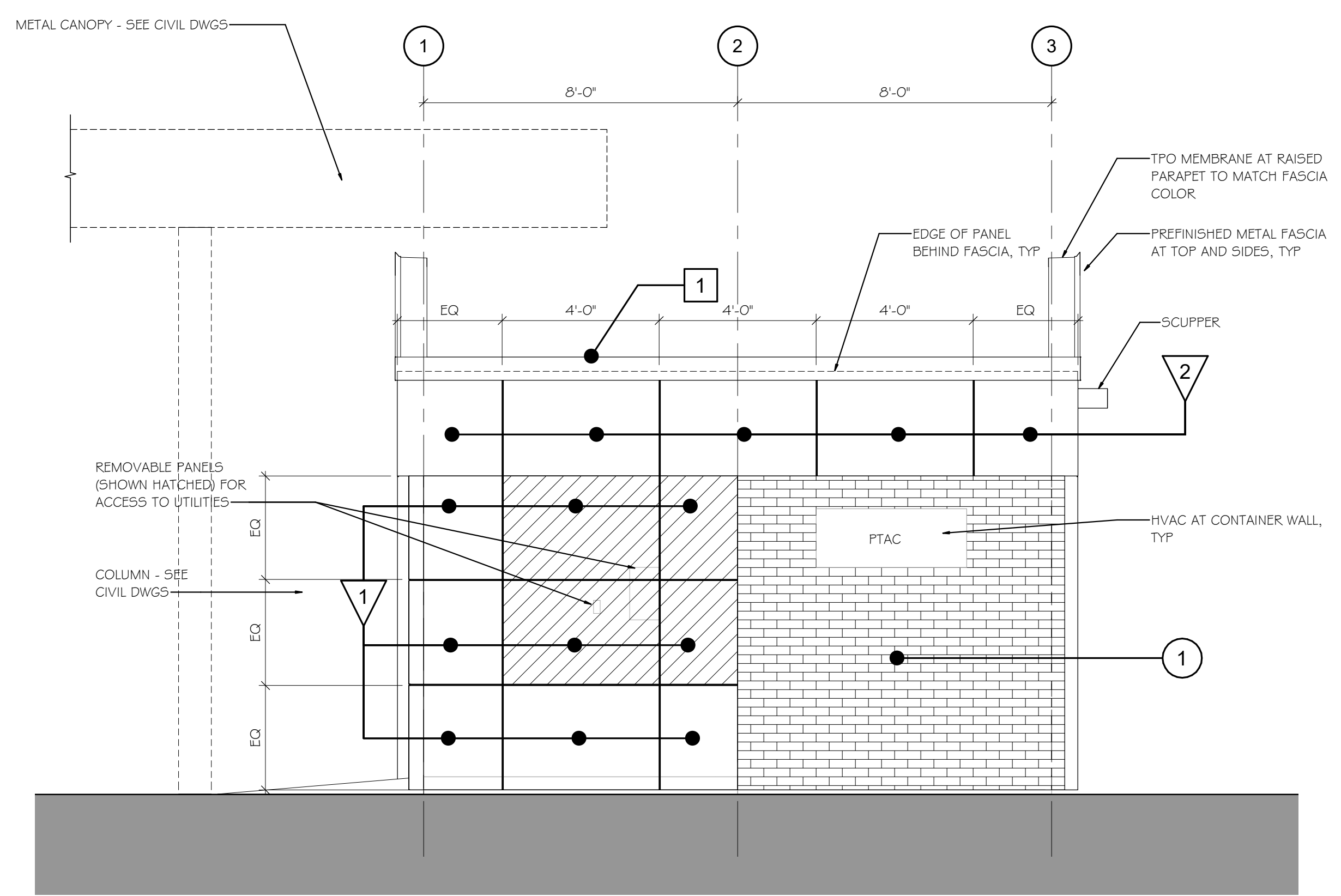
3 REAR ELEVATION
SCALE: 3/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 3/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 3/8" = 1'-0"



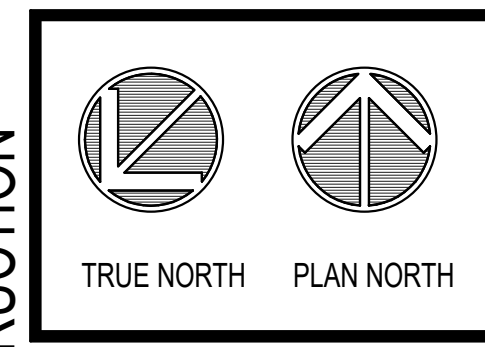
2 RIGHT ELEVATION
SCALE: 3/8" = 1'-0"

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REVISION	DATE BY

CITY OF MADISON
LAND USE & UDC
10.07.2020

LOCATION:
MADISON 1
AISLES ONLINE KIOSK
HY-VEE INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2835
HyVee
EMPLOYEE OWNED



EXTERIOR ELEVATIONS

DRAWN: MJ/KK	DATE: 10/07/2020
SCALE: As Indicated	JOB NUMBER: 20050
SHEET: A6.0	

GENERAL NOTES

1. STUD SPACING TO ALIGN WITH VERTICAL PANEL JOINTS.
2. SPACE STUDS BETWEEN VERTICAL PANEL JOINTS AS REQUIRED FOR EQUAL SPACING BETWEEN PANEL FASTENERS.

