

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

RECEIVED

9/16/2020
11:48 a.m.

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

3. Project Type

Project in an Urban Design District #7

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Street address _____

Telephone _____

Project contact person _____

Street address _____

Telephone _____

Property owner (if not applicant) _____

Street address _____

Telephone _____

Company _____

City/State/Zip _____

Email _____

Company _____

City/State/Zip _____

Email _____

City/State/Zip _____

Email _____

5. Required Submittal Materials

☒ Application Form☒ Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

☒ Development Plans (Refer to checklist on Page 4 for plan details)☐ Filing fee☒ Electronic Submittal*☒ Notification to the District Alder

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on 07/16/2020.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Joe KruppRelationship to property OwnerAuthorizing signature of property owner Date 09/15/2020

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

☐ Urban Design Districts: \$350 (per §35.24(6) MGO).☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)

- Planned Multi-Use Site or Residential Building Complex

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

September 16, 2020



Ms. Heather Stouder
Director, Planning Division
Department of Planning, Community & Economic Development
215 Martin Luther King Jr. Blvd., Ste 017
Madison, Wisconsin 53703

Re: Letter of Intent – Conditional Use and CSM Approval
1224 South Park Street
KBA Project # 2031

Ms. Heather Stouder:

The following is submitted together with the plans and application for Urban Design Commission and Plan Commission consideration of approval.

Organizational structure:

Owner:	Prime Urban Properties 1952 Atwood Ave Madison, WI 53704 (608) 233-6000 Contact: Joe Krupp joe@primeurbanproperties.com	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 (608) 836-3690 Contact: Kevin Burow kburow@knothebruce.com
Civil Engineer:	JSD Professional Services, Inc 161 Horizon Dr, #101 Verona, WI 53593 (608) 848-5060 Contact: Kevin Yeska kevin.yeska@jsdinc.com	Landscape Architect:	JSD Professional Services, Inc 161 Horizon Dr, #101 Verona, WI 53593 (608) 848-5060 Contact: Kevin Yeska kevin.yeska@jsdinc.com

Introduction:

The site is located at 1224 S Park Street on Madison's near south side and is currently the site of a one-story commercial building with a surface parking lot. The proposed development entails the demolition of the existing building and surface parking and the construction of a new five-story mixed-use building with approximately 4,000 sq.ft. of commercial space, 62 apartment units, and a total of 78 enclosed and surface parking spaces.

The site is currently zoned Commercial Corridor - Transitional District (CC-T) and is also located within Urban Design District 7. This application requests the following approvals: 1) demolition approval for the existing structure, and 2) the conditional-use approvals required for the mixed-use development.

Project Description:

The project provides much needed housing along a major corridor leading to Downtown Madison. The site is directly on the Bus Lines and will allow for easy access to many areas of the City. The existing building is predominantly vacant so the site will be better utilized as a mixed-use property in order to provide additional housing units for the City of Madison. As part of this project we are also creating an outdoor gathering space on the second-floor level with a rooftop patio adjacent to the Community Room and above the enclosed parking garage in the building.

The exterior materials will be a combination of masonry on a majority of the façade along with composite siding and a cast stone base. The architecture is contemporary and urban with a high level of detailing in the masonry.

City and Neighborhood Input:

We have met with the City on several occasions for this proposed development including meetings with Staff, attending a DAT Meeting, and presenting at UDC for an informational presentation. These discussions have helped to shape this submittal.

This site is within the Bay Creek Neighborhood Association and we have met with them on several occasions. Prior to that we also had initial meetings with Alder Tag Evers. These were all productive discussions that have led to enhancements to our proposed development.

Demolition Standards

We believe that the demolition standards can be met. The proposed development is compatible with the City's Comprehensive Plan and this site was proposed for new construction in 2019 and a demolition permit was approved at that time.

A Re-use and Recycling Plan will be submitted prior to the deconstruction of the existing commercial structure.

CSM Approval

As part of the development proposal for 1224 S Park Street, a CSM is included to combine the existing three lots (1204, 1214, and 1224 S Park Street) into one contiguous parcel comprised of 0.591 acres. The CSM includes the dedication of a three-foot sidewalk easement along S Park Street to increase the width of the existing five-foot terrace to eight feet as well as the dedication of a 10-foot wide multi-use path easement along the property's rear lot line. While not being constructed as part of this development proposal, when constructed the future multi-use path will straddle the site's rear property line, providing connectivity to High Street and the city's larger trail system.

Conditional Use Approvals:

The proposed redevelopment requires conditional uses to allow for a mixed-use building exceeding 40,000 sq.ft. in size, and for a residential building with more than 8 units. The proposed building's size, scale, and use are consistent with the City's Comprehensive Plan which calls for Regional Mixed-Use (RMU) on this property by being five stories tall and providing high-density residential.

Conformance with UDD No. 7 Requirements

The project has been designed to generally conform to the guidelines set in the Urban Design District Number 7 and the following items have been incorporated into the design of the proposed project:

- The building has been placed 10' back from the property line on Park Street in accordance with the guidelines and direction from City Staff.
- All of the commercial space along with the building lobby face Park Street and have direct connections to the public sidewalk.
- The exterior design of the building utilizes low-maintenance materials via the use of masonry, cast stone, and composite siding. These materials are also harmonious with the adjacent buildings in this area. All elevations have a high level of detailing and use of the same materials such that there are no lesser quality facades or views from surrounding properties.
- The building entries have canopies over them along with large doors and windows to enhance the pedestrian character of the street.
- Any mechanical equipment located on the roof will not be visible from adjacent properties and any ground mounted equipment will be screened with landscaping.
- The parking areas are contained within or below the building such that any lighting will be directed downward and there will be no glare onto adjacent properties.
- The building has a step back that occurs at the fifth floor level based on the feedback we received at the UDC Informational presentation and with this the fifth floor level is not visible from the street directly in front of the building.
- The trash receptacles are located within the enclosed parking garage area and are not visible from the exterior.
- By having all the parking areas contained within and below the building they are screened from view of the neighboring properties.
- The landscaping plan has been designed with numerous plantings around the proposed building and we have also enhanced the landscaping directly in front of the building in order to create a pleasant experience as you approach the building.
- The outdoor plaza area is also well landscaped and provides an enjoyable outdoor amenity for all the residents of the building.

Site Development Data:

Densities:

Lot Area	25,703 s.f. / .59 acres
Dwelling Units	62
Density	105 units/acre
Open Space	12,276 s.f. (12,160 s.f. Required)
Lot Coverage	19,051 s.f. / 74% (21,847 s.f. / 85% Max)

Building Height: 4 to 5 Stories / 60'

Gross Floor Area:

Residential Area:	60,642 s.f.
Commercial Area:	4,062 s.f.
<u>Parking:</u>	<u>31,288 s.f.</u>
Total Building Area:	95,992 s.f.
Floor Area Ratio	3.73

Dwelling Unit Mix:

Efficiency	12
One Bedroom	36

<u>Two Bedroom</u>	<u>14</u>
Total Dwelling Units	62

Vehicle Parking:

Surface:	9 stalls
<u>Enclosed:</u>	<u>69 stalls</u>
Total	78 stalls

Parking Ratio: 1.26 stalls / d.u.

Bicycle Parking:

Surface Commercial:	4
Surface Guest	6
Basement; Floor Mount:	46
Basement; Wall Mount:	<u>16</u>
Total:	72

Project Schedule:

It is anticipated that construction will start in the Spring of 2021 and be completed in the Spring of 2022.

Thank you for your time reviewing our proposal.

Sincerely,



Kevin Burow, AIA, NCARB, LEED AP
Managing Member

From: Stacey Oehrke
Sent: Friday, July 31, 2020 8:21 AM
To: 'Evers, Tag'; 'Carrie Rothburd'; 'leftpaintedtoenail@hotmail.com';
smba@smba-madison.org
Cc: Kevin Burow; Zoning
Subject: 30 Day Notice - 1224 S Park St
Attachments: 1224 S Park Street - Concept Plan - R.pdf

Hello Alder Evers and the Bay Creek Neighborhood Association,

I would like to take this opportunity to formally notify you of a new proposed development in your neighborhood. Attached are the conceptual plans for the proposed redevelopment of 1224 S Park Street. We are proposing a 3-5 story, mixed-use building with Commercial Space on the first floor and approximately 60 apartment units above. There will be underground parking along with parking at the first floor level. The site currently has a 1 story commercial building with surface parking and some lower level parking accessed off of High Street. We intend to make a submittal on September 2nd to begin the process for the required Land Use approvals from the City of Madison and look forward to working with you as we develop the designs for this project.

If you have any questions please contact Kevin Burow: kburow@knothebruce.com

Thank you for your time.

Thank you,

Stacey Oehrke | Permit Specialist | Knothe & Bruce Architects, LLC | Ph: 608.836.3690 (Ex. 115)
7601 University Avenue, Middleton, WI 53562 | soehrke@knothebruce.com



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 1224 S PARK ST

Contact Name & Phone #: KEVIN BUROW 608-836-3690

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.



LIL LED LED Wall Luminaire



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

	Standard	With Battery Pack(EL)
Width:	5"	5-7/8"
Height:	5-1/8"	6-1/8"
Depth:	2-3/4"	4-1/4"
Weight:	1.5 lbs	3 lbs

Introduction

LIL LED is a compact and energy efficient wall luminaire ideal for replacing small incandescent and CFL luminaires. Photocell and battery pack options make LIL LED great for installations above doors, balconies, garage or warehouse entrances, and security applications. Whether directly mounting to a recessed junction box, or using the back box accessory for conduit entry/through wiring, LIL LED has you covered!

Ordering Information

EXAMPLE: LIL LED 40K MVOLT WH

LIL LED					
Series	Color Temperature	Voltage	Controls	Mounting	Finish
LIL LED	30K 3000 K 40K 4000 K	MVOLT 120 / 277V ¹	(blank) None PE MVOLT button photocell ^{1,2} EL Battery pack ²	(blank) None BB Back box accessory for conduit wiring ³	DDBTXD Textured dark bronze WH White

Accessories

Ordered and shipped separately.

LIL LED BB DDBTXD	Back box for conduit entry applications, dark bronze - CI Code *249WXH
LIL LED BB WH	Back box for conduit entry applications, white - CI Code *249WXJ

NOTES

1. MVOLT driver operates on 120V and 277V (50/60Hz).
2. PE and EL cannot be ordered together.
3. Optional accessory for conduit entry wiring. Can be ordered with the luminaire or separately. Shipped separately. BB option is not available with emergency battery pack (EL) version.

FEATURES & SPECIFICATIONS

INTENDED USE

The versatility of LIL LED combines a sleek, compact profile with photocell and emergency battery pack options to provide a great solution for wall mount applications. LIL LED is ideal for replacing up to 100W incandescent or 32W CFL luminaires in installations above doors, balconies, garage or warehouse entrances, and security applications. It can also be used for decorative and general lighting in outdoor environments.

CONSTRUCTION

Aluminum housing with white or textured dark bronze paint for lasting durability. The polycarbonate lens creates uniform light distribution, and it is UV resistant - great for outdoor environments!

OPTICS

Light engines are available in 3000K and 4000K CCTs. See Lighting Facts label and photometry reports for specific fixture performance.

ELECTRICAL

LED technology provides long operating life (L70/50,000 hours at 25°C). Electronic drivers have a power factor >90% and THD <20% and a minimum 2.5kV surge rating.

INSTALLATION

Easily mounts to recessed junction boxes or for surface mounting and conduit entry — with the back box with two 1/2" threaded conduit entry hubs.

This luminaire is mounted with the lens facing down. Neutral wire is required for three phase input.

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations. Rated for -40° C minimum to 40° C maximum ambient temperature. Battery pack versions are rated to 0° C minimum. Tested in accordance with IESNA LM-79 and LM-80 standards.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Eligible to be submitted for Title 20 and Title 24 compliance.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.705.7378 • www.lithonia.com
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LIL LED
Rev. 08/19/19

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Model Number	CCT	Rated Power	Lumens	LPW
LIL LED	3000K	8.4W	800	95

Electrical Load

Model Number	Rated Power	Input current at given input voltage (amps)			
		120V	208V	240V	277V
LIL LED	8.4W	0.07	0.04	0.03	0.03

Projected LED Lumen Maintenance

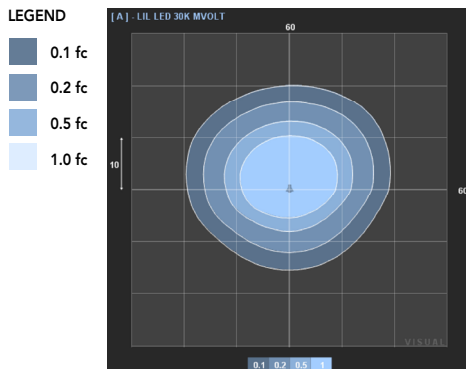
Data references the extrapolated performance projections in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000
LIL LED	1.00	0.92	0.85

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [LIL LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards



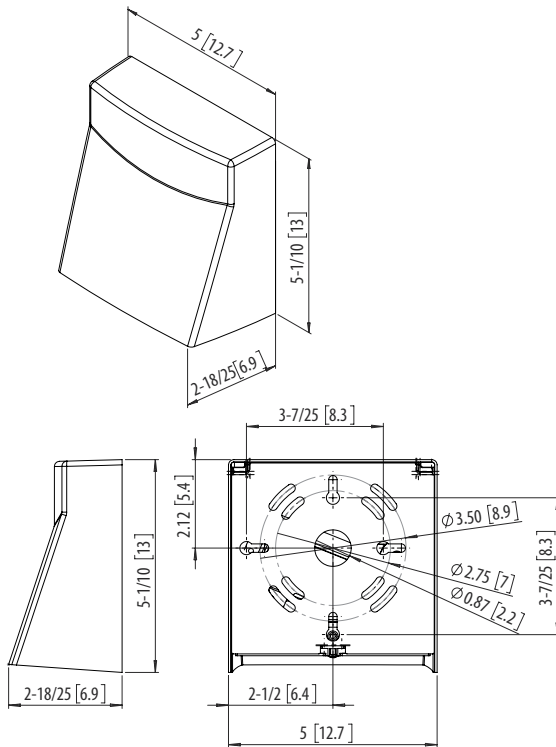
Accessories

- LIL LED BBW DDBTXD Back box for conduit entry applications, dark bronze
- LIL LED BBW WH Back box for conduit entry applications, white

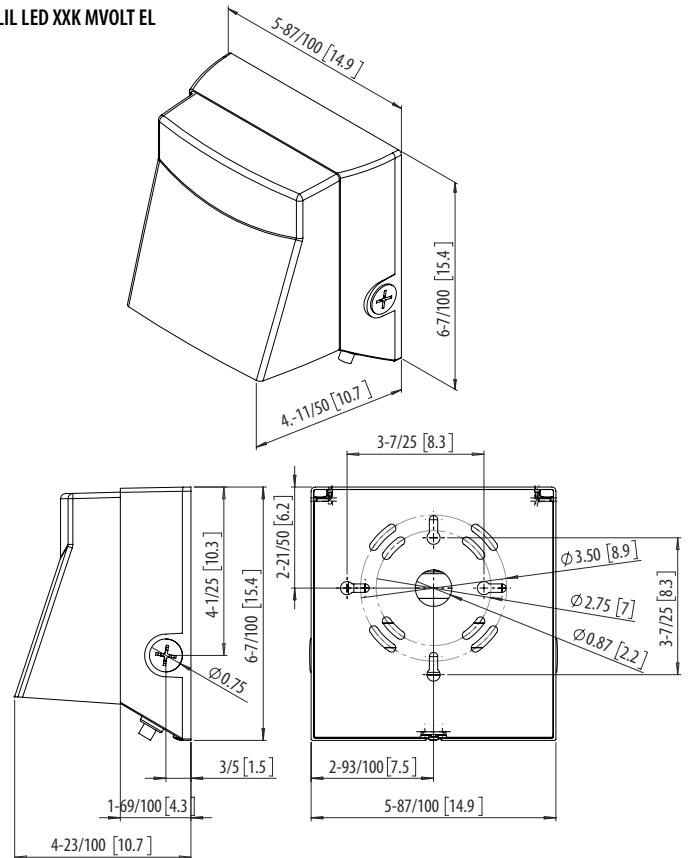


Dimensions

LIL LED XXK MVOLT



LIL LED XXK MVOLT EL





knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED

Issued for Land Use & UDC - Sept. 16, 2020

PROJECT TITLE

PARK STREET
DEVELOPMENT

1224 S. Park Street
Madison, Wisconsin

SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1

PROJECT NO.

