

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

RECEIVED

9/23/2020
11:27 a.m.

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____

Street address _____

Telephone _____

Project contact person _____

Street address _____

Telephone _____

Property owner (if not applicant) _____

Street address _____

Telephone _____

Company _____

City/State/Zip _____

Email _____

Company _____

City/State/Zip _____

Email _____

City/State/Zip _____

Email _____

5. Required Submittal Materials

- ☒ **Application Form**
- ☒ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development Plans** (Refer to checklist on Page 4 for plan details)
- ☐ **Filing fee**
- ☒ **Electronic Submittal***
- ☒ **Notification to the District Alder**
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Matt Tucker, Jenny Kirchgatter, Janine Glaeser (planing staff) on January 4, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Curt Brink Relationship to property Developer
 Authorizing signature of property owner Curtis Brink Date 09/23/2020

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- ☒ Grading Plan
- ☒ Proposed Signage (if applicable)
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☒ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



March 8, 2019,
Revised April 30, 2019
Submitted May 4, 2020
Revised September 23, 2020
Via email

City of Madison
Plan Commission Land Use Submittal

Re: **Letter of Intent for Proposed Development
929 East Washington Avenue**

Dear Commission Members and City Staff:

We are pleased to present the enclosed documents for a new mixed use commercial and office development at 929 East Washington Avenue. The project is the next phase of the development of the 900 block of East Washington Avenue. Currently, the Hotel Indigo including the restoration of the historic Kleuter Building is under construction and will be opening this spring.

The revised Letter of Intent includes the following changes that have been highlighted:

1. 924 East Main Street Reconstruction
2. Street Tree Removal and replacement along Brearly Street
3. Solar Reflectivity Analysis summary
4. Reduction in building area and reduction in parking stall count
5. Sustainability and Energy Efficiency description
6. Design Progression to Parking Structure in southeast corner to increase parking stall count
7. Minor Alteration to the parking structure and 929 Office building as noted below.

This phase of the project will require a Conditional Use for a building taller than 5 stories located in the TE zoning district. We are also applying for a demolition permit for two buildings on the site. The project is located within Urban Design District 8 along the East Washington Capitol Gateway Corridor in Sub Block 13 A & B. The project meets the established requirements for building heights, façade height, minimum and maximum setback and step back requirements. The building height does extend in the area of bonus stories in terms of dimensions because of the higher floor to floor heights for office and commercial use.

During a recent informational presentation to the Urban Design Commission, the feedback we received on the building's design was very positive. One commission member complemented the "subtle and elegant" glass facade of the central mass of the building. Nonetheless, we understand that the zoning department has identified a concern with the proposed design to the extent that it conflicts with section 28.173(6)(c) of the zoning code (Podium Building; Massing and Articulation), which requires facades facing a public street to exhibit "vertical articulation" at a minimum interval of forty feet. It is our understanding that city staff may soon be recommending a change to the zoning text that would resolve this issue by vesting the Urban Design Commission with greater authority to approve the final design. It is our hope that consideration of the land use approvals for this project will move forward on a parallel track with the proposed text amendment.

Most of the building is planned for office use, the first floor along East Washington Avenue is planned for commercial, retail and restaurant use, although no tenants have yet to be identified for the first floor. If a restaurant is proposed on the first floor a separate conditional use approval will be required. Also, the terrace along East Washington Avenue is designed to accommodate outdoor seating and dining.

The exterior design of the building follows the set back and step back requirements of Urban Design District 8 creating a podium building. The first floor of the building facing East Washington Avenue is mostly glass and is recessed back from the face of the building exposing freestanding stone clad columns at the street level to create layering and depth at the street level. The next two floors of the podium are highly articulated with alternating vertical panels of stone and glass, the podium building is highly articulated to create interest at the pedestrian and street level. Limestone on the vertical panels and column cladding recalls the sand stone wall around Breeze Steven Field across the street. Above the podium is a glass volume with two creases creating three sloped smooth glass planes each with a unique reflection. The upper part of the building is intended to be viewed from a further distance and add interest to the city skyline with its iconic and memorable shape. The parking structure is in the center of the block and is screened from East Washington Avenue by the office building. Future phases of the development will continue to surround and screen the parking structure except at the telephone building and internal driveway, where the parking structure will remain exposed. Along the south and east facades green screen panels are attached to the concrete structure and planted with vines from the ground and from the green roof to create green columns in the spring summer and fall. The roof of the parking structure is covered with both extensive and intensive plantings and outdoor seating areas for the building occupants. The growing medium is mounded over structural columns to allow for small trees on the roof.

A design progression to the parking structure, submitted May 4, 2020, is limited to the southeast corner of the parking structure, where the floor plans are revised to remove the notch in the plan that created a distance separation from the existing Telephone Building. The plan revision adds a small amount of floor area to each ramp level and green roof, and parking spaces on each ramp level, increasing the stall count by 55 additional parking spaces.

The revised design also includes a full height exit stair in the southeast corner to improve ramp egress design. The Developer is now considering potential development of the existing Telephone Building as a mixed used residential apartment building as an addition to the 929 Est Washing Avenue Project. The exit stair provides connection to the parking ramp at some ramp levels for convenient connection to parking, and resident egress to the street.

Given the existing and proposed design conditions of the parking ramp's proximity to the Telephone Building, the exterior wall of the Parking Ramp as submitted with the Minor Alteration considers the IBC code requirements for exterior wall fire separation distance for two buildings on same lot, and includes a fire wall separation with no wall openings in the Parking Ramp in the vicinity of the Telephone building to the extents required by code. The fire wall is constructed of concrete masonry with a designed pattern for visual aesthetics of the exposed area.

A Minor Alteration is being submitted on September 2, 2020 for some minor changes to the 929 East Washington Project. The Minor Alteration is limited to:

- Basement of Parking Structure is eliminated.
- Parking Structure floors P3, P4 and P5 are extended towards E Washington. (no additional height or bulk)
- Number of stalls went from 626 to 718. (addition of 92)
- Phase 1/ phase 2 concept for completing the construction.
- Exterior design of the Phase 1 Parking Structure, materials, modified. (reviewed by UDC)
- Exterior design of 929 East Washington façade, modified very minimally to go from office use to parking use, but same materials and look, with frosted glass to screen parking floors.
- Area of 929 went from approximate 252,000 SF to 208,000. (44,000 SF less- loss of area on 2 and 3)

Minor Alteration drawing revisions are identified on affected drawings with revision clouds and title block revision date to identify the Minor Alteration drawing changes.

Most of the major mechanical equipment is located within the building. Because of the FAA height restriction there are no major mechanical systems on the top roof of the building. Mechanical units are located on the third floor along the northwest corner of the building, as well as on each floor of the office building within the core. An emergency generator is located on the top floor of the parking garage, an electrical vault is located on the ground floor of the parking garage, and an outside air system is located on the fifth floor facing the green roof.

A traffic impact analysis has been completed on the site by Strand Associates, and has been submitted to Traffic Engineering. Jeff Held of Strand is currently working on the Traffic Demand Management Plan.

Demolition Request

The buildings required to be demolished to allow for the new development and parking structure include:

1. 945 East Washington Avenue, a one-story wood frame building with a brick façade along East Washington Ave
3. 924 East Main Street, a 1 story brick building with garage door on East Main Street

924 East Main Street – Deconstruction and Reconstruction

Based on discussions with a few members of the neighborhood and the Alder Rummel the developers have agreed to deconstruct and save the façade of the 924 East Main Street building and to reconstruct the street façade in the future so that it can be incorporated into the terrace design of the future buildings on that site. The bricks and stone will be labeled and stored inside a warehouse until they can be reconstructed at the site. This concept was approved at Urban Design Commission.

Street Tree Removal

One street tree requires removal based on the new driveway location on Brearly Street. The tree is a 2" Caliper Linden. It will be replaced by a new 2" Caliper American Sentry Linden in the same general location centered between the northern edge of the new driveway and the southern edge of the existing Credit Union Driveway along Brearly Street. The landscape architect is working with Brad Hofmann at City Forestry.

Existing buildings to remain

1. 946 East Main Street, The Wisconsin Telephone Building
2. 949 East Washington Ave, Wisconsin Employees Credit Union Building

Hotel at 901 East Washington

The new Hotel Indigo at 901 East Washington, which is planned to open at the end of March, will have 144 guest rooms as well as a 100-seat restaurant. Valet parking service will be provided to hotel guests and

restaurant patrons. All valet parking operations will take place on-site at the main entrance to the hotel lobby; no valet operations will take place on-street. The hotel's site plan was originally approved with 133 surface stalls. In the new site configuration, the hotel site will have 75 stalls in a tandem layout, all of which will be used exclusively to support the valet parking operation. Parking Management Company LLC (the company that manages the successful valet service at the hotel at the corner of N. Webster and E. Washington) has been selected as the operator of the valet parking for the new Hotel Indigo. To supplement the 75 on-site spaces, the developer has negotiated for a 2-year commitment (with extension options) from the City of Madison Parking Utility for up to 50 spaces in the nearby South Livingston Street Garage, which will be available to the Hotel Indigo while the 929 parking structure is under construction. Those spaces will be available evenings and weekends. Once the parking structure is completed for the 929 project the hotel will utilize the 75-stall (tandem) surface lot and the 929 East Washington Avenue parking structure for all its parking requirements. It is anticipated that the peak requirement for parking for the hotel and restaurant will take place after office work hours and will complement the office parking use.

Site Description

The 4.3-acre property is located on the 900 block of East Washington Avenue, bounded by South Paterson Street, East Main Street, South Brearly Street and East Washington Avenue, with the exception of a 10,800 square foot parcel on the corner of South Brearly Street and East Washington Avenue. Currently, the block consists of Units 1, 2 and 3 of the Archipelago Village Condominium. The Archipelago Village Condominium Plat and Declaration will be amended and restated as part of this development phase to amend the boundaries of Unit 2 (surface parking lot unit), to create Unit 3 (office building unit), to create Unit 4 (parking structure unit) and to create Unit 5 (area for future development on the southeast corner of the block). Unit 1 (Hotel Unit) will remain as currently described and depicted in the Archipelago Village Condominium documents.

Project Data

Zoning District: TE, Traditional Employment

Urban Design District 8

Aldermanic District 6, Marsha Rummel

Building Use: Office and commercial uses, future first floor uses may include retail and restaurant

Building Stories: 11 Stories

First Floor Elevation: 852' (18" above grade)

Building Height: 156'-6", tops out at elevation: 1008.5'

Maximum height allowed per FAA within 3-mile radius of the airport: Elevation: 1009' or 157.0' tall (1009' – 852' = 157')

Building Area: ~~252,577~~ 208,000 Gross Square Feet

First Floor potential commercial/retail/restaurant area: approximately 11,000 Useable Square Feet

Parking: ~~626~~ 718 parking stalls

Bike Parking: 133 stalls

Setback from property line along East Washington: 15'

Zoning Requirements:

1. The project is zoned Traditional Employment TE
2. Building Form: Podium Building
3. Office use Parking Requirements:
 - a. Maximum Required:
 - i. 1 per 250 sq. ft. of floor area

- ii. ~~247,577 GSF / 250 = 990~~ maximum number of stalls (~~252,577 GSF – 5,000 SF for restaurant = 247,577 GSF~~)
 - ii. 203,000 GSF / 250 = 812 maximum number of stalls (208,000 GSF – 5,000 SF for restaurant = 203,000 GSF)
 - b. Minimum Required:
 - i. 1 per 400 sq. ft. of floor area
 - ii. ~~247,577 SF / 400 = 618~~ 203,000 SF / 400 = 508 minimum number of stalls
 - iii. Assume 5000 SF Restaurant with 100 seats, 15% of max seating = 15 stalls
 - iv. Total Minimum required = ~~633~~ 523
 - c. Vehicular parking proposed: ~~626~~ 718 Stalls
 - d. Bike parking required: 1 per 2,000 sq. ft. of floor area
 - i. ~~252,577 SF / 2000 = 126 stalls~~ 208,000 SF / 2000 = 104 stalls
 - e. Bike parking provided: 133
 - i. On grade East Washington Ave: 18
 - ii. Within parking structure on first floor near entrance: 69 bike stalls
 - iii. On lower level of parking structure in bike parking room: 46 bike stalls
- 4. Restaurant use Parking Requirements:
 - a. Assume (1) 5000 SF restaurant with 100-person capacity
 - b. Minimum: 15% of capacity: 15 stalls
 - c. Maximum: 40% of Capacity: 40 stalls
 - d. Bike parking requirement: 5% of capacity: 5 bike stalls
- 5. Parking Reductions:
 - a. Vehicular: up to 50% reduced on transit corridor
 - b. Bicycle: Zoning Administrator can reduce requirement based on several factors
- 6. Loading Requirements:
 - a. Office buildings: 50,000 SF to 200,000 SF require 2 loading spaces of 10' x 50'
 - b. Buildings over 200,000 SF require 2 loading spaces, plus 1 additional loading space per 75,000 SF above 200,000 SF.
 - c. Project office area: ~~252,577~~ 208,000 SF
 - d. Shared Loading: 2 or more uses on adjacent zoning lots may share a loading area. Loading area will be shared with the Hotel Indigo.
 - e. 4 Loading spaces are provided:
 - i. (2) 10' x 50' loading zones are provided on the internal drive (which does not require the semi-trucks to back-up on a public street unlike several other new developments in the area). Not backing-in off a public street will increase pedestrian safety and reduce traffic.
 - ii. An additional (2) 10' x 35' box truck loading and receiving area is provided off the internal drive.
- 7. Trash for the new 929 building is provided in an enclosed room within the parking structure and is accessed from the internal drive.

Urban Design District Eight – Preliminary Summary of Standards & Requirements: Block 13.a

- 1. Building Height Requirements:
 - a. 12 stories maximum with 3-5 stories at the street level.
 - b. Building Height provided: 11 stories with 3 stories at street level and 8 stories stepped back 15'
 - c. Building Height requirement: Maximum height without bonus stories: 147'
 - d. Building height proposed: 156'-6", this is 9'-6" over the maximum that the building height allows before the bonus story allowance.

- e. 3 bonus stories are allowed on block 13a. This project is only asking for an additional 9'-6" in height.
 - f. Bonus story requirements fulfilled by:
 - i. Structured parking shared by multiple users with space for public use
 - ii. Mid-block and through block public pedestrian, bike and or vehicular connections.
 - iii. Minimum of 50% vegetative roof cover
 - iv. Potential onsite daycare
 - v. Rehabilitation of historic structures: Kleuter Building and Wisconsin Telephone Garage and Warehouse.
2. Building Location and Orientation Requirements:
 - a. 15' minimum setback along East Washington and 10' maximum setback along South Patterson.
 - b. Building Location and Orientation provided: 15' setback along East Washington
3. Parking and Service Area Requirements:
 - a. Parking should be located behind or along the side of the building. No additional access points shall be added along East Washington. Landscape tree islands shall be provided at a ratio of 1:12
 - b. Parking and Service Areas Provided: Structured parking is in the center of the block and behind the current proposed development. Loading and trash are located along the internal north south drive that was approved as part of the Hotel Indigo project. Subsequent future phases will continue to enclose and screen the centrally located parking structure. No new surface parking is proposed for this phase.
 - c. The main parking access is from South Brearly and South Paterson Streets.
4. Landscaping and Open Space Requirements:
 - a. Street façade along East Washington shall provide a dual canopy of trees along both the building setback and the public right of way.
 - b. Landscaping and Open Space Provided: A dual tree canopy is provided along East Washington along with a raised terrace for outdoor seating.
 - c. A green roof is located above the parking structure
5. Building Massing and Articulation Requirements:
 - a. All visible sides of the building shall be designed with details that complement the façades. Architectural details at the ground floor shall be provided to enhance the pedestrian character of the street. Mechanical equipment shall be screened and integrated with the building design.
 - b. Building Massing and Articulation Provided: The ground floor of the building is setback behind exposed structural columns to increase the depth of the sidewalk and terrace area and provide depth, layering and interest for pedestrians. First floor uses are intended to activate the street and outdoor terrace. Mechanical equipment is located internally and screened.
 - c. The 3-story building base is more articulated with vertical windows and opaque panels to add interest and scale at the pedestrian and vehicle level. The upper floor volume is imagined as a glass volume with unique angles and creases to create a memorable architectural statement that can be perceived from a distance adding to the interest of the city skyline.
6. Materials and Color Requirements:
 - a. Exterior material shall be durable, high-quality materials and appropriate for external use.
 - b. Materials and Colors Provided: Durable materials shall be used.
7. Window and Entrance Requirements:
 - a. 60% of the ground floor shall be glazing.
 - b. Window and Entrances provided: 60% or more of the ground floor will be glazing on the primary street façade.
8. Restoration of Buildings with Historic Value Requirements: Owners are encouraged to restore the original character of historically significant buildings.

- a. Restoration of Buildings with Historic Values Provided: The Kleuter Wholesale Grocery Warehouse building was designed by Alvin E. Small and built in 1915. It was built for Kleuter and Co, one of Madison's most well-known wholesale groceries at the time. The five story building consisted of brick and cast-in-place reinforced concrete. The primary façades along East Washington Avenue and South Peterson Street are brick façades and were designed in the prairie school style. These façades remain largely unaltered. All exterior façades will be restored to their original character as part of the historic restoration and reuse as the Hotel Indigo.
 - b. The Wisconsin Telephone Co. Garage and Warehouse building at 926 East Main Street will remain in place and repurposed when the right tenant is identified. The brick garage has masonry buttresses and a gabled metal roof, it was built in 1929 in a Colonial Revival style, the architects were Herbst and Kuenzli. The project is not registered as a landmark but is eligible for the designation.
9. Signage
 - a. Branding and wayfinding signage will be incorporated into the architecture of the building and site entrances.
 - b. A signage package is not part of this submittal and will be completed for submittal to the Urban Design Commission.

Solar Reflection Analysis

The developer retained RWDI to analyze the impacts from solar reflections. RWDI prepared a detailed solar reflection analysis for the proposed project and determined that the solar reflections do not indicate any significant potential for thermal impacts to people or property, and that the predicted visual impacts are typical of those seen in any urban environment. The study was reviewed and approved at UDC. An executive summary is included with this submission. The full study is available for review, and Ryan Danks from RWDI will be appearing at the Plan Commission meeting to review the report and answer questions.

Sustainability and Energy Efficiency

The project has several sustainable and energy efficiency measures. Located in a urban redevelopment district the project provides added density on an underutilized site in downtown Madison, reducing sprawl and saving greenspace. Two historic buildings on the block will remain and be restored. The project contains all structured parking within the center of the site creating a better pedestrian experience at the street level. By not over building parking stalls the project encourages use of mass transit and other means of transit beside personal vehicles, which also helps to reduce traffic and reduce greenhouse emission. An indoor bicycle storage room located on the first floor, provides a heated space for bike users along with lockers and showers to encourage bike usage. 2 green roofs will create a connection to nature and allow users to be outside within a landscaped area in the center of the city. The green roofs will reduce storm water runoff from the site and reduce the urban heat island effect.

High efficiency glass provides daylight and views for the occupants while reducing the solar heat gain of the façade. While the building may look like an all glass building, it is not. The amount of vision glass on the project is kept below 43%, the remainder of the façade is either spandrel glass that is insulated, or stone and/or metal panels that are insulated behind finish material. The boiler that is specified is a high efficiency condensing boiler rated at 96% efficiency. Each floor has an energy recovery unit to temper the incoming fresh air and reclaim heat. The HVAC system for the tenants will be either a heat pump system or a VRF system. Both systems have a recirculating water or refrigerant loop that allows heating and cooling to occur at the same time, creating efficiencies by extracting heat to cool a portion of the building while using that extracted heat to heat another portion of the building. The building will utilize LED light fixtures throughout saving electrical energy. The team will work with Focus on Energy to study additional energy efficiency measures and is currently exploring the use of low-profile solar PV panels on the upper roof to provide renewable energy.

Future development on the site will continue to add density within the central urban district. A mix of uses is proposed to balance the parking and traffic concerns and to create a vibrant live, work, shop, environment. Additional amenities are proposed on the ground floor to encourage walking and reduce the need for personal vehicles.

Future Phases

The developer intends to continue to develop the site with opportunities for several future buildings and additional structured parking. The city has outlined that the major use on this site will be for employment as mentioned in the Comprehensive Plan and the Zoning Ordinance. The current proposed development complies with that requirement. The development team would like to work with the city and alder to allow a mix of uses on the block in future phases. Benefits of allowing residential uses within future phases of this development, especially along Main Street include:

- Creating a development that is always activated, not just during work hours on weekdays, but on evenings and weekends as well.
- Sharing the structured parking infrastructure with residents would allow the parking structure to be better utilized during nights and weekends, rather than being mostly empty after hours.
- Reducing peak time traffic; residential uses would help to offset the office traffic peak travel times.
- A balance of residents could help to activate the street and encourage more retail and restaurant amenities especially along Main Street. Restaurants and retail would have more customers in the area on mornings, evenings and weekends after the office workers have left the area.
- Added safety in the area with residents providing ownership of the neighborhood, especially on nights and weekends.
- Central Park allows residential users access to green space and more residents will help to activate the park
- Allows for higher density and increased tax base while retaining a favorable parking ratio for office tenants

Project Team

Owner Developer:	Archipelago Village, LLC PO Box 512 505 N Carrol Street Madison WI 53701	Curt Brink Jim and Marlene Korb
Architect:	Potter Lawson, Inc. 749 University Row, Suite 300 Madison, WI 53705	Doug Hursh
Civil Engineer:	OTIE	John Thousand
Landscape Architect:	Ken Saiki Design	Rebecca DeBoer
Lighting Designers:	Lighting Ergonomics	Mandar Bankhele
Traffic Engineer:	Strand Associates	Jeff Held
Parking Consultant:	Walker Parking Consultants	Tom Hanula
Contractor:	Miron Construction	Steve Wolter
Attorneys:	Carlson Black O'Callaghan & Battenberg, LLP	Matt Carlson & Dan O'Callaghan
Solar Analysis Engineers:	RWDI	Ryan Danks & Jason Munn

Schedule

The project is scheduled to start construction in ~~July of 2019~~ **Summer of 2020** and be completed and occupied by ~~July of 2021~~ **Spring 2022**.

Thank you for reviewing the proposed development documents. We are excited to present the design for this new mixed-use, urban infill development. Please contact me if you have any questions regarding this submittal.

Sincerely,

A handwritten signature in black ink, reading "Douglas R. Hursh", followed by a long horizontal flourish line.

Douglas R. Hursh, AIA, LEED AP
Director of Design

Archipelago

929 E Washington Ave
Madison, Wisconsin
2016.36.02

09/23/2020 UDC MINOR ALTERATION

Drawing Index

C = Issued for Construction B = Issued for Bidding R = Issued for Reference Only

		09/23/2020 UDC MINOR ALTERATION
DWG #	Drawing Title	

GENERAL

CD-01.	COVER DRAWING	R
G003	SITE PHASING	R

CIVIL

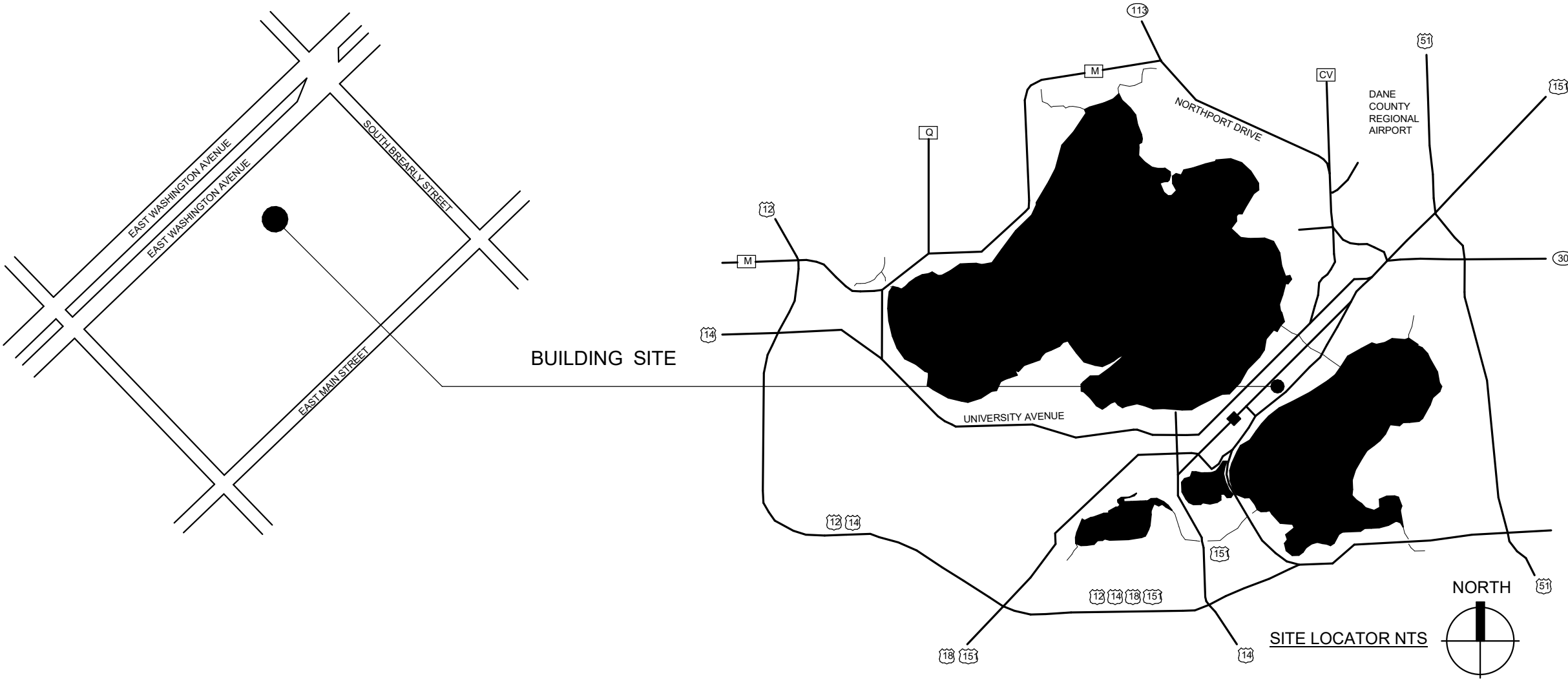
C102	SITE LAYOUT PLAN	R
C102A	SITE LAYOUT PLAN	R
C104	SITE GRADING PLAN	R

LANDSCAPE

L100	OVERALL SITE RESTORATION PLAN	R
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L200	PLANTING & LANDSCAPE RESTORATION PLAN (NORTH)	R
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A107.	PARKING LEVEL 5	R
A201.	BUILDING ELEVATIONS	R
A201.P	PREVIOUS BUILDING ELEVATIONS	R
A202.	BUILDING ELEVATIONS	R
A202.P	PREVIOUS BUILDING ELEVATIONS	R
A203.	BUILDING ELEVATIONS	R
A203.P	PREVIOUS BUILDING ELEVATIONS	R
A204.	BUILDING ELEVATIONS	R
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A207.	BUILDING ELEVATIONS	R
A208.	BUILDING ELEVATIONS	R
A301.	BUILDING SECTIONS	R
A401.	DESIGN COMPARISONS	R
A402.	BUILDING PERSPECTIVES	R
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PH1 - A103	PHASE 1 - PARKING LEVEL 2	R
PH1 - A104	PHASE 1 - PARKING LEVEL 3	R
PH1 - A105	PHASE 1 - PARKING LEVEL 4	R
PH1 - A107	PHASE 1 - PARKING LEVEL 5	R
PH1 - A108	PHASE 1 - PARKING ROOF	R
PH1 - A201	PHASE 1 - BUILDING ELEVATIONS	R
PH1 - A202	PHASE 1 - BUILDING ELEVATIONS	R
PH1 - A401	BUILDING PERSPECTIVES	R



Architect:
749 University Row Suite 300
Madison, WI 53705
608-274-2741

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
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06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

COVER DRAWING

CD-01.



DATE	ISSUANCE/REVISIONS
09/23/2020	UDC MINOR ALTERATION

G003

Notes: _____

Archipelago - 929
Phase 1 Parking Ramp

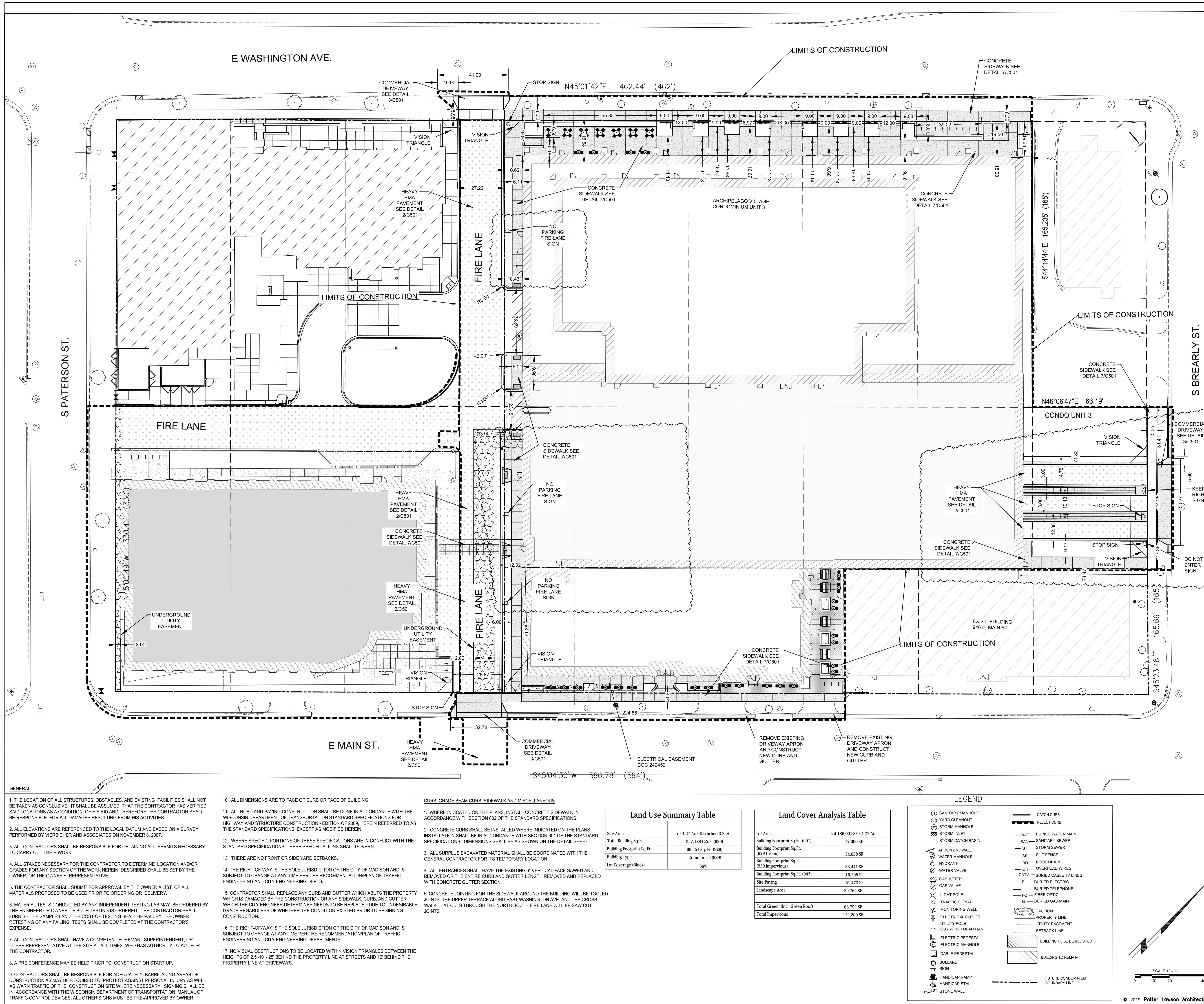
929 E Washington Ave
Madison, Wisconsin

2016.36.02

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08/26/2019	REVISED SAN & STORM LATERALS	
09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2019	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

SITE
LAYOUT PLAN

C102



Notes: _____

Archipelago - 929 Phase 1 Parking Ramp

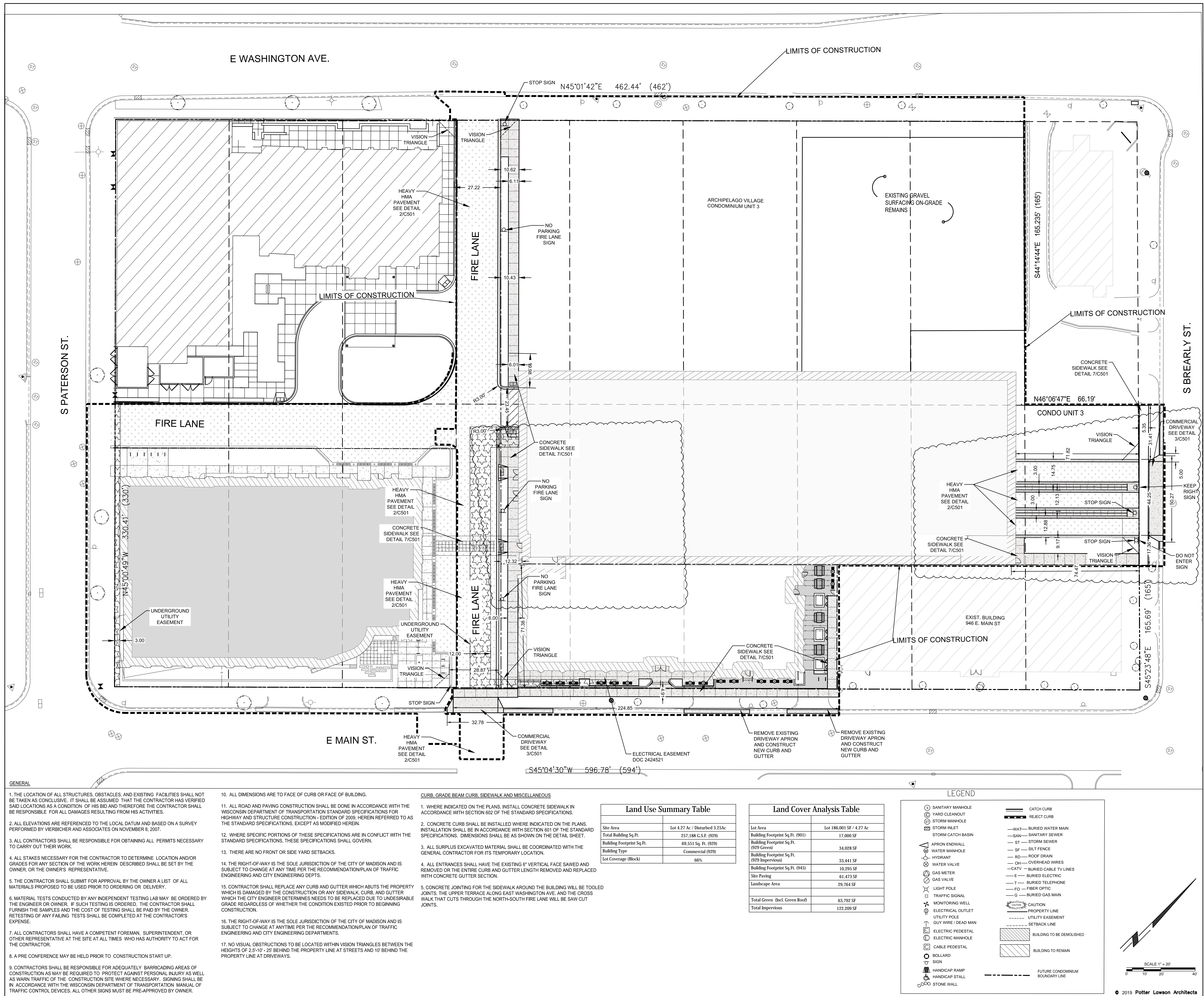
929 E Washington Ave
Madison, Wisconsin

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09/02/2019	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

SITE LAYOUT PLAN

C102A



Notes: _____

Archipelago

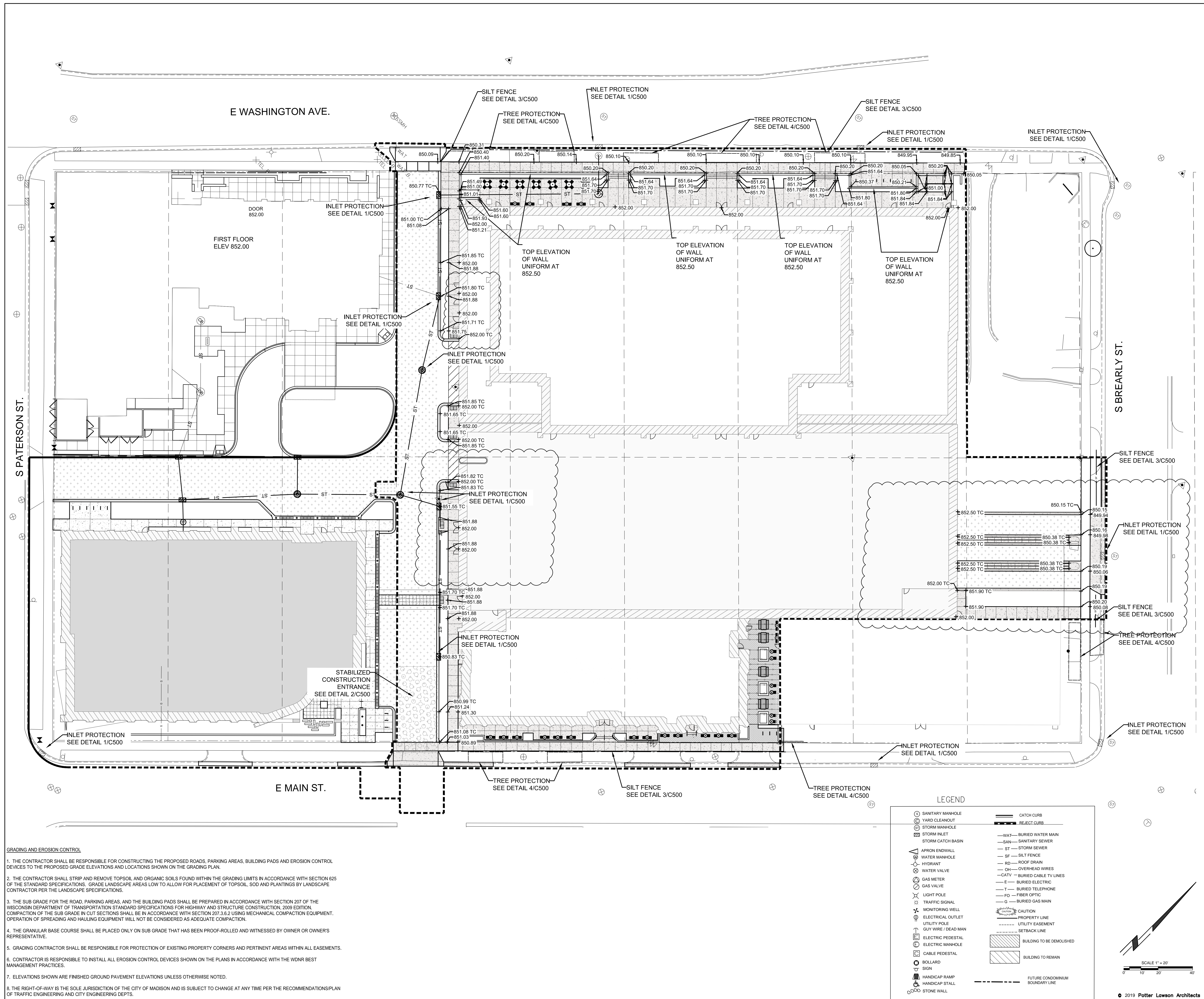
929 E Washington Ave
Madison, Wisconsin

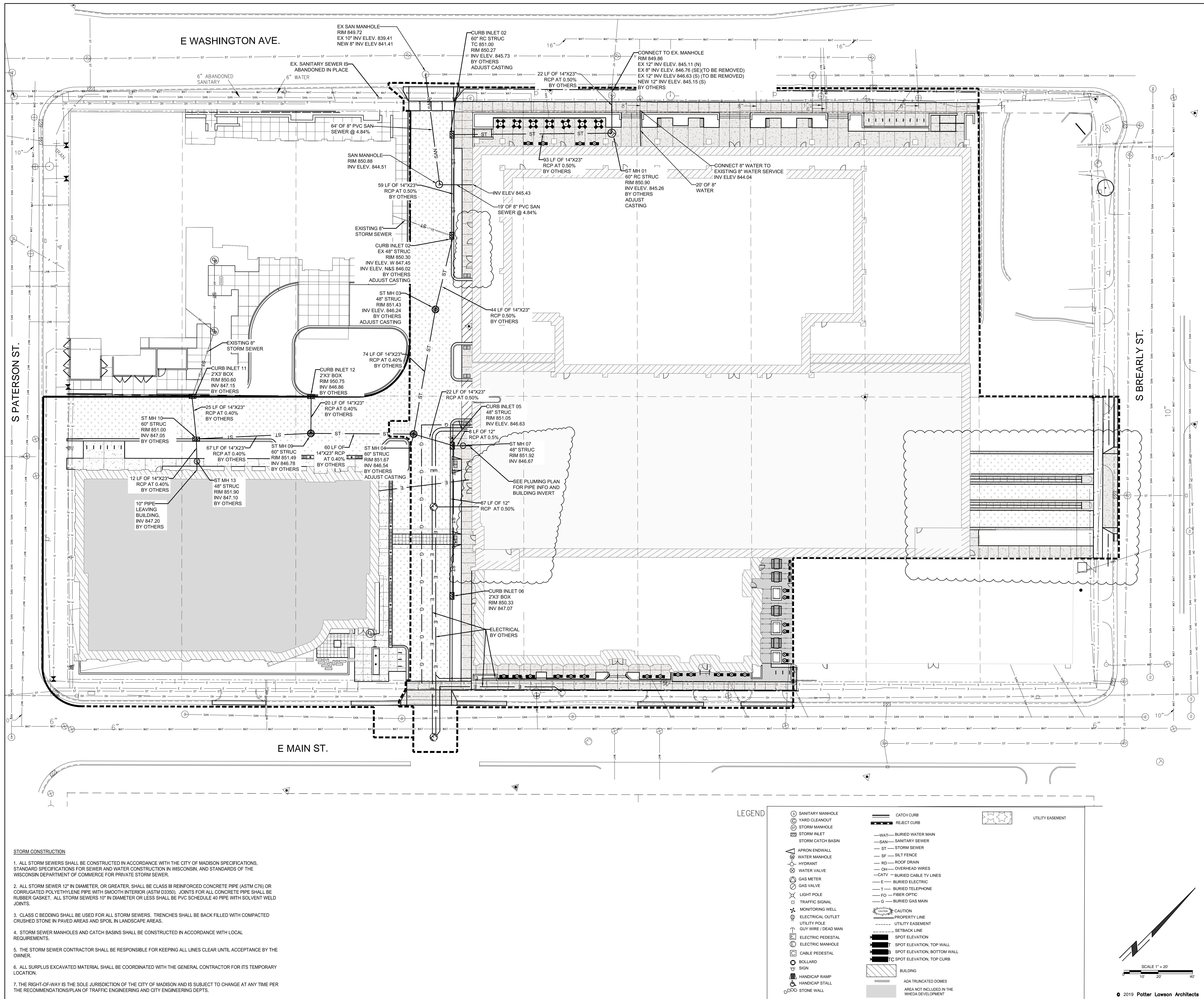
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09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2019	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

SITE GRADING PLAN

C104





Notes:

Archipelago

929 E Washington Ave
Madison, Wisconsin

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08/26/2019	REVISED SAN & STORM LATERALS	
09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2019	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

PLANT SCHEDULE TREES						
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	AE	Aesculus x cames 'Fort McNair' / Red Horsechestnut	B & B	2"Cal		1
	MR	Malus x 'Red Jewel' / Crab Apple	B & B	2"Cal	SINGLE, STRAIGHT LEADER	2
DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	AN	Acer truncatum 'Norwegian Sunset' / Maple	B & B	2.5"Cal		7
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5"Cal		13
	GB2	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2" Cal	Single, Straight Leader; Inspection by City Forestry Required.	1
	GT2	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2" Cal	Single, Straight Leader; Inspection by City Forestry Required.	1
	GT	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2"Cal		8
	TA	Tilia americana 'Sentry' / American Linden	B & B	2"CAL, 6' HT (MIN.)	Single, Straight Leader; Inspection by City Forestry Required.	1

NOTE: SEE L200 & 201 FOR DETAILED PLANTING DESIGN LAYOUT AND SPECIES SELECTION WITHIN PLANTING BEDS

City of Madison Landscape Worksheet

929 East Washington Avenue
September 2, 2020
Traditional Employment Urban Design District 8

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	23,405	n/a	78	390
			Landscape Points Required	390

Development Frontage	LF	Overstory Tree Req. (or x2 for Orn./Evrgrn. Tree Sub.)	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & Streets	873	29	146

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	28		980
Ornamental Tree	15	2		30
Evergreen Tree	15	0		0
Shrub, deciduous	2	123		246
Shrub, evergreen	3	39		117
Ornamental Grass	2	51		102
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Development Frontage Points Total				1475

Interior Parking Lots	N/A
Total Parking Lot Area	n/a

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0		0
Ornamental Tree	15	0		0
Evergreen Tree	15	0		0
Shrub, deciduous	2	24		48
Shrub, evergreen	3	0		0
Ornamental Grass	2	38		76
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
General Site Plantings Total				124

TOTAL LANDSCAPE POINTS 1599

LEGEND

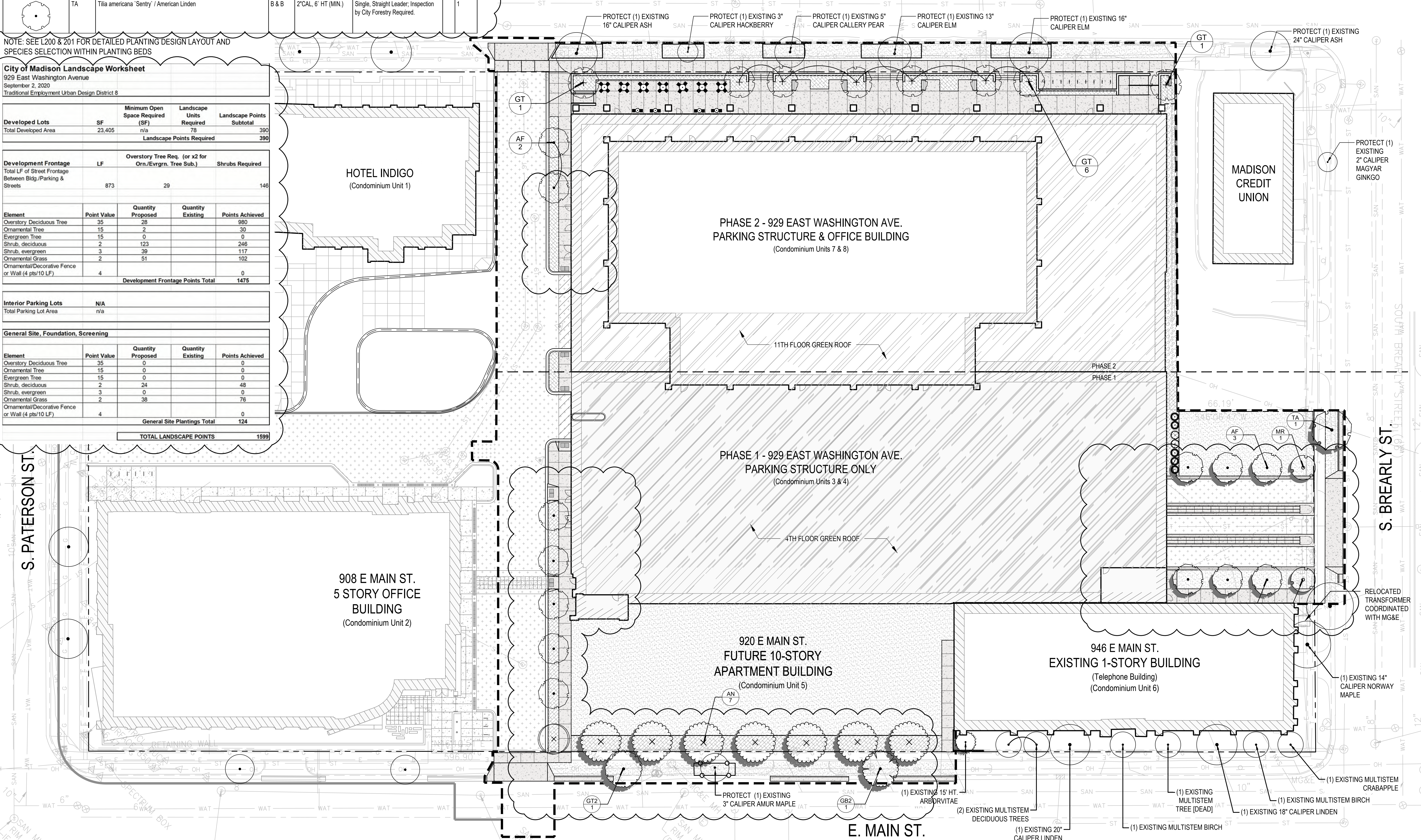
- SEEDED BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
- STONE MULCH WITH METAL EDGE
- EXISTING TREE
- TREE PROTECTION FENCE
 - METAL EDGE
 - SHOVEL CUT EDGE
- PROJECT BOUNDARY

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31 13 16, "SELECTIVE TREE AND SHRUB PROTECTION AND TRIMMING" FOR PROTECTION REQUIREMENTS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEED AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL AND LAWNS - SEE SPECIFICATIONS FOR MORE INFORMATION.
- CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR (1) 2" CALIPER LINDEN TREE DUE TO DRIVEWAY INSTALLATION. PLEASE CONTACT BRAD HOFMANN (EMAIL: BHOFMANN@CITYOFMADISON.COM -OR- 608-266-4816) TO OBTAIN THE STREET TREE REMOVAL PERMIT. ANY ADDITIONAL TREE REMOVALS WILL REQUIRE A MINIMUM OF A 12-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK AND IDEALLY TO THE OUTSIDE EDGE OF THE TREE'S OVERHEAD CANOPY. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- ADDITIONAL STREET TREES ARE NEEDED FOR THIS PROJECT. TREE PLANTING SPECIFICATIONS CAN BE FOUND IN SECTION 209 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK, REVIEW PLANTING SPECIFICATIONS WITH THE INSTALLER, AND INDICATE FINAL TREE PLANTING LOCATIONS.

E. WASHINGTON AVE.



1 OVERALL SITE RESTORATION PLAN

SCALE: 1" = 20'-0" (AT 30"x42" FULL SIZE SHEET)

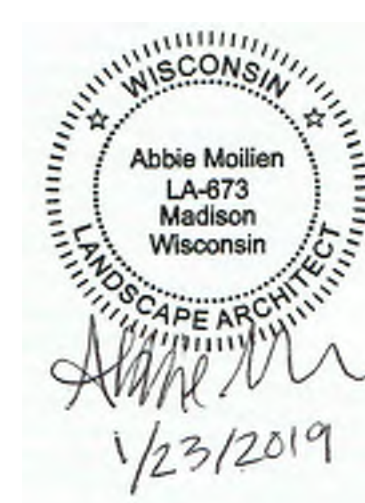
0 20' 40'
1" = 20'-0" NORTH

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**Potter
Lawson**
Success by Design



Notes:



PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
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06/19/2019	REVISED LAND USE SUBMITTAL	
07/26/2019	SUBMITTAL SUPPLEMENT	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

**OVERALL SITE
RESTORATION PLAN**
L100

PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AN	Acer truncatum 'Norwegian Sunset' / Maple	B & B	2.5" Cal		7
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2" Cal		6
	GB2	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2" Cal		1
	GT2	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2" Cal		1
	GT	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2" Cal		10
	TA	Tilia americana 'Sentry' / American Linden	B & B	2" Cal		1
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE		QTY
	MR	Malus x 'Red Jewel' / Crab Apple	B & B	2" Cal		2
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	Am	Aronia melanocarpa 'Low Scape Mount' / Low Scape Mount Black Chokeberry	2 gal	12" HT (MIN.)		68
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal			2
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SP. (MIN.)		2
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	Jk	Juniperus chinensis 'Kallias Compact' / Kallias Compact Pfitzer Juniper	3 gal	24" HT (MIN.)		38

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDING AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5- FEET FROM THE OUTSIDE EDGE OF THE TREE CANOPY ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5- FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5- FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, AND EXTERIOR SITE FURNISHINGS (SECTIONS 31 13 00, 32 33 00, 32 91 13, 32 90 00 & 32 93 00. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- CONTRACTOR WILL BE REQUIRED TO SUBMIT TOPSOIL TEST RESULTS PER SECTION 32 91 13 PRIOR TO PLACEMENT OF SOIL MATERIALS ON THIS PROJECT.

LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- TREE PROTECTION FENCE
- HEAVY DUTY ASPHALT PAVEMENT
- STANDARD CONCRETE PAVEMENT
- HEAVY DUTY CONCRTETE PAVEMENT
- MINERAL MULCH
- BARK MULCH
- SEEDED LAWN

City of Madison, WI Landscape Worksheet
Archipelago - Phase 1 Parking Ramp
12-Aug-20
Traditional Employment Urban Design District 8

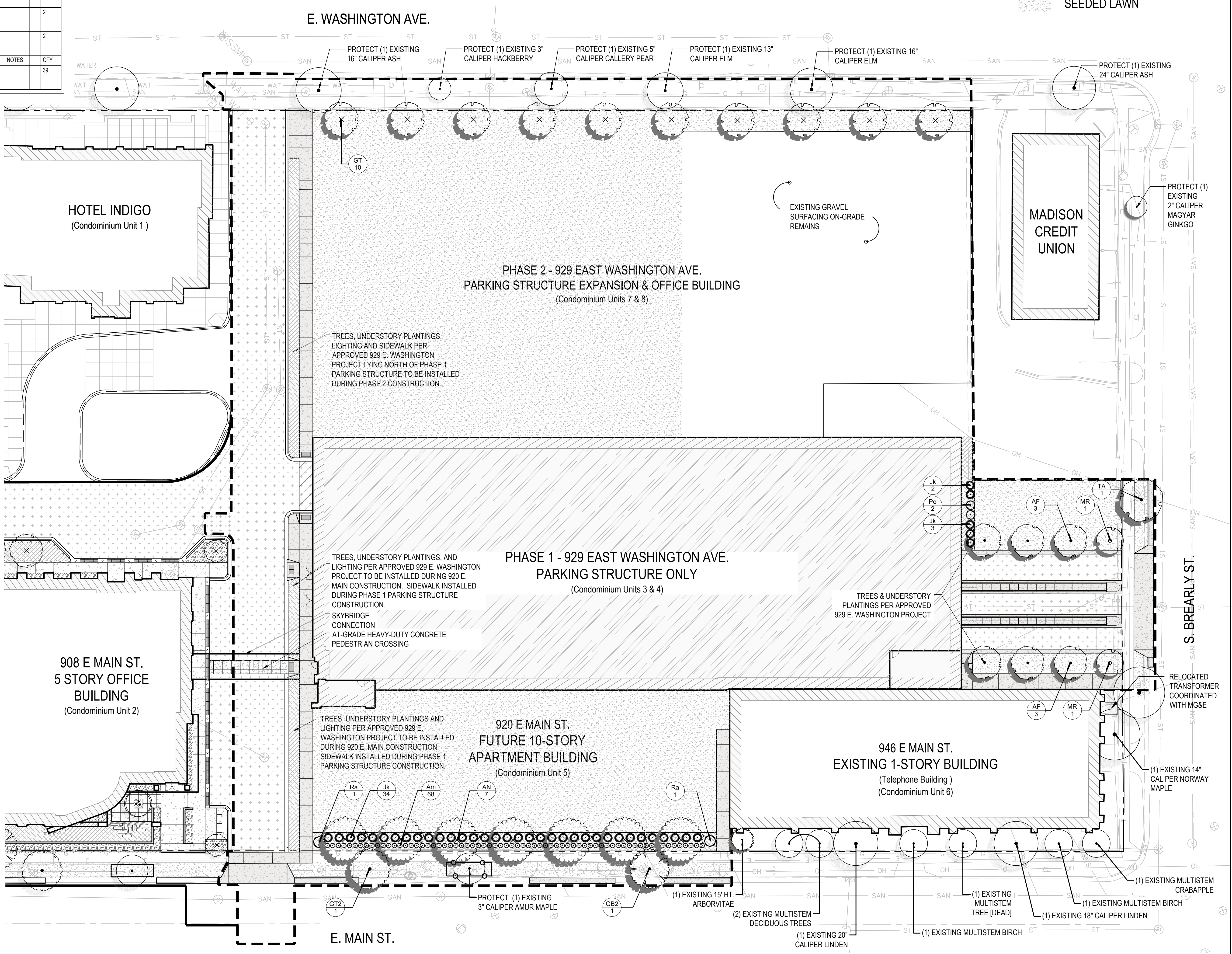
Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	38,244	637	637
		Landscape Points Required	637

Development Frontage - E Washington Ave		LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg /Parking & street		300	10	50
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree]				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	10		350
Ex. Significant Specimen Tree	0	0		0
Ornamental Tree	15	2		30
Evergreen Tree	15	0		0
Shrub, deciduous	3	0		0
Shrub, evergreen	4	0		0
Ornamental Grass/Perennial	2	0		0
Development Frontage Total				380

Development Frontage - E Main St		LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg /Parking & street		200	7	33
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree]				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	7		245
Ex. Significant Specimen Tree	0			0
Ornamental Tree	15			0
Evergreen Tree	15			0
Shrub, deciduous	3	70		210
Shrub, evergreen	4	34		136
Ornamental Grass/Perennial	2			0
Development Frontage Total				591

Development Frontage - S Brearly St	LF	**Overstory Trees Required	Shrubs Required	
Total LF of Street Frontage				
Between Bldg/Parking & street	110	4	18	
[1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree]				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0		0
Ex. Significant Specimen Tree	0	0		0
Ornamental Tree	15	2		30
Evergreen Tree	15	0		0
Shrub, deciduous	3	0		0
Shrub, evergreen	4	0		0
Ornamental Grass/Perennial	2			0
Development Frontage Total				30

General Site, Foundation, Screening	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	6		210
Ornamental Tree	15			0
Evergreen Tree	15			0
Shrub, deciduous	3	2		6
Shrub, evergreen	4	5		20
Ornamental Grass/Perennial	2	30		60
Ornamental/Decorative Fence or Wall (4 pts/10 LF)				0
Foundation Plantings Total				286
TOTAL LANDSCAPE POINTS PROVIDED				1297



1 OVERALL SITE RESTORATION PLAN - PHASE 1
SCALE: 1"=20'-0"



Notes:

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Archipelago
929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
07/26/2019	SUBMITTAL SUPPLEMENT	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
08/02/2020	CONCEPTUAL LANDSCAPE ARCHITECTURE	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

ARCHIPELAGO -
929 PHASE 1
LANDSCAPE OVERVIEW

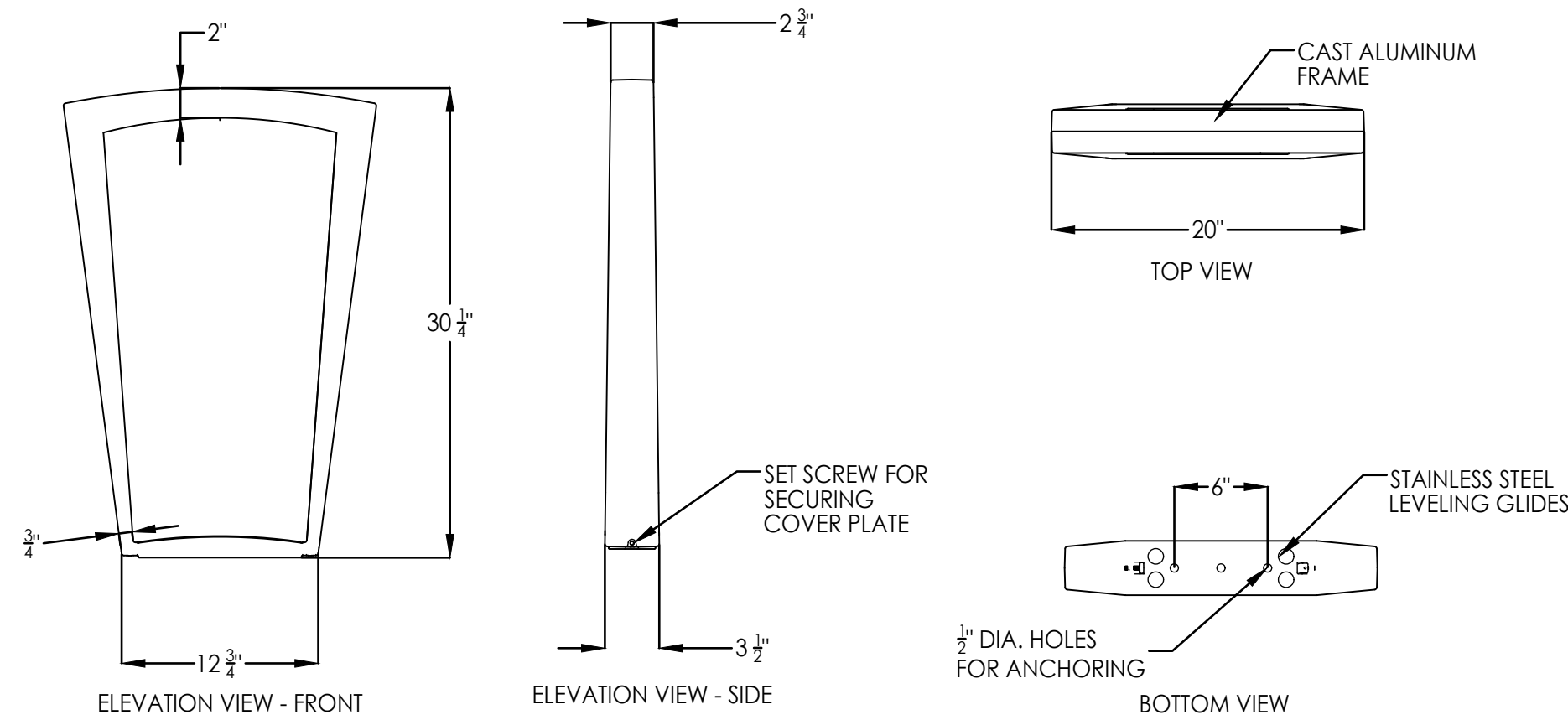
L100A

PLANT SCHEDULE PLANT SCHEDULE (NORTH)					
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	24" HT (MIN.)	4
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SPR. (MIN.)	11
	Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	2 gal	18" SPR. (MIN.)	18
	Sc	Stephanandra incisa 'Crispa' / Cutleaf Stephanandra	2 gal	18" SPR. (MIN.)	29
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.	11
	ses	Sesleria autumnalis / Autumn Moor Grass	1 qt	CONT.	51
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	amb	Anemone tabernaemontana 'Blue Ice' / Blue Ice Star Flower	1 qt	CONT.	74

NOTE: SEE L100 FOR TREE PLACEMENT AND SPECIES

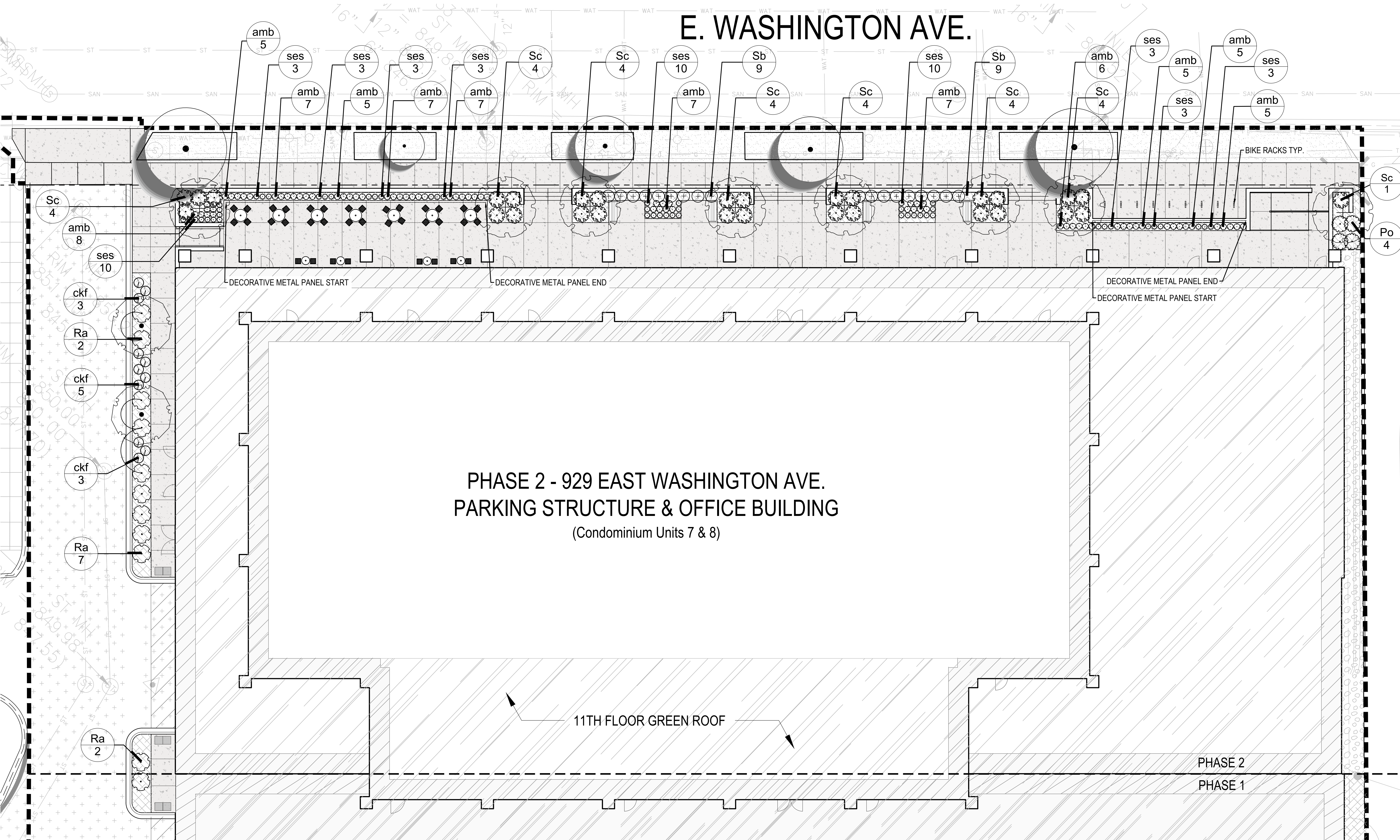
LEGEND

- SEEDED BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
- STONE MULCH WITH METAL EDGE
- EXISTING TREE
- TREE PROTECTION FENCE
- LANDSCAPE EDGE
 - METAL EDGE
 - SHOVEL CUT EDGE
- PROJECT BOUNDARY

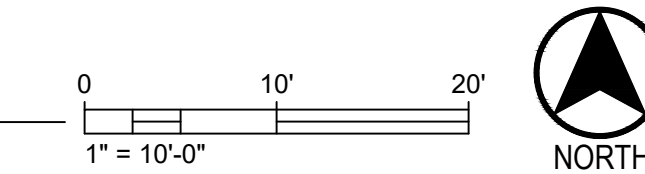


NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS. PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES AND OTHER IMPROVEMENTS FROM CONSTRUCTION RELATED ACTIVITIES.
- TOPSOIL AND PLANTING SOILS USED FOR THIS PROJECT MUST BE HIGH-QUALITY. REFER TO SECTION 32 91 13 FOR TOPSOIL QUALITY AND TESTING REQUIREMENTS.
- COMPACTED CONSTRUCTION AREAS MUST BE EXCAVATED AND DECOMPACTED PRIOR TO TOPSOIL OR PLANTING SOIL PLACEMENT. VERIFY THAT THESE REQUIREMENTS HAVE BEEN MET AND THAT THE SPECIFIED DEPTH OF TOPSOIL OR PLANTING SOIL HAS BEEN PROVIDED PRIOR SEEDING OR PLANTING; REFER TO SECTION 32 91 13.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETELY AND THOROUGHLY REVIEWING ALL INFORMATION IN DIVISION 31 AND 32 AND CONFORMING THE WORK TO THOSE ADDITIONAL PROJECT REQUIREMENTS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDED AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- REFER TO L100 FOR NOTES ON TREE PROTECTION AND RIGHT-OF-WAY TREES.



1 PLANTING & LANDSCAPE RESTORATION PLAN (NORTH)
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



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Notes:

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Project #: 2016.36.02

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09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

PLANTING & LANDSCAPE
RESTORATION PLAN (NORTH)

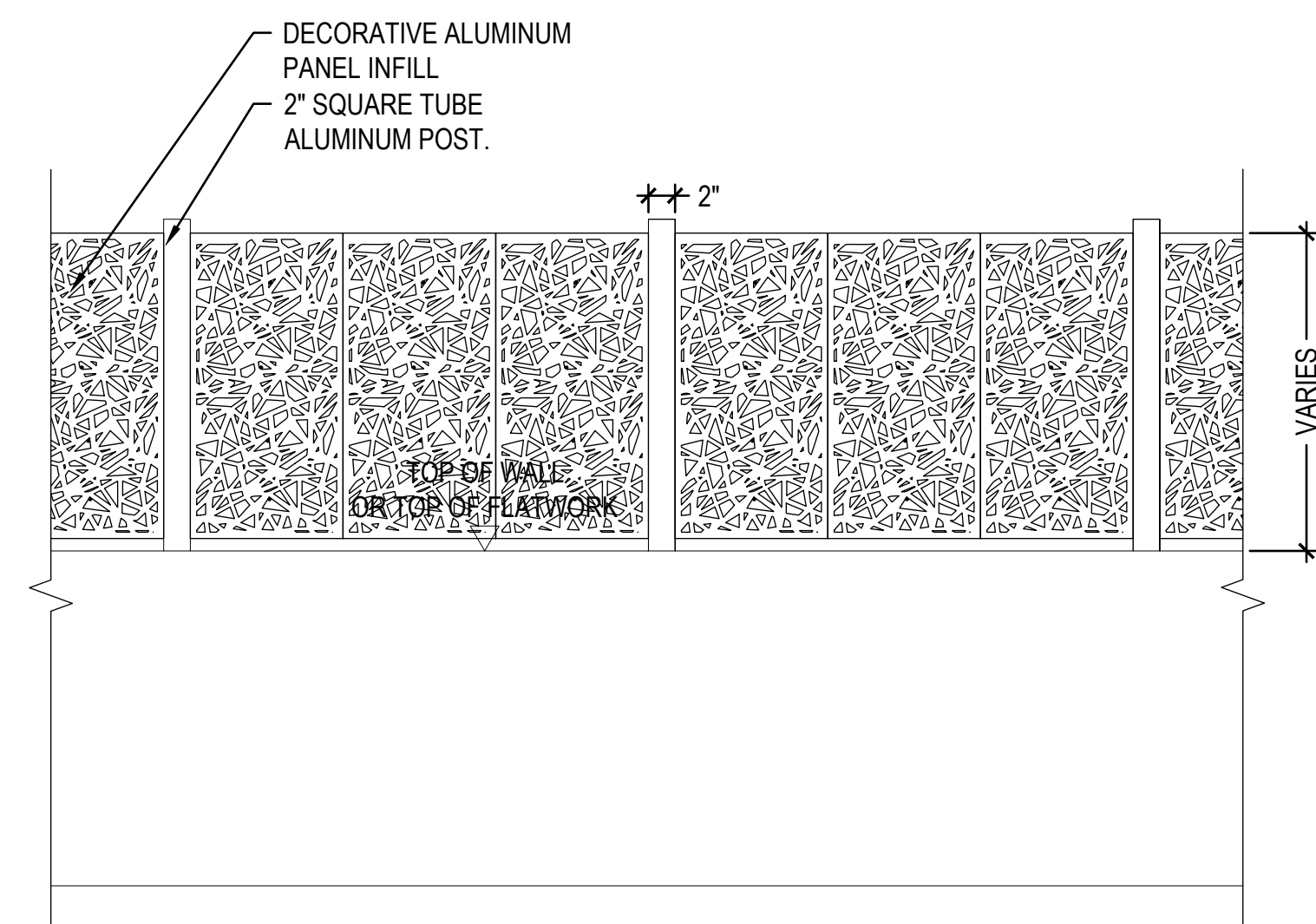
L200

PLANT SCHEDULE PLANT SCHEDULE (SOUTH)					
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Am	Aronia melanocarpa 'Low Scape Hedger' / Low Scape Hedger Chokeberry	3 gal	24" HT (MIN.)	68
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	24" HT (MIN.)	2
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SPR. (MIN.)	14
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Jk	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	3 gal	24" HT (MIN.)	39
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.	20

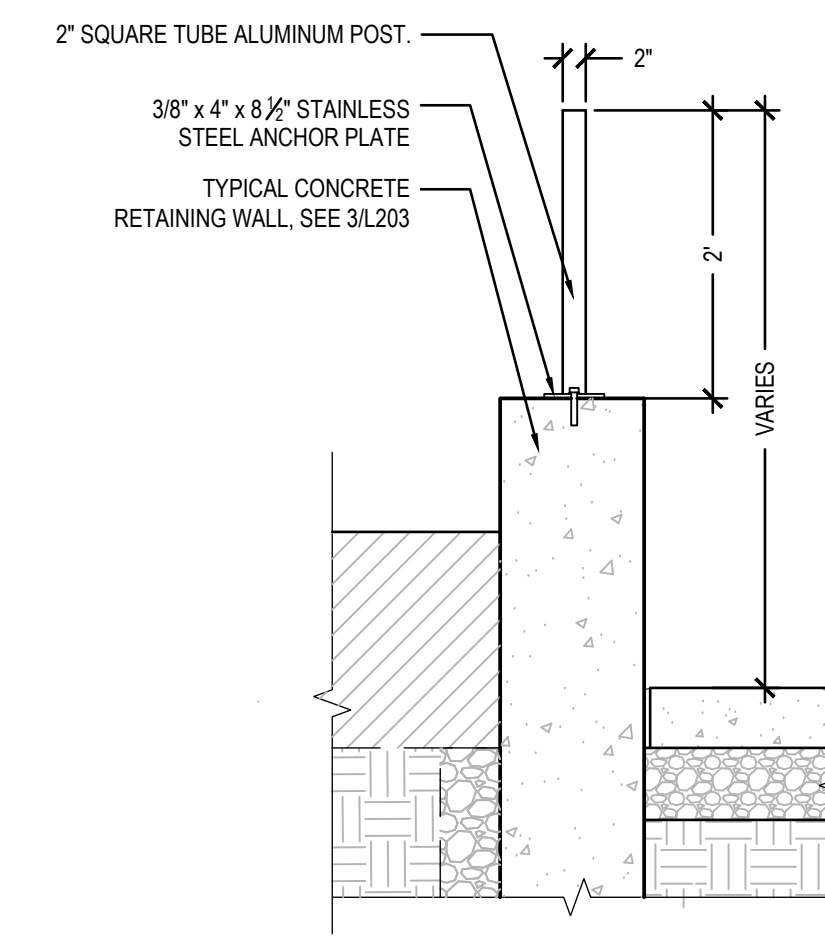
NOTE: SEE L100 FOR TREE PLACEMENT AND SPECIES. SEE NOTES ON L200.

LEGEND

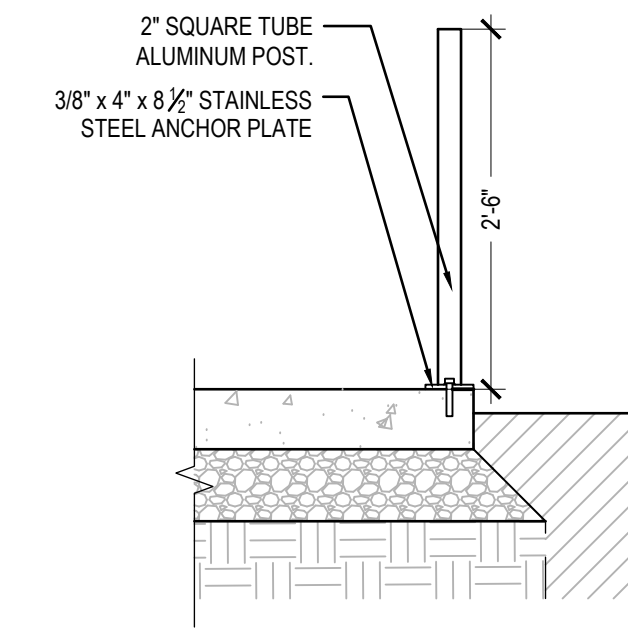
- SEEDED BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
- STONE MULCH WITH METAL EDGE
- EXISTING TREE
- TREE PROTECTION FENCE
- LANDSCAPE EDGE
 - METAL EDGE
 - SHOVEL CUT EDGE
- PROJECT BOUNDARY



FRONT ELEVATION - DECORATIVE WALL MOUNTED PANEL

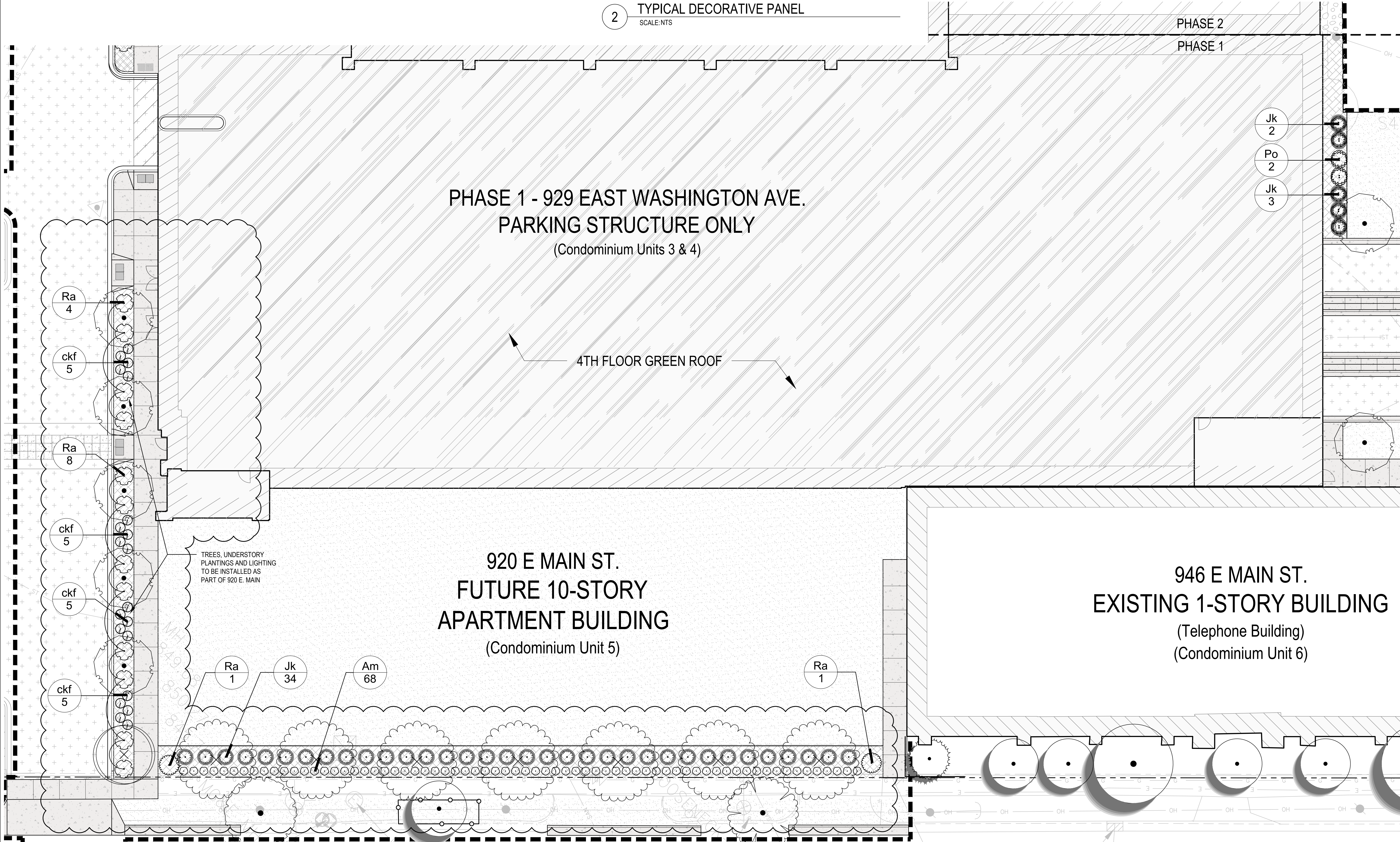


SECTION - WALL MOUNTED PANEL



SECTION - FLATWORK MOUNTED PANEL

2 TYPICAL DECORATIVE PANEL
SCALE: NTS



1 PLANTING & LANDSCAPE RESTORATION PLAN (SOUTH)
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)

0 10' 20'
1" = 10'-0" NORTH

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Notes:

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09/23/2020	UDC MINOR ALTERATION	

PLANTING & LANDSCAPE
RESTORATION PLAN (SOUTH)

L201

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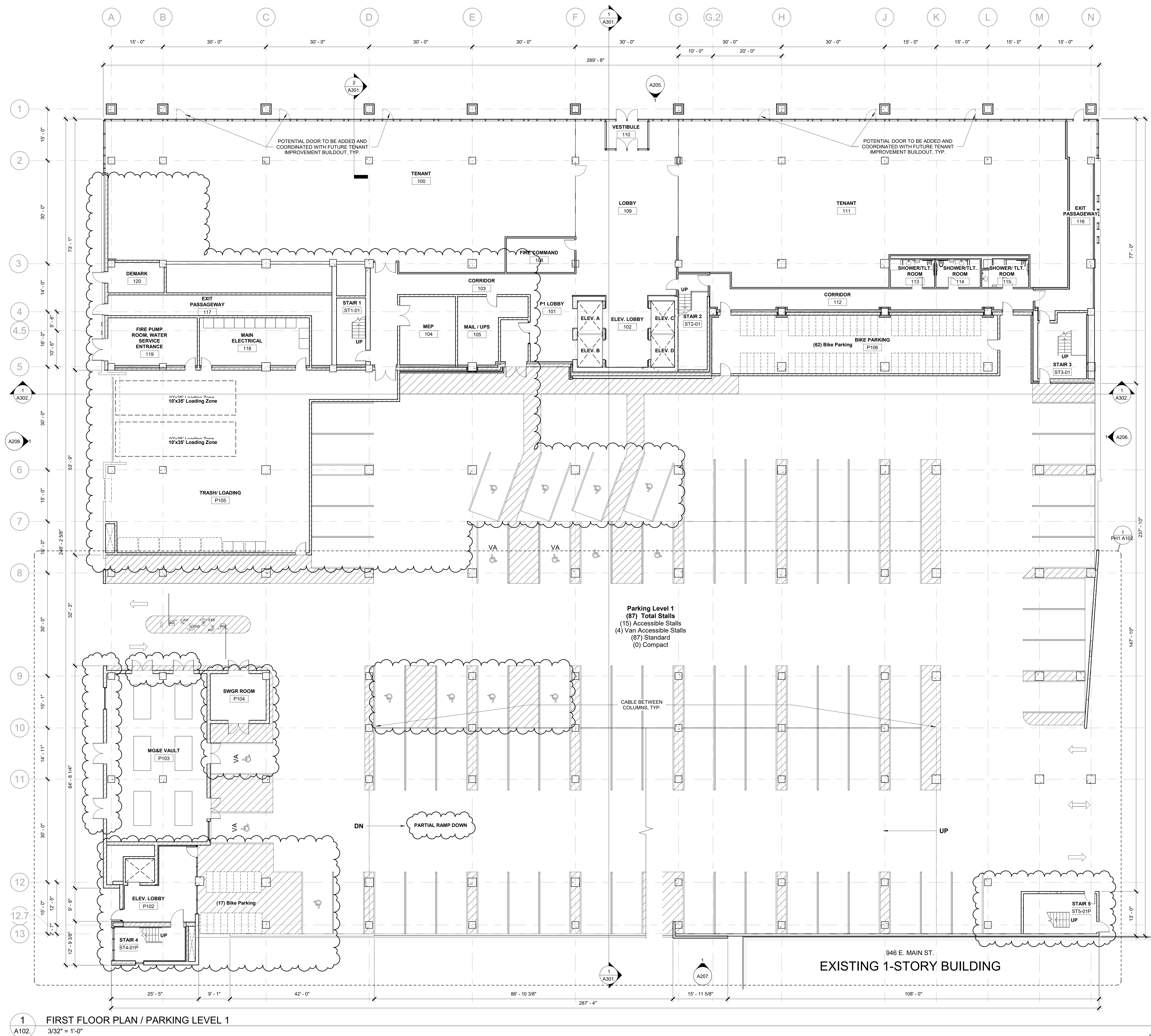
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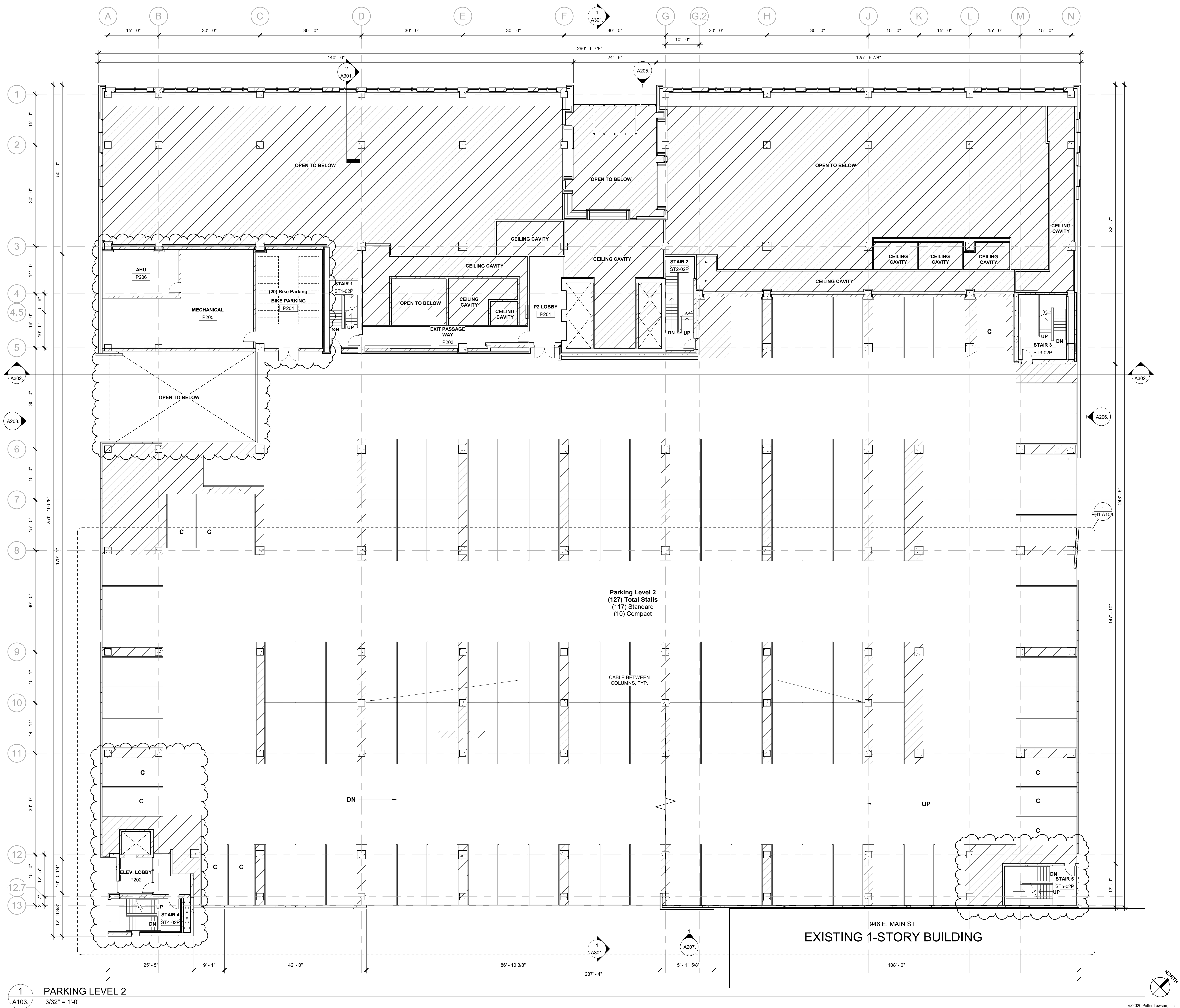
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09/23/2020	UDC MINOR ALTERATION	

FIRST FLOOR PLAN / PARKING LEVEL 1

A102.



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Notes:

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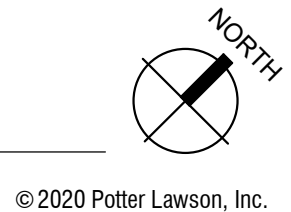
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09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

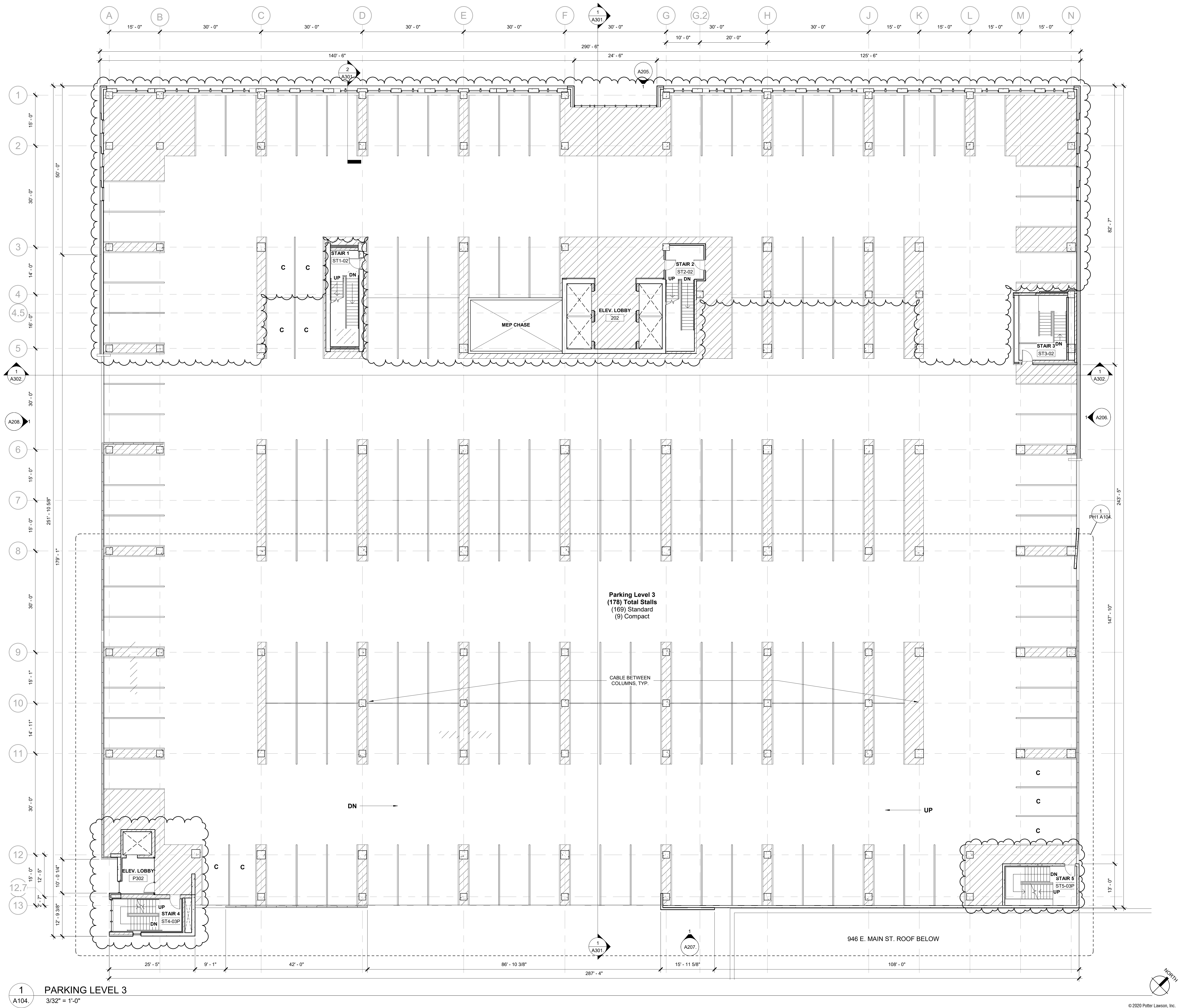
PARKING LEVEL 2

A103.



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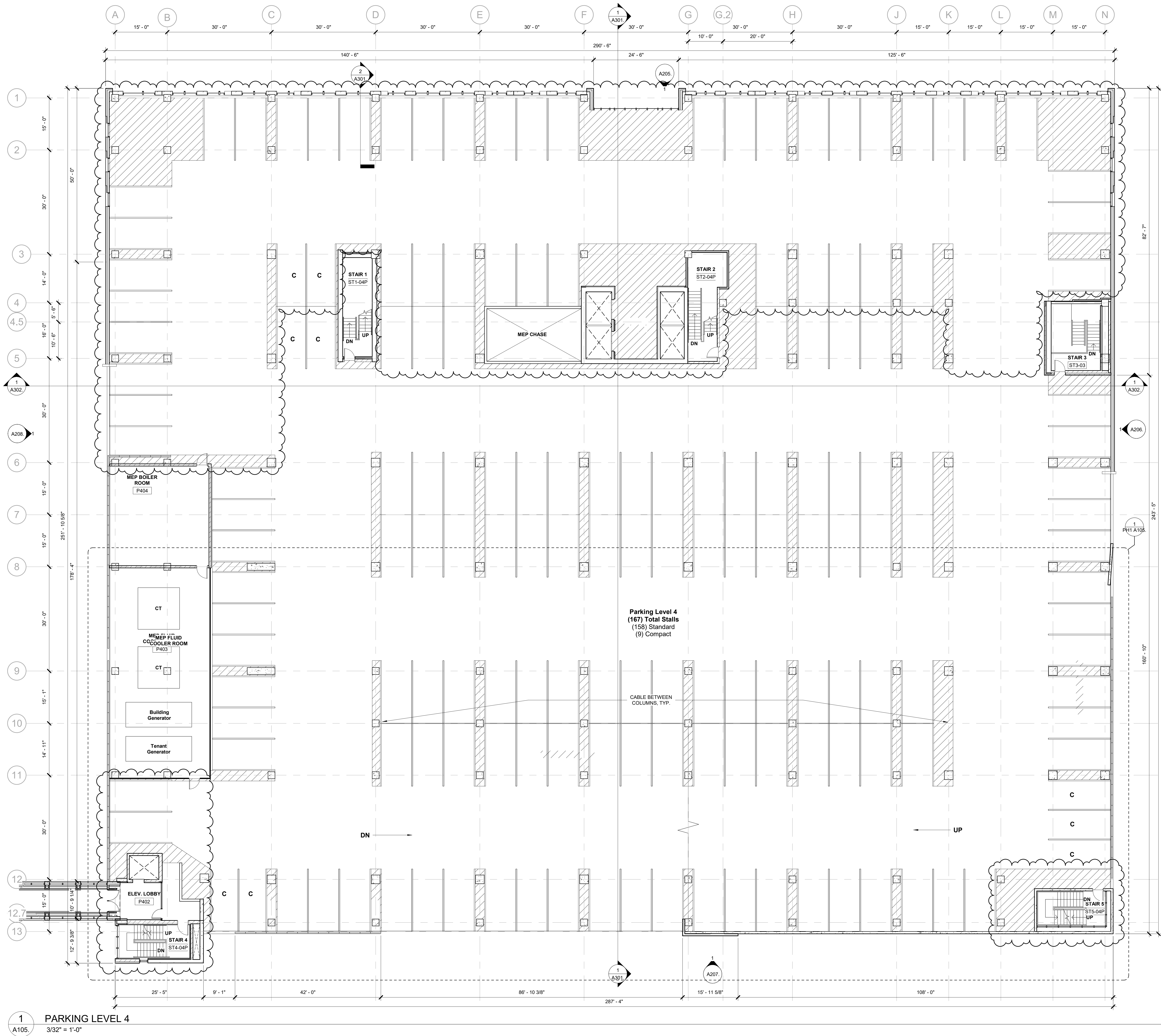
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09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

PARKING LEVEL 3

A104.

9/23/2020 10:54:48 AM



1 PARKING LEVEL 4
3/32" = 1'-0"

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09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

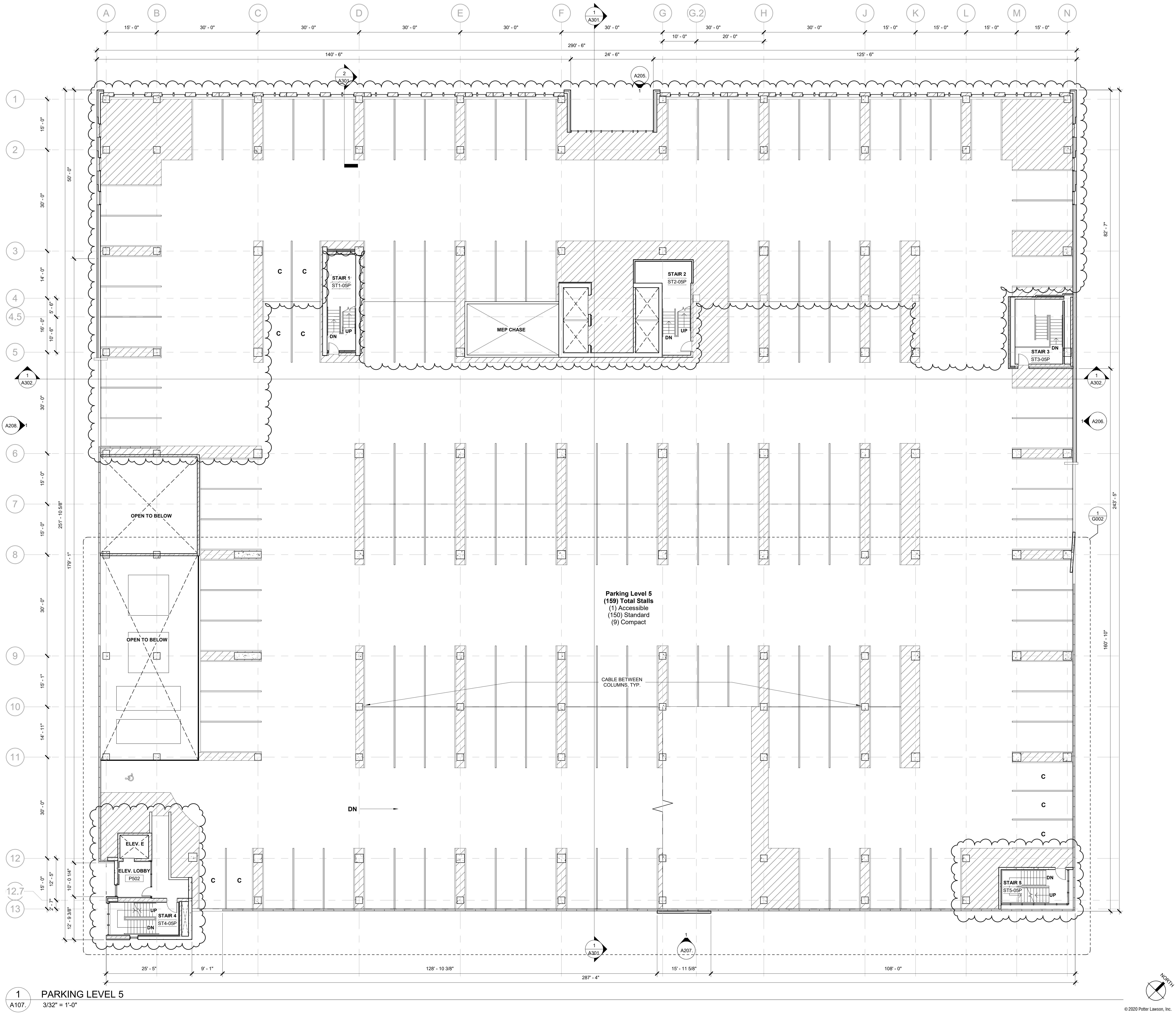
PARKING LEVEL 4

A105.



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09/02/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

PARKING LEVEL 5

A107.



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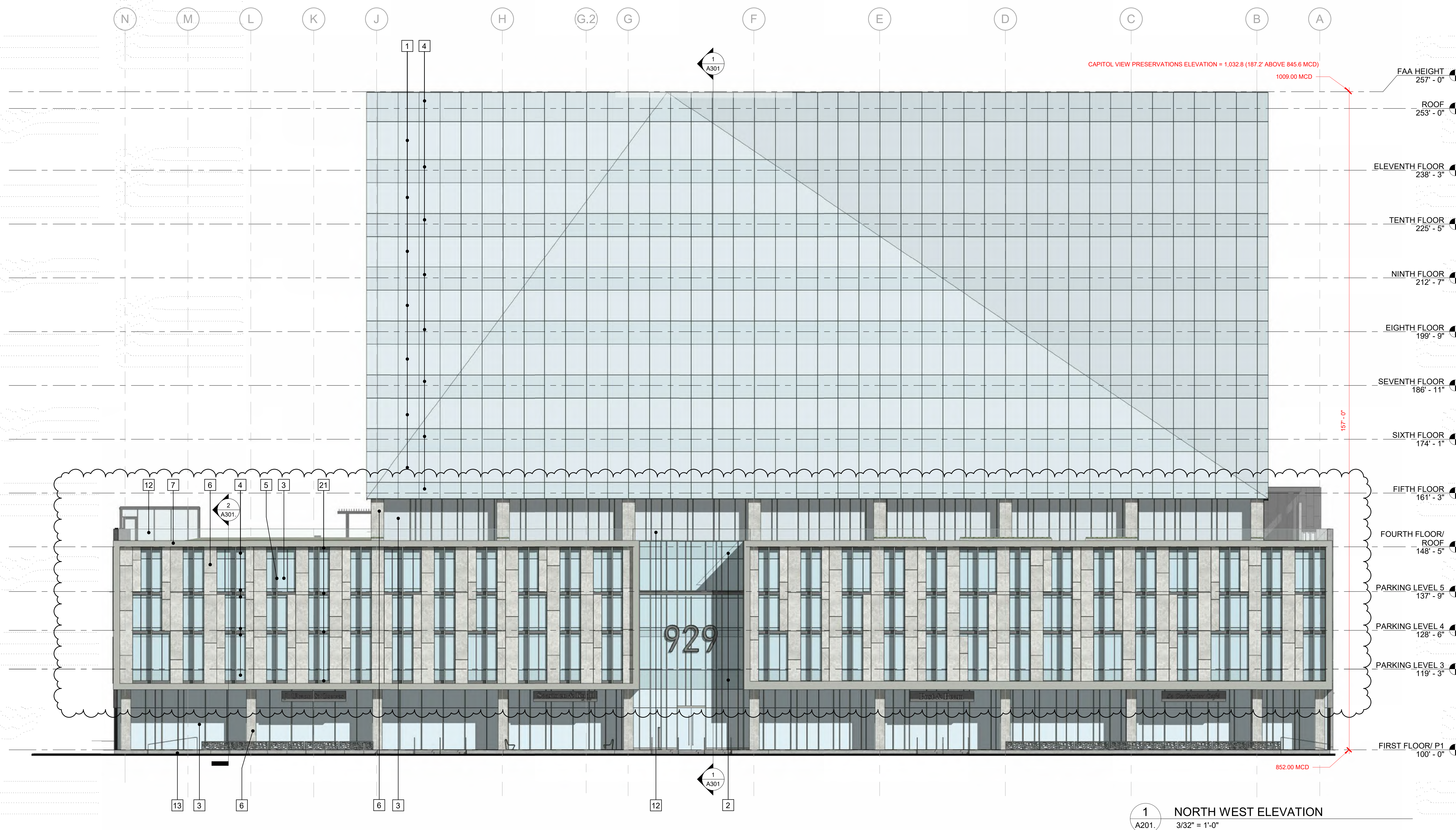
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BUILDING ELEVATIONS

A201.