MASONRY UNITS:

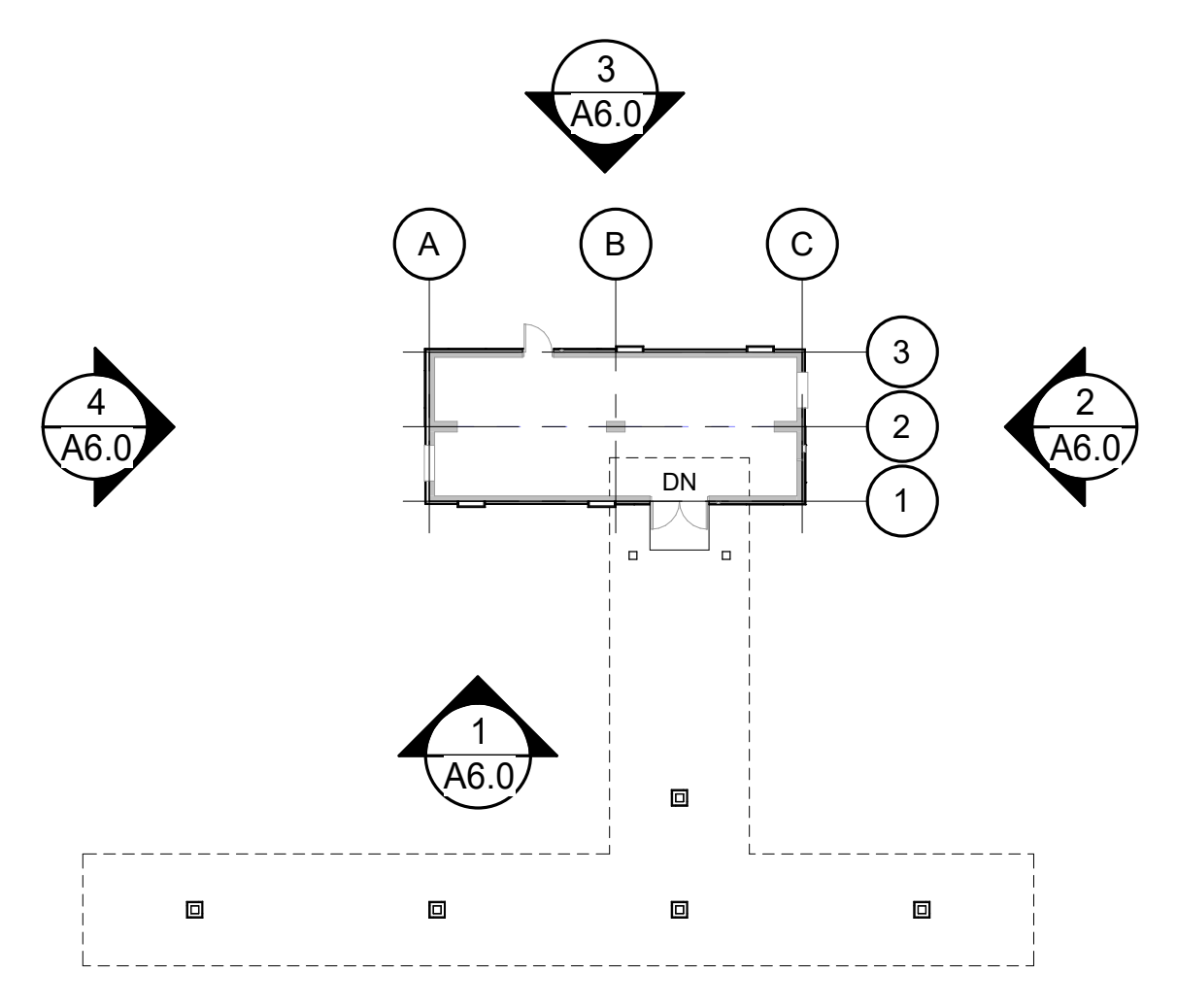
- 1 THIN BRICK BY KANSAS BRICK & TILE
COLOR: #630 FLASH
SIZE: MODULAR
BOND: 1/3 RUNNING
MORTAR: SOLOMON GRIND 10H

CLADDING & CANOPIES:

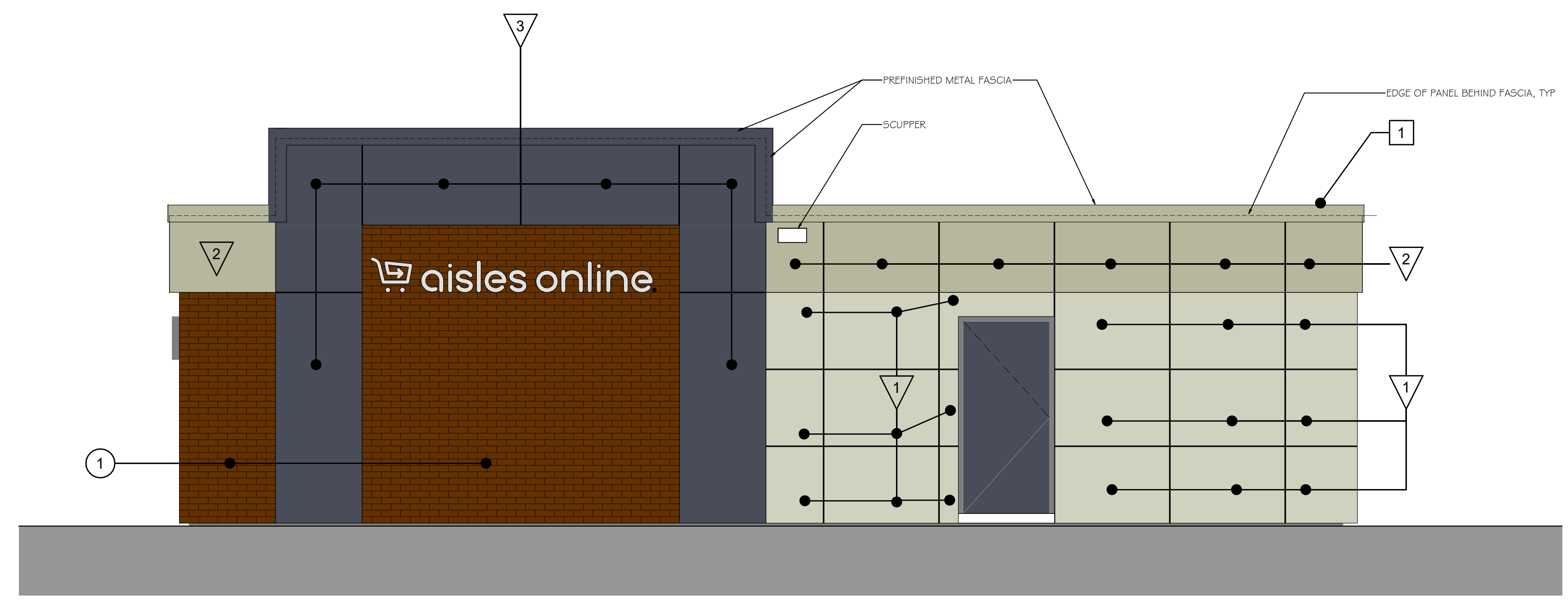
- 1 PHENOLIC WALL PANEL: STONEWOOD
COLOR: MATCH SHERWIN-WILLIAMS
"MAISON BLANCHE" 7528
- 2 PHENOLIC WALL PANEL: STONEWOOD
COLOR: MATCH SHERWIN-WILLIAMS
"NAUTUCKET DUNE" 7527
- 3 PHENOLIC WALL PANEL: STONEWOOD
COLOR: ALPOLIC "NSG GREY"