2031

© Knothe & Bruce Architects, LLC

SHEET INDEX

C-1.1	SITE PLAN
C-1.2	SITE LIGHTING
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C-1.5	USABLE OPEN SPACE
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C-2.0	SITE PLAN
C-2.1	SITE PLAN - DIMENSIONED
C-3.0	GRADING & EROSION CONTROL PLAN
C-3.1	DETAILED GRADING PLAN
C-4.0	UTILITY PLAN
C-5.0	SITE CONSTRUCTION DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	2ND FLOOR PLAZA LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS & NOTES
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	FIFTH FLOOR PLAN
A-1.6	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	COLOR ELEVATIONS
A-2.4	COLOR ELEVATIONS RENDERINGS

GENERAL NOTES:

1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

4. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

5. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:
[HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)

6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

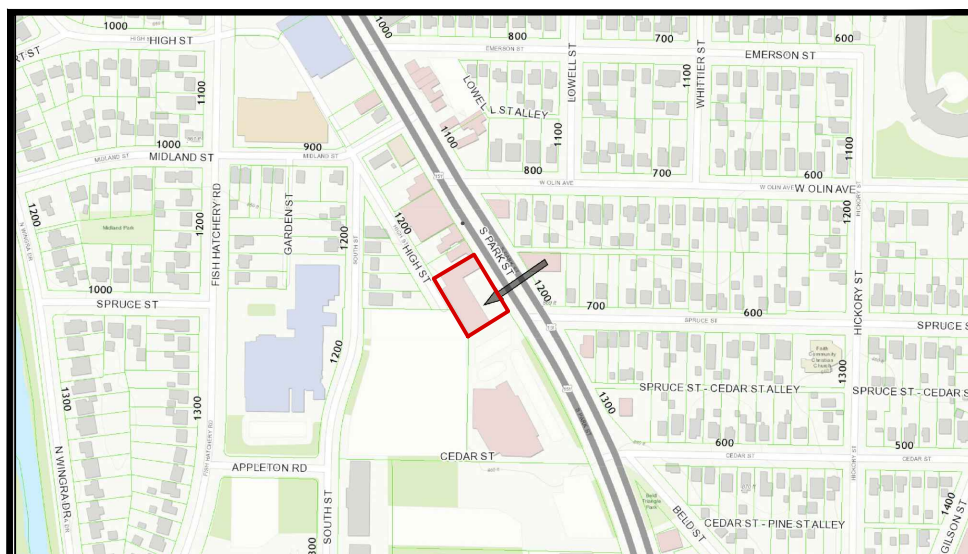
7. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.

8. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.

9. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.

10. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).

11. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANTS EXPENSE UPON NOTIFICATION BY THE CITY.



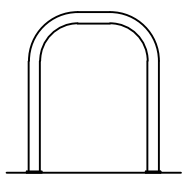
SITE LOCATOR MAP

SITE DEVELOPMENT DATA:

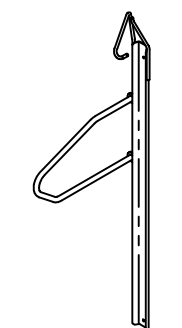
ZONING: CC-T COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT

DENSITIES	25,703 S.F./59 ACRES	
LOT AREA	62 UNITS	
DWELLING UNITS	414.5 S.F./UNIT	
LOT AREA / D.U.	105 UNITS/ACRE	
DENSITY		
FRONT YARD SETBACK	10.6'	PROVIDED 25' MAX.
SIDE YARD SETBACK	6.6'/8.25'	6' MIN.
REAR YARD SETBACK	20.4'/23.3'	20' MIN.
LOT COVERAGE	19,051 S.F. (74%)	21,847 S.F. (85% MAX.)
USABLE OPEN SPACE	12,276 S.F.	12,160 S.F.
BUILDING HEIGHT	4-5 STORIES/48'-60'	5 STORIES/68'
GROSS FLOOR AREAS:		
RESIDENTIAL	60,642 S.F.	
COMMERCIAL	4,062 S.F.	
PARKING	31,288 S.F.	
TOTAL	95,992 S.F.	
FLOOR AREA RATIO	3.73	
DWELLING UNIT MIX:		
STUDIO	12	
ONE BED	36	
TWO BED	14	
TOTAL	62 UNITS	
VEHICLE PARKING:		
ENCLOSED/BASEMENT	69	
SURFACE	9	
TOTAL	78 VEHICLE STALLS	
PARKING RATIO	1.26 STALLS/UNIT	
BICYCLE PARKING:		
GARAGE - WALL	16	
GARAGE - FLOOR	46	
TOTAL COVERED/SECURE	62	62 RESIDENTIAL
SURFACE COMMERCIAL	4	2 (1/2,000 S.F.)
SURFACE-GUEST	6	6 (10% OF UNITS)
TOTAL	72 PROVIDED	70 MIN. REQUIRED

BIKE RACKS:

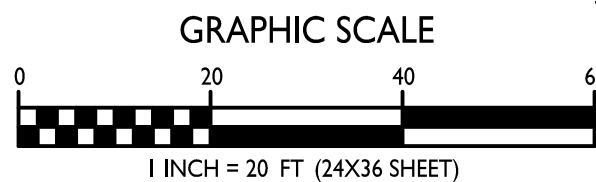
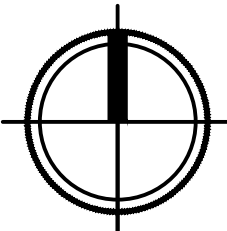


INTERIOR & EXTERIOR FLOOR MOUNTED:
"INVERTED U" TYPE. MADRAX UX OR
SARIS BIKE DOCK



INTERIOR WALL MOUNTED: MADRAX
VERTICAL RACK OR SARIS BIKE TRACK

I SITE PLAN
C-1.1
1" = 20'-0"





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ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use & UDC- September 16, 2020

PROJECT TITLE
PARK STREET
DEVELOPMENT


1224 S. Park Street
Madison, Wisconsin
SHEET TITLE
Site Lighting Plan

SHEET NUMBER

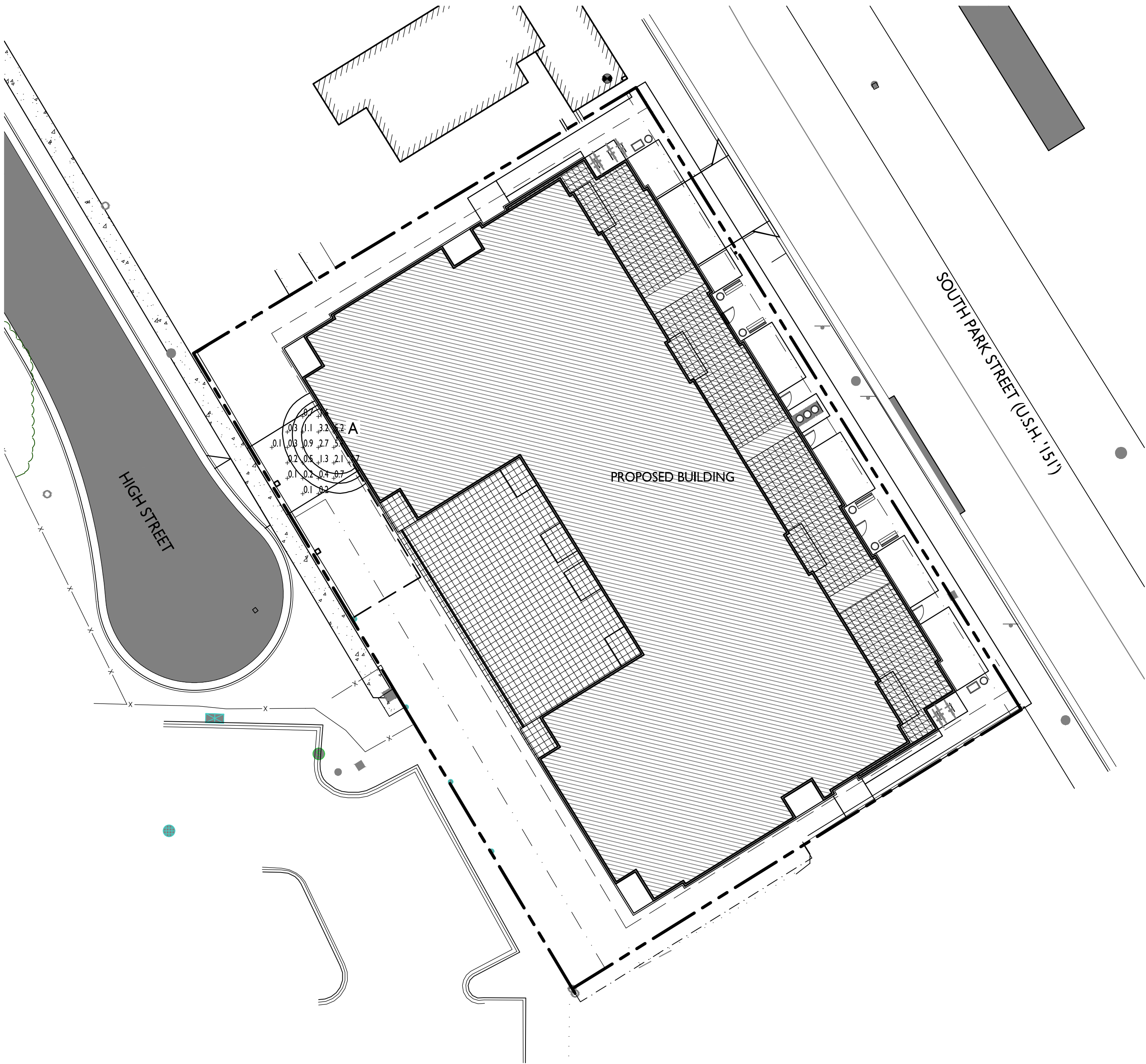
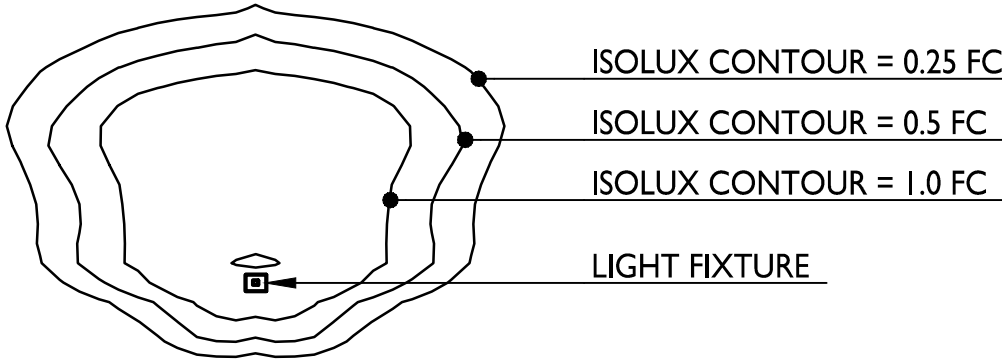
C-1.2

PROJECT NO. 2031
© Knothe & Bruce Architects, LLC

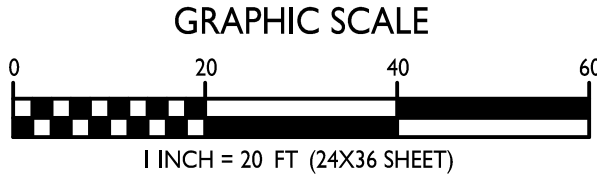
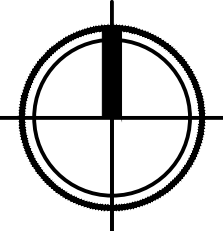
STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Underground Parking Entrance Lighting	+	1.3 fc	5.2 fc	0.1 fc	52.0:1	13.0:1

LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE
	A	1	LITHONIA LIGHTING	LIL LED 30K MVOLT	LIL WALLPACK (STANDARD)	LIL_LED_30K_MVOLT.ies
			8'-0" ABOVE GRADE ON BUILDING			

EXAMPLE LIGHT FIXTURE DISTRIBUTION



1 SITE LIGHTING PLAN
C-1.2 1" = 20'-0"





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Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use & UDC- September 16, 2020

PROJECT TITLE
PARK STREET
DEVELOPMENT

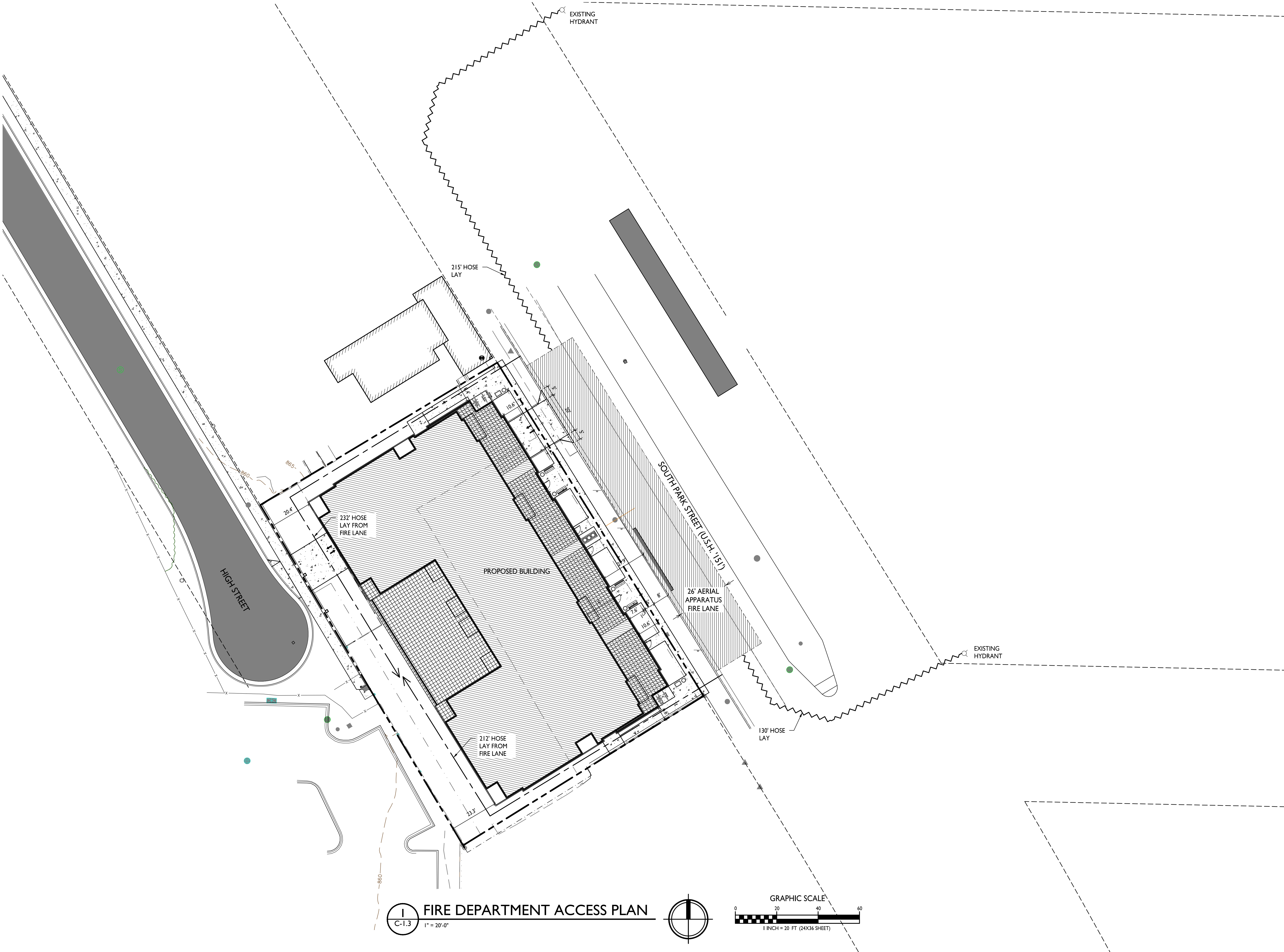
1224 S. Park Street
Madison, Wisconsin
SHEET TITLE
Fire Department
Access Plan

SHEET NUMBER

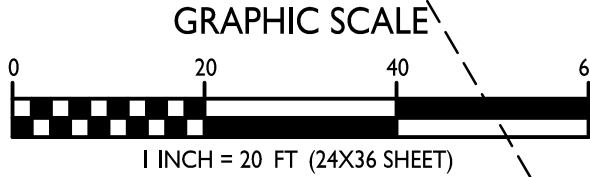
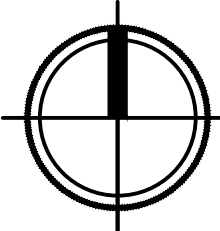
C-1.3