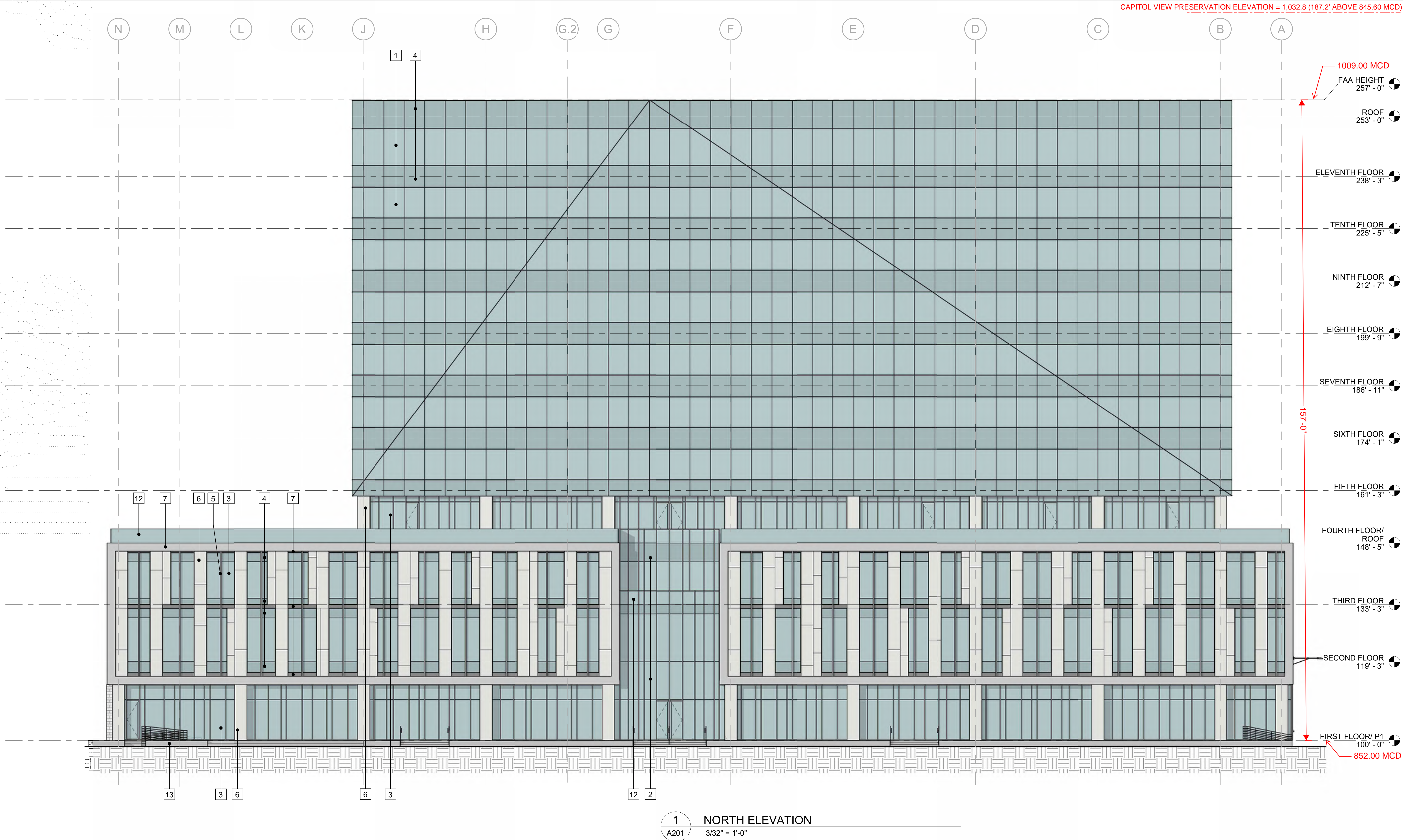


1 NORTH WEST ELEVATION
A201. 3/32" = 1'-0"

ELEVATION KEY NOTES

- | | | | |
|----|--|----|---|
| 1 | SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM. COLOR MATCH TO LARSON PEWTER METALLIC. | 22 | CORRUGATED, PERFORATED METAL PANEL TYPE 3. BASIS OF DESIGN CENTRIA ECOSCREEN. EQUAL PARTS OF EACH - BR1 MR3-30, STYLE-RIB. 40% OPEN AREA, STAGGERED PATTERN. HOLES @ 9"X6" SPACING. (2) PAINT FINISH: 50% 9967 XL, 50% 9962 XL SILVER GRAY. DISTRIBUTION OF PANEL LAYOUT RANDOM |
| 2 | PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. | 23 | EXPOSED POST TENSIONED STRUCTURAL SLAB |
| 3 | PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS. | 24 | STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK |
| 4 | SPANDREL GLAZING. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS | 25 | STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 6258 TRICORN BLACK |
| 5 | EXTRUDED PAINTED ALUMINUM MULLION CAP. COLOR MATCH TO LARSON PEWTER METALLIC | 26 | STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW TRICORN BLACK |
| 6 | STONE VENEER. BIESIANG STONE (TAN), FLEURI CUT, HONED FINISH | 27 | BLACK ANODIZED ALUMINUM CURTAIN WALL |
| 7 | CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 1 - COLOR MATCH TO LARSON PEWTER METALLIC | 28 | MECHANICAL LOUVER - COLOR: SW 6258 TRICORN BLACK |
| 8 | FORMED BLOCK 8"x16", ANGELUS HI-LITE MARK 1 - BLACK GAYOWN | 29 | HOLLOW METAL DOOR - COLOR: SW 6258 TRICORN BLACK |
| 9 | ARCHITECTURAL PRECAST CONCRETE PANELS | 30 | CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 3 - COLOR: LARSON - CLASSIC BLACK |
| 10 | BIESIANG STONE ACCENT FIN (TAN), FLEURI CUT | 31 | STEEL FRAME. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK |
| 11 | SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT | 32 | BLACK ANODIZED ALUMINUM WINDOW WALL |
| 12 | GLASS GUARDRAIL W/ FRIT PATTERN | | |
| 13 | RUBBED CONCRETE WALL / PLANTER | | |
| 14 | MURAL WALL | | |
| 15 | INSULATED OVERHEAD DOOR - COLOR MATCH TO SW 6258 TRICORN BLACK | | |
| 16 | RAMP ENTRY | | |
| 17 | FIRE DEPARTMENT CONNECTION | | |
| 18 | BUILDING MOUNTED EXTERIOR LIGHT FIXTURE | | |
| 19 | GLASS BLOCK WINDOW | | |
| 20 | EXISTING BUILDING | | |
| 21 | CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 2 - COLOR MATCH TO LARSON MEDIUM GREY MICA | | |

6/19/2019 1:39:15 PM



1 NORTH ELEVATION
3/32" = 1'-0"

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Notes:

- ELEVATION KEY NOTES
- 1 SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM
 - 2 PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS
 - 3 PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS
 - 4 SPANDREL GLAZING
 - 5 EXTRUDED PAINTED ALUMINUM MULLION CAP
 - 6 STONE VENEER
 - 7 METAL PANEL
 - 8 NOT USED
 - 9 PRECAST CONCRETE WALL PANEL
 - 10 BURNISHED BLOCK
 - 11 PAINTED MECHANICAL LOUVER
 - 12 GLASS GUARDRAIL W/ FRIT PATTERN
 - 13 RUBBED CONCRETE WALL/ W PLANTER
 - 14 GREEN SCREEN. WOVEN WIRE MESH ON STEEL FRAME, GALVANIZED, PRIMED AND PAINTED
 - 15 INSULATED OVERHEAD DOOR
 - 16 RAMP ENTRY
 - 17 FIRE DEPARTMENT CONNECTION
 - 18 NOT USED
 - 19 BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
 - 20 GENERATOR EXHAUST FLUE

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09/23/2020	UDC MINOR ALTERATION	

PREVIOUS
BUILDING
ELEVATIONS

A201.P

Notes:

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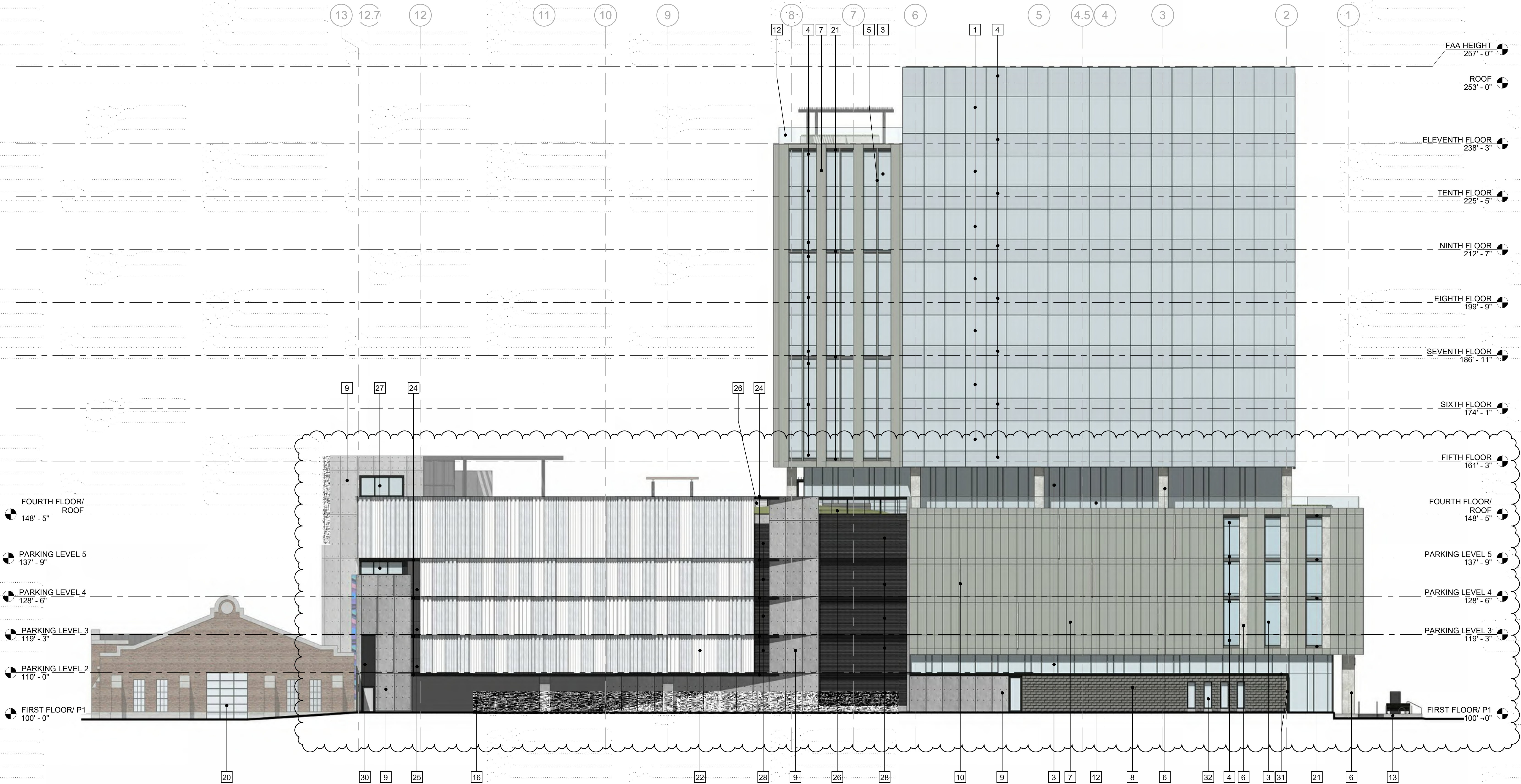
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BUILDING
ELEVATIONS

A202.



ELEVATION KEY NOTES

- SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM. COLOR MATCH TO LARSON PEWTER METALLIC
- PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC.
- PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- SPANDREL GLAZING. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- EXTRUDED PAINTED ALUMINUM MULLION CAP. COLOR MATCH TO LARSON PEWTER METALLIC
- STONE VENEER. BIESANZ STONE (TAN), FLEURI CUT, HONED FINISH
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 1 - COLOR MATCH TO LARSON PEWTER METALLIC
- FORMED BLOCK 8"X16", ANGELUS HI-LITE MARK 1 - BLACK CANYON
- ARCHITECTURAL PRECAST CONCRETE PANELS
- BIESANZ STONE ACCENT FIN (TAN), FLEURI CUT
- SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
- GLASS GUARDRAIL W/ FRIT PATTERN
- RUBBED CONCRETE WALL / PLANTER
- MURAL WALL
- INSULATED OVERHEAD DOOR - COLOR MATCH TO SW 6258 TRICORN BLACK
- RAMP ENTRY
- FIRE DEPARTMENT CONNECTION
- BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
- GLASS BLOCK WINDOW
- EXISTING BUILDING
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 2 - COLOR MATCH TO LARSON MEDIUM GREY MICA

- CORRUGATED, PERFORATED METAL PANEL TYPE 3. BASIS OF DESIGN CENTRIA ECOSCREEN. EQUAL PARTS OF EACH - BR5-36, MR3-36, STYLE-RIB. 40% OPEN AREA, STAGGERED PATTERN, 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9967 XL PEWTER, 50% 9962 XL SILBER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
- EXPOSED POST TENSIONED STRUCTURAL SLAB
- STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 6258 TRICORN BLACK
- STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM CURTAINWALL
- MECHANICAL LOUVER - COLOR: SW 6258 TRICORN BLACK
- HOLLOW METAL DOOR - COLOR: SW 6258 TRICORN BLACK
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 4 - COLOR: LARSON - CLASSIC BLACK
- STEEL FRAME. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM WINDOW WALL

- PRELIMINARY**
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A202.P

Notes:

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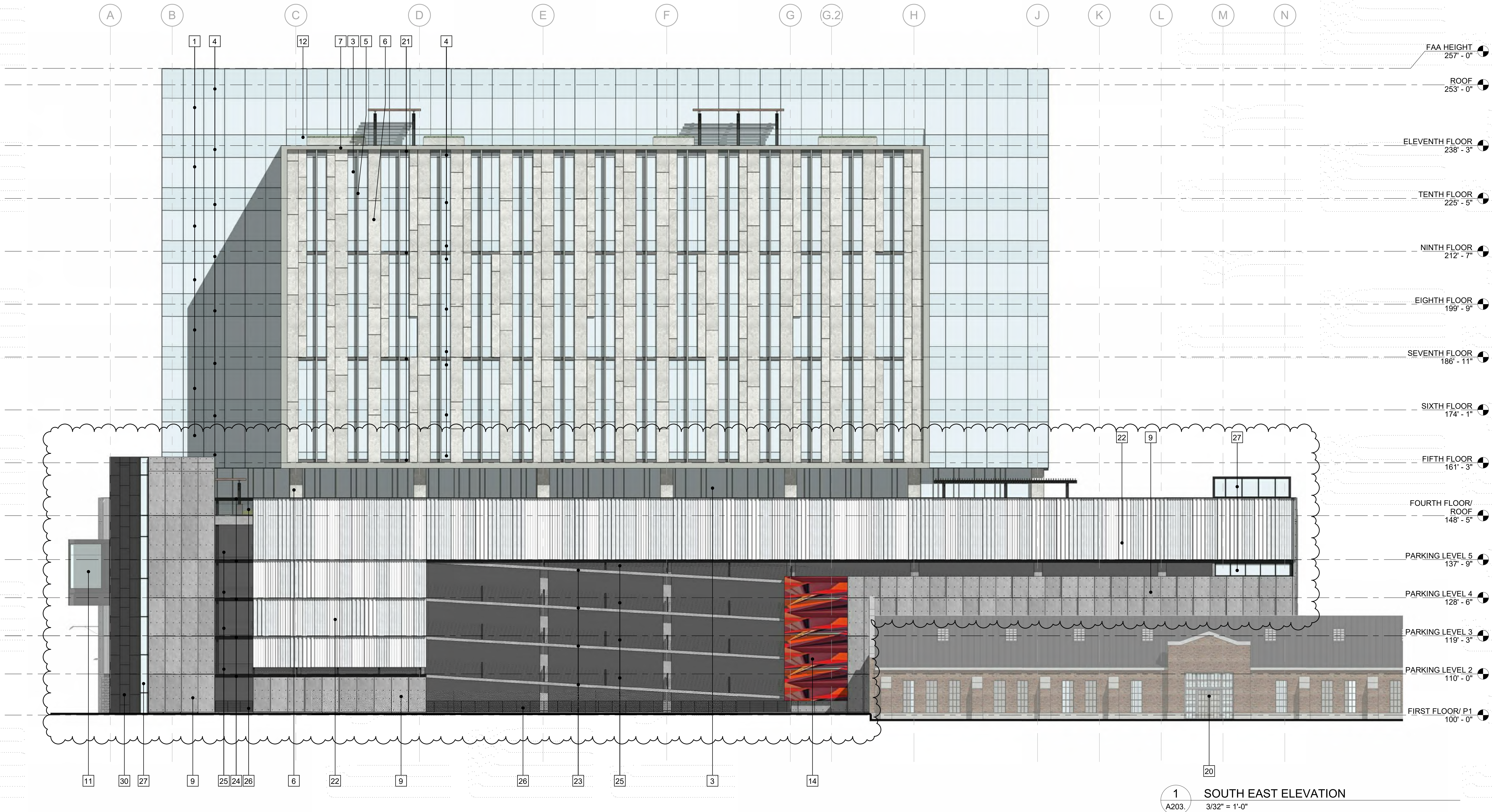
929 E Washington Ave
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BUILDING
ELEVATIONS

A203.



1 SOUTH EAST ELEVATION
A203. 3/32" = 1'-0"

ELEVATION KEY NOTES

- SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM. COLOR MATCH TO LARSON PEWTER METALLIC
- PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC.
- PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- SPANDREL GLAZING. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- EXTRUDED PAINTED ALUMINUM MULLION CAP. COLOR MATCH TO LARSON PEWTER METALLIC
- STONE VENEER. BIESANZ STONE (TAN), FLEURI CUT, HONED FINISH
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 1 - COLOR MATCH TO LARSON PEWTER METALLIC
- FORMED BLOCK 8'X16", ANGELUS HI-LITE MARK 1 - BLACK CANYON
- ARCHITECTURAL PRECAST CONCRETE PANELS
- BIESANZ STONE ACCENT FIN (TAN), FLEURI CUT
- SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
- GLASS GUARDRAIL W/ FRIT PATTERN
- RUBBED CONCRETE WALL / PLANTER
- MURAL WALL
- INSULATED OVERHEAD DOOR - COLOR MATCH TO SW 6258 TRICORN BLACK
- RAMP ENTRY
- FIRE DEPARTMENT CONNECTION
- BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
- GLASS BLOCK WINDOW
- EXISTING BUILDING
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 2 - COLOR MATCH TO LARSON MEDIUM GREY MICA
- CORRUGATED, PERFORATED METAL PANEL TYPE 3. BASIS OF DESIGN CENTRIA ECOSCREEN: EQUAL PARTS OF EACH - BR5-36, MR3-36, STYLE-RIB. 40% OPEN AREA, STAGGERED PATTERN, 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9907 XL PEWTER, 50% 9962 XL SILBER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
- EXPOSED POST TENSIONED STRUCTURAL SLAB
- STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 6258 TRICORN BLACK
- STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM CURTAINWALL
- MECHANICAL LOUVER - COLOR: SW 6258 TRICORN BLACK
- HOLLOW METAL DOOR - COLOR: SW 6258 TRICORN BLACK
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 4 - COLOR: LARSON - CLASSIC BLACK
- STEEL FRAME. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM WINDOW WALL

Notes:

ELEVATION KEY NOTES

- SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM
- PAINTED ALUMINUM CURTAIN WALL SYSTEM, CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS, SSG HORIZONTALS
- PAINTED ALUMINUM WINDOW WALL SYSTEM, CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS, SSG HORIZONTALS
- SPANDREL GLAZING
- EXTRUDED PAINTED ALUMINUM MULLION CAP
- STONE VENEER
- METAL PANEL
- PERFORATED ARCHITECTURAL METAL PANEL
- PRECAST CONCRETE WALL PANEL
- BURNISHED BLOCK
- PAINTED MECHANICAL LOUVER
- GLASS GUARDRAIL W/ FRIT PATTERN
- RUBBED CONCRETE WALL/ W PLANTER
- GREEN SCREEN, WOVEN WIRE MESH ON STEEL FRAME, GALVANIZED, PRIMED AND PAINTED
- INSULATED OVERHEAD DOOR
- RAMP ENTRY
- FIRE DEPARTMENT CONNECTION
- NOT USED
- BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
- GENERATOR EXHAUST FLUE
- EXISTING BUILDING

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

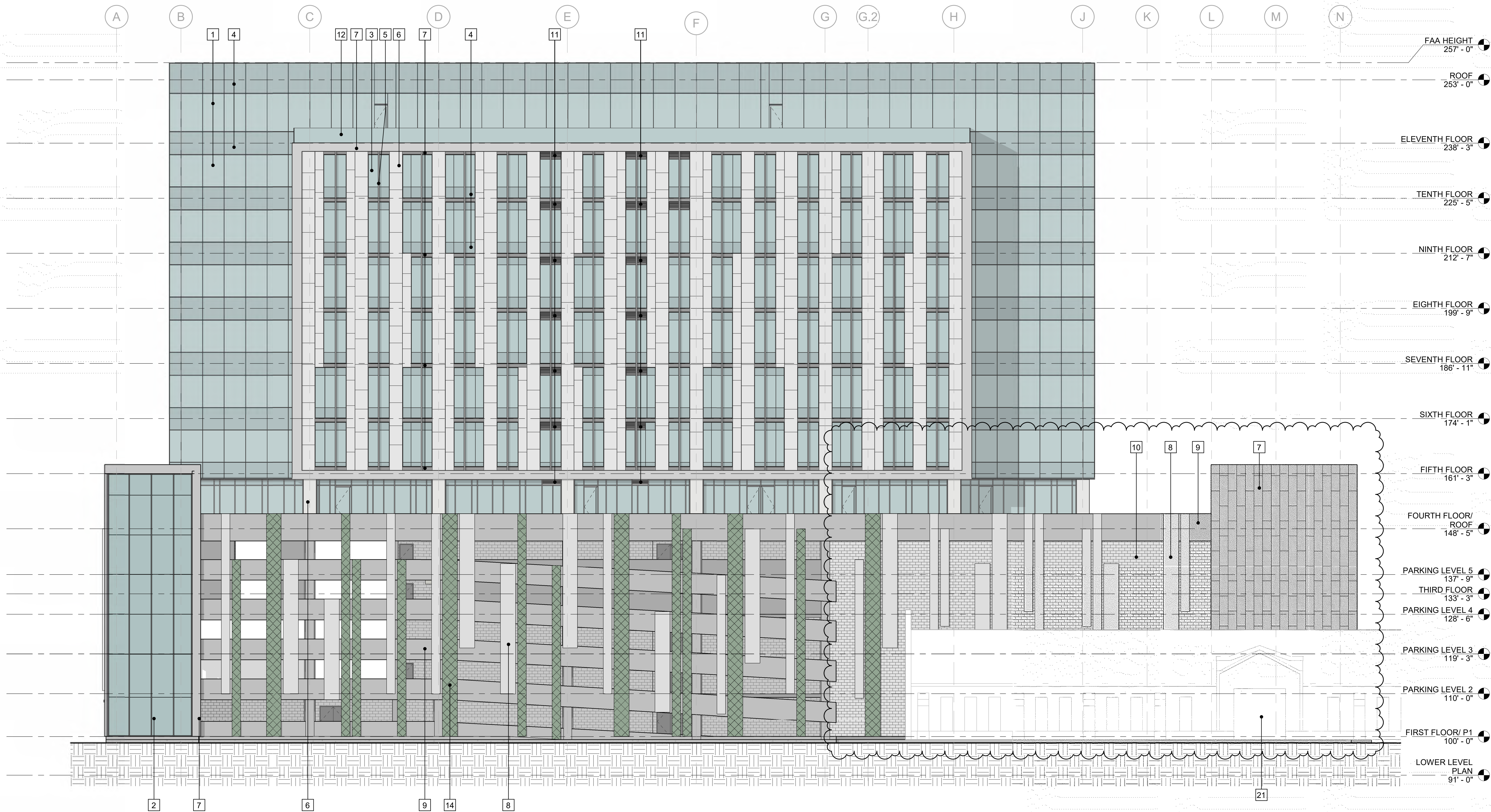
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/23/2020	UDC MINOR ALTERATION	

PREVIOUS
BUILDING
ELEVATIONS

A203.P



1 SOUTH ELEVATION
A203 3/32" = 1'-0"

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

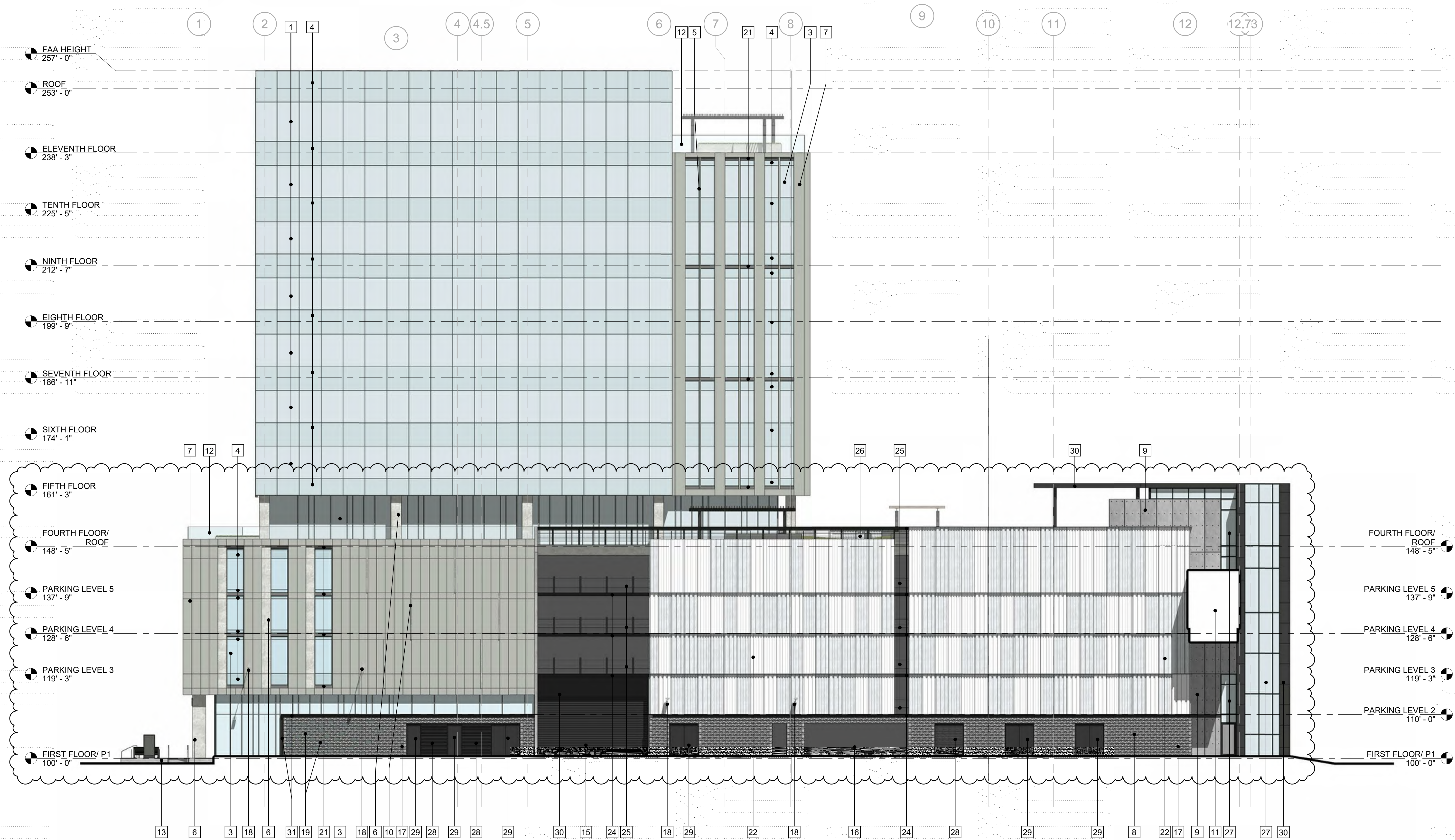
929 E Washington Ave
Madison, Wisconsin

2016.36.02

DATE	ISSUANCE/REVISIONS
01/23/2019	MADISON LAND USE APPLICATION
04/30/2019	REVISED LAND USE SUBMITTAL
06/19/2019	REVISED LAND USE SUBMITTAL
09/02/2020	CONDITIONAL USE MINOR ALTERATION
09/23/2020	UDC MINOR ALTERATION

BUILDING
ELEVATIONS

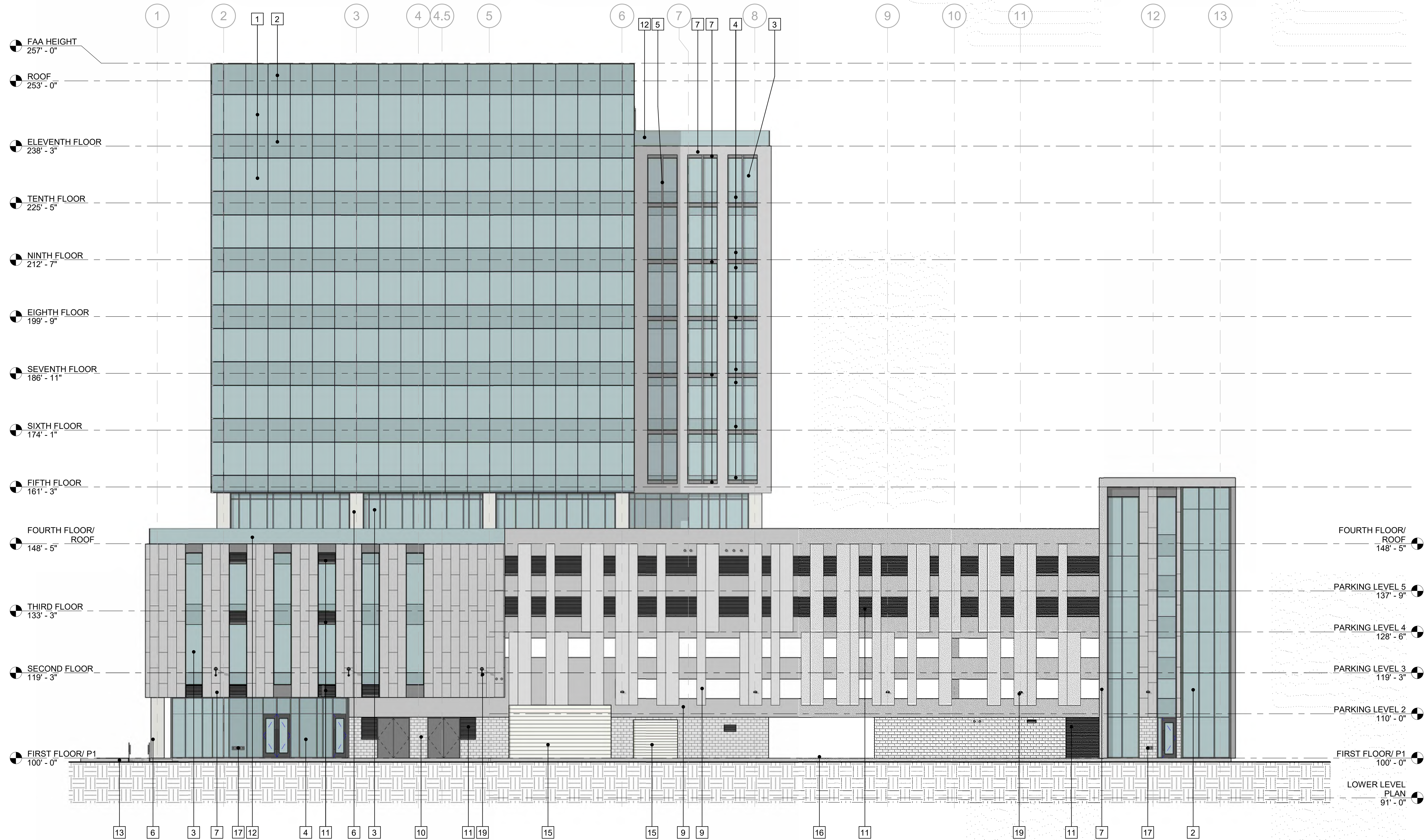
A204.



1 SOUTH WEST ELEVATION
A204. 3/32" = 1'-0"

ELEVATION KEY NOTES

- SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM. COLOR MATCH TO LARSON PEWTER METALLIC
- PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC.
- PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- SPANDREL GLAZING. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- EXTRUDED PAINTED ALUMINUM MULLION CAP. COLOR MATCH TO LARSON PEWTER METALLIC
- STONE VENEER. BIESANZ STONE (TAN), FLEURI CUT, HONED FINISH
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 1 - COLOR MATCH TO LARSON PEWTER METALLIC
- FORMED BLOCK 8"x16", ANGELUS HI-LITE MARK 1 - BLACK CANYON
- ARCHITECTURAL PRECAST CONCRETE PANELS
- BIESANZ STONE ACCENT FIN (TAN), FLEURI CUT
- SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
- GLASS GUARDRAIL W/ FRIT PATTERN
- RUBBED CONCRETE WALL / PLANTER
- MURAL WALL
- INSULATED OVERHEAD DOOR - COLOR MATCH TO SW 6258 TRICORN BLACK
- RAMP ENTRY
- FIRE DEPARTMENT CONNECTION
- BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
- GLASS BLOCK WINDOW
- EXISTING BUILDING
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 2 - COLOR MATCH TO LARSON MEDIUM GREY MICA
- CORRUGATED, PERFORATED METAL PANEL TYPE 3. BASIS OF DESIGN CENTRIA ECOSCREEN. EQUAL PARTS OF EACH - BR5-36, MR3-36, STYLE-RIB. 40% OPEN AREA, STAGGERED PATTERN. 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9967 XL PEWTER, 50% 9962 XL SILBER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
- EXPOSED POST TENSIONED STRUCTURAL SLAB
- STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 6258 TRICORN BLACK
- STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM CURTAINWALL
- MECHANICAL LOUVER - COLOR: SW 6258 TRICORN BLACK
- HOLLOW METAL DOOR - COLOR: SW 6258 TRICORN BLACK
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 4 - COLOR: LARSON - CLASSIC BLACK
- STEEL FRAME. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM WINDOW WALL



1 WEST ELEVATION
3/32" = 1'-0"

Notes:

ELEVATION KEY NOTES

- SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM
- PAINTED ALUMINUM CURTAIN WALL SYSTEM, CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS, SSG HORIZONTALS
- PAINTED ALUMINUM WINDOW WALL SYSTEM, CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS, SSG HORIZONTALS
- SPANDREL GLAZING
- EXTRUDED PAINTED ALUMINUM MULLION CAP
- STONE VENEER
- METAL PANEL
- NOT USED
- PRECAST CONCRETE WALL PANEL
- BURNISHED BLOCK
- PAINTED MECHANICAL LOUVER
- GLASS GUARDRAIL W/ FRIT PATTERN
- RUBBED CONCRETE WALL/ W PLANTER
- GREEN SCREEN, WOVEN WIRE MESH ON STEEL FRAME, GALVANIZED, PRIMED AND PAINTED
- INSULATED OVERHEAD DOOR
- RAMP ENTRY
- FIRE DEPARTMENT CONNECTION
- NOT USED
- BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
- GENERATOR EXHAUST FLUE

PRELIMINARY
NOT FOR CONSTRUCTION

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2016.36.02

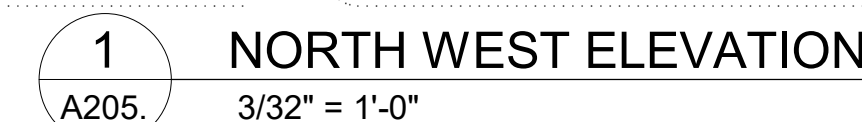
Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
09/23/2020	UDC MINOR ALTERATION	

PREVIOUS
BUILDING
ELEVATIONS

A204.P

[illegible]

A205.



- ELEVATION NOTE NOTES**

 - 1 SSG PAINTED ALUMINUM CURTAIN WALL SYSTEM. COLOR MATCH TO LARSON PEWTER METALLIC
 - 2 PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC
 - 3 PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS
 - 4 SPANDREL GLAZING. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS
 - 5 EXTRUDED PAINTED ALUMINUM MULLION CAP. COLOR MATCH TO LARSON PEWTER METALLIC
 - 6 STONE VENEER. BIESANZ STONE (TAN), FLEURI CUT, HONED FINISH
 - 7 CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 1 - COLOR MATCH TO LARSON PEWTER METALLIC
 - 8 FORMED BLOCK 8"x16", ANGELUS HLITE MARK 1 BLACK CANYON
 - 9 ARCHITECTURAL PRECAST CONCRETE PANELS
 - 10 BIESANZ STONE ACCENT FIN (TAN), FLEURI CUT
 - 11 SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
 - 12 GLASS GUARDRAIL W/ FRIT PATTERN
 - 13 RUBBED CONCRETE WALL / PLANTER
 - 14 MURAL WALL
 - 15 INSULATED OVERHEAD DOOR - COLOR MATCH TO SW 6258 TRICORN BLACK
 - 16 RAMP ENTRY
 - 17 FIRE DEPARTMENT CONNECTION
 - 18 BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
 - 19 GLASS BLOCK WINDOW
 - 20 EXISTING BUILDING
 - 21 CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 2 - COLOR MATCH TO LARSON MEDIUM GREY W/DA
 - 22 CORRUGATED PERFORATED METAL PANEL TYPE 3 BASIS OF DESIGN CENTRIA ECOSCREEN: EQUAL PARTS OF EACH - BR5-36 MR3-36 STYLE-RIB. 40% OPEN AREA, STAGGERED PATTERN, 3/4" HOLES @ 9/16" SPACING, (2) PAINT FINISH: 50% 9987 XL PEWTER 50% 9982 XL SILBER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
 - 23 EXPOSED POST TENSIONED STRUCTURAL SLAB
 - 24 STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
 - 25 STEEL CRASH CABLE RAIL GUARDRAIL - SW 6258 TRICORN BLACK
 - 26 STEEL GUARDRAIL, GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
 - 27 BLACK ANODIZED ALUMINUM CURTAINWALL
 - 28 MECHANICAL LOUVER - COLOR: SW 6258 TRICORN BLACK
 - 29 HOLLOW METAL DOOR - COLOR: SW 6258 TRICORN BLACK
 - 30 CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 4 - COLOR: LARSON - CLASSIC BLACK
 - 31 STEEL FRAME GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
 - 32 BLACK ANODIZED ALUMINUM WINDOW WALL

A206.



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[illegible]

A207.

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

LOWER LEVEL
PLAN
91' - 0"

Archipelago

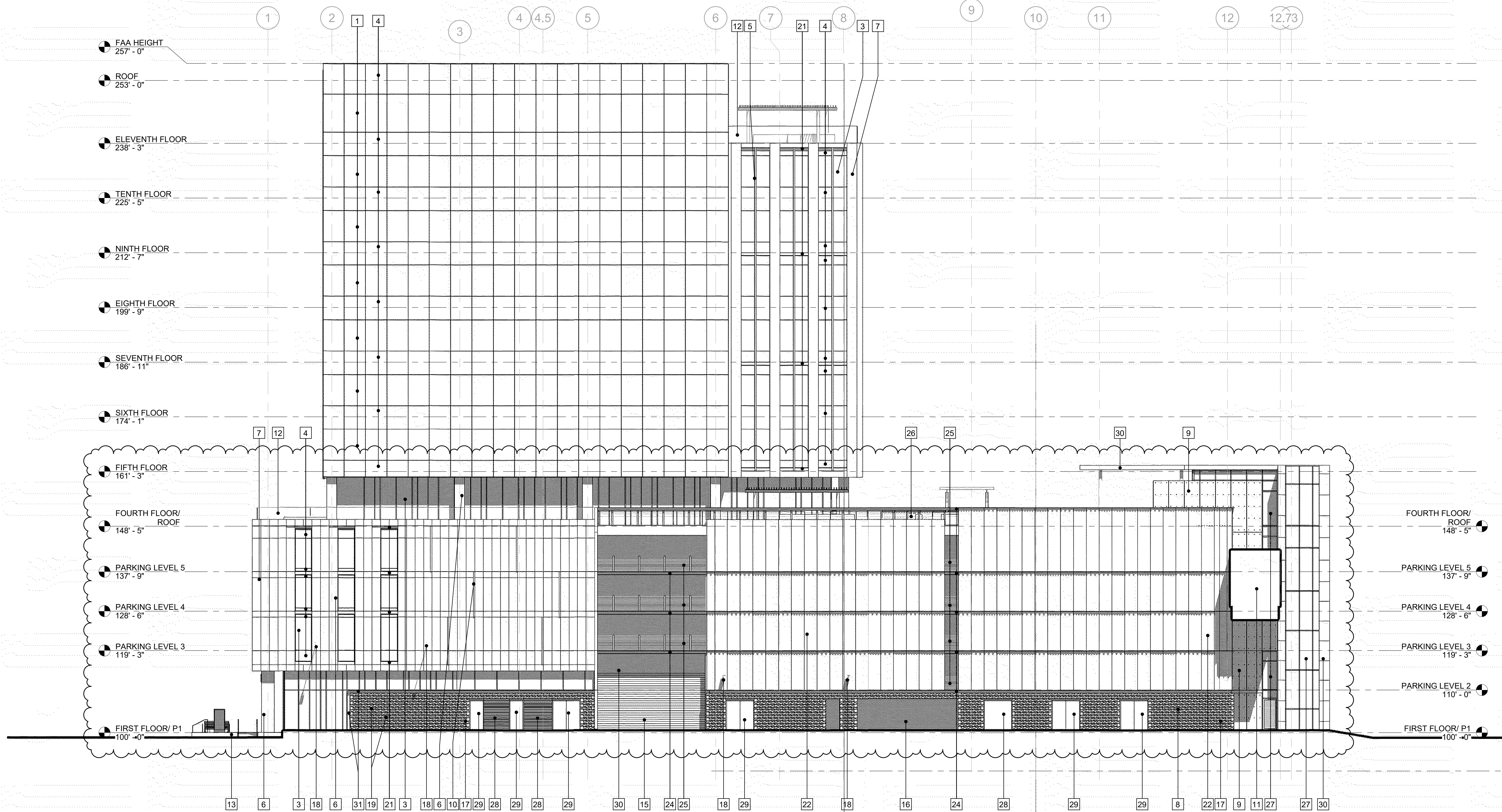
929 E Washington Ave
Madison, Wisconsin

2016.36.02

DATE 09/23/2020 ISSUANCE/REVISIONS UDC MINOR ALTERATION

BUILDING
ELEVATIONS

A208.



1 SOUTH WEST ELEVATION
A208. 3/32" = 1'-0"

ELEVATION KEY NOTES

- SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM. COLOR MATCH TO LARSON PEWTER METALLIC
- PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC.
- PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- SPANDREL GLAZING. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS.
- EXTRUDED PAINTED ALUMINUM MULLION CAP. COLOR MATCH TO LARSON PEWTER METALLIC
- STONE VENEER. BIESANZ STONE (TAN), FLEURI CUT, HONED FINISH
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 1 - COLOR MATCH TO LARSON PEWTER METALLIC
- FORMED BLOCK 8'X16", ANGELUS HI-LITE MARK 1 - BLACK CANYON
- ARCHITECTURAL PRECAST CONCRETE PANELS
- BIESANZ STONE ACCENT FIN (TAN), FLEURI CUT
- SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
- GLASS GUARDRAIL W/ FRIT PATTERN
- RUBBED CONCRETE WALL / PLANTER
- MURAL WALL
- INSULATED OVERHEAD DOOR - COLOR MATCH TO SW 6258 TRICORN BLACK
- RAMP ENTRY
- FIRE DEPARTMENT CONNECTION
- BUILDING MOUNTED EXTERIOR LIGHT FIXTURE
- GLASS BLOCK WINDOW
- EXISTING BUILDING
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 2 - COLOR MATCH TO LARSON MEDIUM GREY MICA

- CORRUGATED, PERFORATED METAL PANEL TYPE 3. BASIS OF DESIGN CENTRIA ECOSCREEN. EQUAL PARTS OF EACH - BR5-36, MR3-36, STYLE-RIB. 40% OPEN AREA, STAGGERED PATTERN, 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9967 XL PEWTER, 50% 9962 XL SILVER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
- EXPOSED POST TENSIONED STRUCTURAL SLAB
- STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 6258 TRICORN BLACK
- STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM CURTAINWALL
- MECHANICAL LOUVER - COLOR: SW 6258 TRICORN BLACK
- HOLLOW METAL DOOR - COLOR: SW 6258 TRICORN BLACK
- CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 4 - COLOR: LARSON - CLASSIC BLACK
- STEEL FRAME. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK
- BLACK ANODIZED ALUMINUM WINDOW WALL

2016.36.02

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A301.

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Modified design

DATE	ISSUANCE/REVISIONS	
09/23/2020	UDC MINOR ALTERATION	

A401.



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

929 E Washington Ave
Madison, Wisconsin

2016.36.02

[illegible]

BUILDING PERSPECTIVES

A402.

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking
Ramp

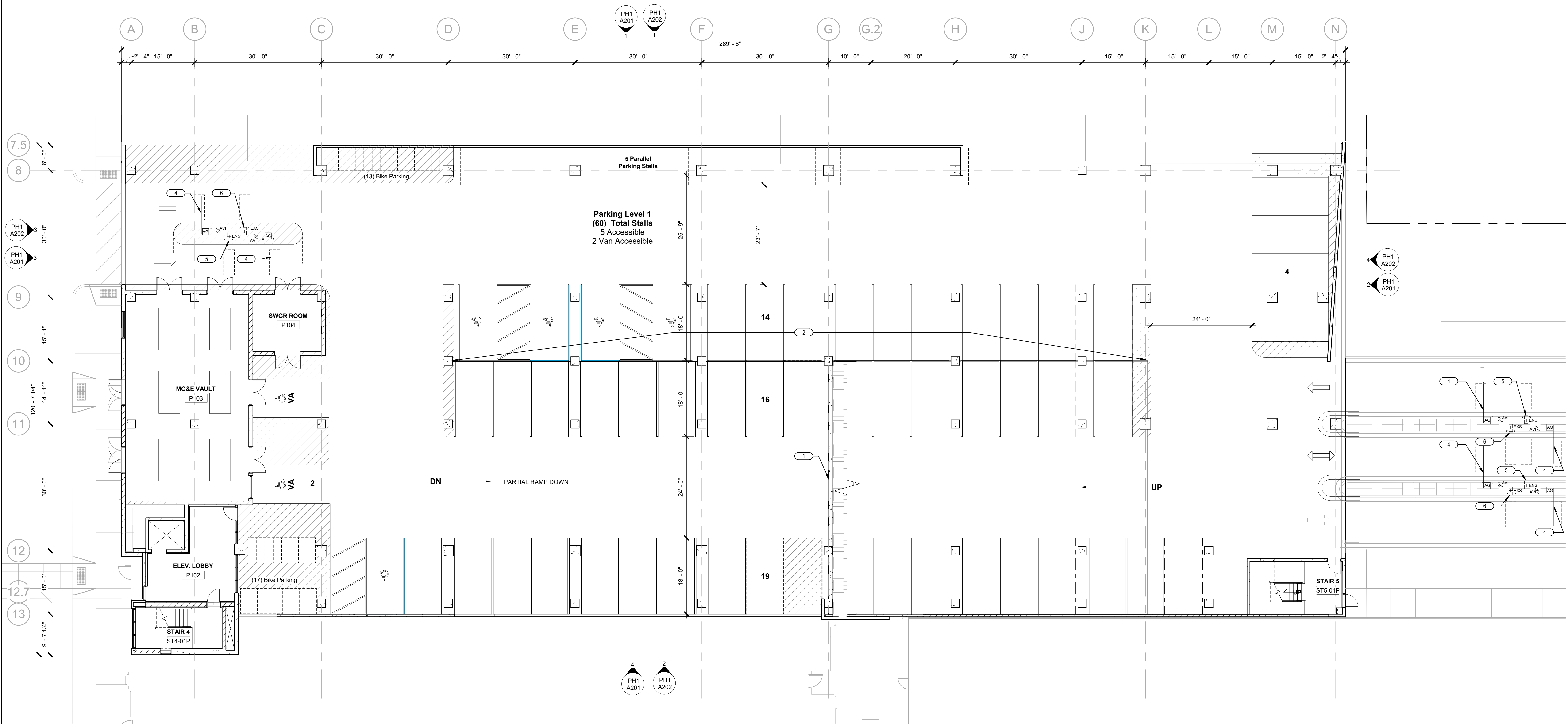
929 E Washington Ave
Madison, Wisconsin

2016.36.04

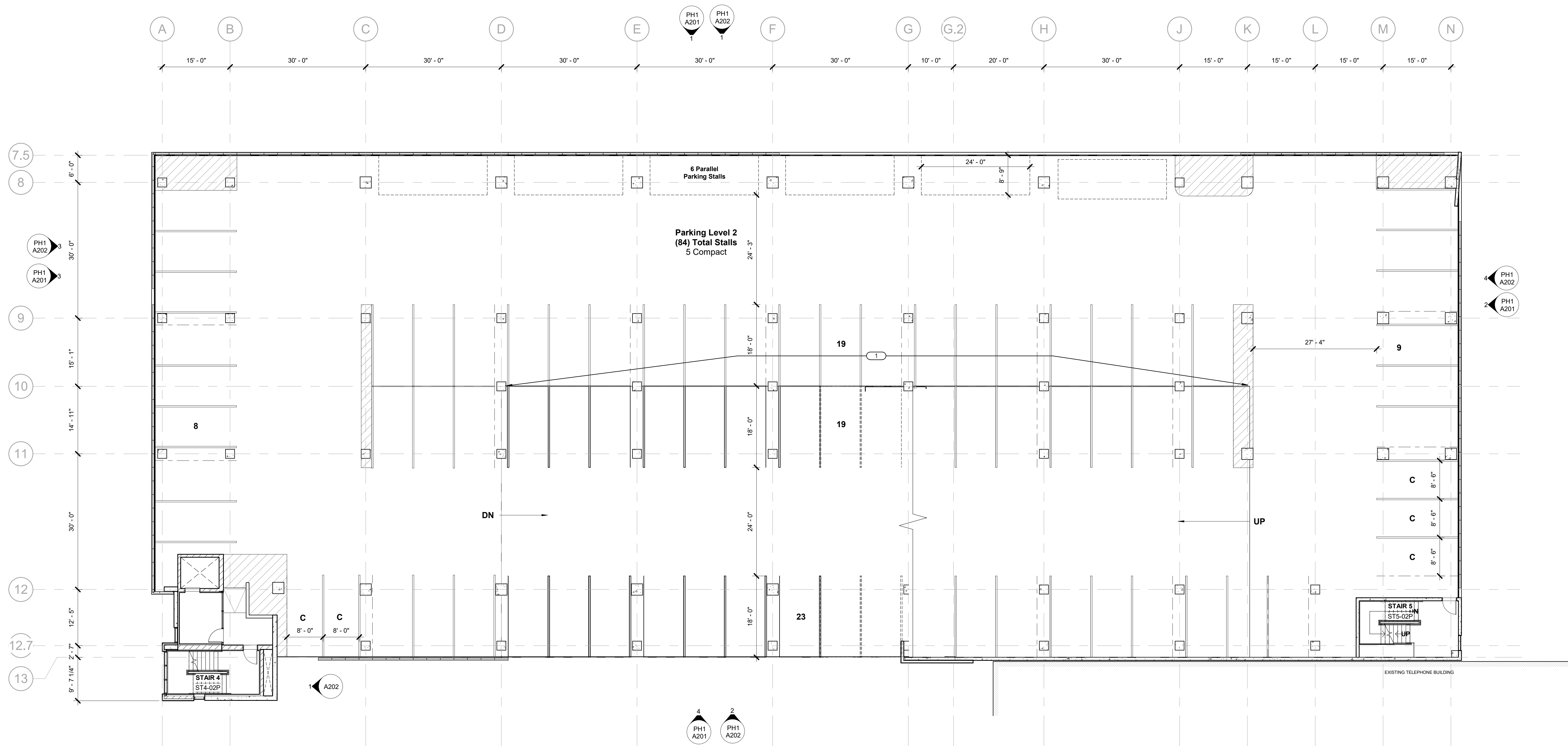
Date: 09/23/2020 Issuance/Revisions: UDC MINOR ALTERATION Symbol:

PHASE 1 -
PARKING LEVEL 1

PH1 A102



Notes:



PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

929 E Washington Ave
Madison, Wisconsin

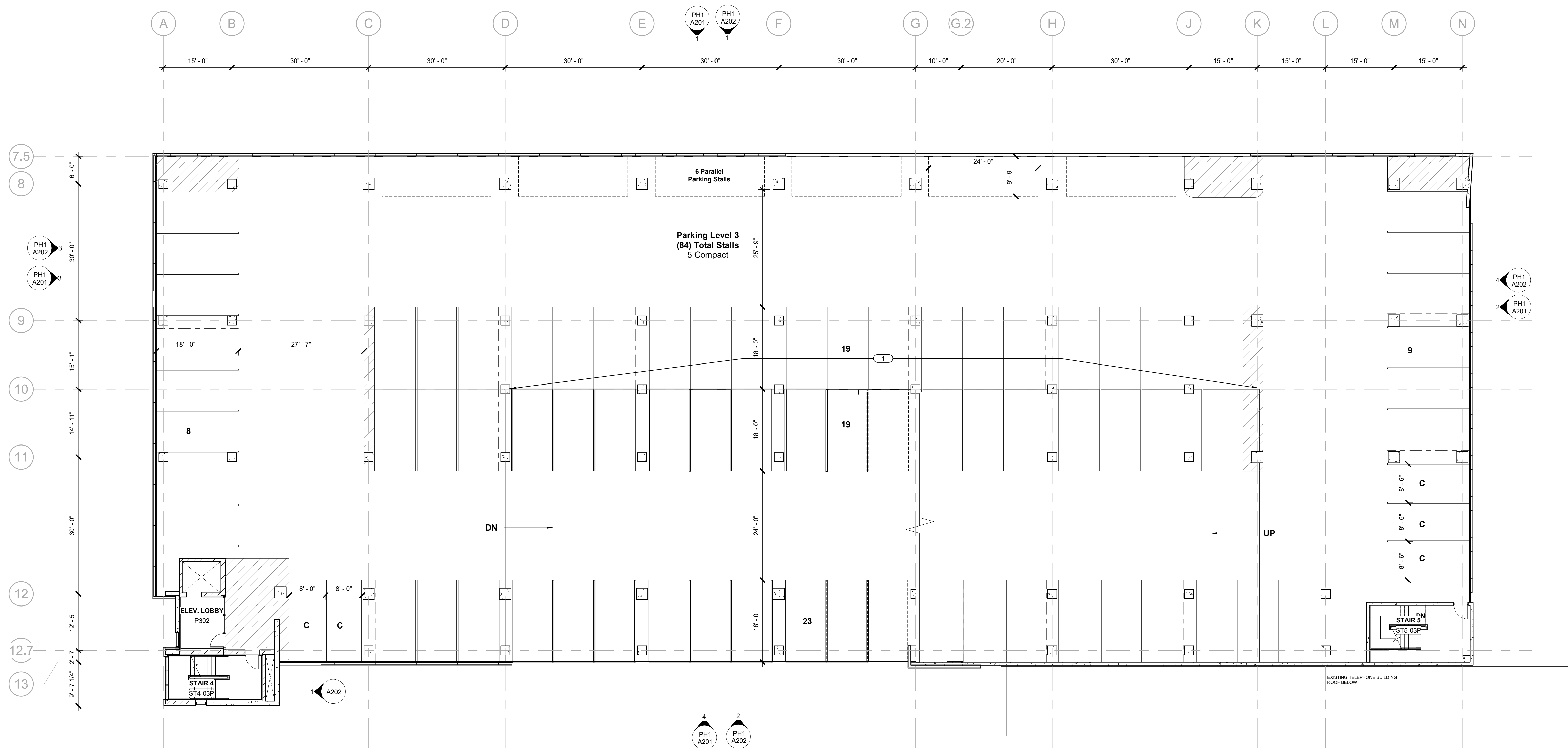
2016.36.04

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PHASE 1 - PARKING LEVEL 2

PH1 A103

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PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

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Madison, Wisconsin

2016.36.04

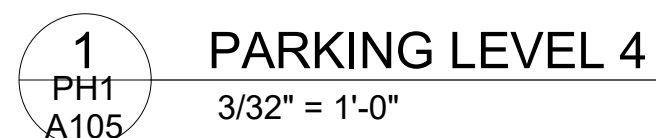
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PHASE 1 - PARKING LEVEL 3

PH1 A104

[illegible]

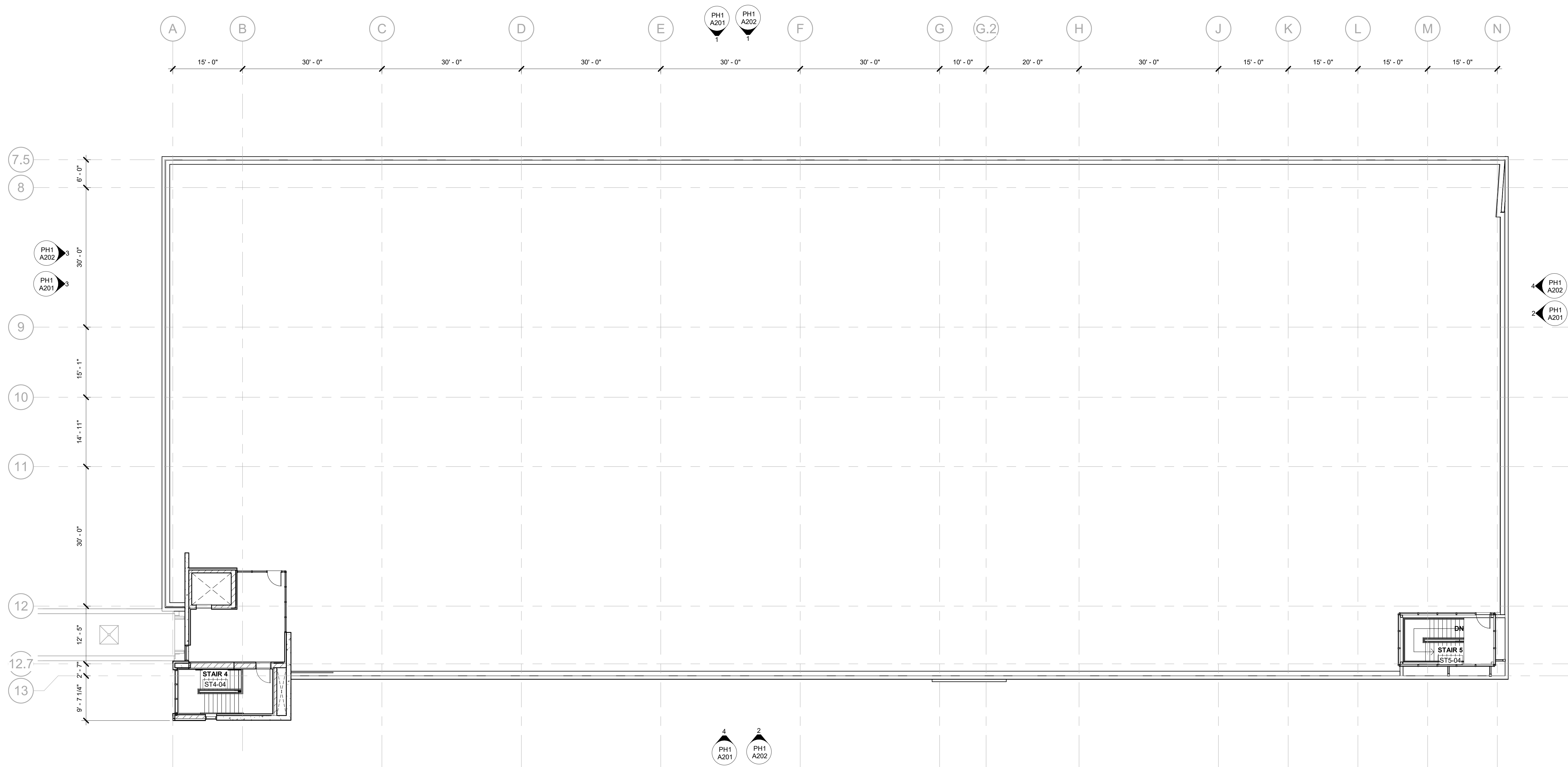
PH1 A105



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PH1 A107

Notes:



PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

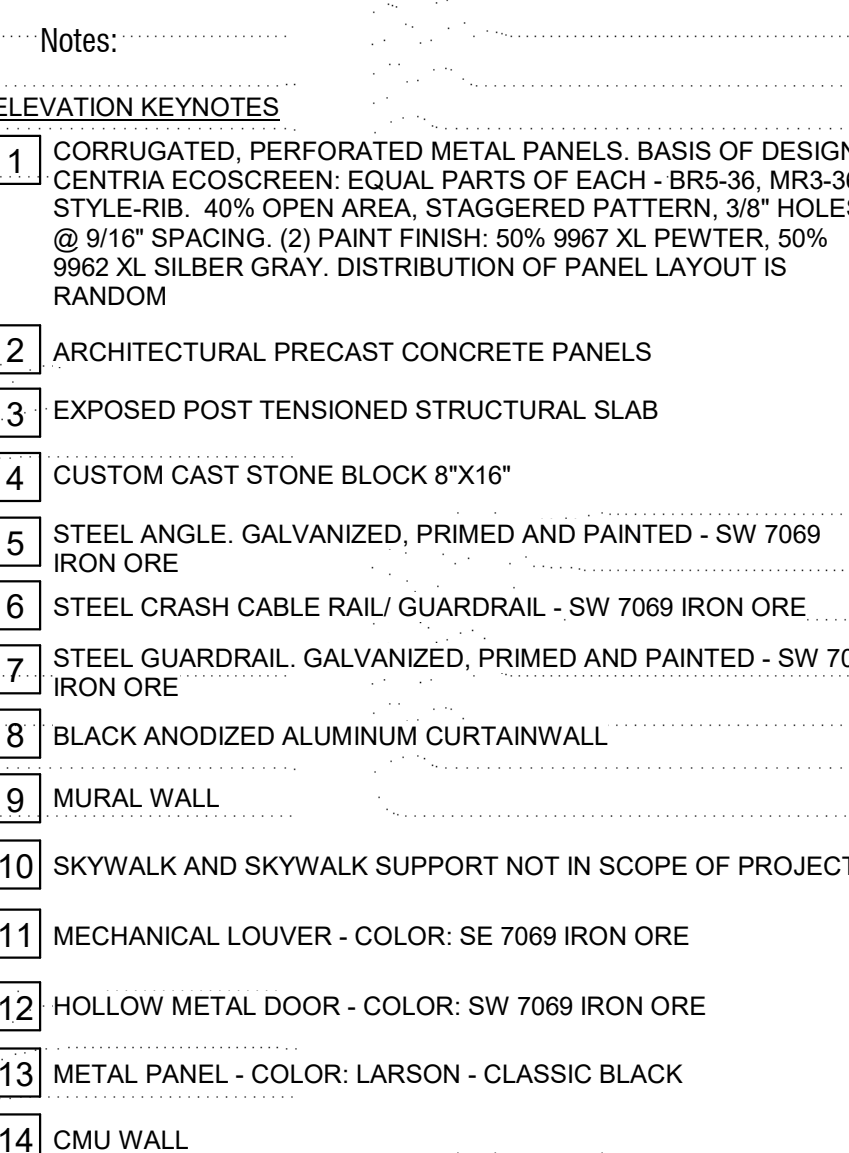
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Madison, Wisconsin

2016.36.04

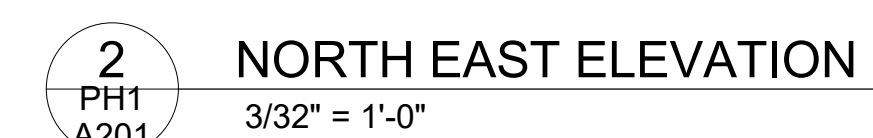
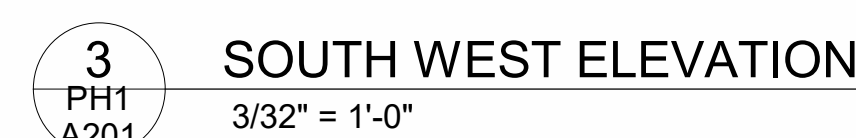
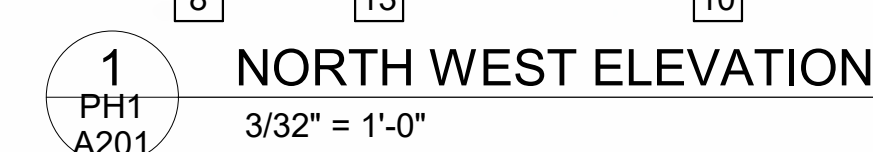
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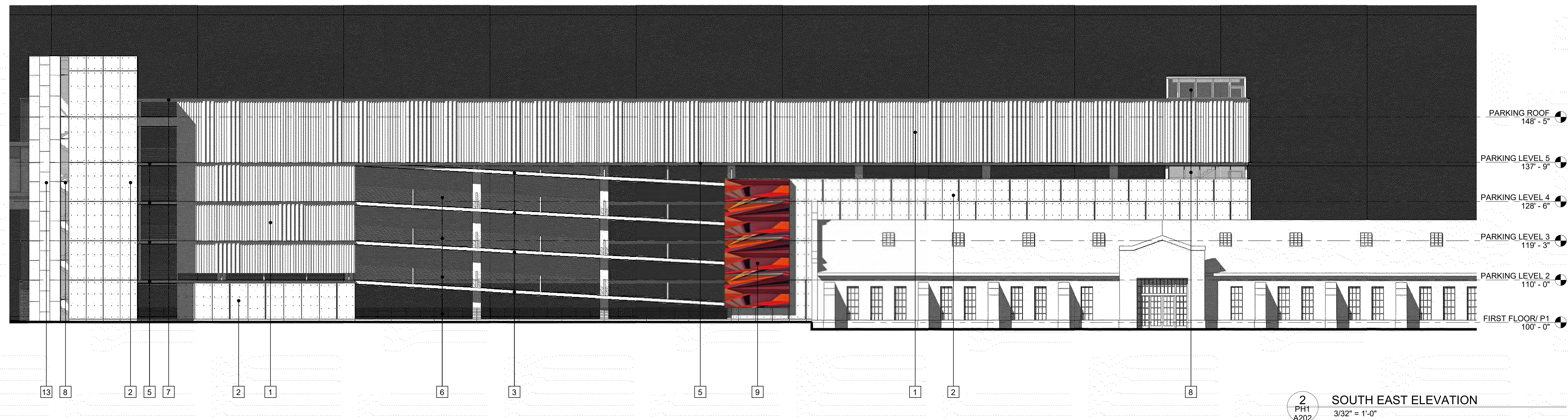
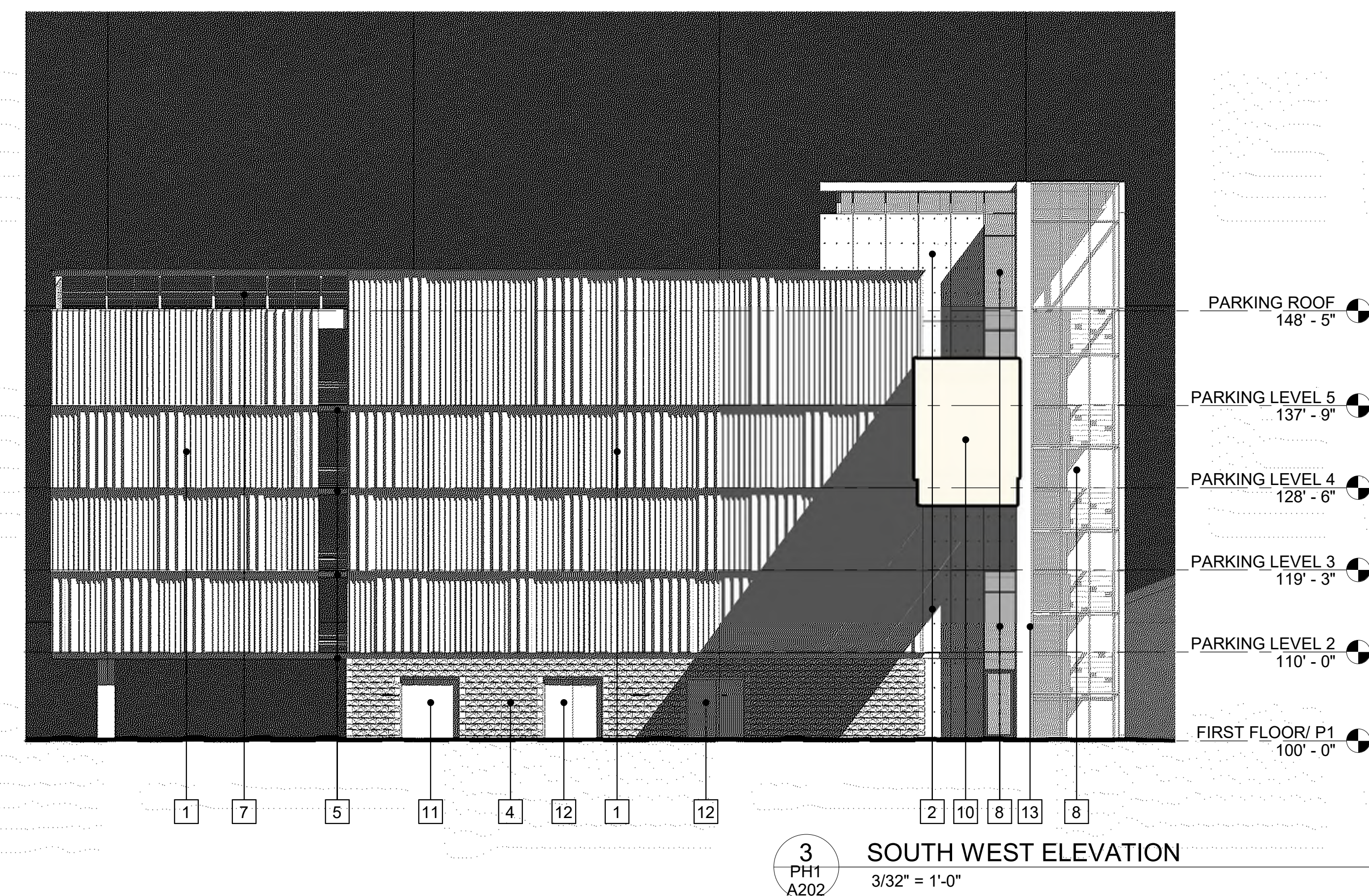
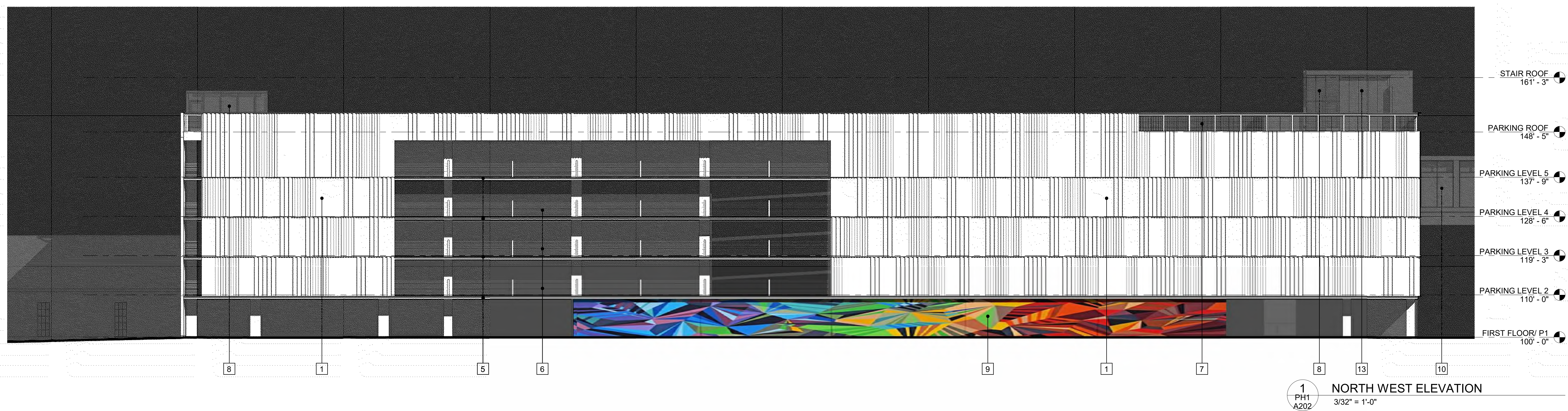
PHASE 1 - PARKING ROOF

PH1 A108

[illegible]

PH1 A201





- Notes:

ELEVATION KEYNOTES

 - 1 CORRUGATED, PERFORATED METAL PANELS. BASIS OF DESIGN: 36" X 120" CORRUGATED PERFORATED METAL PANELS OF EACH - BR5-SB, MP3-SB, STYLE-RB, 40% OPEN AREA, STAGGERED PATTERN, 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9967 XL PEWTER, 50% 9982 XL SILVER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
 - 2 ARCHITECTURAL PRECAST CONCRETE PANELS
 - 3 EXPOSED POST TENSIONED STRUCTURAL SLAB
 - 4 CUSTOM CAST STONE BLOCK 8"x16"
 - 5 STEEL ANGLE: GALVANIZED, PRIMED AND PAINTED - SW 7069 IRON ORE
 - 6 STEEL CRASH CABLE RAIL GUARDRAIL - SW 7069 IRON ORE
 - 7 STEEL GUARDRAIL, GALVANIZED, PRIMED AND PAINTED - SW 7069 IRON ORE
 - 8 BLACK ANODIZED ALUMINUM CURTAINWALL
 - 9 MURAL WALL
 - 10 SKYWAY AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
 - 11 MECHANICAL LOUVER - COLOR: SE 7069 IRON ORE
 - 12 HOLLOW METAL DOOR - COLOR: SW 7069 IRON ORE
 - 13 METAL PANEL - COLOR: LARSON - CLASSIC BLACK
 - 14 CMU WALL

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking
Ramp

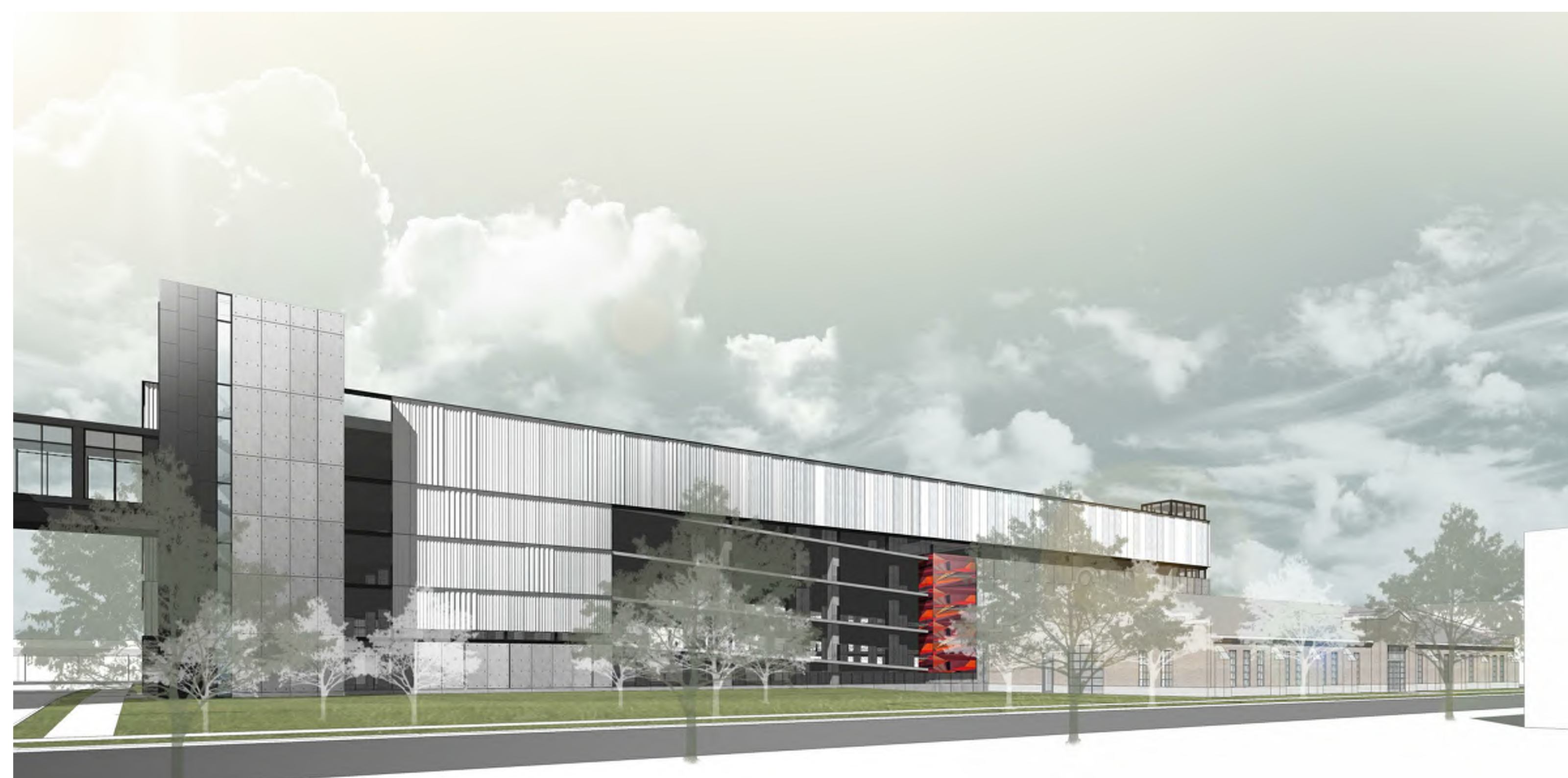
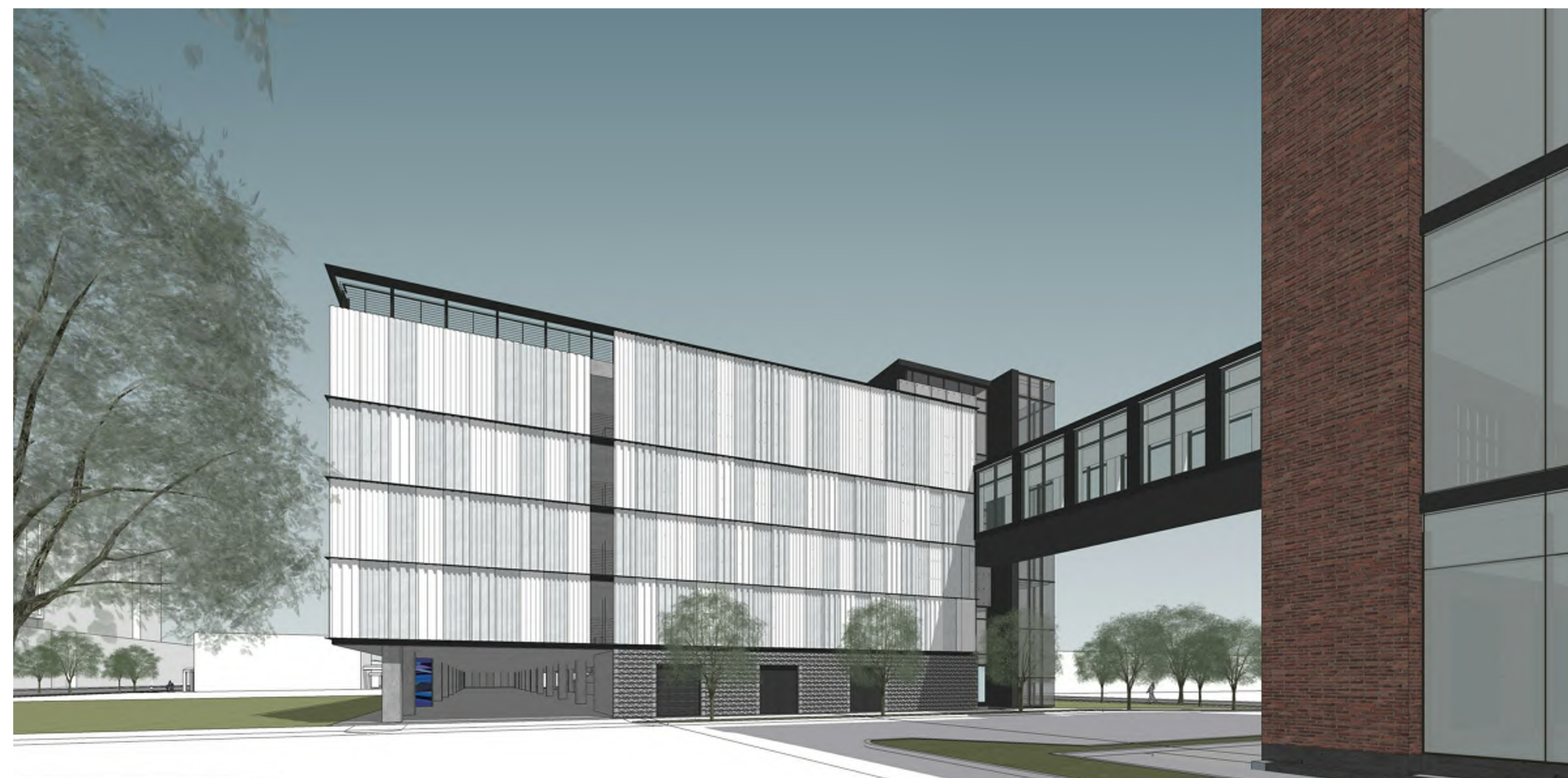
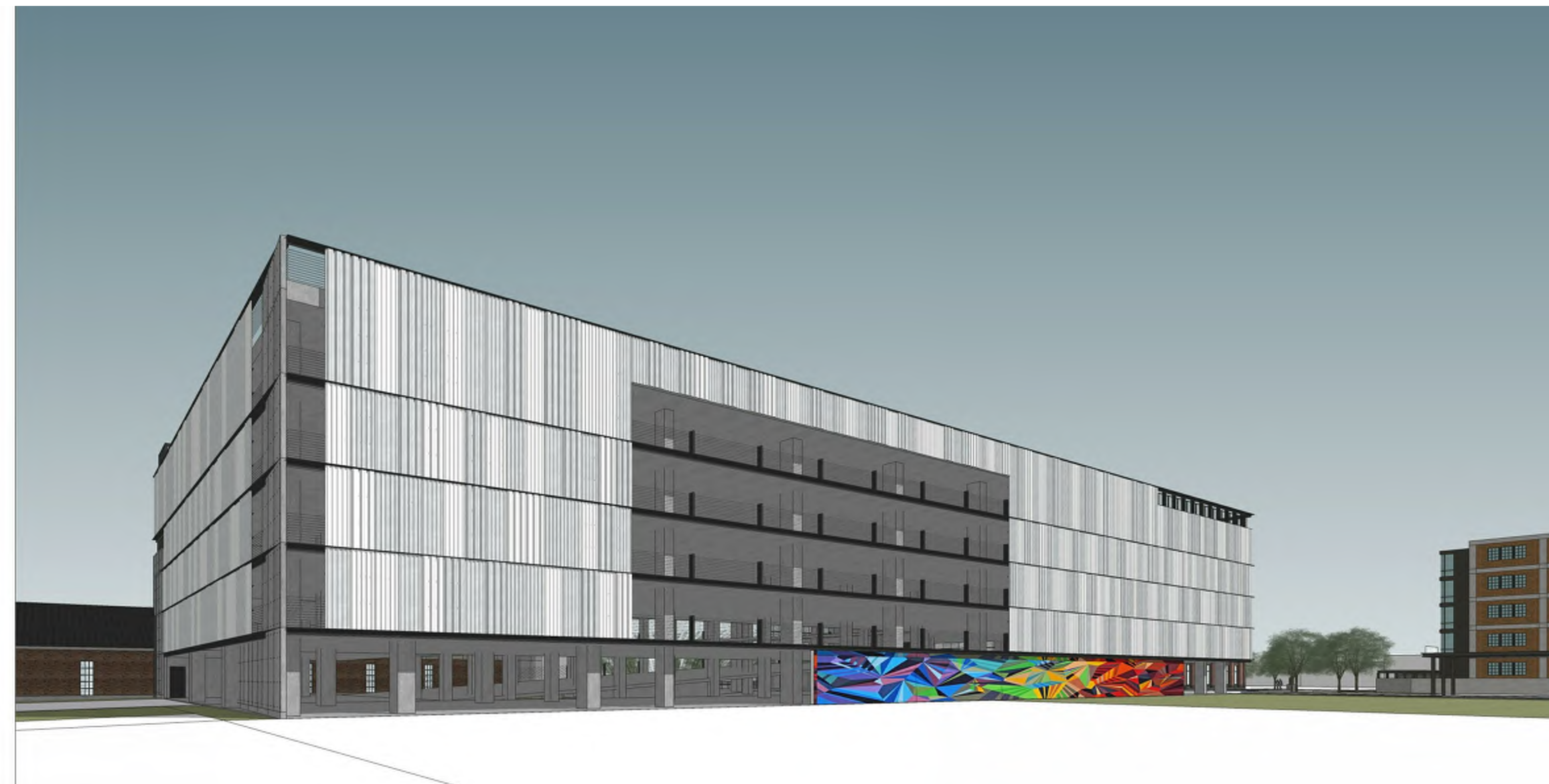
929 E Washington Ave
Madison, Wisconsin

2016.36.04

[illegible]

PHASE 1 - BUILDING ELEVATIONS

PH1 A202



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

929 E Washington Ave
Madison, Wisconsin

2016.36.04

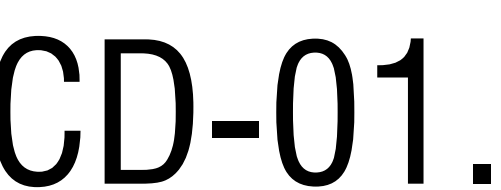
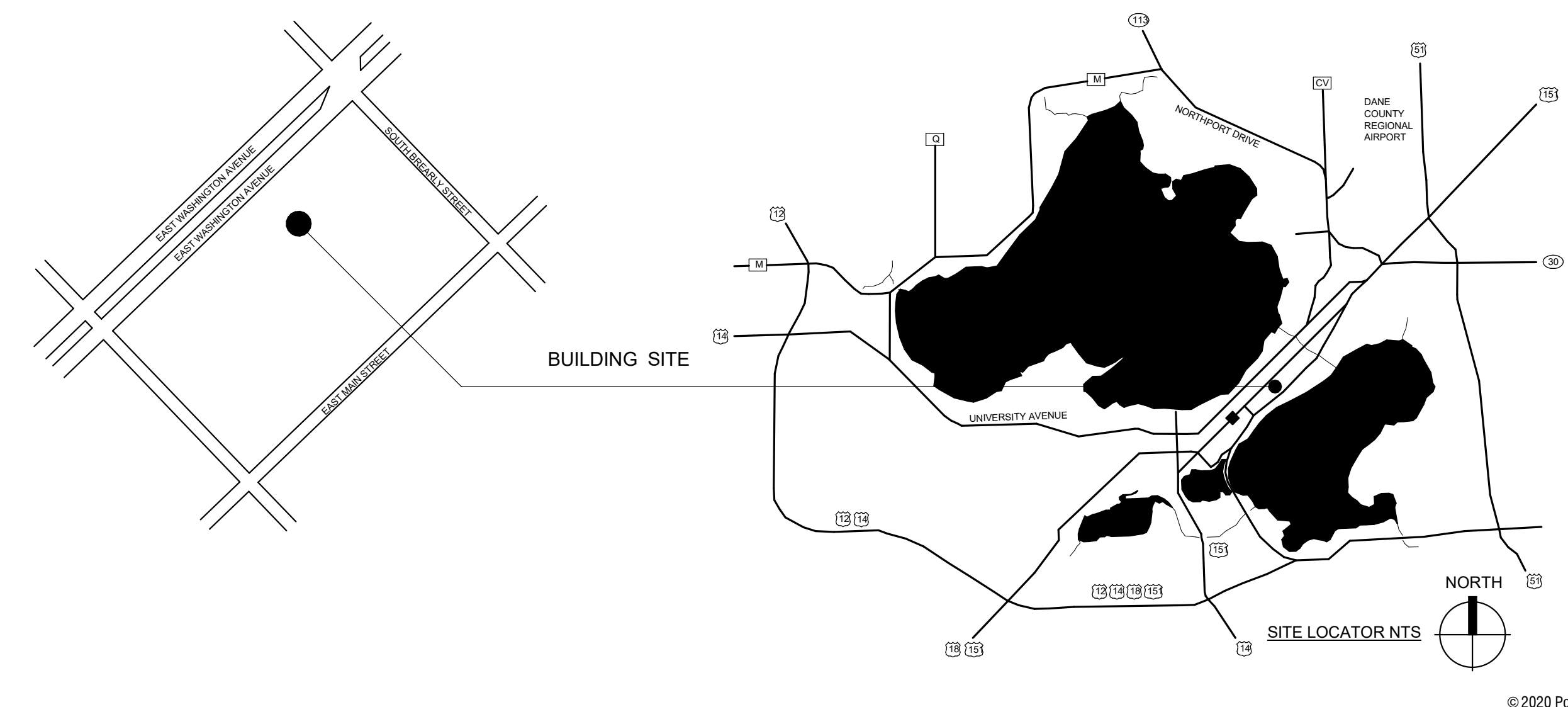
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BUILDING PERSPECTIVES

PH1 A401

09/02/2020 CONDITIONAL USE MINOR ALTERATION

ELECTRICAL		
LD01	SITE LANDSCAPE LIGHTING PLAN	R
LD02	FOURTH FLOOR LIGHTING PLAN	R
LD03	ELEVENTH FLOOR LIGHTING PLAN	R



Notes: _____

Archipelago

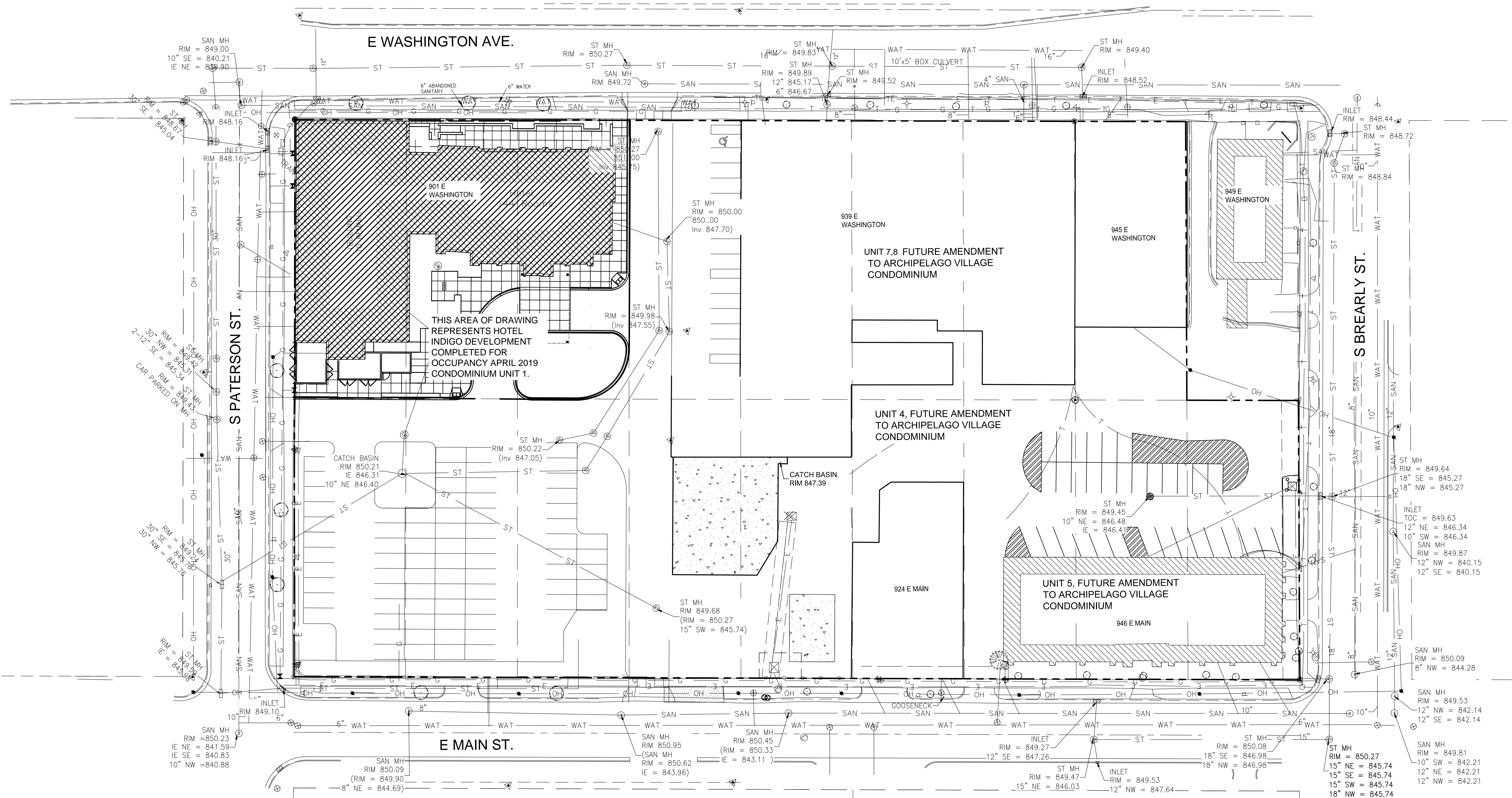
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
07/30/2019	REVISED BREARLY ST. DRIVEWAY	
08/26/2019	REVISED SAN & STORM LATERALS	
09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

EXISTING SITE PLAN

SV100



LEGEND

- | | |
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| <ul style="list-style-type: none"> ○ SANITARY MANHOLE ⊙ YARD CLEANOUT ⊕ STORM MANHOLE ⊗ STORM INLET ⊘ STORM CATCH BASIN △ APRON ENDWALL ⊕ WATER MANHOLE ⊕ HYDRANT ⊕ WATER VALVE ⊕ GAS METER ⊕ GAS VALVE ⊕ LIGHT POLE ⊕ TRAFFIC SIGNAL ⊕ MONITORING WELL ⊕ ELECTRICAL OUTLET ⊕ UTILITY POLE ⊕ GUY WIRE / DEAD MAN ⊕ ELECTRIC PEDESTAL ⊕ ELECTRIC MANHOLE ⊕ CABLE PEDESTAL ○ BOLLARD ⊕ SIGN ⊕ HANDICAP RAMP ⊕ HANDICAP STALL ⊕ STONE WALL | <ul style="list-style-type: none"> — CATCH CURB — REJECT CURB — BURIED WATER MAIN — SAN — SANITARY SEWER — ST — STORM SEWER — SF — SILT FENCE — RD — ROOF DRAIN — OH — OVERHEAD WIRES — CATV — BURIED CABLE TV LINES — E — BURIED ELECTRIC — T — BURIED TELEPHONE — FO — FIBER OPTIC — G — BURIED GAS MAIN — CAUTION — PROPERTY LINE — UTILITY EASEMENT — SETBACK LINE ▨ BUILDING TO BE DEMOLISHED ▨ BUILDING TO REMAIN --- FUTURE CONDOMINIUM BOUNDARY LINE |
|--|--|

DESCRIPTION:
PARCEL A, LOT 13, BLOCK 158, ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR RAILROAD SPUR TRACK AS SET FORTH IN VOLUME 295 OF DEEDS, PAGE 287, AS DOCUMENT NO. 432963, AND EXCEPT GRANT TO MAUTZ PAINT AND GLASS COMPANY AS SET FORTH IN VOLUME 83 OF MISC. PAGE 331, AS DOCUMENT NO. 490713.
PARCEL B, LOTS 1 THROUGH 8 INCLUSIVE, LOTS 10 THROUGH 12 INCLUSIVE, AND LOTS 14 THROUGH 18 INCLUSIVE, BLOCK 158, ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

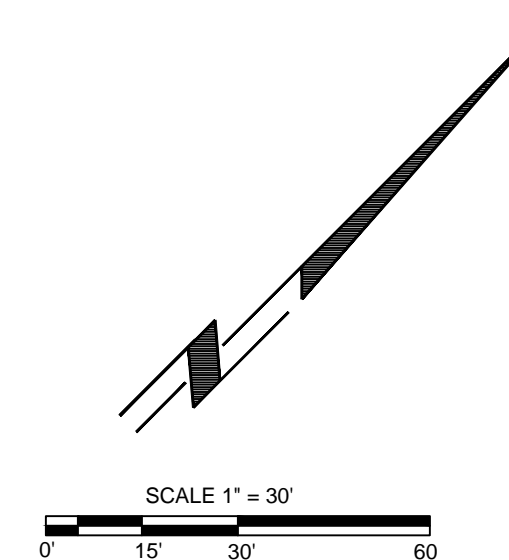
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C, AREAS OF MINIMAL FLOODING AS INDICATED ON FLOOD INSURANCE RATE MAP - CITY OF MADISON, DANE COUNTY, WISCONSIN, PANEL 10 OF 30, COMMUNITY-PANEL NO. 550083 0010 D- MAP REVISED SEPTEMBER 18, 1986.

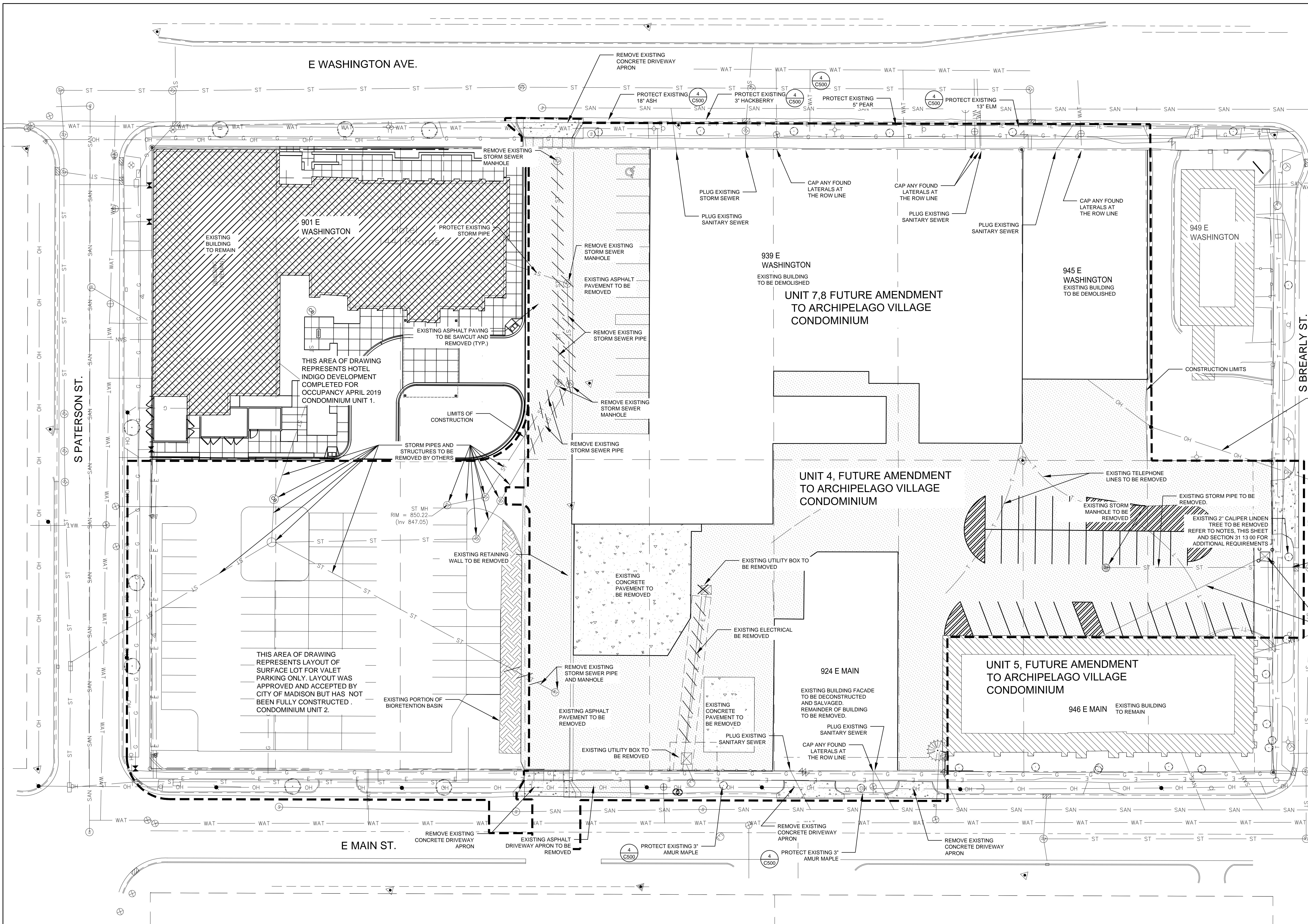
NOTES:
ALL BEARINGS ARE REFERENCED TO THE NORTHWESTERLY LINE OF BLOCK 158, N45°01'42"E ASSUMED.
GAS AND ELECTRIC INFORMATION IS FROM MADISON GAS AND ELECTRIC COMPANY.
SANITARY SEWER, WATER AND STORM SEWER INFORMATION IS FROM CITY OF MADISON ENGINEERING DIVISION.
ZONING DISTRICT IS TRADITIONAL EMPLOYMENT

ALL BENCH MARKS ARE TOP OF HYDRANT AND ARE CITY OF MADISON DATUM

BENCH MARKS
B.M. 1 = HYDRANT AT THE SOUTHERLY CORNER OF EAST WASHINGTON AVE. AND PATERSON STREET
B.M. 2 = 853.39 = HYDRANT MID-BLOCK ON EAST WASHINGTON AVE.
B.M. 4 = 852.82 = HYDRANT AT THE WESTERLY CORNER OF BREARLY STREET AND MAIN STREET
B.M. 5 = 854.12 = MID-BLOCK ON EAST MAIN STREET
B.M. 6 = 852.74 = EASTERLY CORNER OF MAIN STREET AND PATERSON STREET
B.M. 7 = 852.21 = MID-BLOCK ON SOUTH PATERSON STREET

The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.





Notes:

REMOVE EXISTING OVERHEAD LINE TO NEAREST OFFSITE POLE.

PLUG EXISTING STORM SEWER

EXISTING TRANSFORMER TO BE RELOCATED. NEW UNDERGROUND FEED TO EXISTING BUILDING TO BE INSTALLED.

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Madison, Wisconsin

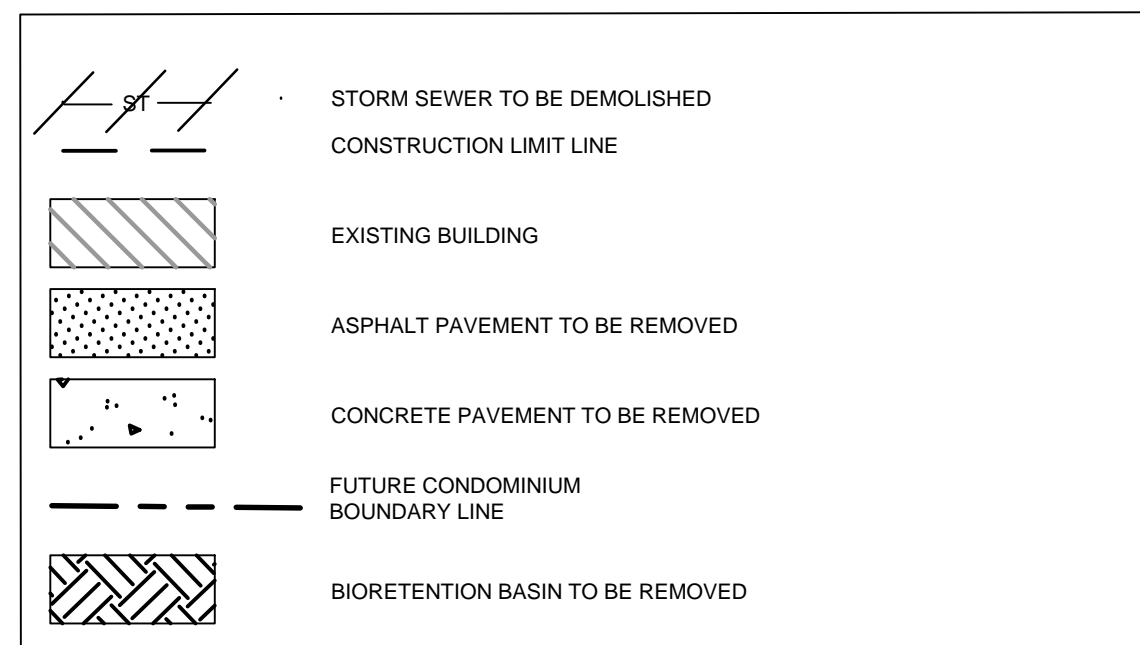
2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
07/30/2019	REVISED BREARLY ST. DRIVEWAY	
08/26/2019	REVISED SAN & STORM LATERALS	
09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

SITE DEMOLITION PLAN

C100

LEGEND

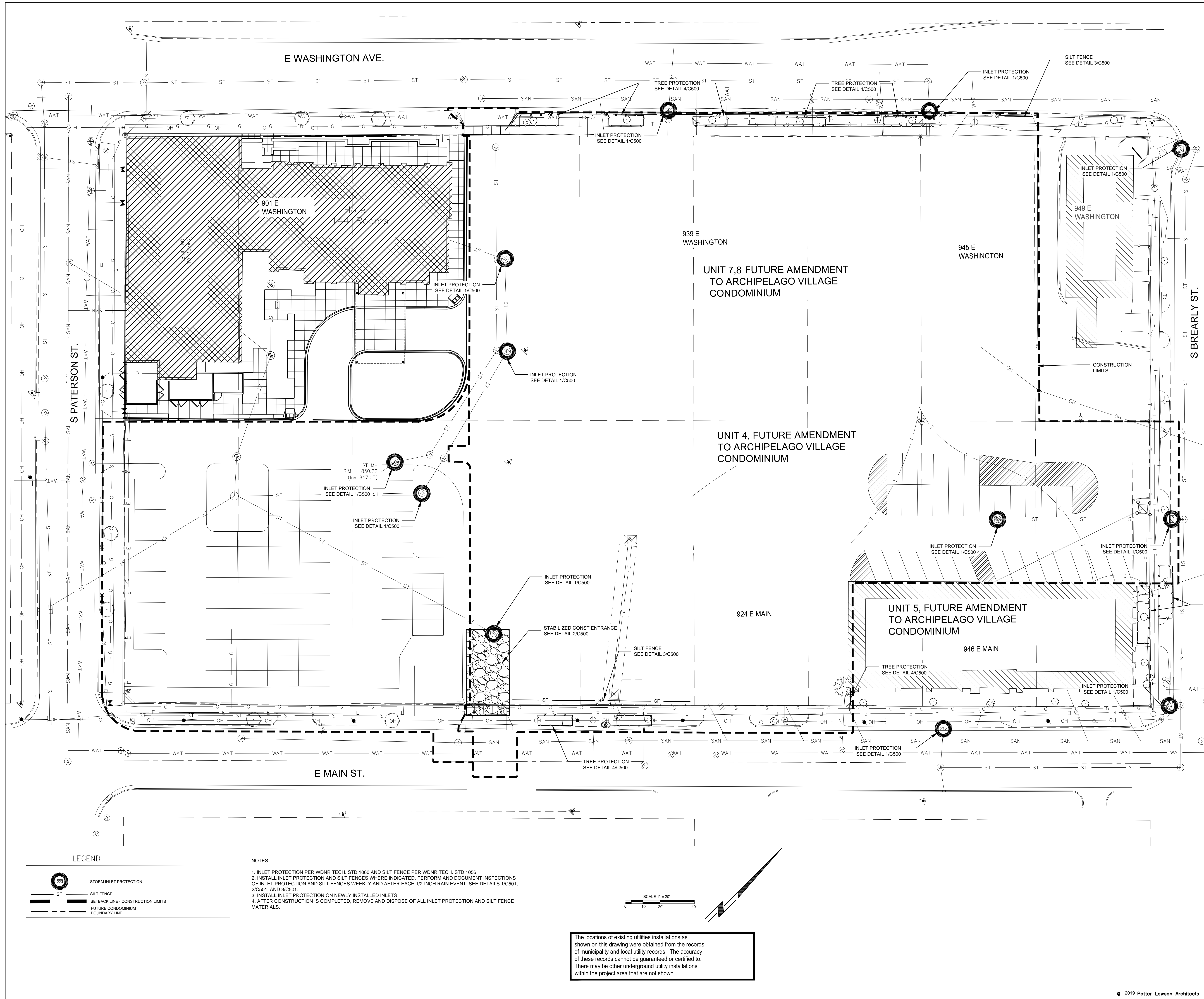


NOTES:

- CONSTRUCTION FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION LINE.
- ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY AND IS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL SIDEWALK OR CURB AND GUTTER THAT ABUTS THE PROPERTY NOT DAMAGED BY THE CONTRACTOR BUT THAT NEEDS TO BE REPLACED AS DETERMINED BY THE CITY ENGINEER SHALL BE REPLACED AT THE OWNER'S EXPENSE.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE, SOUTH PATERSON STREET, AND EAST MAIN STREET ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS IMPACT TO THE TREE AND ROOT SYSTEM.
- TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
- ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- FORESTRY WILL ISSUE A REMOVAL PERMIT FOR TWO TREES: 19" ASH AND 22" ASH ON S. PATERSON ST. DUE TO CITY FORESTRY AND CONSTRUCTION IMPACT REQUEST. PLEASE CONTACT BRAD HOFMANN: bhofmann@cityofmadison.com OR 608-266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.
- CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR (1) 2" CALIPER LINDEN TREE DUE TO DRIVEWAY INSTALLATION. CONTACT CITY OF MADISON FORESTRY REPRESENTATIVE (608-266-4816) TO OBTAIN THE STREET TREE REMOVAL PERMIT. ANY ADDITIONAL STREET TREE REMOVAL(S) PRIOR TO AN ADDITIONAL TREE REMOVAL PERMIT BEING ISSUED.

SCALE 1" = 20'

The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.