METAL TRIM COLORS:

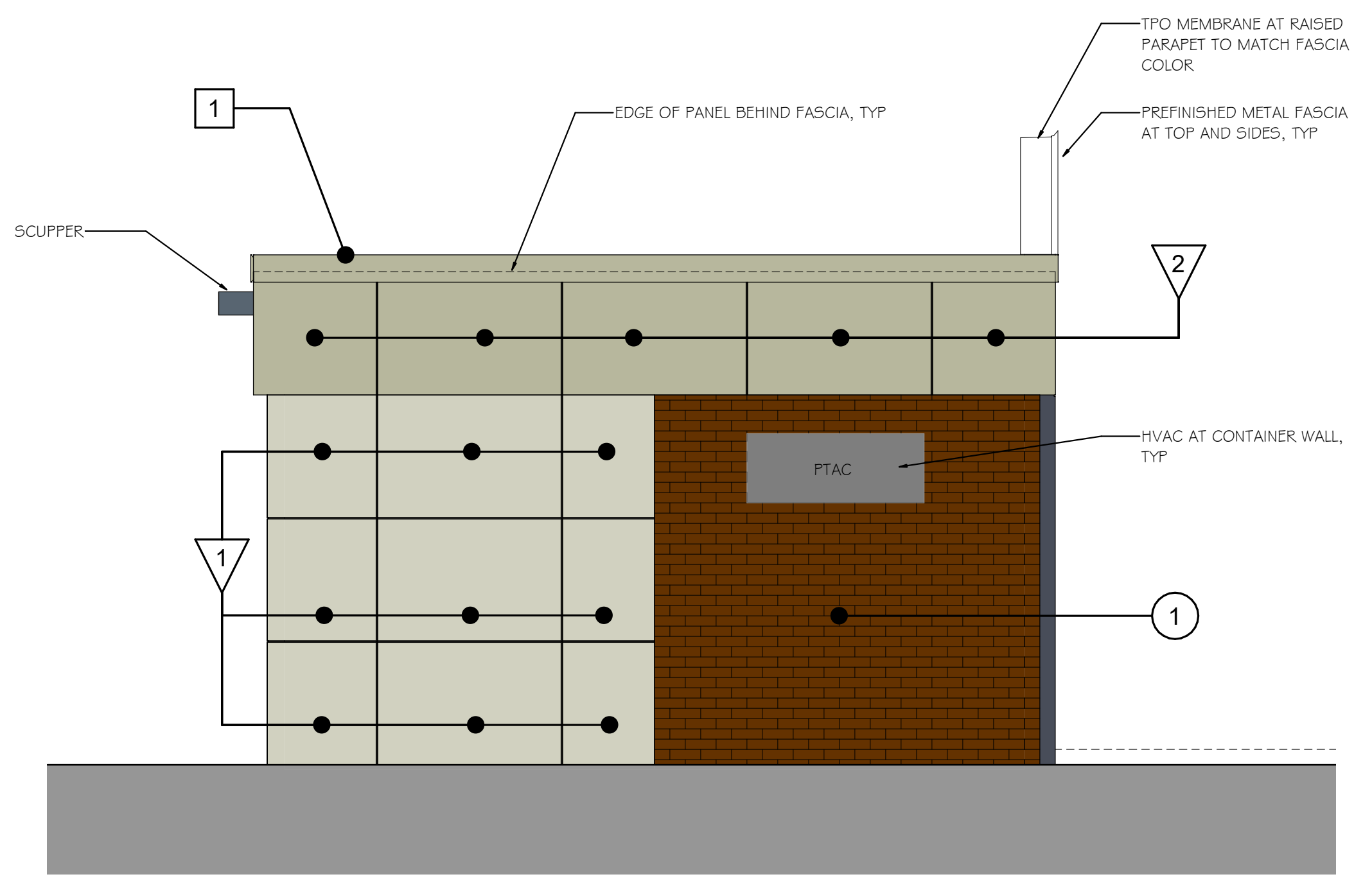
- 1 PREFINISHED 6.40 ALUMINUM PANELS
COLOR: GRANITE GREY



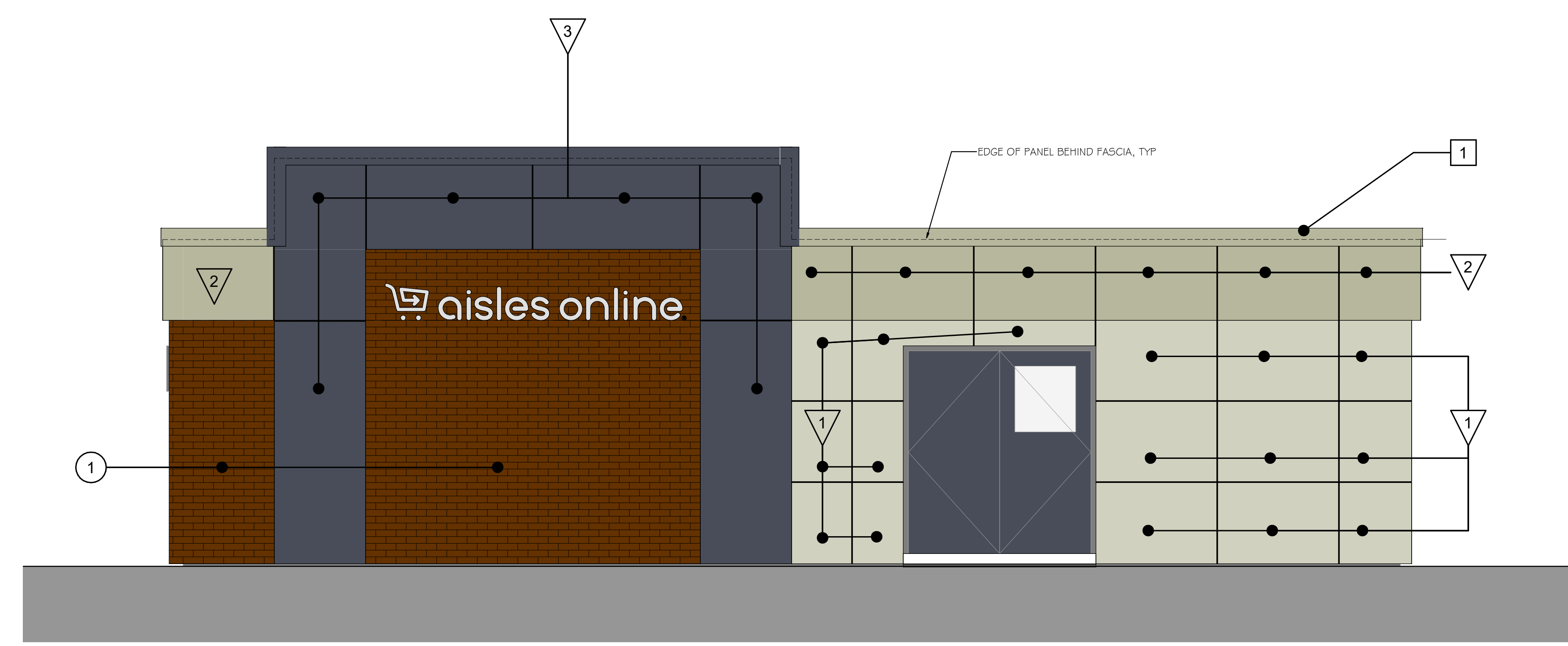
KEY PLAN
SCALE: N.T.S.



