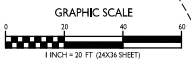


**SITE PLAN**  
 1" = 20'-0"



**SHEET INDEX**

C-1.1	SITE PLAN
C-1.2	SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
I OF I	EXISTING CONDITIONS
C-1.6	DEMOLITION PLAN
C-1.7	SITE PLAN
C-2.1	SITE PLAN - DIMENSIONED
C-2.2	GRADING & EROSION CONTROL PLAN
C-2.3	DETAILED GRADING PLAN
C-2.4	UTILITY PLAN
C-2.5	SITE CONSTRUCTION DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	2ND FLOOR PLAZA LANDSCAPE PLAN
L-1.2	LANDSCAPE DETAILS & NOTES
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	FIFTH FLOOR PLAN
A-1.6	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS
A-2.3	COLOR ELEVATIONS
A-2.4	COLOR ELEVATIONS
R-1.0	RENDERINGS

- GENERAL NOTES**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ADJUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DECEIBABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  - ALL DAMAGE TO THE PAVEMENT ON CITY STREETS AND ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.

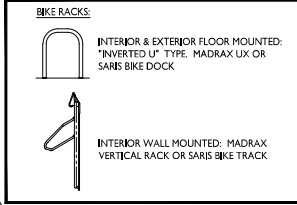


**SITE LOCATOR MAP**

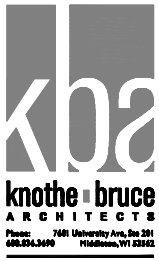
**SITE DEVELOPMENT DATA:**

**ZONING: CO-T COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT**

	PROVIDED	REQUIRED
<b>DENSITIES</b>		
LOT AREA	20,303 S.F./5.9 ACRES	62 UNITS
DWELLING UNITS	48.3 S.F./UNIT	105 UNITS/ACRE
LOT AREA / D.U.	421 S.F./UNIT	
DENSITY	105 UNITS/ACRE	
<b>FRONT YARD SETBACK</b>	10' MIN.	5' MIN.
<b>SIDE YARD SETBACK</b>	6.678.25'	6' MIN.
<b>REAR YARD SETBACK</b>	20' MIN.	20' MIN.
<b>LOT COVERAGE</b>	19,051 S.F. (74%)	12,847 S.F. (85% MAX.)
<b>USABLE OPEN SPACE</b>	12,276 S.F.	12,160 S.F.
<b>BUILDING HEIGHT</b>	4.5 STORIES/48'-0"	5 STORIES/60'
<b>GROSS FLOOR AREAS</b>		
RESIDENTIAL	60,642 S.F.	
COMMERCIAL	4,962 S.F.	
PARKING	31,288 S.F.	
TOTAL	96,892 S.F.	
<b>FLOOR AREA RATIO</b>	3.73	
<b>DWELLING UNIT MIX:</b>		
STUDIO	12	
ONE BED	36	
TWO BED	14	
TOTAL	62 UNITS	
<b>VEHICLE PARKING:</b>		
ENCLOSED/INDISPENT SURFACE	69	
TOTAL	78 VEHICLE STALLS	
<b>PARKING RATIO</b>	1.26 STALLS/UNIT	
<b>BIKE PARKING:</b>		
BIKE-WALL	14	
GARAGE - FLOOR	46	
TOTAL COVERED/SECURE	62	62 RESIDENTIAL
SURFACE COMMERCIAL	4	7 (8.0% OF UNITS)
SURFACE-GUEST	6	6 (8.0% OF UNITS)
TOTAL	72 PROVIDED	78 THIN REQUIRED



- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (264-8184) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: <https://www.cityofmadison.com/business/specs/cfm/>
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISBURSE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THEY MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 264-8184. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(1)(g) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF PNEUMATIC MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- APPROVAL OF PLANS FOR THE PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (264-8184).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



ISSUED  
 Issued for Land Use & UDC - Sept. 16, 2020

**PROJECT TITLE**  
**PARK STREET DEVELOPMENT**

**1224 S. Park Street**  
**Madison, Wisconsin**  
**SHEET TITLE**  
**Site Plan**

SHEET NUMBER

**C-1.1**

PROJECT NO. **2031**  
 © Knothe & Bruce Architects, LLC

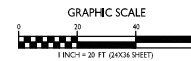
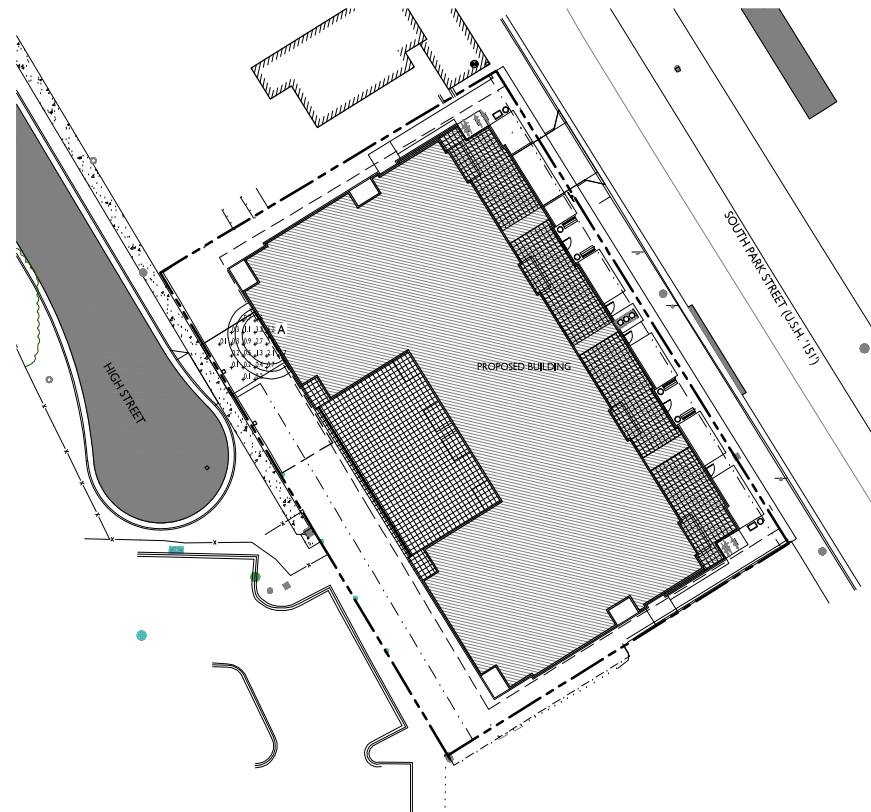
STATISTICS							
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.	
Underground Parking Entrance Lighting	+	1.3 fc	5.2 fc	0.1 fc	52.0:1	13.0:1	

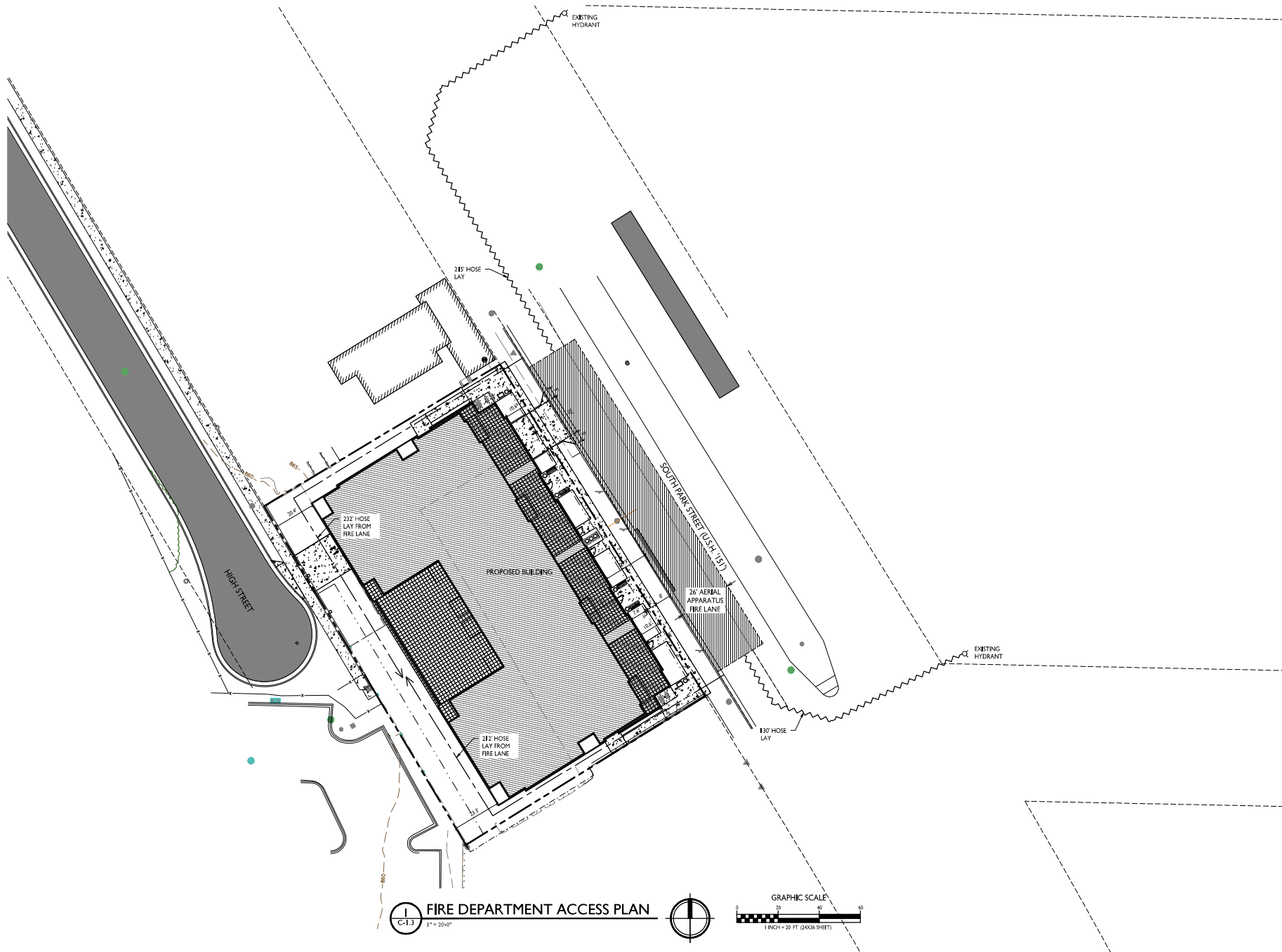
  

LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
+	A	1	LITHONIA LIGHTING	LIL LED 30K MVOLT	LIL WALLPACK (STANDARD)	LIL_LED_30K_MVOLT.lis	8'-0" ABOVE GRADE ON BUILDING