Notes: _____

Archipelago

929 E Washington Ave
Madison, Wisconsin

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09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

Notes: _____

Archipelago

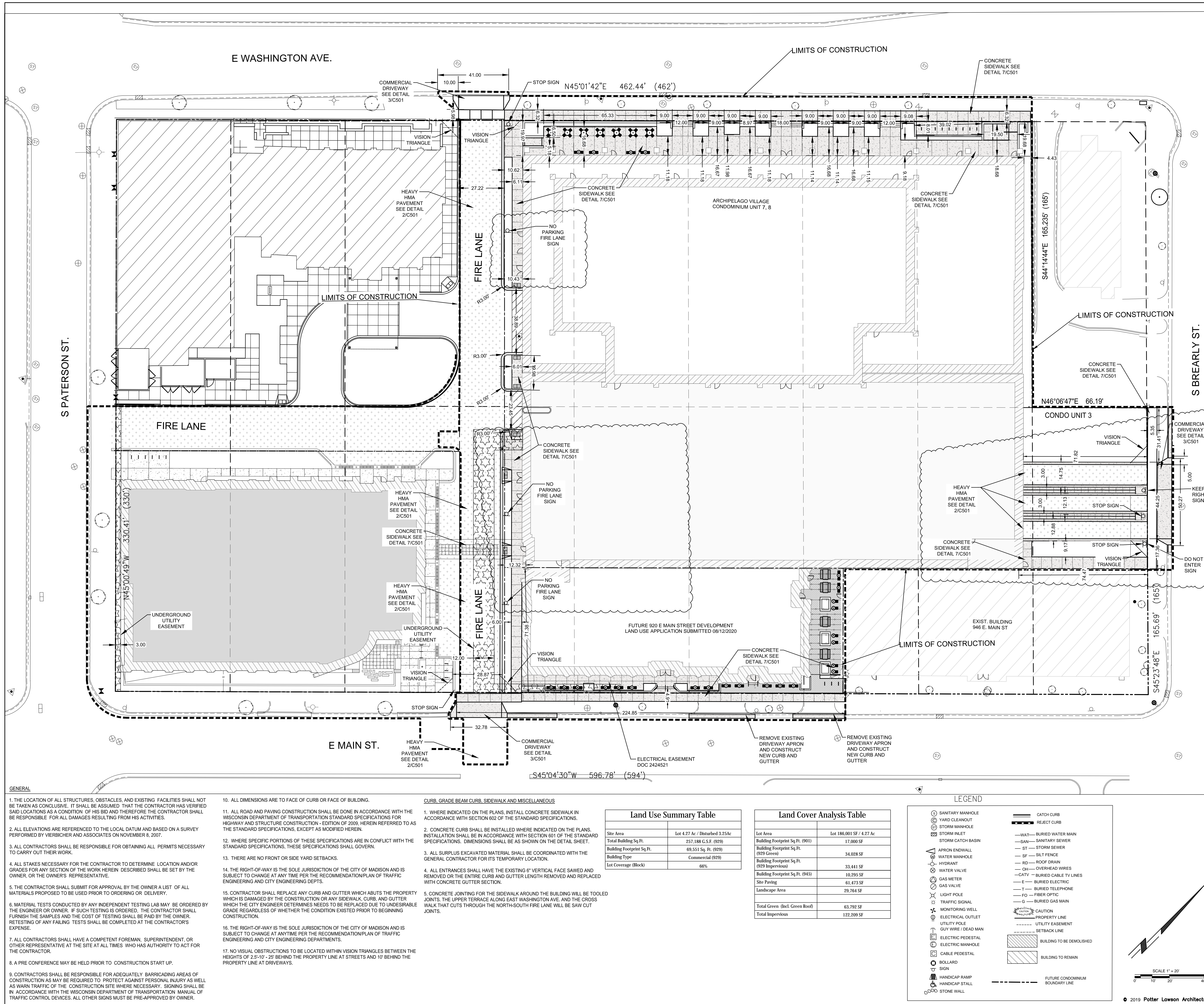
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09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

SITE LAYOUT PLAN

C102



Notes:

Archipelago - 929

Phase 1 Parking Ramp

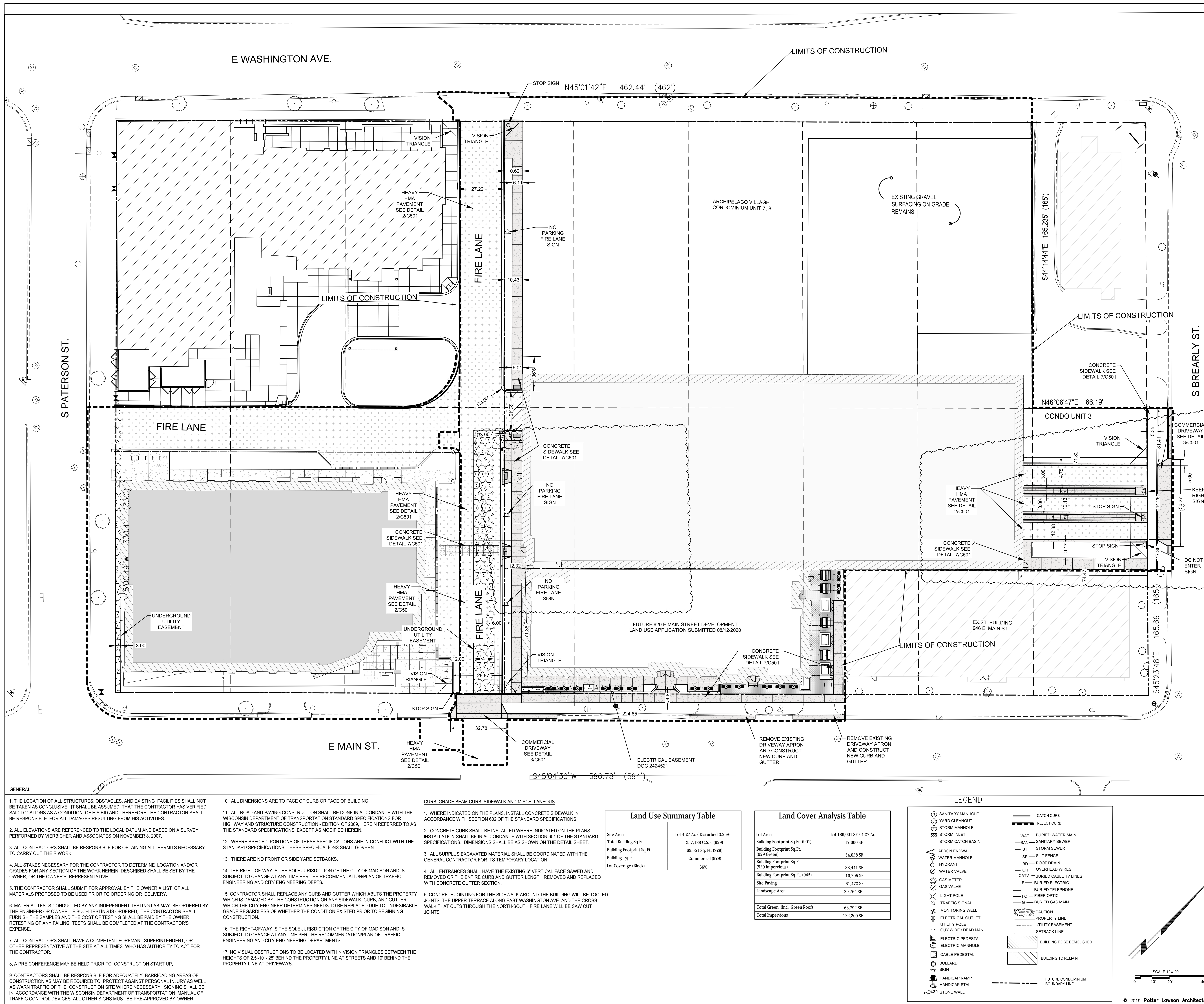
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09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

SITE LAYOUT PLAN

C102A



Notes: _____

Archipelago

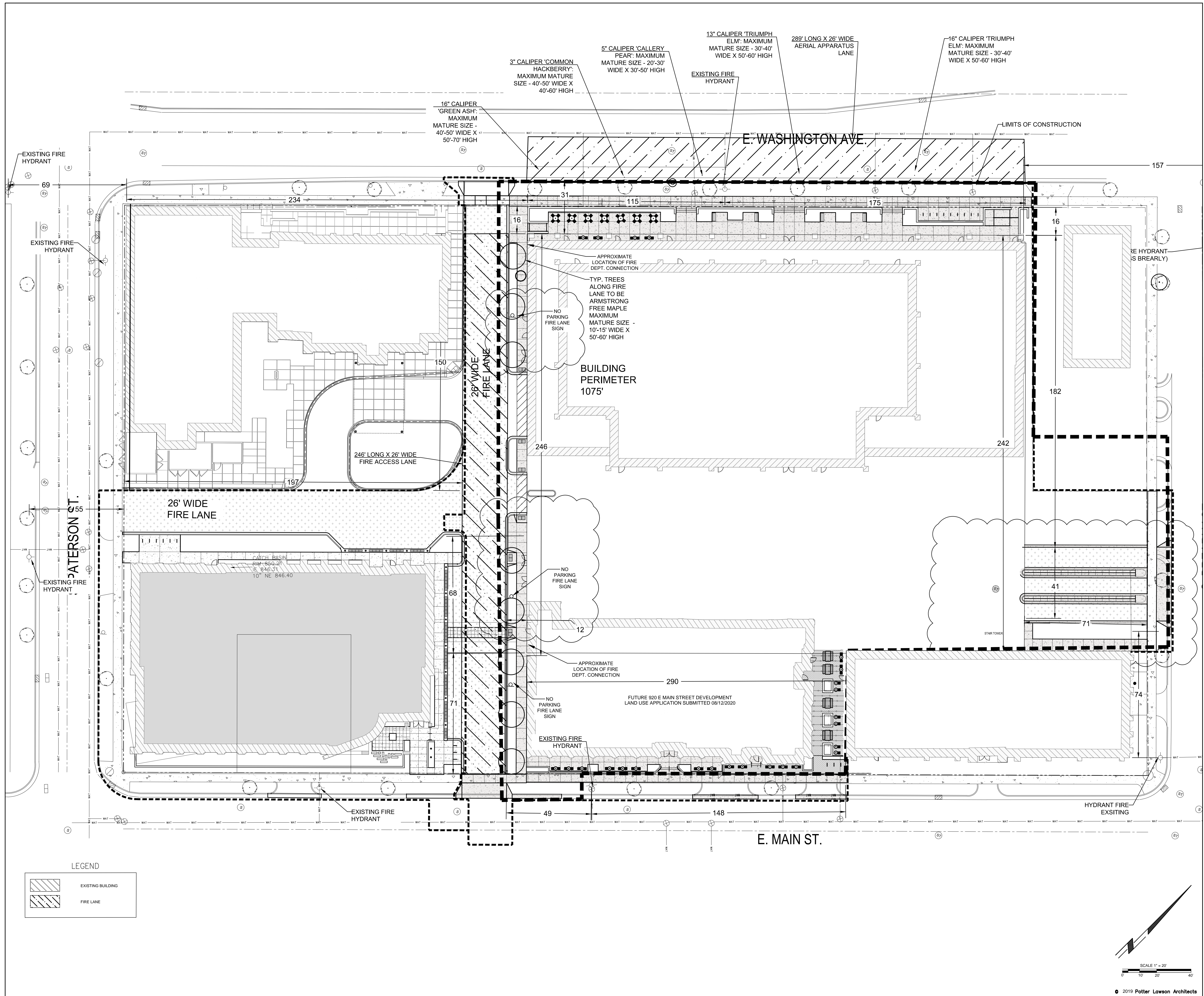
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Madison, Wisconsin

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09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

SITE FIRE PROTECTION PLAN

C103



Notes: _____

Archipelago

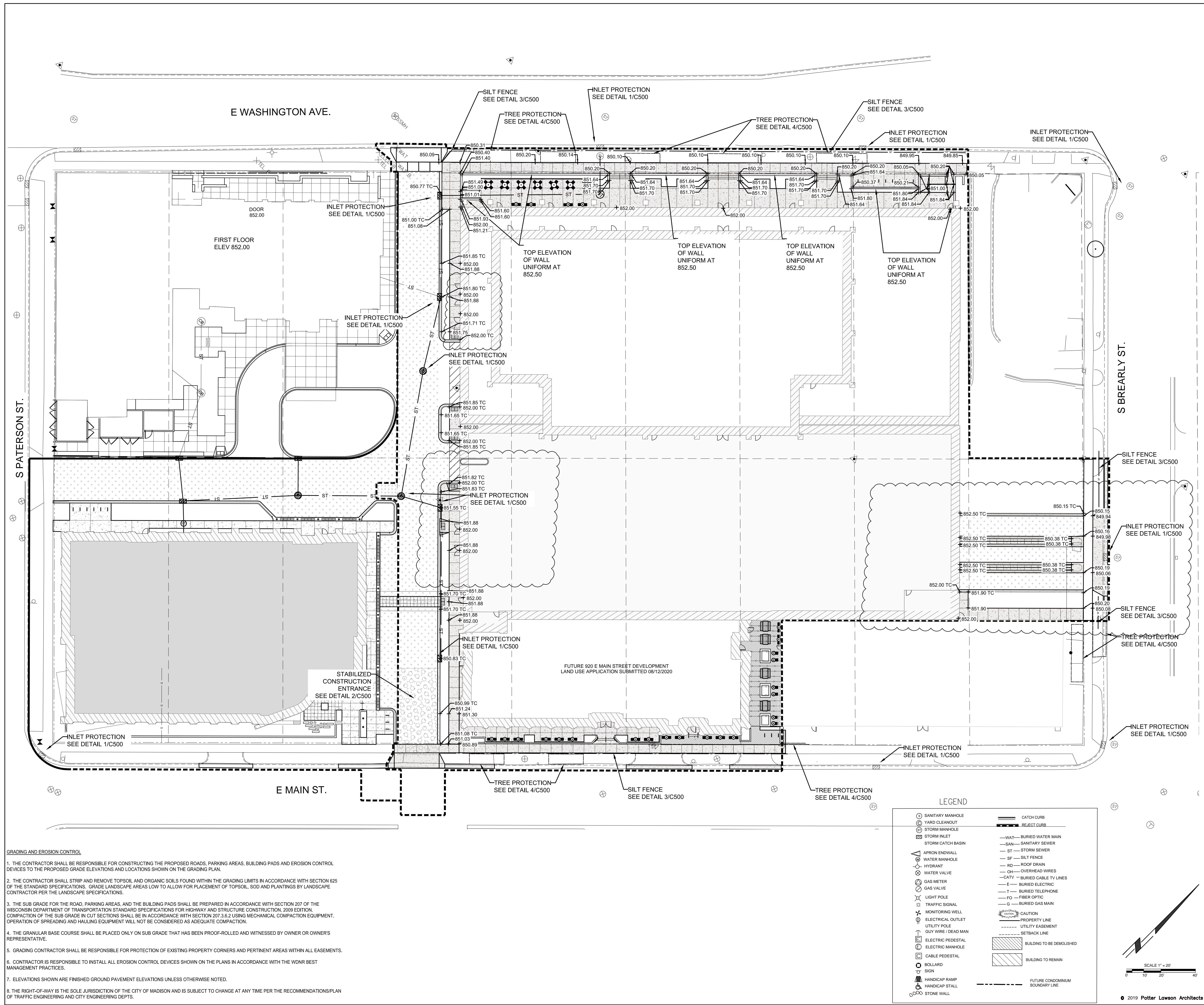
929 E Washington Ave
Madison, Wisconsin

2016.36.02

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08/26/2019	REVISED SAN & STORM LATERALS	
09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

SITE
GRADING PLAN

C104



GRADING AND EROSION CONTROL

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROPOSED ROADS, PARKING AREAS, BUILDING PADS AND EROSION CONTROL DEVICES TO THE PROPOSED GRADE ELEVATIONS AND LOCATIONS SHOWN ON THE GRADING PLAN.

2. THE CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC SOILS FOUND WITHIN THE GRADING LIMITS IN ACCORDANCE WITH SECTION 625 OF THE STANDARD SPECIFICATIONS. GRADE LANDSCAPE AREAS LOW TO ALLOW FOR PLACEMENT OF TOPSOIL, SOD AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS.

3. THE SUB GRADE FOR THE ROAD, PARKING AREAS, AND THE BUILDING PADS SHALL BE PREPARED IN ACCORDANCE WITH SECTION 207 OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2009 EDITION. COMPACTION OF THE SUB GRADE IN CUT SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 207.3.6.2 USING MECHANICAL COMPACTION EQUIPMENT. OPERATION OF SPREADING AND HAULING EQUIPMENT WILL NOT BE CONSIDERED AS ADEQUATE COMPACTION.

4. THE GRANULAR BASE COURSE SHALL BE PLACED ONLY ON SUB GRADE THAT HAS BEEN PROOF-ROLLED AND WITNESSED BY OWNER OR OWNER'S REPRESENTATIVE.

5. GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.

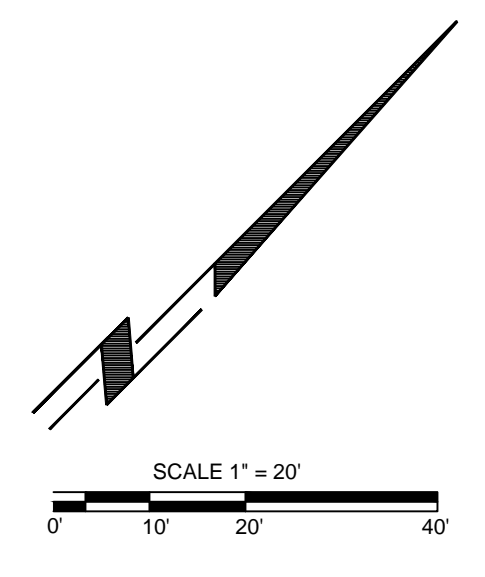
6. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL EROSION CONTROL DEVICES SHOWN ON THE PLANS IN ACCORDANCE WITH THE WDNR BEST MANAGEMENT PRACTICES.

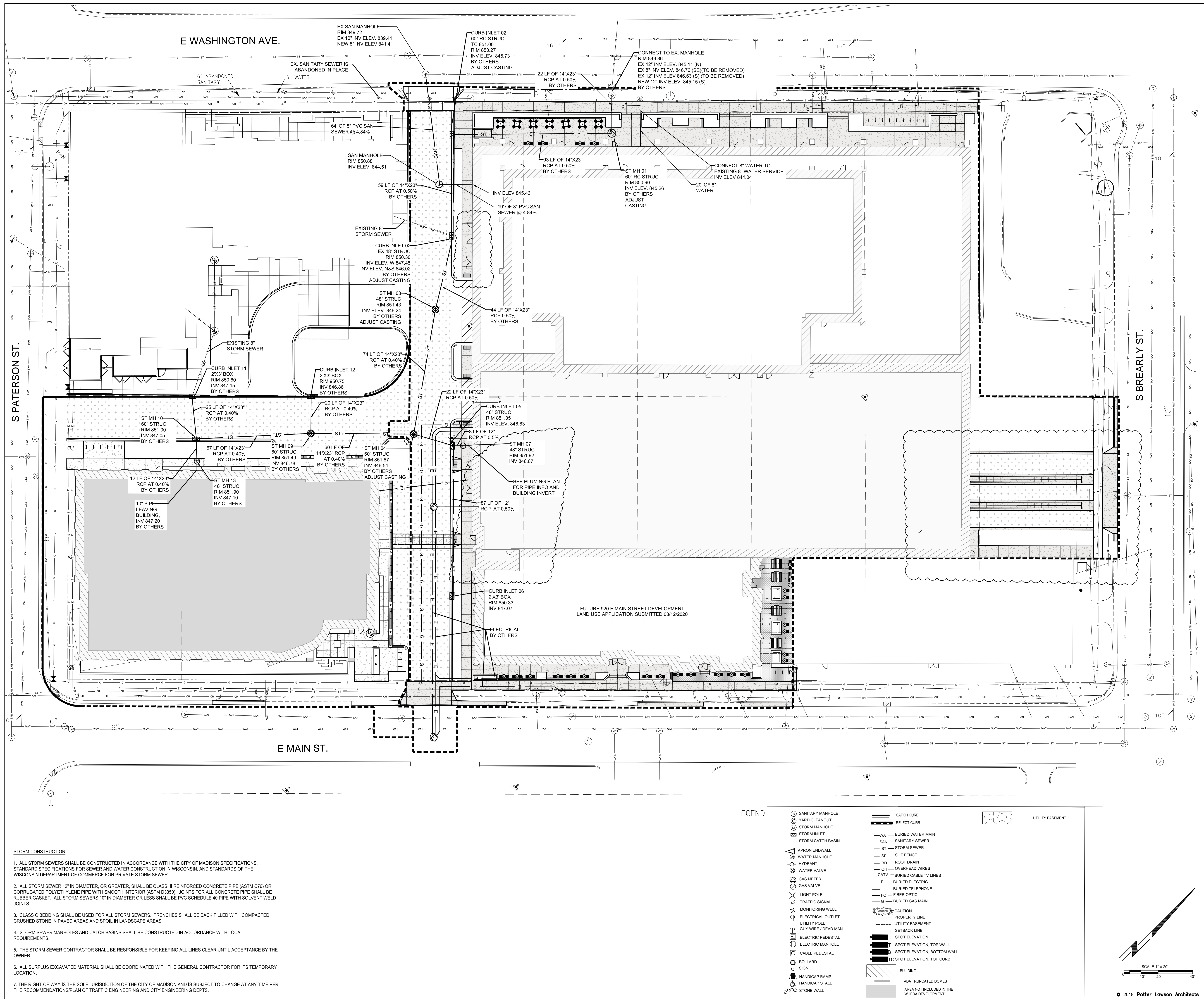
7. ELEVATIONS SHOWN ARE FINISHED GROUND PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.

8. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

LEGEND

① SANITARY MANHOLE	— CATCH CURB
② YARD CLEANOUT	— REJECT CURB
③ STORM MANHOLE	— WAT — BURIED WATER MAIN
④ STORM INLET	— SAN — SANITARY SEWER
⑤ STORM CATCH BASIN	— ST — STORM SEWER
⑥ APRON ENDWALL	— SF — SILT FENCE
⑦ WATER MANHOLE	— RD — ROOF DRAIN
⑧ HYDRANT	— OH — OVERHEAD WIRES
⑨ WATER VALVE	— CATV — BURIED CABLE TV LINES
⑩ GAS METER	— E — BURIED ELECTRIC
⑪ GAS VALVE	— T — BURIED TELEPHONE
⑫ LIGHT POLE	— FO — FIBER OPTIC
⑬ TRAFFIC SIGNAL	— G — BURIED GAS MAIN
⑭ MONITORING WELL	— CAUTION — PROPERTY LINE
⑮ ELECTRICAL OUTLET	— UTILITY EASEMENT
⑯ UTILITY POLE	— SETBACK LINE
⑰ GUY WIRE / DEAD MAN	— BUILDING TO BE DEMOLISHED
⑱ ELECTRIC PEDESTAL	— BUILDING TO REMAIN
⑲ ELECTRIC MANHOLE	— FUTURE CONDOMINIUM BOUNDARY LINE
⑳ CABLE PEDESTAL	
⊙ BOLLARD	
⊙ SIGN	
⊙ HANDICAP RAMP	
⊙ HANDICAP STALL	
⊙ STONE WALL	





Notes: _____

Archipelago

929 E Washington Ave
Madison, Wisconsin

Date	Issuance/Revisions	Symbol
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09/17/2019	REVISED SAN LATERAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

GENERAL NOTES:
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

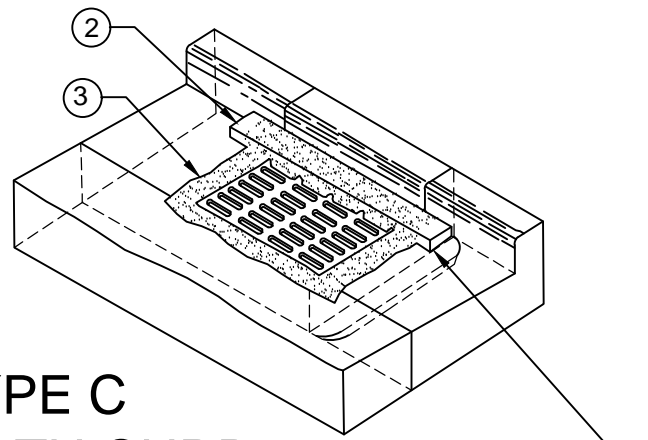
② FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2 X 4.

INSTALLATION NOTES:
TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE B (WITHOUT CURB BOX) (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

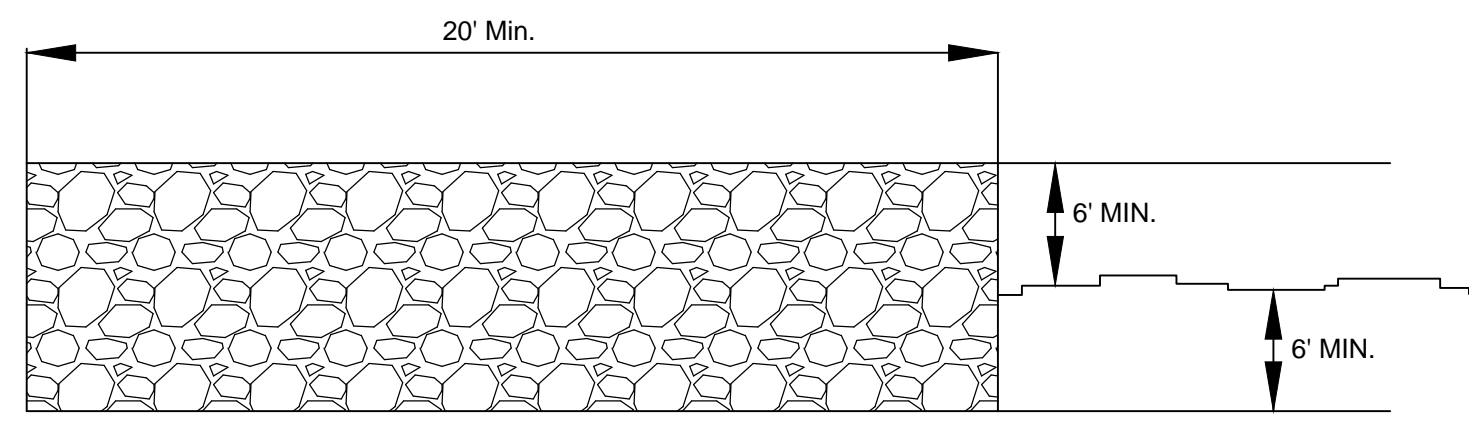


WOOD 2" X 4" EXTENDS 8" BEYOND GRATE WIDTH ON BOTH SIDES. LENGTH VARIES, SECURE TO GRATE WITH WIRE OR PLASTIC TIES.

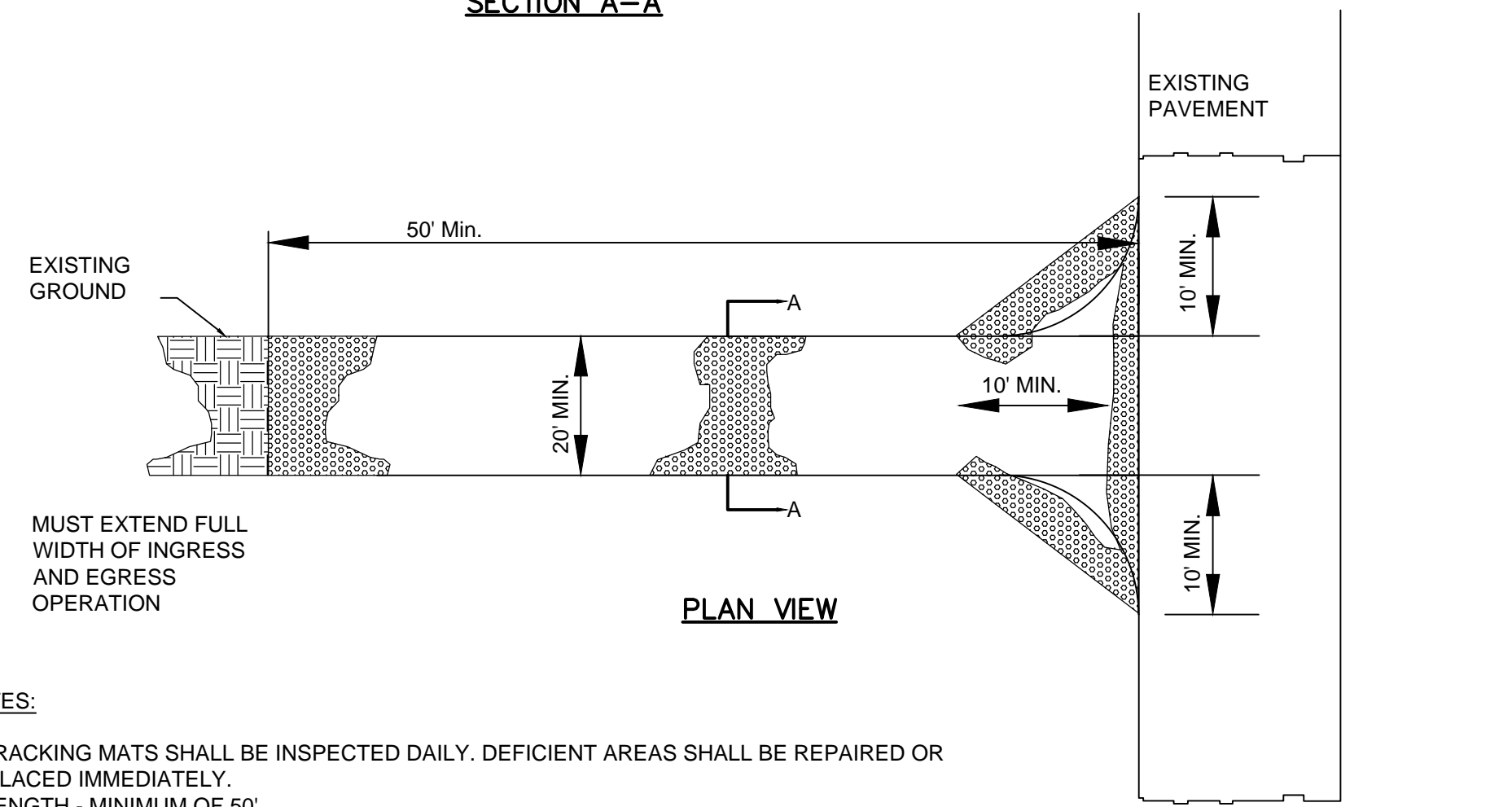
TYPE C (WITH CURB BOX)

1 INLET PROTECTION

NTS



SECTION A-A



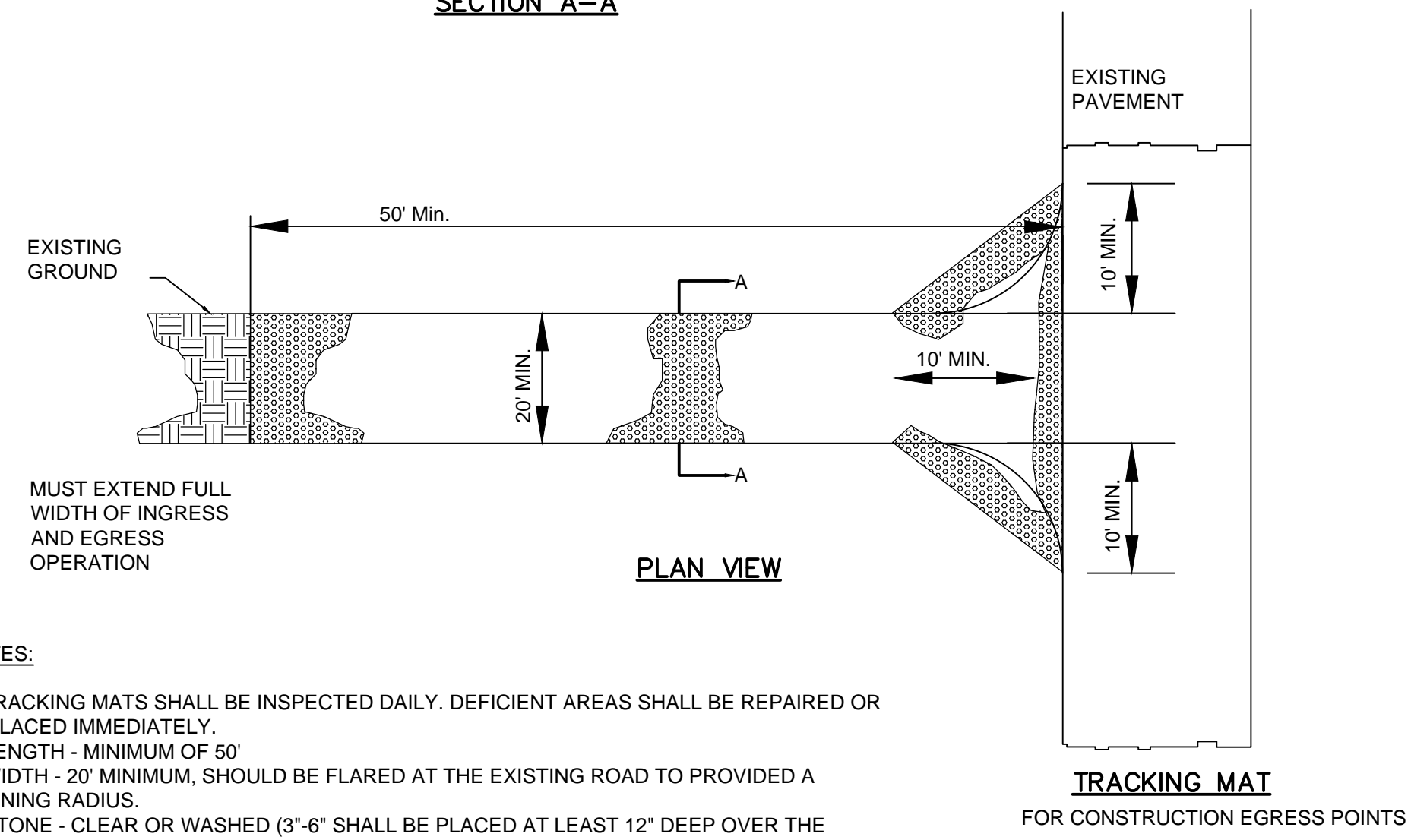
PLAN VIEW

NOTES:

- 1) TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- 2) LENGTH - MINIMUM OF 50'
- 3) WIDTH - 20' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDED A TURNING RADIUS.
- 4) STONE - CLEAR OR WASHED (3"-4") SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE.
- 5) SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
- 6) LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

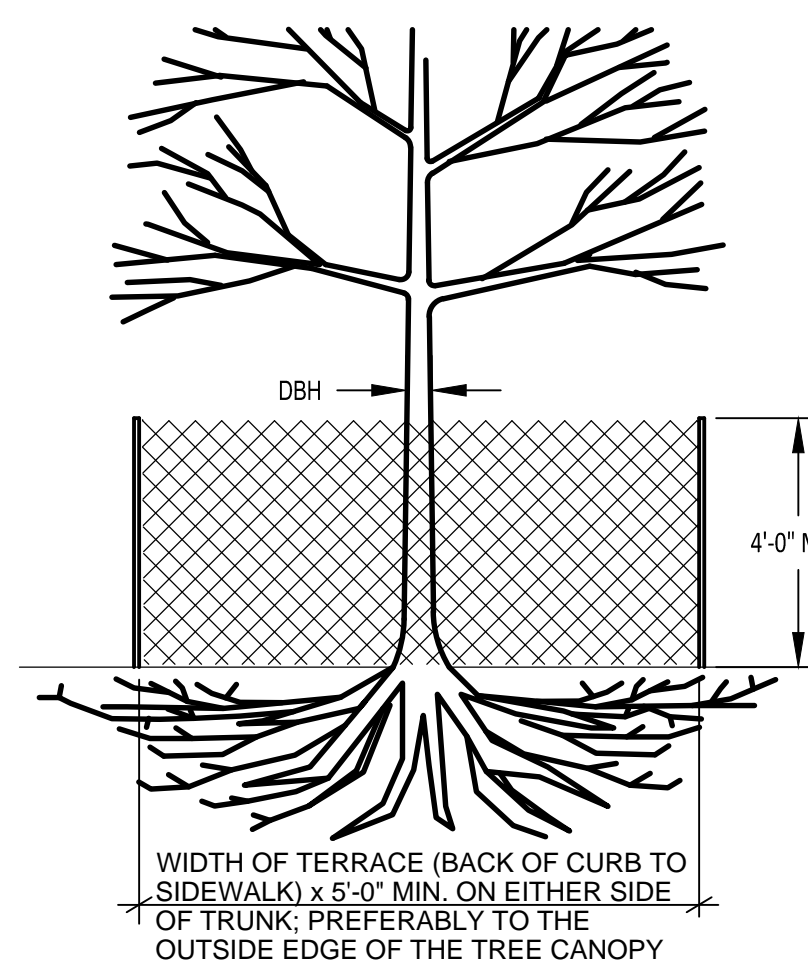
2 STABILIZED CONST. ENTRANCE

NTS



TRACKING MAT

FOR CONSTRUCTION EGRESS POINTS



NOTES:

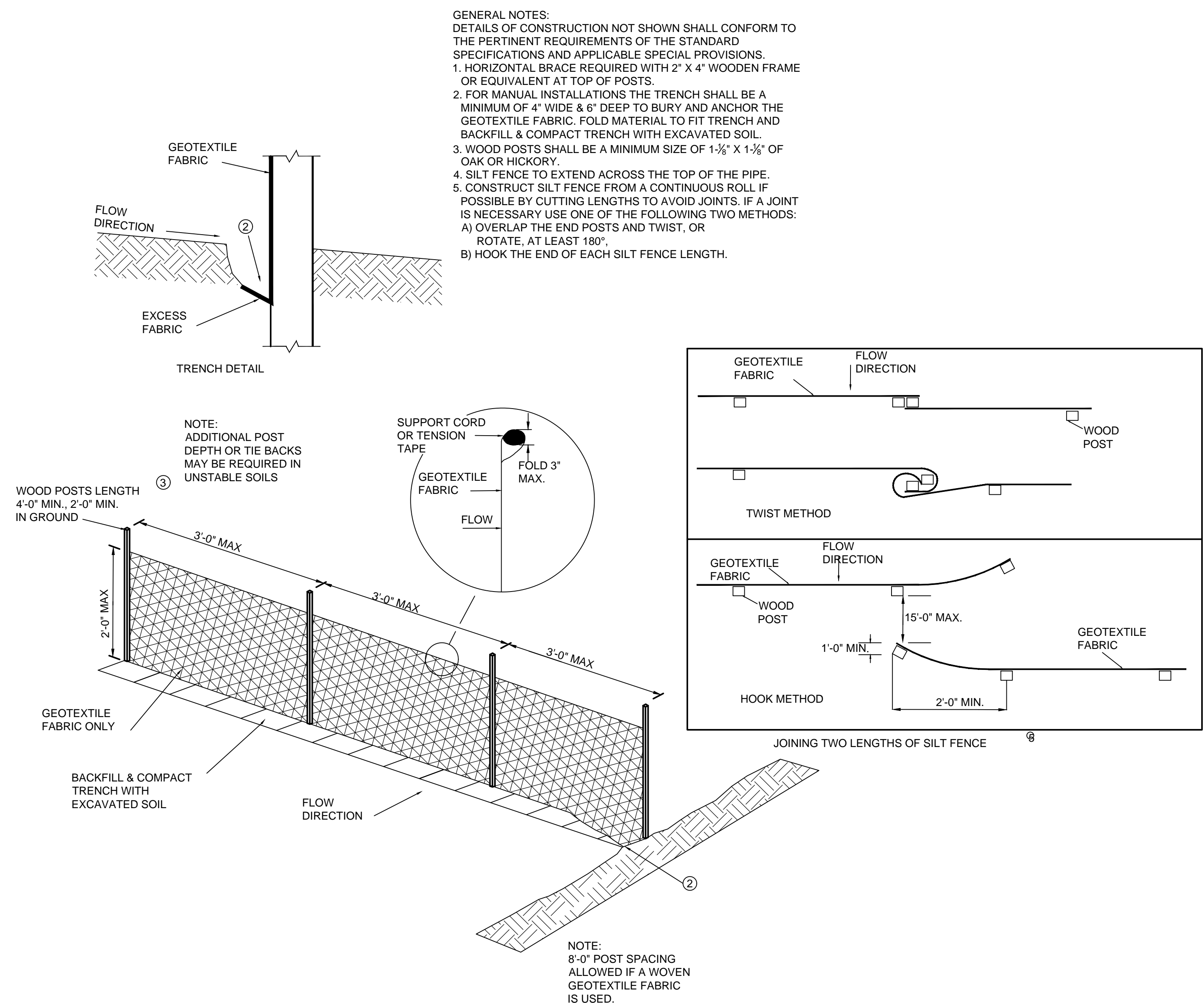
1. ALL TREES SHOWN TO BE RETAINED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED DURING CONSTRUCTION WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31.13.16 "SELECTIVE TREE PROTECTION AND REMOVAL" AND PERFORM ALL WORK IN THE RIGHT-OF-WAY IN ACCORDANCE WITH CITY OF MADISON STANDARD 107.13 "TREE PROTECTION SPECIFICATION".
2. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT. NO CONSTRUCTION MATERIALS, EQUIPMENT, OR SUPPLIES MAY BE STORED IN THE TREE PROTECTION AREA.
3. INSTALL TREE PROTECTION FENCE STAKES AT 6'-0" O.C., MAX.
4. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5-FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE, PREFERABLY TO THE OUTSIDE EDGE OF THE TREE CANOPY (OVERHEAD). NO EXCAVATION IS PERMITTED WITHIN 5-FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5-FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL COORDINATED WITH CITY FORESTRY. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

4 TREE PROTECTION

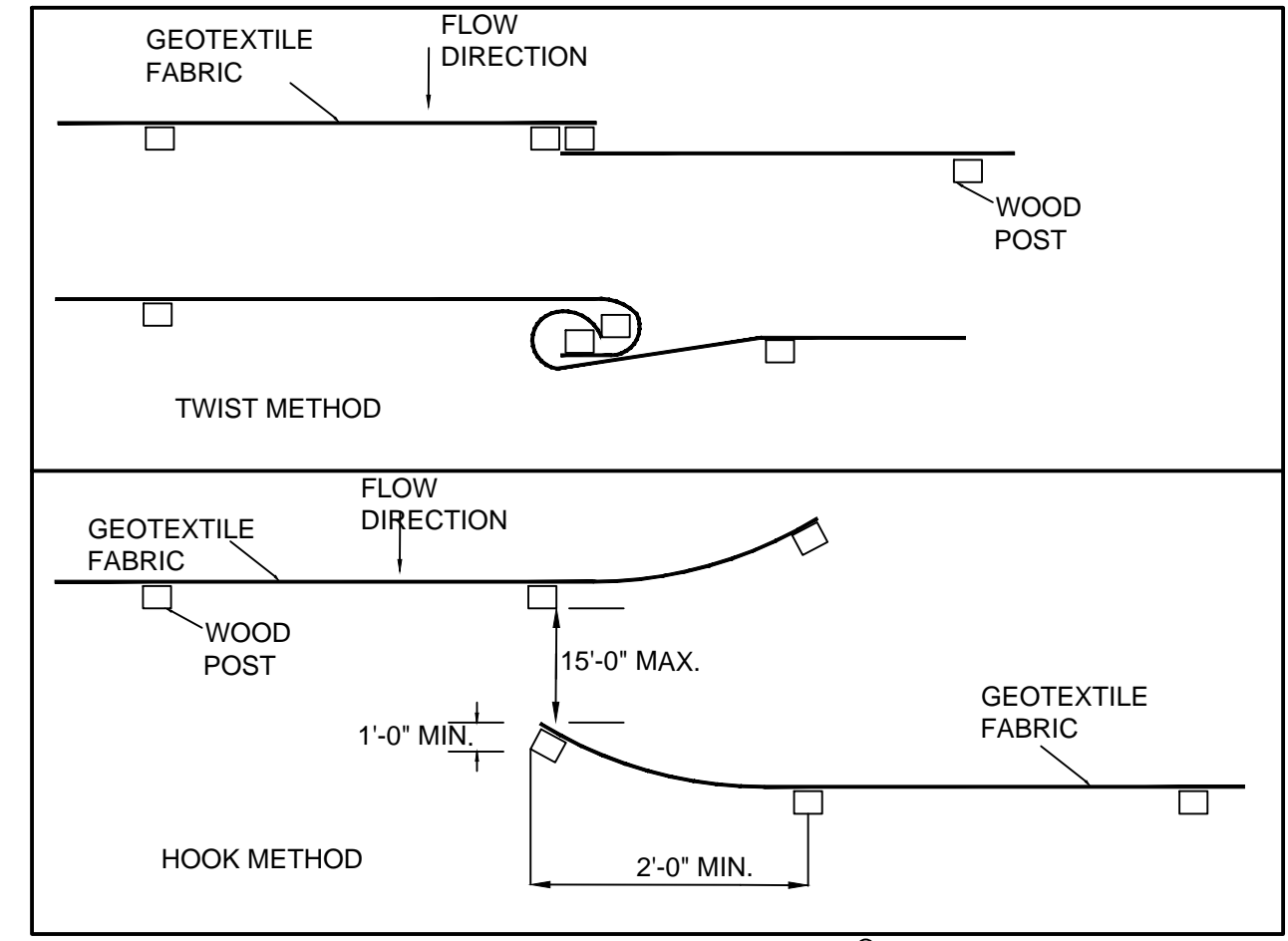
NTS

3 SILT FENCE

NTS



- GENERAL NOTES:
DETAILS OF CONSTRUCTION NOT SHOWN SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-3/4" X 1-3/4" OF OAK OR HICKORY.
 4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
A) OVERLAP THE END POSTS AND TWIST, OR
B) HOOK THE END OF EACH SILT FENCE LENGTH.



JOINING TWO LENGTHS OF SILT FENCE

Notes: _____

Archipelago

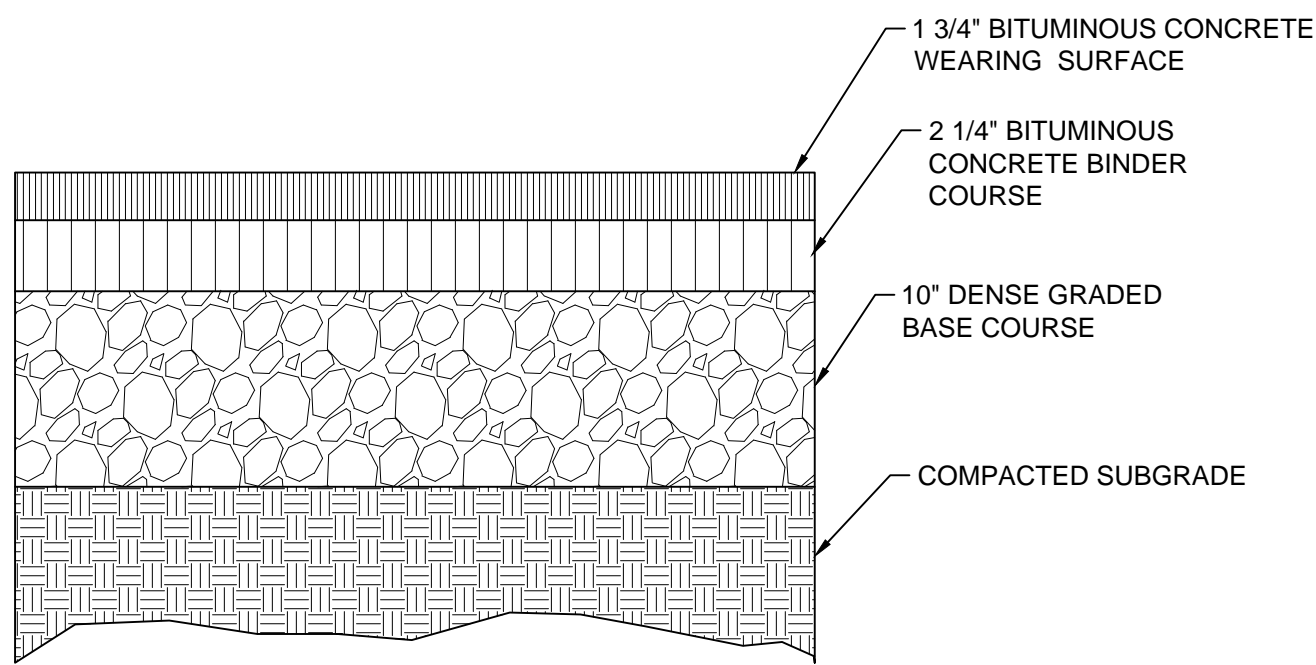
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EROSION CONTROL DETAILS

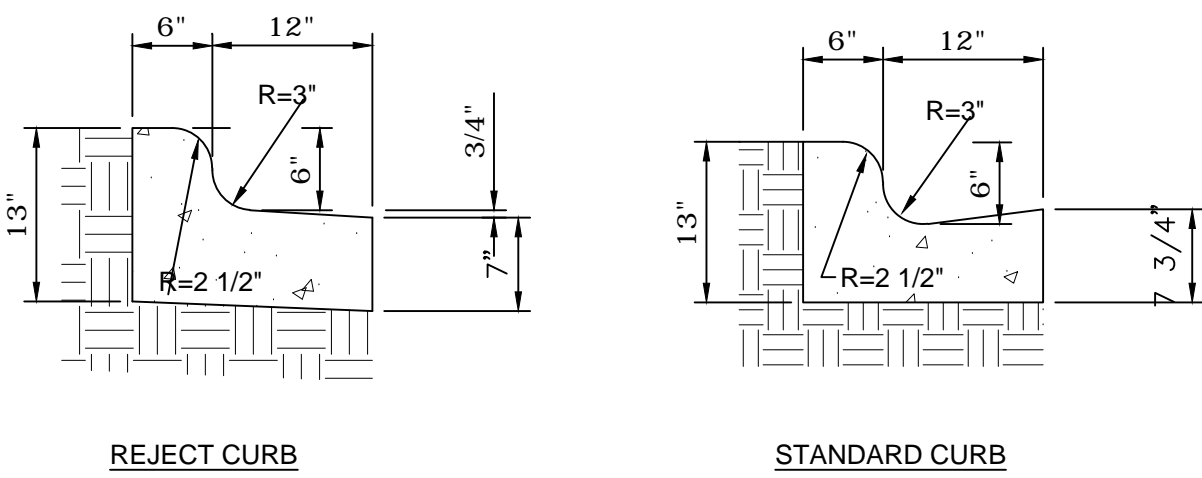
C500



- NOTES:
1. HMA PAVEMENT WisDOT SUPERPAVE TYPE E-1 MIX DESIGN, WITH A MAXIMUM NOMINAL AGGREGATE SIZE OF 12.5MM COMPACTED TO 92% OF THE MAXIMUM SPECIFIC GRAVITY AS DETERMINED BY ASTM D2041.
 2. DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT STANDARD SPECIFICATIONS 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION. BASE COURSE MATERIAL SHALL BE PLACED IN INDIVIDUAL 5\"/>

2 HMA PAVEMENT - HEAVY DUTY DRIVE AREAS

NTS



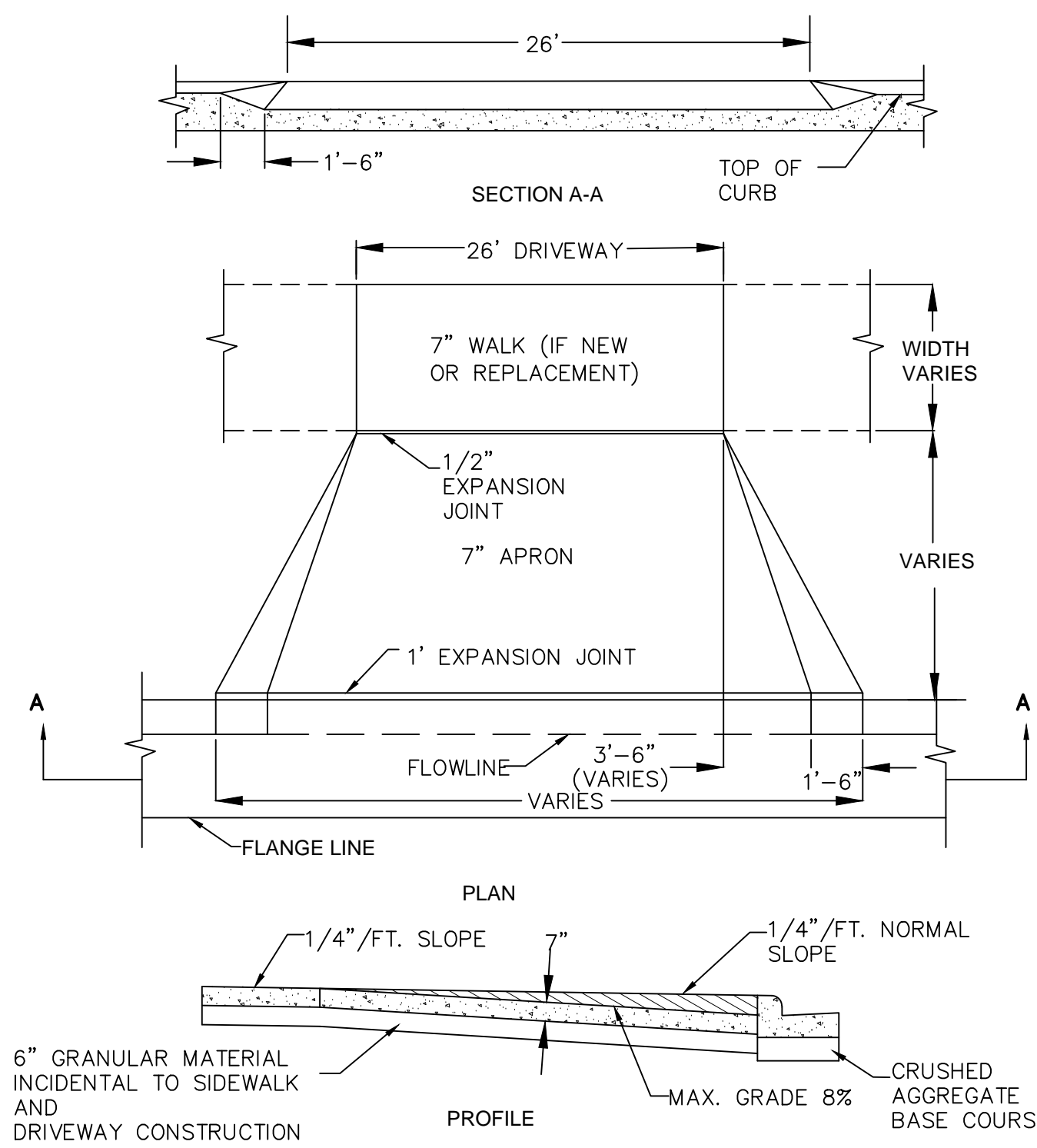
- GENERAL NOTES:
- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3\"/>

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS OF 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2\"/>

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

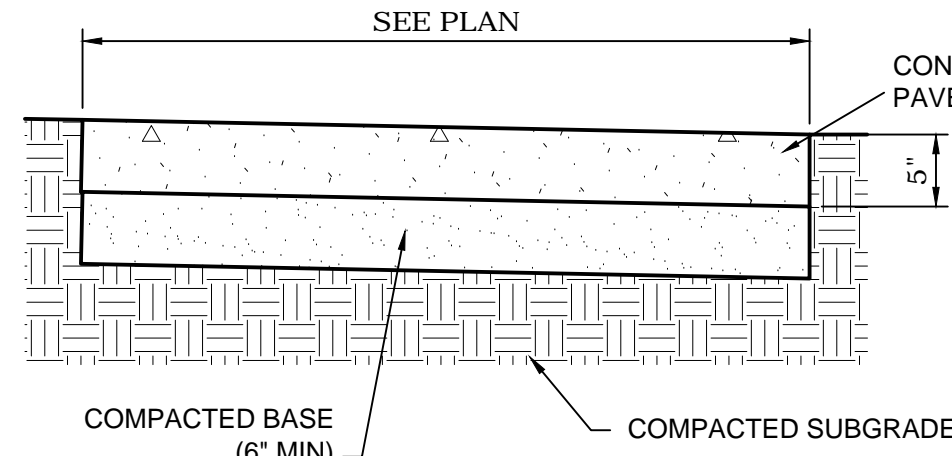
8 18\"/>

NTS



3 COMMERCIAL DRIVEWAY

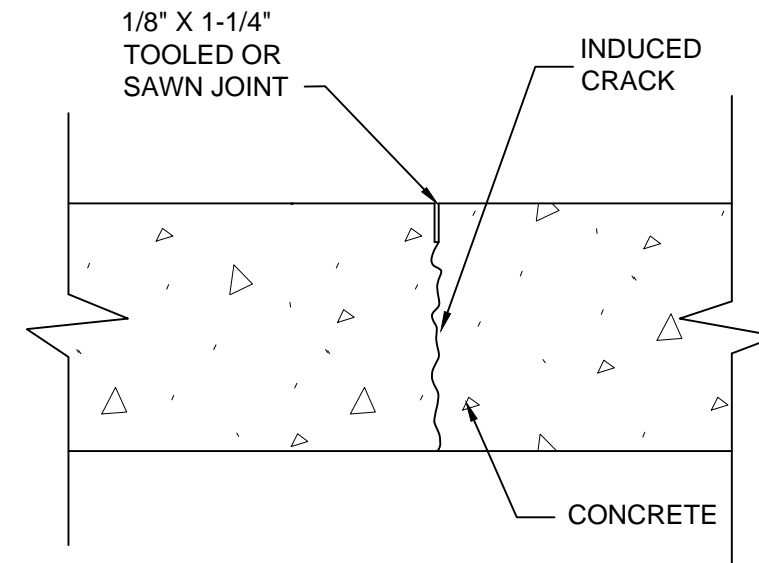
NTS



1. DENSE GRADED BASE COURSE SHALL CONFORM TO WisDOT 305.2.2.1, 1 1/4-INCH MAXIMUM DIAMETER SPECIFICATION.
2. BASE COURSE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557).
3. SEE DETAIL 9/C501 FOR CONTROL JOINTS
4. SEE DETAIL 11/C501 FOR EXPANSION JOINTS