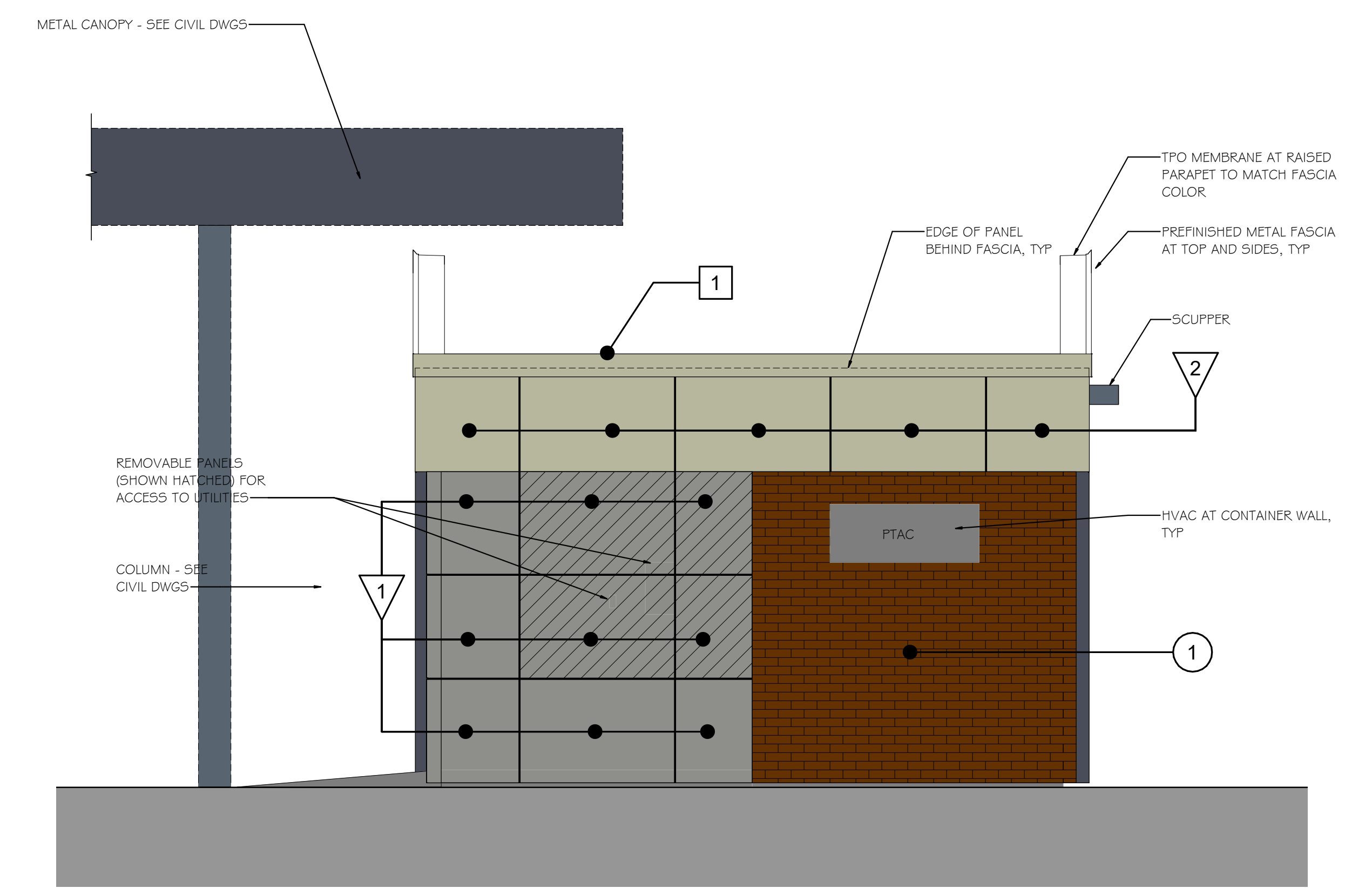
3 REAR ELEVATION
SCALE: 3/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 3/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 3/8" = 1'-0"