**EXAMPLE LIGHT FIXTURE DISTRIBUTION**





ISSUED  
 Issued for Land Use & UDC- September 16, 2020

PROJECT TITLE  
**PARK STREET  
 DEVELOPMENT**

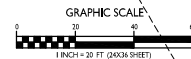
1224 S. Park Street  
 Madison, Wisconsin  
 SHEET TITLE  
**Fire Department  
 Access Plan**

SHEET NUMBER

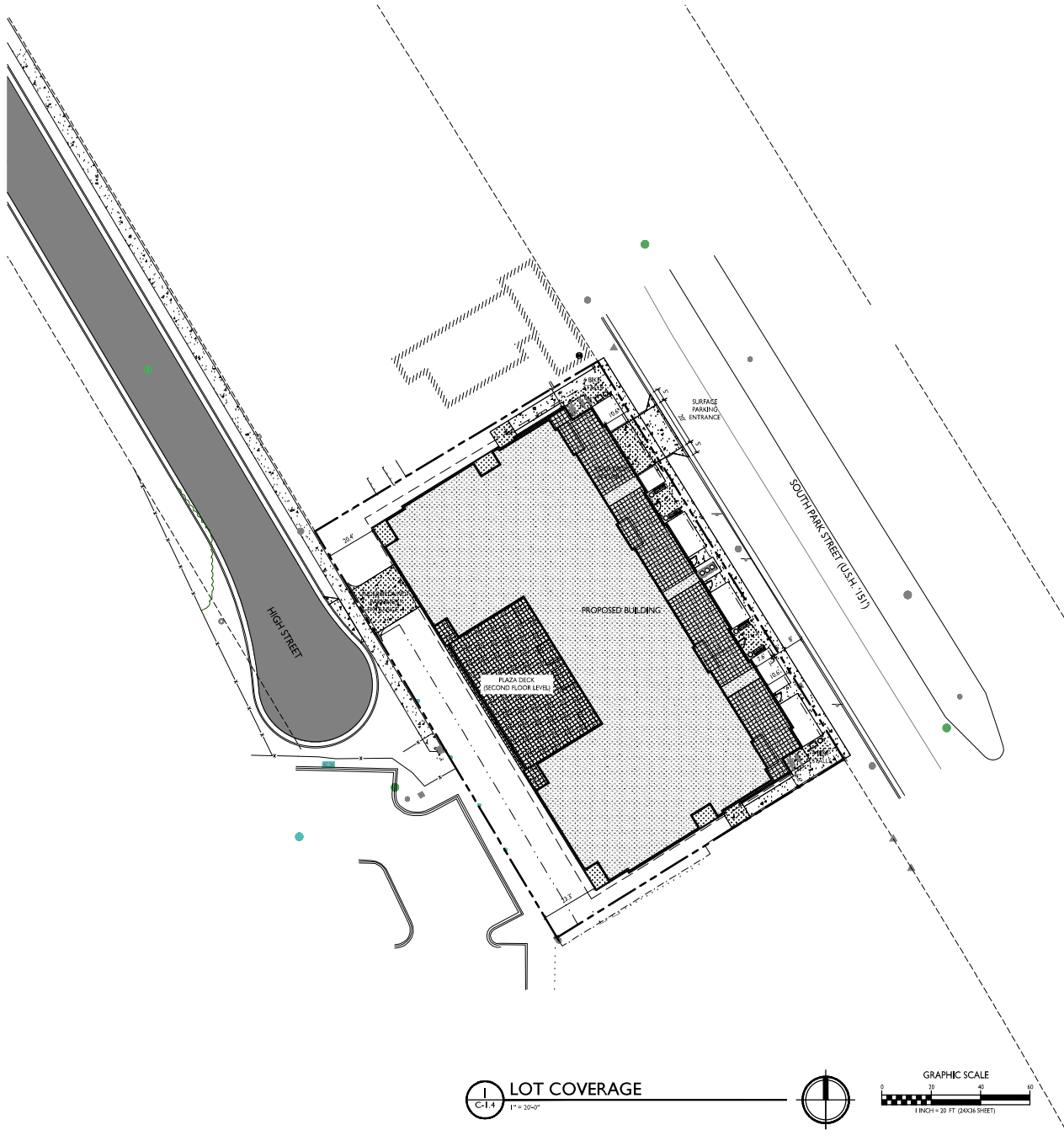
**C-1.3**

PROJECT NO. **2031**  
 © Knothe & Bruce Architects, LLC

**FIRE DEPARTMENT ACCESS PLAN**  
 C-1.3 1" = 20'-0"



LOT COVERAGE	
ZONING: CC-T / COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT	
TOTAL LOT AREA	25,703 S.F.
MAX. ALLOWED	21,847 S.F. (85%)
PROPOSED LOT COVERAGE	19,051 S.F. (74%)



ISSUED  
 Issued for Land Use & UDC- September 16, 2020

PROJECT TITLE  
**PARK STREET  
 DEVELOPMENT**

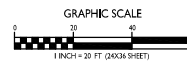
1224 S. Park Street  
 Madison, Wisconsin  
 SHEET TITLE  
**Lot Coverage**

SHEET NUMBER

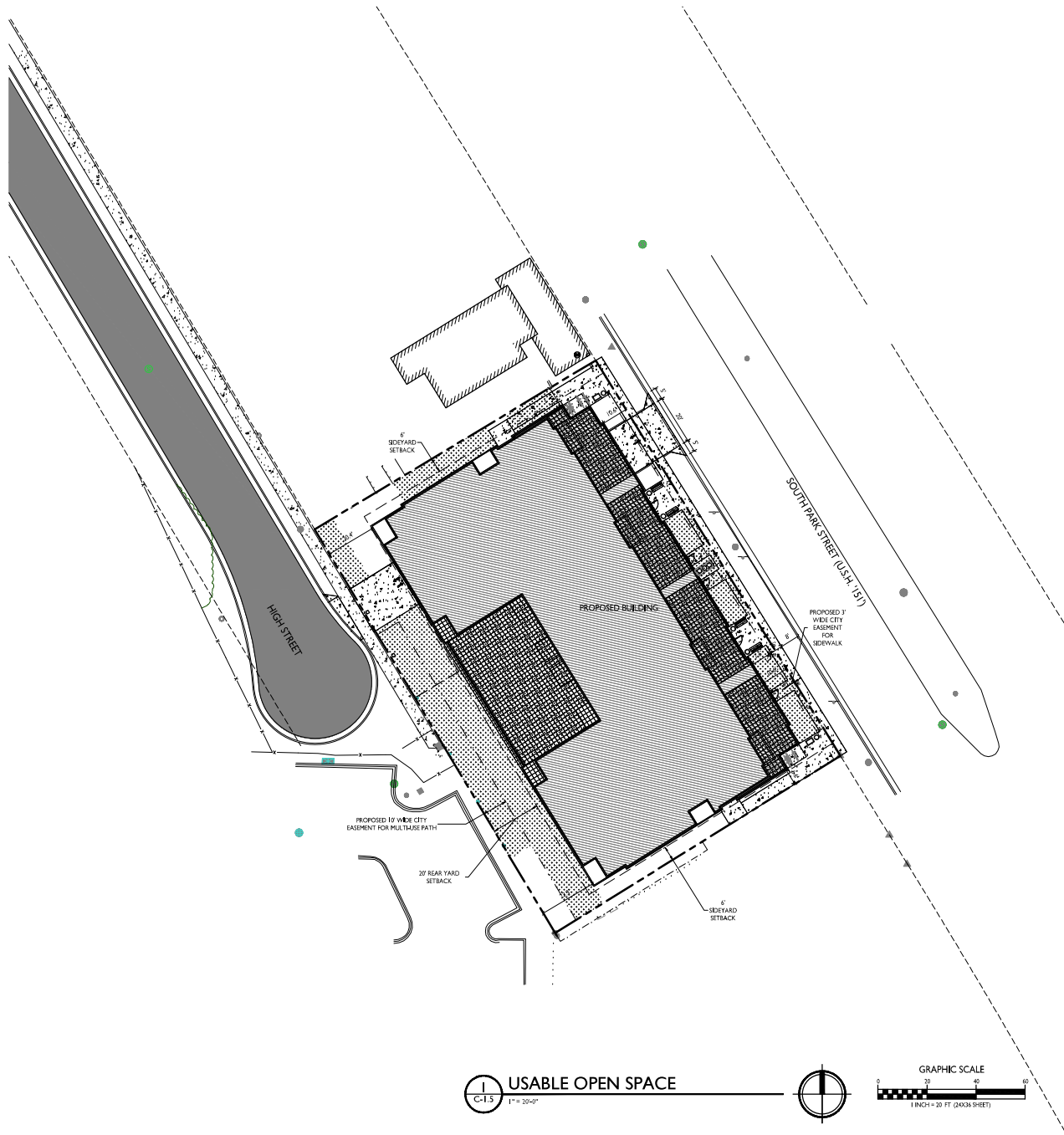
**C-1.4**

PROJECT NO. **2031**  
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**LOT COVERAGE**  
 C-1.4 1" = 20'-0"







USABLE OPEN SPACE		
ZONING: CC-T-COMMERCIAL CORRIDOR TRANSITIONAL DISTRICT		
OPEN SPACE REQUIREMENT	160 S.F./LODGING RM OR 1 BED UNIT	320 S.F. FOR > 1 BED UNIT
DWELLING UNITS		
ONE BED	48 (160 S.F.)	7,680 S.F.
>ONE BED	14 (320 S.F.)	4,480 S.F.
	62	12,160 S.F. REQUIRED
OPEN SPACE PROVIDED		
ROOF DECKS, PORCHES, BALCONIES		7,617 S.F.
NON-REQUIRED FRONT YARD		983 S.F.
SURFACE		3,676 S.F.
TOTAL		12,276 S.F. PROVIDED



ISSUED  
Based for Land Use & UDC- September 16, 2020

PROJECT TITLE  
**PARK STREET  
DEVELOPMENT**

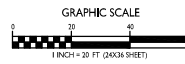
1224 S. Park Street  
Madison, Wisconsin  
SHEET TITLE  
**Usable Open  
Space**