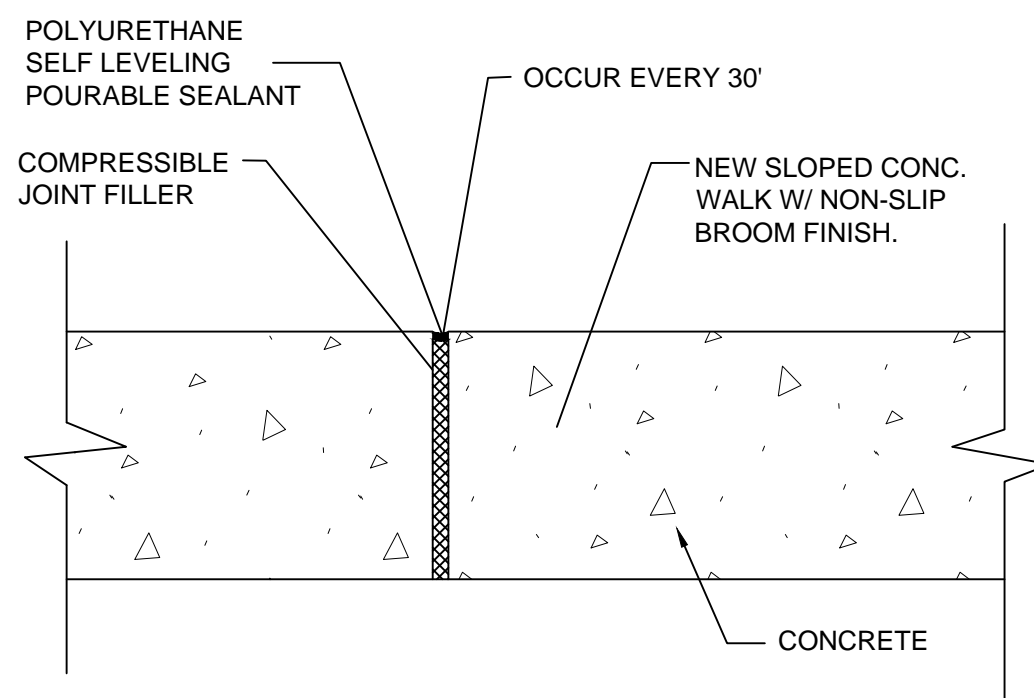
7 CONCRETE SIDEWALK

NTS



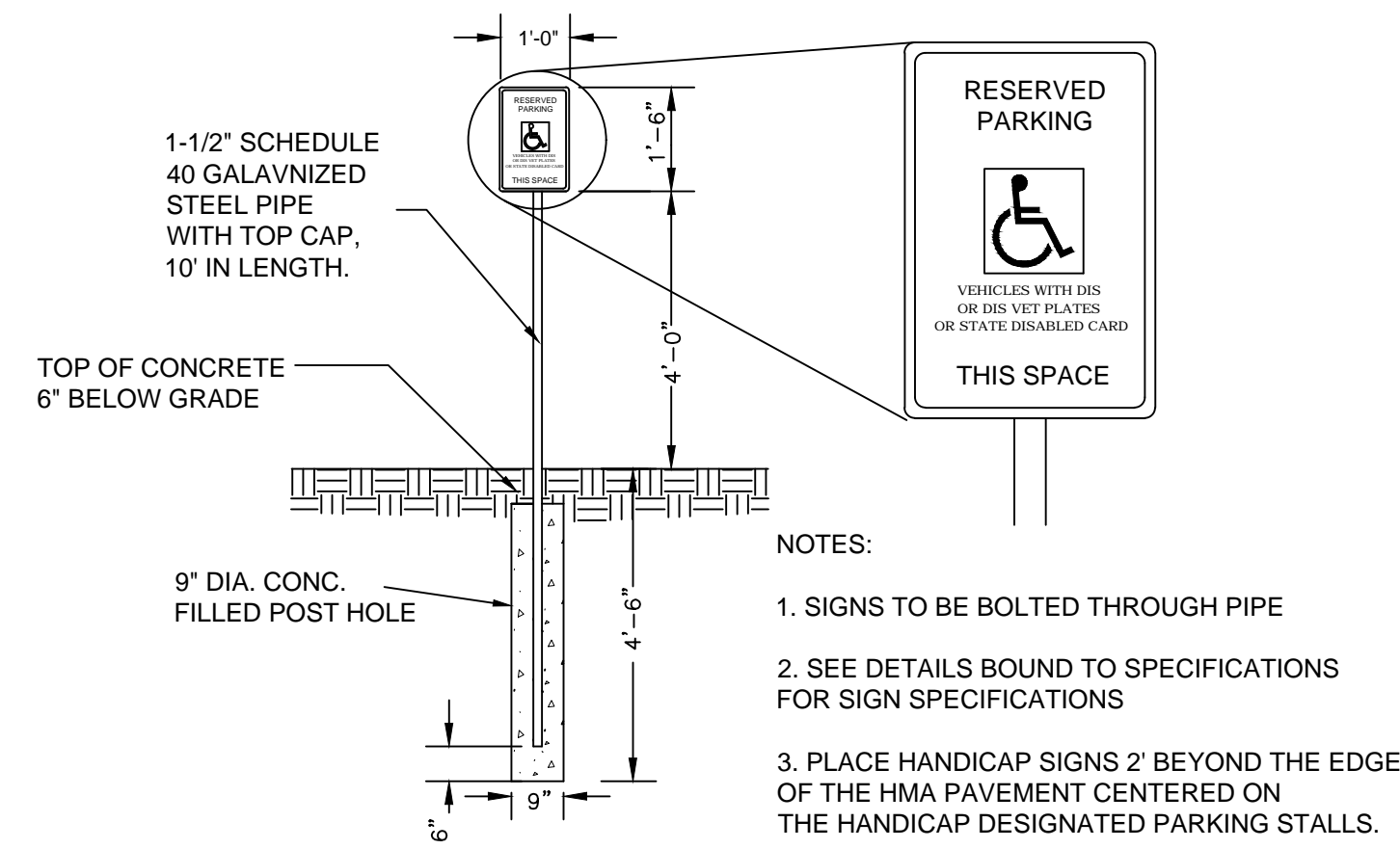
9 CONTROL JOINT

NTS



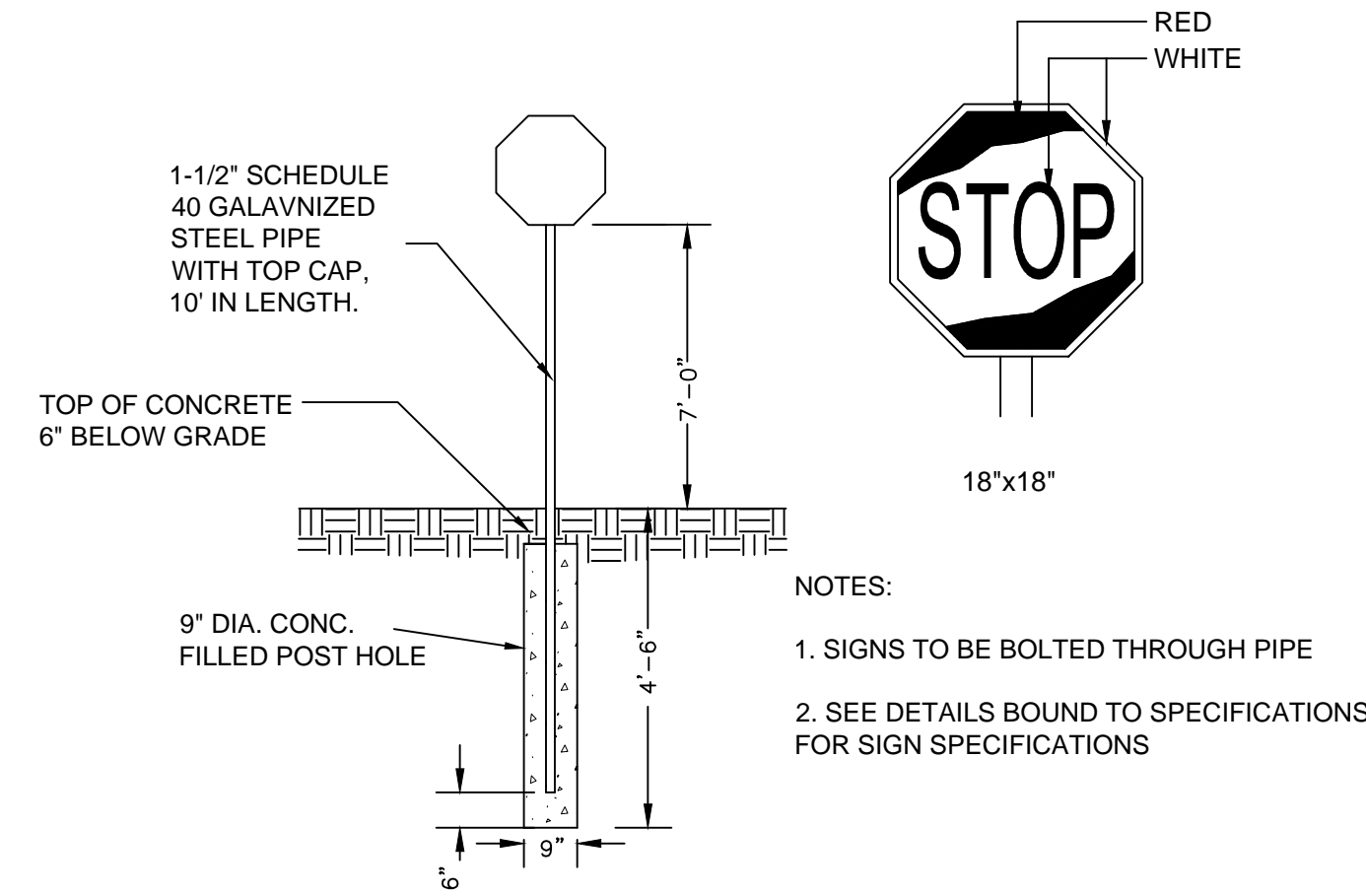
11 EXPANSION JOINT

NTS



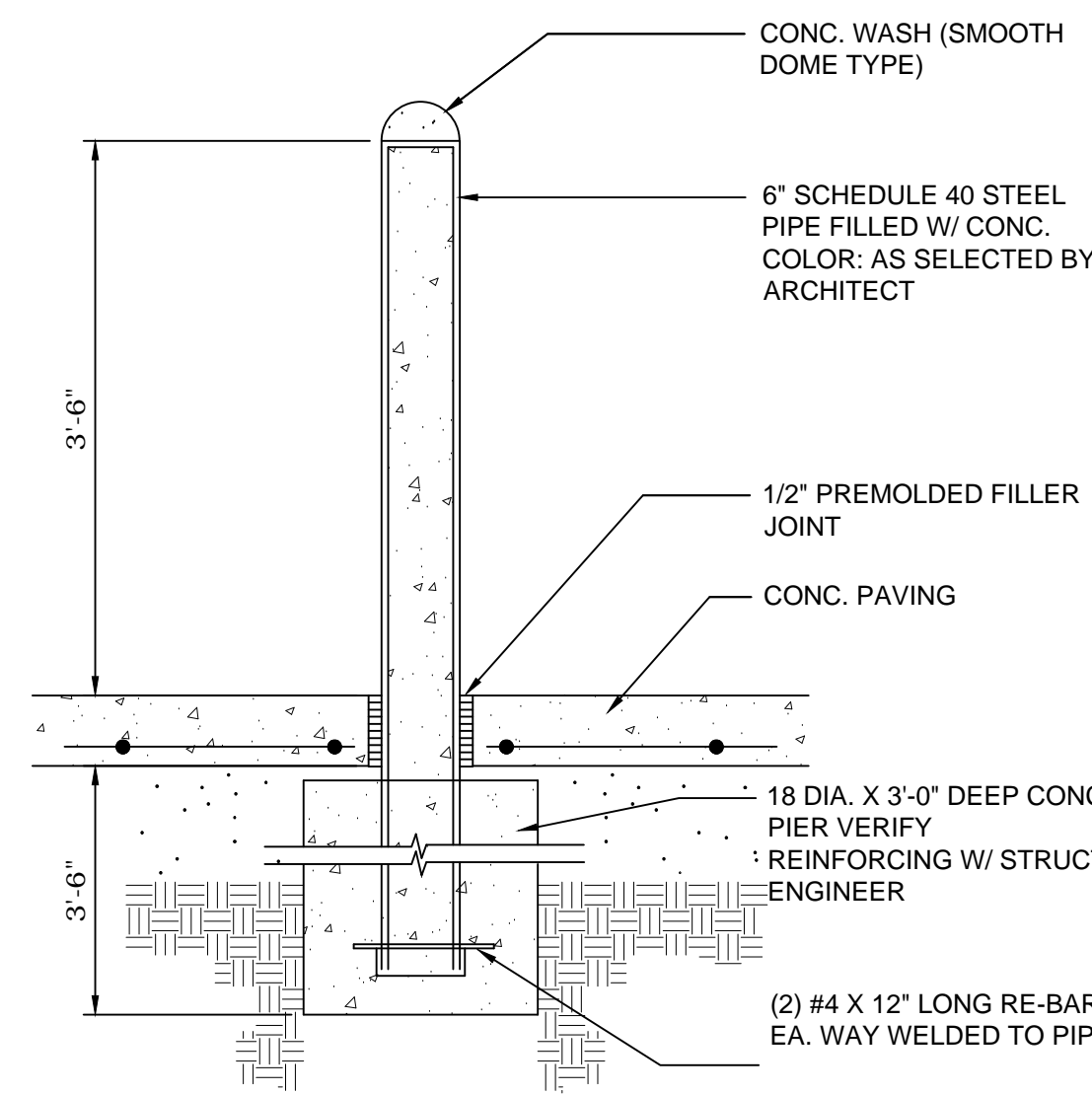
4 ACCESSIBLE PARKING SIGN

NTS



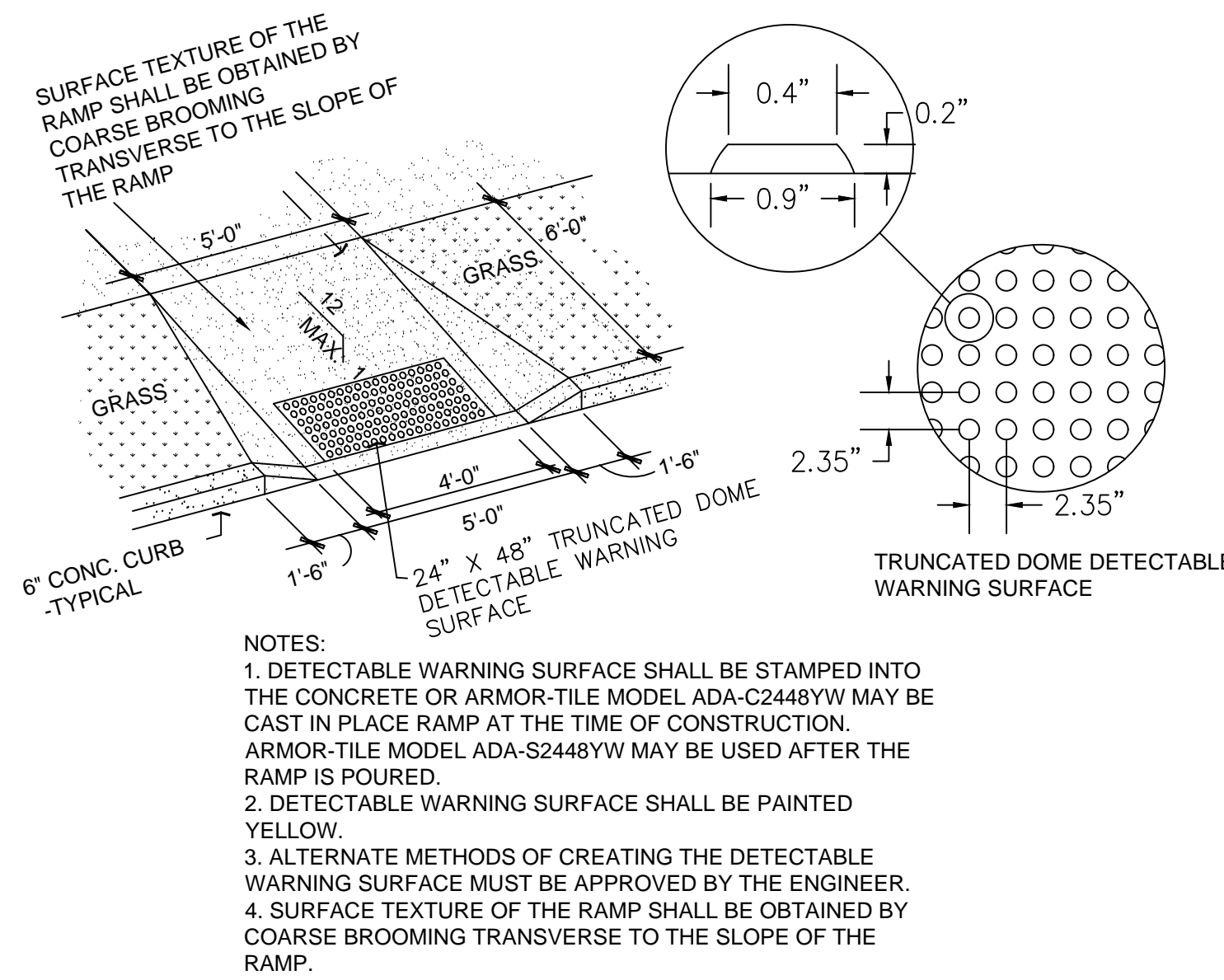
5 STOP SIGN

NTS



10 BOLLARD

NTS



- NOTES:
1. DETECTABLE WARNING SURFACE SHALL BE STAMPED INTO THE CONCRETE OR ARMOR-TILE MODEL ADA-C2448YW MAY BE CAST IN PLACE RAMP AT THE TIME OF CONSTRUCTION. ARMOR-TILE MODEL ADA-S2448YW MAY BE USED AFTER THE RAMP IS POURED.
 2. DETECTABLE WARNING SURFACE SHALL BE PAINTED YELLOW.
 3. ALTERNATE METHODS OF CREATING THE DETECTABLE WARNING SURFACE MUST BE APPROVED BY THE ENGINEER.
 4. SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

12 CURB RAMP

NTS

Notes: _____

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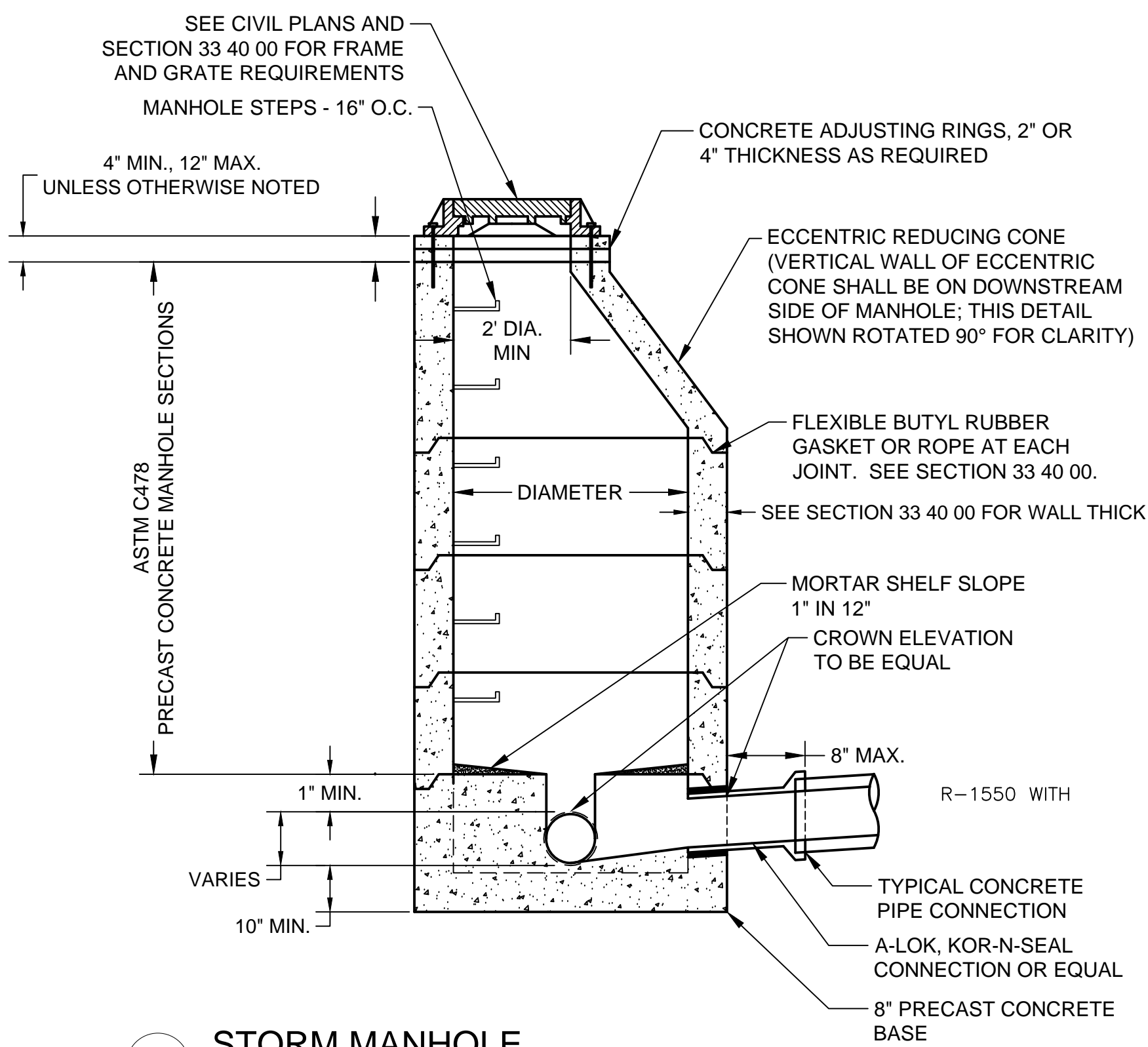
929 E Washington Ave
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2016.36.02

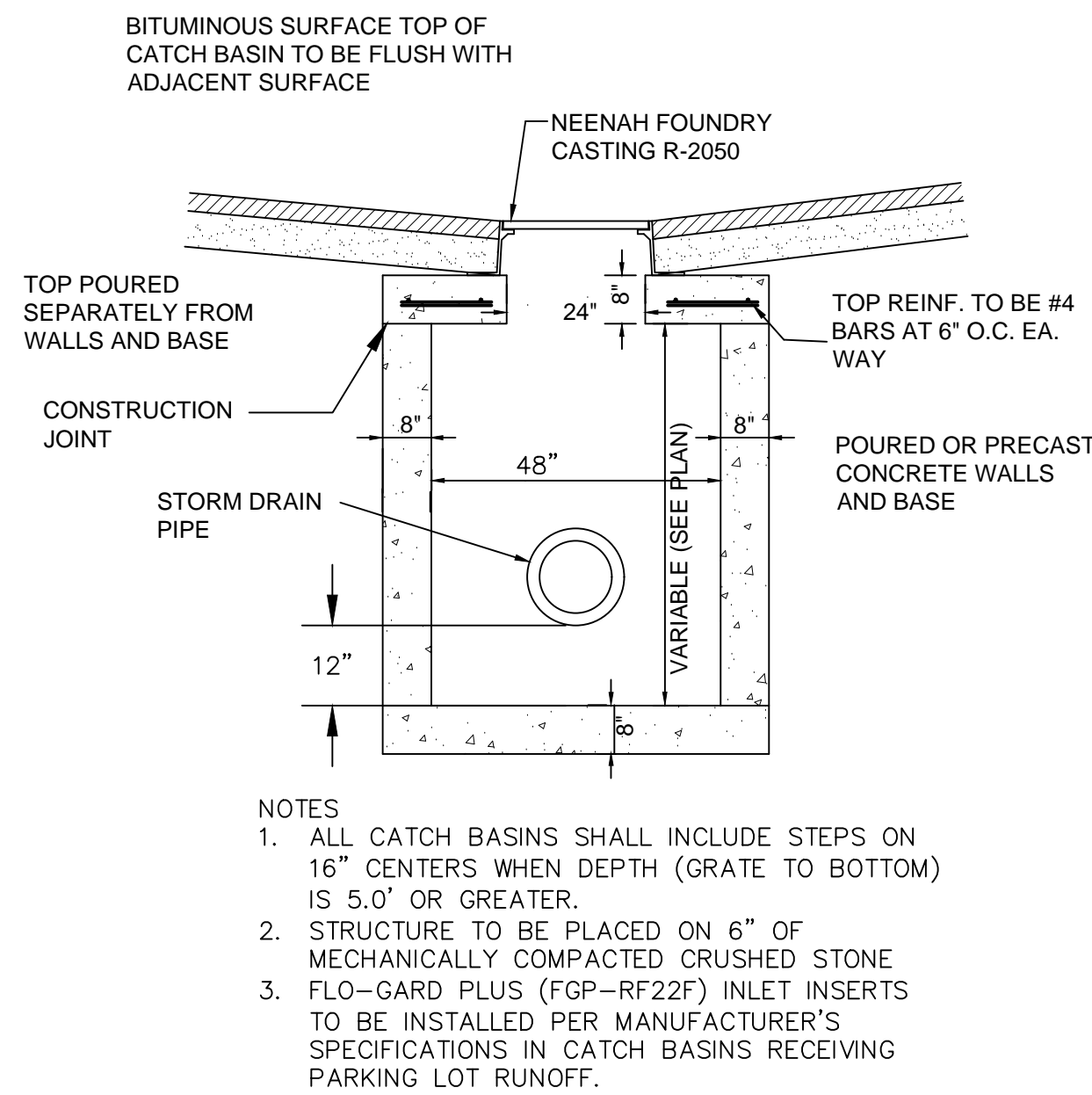
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SITE DETAILS

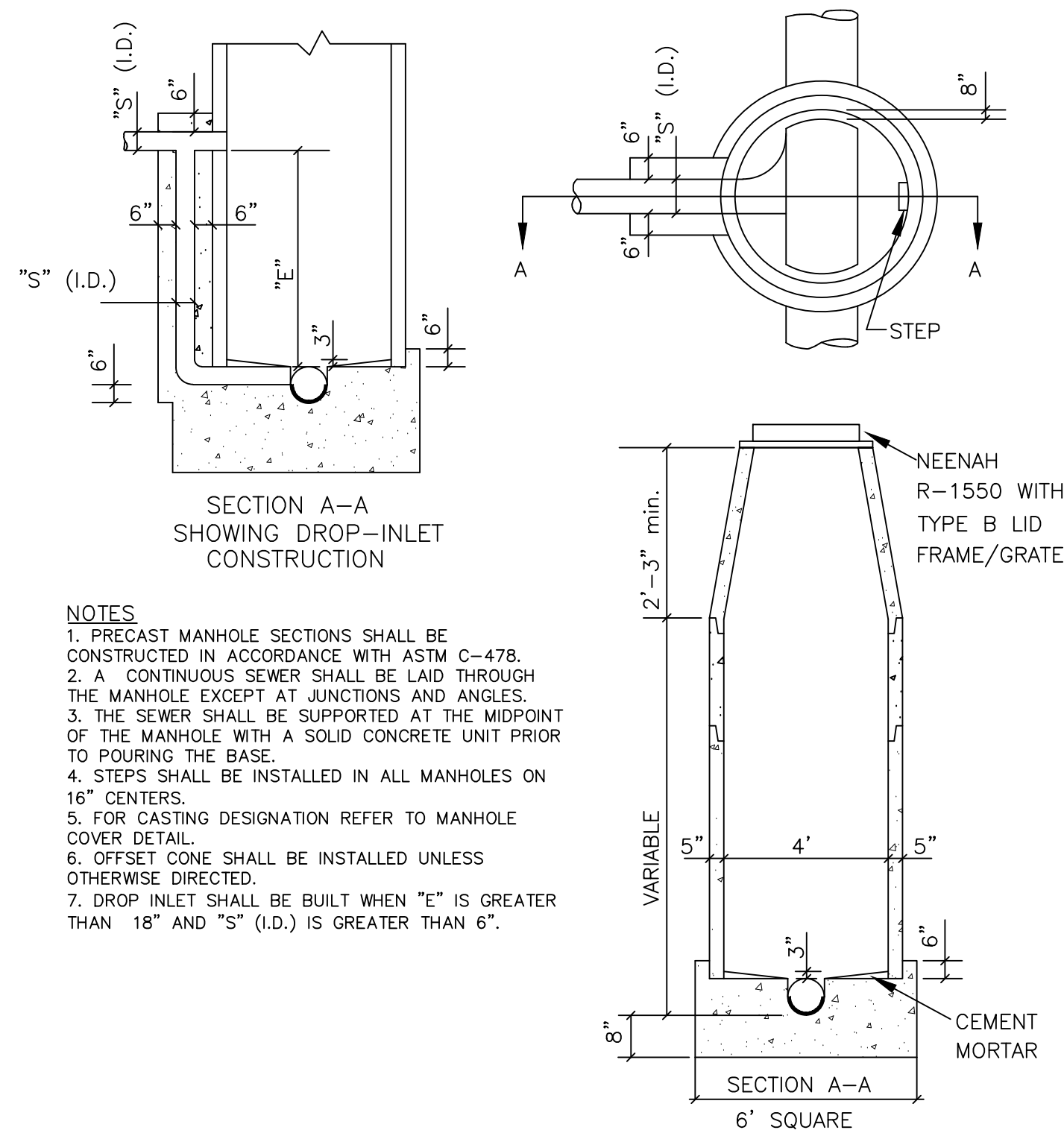
C501



1 STORM MANHOLE
NTS



2 CATCH BASIN
NTS



3 SANITARY MANHOLE
NTS

Notes: _____

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SITE DETAILS

C502

PLANT SCHEDULE TREES						
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	AE	Aesculus x carnea 'Fort McNair' / Red Horsechestnut	B & B	2" Cal		1
	MR	Malus x 'Red Jewel' / Crab Apple	B & B	2" Cal	SINGLE, STRAIGHT LEADER	2
DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	AN	Acer truncatum 'Norwegian Sunset' / Maple	B & B	2.5" Cal		7
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2.5" Cal		13
	GB2	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2" Cal	Single, Straight Leader; Inspection by City Forestry Required.	1
	GT2	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2" Cal	Single, Straight Leader; Inspection by City Forestry Required.	1
	GT	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2" Cal		8
	TA	Tilia americana 'Sentry' / American Linden	B & B	2" CAL, 6' HT (MIN.)	Single, Straight Leader; Inspection by City Forestry Required.	1

NOTE: SEE L200 & 201 FOR DETAILED PLANTING DESIGN LAYOUT AND SPECIES SELECTION WITHIN PLANTING BEDS

City of Madison Landscape Worksheet

929 East Washington Avenue

September 2, 2020

Traditional Employment Urban Design District 8

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	23,405	n/a	78	390
			Landscape Points Required	390

Development Frontage	LF	Overstory Tree Req. (or x2 for Orn./Evgrn. Tree Sub.)	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & Streets	873	29	146

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	28		980
Ornamental Tree	15	2		30
Evergreen Tree	15	0		0
Shrub, deciduous	2	123		246
Shrub, evergreen	3	39		117
Ornamental Grass	2	51		102
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Development Frontage Points Total				1475

Interior Parking Lots	N/A
Total Parking Lot Area	n/a

General Site, Foundation, Screening				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0		0
Ornamental Tree	15	0		0
Evergreen Tree	15	0		0
Shrub, deciduous	2	24		48
Shrub, evergreen	3	0		0
Ornamental Grass	2	38		76
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
General Site Plantings Total				124

TOTAL LANDSCAPE POINTS 1599

LEGEND

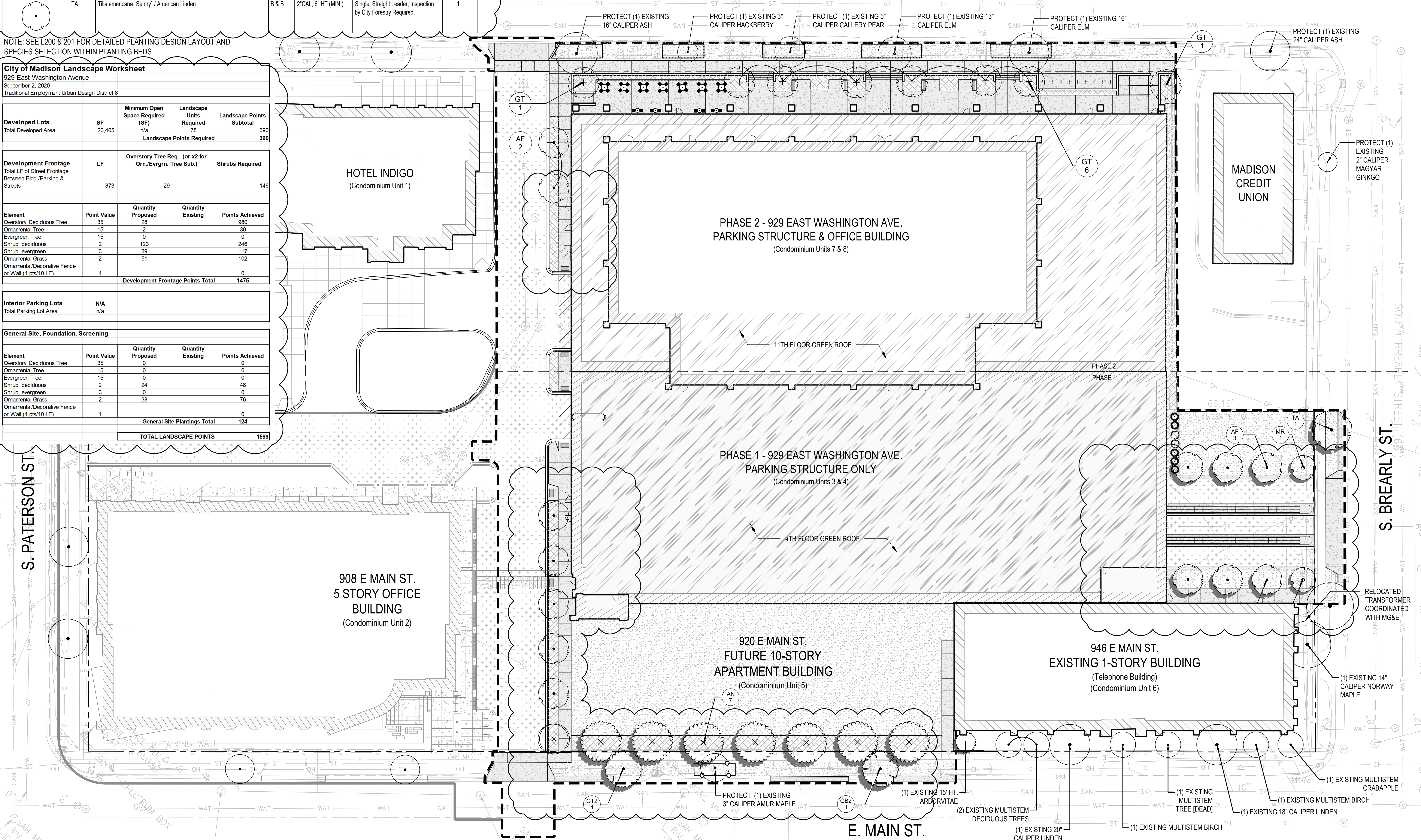
- SEEDING BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
- STONE MULCH WITH METAL EDGE
- EXISTING TREE
- TREE PROTECTION FENCE
- LANDSCAPE EDGE
 - METAL EDGE
 - SHOVEL CUT EDGE
- PROJECT BOUNDARY

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31 13 16, "SELECTIVE TREE AND SHRUB PROTECTION AND TRIMMING" FOR PROTECTION REQUIREMENTS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDING AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL AND LAWNS - SEE SPECIFICATIONS FOR MORE INFORMATION.
- CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR (1) 2" CALIPER LINDEN TREE DUE TO DRIVEWAY INSTALLATION. PLEASE CONTACT BRAD HOFMANN (EMAIL: BHOFMANN@CITYOFMADISON.COM -OR- 608-266-4816) TO OBTAIN THE STREET TREE REMOVAL PERMIT. ANY ADDITIONAL TREE REMOVALS WILL REQUIRE A MINIMUM OF A 12-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK AND IDEALLY TO THE OUTSIDE EDGE OF THE TREE'S OVERHEAD CANOPY. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- ADDITIONAL STREET TREES ARE NEEDED FOR THIS PROJECT. TREE PLANTING SPECIFICATIONS CAN BE FOUND IN SECTION 209 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT 608/266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK, REVIEW PLANTING SPECIFICATIONS WITH THE INSTALLER, AND INDICATE FINAL TREE PLANTING LOCATIONS.

E. WASHINGTON AVE.



1 OVERALL SITE RESTORATION PLAN

SCALE: 1" = 20'-0" (AT 30"x42" FULL SIZE SHEET)

0 20' 40'
1" = 20'-0"

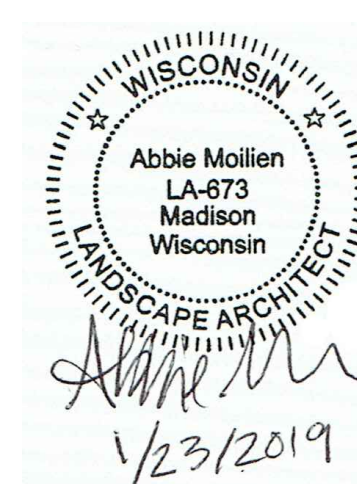


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Notes:



PRELIMINARY
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Archipelago

929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
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07/26/2019	SUBMITTAL SUPPLEMENT	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

OVERALL SITE
RESTORATION PLAN

L100

PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	HEIGHT	QTY
	AN	Acer truncatum 'Norwegian Sunset' / Maple	B & B	2.5" Cal		7
	AF	Acer x freemanii 'Armstrong' / Armstrong Freeman Maple	B & B	2" Cal		6
	GB2	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2" Cal		1
	GT2	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2" Cal		1
	GT	Gleditsia triacanthos 'Draves' PP 21698 / Street Keeper Honey Locust	B & B	2" Cal		10
	TA	Tilia americana 'Sentry' / American Linden	B & B	2" Cal		1
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE		QTY
	MR	Malus x 'Red Jewel' / Crab Apple	B & B	2" Cal		2
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	Am	Aronia melanocarpa 'Low Scape Mound' / Low Scape Mound Black Chokeberry	2 gal	12" HT (MIN.)		68
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal			2
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SP. (MIN.)		2
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	NOTES	QTY
	Jk	Juniperus chinensis 'Kallias Compact' / Kallias Compact Pfitzer Juniper	3 gal	24" HT (MIN.)		38

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDING AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5-FEET FROM THE OUTSIDE EDGE OF THE TREE CANOPY ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5-FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5-FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST 72-HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, AND EXTERIOR SITE FURNISHINGS (SECTIONS 31 13 00, 32 33 00, 32 91 13, 32 90 00 & 32 93 00. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- CONTRACTOR WILL BE REQUIRED TO SUBMIT TOPSOIL TEST RESULTS PER SECTION 32 91 13 PRIOR TO PLACEMENT OF SOIL MATERIALS ON THIS PROJECT.

LEGEND

- PROJECT LIMITS
- PROPERTY LINE
- TREE PROTECTION FENCE
- HEAVY DUTY ASPHALT PAVEMENT
- STANDARD CONCRETE PAVEMENT
- HEAVY DUTY CONCRTETE PAVEMENT
- MINERAL MULCH
- BARK MULCH
- SEEDED LAWN

City of Madison, WI Landscape Worksheet
Archipelago - Phase 1 Parking Ramp
12-Aug-20
Traditional Employment Urban Design District 8

Developed Lots	SF	5 Landscape Points For Every 300 SF of Developed Area	LANDSCAPE POINTS REQUIRED
Total NEW Developed Area	38,244	637	637
		Landscape Points Required	637

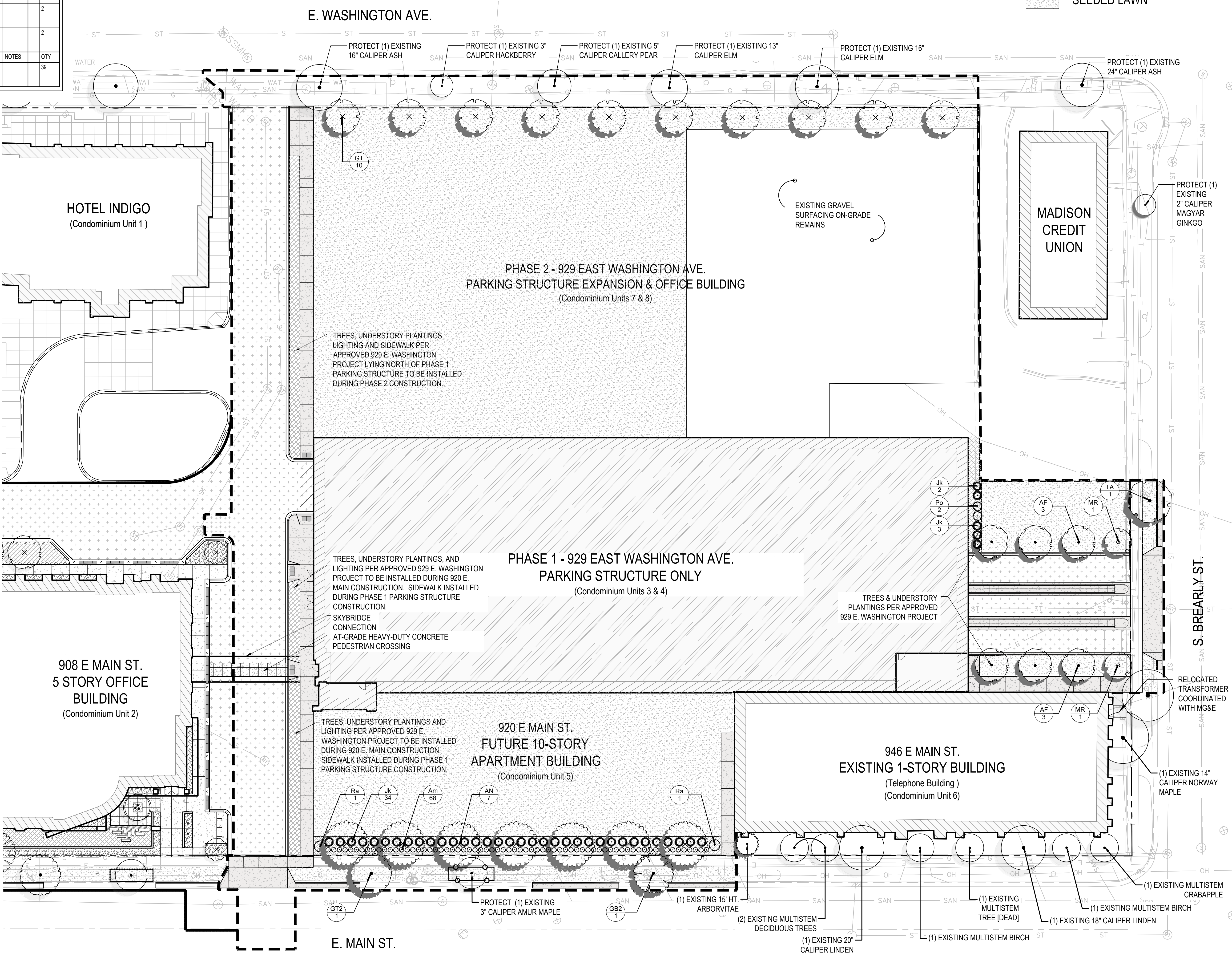
Development Frontage - E Washington Ave		LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & street		300	10	50
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree].				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	10		350
Ex. Significant Specimen Tree	0	0		0
Ornamental Tree	15	2		30
Evergreen Tree	15	0		0
Shrub, deciduous	3	0		0
Shrub, evergreen	4	0		0
Ornamental Grass/Perennial	2	0		0
Development Frontage Total				380

Development Frontage - E Main St	LF	**Overstory Trees Required		Shrubs Required
Total LF of Street Frontage				
Between Bldg./Parking & street	200	7		33
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree].				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	7		245
Ex. Significant Specimen Tree	0			0
Ornamental Tree	15			0
Evergreen Tree	15			0
Shrub, deciduous	3	70		210
Shrub, evergreen	4	34		136
Ornamental Grass/Perennial	2			0
Development Frontage Total				591

Development Frontage - S Brearly St		LF	**Overstory Trees Required	Shrubs Required
Total LF of Street Frontage Between Bldg./Parking & street		110	4	18
1 Overstory Deciduous Tree* & 5 Shrubs for each 30 lineal feet of Lot Frontage. [*2 Ornamental Trees or 2 Evergreen Trees may be used in place of 1 Overstory Deciduous Tree].				
Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	0		0
Ex. Significant Specimen Tree	0	0		0
Ornamental Tree	15	2		30
Evergreen Tree	15	0		0
Shrub, deciduous	3	0		0
Shrub, evergreen	4	0		0
Ornamental Grass/Perennial	2	0		0
Development Frontage Total				30

General Site, Foundation, Screening	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	6	210
Ornamental Tree	15	0	0
Evergreen Tree	15	0	0
Shrub, deciduous	3	2	6
Shrub, evergreen	4	5	20
Ornamental Grass/Perennial	2	30	60
Ornamental/Decorative Fence or Wall (4 pts/10 LF)			0
Foundation Plantings Total			286

TOTAL LANDSCAPE POINTS PROVIDED 1297



1 OVERALL SITE RESTORATION PLAN - PHASE 1
SCALE: 1"=20'-0"



Notes:

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NOT FOR CONSTRUCTION

Archipelago
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Madison, Wisconsin

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07/26/2019	SUBMITTAL SUPPLEMENT	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
08/02/2020	CONCEPTUAL LANDSCAPE ARCHITECTURE	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

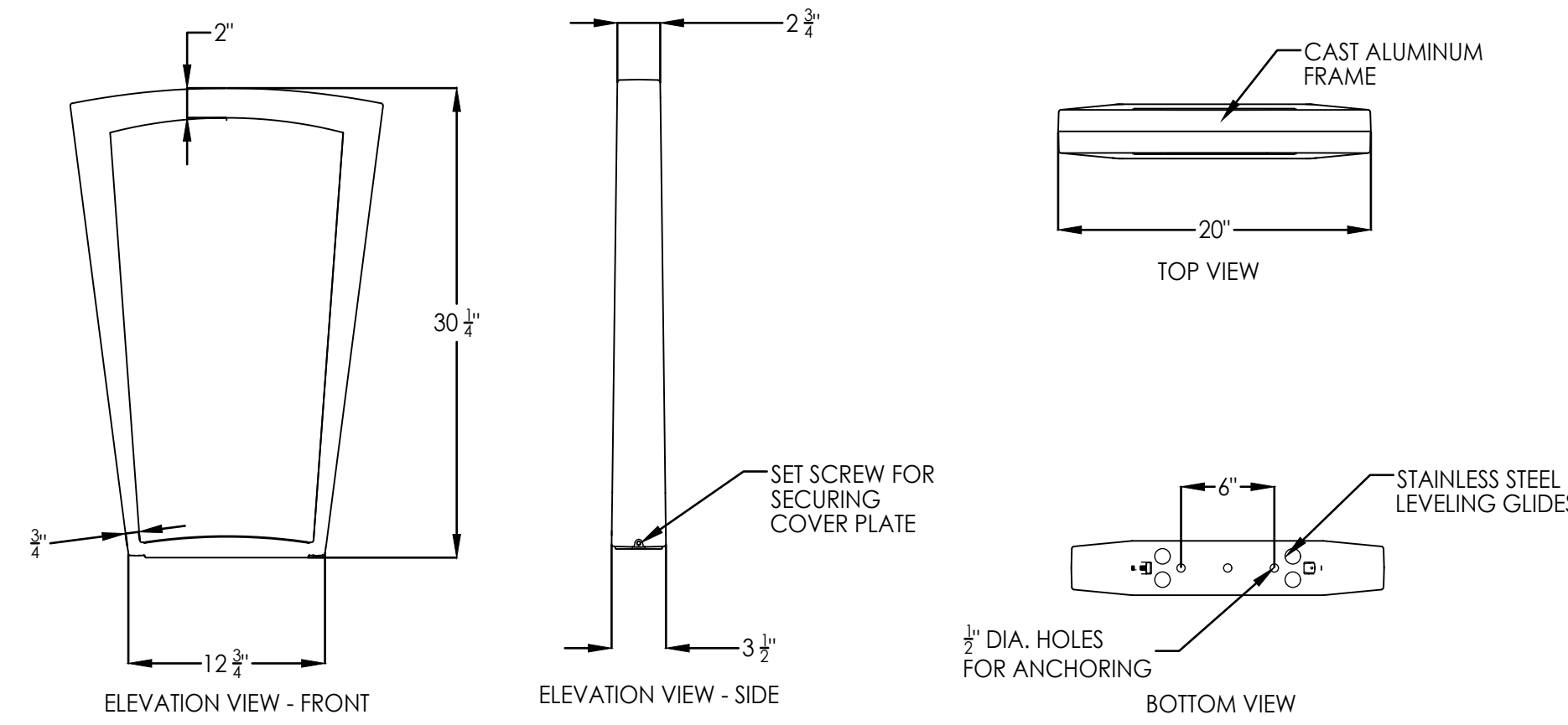
ARCHIPELAGO -
929 PHASE 1
LANDSCAPE OVERVIEW
L100A

PLANT SCHEDULE PLANT SCHEDULE (NORTH)					
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	24" HT (MIN.)	4
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SPR. (MIN.)	11
	Sb	Spiraea betulifolia 'Tor' / Birchleaf Spirea	2 gal	18" SPR. (MIN.)	18
	Sc	Stephanandra incisa 'Crispa' / Cutleaf Stephanandra	2 gal	18" SPR. (MIN.)	29
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.	11
	ses	Sesleria autumnalis / Autumn Moor Grass	1 qt	CONT.	51
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	amb	Anemone tabernaemontana 'Blue Ice' / Blue Ice Star Flower	1 qt	CONT.	74

NOTE: SEE L100 FOR TREE PLACEMENT AND SPECIES

LEGEND

- SEEDED BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
- STONE MULCH WITH METAL EDGE
- EXISTING TREE
- TREE PROTECTION FENCE
- LANDSCAPE EDGE
① METAL EDGE
② SHOVEL CUT EDGE
- PROJECT BOUNDARY



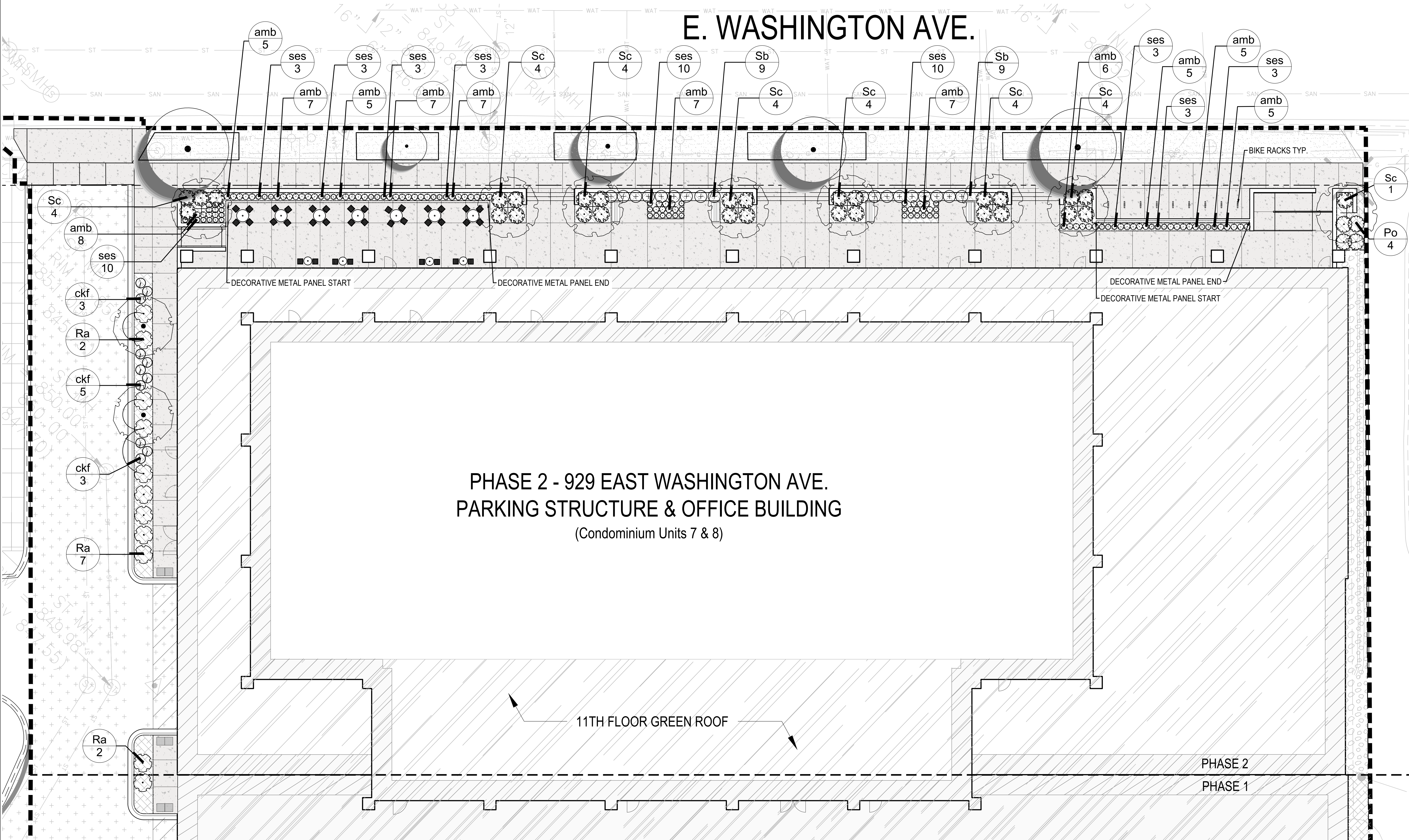
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3 BIKE RACK DETAIL

SCALE: NOT TO SCALE

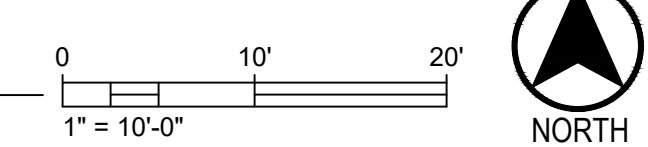
NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS. PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES AND OTHER IMPROVEMENTS FROM CONSTRUCTION RELATED ACTIVITIES.
- TOPSOIL AND PLANTING SOILS USED FOR THIS PROJECT MUST BE HIGH-QUALITY. REFER TO SECTION 32 91 13 FOR TOPSOIL QUALITY AND TESTING REQUIREMENTS.
- COMPACTED CONSTRUCTION AREAS MUST BE EXCAVATED AND DECOMPACTED PRIOR TO TOPSOIL OR PLANTING SOIL PLACEMENT. VERIFY THAT THESE REQUIREMENTS HAVE BEEN MET AND THAT THE SPECIFIED DEPTH OF TOPSOIL OR PLANTING SOIL HAS BEEN PROVIDED PRIOR SEEDING OR PLANTING; REFER TO SECTION 32 91 13.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETELY AND THOROUGHLY REVIEWING ALL INFORMATION IN DIVISION 31 AND 32 AND CONFORMING THE WORK TO THOSE ADDITIONAL PROJECT REQUIREMENTS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SEEDED AT NO COST TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- REFER TO L100 FOR NOTES ON TREE PROTECTION AND RIGHT-OF-WAY TREES.