2 RIGHT ELEVATION
SCALE: 3/8" = 1'-0"

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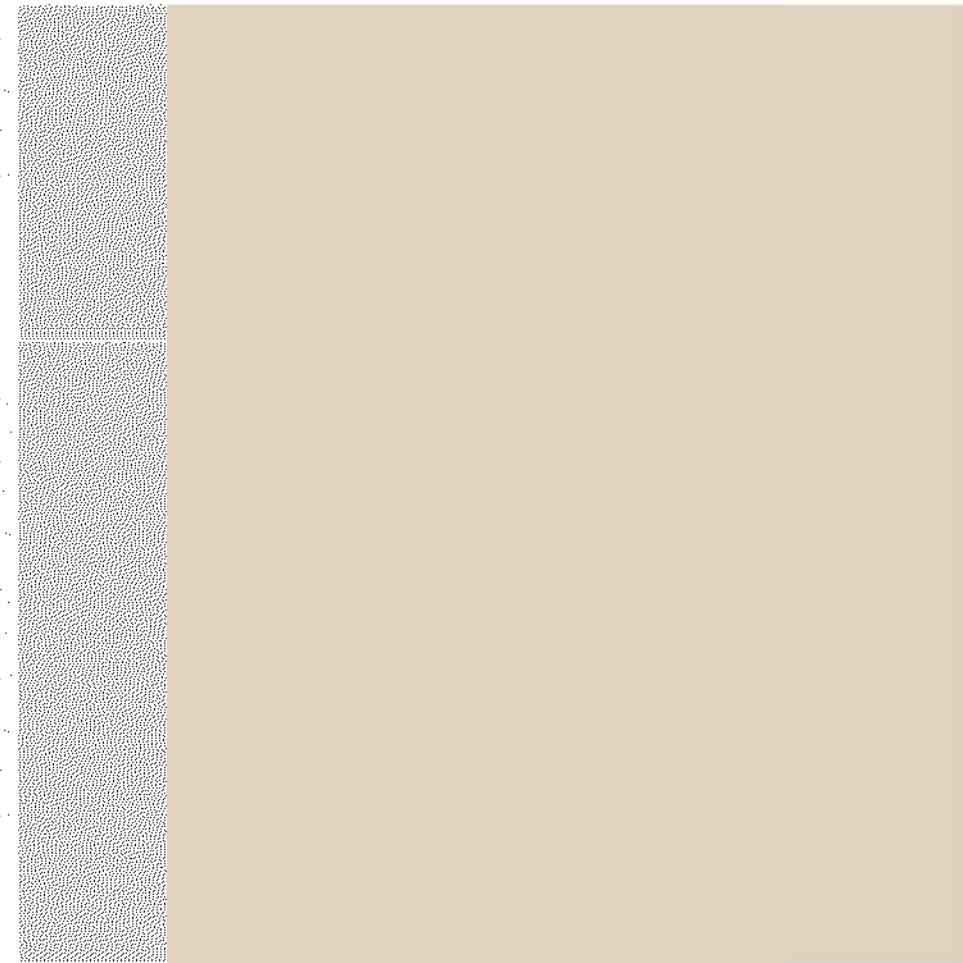
PRELIMINARY - NOT FOR CONSTRUCTION