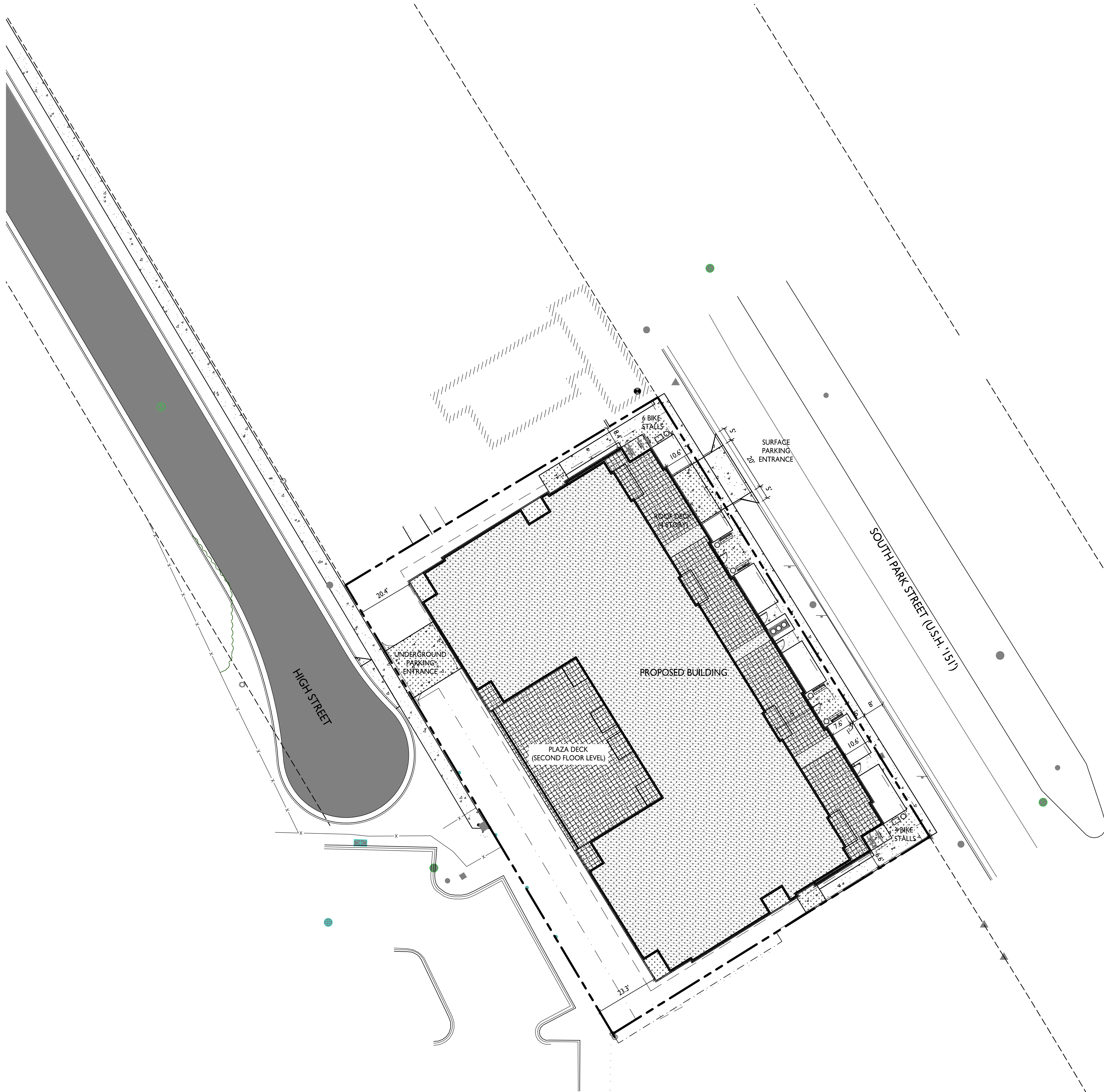
PROJECT NO. 2031

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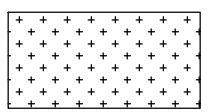


I
C-1.3
FIRE DEPARTMENT ACCESS PLAN
1" = 20'-0"





LOT COVERAGE



ZONING: CC-T / COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT

TOTAL LOT AREA	25,703 S.F.
MAX. ALLOWED	21,847 S.F.(85%)
PROPOSED LOT COVERAGE	19,051 S.F. (74%)

ISSUED
Issued for Land Use & UDC- September 16, 2020

PROJECT TITLE
**PARK STREET
DEVELOPMENT**

1224 S. Park Street
Madison, Wisconsin
SHEET TITLE
Lot Coverage

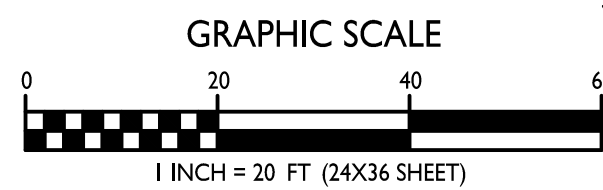
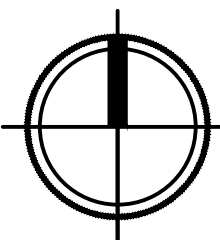
SHEET NUMBER

C-1.4

PROJECT NO. **2031**

© Knothe & Bruce Architects, LLC

LOT COVERAGE
C-1.4 1" = 20'-0"





USABLE OPEN SPACE		
ZONING: CC-T- COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT		
OPEN SPACE REQUIREMENT		
160 S.F./LODGING RM OR 1 BED UNIT		
320 S.F. FOR> 1 BED UNIT		
DWELLING UNITS		
ONE BED	48 (160 S.F.)	7,680 S.F.
>ONE BED	14 (320 S.F.)	4,480 S.F.
	62	12,160 S.F. REQUIRED
OPEN SPACE PROVIDED		
ROOF DECKS, PORCHES, BALCONIES		7,617 S.F.
NON-REQUIRED FRONT YARD		983 S.F.
SURFACE		3,676 S.F.
TOTAL		12,276 S.F. PROVIDED

kb2

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ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

ISSUED
Issued for Land Use & UDC- September 16, 2020

PROJECT TITLE
PARK STREET
DEVELOPMENT

1224 S. Park Street
Madison, Wisconsin
SHEET TITLE
Usable Open
Space

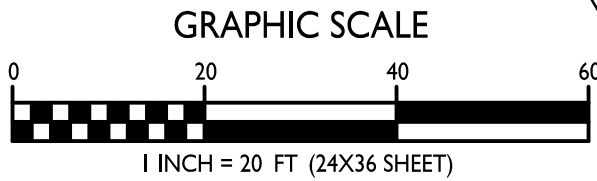
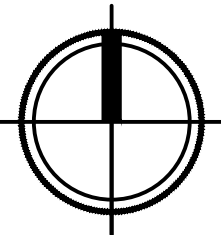
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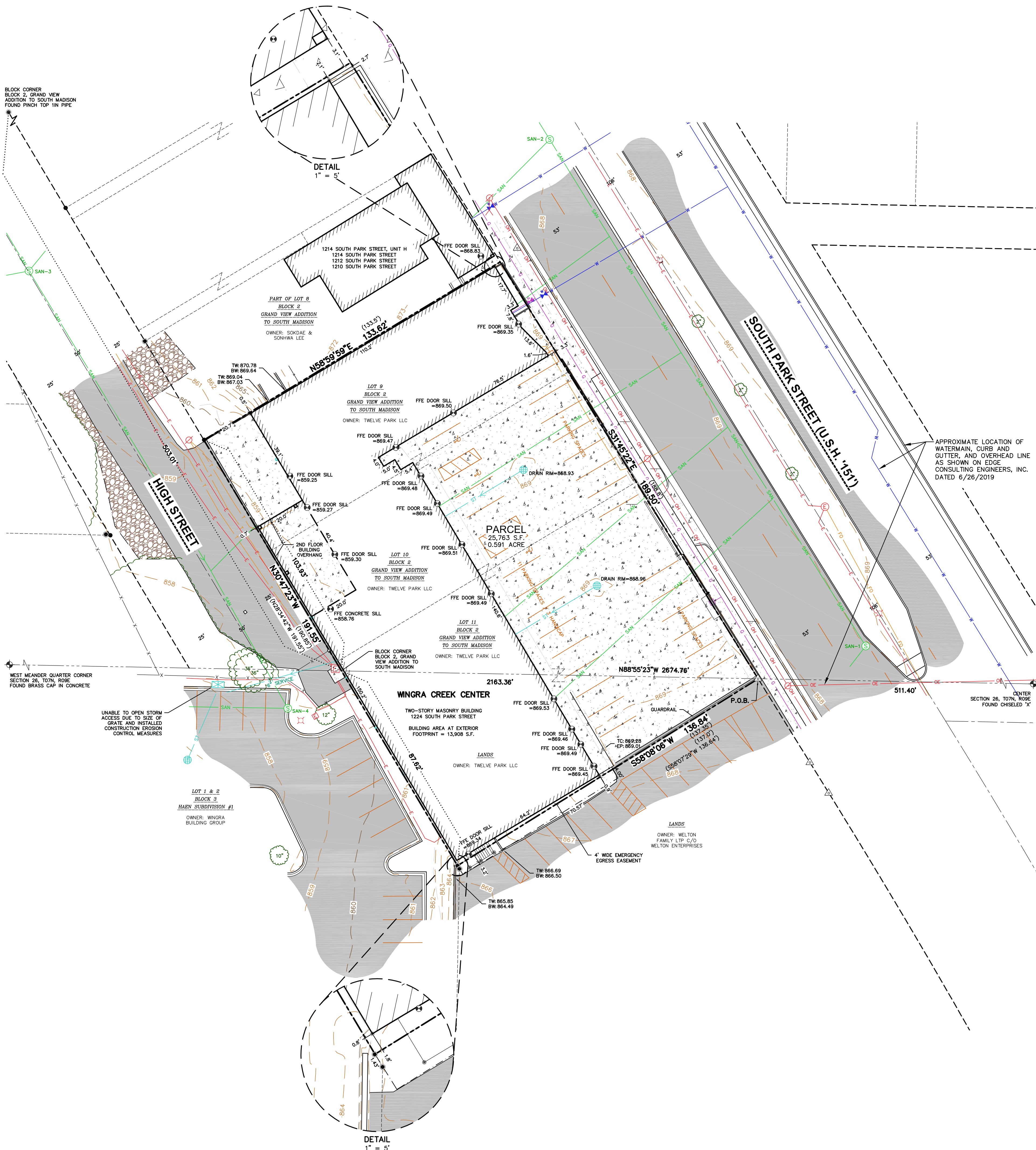
C-1.5

PROJECT NO. 2031

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1
C-1.5
USABLE OPEN SPACE
1" = 20'-0"





EXISTING CONDITIONS SURVEY

LOTS 9, 10 AND 11 OF GRAND VIEW ADDITION TO SOUTH MADISON, BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND A PART NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

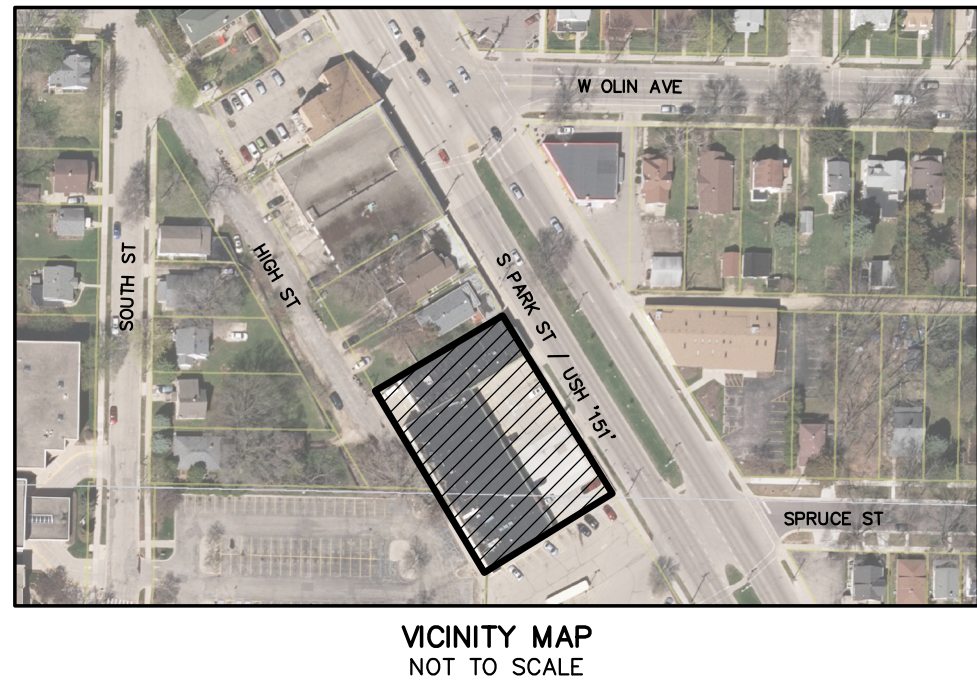
- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- PK/MAG NAIL FOUND
- 3/4" REBAR FOUND
- CONTROL POINT
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- SIGN
- SANITARY MANHOLE
- WATERMAIN OR GASMAIN VALVE
- ROUND CASTED INLET
- STORM SEWER ACCESS
- DOWNSPOUT
- GAS REGULATOR/METER
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- LIGHT POLE
- POWER POLE W/GUY
- DECIDUOUS TREE
- HANDICAP PARKING
- CENTERLINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- PARCEL BOUNDARY
- PLATTED LOT LINE
- EASEMENT LINE

- FENCE LINE
- GUARD OR SAFETY RAIL
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- EDGE OF GRAVEL
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OVERHEAD LINE
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- EDGE OF WOODS OR BRUSH
- BUILDING
- WALL LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- GRAVEL
- EDGE OF BITUMINOUS
- PAVEMENT STRIPING
- END OF FLAGGED UTILITIES
- DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACTED BY THIS SURVEY

SCALE IN FEET

20' 0 20'

north



SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	868.92	W	861.06	6"	VCP
		N	860.50	12"	VCP
SAN-2	868.07	W	860.89	6"	VCP
		CH	859.92	—	VCP
SAN-3	860.77	N	859.83	12"	VCP
		CH	854.13	—	VCP
SAN-4	858.86	NE	854.49	6"	VCP
		NW	854.51	6"	VCP
		S	854.16	6"	VCP
		N	852.17	6"	VCP
		E	852.26	6"	VCP
		S	852.41	6"	VCP
		W	852.16	6"	VCP

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 25 AND JUNE 29, 2020.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE, THE NORTH LINE OF THE SOUTHWEST QUARTER BEARS AS N88°55'23"W.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE CENTER MEANDER CORNER OF SECTION 26, T07N, R09E, ELEVATION = 866.19'.
 - CONTOUR INTERVAL IS ONE FOOT.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE LOCATE TICKET NO. 20202526202, 20202526252 AND 20202526325, WITH A CLEAR DATE OF JUNE 25, 2020, AND DIGGER'S HOTLINE MAPPING TICKET NO. 20202526206, 20202526272 AND 20202526327, WITH A CLEAR DATE OF JUNE 29, 2020.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON
MADISON GAS & ELECTRIC
DEAN MEDICAL CENTER
CHARTER COMMUNICATIONS
AT&T
CENTURYLINK
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - THIS PARCEL IS ZONED COMMERCIAL CORRIDOR-TRANSITIONAL DISTRICT PER THE CITY OF MADISON ZONING MAP DATED DECEMBER 2005.
 - ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. NO RECORDS WERE PROVIDED; THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH DIGITAL INFORMATION FROM CITY ONLINE GIS MAPPING.
 - ONSITE INLET COVERS WERE NOT ABLE TO BE OPENED AND GRATE TO NARROW TO MEASURE INVERT OF DRAIN.
 - SANITARY AND WATERMAIN LATERAL SIZES UNKNOWN AS THERE ARE NO AS-BUILT RECORDS.

SURVEYOR'S CERTIFICATE

I, TODD J. BUHR, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2614, HEREBY CERTIFY THAT UNDER THE DIRECTION OF PRIME URBAN PROPERTIES, THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

TODD J. BUHR, S-2614
PROFESSIONAL LAND SURVEYOR

DATE



JSD

Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION **TELL THE STORY**

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
PRIME URBAN PROPERTIES

CLIENT ADDRESS:
**1952 ATWOOD AVENUE
MADISON, WI 53704**

PROJECT:
1224 S. PARK STREET

PROJECT LOCATION:
**CITY OF MADISON, WI
DANCE COUNTY**

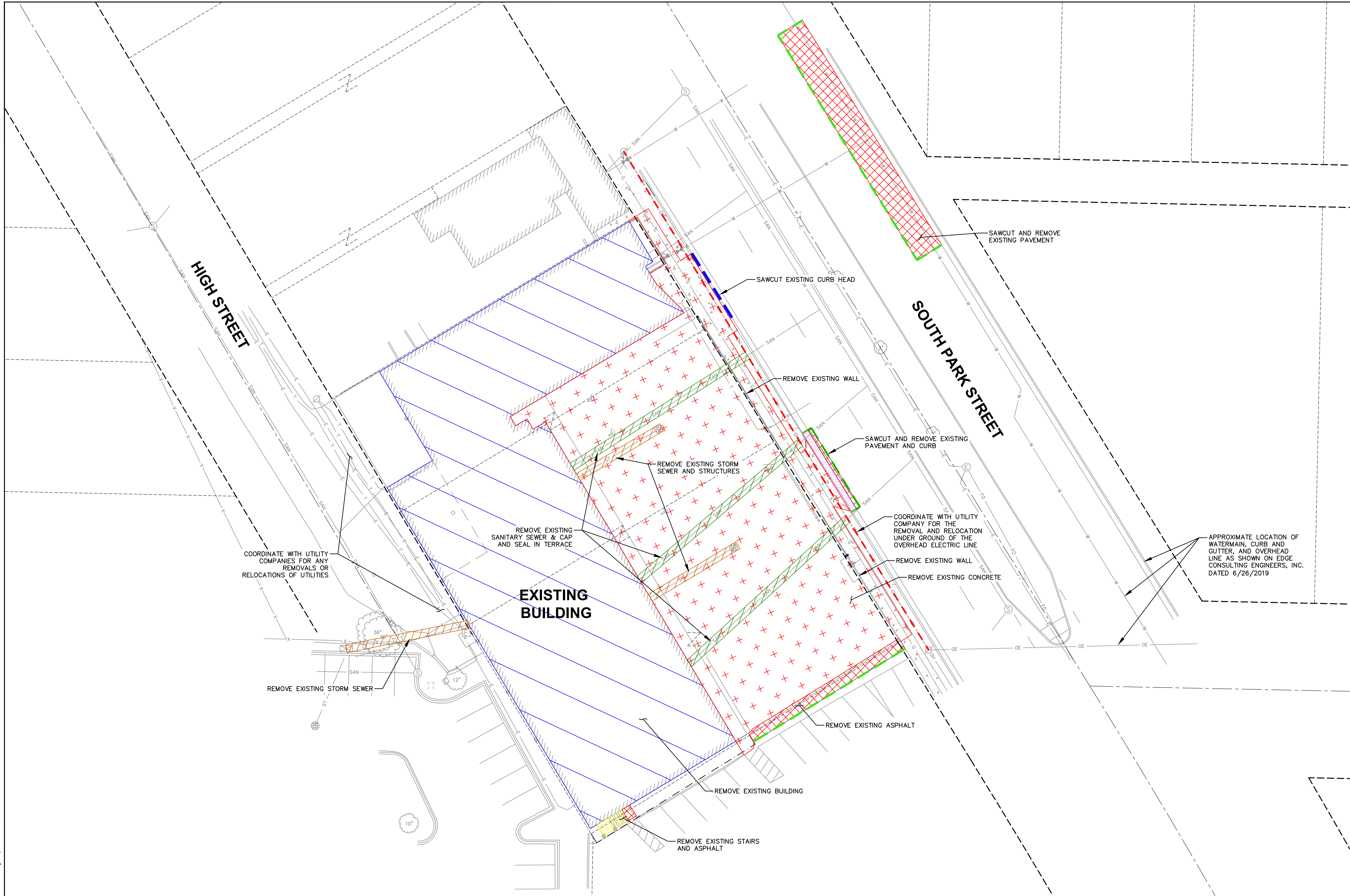
Design/Drawn: CJO 07/01/20
Approved: TJB 07/01/20