1 PLANTING & LANDSCAPE RESTORATION PLAN (NORTH)

SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



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Notes:

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05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

PLANTING & LANDSCAPE
RESTORATION PLAN (NORTH)

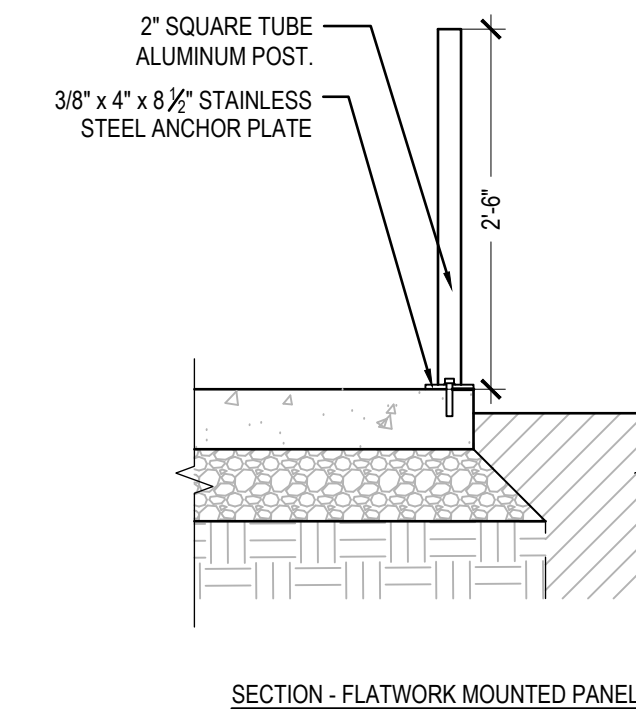
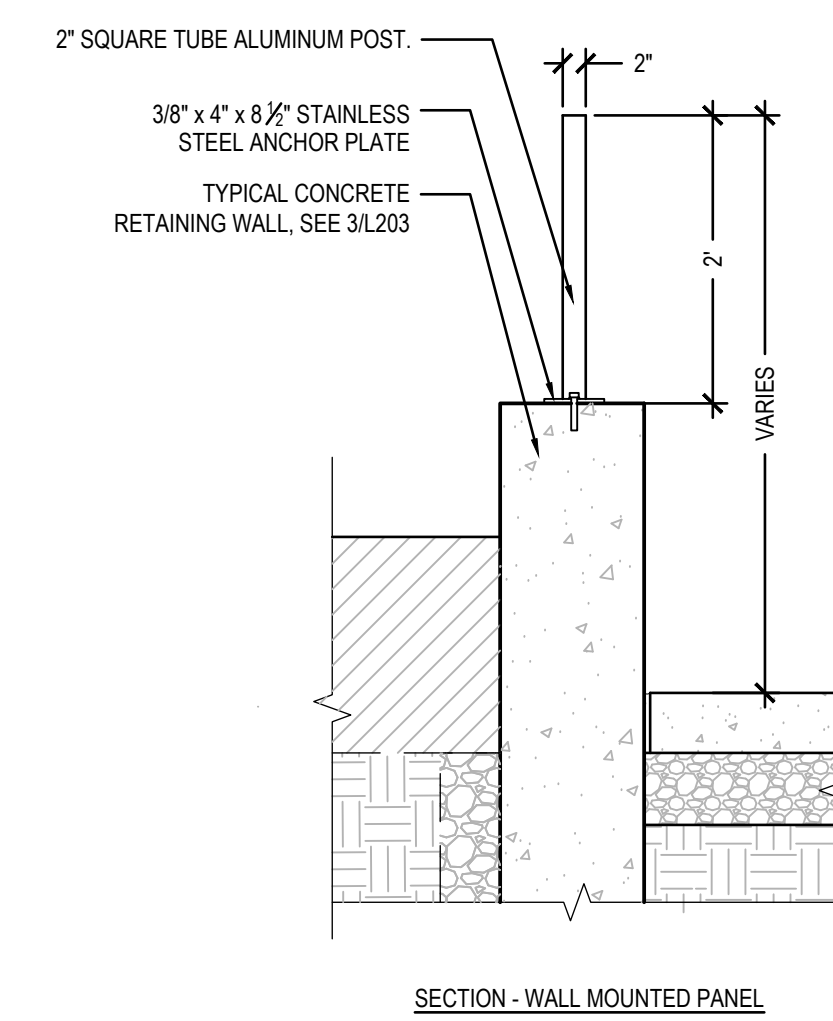
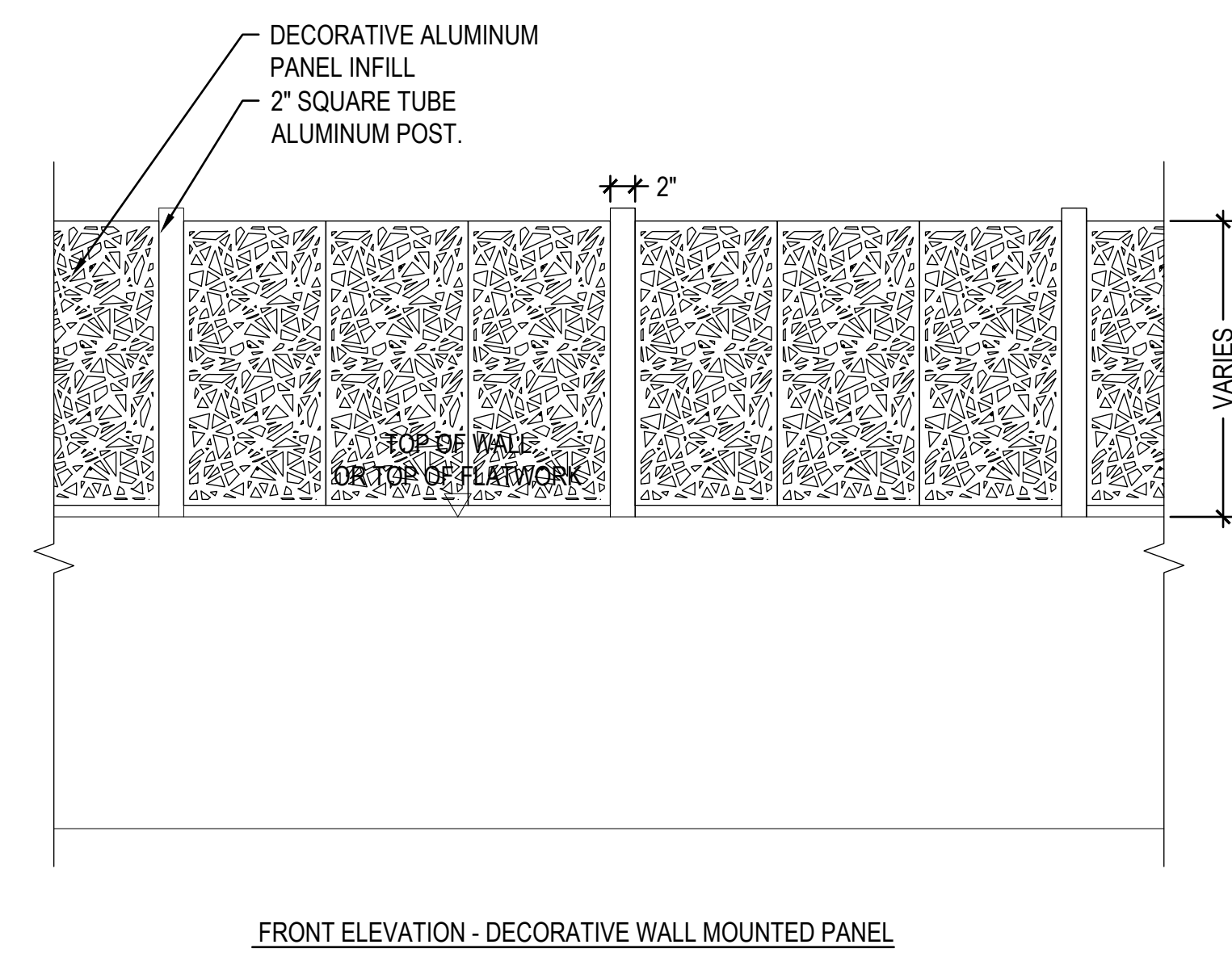
L200

PLANT SCHEDULE PLANT SCHEDULE (SOUTH)					
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Am	Aronia melanocarpa 'Low Scape Hedger' / Low Scape Hedger Chokeberry	3 gal	24" HT (MIN.)	68
	Po	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	3 gal	24" HT (MIN.)	2
	Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal	18" SPR. (MIN.)	14
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	Jk	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	3 gal	24" HT (MIN.)	39
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	SIZE	QTY
	ckf	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	CONT.	20

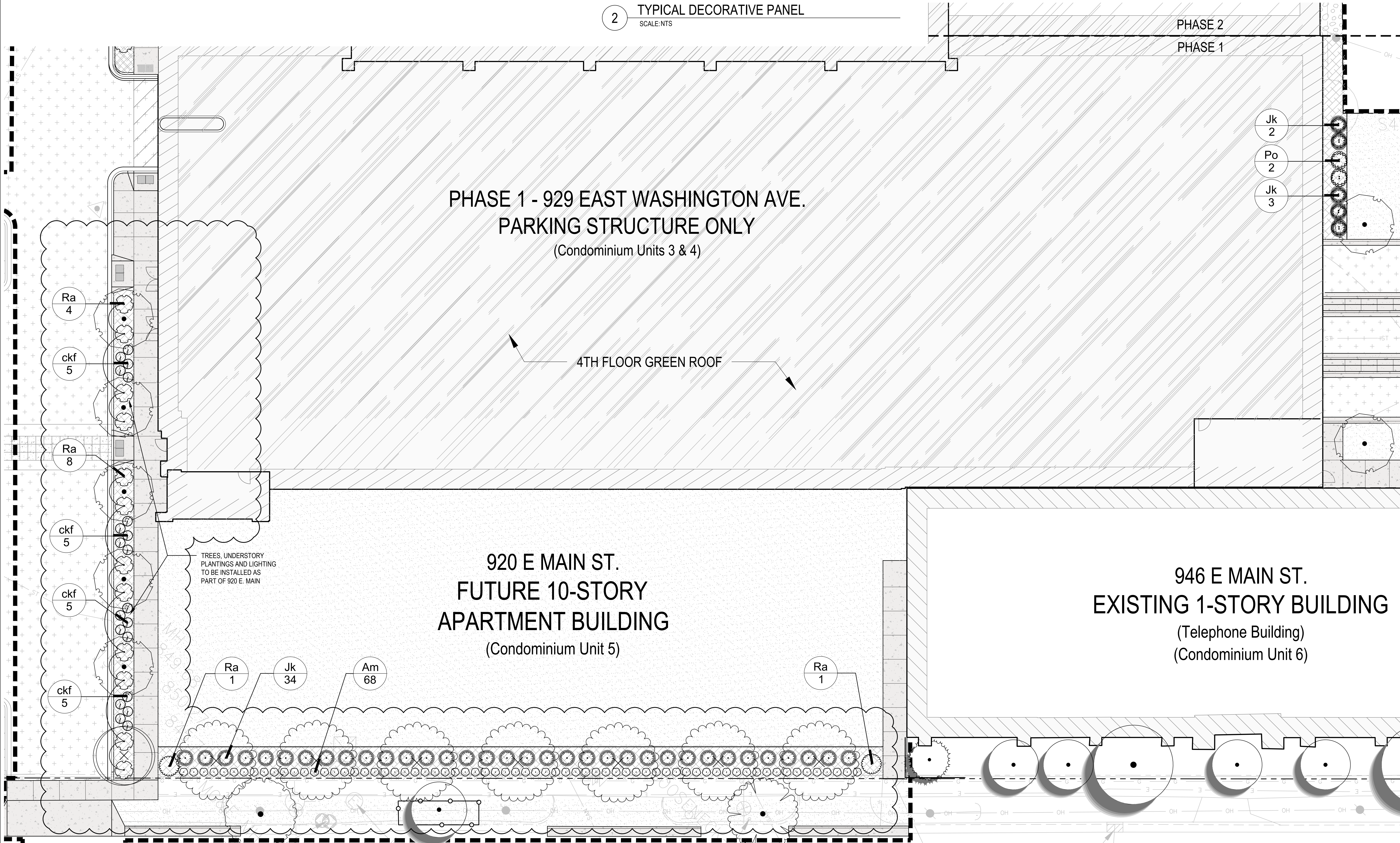
NOTE: SEE L100 FOR TREE PLACEMENT AND SPECIES. SEE NOTES ON L200.

LEGEND

- SEEDED BLUEGRASS LAWN
- GREEN ROOF
- HARDWOOD BARK MULCH PLANTING BED WITH SHOVEL CUT EDGE
- STONE MULCH WITH METAL EDGE
- EXISTING TREE
- TREE PROTECTION FENCE
- LANDSCAPE EDGE
 - METAL EDGE
 - SHOVEL CUT EDGE
- PROJECT BOUNDARY



2 TYPICAL DECORATIVE PANEL
SCALE: NTS



Notes:

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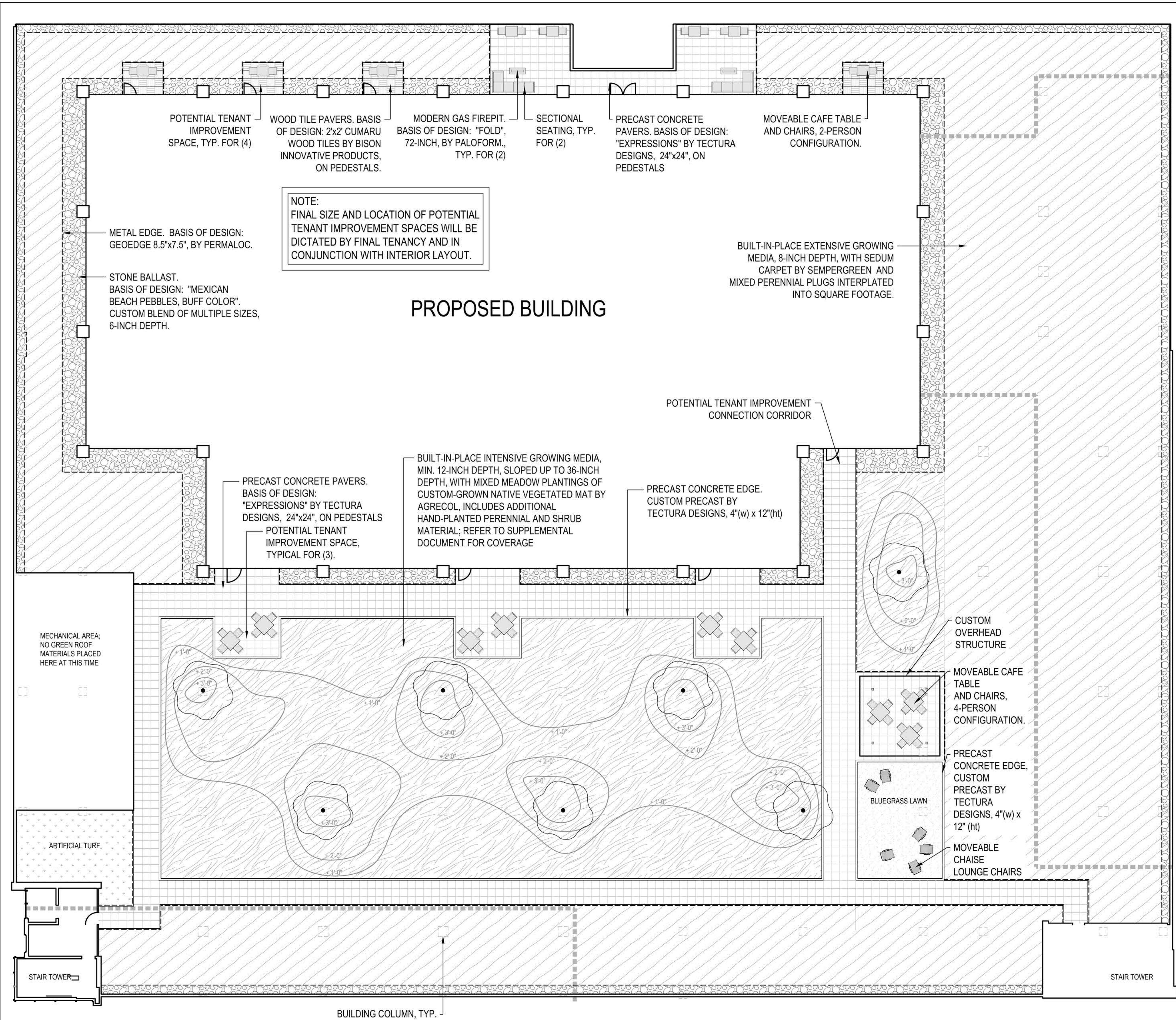
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05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

PLANTING & LANDSCAPE
RESTORATION PLAN (SOUTH)

L201



LEGEND

- ARTIFICIAL TURF
- BLUEGRASS LAWN
- MEADOW OVER MIN 12" OF INTENSIVE GROWING MEDIA
- SEDUM CARPET OVER 8" OF EXTENSIVE GROWING MEDIA
- STONE BALLAST
- L-SHAPE ALUMINUM EDGE
- POTENTIAL FUTURE BUILDING EXPANSION LIMITS
- ACER GINNALA 'FLAME' 6' HT. (MIN.), MULTI-STEMMED, B&B, SPECIMEN FORM
- STRUCTURAL BUILDING COLUMN
- OVERHEAD SHADE STRUCTURE

SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

- Sedum spurium 'Fuldaglut'
- Sedum spurium 'John Creech'
- Sedum spurium 'Red Carpet'
- Sedum kamtschaticum
- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunchen
- Sedum subsp. rupestre 'Angelina'
- Sedum subsp. rupestre 'Blue Spruce'
- Sedum acre 'Aureum'
- Sedum acre 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Murale'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

MEADOW MIX SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE MEADOW MIX WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

- Bouteloua curtipendula (Side Oats Grama)
- Bouteloua gracilis (Blue Grama)
- Carex brevior (Plains Oval Sedge)
- Carex muhlenbergii (Sand Bracted Sedge)
- Danthonia spicata (Poverty Oat Grass)
- Elymus canadensis (Canada Wild Rye)
- Eragrostis spectabilis (Purple Love Grass)
- Festuca obtusa (Nodding Fescue)
- Hordeum jubatum (Squirrel-Tailed Barley)
- Juncus tenuis (Path Rush)
- Koeleria cristata (June Grass)
- Panicum virgatum (Switchgrass)
- Schizachyrium scoparium (Little Bluestem)
- Sporobolus asper (Rough Dropseed)
- Sporobolus cryptandrus (Sand Dropseed)
- Sporobolus heterolepis (Prairie Dropseed)

Notes: _____

Archipelago

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Madison, Wisconsin

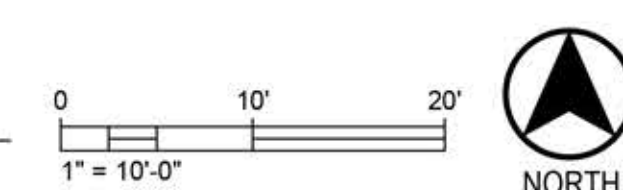
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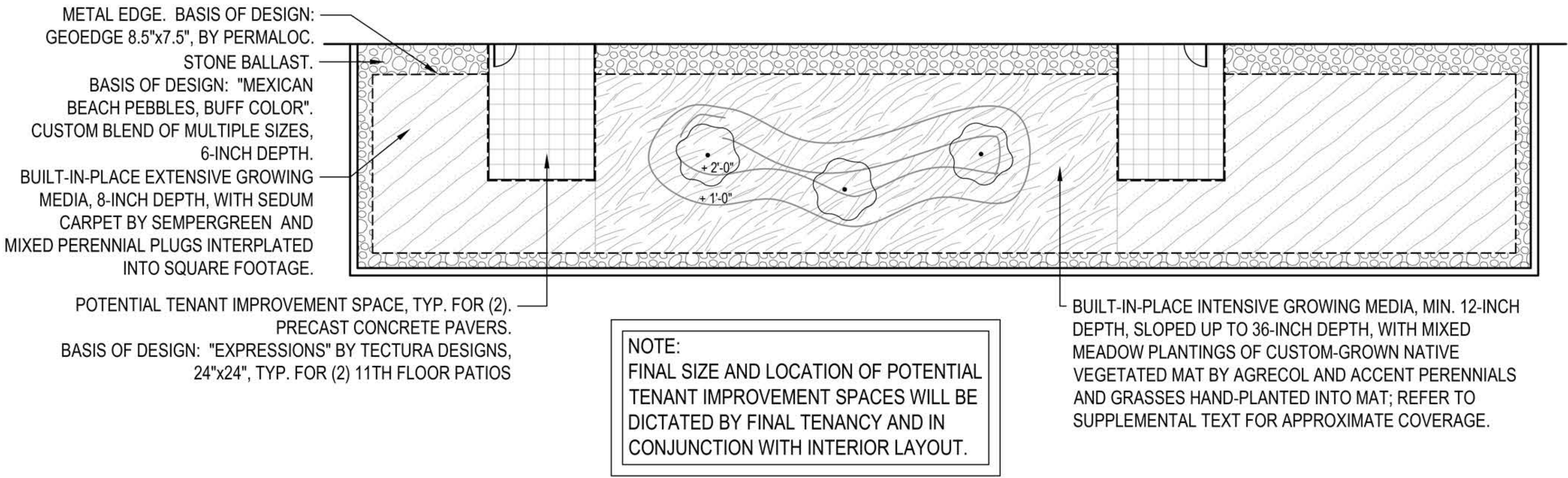
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09/02/2020	CONDITIONAL USE MINOR ALTERATION	

4TH FLOOR GREEN ROOF PLAN

L300

1 4TH FLOOR GREEN ROOF PLAN
SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)

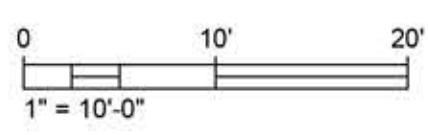




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11TH FLOOR GREEN ROOF PLAN

SCALE: 1" = 10'-0" (AT 30"x42" FULL SIZE SHEET)



LEGEND

- MEADOW OVER MIN 12" OF INTENSIVE GROWING MEDIA
- SEDUM CARPET OVER 8" OF EXTENSIVE GROWING MEDIA
- STONE BALLAST
- L-SHAPE ALUMINUM EDGE
- POTENTIAL FUTURE BUILDING EXPANSION LIMITS
- PHYSOCARPUS OPULIFOLIUS 'DIABLO' [DIABLO NINEBARK] MULTI-STEMMED SHRUB 10' HT x 10' W AT MATURITY MIN. 4' HT. AT PLANTING

SEDUM CARPET SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE SEDUM CARPET WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

- Sedum spurius 'Fuldaglut'
- Sedum spurius 'John Creech'
- Sedum spurius 'Red Carpet'
- Sedum kamtschaticum
- Sedum kamtschaticum 'Variegatum'
- Sedum kamtschaticum var. floriferum
- Sedum takesimensis 'Golden Carpet'
- Sedum x Immergrunchen
- Sedum subsp. rupestre 'Angelina'
- Sedum subsp. rupestre 'Blue Spruce'
- Sedum acre 'Aureum'
- Sedum acre 'Goldmoss'
- Sedum album 'Coral Carpet'
- Sedum album 'Murale'
- Sedum hispanicum
- Sedum sexangulare
- Sedum stefco

MEADOW MIX SPECIES COMPOSITION: SUBJECT TO AVAILABILITY, THE MEADOW MIX WILL BE COMPOSED OF THE FOLLOWING SPECIES IN APPROXIMATELY EQUAL QUANTITIES, PRE-GROWN AND DELIVERED TO THE SITE AS A SOD-LIKE MATERIAL:

- Bouteloua curtipendula (Side Oats Grama)
- Bouteloua gracilis (Blue Grama)
- Carex brevior (Plains Oval Sedge)
- Carex muhlenbergii (Sand Bracted Sedge)
- Danthonia spicata (Poverty Oat Grass)
- Elymus canadensis (Canada Wild Rye)
- Eragrostis spectabilis (Purple Love Grass)
- Festuca obtusa (Nodding Fescue)
- Hordeum jubatum (Squirrel-Tailed Barley)
- Juncus tenuis (Path Rush)
- Koeleria cristata (June Grass)
- Panicum virgatum (Switchgrass)
- Schizachyrium scoparium (Little Bluestem)
- Sporobolus asper (Rough Dropseed)
- Sporobolus cryptandrus (Sand Dropseed)
- Sporobolus heterolepis (Prairie Dropseed)

Potter
Lawson

Success by Design



Notes:

Archipelago

929 E Washington Ave
Madison, Wisconsin

Project #: 2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
07/26/2019	SUBMITTAL SUPPLEMENT	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
05/28/2020	DD PHASE GMP DRAWING SET	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

11TH FLOOR GREEN
ROOF PLAN

L301

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

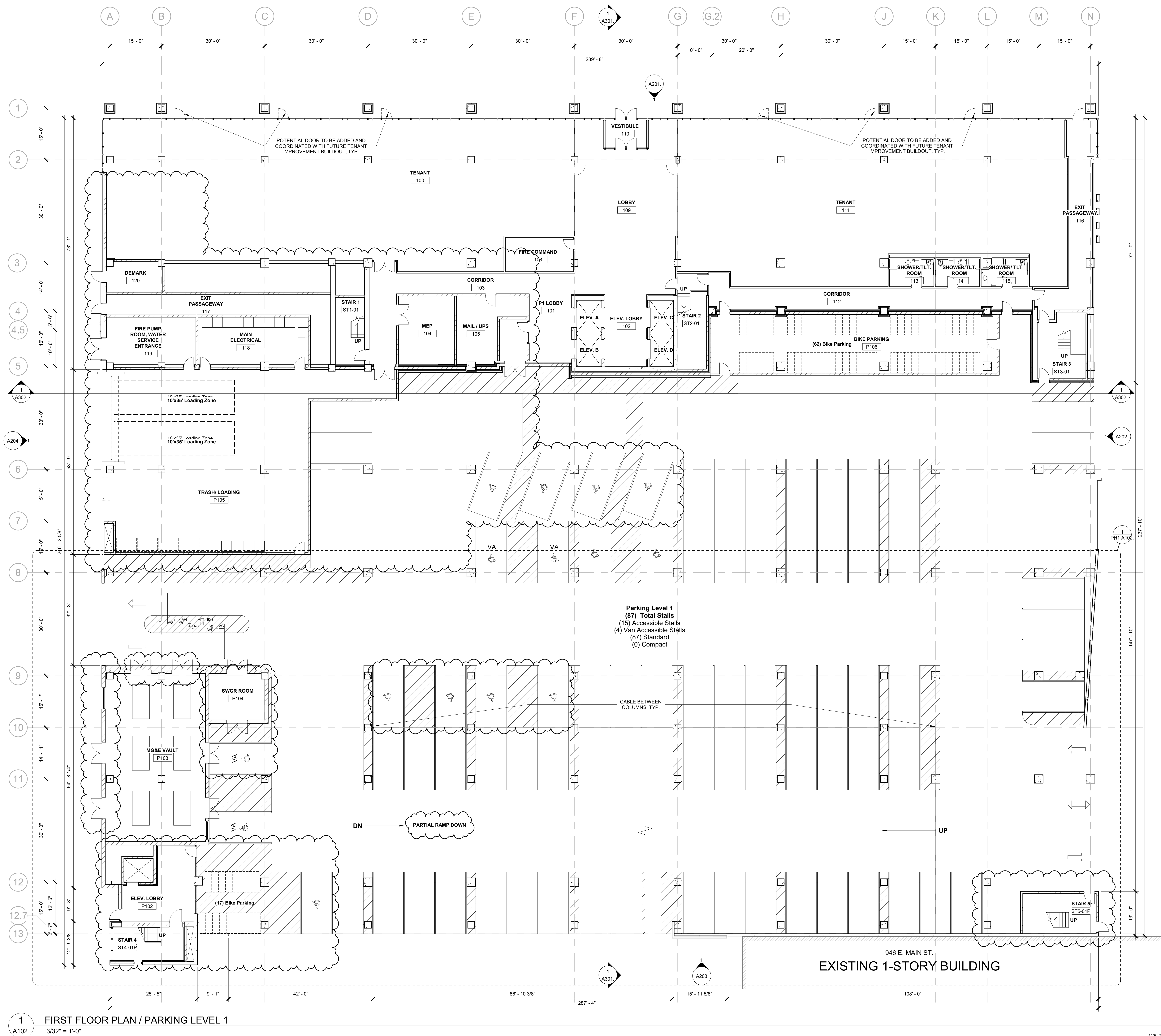
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

FIRST FLOOR
PLAN / PARKING
LEVEL 1

A102.



1 FIRST FLOOR PLAN / PARKING LEVEL 1
A102 3/32" = 1'-0"

Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

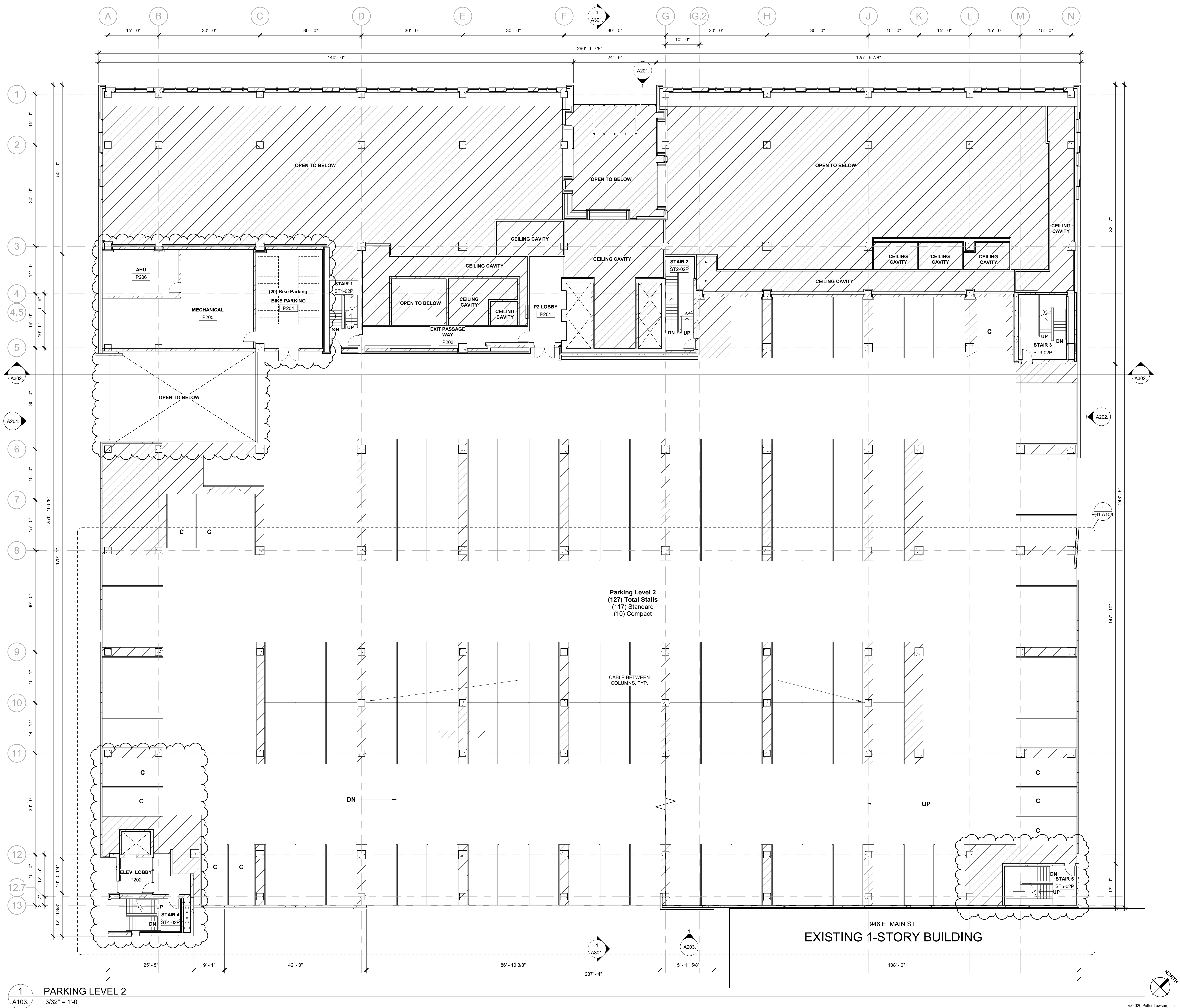
929 E Washington Ave
Madison, Wisconsin

2016.36.02

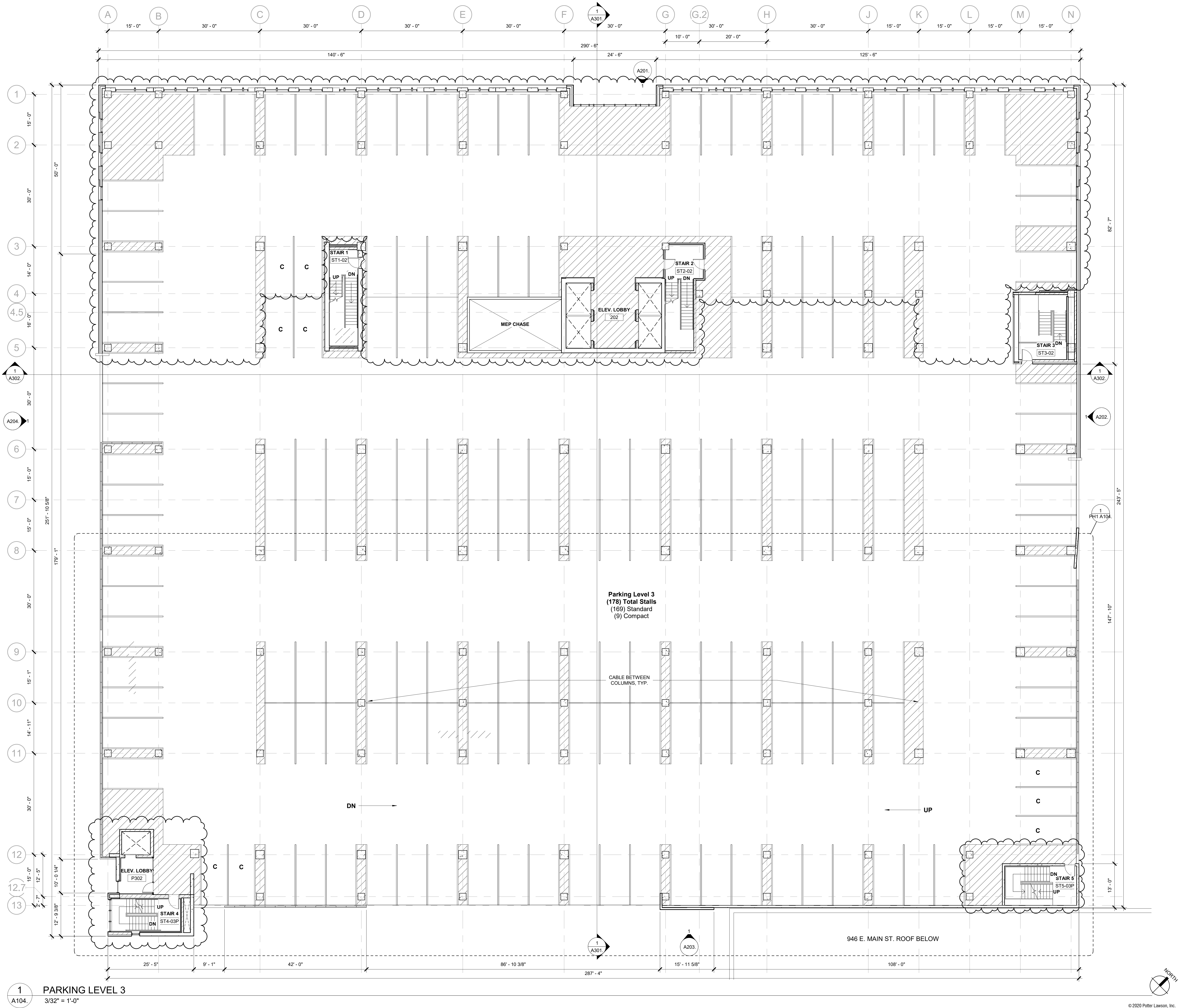
Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

PARKING LEVEL 2

A103.



9/1/2020 1:25:35 PM



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

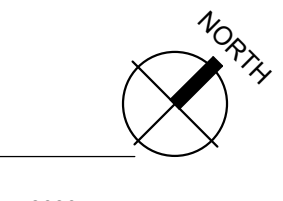
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

PARKING LEVEL 3

A104.



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Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

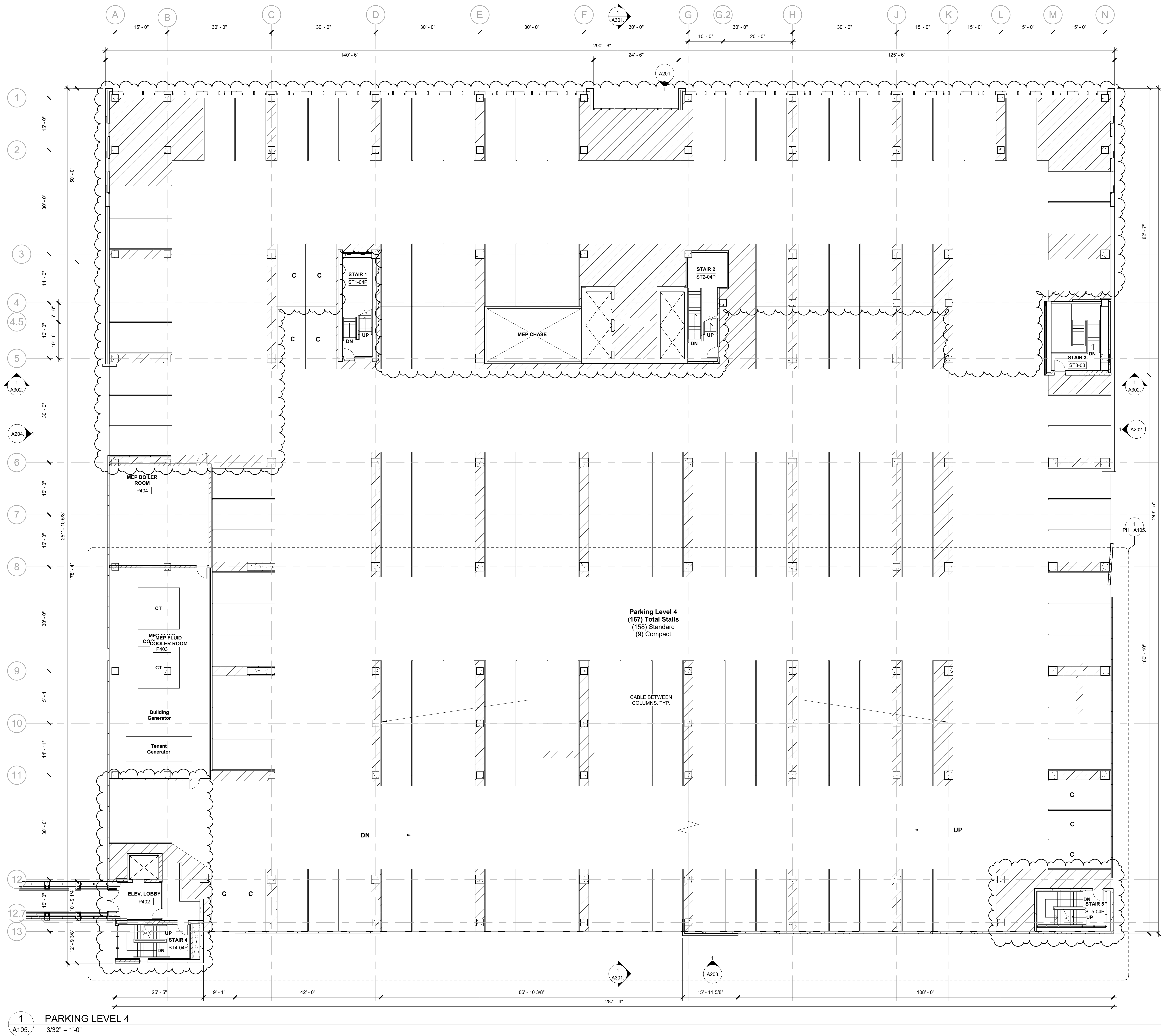
929 E Washington Ave
Madison, Wisconsin

2016.36.02

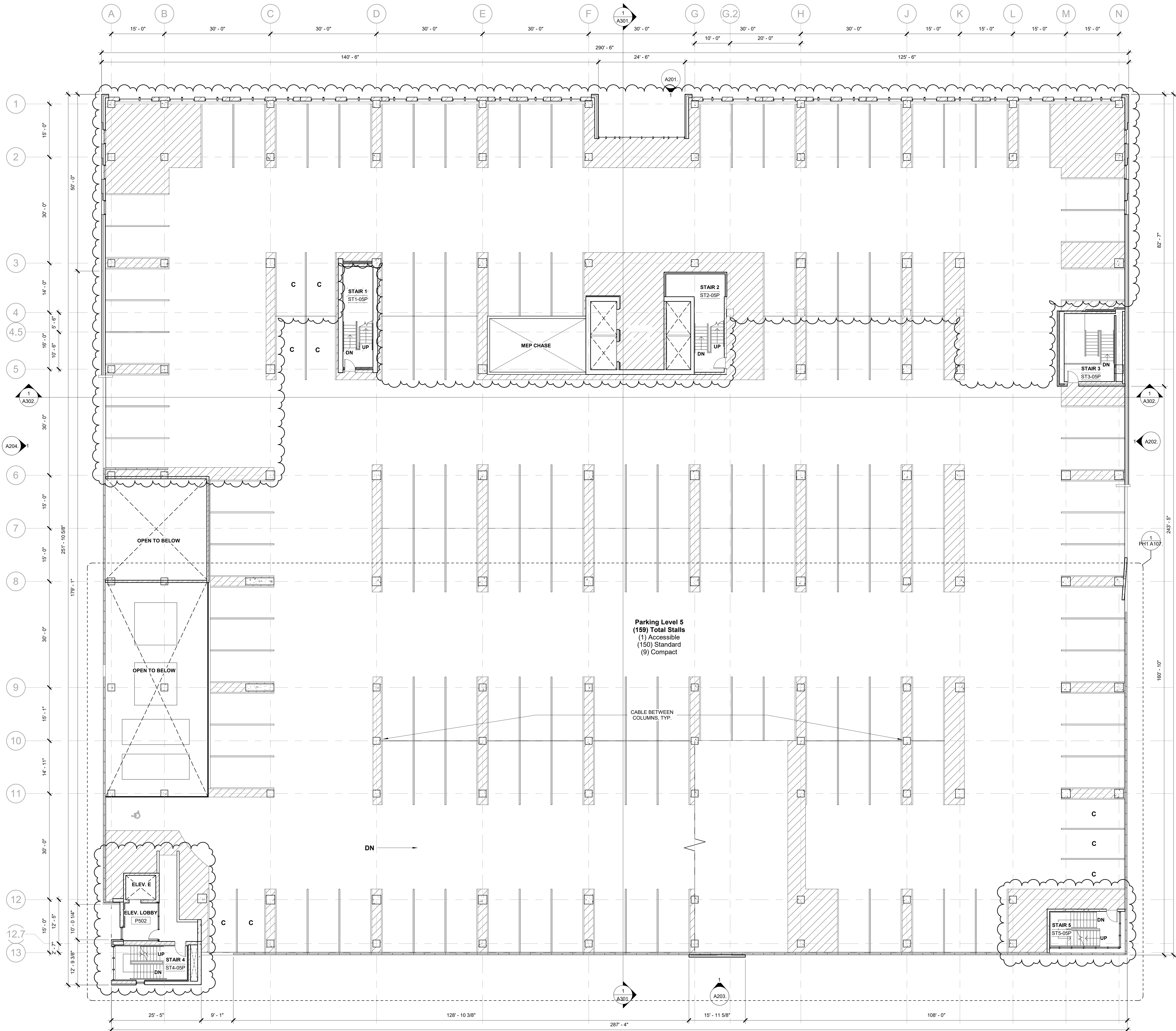
Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

PARKING LEVEL 4

A105.



9/1/2020 1:25:39 PM



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

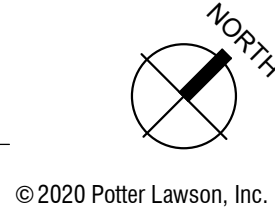
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

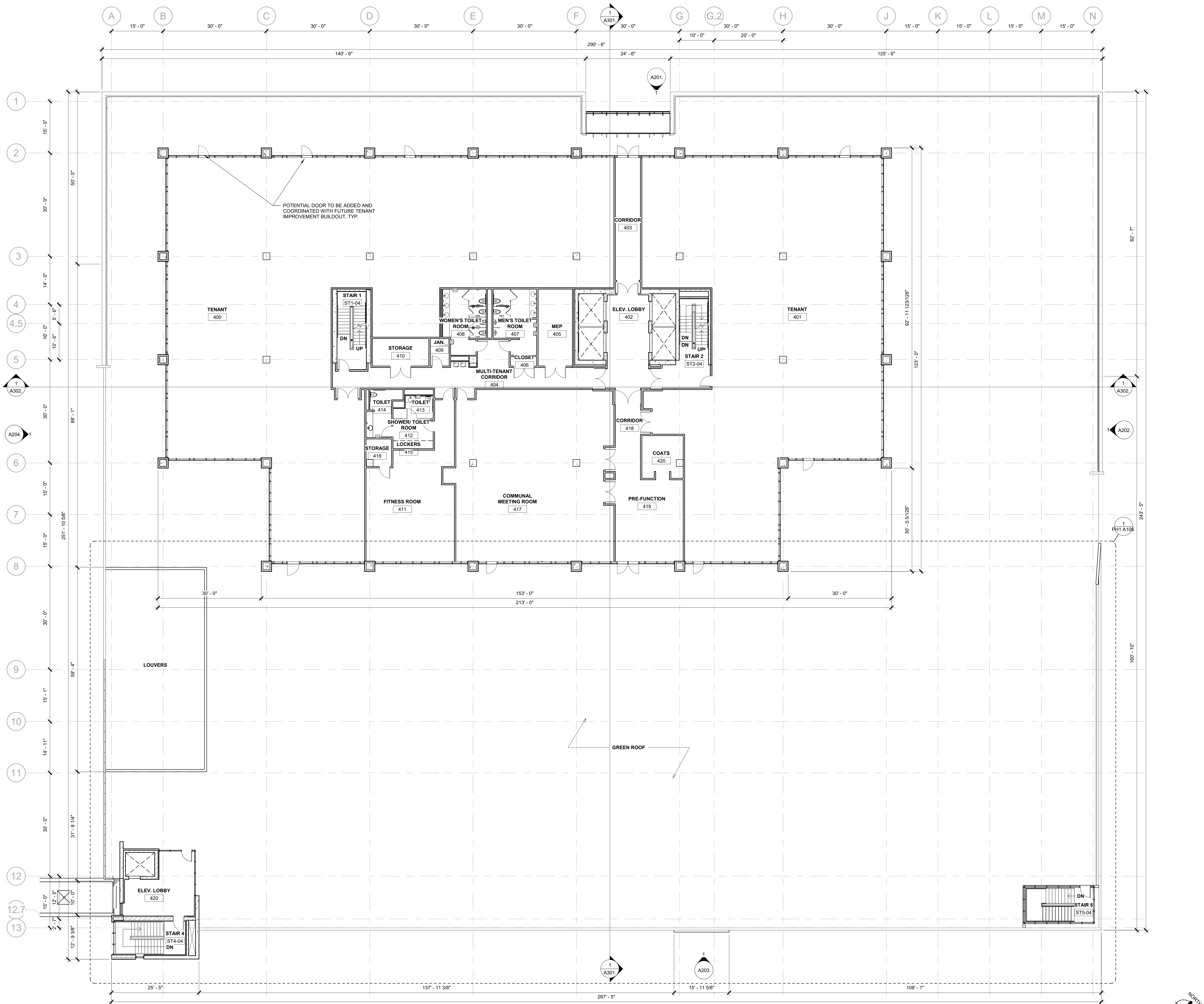
PARKING LEVEL 5

A107.



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9/1/2020 1:25:42 PM



1
A108. FOURTH FLOOR PLAN
3/32" = 1'-0"

Notes:

PRELIMINARY
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Archipelago

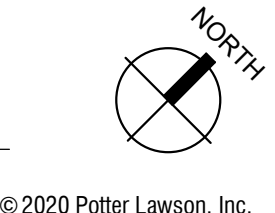
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

FOURTH FLOOR
PLAN

A108.



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Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

A109.



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

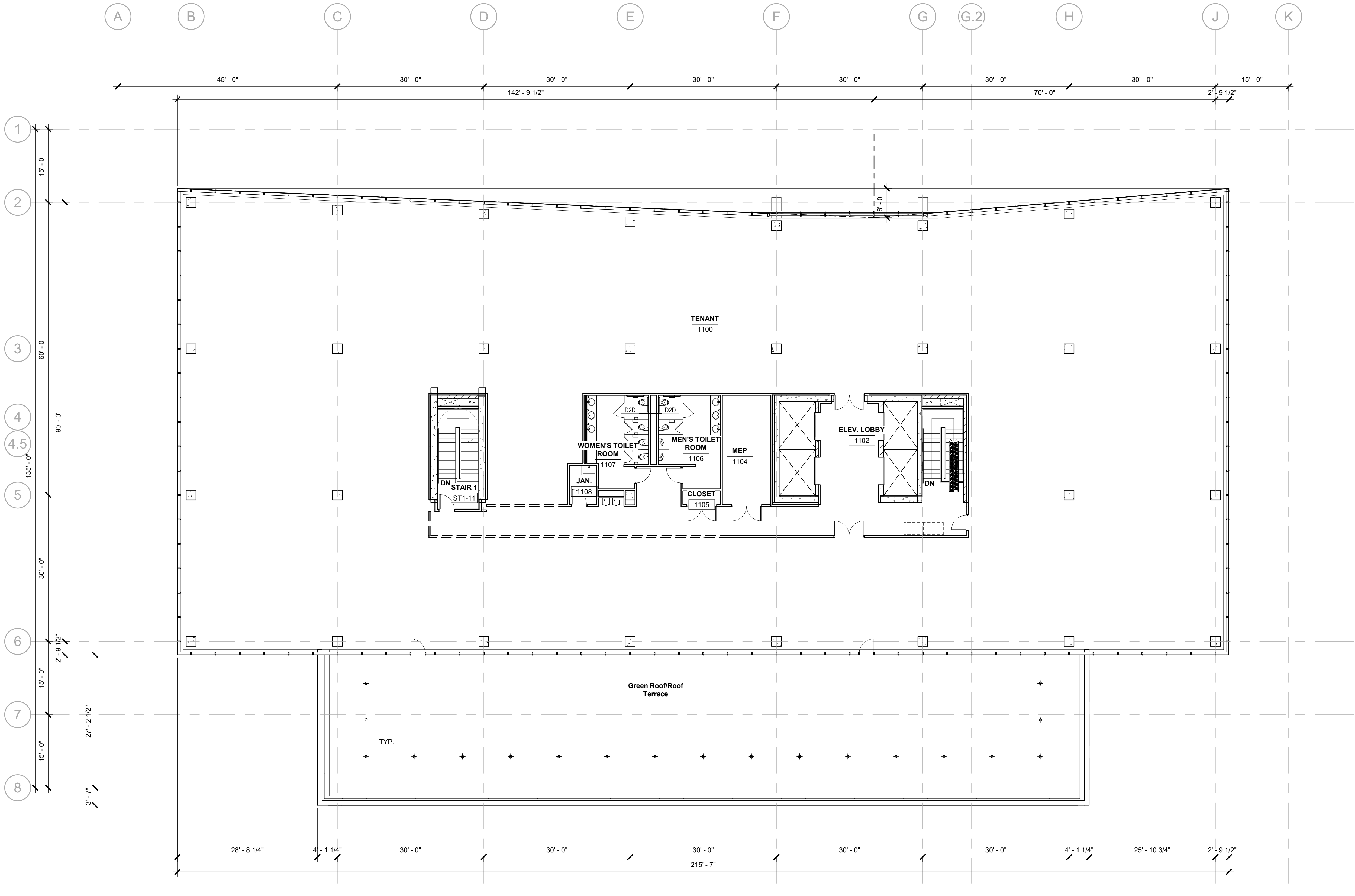
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
07/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

ELEVENTH FLOOR
PLAN

A110.



1 ELEVENTH FLOOR
A110. 3/32" = 1'-0"

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

A111.