SHEET NUMBER

**C-1.5**

PROJECT NO. **2031**  
© Knothe + Bruce Architects, LLC

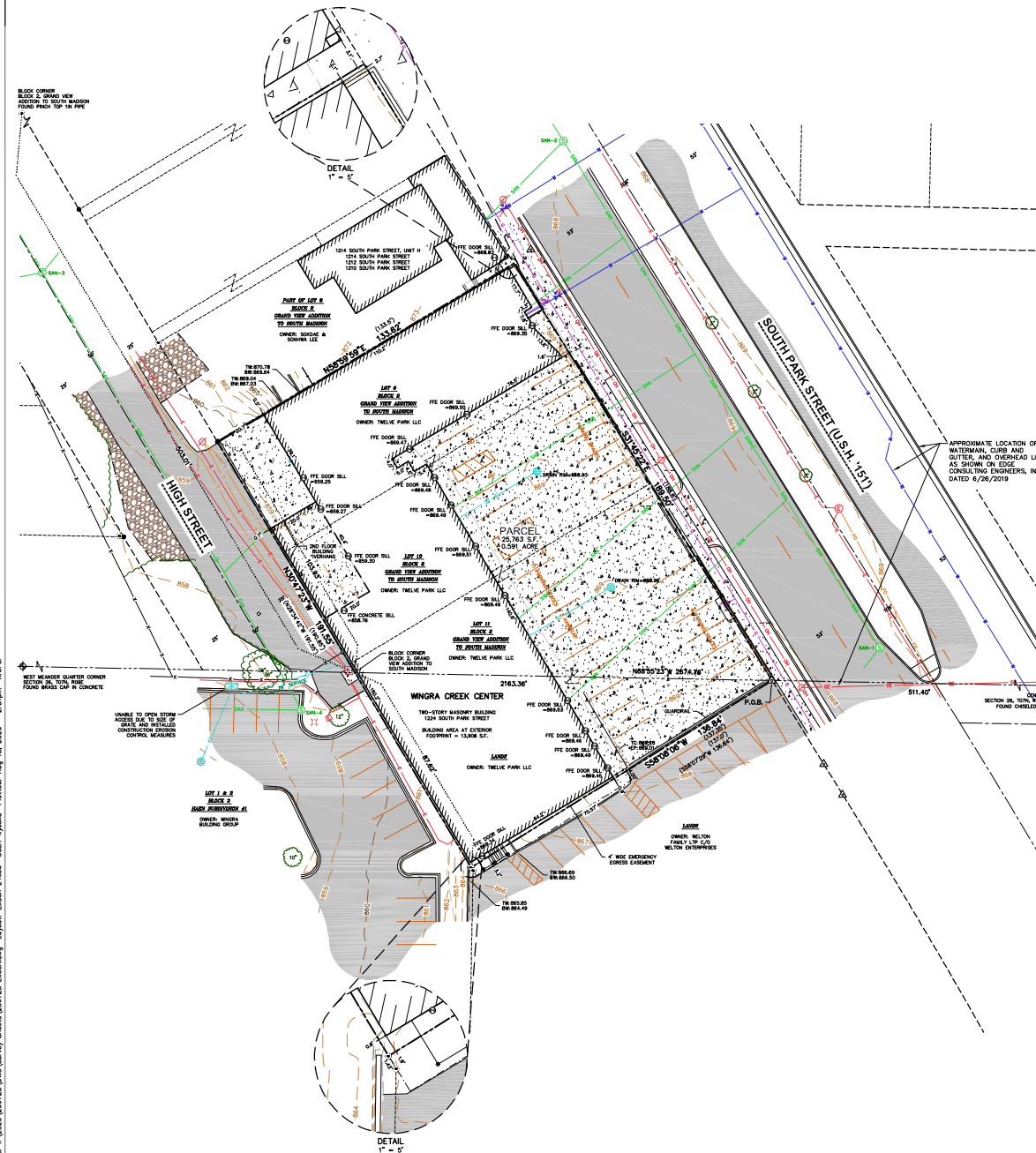
**USABLE OPEN SPACE**  
C-1.5 1" = 20'-0"



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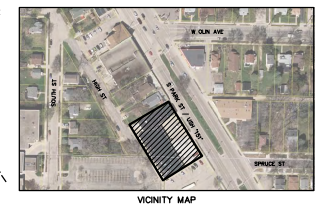
### EXISTING CONDITIONS SURVEY

LOTS 9, 10 AND 11 OF GRAND VIEW ADDITION TO SOUTH MADISON, BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND A PART NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.



- LEGEND**
- GOVERNMENT CORNER
  - 1" IRON PIPE FOUND
  - PK/M&M NAIL FOUND
  - 3" REBAR FOUND
  - CONTROL POINT
  - BENCHMARK
  - FINISHED FLOOR SHOT LOCATION
  - BOLLARD
  - SION
  - SANITARY MANHOLE
  - WATERMAN OR GASMAN VALVE
  - ROUND CASTED INLET
  - STORM SEWER ACCESS
  - DOWNPOUT
  - GAS REGULATOR/METER
  - ELECTRIC MANHOLE
  - ELECTRIC METER
  - ELECTRIC TRANSFORMER
  - LIGHT POLE
  - POWER POLE W/DVY
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - HANDICAP PARKING
  - CENTERLINE
  - RIGHT-OF-WAY LINE
  - SECTION LINE
  - PARCEL BOUNDARY
  - PLATTED LOT LINE
  - EASEMENT LINE
  - FENCE LINE
  - GUARD OR SAFETY RAIL
  - EDGE OF PAVEMENT
  - EDGE OF GRAVEL
  - CONCRETE CURB & GUTTER
  - SANITARY SEWER
  - WATER LINE
  - STORM SEWER
  - NATURAL GAS
  - OVERHEAD LINE
  - UNDERGROUND ELECTRIC
  - FIBER OPTIC
  - UNDERGROUND TELEPHONE
  - EDGE OF WOODS OR BRUSH
  - BUILDING
  - WALL LINE
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - SPOT ELEVATION
  - BITUMINOUS PAVEMENT
  - CONCRETE PAVEMENT
  - GRAVEL
  - EDGE OF BITUMINOUS PAVEMENT STRIPING
  - END OF FLAGGED UTILITIES
  - Denotes RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

SANITARY SEWER MANHOLES						
STRUCT. ID	RM ELEVATION	INVERT	ELEVATION/PIPE SIZE	PIPE	PIPE TYPE	
SAN-1	868.92	W	867.06 6"	VSP		
		N	860.50 12"	VSP		
		W	860.89 6"	VSP		
SAN-2	868.07	CH	859.92 --	VSP		
		N	859.83 12"	VSP		
		CH	854.13 --	VSP		
SAN-3	860.77	NE	854.49 6"	VSP		
		NW	854.51 6"	VSP		
		S	854.16 8"	VSP		
		N	852.17 6"	VSP		
SAN-4	858.86	E	852.26 6"	VSP		
		S	852.41 6"	VSP		
		W	852.16 6"	VSP		



- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 25 AND JUNE 29, 2020.
  - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE ZONE, THE NORTH LINE OF THE SOUTHWEST QUARTER BEARS AS N88°50'23"N.
  - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8S). BENCHMARK IS A BRASS CAP MONUMENT MARKING THE CENTER MEASURER CORNER OF SECTION 26, T07N, R09E, ELEVATION = 866.19'
  - CONTOUR INTERVAL IS ONE FOOT.
  - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE LOCATE TICKET NO. 20202526202, 20202526222 AND 20202526225, WITH A CLEAR DATE OF JUNE 29, 2020, AND DIGGERS' HOTLINE MAPPING TICKET NO. 20202526206, 20202526272 AND 20202526232, WITH A CLEAR DATE OF JUNE 29, 2020.
  - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: CITY OF MADISON; MADISON GAS & ELECTRIC; DEAN MEDICAL CENTER; CHARTER COMMUNICATIONS; AT&T; CENTERLINE.
  - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
  - THIS PARCEL IS ZONED COMMERCIAL CORRIDOR-TRANSITIONAL DISTRICT PER THE CITY OF MADISON ZONING MAP DATED DECEMBER 2005.
  - ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MADISON. NO RECORDS WERE PROVIDED; THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH DIGITAL INFORMATION FROM CITY ONLINE GIS MAPPING.
  - ONSITE INLET COVERS WERE NOT ABLE TO BE OPENED AND GRATE TO NARROW TO MEASURE INVERT OF DRAIN.
  - SANITARY AND WATERMAN LATERAL SIZES UNKNOWN AS THERE ARE NO AS-BUILT RECORDS.

**SURVEYOR'S CERTIFICATE**

I, TODD J. BUHR, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2614, HEREBY CERTIFY THAT UNDER THE DIRECTION OF PRIME URBAN PROPERTIES, THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

TODD J. BUHR, S-2614  
PROFESSIONAL LAND SURVEYOR

DATE \_\_\_\_\_



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE  
10 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
P. 608.848.5060

CLIENT  
**PRIME URBAN PROPERTIES**

CLIENT ADDRESS:  
**1922 ATWOOD AVENUE  
MADISON, WI 53704**

PROJECT:  
**1224 S. PARK STREET**

PROJECT LOCATION:  
**CITY OF MADISON, WI  
DANCE COUNTY**

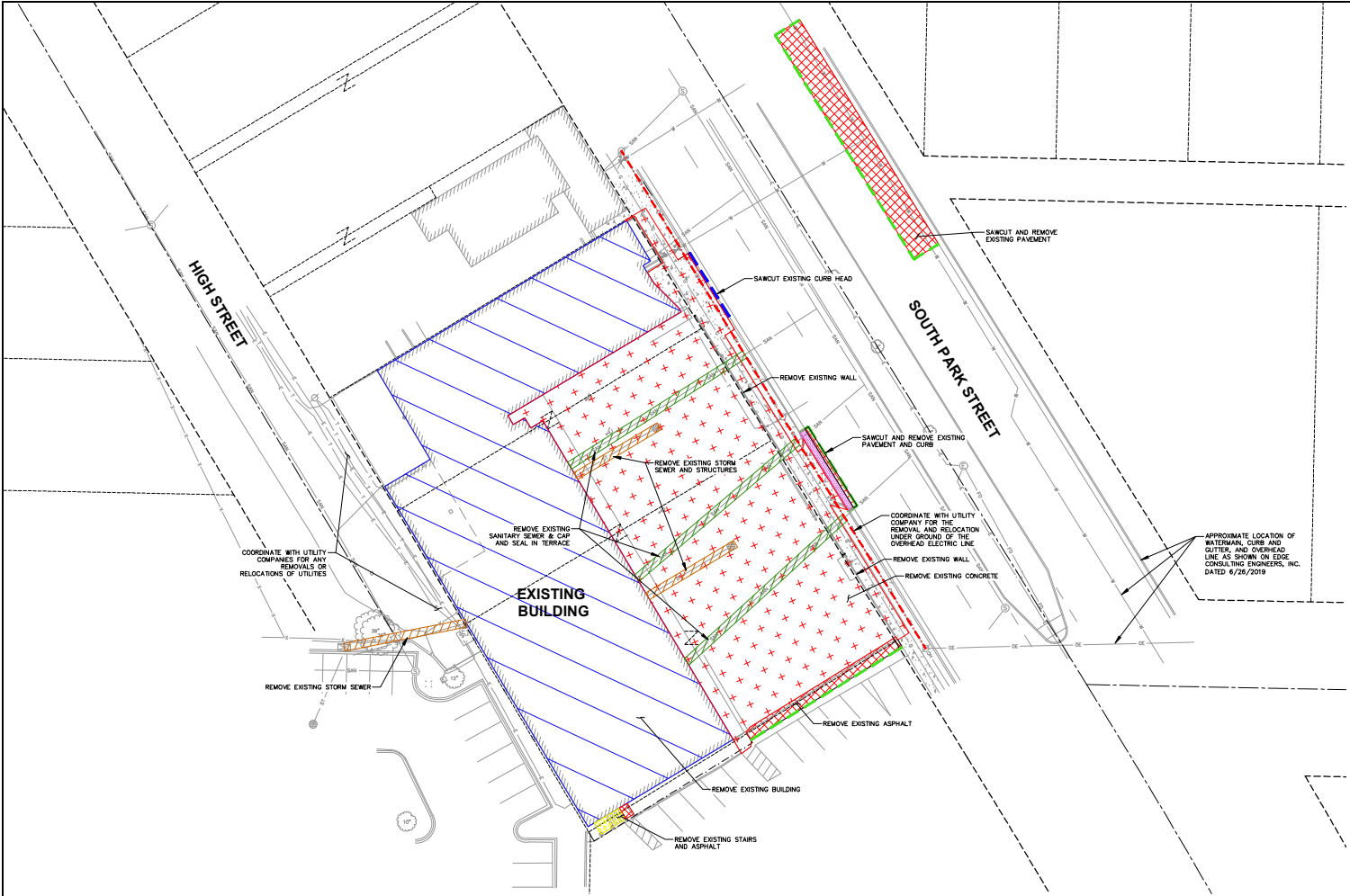
Design/Drawn: CJD 07/01/20  
Approved: TJB 07/01/20