SHEET TITLE:
EXISTING CONDITIONS SURVEY

SHEET NUMBER:
1 OF 1

JSD PROJECT NO: 20-9723S

File: L:\2020\2019\723DWG\Civil Sheets\20723 Con Docs - Demo.dwg Layout: C1.0 DEMO User: msanderson Plotted: Sep 16, 2020 - 10:02am Xref's:



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- SAWCUT ASPHALT AND CURB
- REMOVAL OF OVERHEAD ELECTRIC
- SAWCUT CURB HEAD
- REMOVE EXISTING BUILDING
- REMOVE EXISTING CONCRETE
- REMOVE EXISTING ASPHALT
- REMOVE EXISTING CURB AND GUTTER
- REMOVE EXISTING STAIRS
- REMOVE EXISTING SANITARY SEWER
- REMOVE EXISTING STORM SEWER



CREATE THE VISION TELL THE STORY

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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**PRIME URBAN
PROPERTIES, LLC**

CLIENT ADDRESS:
**1952 ATWOOD AVENUE
MADISON, WI 53704**

PROJECT:
**1224 SOUTH PARK
STREET**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	07.23.20	DAT PRESENTATION
2	08.19.20	UDC INFORMATIONAL
3	08.16.20	LAND USE - UDC SUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MSS
Approved:

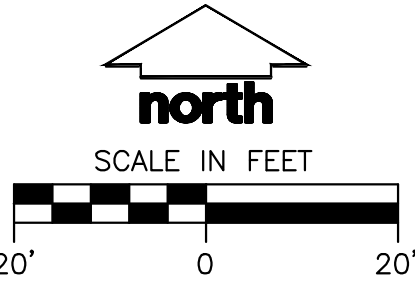
SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C1.0

JSD PROJECT NO: 20-9723

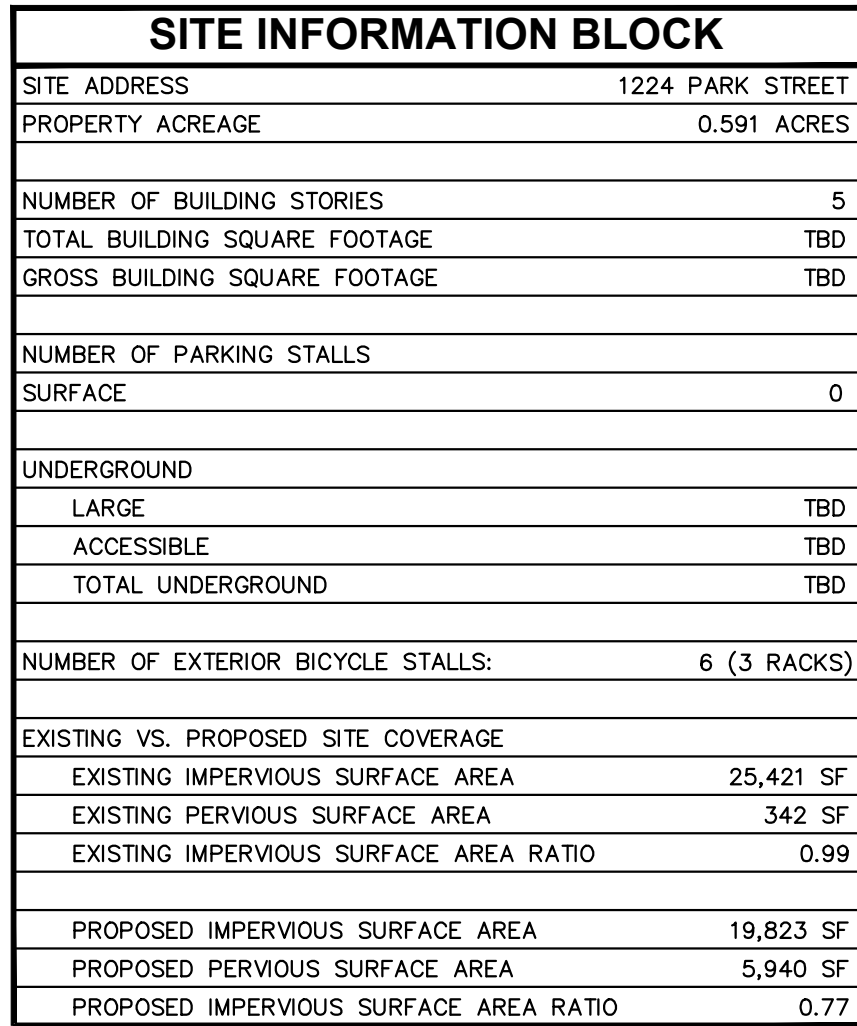
DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK--FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.



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- 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY **FIRM** DATED **DATE**.
- 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
- 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.

2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS

- 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 451, 452, 453 AND 454 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
- 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
- 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
- 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
- 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
- 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.

- 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 435 AND 440, STATE HIGHWAY SPECIFICATIONS.

3. CONCRETE PAVING SPECIFICATIONS

- 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
- 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
- 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
- 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.

4. PAVEMENT MARKING SPECIFICATIONS

- 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
- 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKING NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
- 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.



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COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**PRIME URBAN
PROPERTIES, LLC**

CLIENT ADDRESS:
1952 ATWOOD AVENUE
MADISON, WI 53704

PROJECT LOCATION:
MADISON, WI
DANE COUNTY

PLAN MODIFICATIONS:		
#	Date:	Description:
1	07.23.20	DAT PRESENTATION
2	08.19.20	UDC INFORMATIONAL
3	09.16.20	LAND USE - UDC SUBMITTAL
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Design/Drawn: MS

Approved:

SHEET TITLE:
SITE PLAN

SHEET NUMBER

C2.0

JSD PROJECT NO

20-972

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING SETBACK LINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	8" CONCRETE RIBBON CURB
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	BIKE RACK

PROPOSED HIGH STREET RIGHT-OF-WAY IMPROVEMENTS BY CITY

10'x10' VISION TRIANGLE, TYP.

(3) BIKE RACKS

PROPOSED BUILDING

PROPOSED ROOFTOP PATIO
(REFER TO ROOFTOP CURB AND LANDSCAPE PLAN)

SOUTH PARK STREET

(2) BIKE RACKS



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PROPERTIES, LLC

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1952 ATWOOD AVENUE
MADISON, WI 53704

PROJECT:
1224 SOUTH PARK
STREET

PROJECT LOCATION:
MADISON, WI
DANE COUNTY

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Design/Drawn: MSS
Approved:

SHEET TITLE:
SITE PLAN -
DIMENSIONED

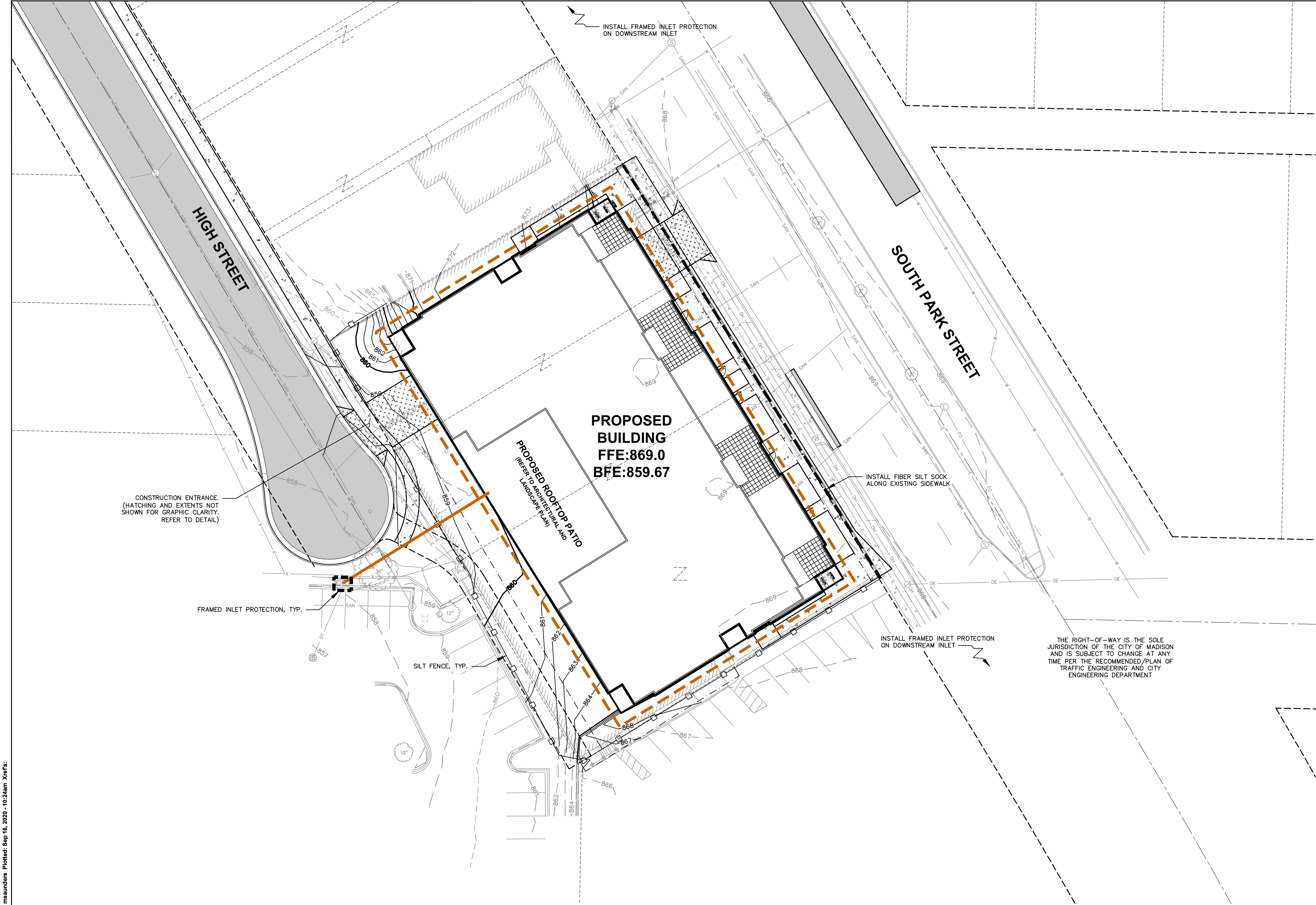
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JSD PROJECT NO: 20-9723



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LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- RETAINING WALL
- RAILING
- FENCE
- SILT FENCE
- FIBER SILT SOCK
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- INLET PROTECTION

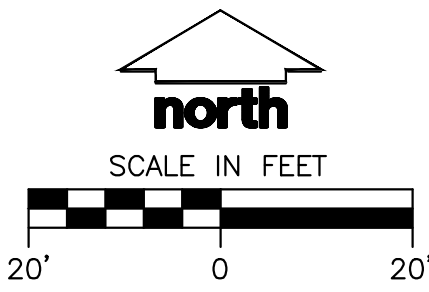
GRADING AND SEEDING NOTES

- HIGH STREET GRADING BASED OFF OF PRELIMINARY CITY CENTERLINE PROFILE GRADES.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

CONSTRUCTION SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
- EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.



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EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
- INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.

- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:**
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LB/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING

Engineers • Surveyors • Planners

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MADISON REGIONAL OFFICE
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PRIME URBAN PROPERTIES, LLC

CLIENT ADDRESS:
**1952 ATWOOD AVENUE
MADISON, WI 53704**

PROJECT:
1224 SOUTH PARK STREET

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

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Design/Drawn: MSS
Approved:

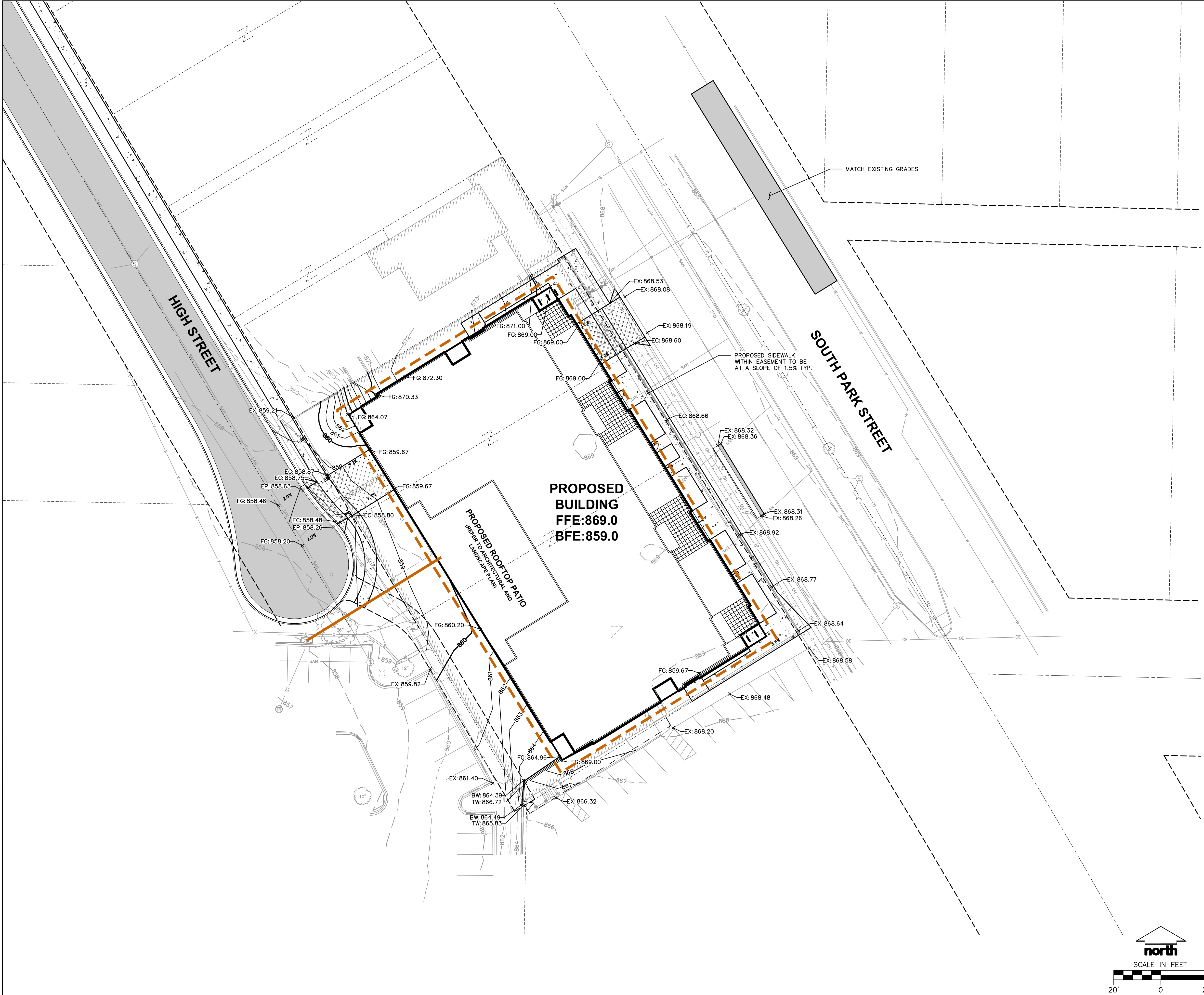
SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
C3.0

JSD PROJECT NO: 20-9723

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LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- . - .	EASEMENT LINE
----	BUILDING OUTLINE
=====	EDGE OF PAVEMENT
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
=====	ASPHALT PAVEMENT
=====	HEAVY DUTY ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	HEAVY DUTY CONCRETE PAVEMENT
959	PROPOSED 1 FOOT CONTOUR
960	PROPOSED 5 FOOT CONTOUR
959	EXISTING 1 FOOT CONTOUR
960	EXISTING 5 FOOT CONTOUR
→	DRAINAGE DIRECTION
---	GRADE BREAK
=====	RETAINING WALL
---	RAILING
□	FENCE
X	SPOT ELEVATION
EP	EDGE OF PAVEMENT
FG	FINISH GRADE
EC	EDGE OF CONCRETE
BOC	BACK OF CURB
EX	MATCH EXISTING GRADE
HP	HIGH POINT
SW	SIDEWALK

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Engineers • Surveyors • Planners

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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
PRIME URBAN PROPERTIES, LLC

CLIENT ADDRESS:
**1952 ATWOOD AVENUE
MADISON, WI 53704**

PROJECT:
1224 SOUTH PARK STREET

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	07.23.20	DAT PRESENTATION
2	08.19.20	UDC INFORMATIONAL
3	08.16.20	LAND USE - UDC SUBMITTAL
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14		
15		

Design/Drawn: **MSS**
Approved:

SHEET TITLE:
DETAILED GRADING PLAN

SHEET NUMBER:
C3.1

JSD PROJECT NO: 20-9723

DIGGERS HOTLINE
Toll Free (800) 242-8511

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR NOT ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS AND SIZES OF ALL SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING THE CITY OF MADISON PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FILE REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN – AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.

- HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
- BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT, TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO BE BACKFILLED WITH GRAVEL. BACKFILL SHALL BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
14. SANITARY SEWER SPECIFICATIONS -
- PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3035-SS, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
- BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A) BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SUE SUPPORT."
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT, TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO BE BACKFILLED WITH GRAVEL. BACKFILL SHALL BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
- MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 11TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

DIRECTIONALLY DRILL 102' OF 6" D.I. WATER SERVICE, LIVE TAP TO EXISTING 12" D.I. WATER MAIN, AND ADD 6" GATE VALVE. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION

- VERIFY SIZE AND
ELEVATION OF EXISTING
SANITARY SEWER

CONNECT PROPOSED STORM
SEWER TO EXISTING MANHOLE
RIM: 856.80
EX 18" W INV: 852.67

BUILDING UNDERDRAIN—

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	RETAINING WALL
	RAILING
	FENCE
	SANITARY SEWER
	WATERMAIN
	STORM SEWER

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CLIENT:
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PROPERTIES, LLC**

CLIENT ADDRESS:
1952 ATWOOD AVENUE
MADISON, WI 53704

PROJECT:
1224 SOUTH PARK
STREET

PROJECT LOCATION:
MADISON, WI
DANE COUNTY

Design/Drawn: MS

Approved:

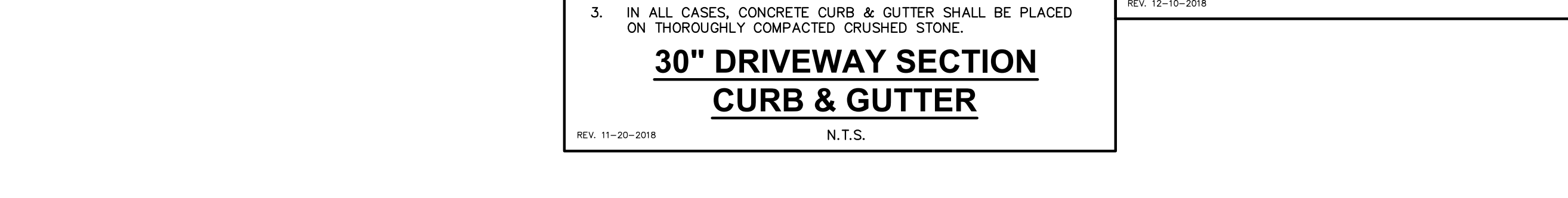
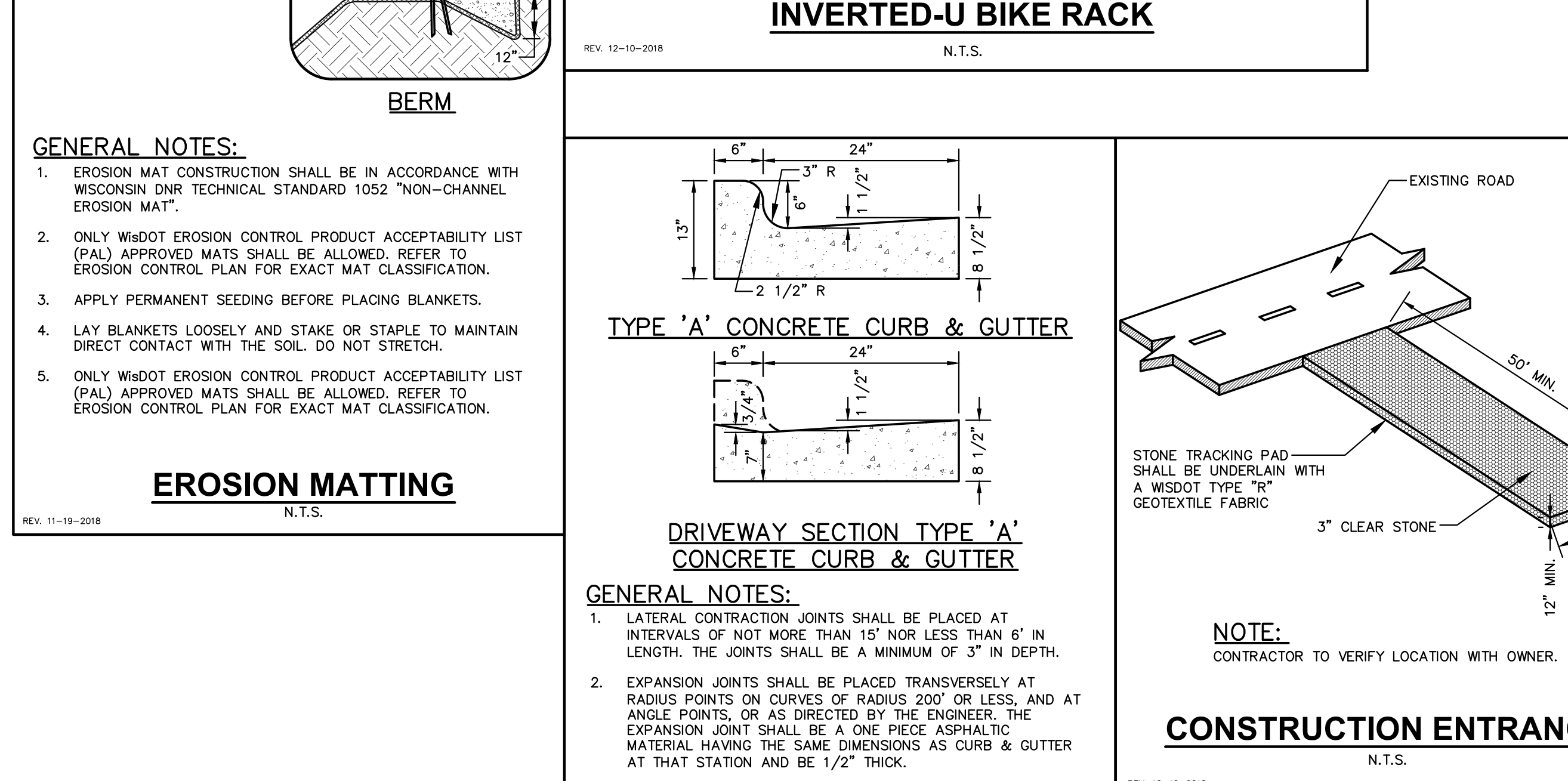
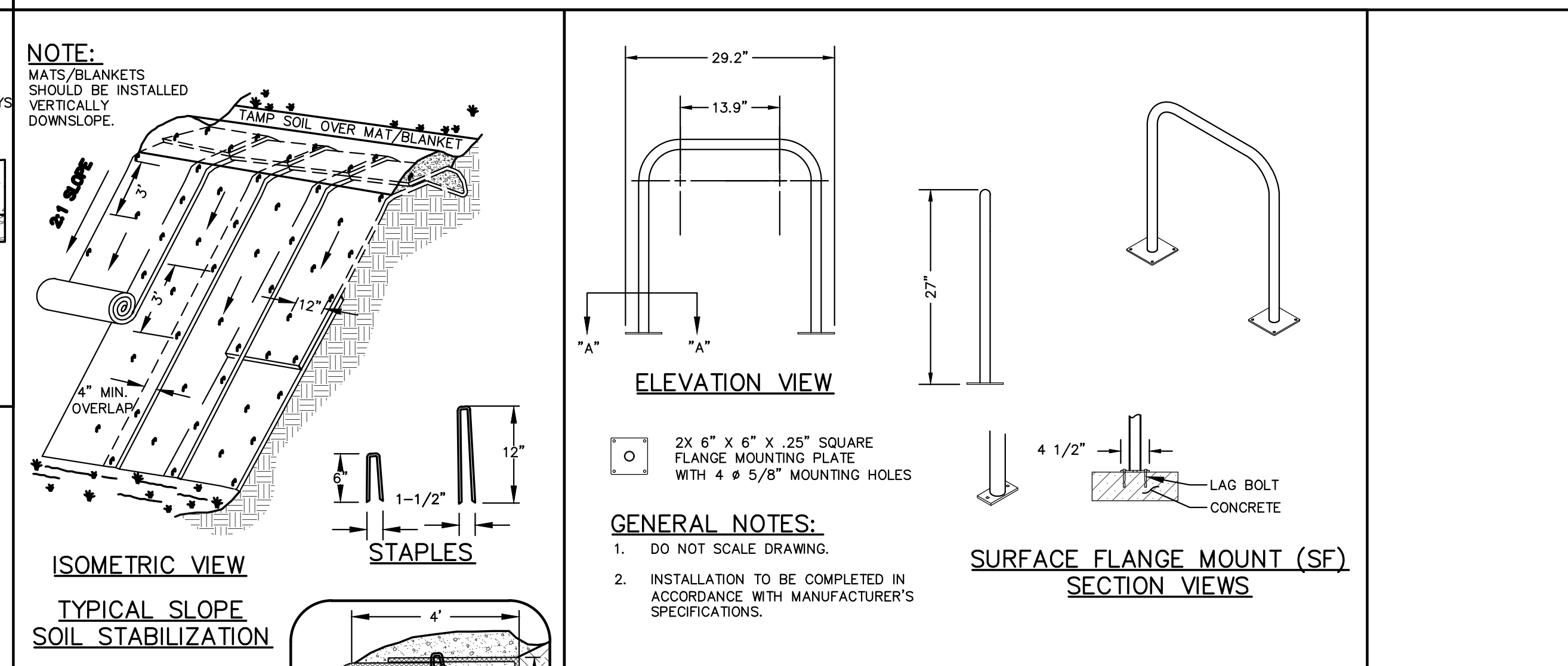
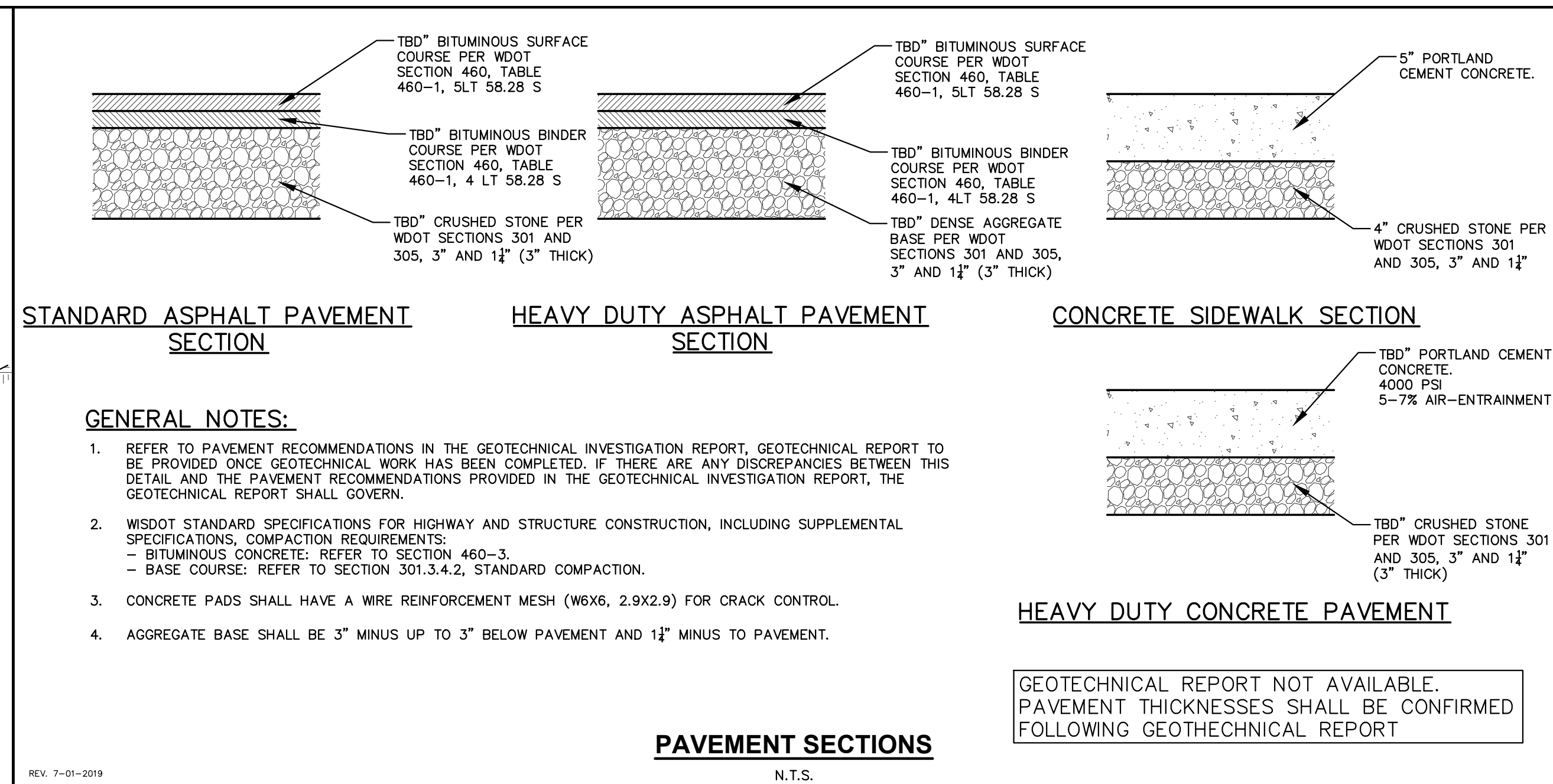
SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:

C4.0

JSD PROJECT NO: 20-972

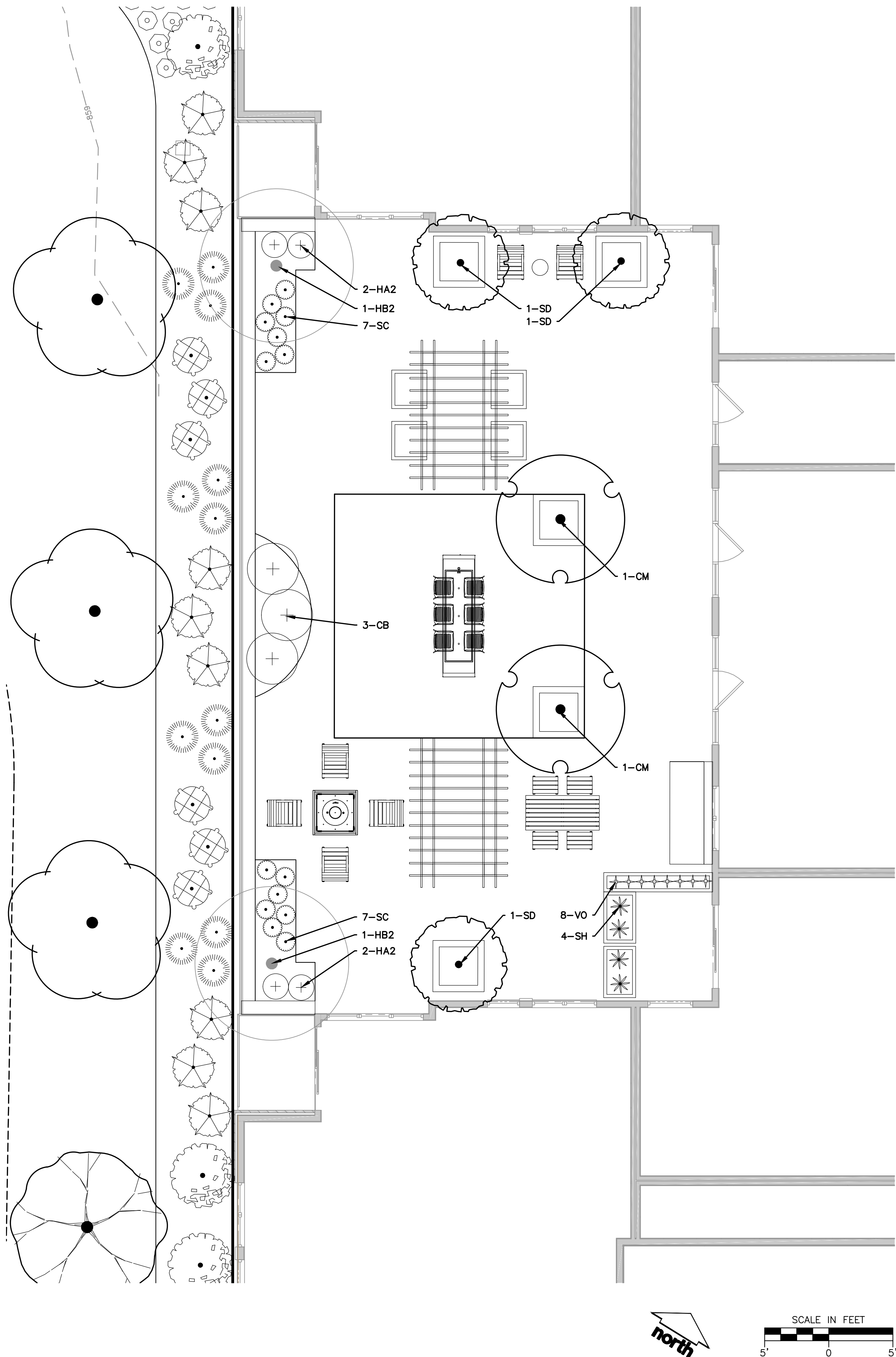




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JSD PROJECT NO: 20-972

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PLANT SCHEDULE ROOFTOP PLAZA					
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	2	<i>Cornus mas</i> / Cornelian Cherry Dogwood	B & B	1.5"Cal	15
	3	<i>Syringa pkinensis</i> 'DTR124' / Summer Charm Pekin Lilac	B & B	1.5"Cal	15
OVERSTORY DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	2	<i>Acer rubrum</i> 'Brandywine' / Brandywine Red Maple	B & B	3"Cal	
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	3	<i>Cotinus coggygia</i> 'NCC01' TM / Winecraft Black Smoke Tree	#3	Min. 12"-24"	3
PERENNIALS & GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	14	<i>Salvia nemorosa</i> 'Caradonna' / Cardonna Perennial Salvia	#1	Min. 8"-18"	2
	4	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	2
	8	<i>Veronica spicata</i> 'Glory' / Royal Candles Speedwell	#1	Min. 8"-18"	2
VINES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	4	<i>Hydrangea anomala petiolaris</i> / Climbing Hydrangea	#3	Min. 12"-24"	2