REVISION	DATE BY

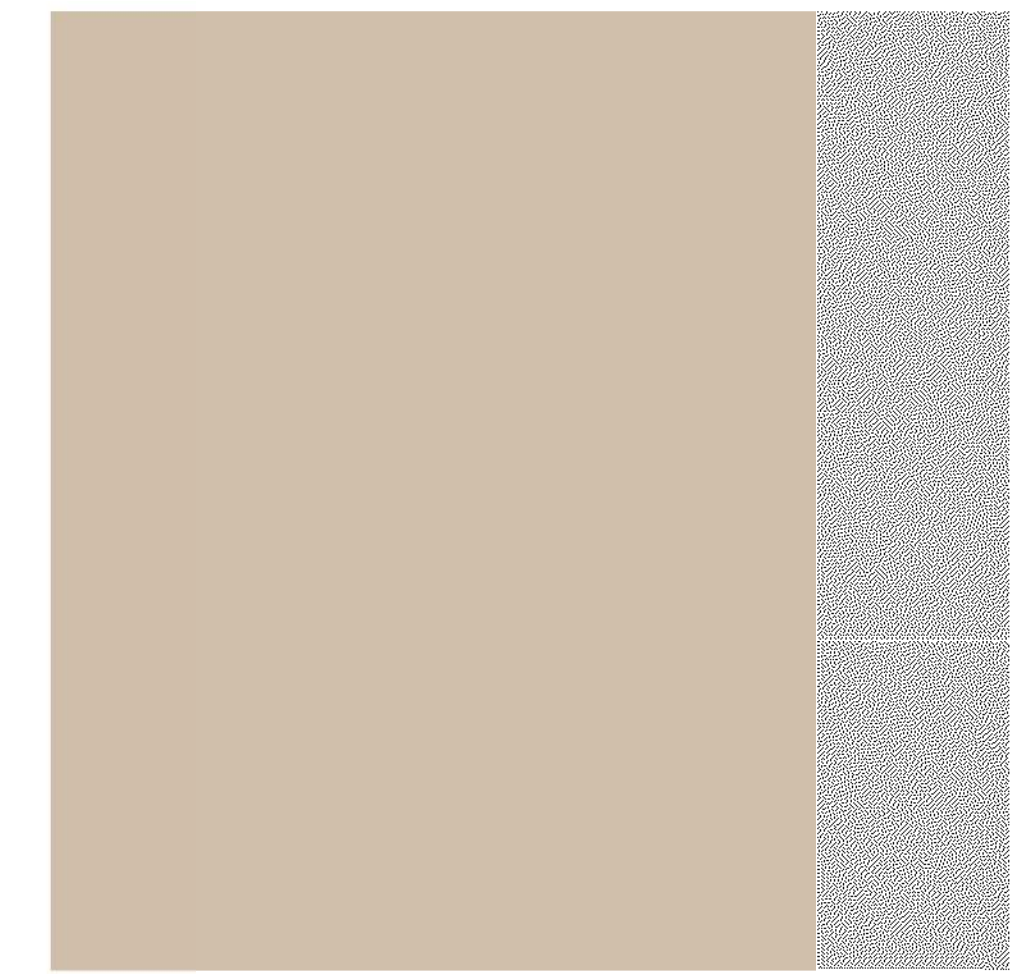


FRONT ELEVATION

1 STONEWOOD EXPOSED FASTENER PANEL SHERWIN WILLIAMS SW7526 MAISON BLANCHE



2 STONEWOOD EXPOSED FASTENER PANEL SHERWIN WILLIAMS SW7527 NANTUCKET DUNE

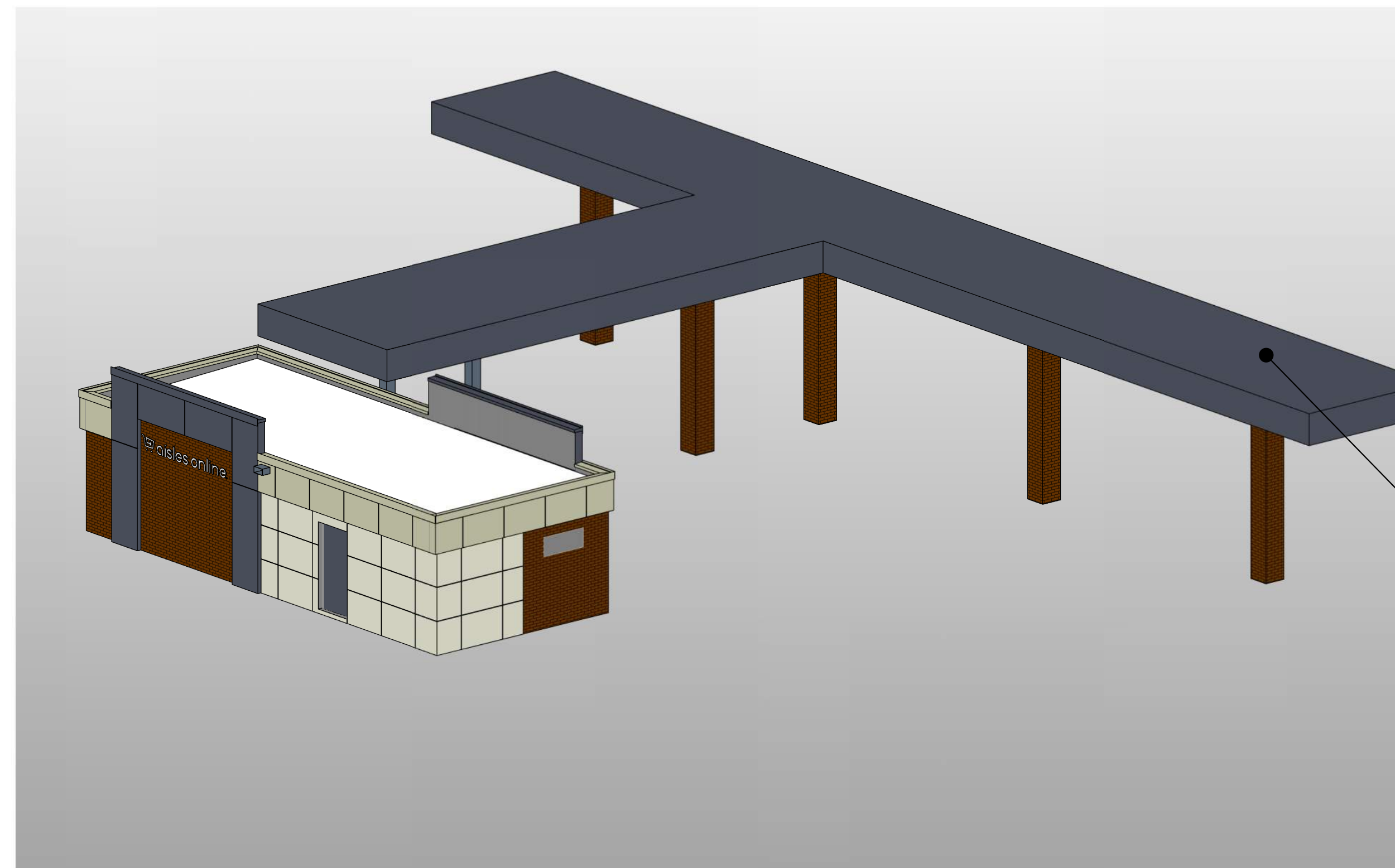
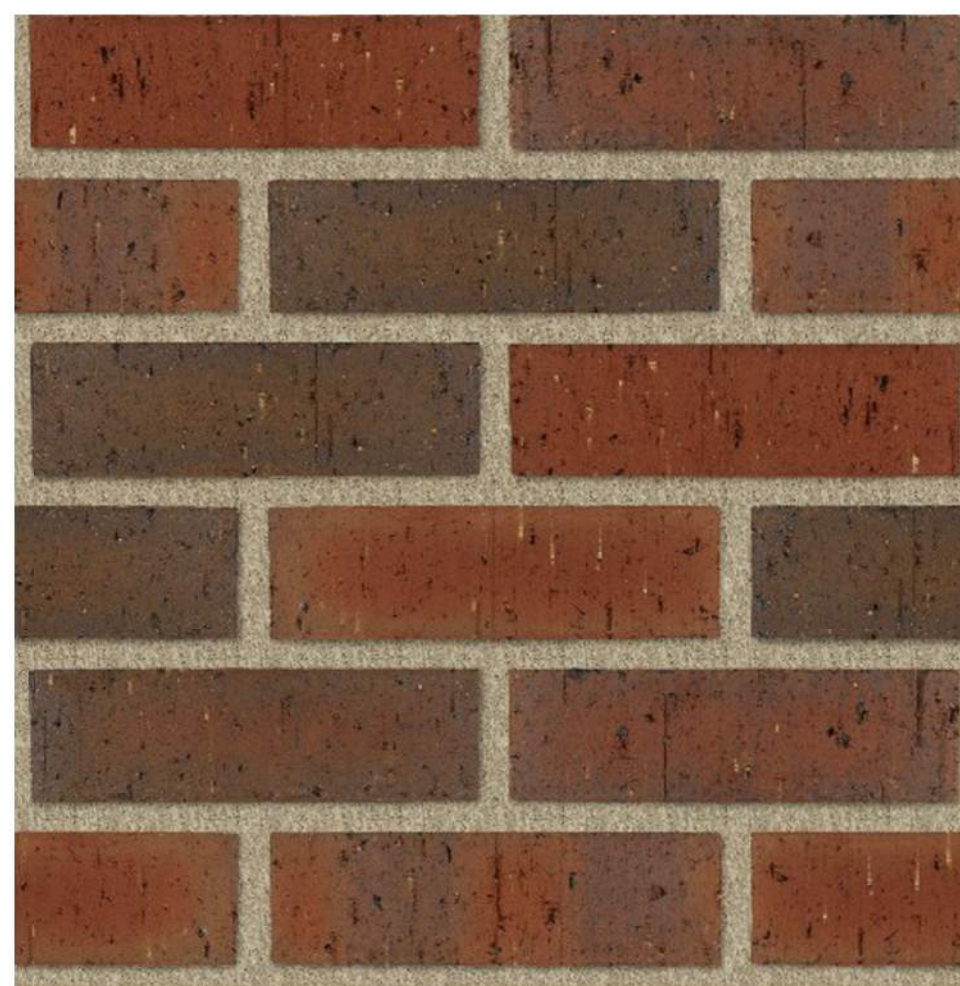