SHEET TITLE:  
**EXISTING CONDITIONS SURVEY**

SHEET NUMBER:  
**1 OF 1**

JSD PROJECT NO: 2047238

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**LEGEND**

---	PROPERTY LINE
----	RIGHT-OF-WAY
-.-.-	EASEMENT LINE
---	SAWCUT ASPHALT AND CURB
---	REMOVAL OF OVERHEAD ELECTRIC
---	SAWCUT CURB HEAD
---	REMOVE EXISTING BUILDING
---	REMOVE EXISTING CONCRETE
---	REMOVE EXISTING ASPHALT
---	REMOVE EXISTING CURB AND GUTTER
---	REMOVE EXISTING STAIRS
---	REMOVE EXISTING SANITARY SEWER
---	REMOVE EXISTING STORM SEWER

**CREATE THE VISION TELL THE STORY**

MADISON | MILWAUKEE | WAUSAU  
 APPLETON | KENOSHA | CHICAGO  
 CROSSVILLE

MADISON REGIONAL OFFICE  
 161 HOSKINA DRIVE, SUITE 301  
 VERONA, WISCONSIN 53593  
 P. 608.848.6560

CLIENT:  
**PRIME URBAN PROPERTIES, LLC**

CLIENT ADDRESS:  
 1952 ATWOOD AVENUE  
 MADISON, WI 53704

PROJECT:  
 1224 SOUTH PARK STREET

PROJECT LOCATION:  
 MADISON, WI  
 DANE COUNTY

**PLAN MODIFICATIONS**

#	Date	Description
1	07.23.20	DAT PRESENTATION
2	08.19.20	UDC INFORMATIONAL
3	09.16.20	LAND USE - UDC SUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MBS  
 Approved:

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C1.0**

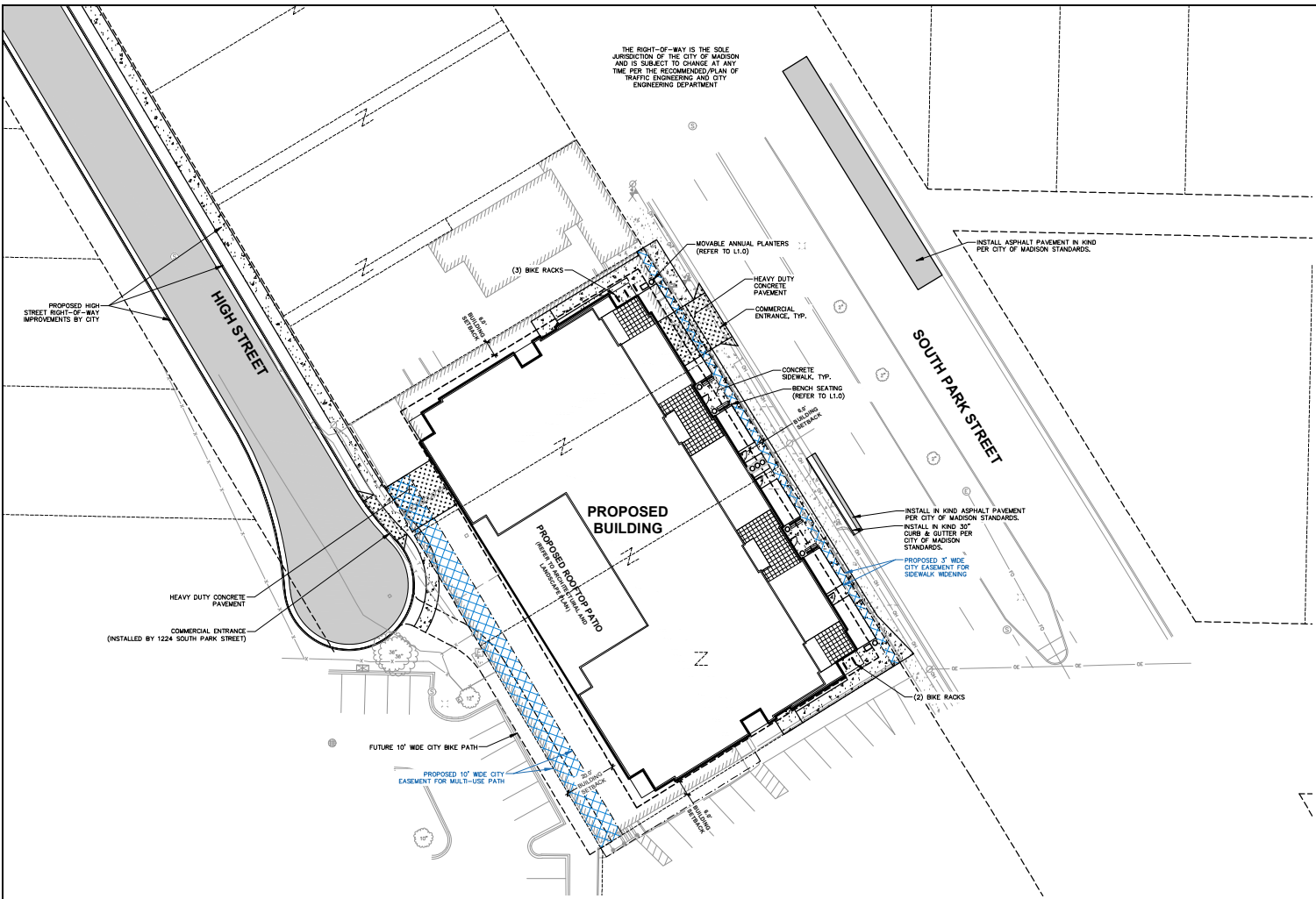
Toll Free (800) 242-8511  
 JSD PROJECT NO: 20-0723

**DEMOLITION NOTES**

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOLE" LOCATION, AND GENERAL "STANDARD OF CARE" THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/OWNER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/OWNER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GRIND TO PROPOSED SUBGRADE.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOLS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOLS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.



**NEEDS & OUTLINE**  
 Toll Free (800) 242-8511



**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- 8" CONCRETE RIBBON CURB
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- BIKE RACK

**SITE INFORMATION BLOCK**

SITE ADDRESS	1224 PARK STREET
PROPERTY ACREAGE	0.591 ACRES
NUMBER OF BUILDING STORIES	5
TOTAL BUILDING SQUARE FOOTAGE	180
GROSS BUILDING SQUARE FOOTAGE	180
NUMBER OF PARKING STALLS SURFACE	0
UNDERGROUND	
LARGE	180
ACCESSIBLE	180
TOTAL UNDERGROUND	180
NUMBER OF EXTERIOR BICYCLE STALLS	6 (3 RACKS)
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	35,431 SF
EXISTING PERVIOUS SURFACE AREA	342 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.99
PROPOSED IMPERVIOUS SURFACE AREA	19,823 SF
PROPOSED PERVIOUS SURFACE AREA	5,940 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.77

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VERONA, WISCONSIN 53593  
P. 608.848.8980

CLIENT:  
**PRIME URBAN PROPERTIES, LLC**

CLIENT ADDRESS:  
1952 ATWOOD AVENUE  
MADISON, WI 53704

PROJECT:  
1224 SOUTH PARK STREET

PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	07.23.20	DAT PRESENTATION
2	08.19.20	ISSUE INFORMATIONAL
3	09.16.20	LAND USE - IUCS SUBMITTAL
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Design/Drawn: **MSB**  
Approved:

**SHEET TITLE:**  
SITE PLAN

**SHEET NUMBER:**  
**C2.0**

Toll Free (800) 242-8511

20-0723

**PAVING NOTES**

1. GENERAL
  - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY PRIME DATED 04/16/2020."
  - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
  - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
  - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 460, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 30° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).
  - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
- 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. CONCRETE PAVING SPECIFICATIONS
  - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS./CUBIC YARD.
  - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
  - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE 1K-260V CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
  - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
  - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.