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P. 608.848.5060

CLIENT:
**PRIME URBAN
PROPERTIES, LLC**

CLIENT ADDRESS:
**1952 ATWOOD AVENUE
MADISON, WI 53704**

PROJECT:
**1224 SOUTH PARK
STREET**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	07.23.20	DAT PRESENTATION
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3	09.16.20	LAND USE - UDC SUBMITTAL
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Design/Drawn: MWS/SCD
Approved: KJY

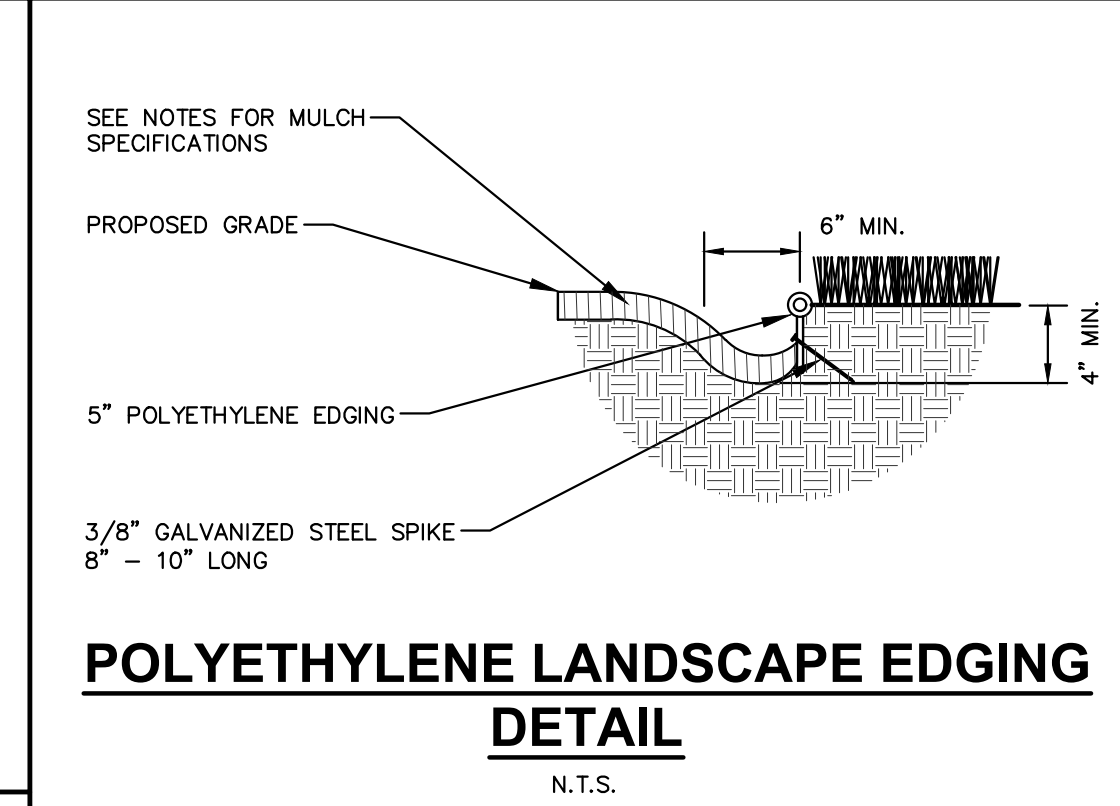
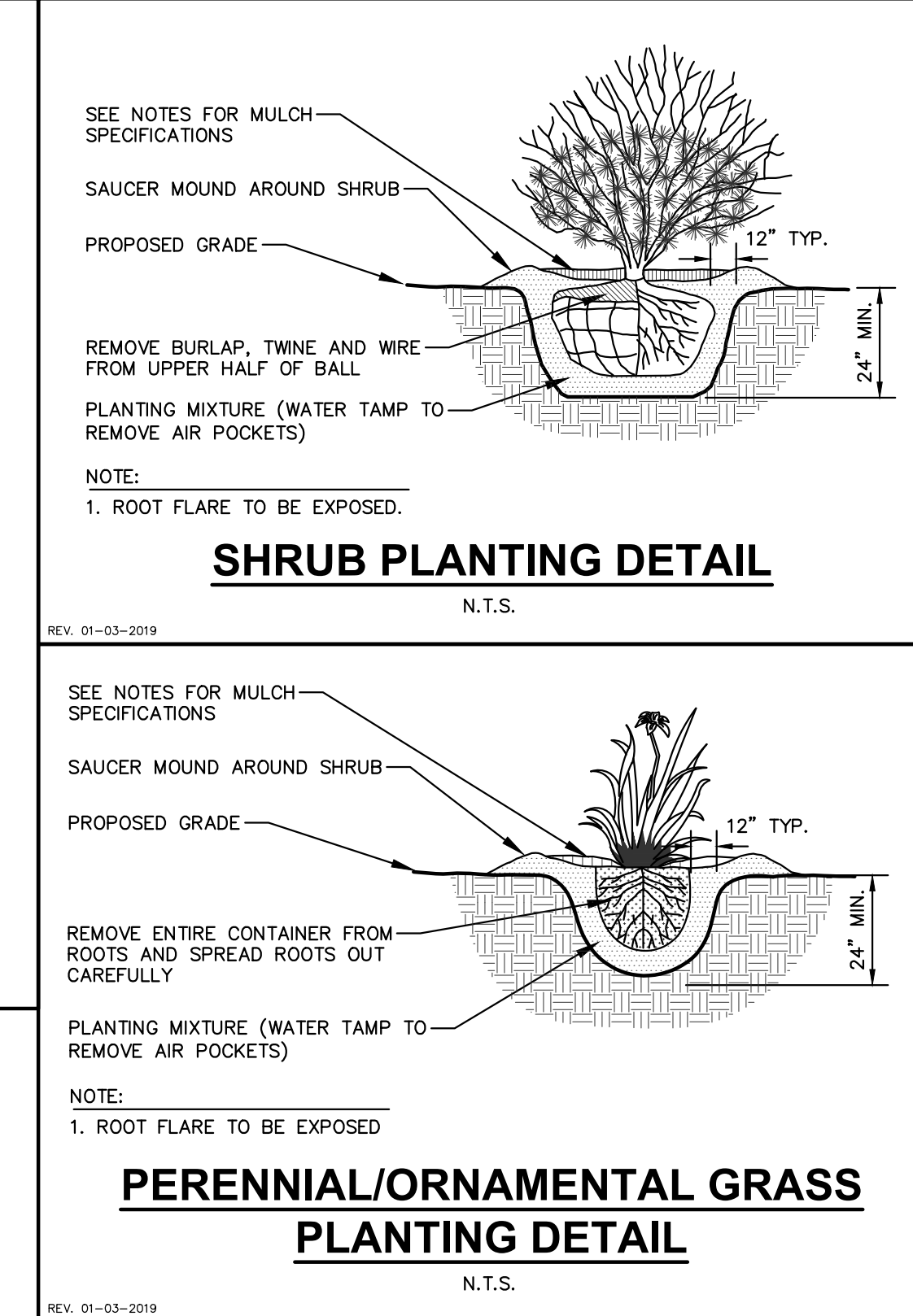
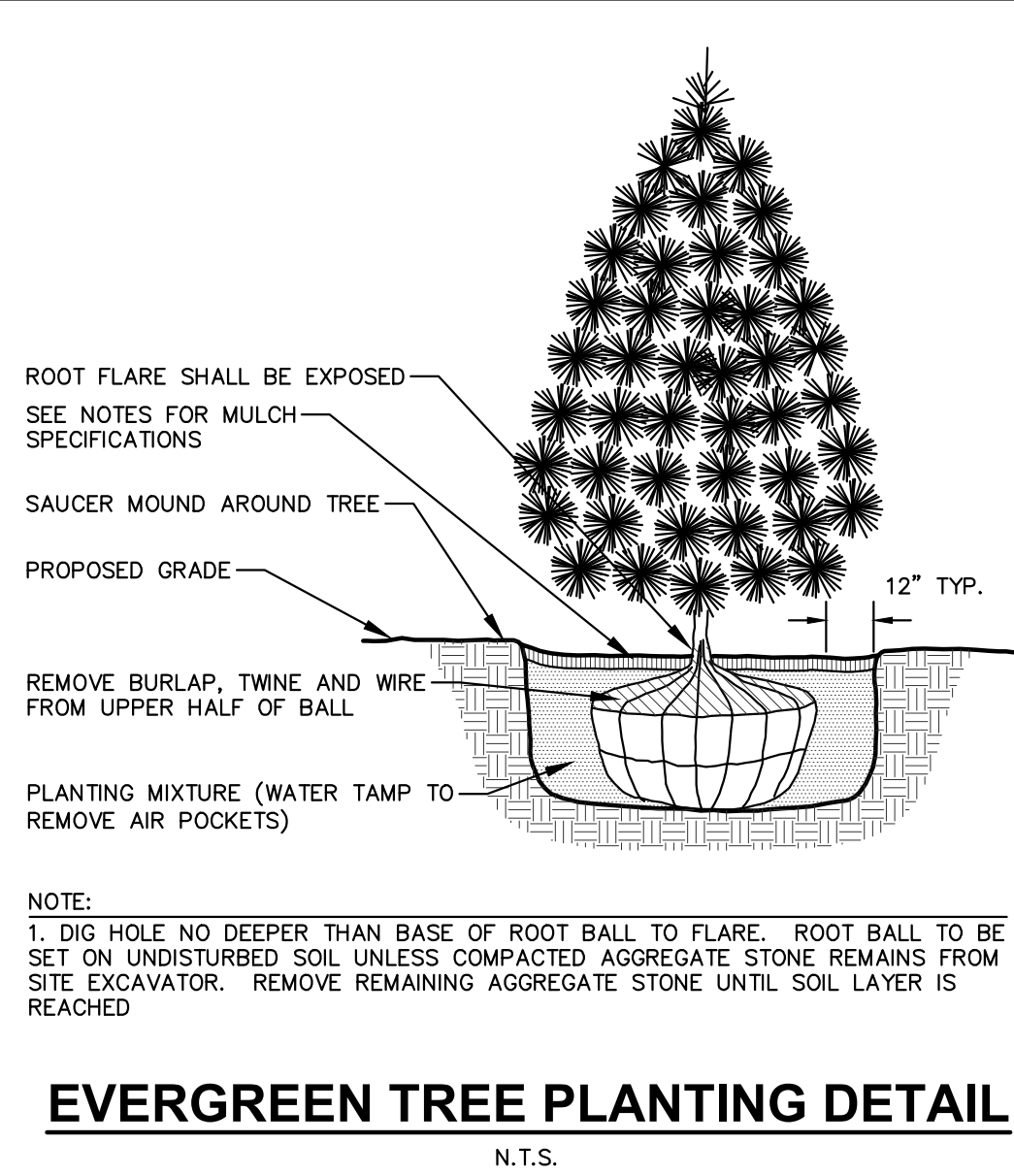
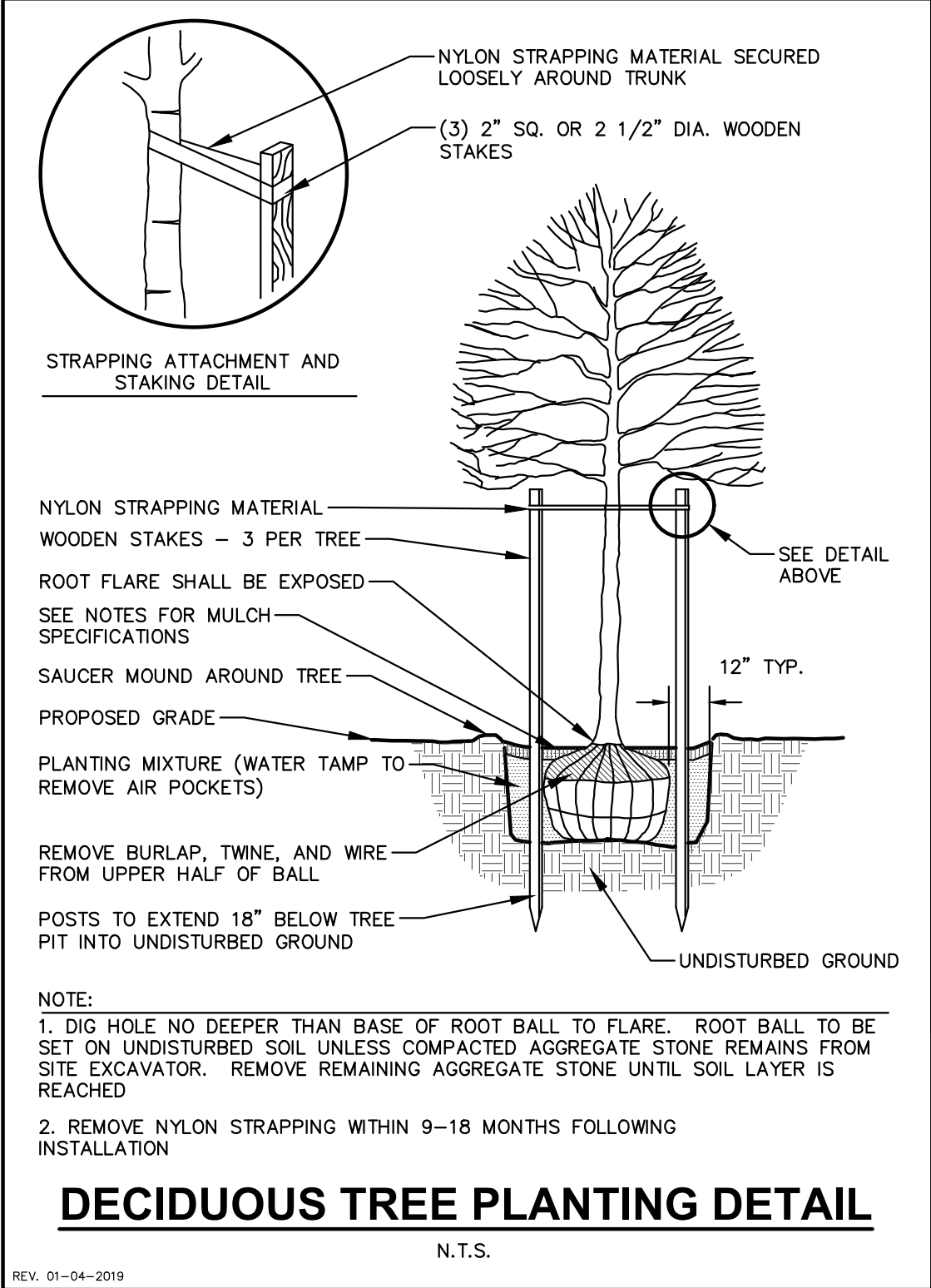
SHEET TITLE:
**2ND FLOOR ROOFTOP
PLAZA LANDSCAPE PLAN**


SHEET NUMBER:
L1.1

JSD PROJECT NO: 20-9723




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PLANT SCHEDULE COMPREHENSIVE					
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	2	<i>Cornus mas</i> / Cornelian Cherry Dogwood	B & B	1.5" Cal	15
	3	<i>Syringa pekinensis</i> 'DTRI24' / Summer Charm Pekin Lilac	B & B	1.5" Cal	15
OVERSTORY DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	2	<i>Acer rubrum</i> 'Brandywine' / Brandywine Red Maple	B & B	3" Cal	
	2	<i>Acer x freemanii</i> 'Marmo' / Marmo Freeman Maple	B & B	2.5" Cal	35
	3	<i>Ginkgo biloba</i> 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2.5" Cal	35
	2	<i>Quercus x warei</i> 'Regal Prince' / Regal Prince Oak	B & B	2.5" Cal	35
4-UPRIGHT EVERGREEN SHRUB	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	9	<i>Thuja occidentalis</i> X plicata 'Wintergreen' / Wintergreen Arborvitae	B & B	Min. 3' tall	10
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	14	<i>Celastrus alnifolia</i> 'Hummingbird' / Hummingbird Summersweet	#3	Min. 12"-24"	3
	3	<i>Cotinus coggygria</i> 'NCCB1' TM / Winecraft Black Smoke Tree	#3	Min. 12"-24"	3
	6	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	#3	Min. 12"-24"	3
	7	<i>Viburnum trilobum</i> 'Hahs' / American Cranberrybush	#3	Min. 12"-24"	3
	4	<i>Viburnum x juddii</i> / Judd Viburnum	#3	Min. 12"-24"	3
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	19	<i>Juniperus sabina</i> 'Mini-Arcadia' / Mini Arcadia Juniper	#3	Min. 12" Wide	4
	8	<i>Taxus x media</i> 'Everlow' / Everlow Yew	#3	Min. 12" Wide	4
PERENNIALS & GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	31	<i>Allium x 'Summer Beauty'</i> / Summer Beauty Allium	#1	Min. 8"-18"	2
	37	<i>Calamintha nepeta</i> 'Montrose White' / Montrose White Catmint	#1	Min. 8"-18"	2
	21	<i>Echinacea x 'Evan Sau'</i> / Big Sky Sundown Coneflower	#1	Min. 8"-18"	2
	26	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"	2
	14	<i>Salvia nemorosa</i> 'Cardonna' / Cardonna Perennial Salvia	#1	Min. 8"-18"	2
	61	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	2
	8	<i>Veronica spicata</i> 'Glory' / Royal Candles Speedwell	#1	Min. 8"-18"	2
VINES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS
	4	<i>Hydrangea anomala</i> petiolaris / Climbing Hydrangea	#3	Min. 12"-24"	2

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

	CITY OF MADISON LANDSCAPE WORKSHEET Section 28.142 Madison General Ordinance
Project Location / Address 1224 S. PARK STREET	
Name of Project 1224 S. PARK STREET	
Owner / Contact JSD PROFESSIONAL SERVICES, INC. / KEVIN YESKA	
Contact Phone 608.848.5060 Contact Email kevin.yeska@jdsinc.com	
** Landscape plan for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **	
Availability The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance: (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period. (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period. (c) No demolition of a principal building is involved. (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.	
Landscape Calculations and Distribution Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District. (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area. Total square footage of developed area 2,085 SF Total landscape points required 35 POINTS (b) For lots larger than five (5) acres, five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres. Total square footage of developed area 217,800 square feet First five (5) developed acres = 3,630 points Remainder of developed area Total landscape points required (c) For the Industrial - Limited (I-2) and Industrial - General (I-2) districts, one (1) point shall be provided per one hundred (100) square feet of developed area. Total square footage of developed area Total landscape points required	
Sub Totals 1078	
Total Number of Points Provided 1078	
* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.	