3 STONEWOOD EXPOSED FASTENER PANELS ALPOLIC NSG GREY

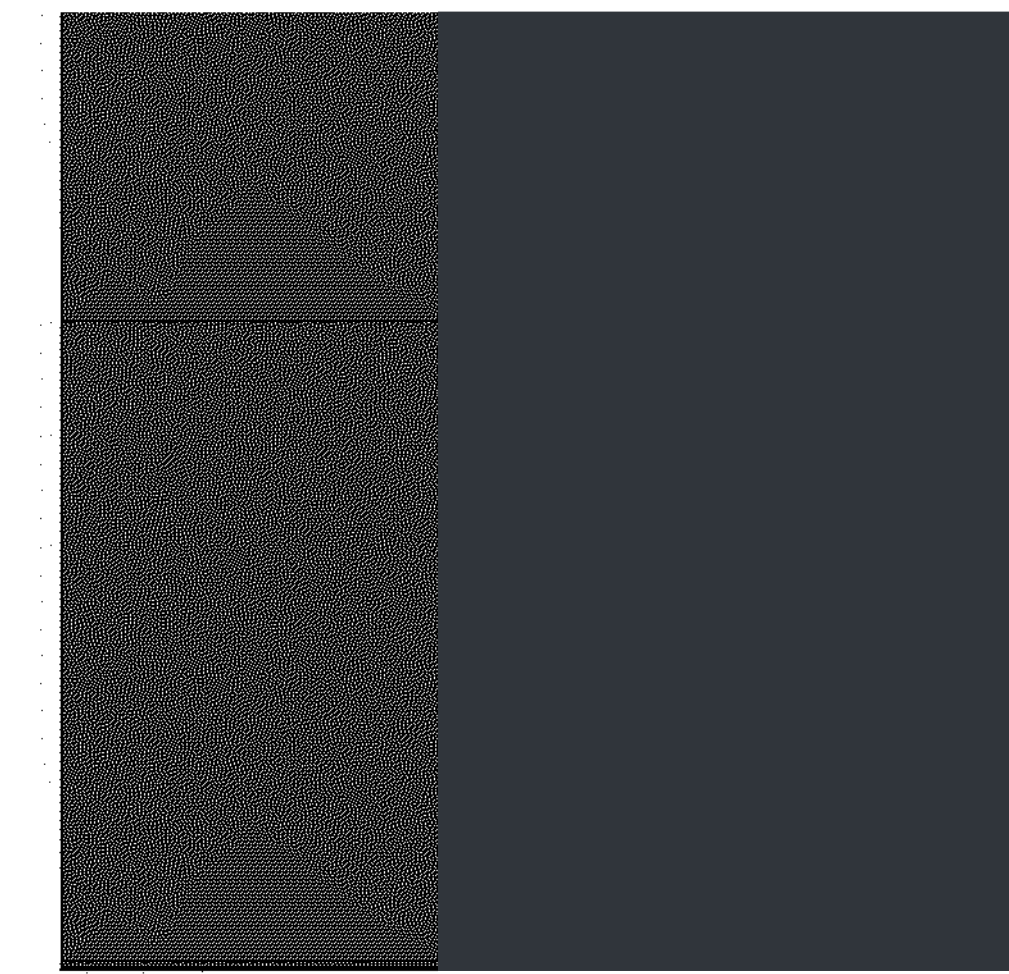


NSG GREY

1 KANSAS BRICK #530 FLASH MOD

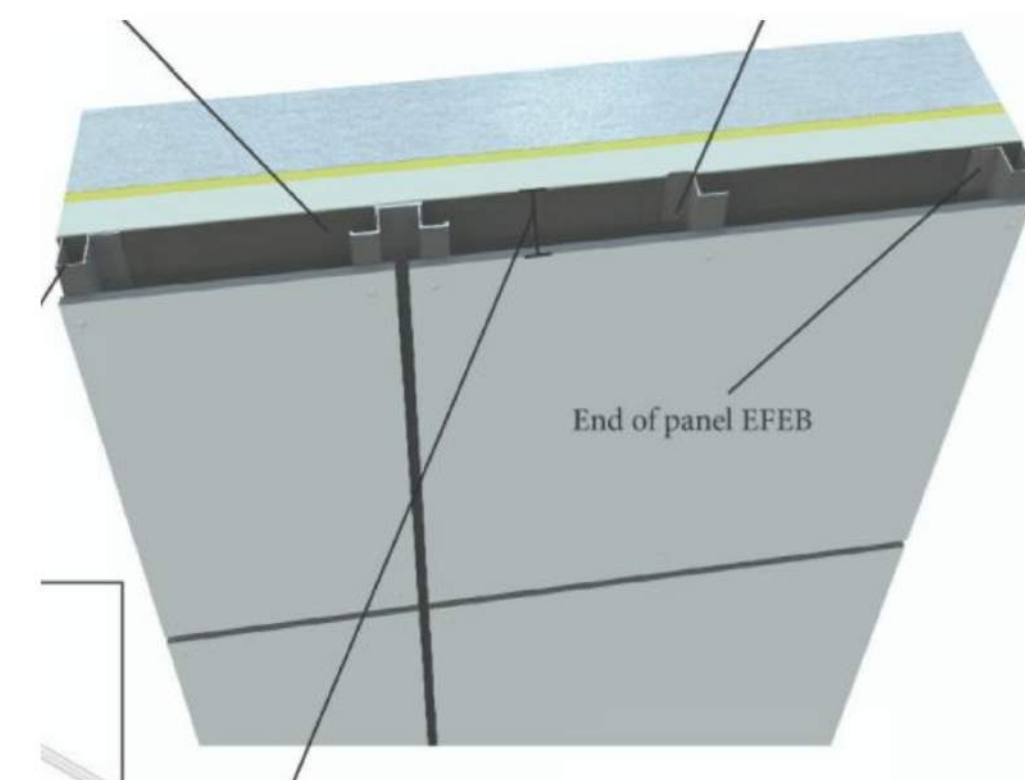


3D VIEW

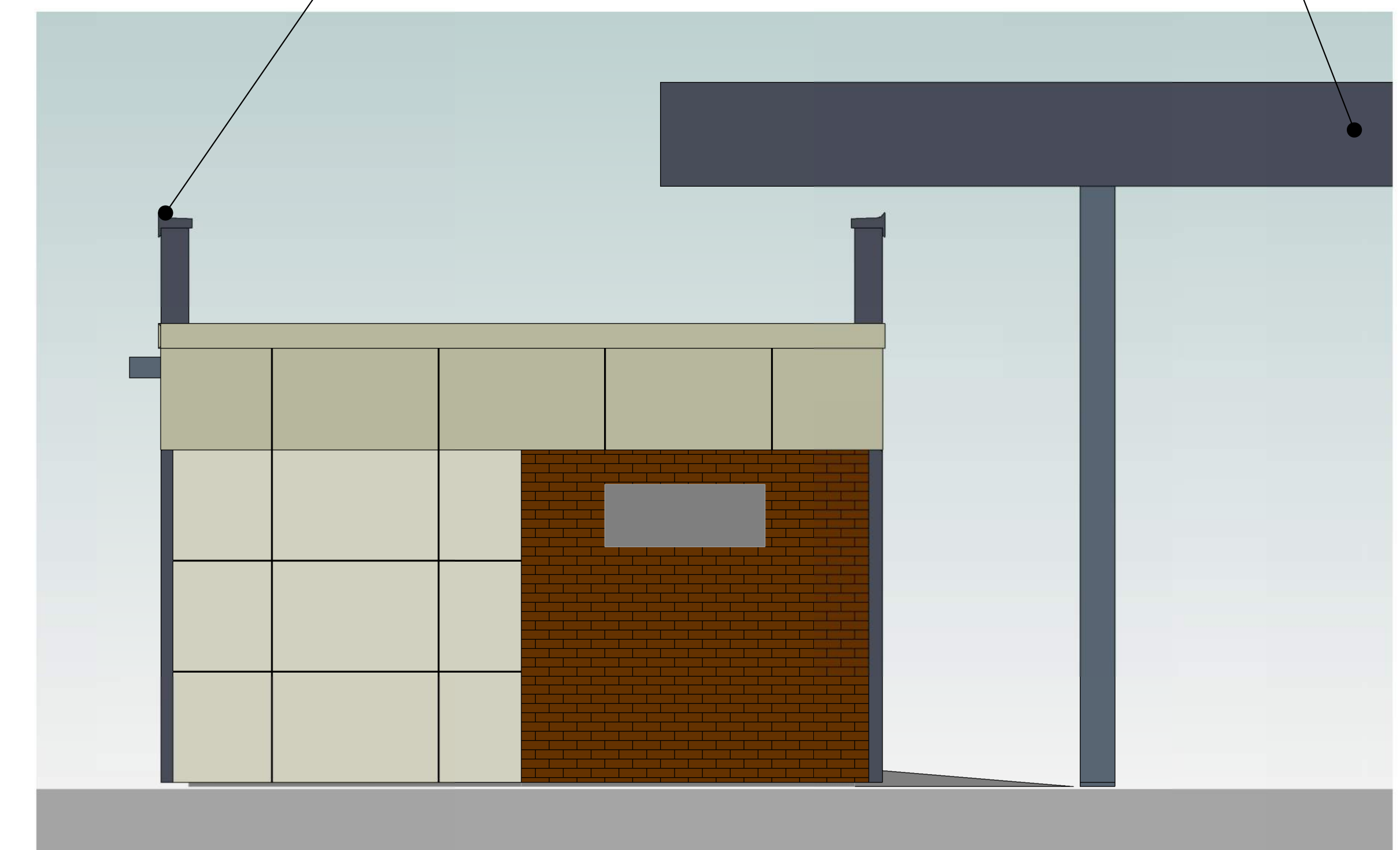


METAL TRIM, AND CANOPY
1 SHERWIN WILLIAMS SW7026 GRANITE GRAY

STONEWOOD EXPOSED FASTENER PANEL ASSEMBLY - FOR REFERENCE



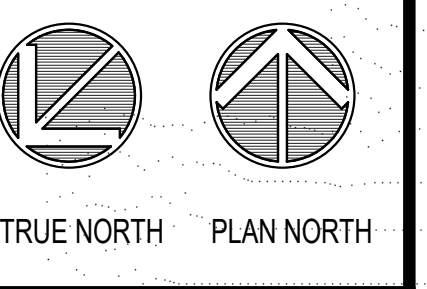
STONEWOOD EXPOSED FASTENER PANEL EXAMPLE FOR REFERENCE ONLY



SIDE ELEVATION

CITY OF MADISON
LAND USE & UDC
10.07.2020

LOCATION:
MADISON 1
AISLES ONLINE KIOSK
HY-VEE INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2600
FAX: (515) 267-2635
HyVee
EMPLOYEE OWNED



MATERIAL BOARDS

DRAWN:	DATE:
AUTHOR:	10/07/2020
SCALE:	AS SHOWN
SHEET:	20050

A8.0

PRELIMINARY - NOT FOR CONSTRUCTION