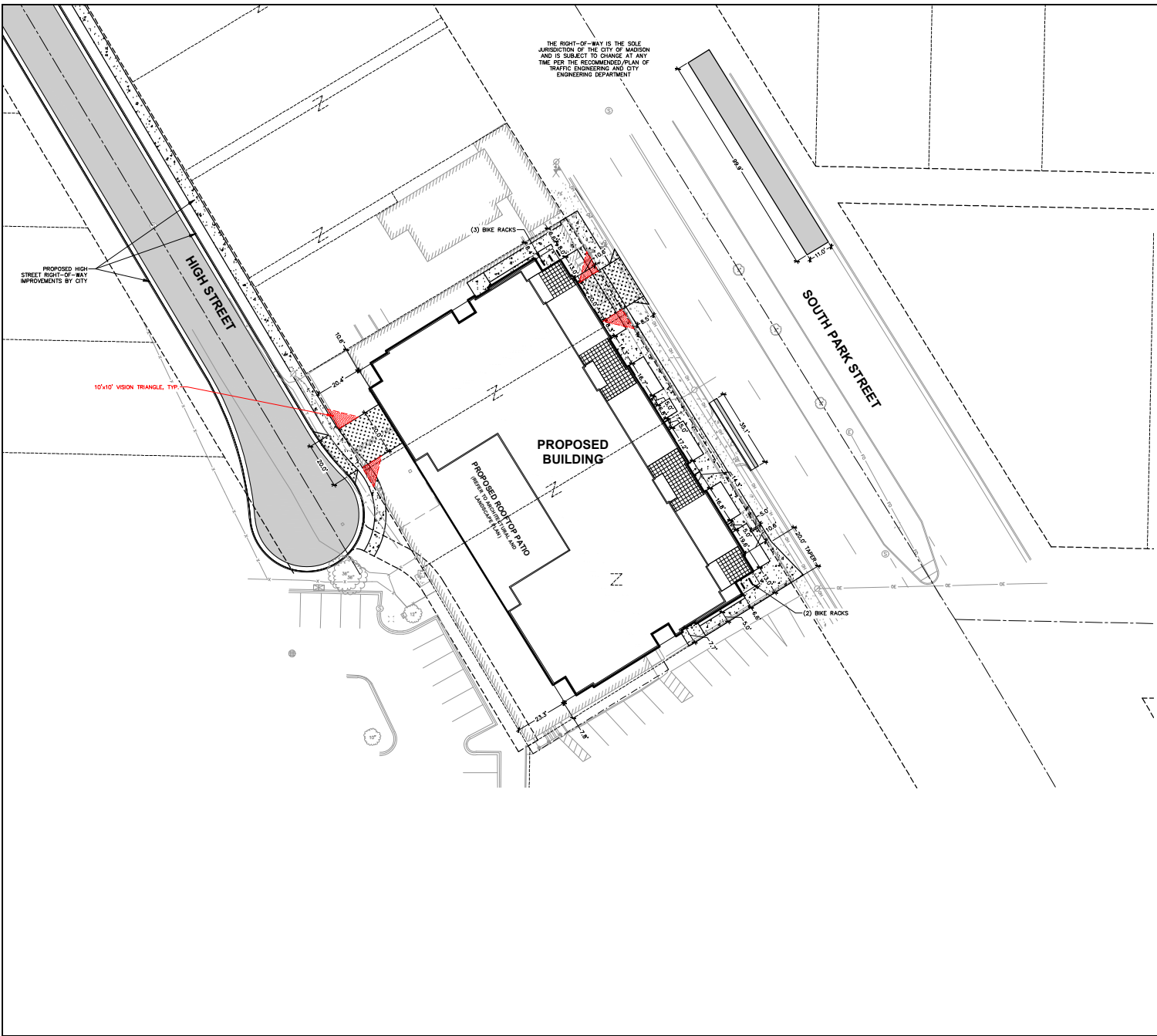
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THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGES AT ANY TIME FOR THE RECOMMENDED PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

**LEGEND**

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING SETBACK LINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	8" CONCRETE RIBBON CURB
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT
---	BIKE RACK



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P. 608.848.8180

CLIENT:  
**PRIME URBAN PROPERTIES, LLC**

CLIENT ADDRESS:  
1952 ATWOOD AVENUE  
MADISON, WI 53704

PROJECT:  
**1224 SOUTH PARK STREET**

PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY

PLAN MODIFICATIONS:

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1	07-23-20	DAT PRESENTATION
2	08-19-20	JDC INFORMATIONAL
3	09-16-20	LAND USE - JDC SUBMITTAL
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Design/Drawn: **MSB**

Approved:

SHEET TITLE:  
**SITE PLAN - DIMENSIONED**

SHEET NUMBER:

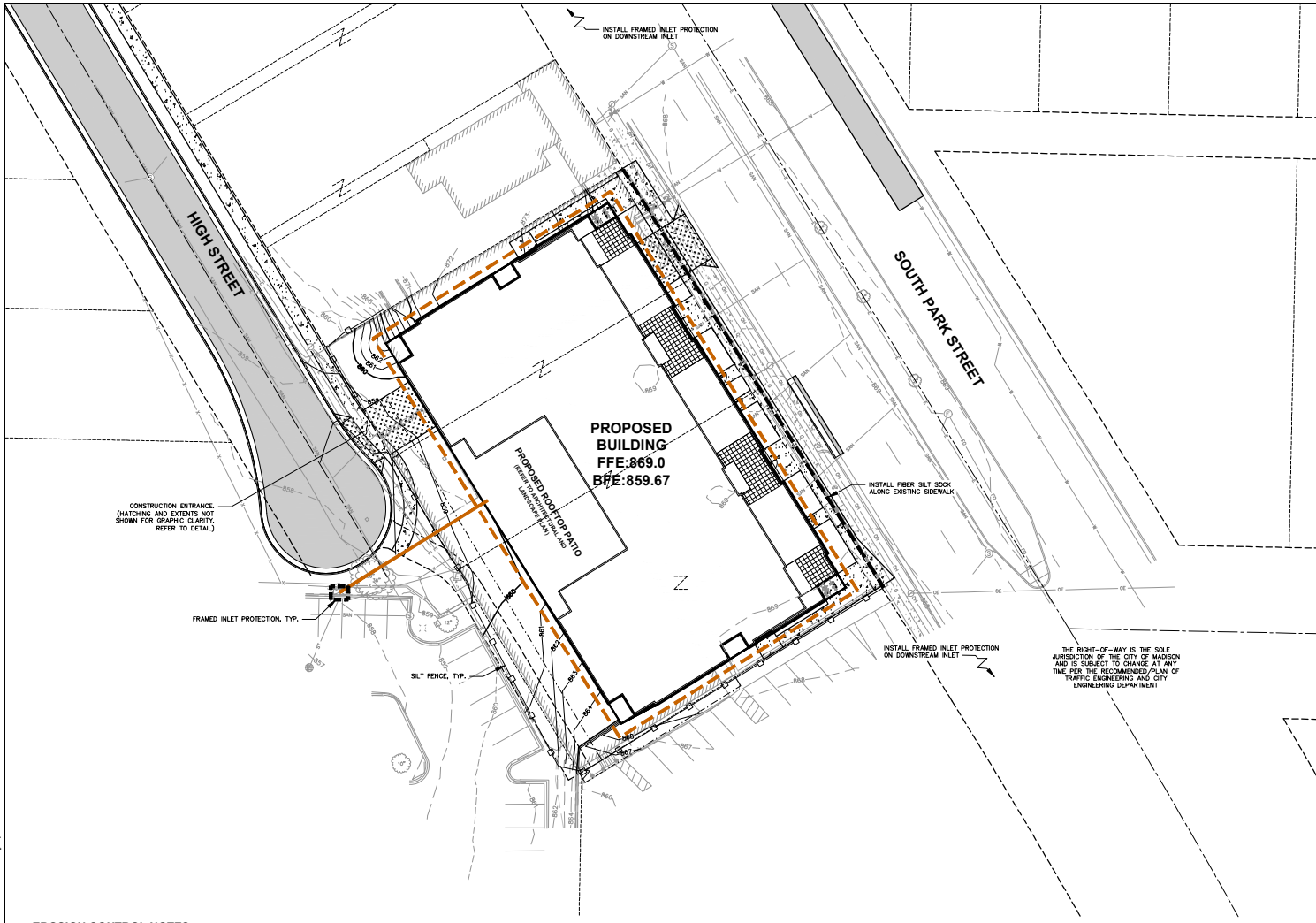
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JSD PROJECT NO: 20-0723



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**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- +959 PROPOSED 1 FOOT CONTOUR
- +960 PROPOSED 5 FOOT CONTOUR
- +959 EXISTING 1 FOOT CONTOUR
- +960 EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- GRADE BREAK
- RETAINING WALL
- RAILING
- FENCE
- SILT FENCE
- FIBER SILT SOCK
- CONSTRUCTION ENTRANCE
- EROSION MATTING
- INLET PROTECTION

**GRADING AND SEEDING NOTES**

1. HIGH STREET GRADING BASED OFF OF PRELIMINARY CITY CENTERLINE PROFILE GRADES.
2. ALL PROPOSED GRASSES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE ENVIRONMENT, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF PRACTICE. NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
4. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
5. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
6. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
7. ALL DISTURBED AREAS SHALL BE SOODED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
8. CONTRACTOR SHALL WATER ALL NEWLY SOODED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO KEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SOODING AND/OR SEEDING AND MULCHING.
10. ALL SLOPES 2:1 OR GREATER SHALL BE TEMPORARILY SEODED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL, SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH MNR TECHNICAL STANDARD 1059 AND CITY OF MADISON DRNANCE.

**CONSTRUCTION SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
  2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
  3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
  4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
  5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
  6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
  7. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.



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P. 608.848.8980

CLIENT:  
**PRIME URBAN  
PROPERTIES, LLC**

CLIENT ADDRESS:  
**1952 ATWOOD AVENUE  
MADISON, WI 53704**

PROJECT:  
**1224 SOUTH PARK  
STREET**

PROJECT LOCATION:  
**MADISON, WI  
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date	Description
1	07.23.20	DAT PRESENTATION
2	08.19.20	ISSUE INFORMATIONAL
3	09.16.20	LAND USE, UDC SUBMITTAL
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Drawn/Team: JSS  
Approved: \_\_\_\_\_

SHEET TITLE:  
**GRADING AND EROSION  
CONTROL PLAN**

SHEET NUMBER:  
**C3.0**

JSD PROJECT ID: 20-0723

**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNRR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 6' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR OTHER SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SUALES TO PREVENT SOIL TRANSPORTATION.
11. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):  
A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.  
B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.  
C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1060 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND MNR TECHNICAL STANDARDS 1058 AND 1063.
13. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS, REFERR TO MNR TECHNICAL STANDARD 1068.
14. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.