Tabulation of Points and Credits						
Use the table to indicate the quantity and points for all existing and proposed landscape elements.						
Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			9	315
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			5	75
Upright evergreen shrub (i.e. arbutus)	3-4 feet tall	10			9	90
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			34	102
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			27	108
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			194	388
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 50% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						1078

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 811 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AS TO BE UNIFORM IN APPEARANCE AS TO SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX-BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

SODDING NOTES

- MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRAGILE LOAM FROM A LOCAL SOURCE. FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: PLANTING AREA LABELED ON PLAN ADJACENT TO PARK STREET SIDEWALK SHALL RECEIVE A MINIMUM AND CONSISTENT 3" DEPTH OF 1-1/2" MISSISSIPPI RIVER STONE
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - ALUMINUM EDGING: PERMALOC "PERMASTRIP", COLOR: MILL FINISH, 3/16"x4", 6063 ALUMINUM ALLOY



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161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**PRIME URBAN
PROPERTIES, LLC**

CLIENT ADDRESS:
**1922 ATWOOD AVENUE
MADISON, WI 53704**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	07.23.20	DAT PRESENTATION
2	08.19.20	UDC INFORMATIONAL
3	08.16.20	LAND USE - UDC SUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**LANDSCAPE DETAILS &
NOTES**

SHEET NUMBER:

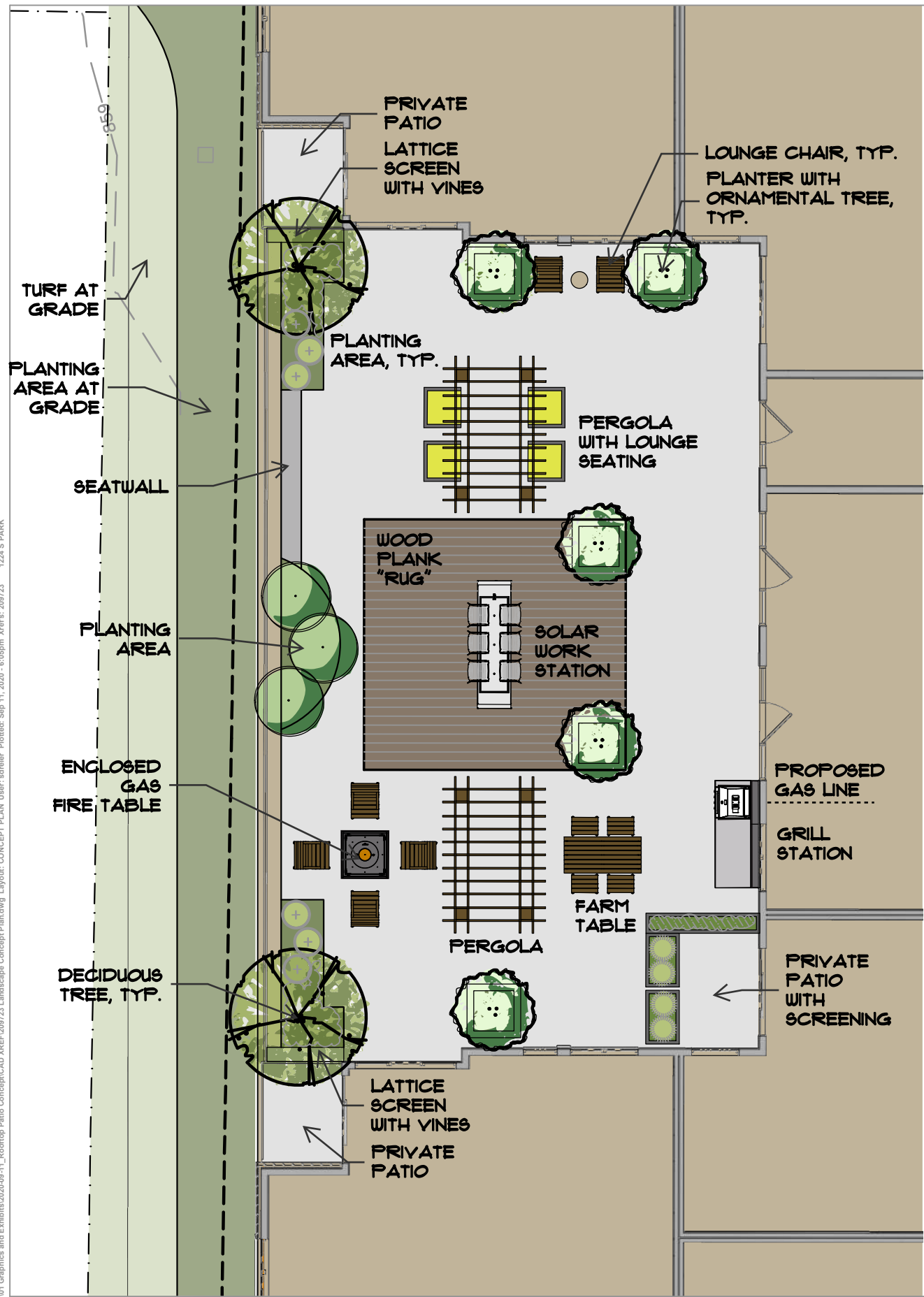
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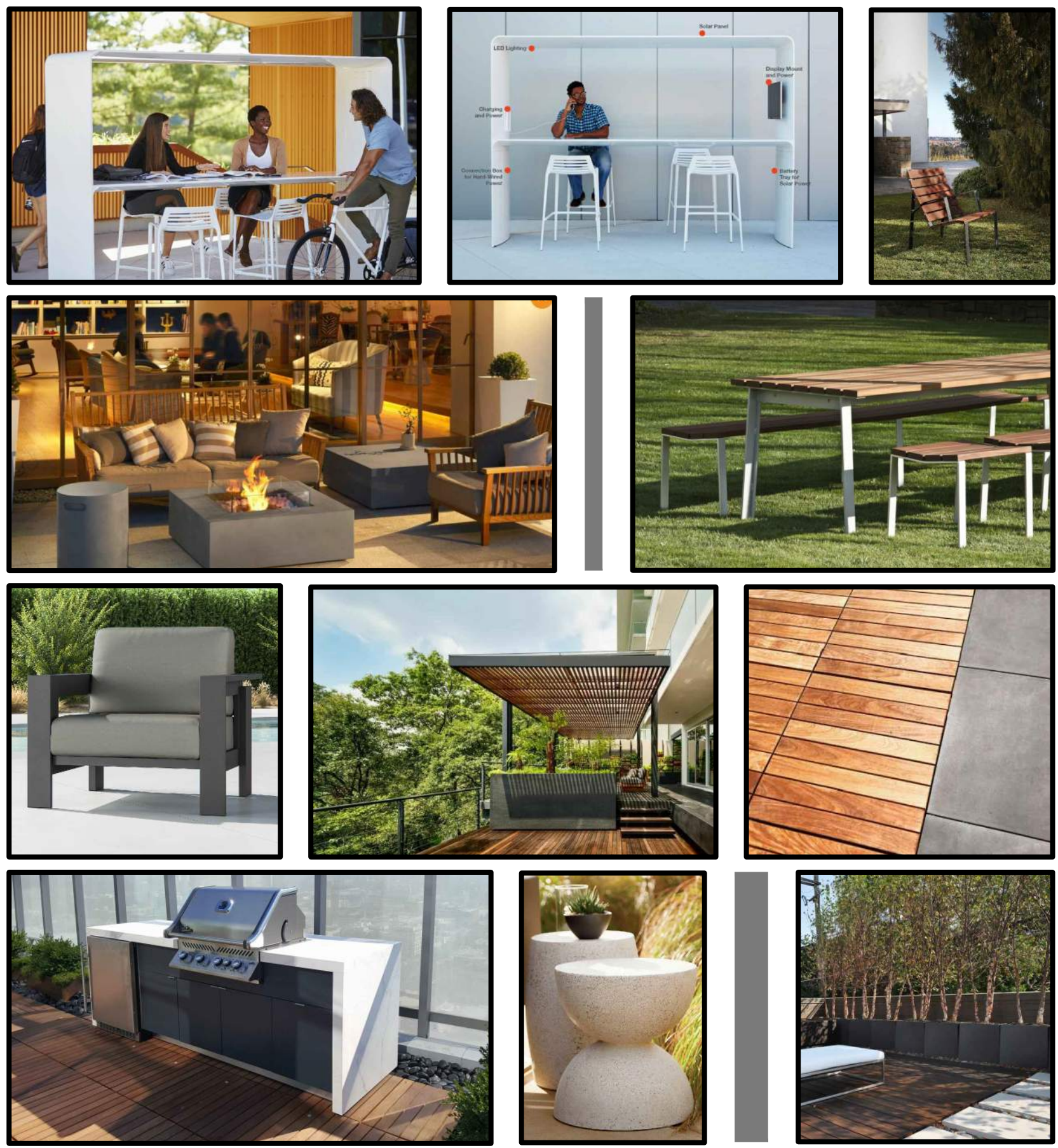
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REPRESENTATIVE IMAGERY:





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KEY PLAN

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09/16/20

PROJECT TITLE
PARK STREET
DEVELOPMENT

1224 S Park St
Madison, WI

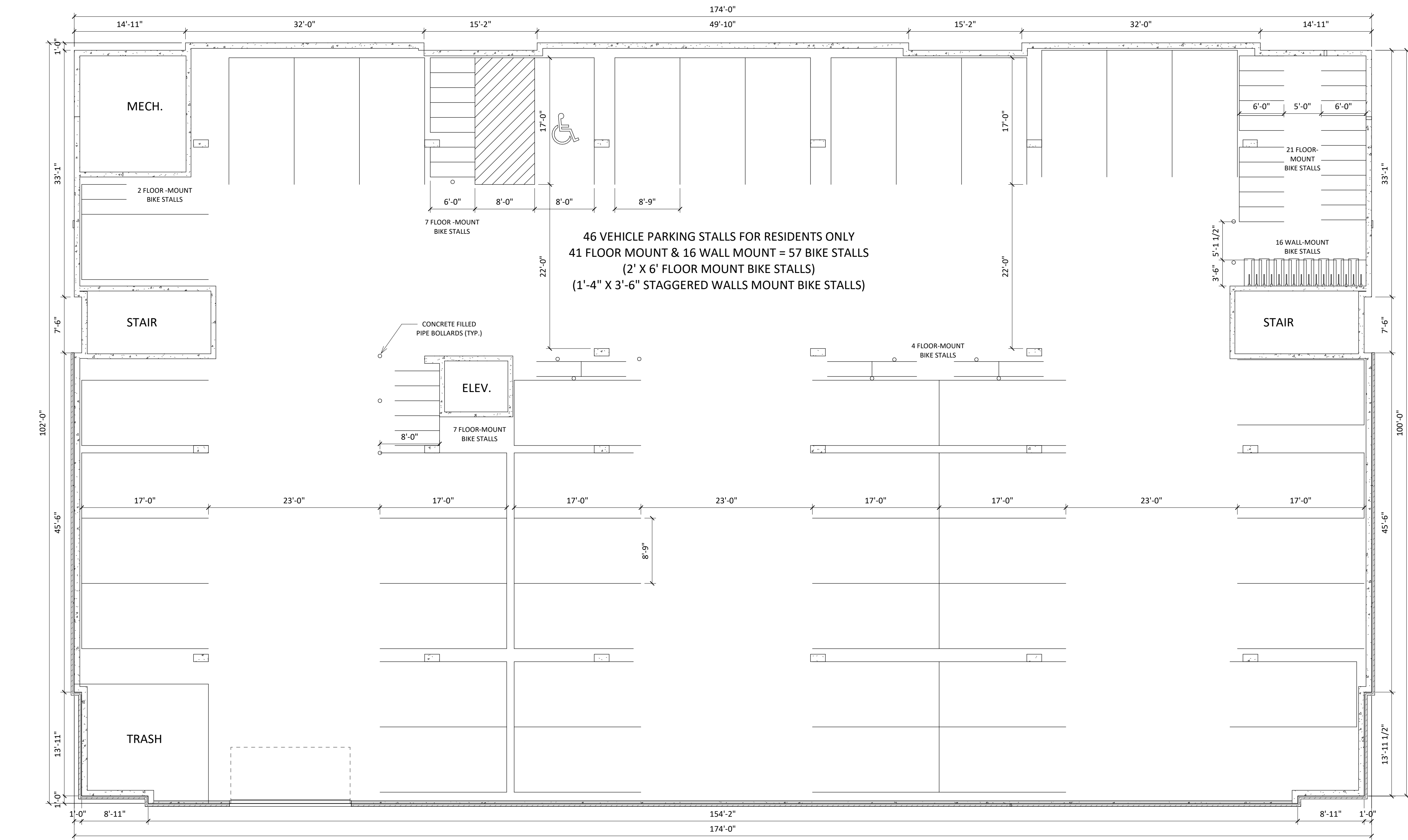
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BASEMENT
FLOOR PLAN

SHEET NUMBER

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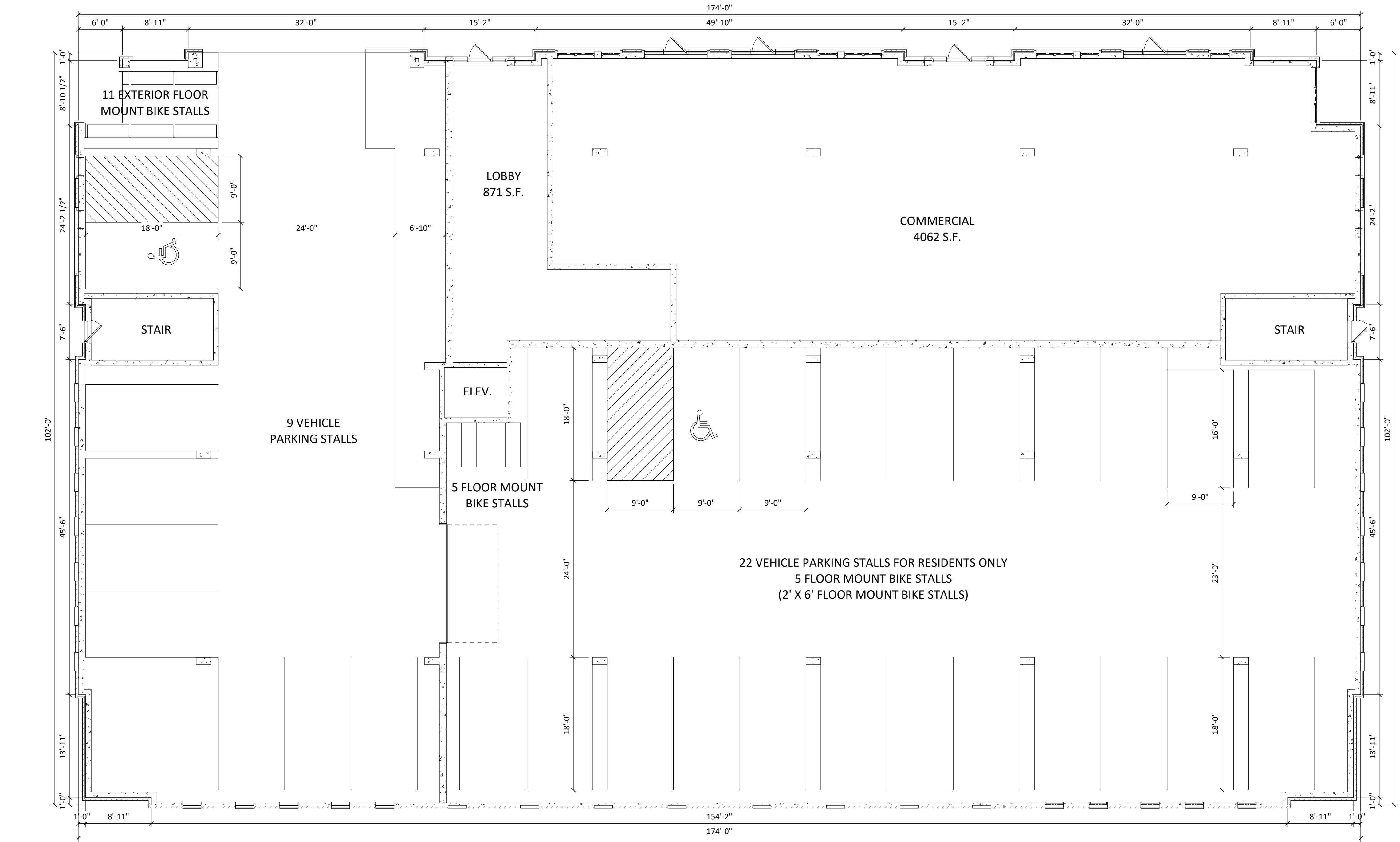
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FIRST FLOOR
PLAN

SHEET NUMBER

A-1.1

PROJECT NUMBER 2031

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1 01 - FIRST FLOOR
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SHEET TITLE
**SECOND FLOOR
PLAN**

A-1.2

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SHEET TITLE
THIRD FLOOR
PLAN

SHEET NUMBER

A-1.3

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1
A-1.3 03 - THIRD FLOOR
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SHEET TITLE
FOURTH FLOOR
PLAN

SHEET NUMBER

A-1.4

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1
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04 - FOURTH FLOOR
N.T.S.