[illegible]

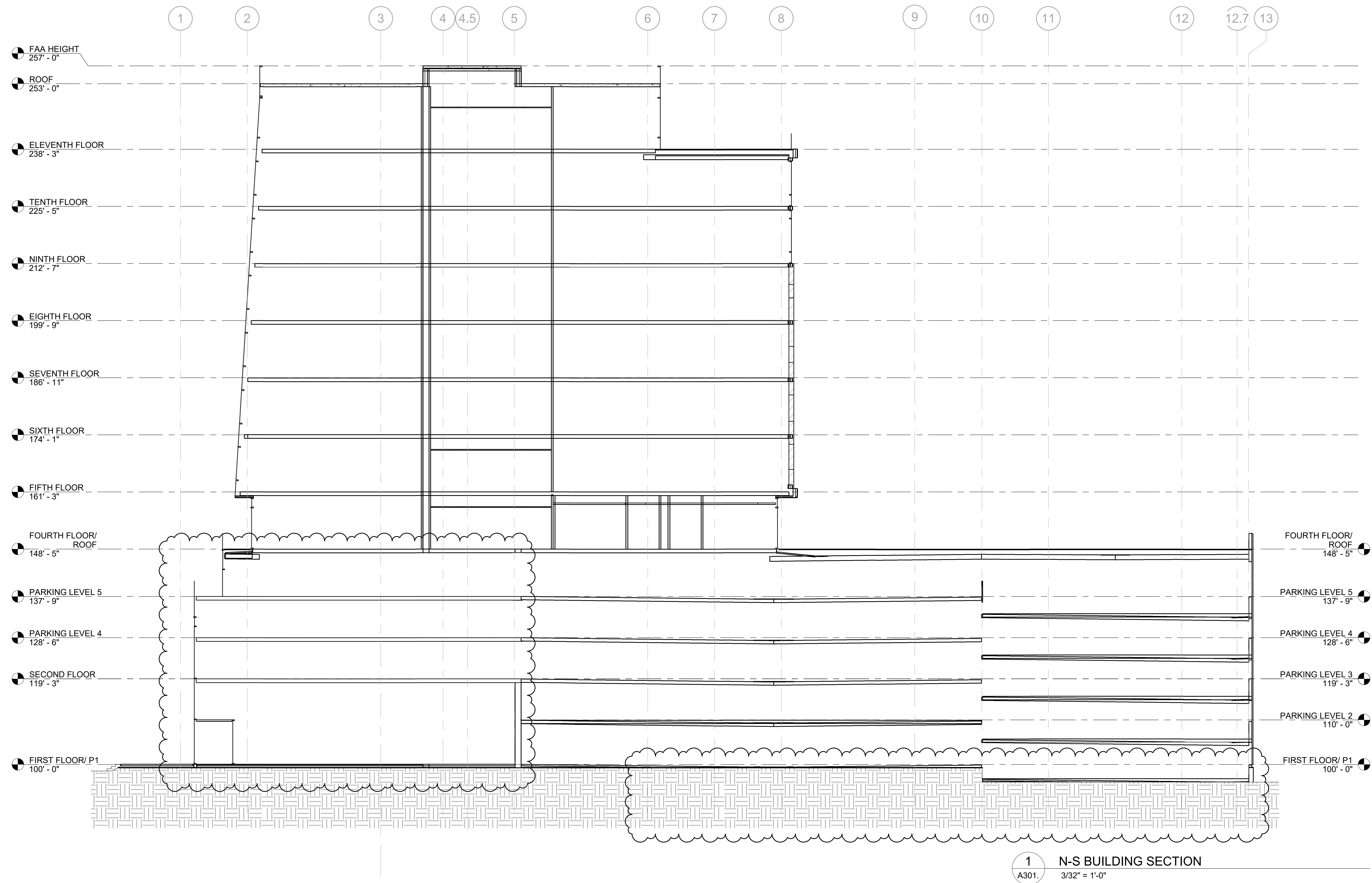
A201.



- | | | | |
|----|--|----|--|
| 1 | SSG PAINTED ALUMINUM UNITIZED CURTAIN WALL SYSTEM. COLOR MATCH TO LARSON PEWTER METALLIC. | 22 | CORRUGATED, PERFORATED METAL PANEL TYPE 3, BASIS OF DESIGN CENTRIA ECOSCREEN: EQUAL PARTS OF EACH - BR5-36, MR3-36; STYLE RIB. 40% OPEN AREA, STAGGERED PATTERN. 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9967 XL PEWTER, 50% 9962 XL SILBER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM |
| 2 | PAINTED ALUMINUM CURTAIN WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. | 23 | EXPPOSED POST TENSIONED STRUCTURAL SLAB |
| 3 | PAINTED ALUMINUM WINDOW WALL SYSTEM. CAPTURED VERTICAL, TOP AND BOTTOM MULLIONS. SSG HORIZONTALS. COLOR MATCH TO LARSON PEWTER METALLIC. 50% OPACITY WINDOW FILM ON GLASS AT PARKING LEVELS. | 24 | STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK |
| 4 | SPANDREL GLAZING | 25 | STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 6258 TRICORN BLACK |
| 5 | EXTRUDED PAINTED ALUMINUM MULLION CAP. COLOR MATCH TO LARSON PEWTER METALLIC | 26 | STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK |
| 6 | STONE VENEER. BIESZANG STONE (TAN), FLEURI CUT, HONED FINISH | 27 | BLACK ANODIZED ALUMINUM CURTAINWALL |
| 7 | CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 1 - COLOR MATCH TO LARSON PEWTER METALLIC | 28 | MECHANICAL LOUVER - COLOR: SW 6258 TRICORN BLACK |
| 8 | FORMED BLOCK 8"X16", ANGELUS HI-LITE MARK 1 - BLACK CANYON | 29 | HOLLOW METAL DOOR - COLOR: SW 6258 TRICORN BLACK |
| 9 | ARCHITECTURAL PRECAST CONCRETE PANELS | 30 | CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 4 - COLOR: LARSON - CLASSIC BLACK |
| 10 | BIESZANG STONE ACCENT FIN (TAN), FLEURI CUT | 31 | STEEL FRAME. GALVANIZED, PRIMED AND PAINTED - SW 6258 TRICORN BLACK |
| 11 | SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT | 32 | BLACK ANODIZED ALUMINUM WINDOW WALL |
| 12 | GLASS GUARDRAIL W/ FRIT PATTERN | | |
| 13 | RUBBED CONCRETE WALL / PLANTER | | |
| 14 | MURAL WALL | | |
| 15 | INSULATED OVERHEAD DOOR - COLOR MATCH TO SW 6258 TRICORN BLACK | | |
| 16 | RAMP ENTRY | | |
| 17 | FIRE DEPARTMENT CONNECTION | | |
| 18 | BUILDING MOUNTED EXTERIOR LIGHT FIXTURE | | |
| 19 | GLASS BLOCK WINDOW | | |
| 20 | EXISTING BUILDING | | |
| 21 | CONCEALED FASTENER COMPOSITE/ ACM METAL PANEL TYPE 2 - COLOR MATCH TO LARSON MEDIUM GREY MICA | | |

[illegible]

A301.





PRELIMINARY
NOT FOR CONSTRUCTION

DATE	ISSUANCE/REVISIONS
01/23/2019	MADISON LAND USE APPLICATION
04/30/2019	REVISED LAND USE SUBMITTAL
06/19/2019	REVISED LAND USE SUBMITTAL
09/02/2020	CONDITIONAL USE MINOR ALTERATION

A302.



Notes:

KEYNOTES:

- 1 FOUNDATION WALL BELOW
- 2 CABLE BETWEEN COLUMNS, TYP.
- 3 CHARGING STATION
- 4 BARRIER ARM
- 5 ENTRY STATION
- 6 EXIT STATION

PHASE 1 PARKING COUNT

<u>LEVEL</u>	<u>90°</u>	<u>0°</u>
PARKING LEVEL 1	55	5
PARKING LEVEL 2	78	6
PARKING LEVEL 3	78	6
PARKING LEVEL 4	77	6
PARKING LEVEL 5	70	6
TOTAL	358	29

TOTAL STALLS: 387 STALLS

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

929 E Washington Ave
Madison, Wisconsin

2016.36.04

[illegible]

PHASE 1 - PARKING LEVEL 1

PH1 A102

Notes:

KEYNOTES:

1 CABLE BETWEEN COLUMNS, TYP.

<u>PHASE 1 PARKING COUNT</u>		
<u>LEVEL</u>	<u>90°</u>	<u>0°</u>
PARKING LEVEL 1	55	5
PARKING LEVEL 2	78	6
PARKING LEVEL 3	78	6
PARKING LEVEL 4	77	6
PARKING LEVEL 5	70	6
TOTAL	358	29

TOTAL STALLS: 387 STALLS

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

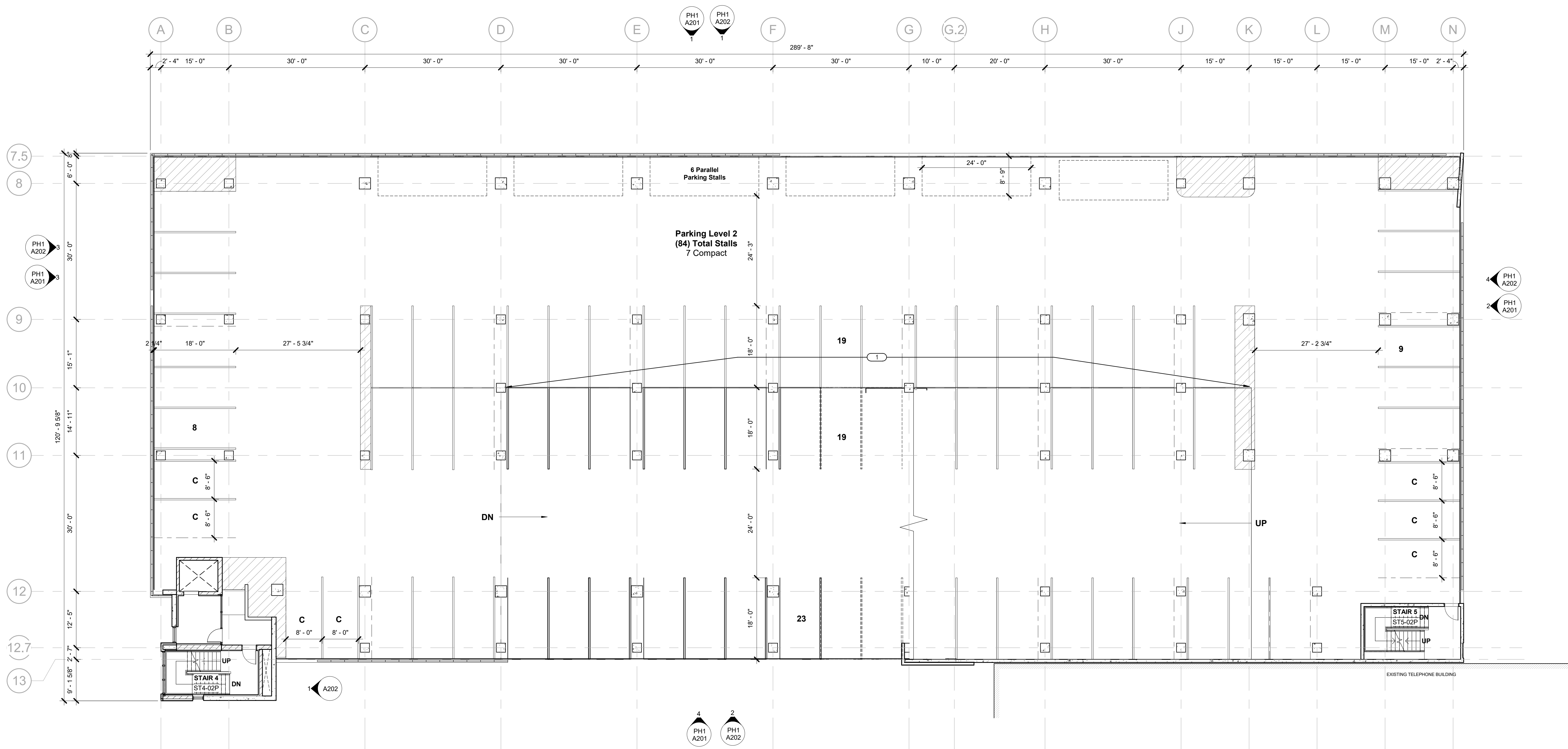
929 E Washington Ave
Madison, Wisconsin

2016.36.04

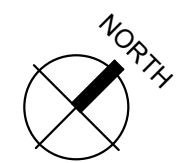
[illegible]

PHASE 1 - PARKING LEVEL 2

PH1 A103



1
PH1
A103



Notes:

KEYNOTES:

CABLE BETWEEN COLUMNS, TYP.

PHASE 1 PARKING COUNT

LEVEL	900	00
PARKING LEVEL 1	55	5
PARKING LEVEL 2	78	6
PARKING LEVEL 3	78	6
PARKING LEVEL 4	77	6
PARKING LEVEL 5	70	6
TOTAL	358	29

TOTAL STALLS: 387 STALLS

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking
Ramp

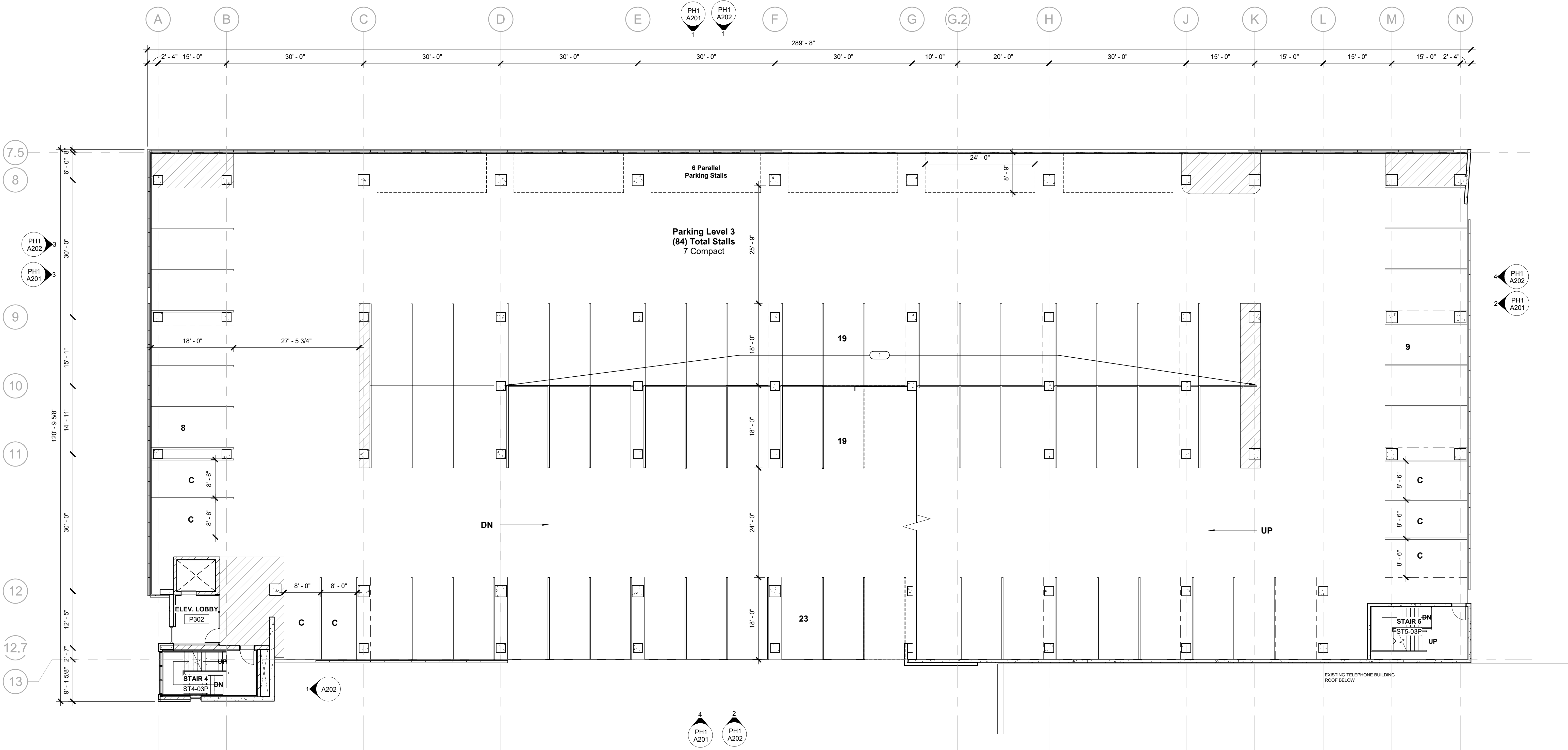
929 E Washington Ave
Madison, Wisconsin

2016.36.04

Date: 09/02/2020 Issuance/Revisions: Symbol: CONDITIONAL USE MINOR ALTERATION

PHASE 1 -
PARKING LEVEL 3

PH1 A104



Notes:

KEYNOTES:

1 CABLE BETWEEN COLUMNS, TYP.

PHASE 1 PARKING COUNT		
<u>LEVEL</u>	<u>90°</u>	<u>0°</u>
PARKING LEVEL 1	55	5
PARKING LEVEL 2	78	6
PARKING LEVEL 3	78	6
PARKING LEVEL 4	77	6
PARKING LEVEL 5	70	6
TOTAL	358	29

TOTAL STALLS: 387 STALLS

PRELIMINARY
NOT FOR CONSTRUCTIONArchipelago - Phase 1 Parking
Ramp

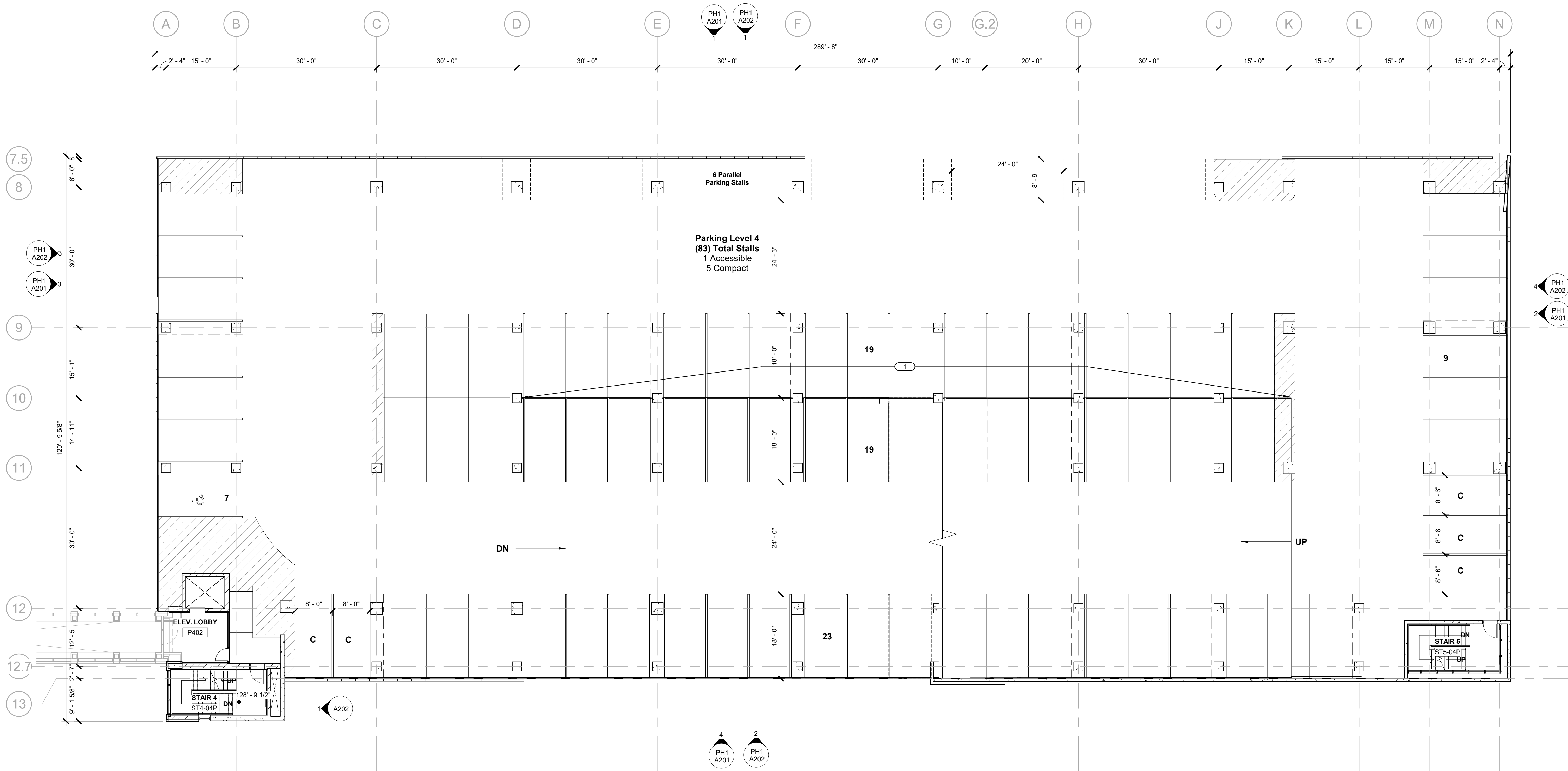
929 E Washington Ave
Madison, Wisconsin

2016.36.04

[illegible]

PHASE 1 - PARKING LEVEL 4

PH1 A105



8/31/2020 10:37:51 AM

Notes:

KEYNOTES:

1 CABLE BETWEEN COLUMNS, TYP.

<u>PHASE 1 PARKING COUNT</u>		
<u>LEVEL</u>	<u>90°</u>	<u>0°</u>
PARKING LEVEL 1	55	5
PARKING LEVEL 2	78	6
PARKING LEVEL 3	78	6
PARKING LEVEL 4	77	6
PARKING LEVEL 5	70	6
TOTAL	358	29

TOTAL STALLS: 387 STALLS

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

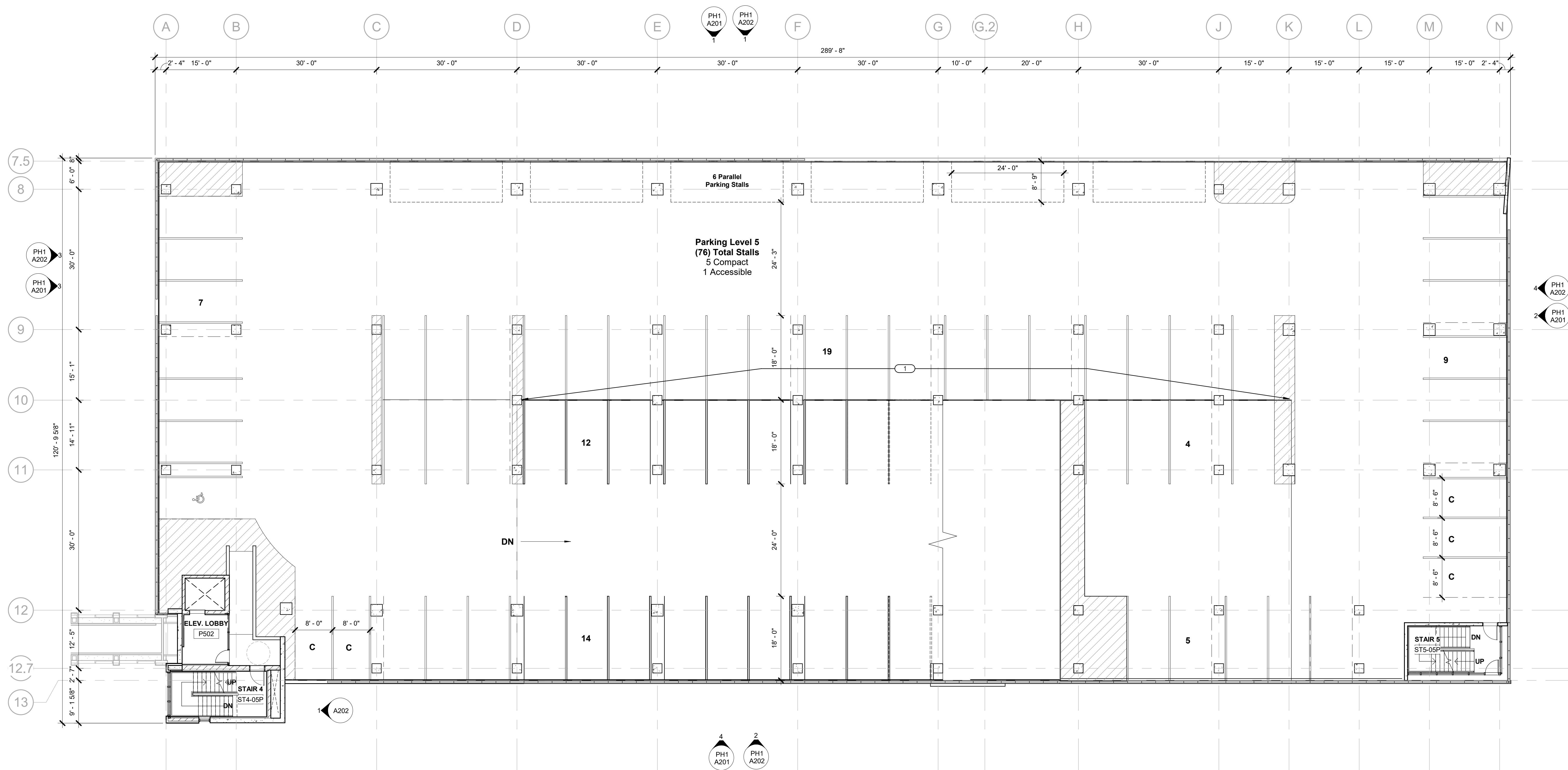
929 E Washington Ave
Madison, Wisconsin

2016.36.04

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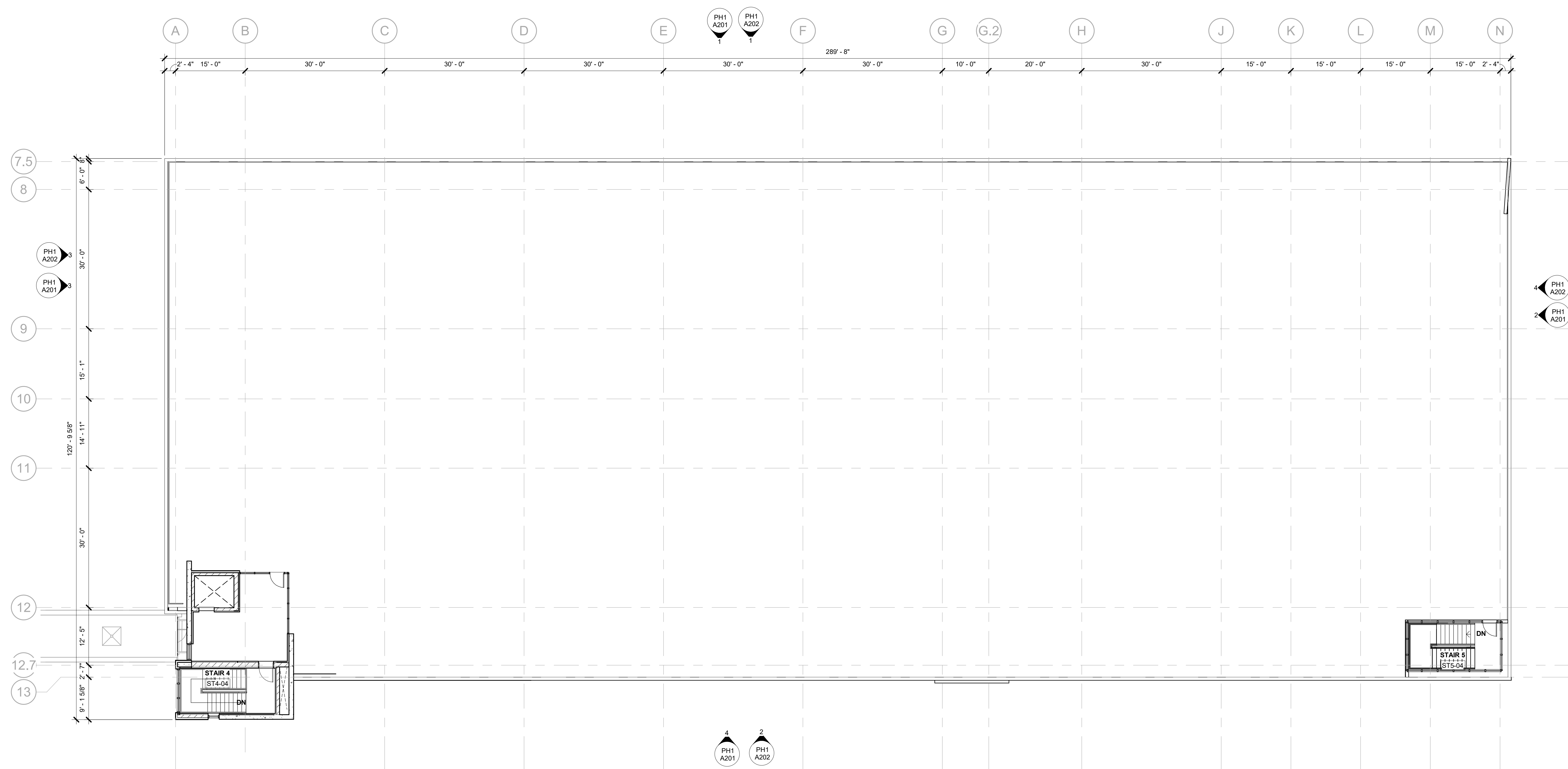
PHASE 1 - PARKING LEVEL 5

PH1 A107



8/31/2020 10:37:53 AM

Notes:



PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking Ramp

929 E Washington Ave
Madison, Wisconsin

2016.36.04

[illegible]

PHASE 1 - PARKING ROOF

PH1 A108

Notes:

ELEVATION KEYNOTES

- 1 CORRUGATED, PERFORATED METAL PANELS. BASIS OF DESIGN: CENTRIA ECOSCREEN. EQUAL PARTS OF EACH - BR5-36, MK3-36, STYLE-RIB. 40% OPEN AREA. STAGGERED PATTERN. 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9967 XL PEWTER, 50% 9962 XL SILVER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
- 2 ARCHITECTURAL PRECAST CONCRETE PANELS
- 3 EXPOSED POST TENSIONED STRUCTURAL SLAB
- 4 CUSTOM CAST STONE BLOCK 8"x16"
- 5 STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 7069 IRON ORE
- 6 STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 7069 IRON ORE
- 7 STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW 7069 IRON ORE
- 8 BLACK ANODIZED ALUMINUM CURTAINWALL
- 9 MURAL WALL
- 10 SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
- 11 MECHANICAL LOUVER - COLOR: SE 7069 IRON ORE
- 12 HOLLOW METAL DOOR - COLOR: SW 7069 IRON ORE
- 13 METAL PANEL - COLOR: LARSON - CLASSIC BLACK
- 14 CMU WALL

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking
Ramp

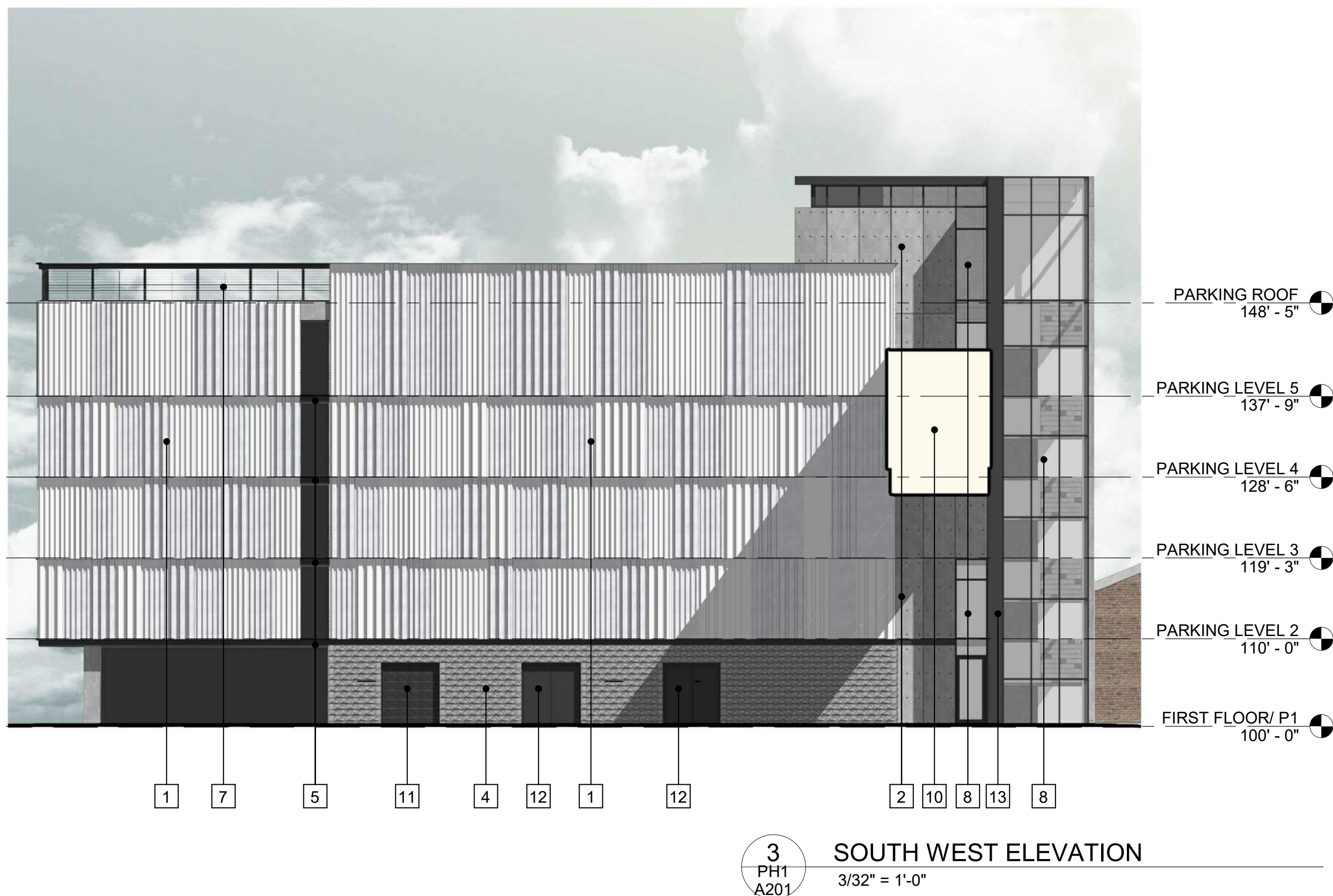
929 E Washington Ave
Madison, Wisconsin

2016.36.04

Date	Issuance/Revisions	Symbol
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

PHASE 1 -
BUILDING
ELEVATIONS

PH1 A201



Notes:

ELEVATION KEYNOTES

- 1 CORRUGATED, PERFORATED METAL PANELS. BASIS OF DESIGN CENTRIA ECOSCREEN. EQUAL PARTS OF EACH - BR5-36, MR3-36, STYLE-RIB. 40% OPEN AREA. STAGGERED PATTERN. 3/8" HOLES @ 9/16" SPACING. (2) PAINT FINISH: 50% 9967 XL PEWTER, 50% 9962 XL SILBER GRAY. DISTRIBUTION OF PANEL LAYOUT IS RANDOM
- 2 ARCHITECTURAL PRECAST CONCRETE PANELS
- 3 EXPOSED POST TENSIONED STRUCTURAL SLAB
- 4 CUSTOM CAST STONE BLOCK 8"X16"
- 5 STEEL ANGLE. GALVANIZED, PRIMED AND PAINTED - SW 7069 IRON ORE
- 6 STEEL CRASH CABLE RAIL/ GUARDRAIL - SW 7069 IRON ORE
- 7 STEEL GUARDRAIL. GALVANIZED, PRIMED AND PAINTED - SW 7069 IRON ORE
- 8 BLACK ANODIZED ALUMINUM CURTAINWALL
- 9 MURAL WALL
- 10 SKYWALK AND SKYWALK SUPPORT NOT IN SCOPE OF PROJECT
- 11 MECHANICAL LOUVER - COLOR: SE 7069 IRON ORE
- 12 HOLLOW METAL DOOR - COLOR: SW 7069 IRON ORE
- 13 METAL PANEL - COLOR: LARSON - CLASSIC BLACK
- 14 CMU WALL

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago - Phase 1 Parking
Ramp

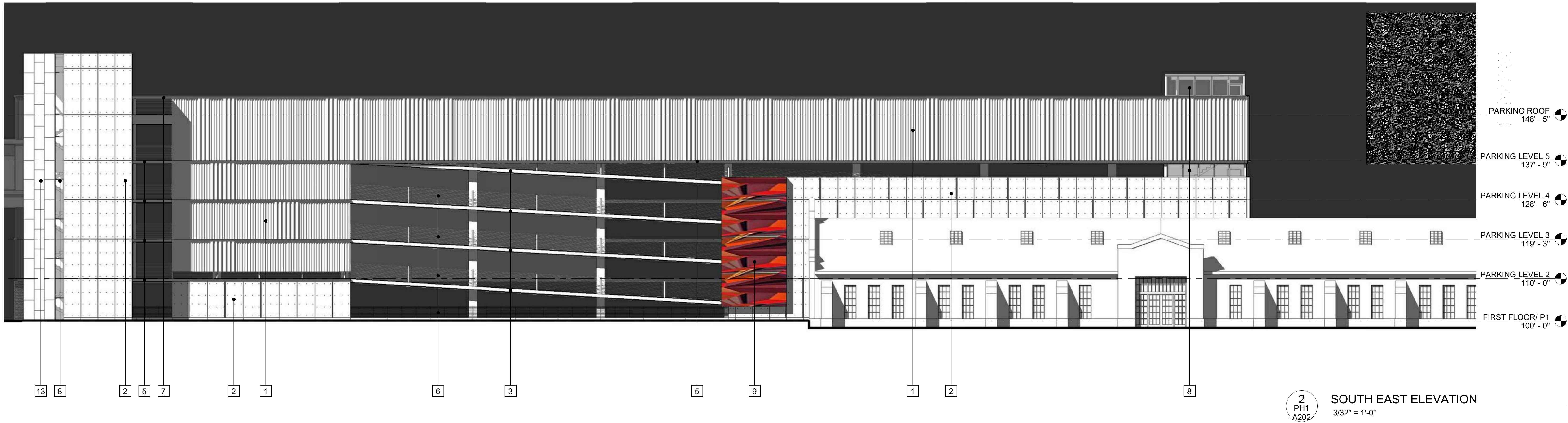
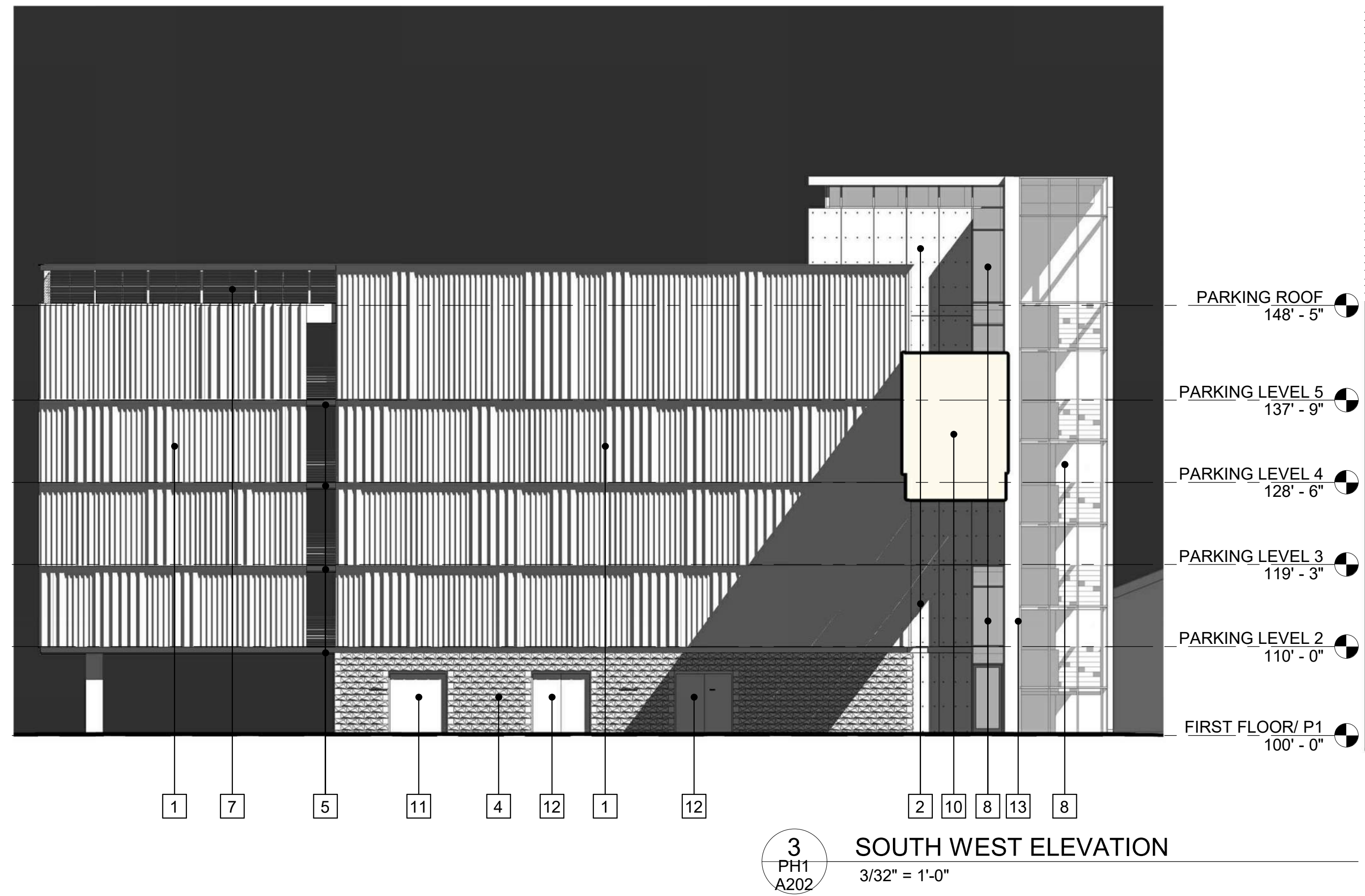
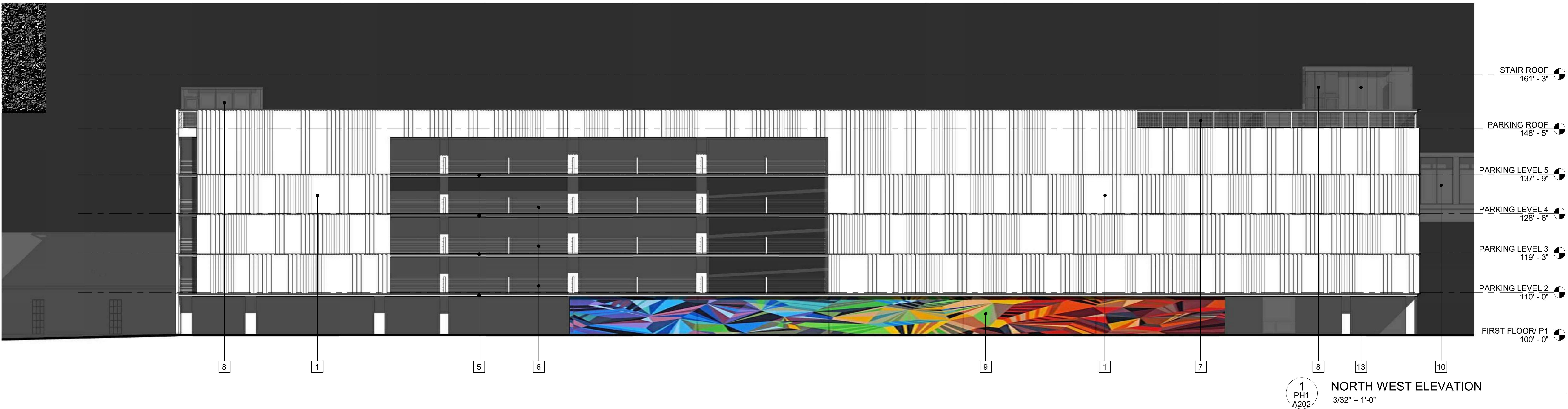
929 E Washington Ave
Madison, Wisconsin

2016.36.04

Date	Issuance/Revisions	Symbol
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

PHASE 1 -
BUILDING
ELEVATIONS

PH1 A202



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

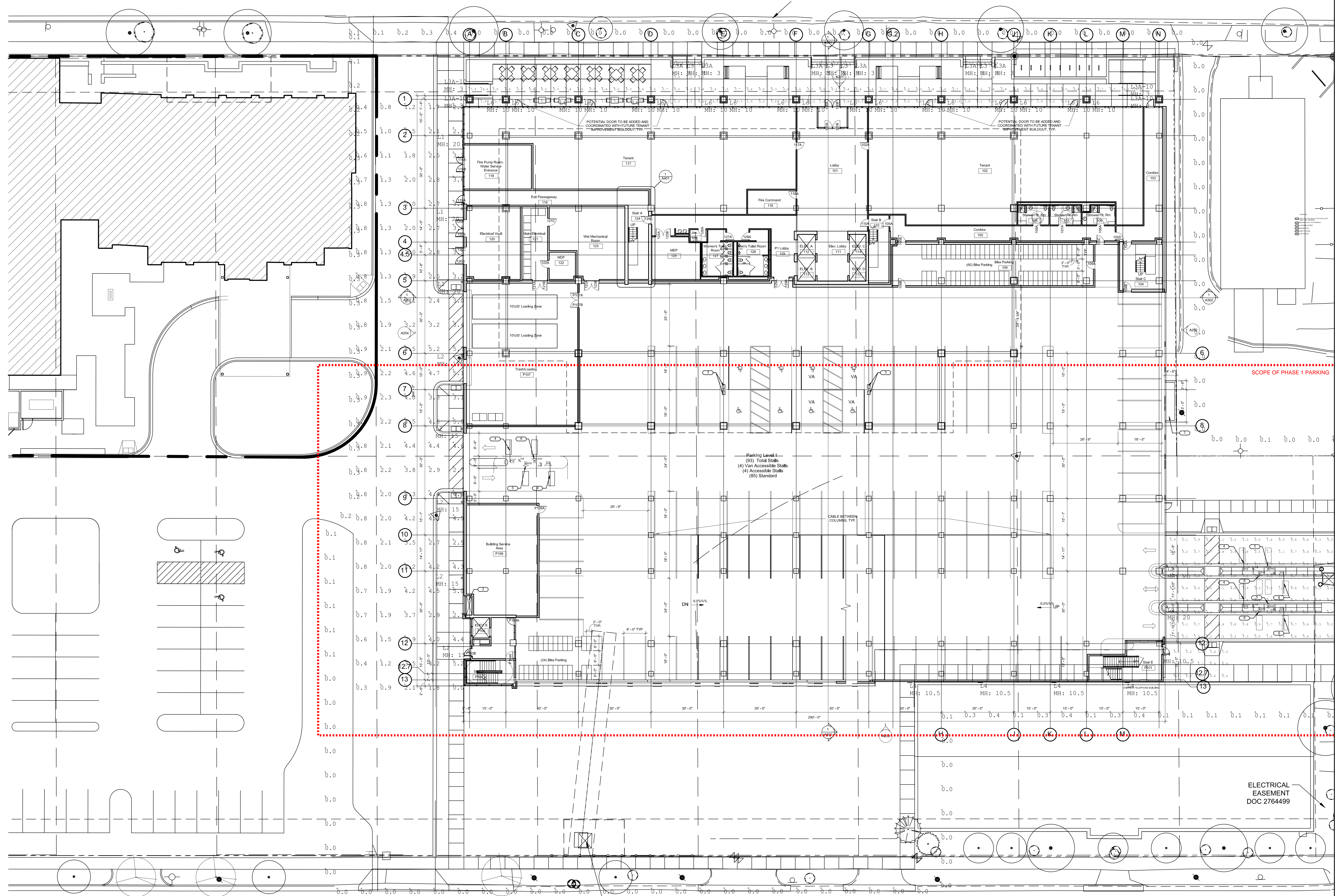
929 E Washington Ave
Madison, Wisconsin

2016.36.02

Date	Issuance/Revisions	Symbol
01/23/2019	MADISON LAND USE APPLICATION	
04/30/2019	REVISED LAND USE SUBMITTAL	
06/19/2019	REVISED LAND USE SUBMITTAL	
05/04/2020	CONDITIONAL USE MINOR ALTERATION	
09/02/2020	CONDITIONAL USE MINOR ALTERATION	

SITE LANDSCAPE
LIGHTING PLAN

LD01



Luminaire Schedule						
Qty	Label	Arrangement	LLF	MFG	Description	Lum. Watts Total Watts Lum. Lumens
3	L1	SINGLE	0.900	WE-EF	683-3527	59 177 5666
7	L2	SINGLE	0.900	WE-EF	683-3427	59 413 6067
4	L3	SINGLE	0.900	COLE	LR5-LED-FROSTED-3000K-INT	9.28 37.12 456
6	L3A	SINGLE	0.900	COLE	LR5-LED-3000K-INT-ASYM	9.28 55.68 321
4	L3A-10	GROUP	0.900	COLE	LR5-LED-3000K-INT-ASYM	N.A. 74.24 N.A.
5	L4	SINGLE	0.900	LUMINAIRE	BLD12-SW 4000K	6.49 32.45 476
18	L6	SINGLE	0.900	LIGHTHEADED	2-116-T-XX-BRO28-30-8014	13.6 244.8 1174

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
10' FROM PROPERTY LINE	Illuminance	Fc	0.07	0.4	0.0	N.A. N.A.
EAST GARAGE ENTRY	Illuminance	Fc	1.85	4.6	0.1	18.50 46.00
SOUTH WALKWAY	Illuminance	Fc	0.00	0.0	0.0	N.A. N.A.
STAIR E EGRESS	Illuminance	Fc	1.19	2.2	0.6	1.98 3.67
WASHINGTON STAIRS	Illuminance	Fc	11.54	16.2	5.8	1.99 2.79
WASHINGTON WALKWAY	Illuminance	Fc	4.68	19.9	0.2	23.40 99.50
WEST DRIVE AND WALKWAY	Illuminance	Fc	2.51	5.7	0.0	N.A. N.A.



Notes:

PRELIMINARY
NOT FOR CONSTRUCTION

Archipelago

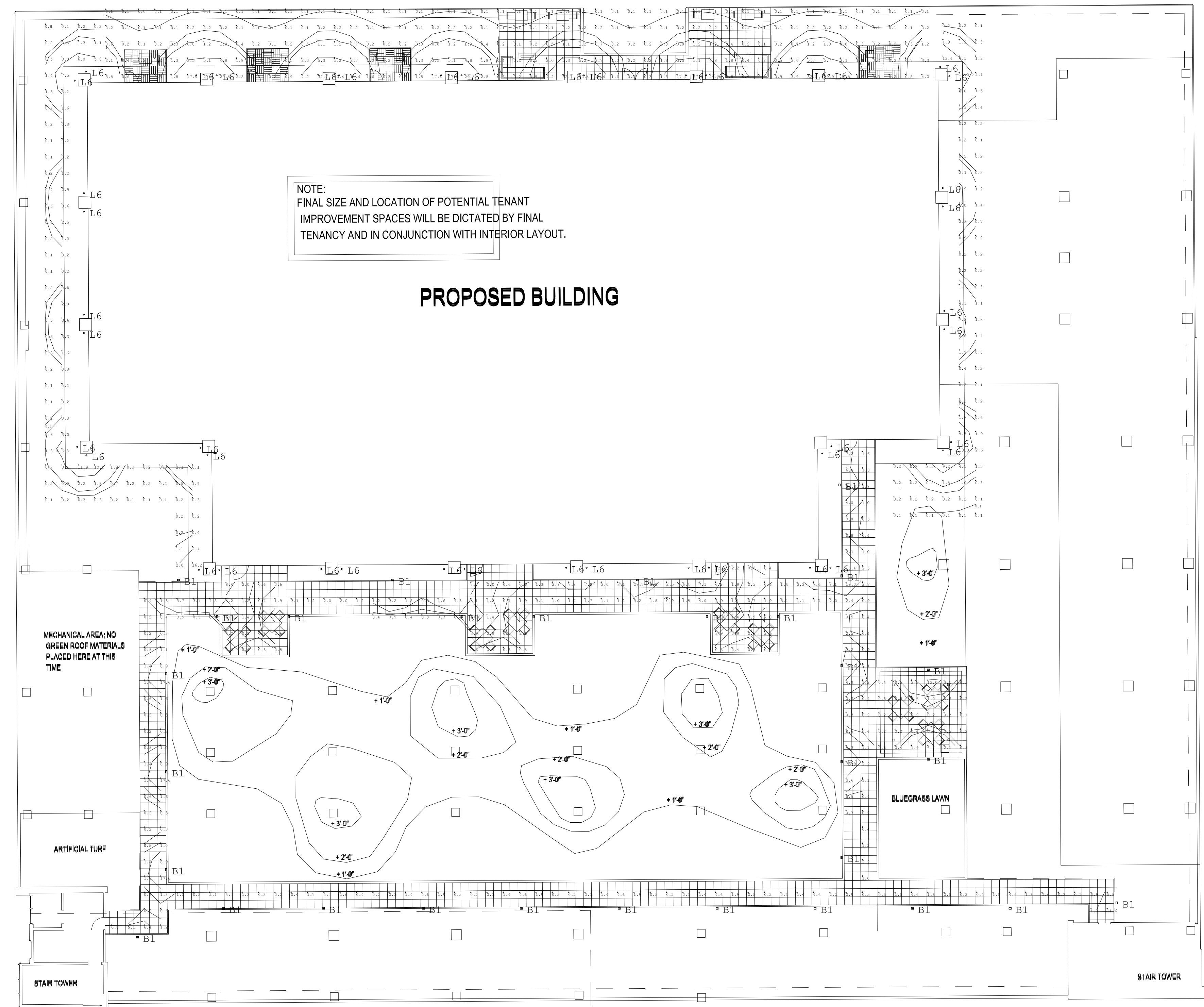
929 E Washington Ave
Madison, Wisconsin

2016.36.02

[illegible]

FOURTH FLOOR LIGHTING PLAN

LD02



929 EAST WASHINGTON EXTERIOR LUMINAIRE SCHEDULE								
QTY	TYPE	DESCRIPTION	CCF	NOMINAL DELIVERED LUMENS	NOMINAL WATTAGE	MFTR	MODEL #	NOTES
30	B1	24" X 6" DIAMETER UNIDIRECTIONAL BOLLARD.	2700	14	767	FC LIGHTING	FCB2690S UNV 24 LD 27K 76S FINISH LD	
3	L1	WALL MOUNTED AREA LIGHT	4000	5 666	59	WE-EF	683-3527	
7	L2	WALL MOUNTED AREA LIGHT	4000	6 067	59	WE-EF	683-3427	
4	L3	HANDRAIL LIGHT	3000	456/FT	9W/FT	COLE	LRSP-LED-AL-INT-ME-FL	
6	L3A	HANDRAIL LIGHT	3000	321/FT	9W/FT	COLE	LRSP-LED-AL-INT-ME-FL-ASYM/30	
4	L3A-10	HANDRAIL LIGHT	3000	321/FT	9W/FT	COLE	LRSP-LED-AL-INT-ME-FL-ASYM/30	
5	L4	WALL MOUNTED AREA LIGHT	3500	461	5	LUMINAIRE	BLD-12IN-NODIM-DCT-SW-561-3K-MVOLT-DP-FINISH	
62	L6	EXTERIOR DOWNLIGHT	3000	1,174	14	LIGHTHEADED	2-116-T-X-BRO-28-30-8014/ HOUSING	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Perimeter	Illuminance	Fc	1.52	16.2	0.1	15.20	162.00
Building Perimeter_1	Fc	Fc	1.97	18.0	0.1	19.70	180.00
Patios	Illuminance	Fc	2.53	32.7	0.0	N.A.	N.A.
Roof Exterior Path	Illuminance	Fc	2.72	33.9	0.1	27.20	339.00