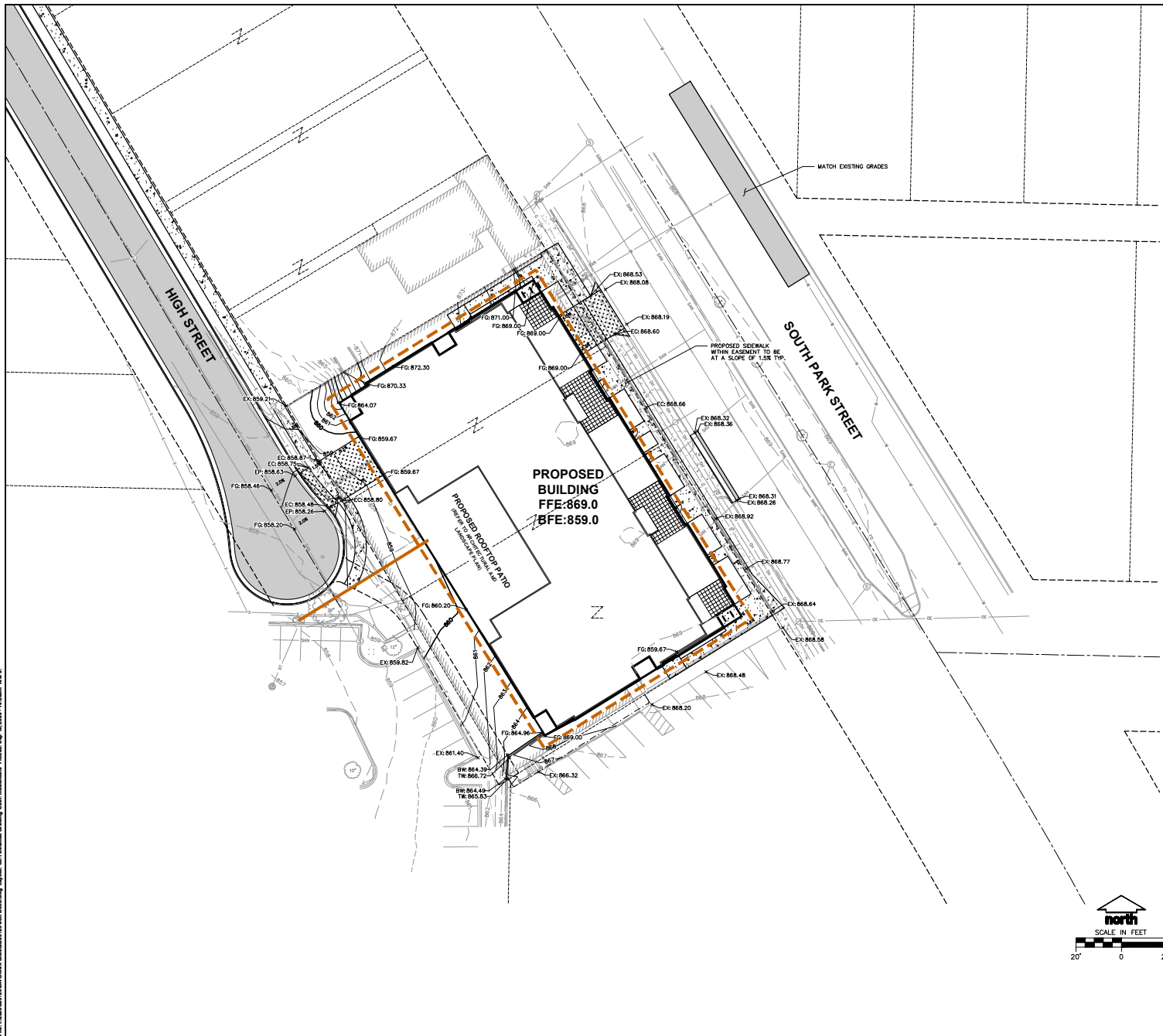
15. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH MNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH MNR REQUIREMENTS.

- 16. STABILIZATION PRACTICES**
- 16.1. "STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:  
"THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER, IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE."  
"CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.)"  
"STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO: WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:  
• PERMANENT SEEDING IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION  
• TEMPORARY SEEDING MAY CONSIST OF SPRING OATS(COLES/ACRES) AND/OR WHEAT OR CEREAL RYE (150LB/ACRES)  
• HYDRO-MULCHING WITH A TACKIFIER  
• GEOTEXTILE EROSION MATTING SOODING

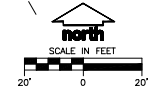


Plan: 1224SOUTH PARK STREET Civil Date: 09/16/20 Date: 09/16/20 10:56am User: JSS

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- LEGEND**
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  - - - RIGHT-OF-WAY
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  - HEAVY DUTY ASPHALT PAVEMENT
  - CONCRETE PAVEMENT
  - HEAVY DUTY CONCRETE PAVEMENT
  - PROPOSED 1 FOOT CONTOUR
  - 959 PROPOSED 5 FOOT CONTOUR
  - 959 EXISTING 1 FOOT CONTOUR
  - 959 EXISTING 5 FOOT CONTOUR
  - DRAINAGE DIRECTION
  - GRADE BREAK
  - RETAINING WALL
  - RAILING
  - FENCE
  - SPOT ELEVATION
  - EP - EDGE OF PAVEMENT
  - FG - FINISH GRADE
  - EC - EDGE OF CONCRETE
  - BC - BACK OF CURB
  - EX - MATCH EXISTING GRADE
  - HP - HIGH POINT
  - SW - SIDEWALK



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MADISON REGIONAL OFFICE  
 161 HOSCHKE DRIVE, SUITE 301  
 VERONA, WISCONSIN 53593  
 P. 608.848.6960

CLIENT:  
**PRIME URBAN PROPERTIES, LLC**

CLIENT ADDRESS:  
 1952 ATWOOD AVENUE  
 MADISON, WI 53704

PROJECT:  
 1224 SOUTH PARK STREET

PROJECT LOCATION:  
 MADISON, WI  
 DANE COUNTY

PLAN MODIFICATIONS:

#	Date	Description
1	07.23.20	DAT PRESENTATION
2	08.19.20	UDC INFORMATIONAL
3	09.16.20	LAND USE - UDC SUBMITTAL
4		
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Design/Drawn: **MSB**  
 Approved:

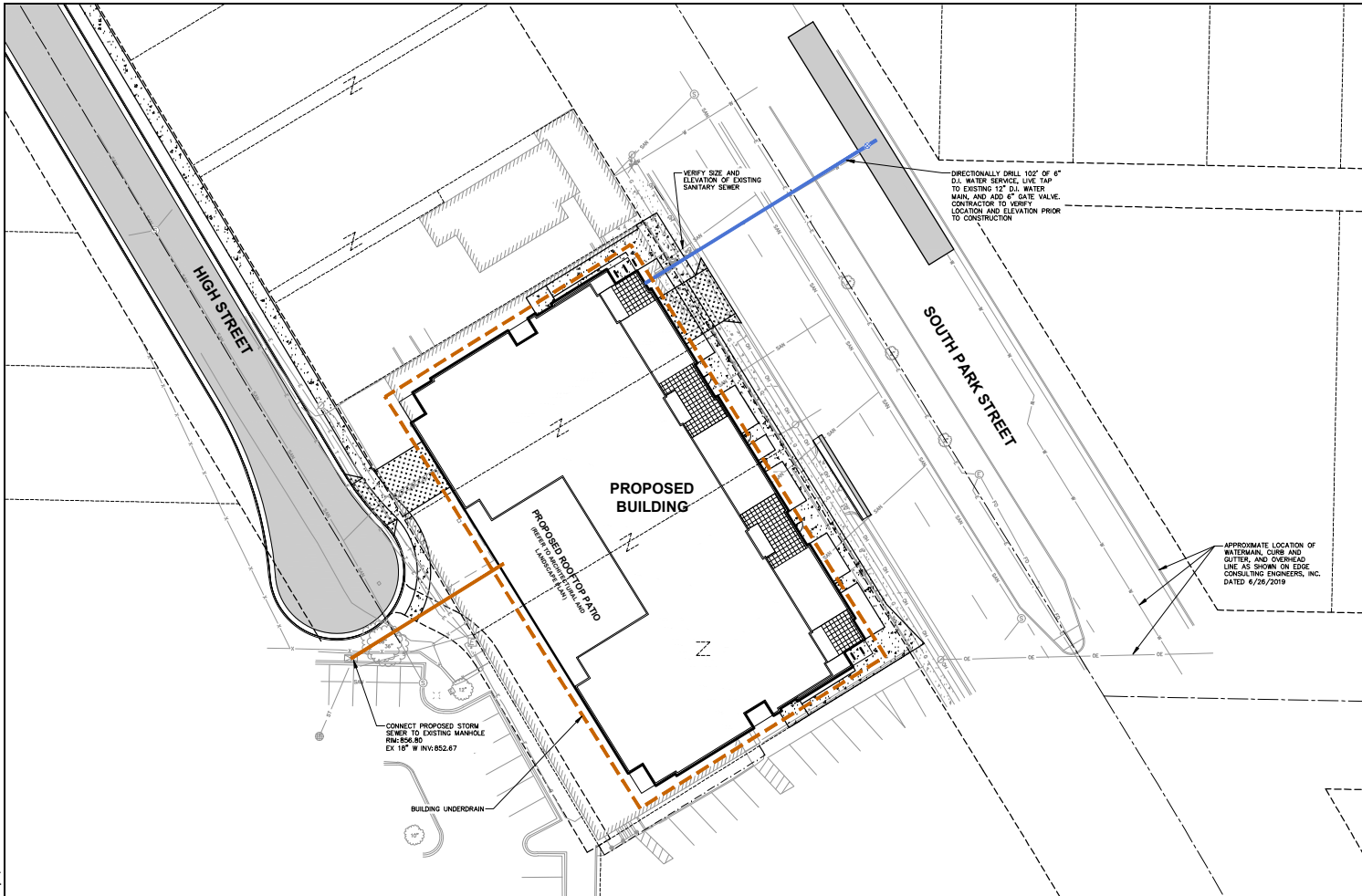
SHEET TITLE:  
**DETAILED GRADING PLAN**

SHEET NUMBER:  
**C3.1**

**MEERS & BUTTNER**  
 Toll Free (800) 242-8511

File: I:\2020\09\17\DWG\GDG\16-BuildingGrading.dwg Layout: C1 - Detailed Grading User: msambrook Printed: Epi\_04\_2025 - 10:58am 3/8/25

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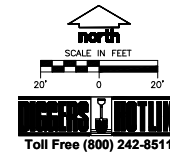
**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- RETAINING WALL
- RAILING
- FENCE
- SANITARY SEWER
- WATERMAIN
- STORM SEWER

**UTILITY NOTES**

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREO. CONTRACTOR/OWNER SHALL CALL "DOGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITIES COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESS.
- STORM SEWER SPECIFICATIONS -
  - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS II (MINIMUM C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE COMPOUND PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".
  - INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL, WITH A 1'-4" X 2'-4" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEEDHAM R-3087 WITH TYPE R GRATE, OR EQUAL.
  - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "D" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
  - WATER MAIN SPECIFICATIONS -
    - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO ANMA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF ANMA STANDARD C-200, CLASS 150, DR-18, WITH CAST IRON D.O. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPIR 382-30(1)100.
    - VALVES AND VALVE BOXES - GATE VALVES SHALL BE ANNE GATE VALVES MEETING THE REQUIREMENTS OF ANMA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PUMPING ORDINANCES.

- HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTER OF THE APPROPRIATE NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
- BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
14. SANITARY SEWER SPECIFICATIONS -
  - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTERNAL BELL TYPE FLOWING ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
  - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.
15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).