KEY PLAN

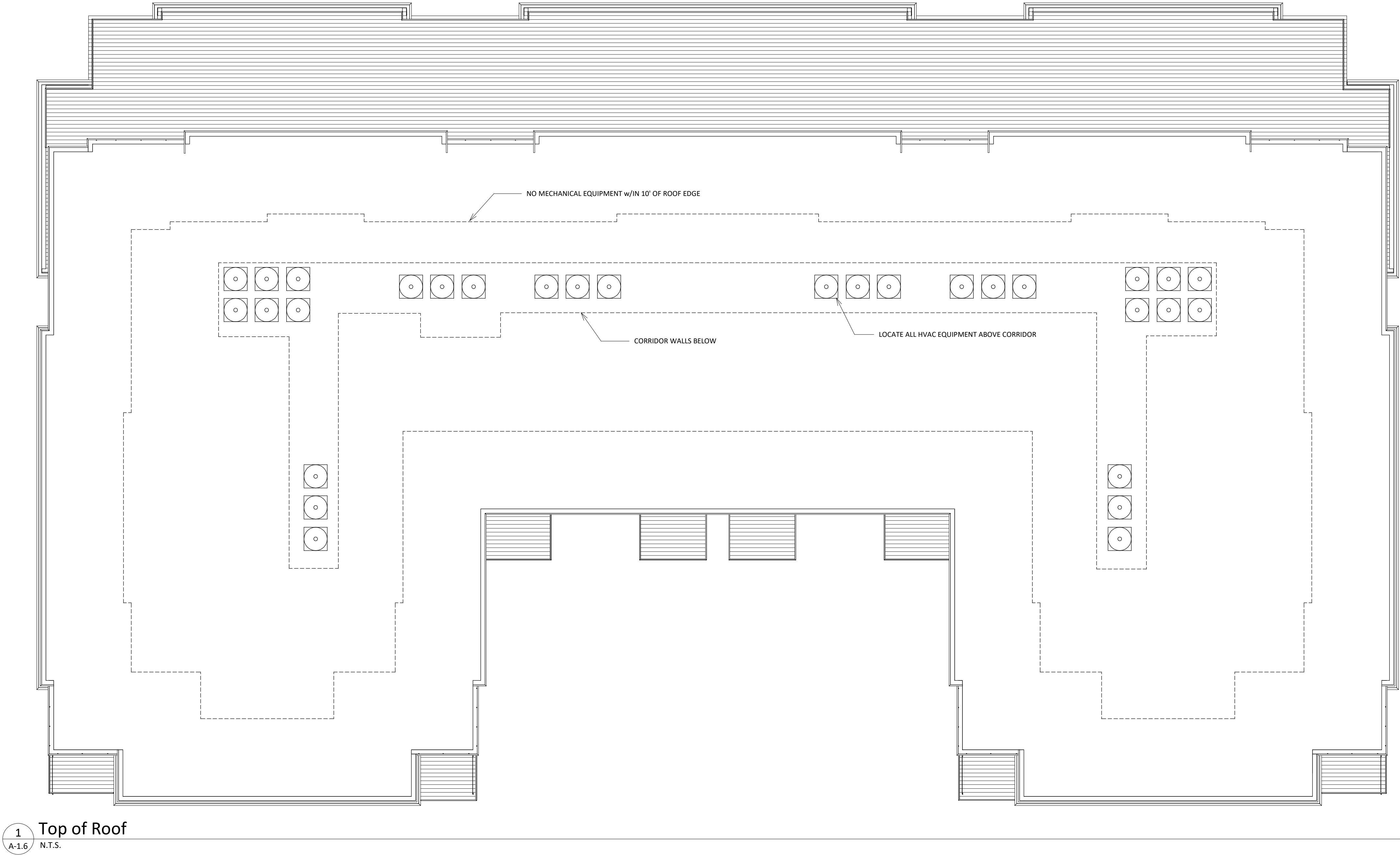


PROJECT TITLE
PARK STREET
DEVELOPMENT

SHEET TITLE
FIFTH FLOOR
PLAN

A-1.5

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SHEET TITLE
ROOF PLAN

SHEET NUMBER

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1 North
A-2.1 N.T.S.



2 South
A-2.1 N.T.S.



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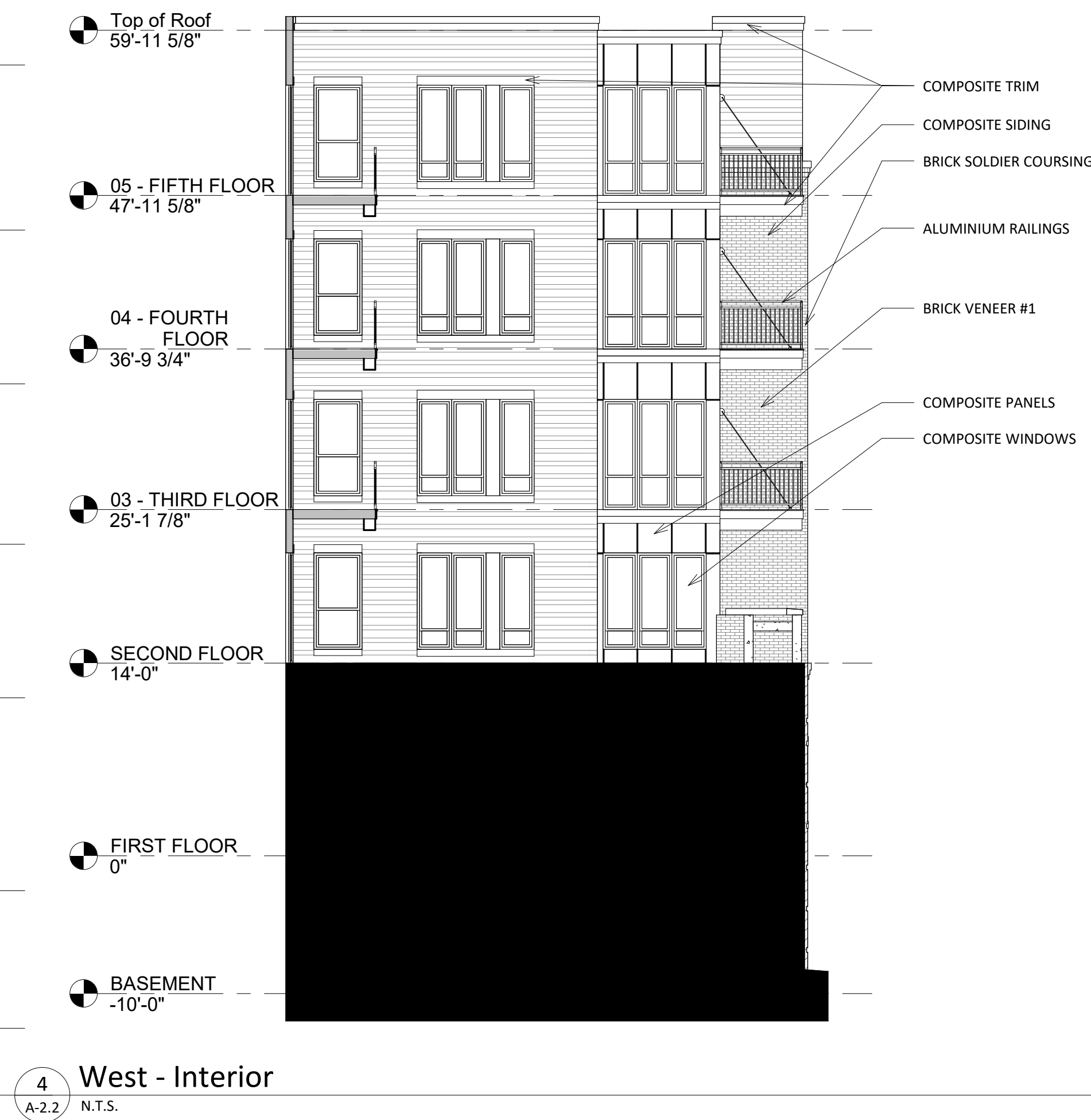
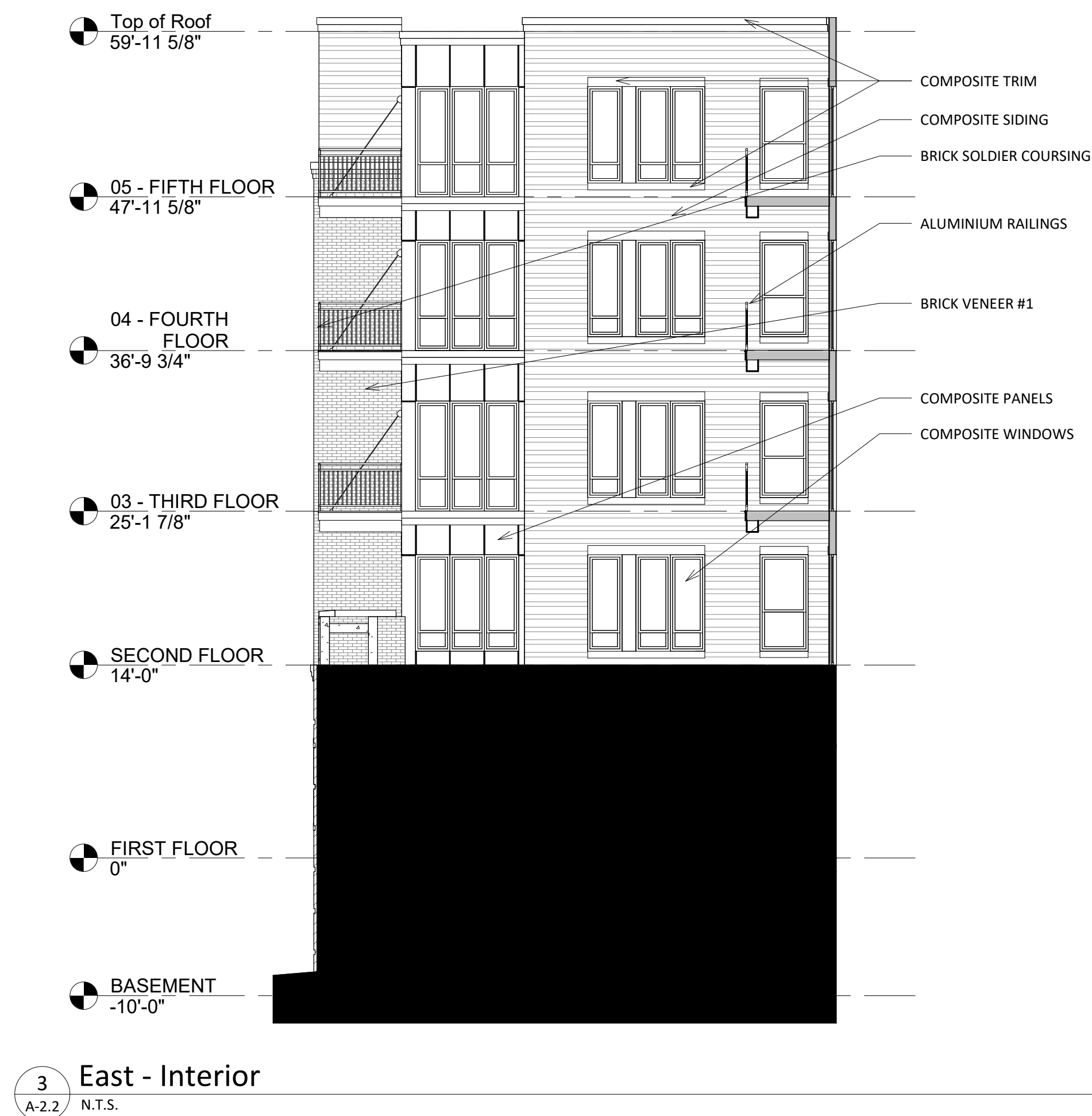
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ELEVATIONS**

SHEET NUMBER

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PROJECT NUMBER **2031**

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SHEET TITLE
**EXTERIOR
ELEVATIONS**

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1 COLORED - North
A-2.3 N.T.S.



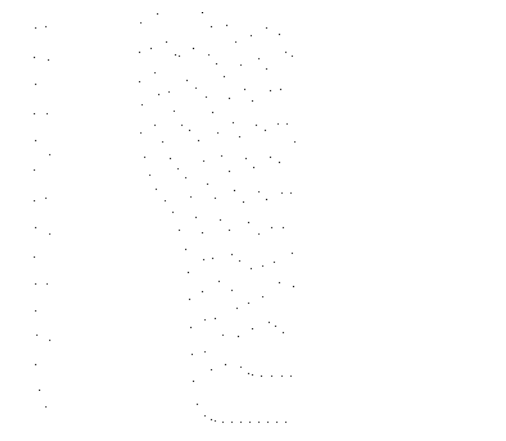
2 COLORED - South
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1 COLORED - East
A-2.4 N.T.S.



3 COLORED - East - Interior
A-2.4 N.T.S.



2 COLORED - West
A-2.4 N.T.S.



4 COLORED - West - Interior
A-2.4 N.T.S.



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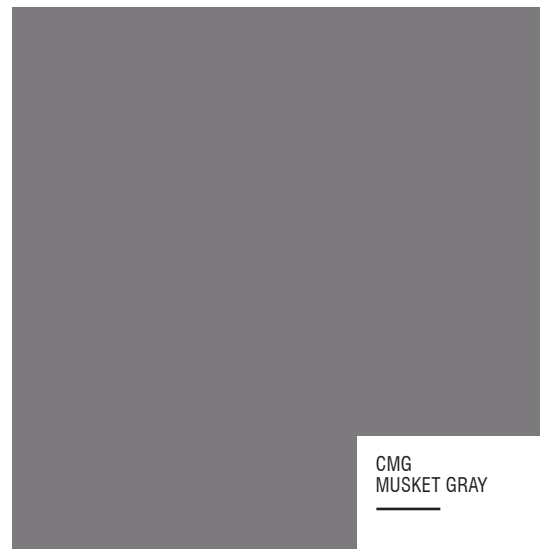
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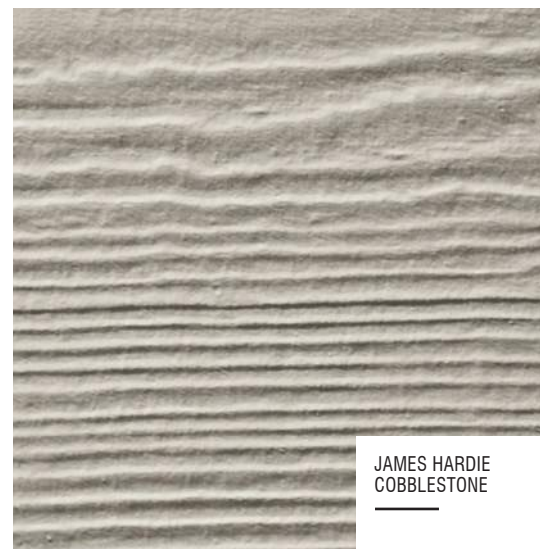
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COMPOSITE PANELS | TRIM



COMPOSITE SIDING



STONE BASE | SILLS | BANDS



**WINDOWS
ALUMINUM RAILINGS**



BRICK VENEER #1



BRICK VENEER #2



BRICK VENEER #3

**MATERIAL BOARD
PARK STREET DEVELOPMENT**

1224 S. PARK ST.
MADISON, WI
SEPTEMBER 16, 2020



PARK STREET DEVELOPMENT

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