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VERONA, WISCONSIN 53593  
P. 608.848.8180

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CLIENT:  
**PRIME URBAN PROPERTIES, LLC**

---

CLIENT ADDRESS:  
1952 ATWOOD AVENUE  
MADISON, WI 53704

---

PROJECT:  
**1224 SOUTH PARK STREET**

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PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY

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PLAN MODIFICATIONS:

#	Date	Description
1	07-23-20	DAT PRESENTATION
2	08-19-20	ISSUE INFORMATIONAL
3	09-16-20	LAND USE - UDC SUBMITTAL
4		
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Design/Drawn: **MSB**  
Approved:

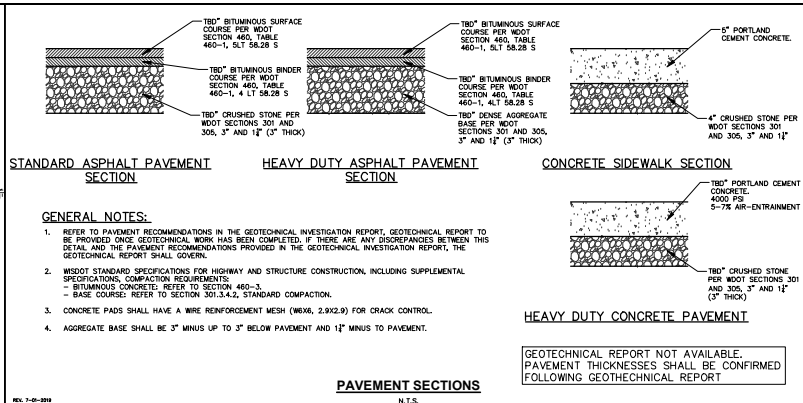
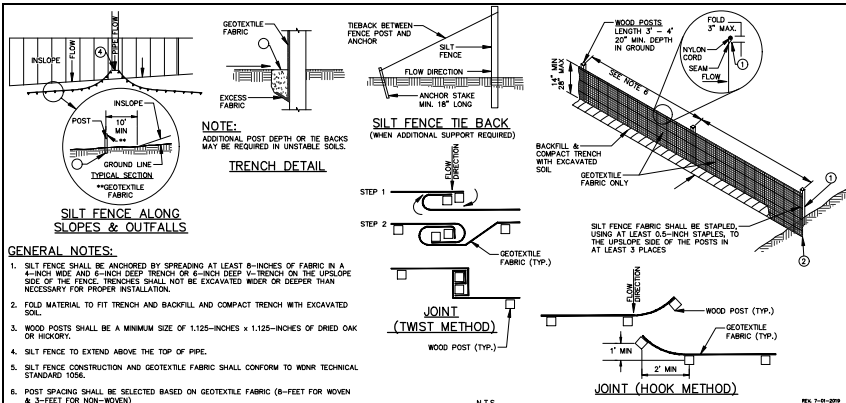
**UTILITY PLAN**

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SHEET NUMBER:  
**C4.0**

188 PROJECT ID: 23-0723





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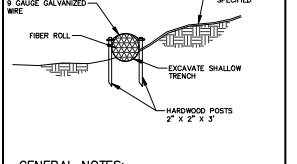
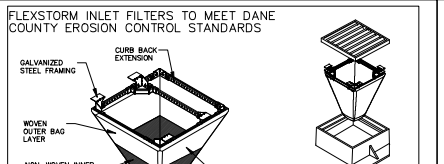
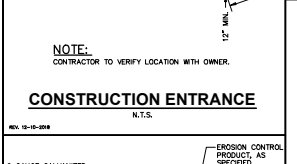
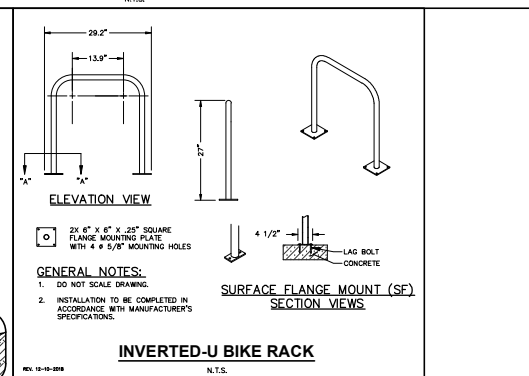
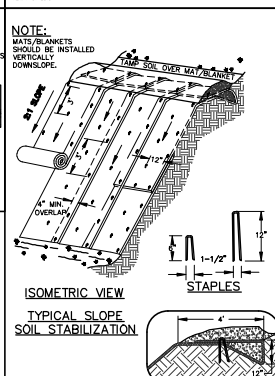
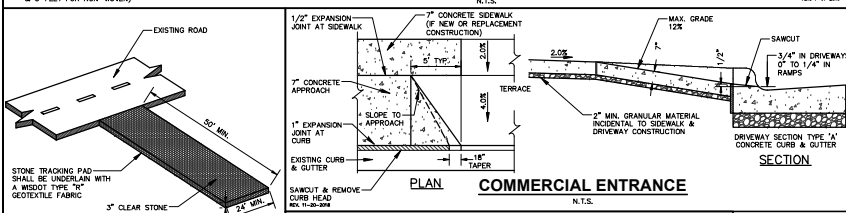
**MADISON REGIONAL OFFICE**  
161 HOSKOLD DRIVE, SUITE 301  
VERONA, WISCONSIN 53593  
P. 608.848.8900

CLIENT:  
**PRIME URBAN PROPERTIES, LLC**

PROJECT LOCATION:  
1952 ATWOOD AVENUE  
MADISON, WI 53704

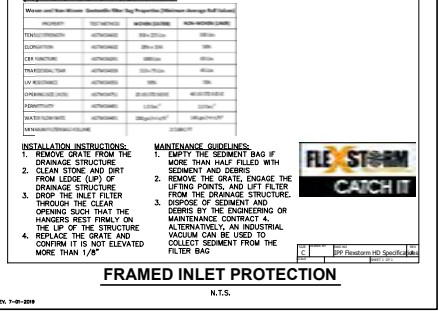
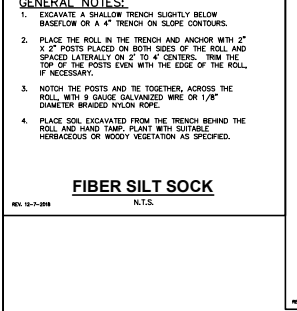
PROJECT:  
**1224 SOUTH PARK STREET**

PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY



**CATCH-IT INLET FILTER**

Model	Unit Type	Flow Rate (GPM)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)	Flow Rate (MGD)
1000	Curb Box	80	0.002	0.002	0.002	0.002	0.002	0.002	0.002
1000	Curb Box	120	0.003	0.003	0.003	0.003	0.003	0.003	0.003
1000	Curb Box	160	0.004	0.004	0.004	0.004	0.004	0.004	0.004
1000	Curb Box	200	0.005	0.005	0.005	0.005	0.005	0.005	0.005
1000	Curb Box	240	0.006	0.006	0.006	0.006	0.006	0.006	0.006
1000	Curb Box	280	0.007	0.007	0.007	0.007	0.007	0.007	0.007
1000	Curb Box	320	0.008	0.008	0.008	0.008	0.008	0.008	0.008
1000	Curb Box	360	0.009	0.009	0.009	0.009	0.009	0.009	0.009
1000	Curb Box	400	0.010	0.010	0.010	0.010	0.010	0.010	0.010
1000	Curb Box	440	0.011	0.011	0.011	0.011	0.011	0.011	0.011
1000	Curb Box	480	0.012	0.012	0.012	0.012	0.012	0.012	0.012
1000	Curb Box	520	0.013	0.013	0.013	0.013	0.013	0.013	0.013
1000	Curb Box	560	0.014	0.014	0.014	0.014	0.014	0.014	0.014
1000	Curb Box	600	0.015	0.015	0.015	0.015	0.015	0.015	0.015
1000	Curb Box	640	0.016	0.016	0.016	0.016	0.016	0.016	0.016
1000	Curb Box	680	0.017	0.017	0.017	0.017	0.017	0.017	0.017
1000	Curb Box	720	0.018	0.018	0.018	0.018	0.018	0.018	0.018
1000	Curb Box	760	0.019	0.019	0.019	0.019	0.019	0.019	0.019
1000	Curb Box	800	0.020	0.020	0.020	0.020	0.020	0.020	0.020
1000	Curb Box	840	0.021	0.021	0.021	0.021	0.021	0.021	0.021
1000	Curb Box	880	0.022	0.022	0.022	0.022	0.022	0.022	0.022
1000	Curb Box	920	0.023	0.023	0.023	0.023	0.023	0.023	0.023
1000	Curb Box	960	0.024	0.024	0.024	0.024	0.024	0.024	0.024
1000	Curb Box	1000	0.025	0.025	0.025	0.025	0.025	0.025	0.025



PLAN MODIFICATIONS:

#	Date	Description
1	02.23.20	DAT PRESENTATION
2	08.19.20	LOG INFORMATION
3	09.16.20	LAND USE, LOG SUBMITTAL
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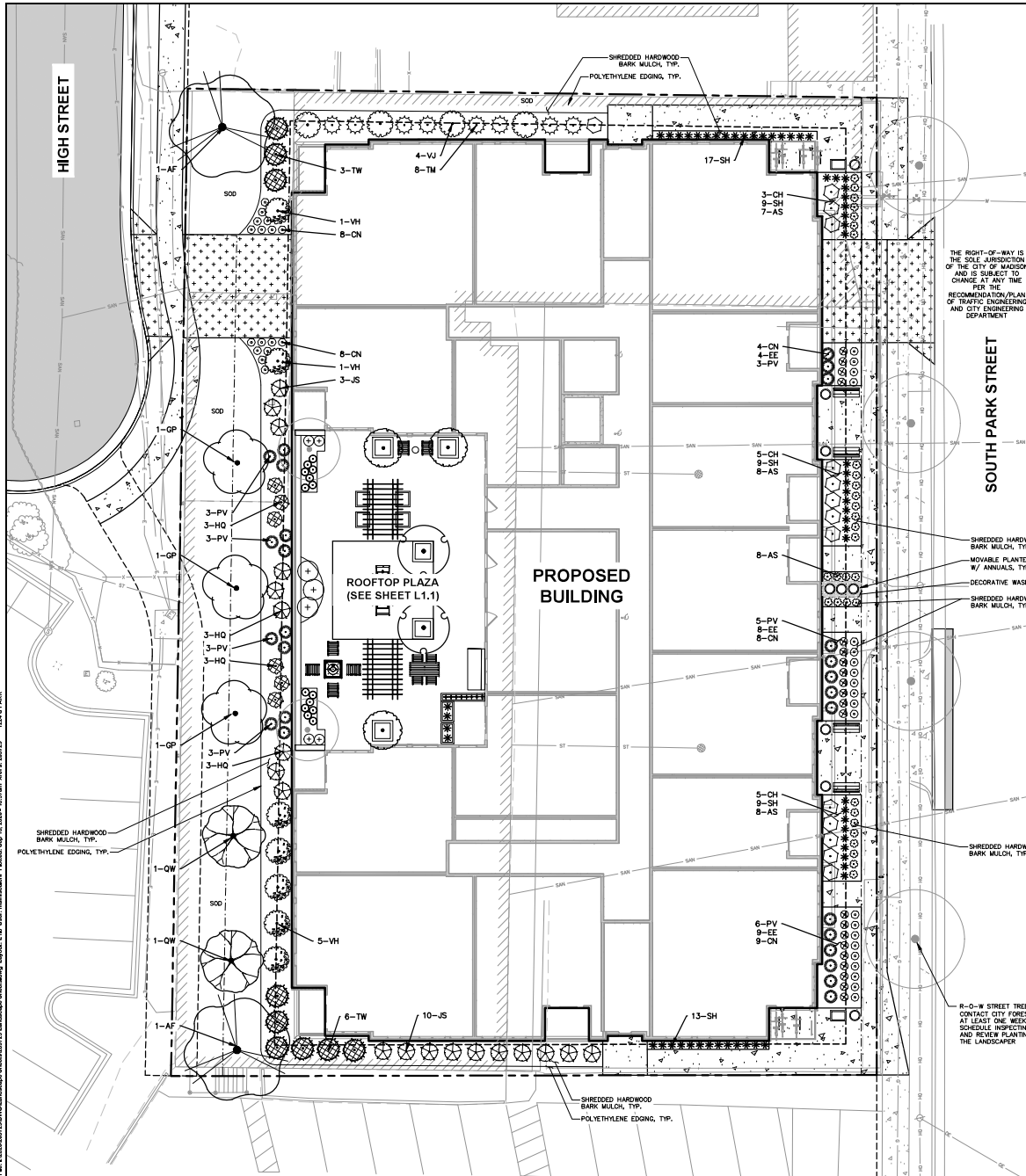
Design/Drawn: **MSB**  
Approved:

**SHEET TITLE:**  
**DETAILS**

**SHEET NUMBER:**  
**C5.0**

100% PROJECT INFO: 23-0723

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**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISUPINARY ACTIONS BY ANY OF ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

**LEGEND**

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- - - BUILDING OUTLINE
- - - BUILDING OVERHANG
- - - EDGE OF PAVEMENT
- - - STANDARD CURB AND GUTTER
- - - REJECT CURB AND GUTTER
- - - ASPHALT PAVEMENT
- - - HEAVY DUTY ASPHALT PAVEMENT
- - - CONCRETE PAVEMENT
- - - HEAVY DUTY CONCRETE PAVEMENT
- - - WATERMAIN
- - - SANITARY SEWER
- - - EXISTING WATERMAIN
- - - EXISTING SANITARY SEWER
- - - EXISTING STORM SEWER
- - - RETAINING WALL
- - - BIKE RACK
- - - POLYETHYLENE EDGING

**PLANT SCHEDULE COMPREHENSIVE**

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	QTY
	CM	<i>Cornus mas</i> / Cornelian Cherry Dogwood	2
	SD	<i>Syringa pekinensis</i> 'DTR124' / Summer Charm Pekin Lilac	3
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	QTY
	AB2	<i>Acer rubrum</i> 'Brandywine' / Brandywine Red Maple	2
	AF	<i>Acer x freemanii</i> 'Marmo' / Marmo Freeman Maple	2
	GP	<i>Ginkgo biloba</i> 'Princeton Sentry' / Princeton Sentry Ginkgo	3
	QW	<i>Quercus x warei</i> 'Regal Prince' / Regal Prince Oak	2
4-UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME	QTY
	TW	<i>Thuja occidentalis</i> x <i>plicata</i> 'Wintergreen' / Wintergreen Arborvitae	9
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	QTY
	CH	<i>Clethra alnifolia</i> 'Hummingbird' / Hummingbird Summersweet	14
	CB	<i>Cotinus coggygria</i> 'NCCB1' TM / Winecraft Black Smoke Tree	3
	HQ	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Hydrangea	6
	VH	<i>Viburnum trilobum</i> 'Hats' / American Cranberrybush	7
	VJ	<i>Viburnum x juddii</i> / Judd Viburnum	4
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	QTY
	JS	<i>Juniperus sabin</i> 'Mini-Arcadia' / Mini Arcadia Juniper	19
	TM	<i>Taxus x media</i> 'Everlow' / Everlow Yew	8
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	QTY
	AS	<i>Allium</i> x 'Summer Beauty' / Summer Beauty Allium	31
	CN	<i>Calamintha nepeta</i> 'Montrasse White' / Montrasse White Catmint	37
	EE	<i>Echinacea</i> x 'Evan Saul' / Big Sky Sundown Coneflower	21
	PV	<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	26
	SC	<i>Salvia nemorosa</i> 'Caradonna' / Caradonna Perennial Salvia	14
	SH	<i>Sporobolus heterolepis</i> 'Tara' / Prairie Dropseed	61
	VO	<i>Veronica spicata</i> 'Glory' / Royal Candies Speedwell	8
VINES	CODE	BOTANICAL / COMMON NAME	QTY
	HA2	<i>Hydrangea anomala</i> <i>petiolaris</i> / Climbing Hydrangea	4

R-O-W STREET TREES: CONTRACTOR SHALL CONTACT CITY FORESTRY (608) 798-4818 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE HARDWARE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER

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P. 608.848.0580

CLIENT:  
**PRIME URBAN PROPERTIES, LLC**

---

CLIENT ADDRESS:  
1952 ATWOOD AVENUE  
MADISON, WI 53704

---

PROJECT:  
**1224 SOUTH PARK STREET**

---

PROJECT LOCATION:  
MADISON, WI  
DANE COUNTY

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PLANT SCHEDULE TABLE

#	Date	Description
1	07/23/20	DAT PRESENTATION
2	08/16/20	UDC INFORMATIONAL
3	09/16/20	LAND USE + UDC SUBMITTAL
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MRS  
Approved: JLT

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SHEET TITLE:  
**LANDSCAPE PLAN**

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SHEET NUMBER:  
**L1.0**

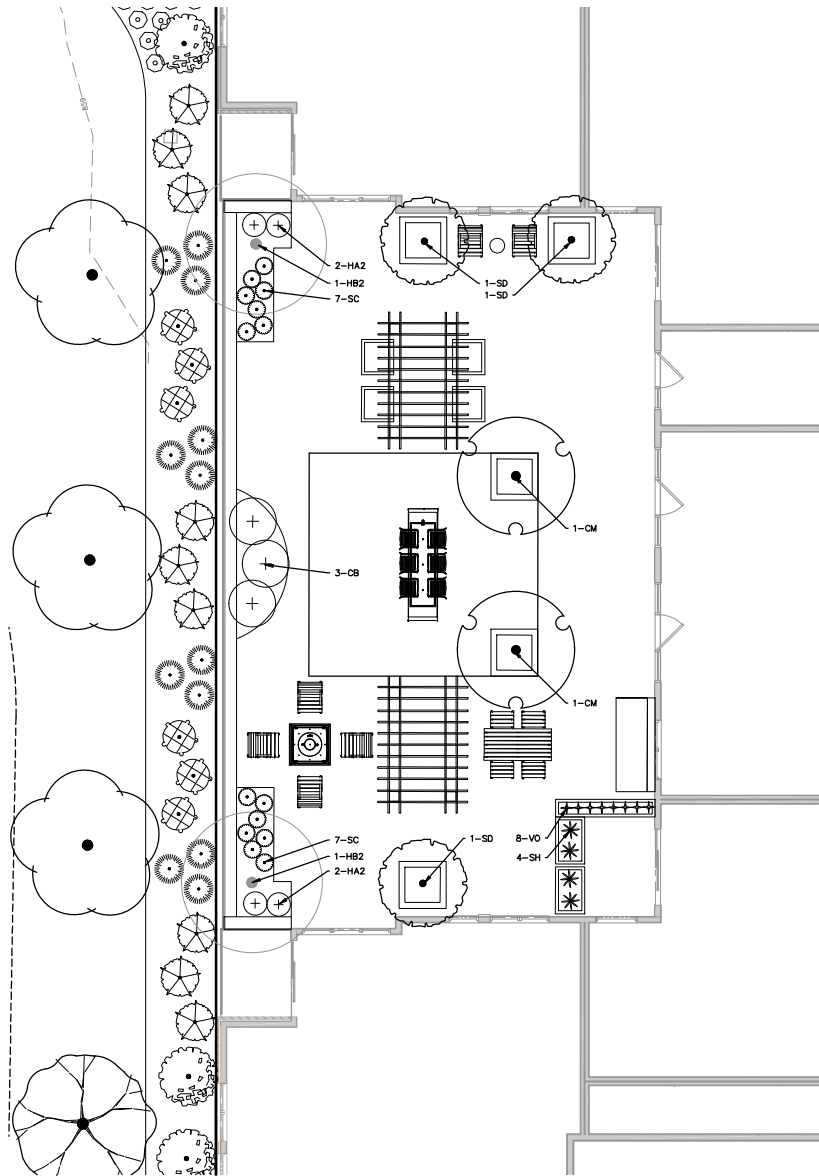
JSD PROJECT NO: 254723



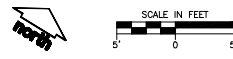
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FILE: C:\300599773\DWG\2023\230523\230523\_Landscape\_SitePlan.dwg User: mms0001044 Date: 05/15/2023 10:41:40 AM PLOT: 230523 1/28 8 1/2" x 11" PLOT DATE: 05/15/2023 10:41:40 AM



PLANT SCHEDULE ROOFTOP PLAZA					
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT.	LS POINTS	
	2	<i>Cornus mas</i> / Cornelian Cherry Dogwood	# 8 B	1.5" Cal	15
	3	<i>Syringa pekinensis</i> 'SIR124' / Summer Charm Peahk Lilac	# 8 B	1.5" Cal	15
OVERSTORY DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	LS POINTS
	2	<i>Acer rubrum</i> 'Brandywine' / Brandywine Red Maple	# 8 B	3" Cal	
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	LS POINTS
	3	<i>Cotinus coggygria</i> 'NCC81' TM / Minicraft Black Smoke Tree	#3	Min. 12"-24"	3
PERENNIALS & GRASSES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	LS POINTS
	14	<i>Salvia nemorosa</i> 'Caradonna' / Caradonna Perennial Salvia	#1	Min. 8"-18"	2
	4	<i>Sporobolus heterostachya</i> 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	2
	8	<i>Veronica spicata</i> 'Unity' / Royal Cordian Speedwell	#1	Min. 8"-18"	2
VINES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	LS POINTS
	4	<i>Hydangeo anomala</i> <i>petiolaris</i> / Climbing Hydrangea	#3	Min. 12"-24"	2



CREATE THE VISION TELL THE STORY

MADISON MILWAUKEE WAUSAU  
 APPLETON KENOSHA CHICAGO  
 CROSSVILLE

MADISON REGIONAL OFFICE  
 141 HICKORY DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 P. 608.544.5880

CLIENT:  
**PRIME URBAN  
 PROPERTIES, LLC**

CLIENT ADDRESS:  
 1952 ATWOOD AVENUE  
 MADISON, WI 53704

PROJECT:  
**1224 SOUTH PARK  
 STREET**

PROJECT LOCATION:  
 MADISON, WI  
 DANE COUNTY

PLANT REVISIONS	
#	Description
1	07/23/20 DAT PRESENTATION
2	08/16/20 UCC INFORMAL
3	09/16/20 LAND USE UCC SUBMITTAL
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	

Design/Drawn: MMS-010  
 Approved: P-17

SHEET TITLE:  
**2ND FLOOR ROOFTOP  
 PLAZA LANDSCAPE PLAN**

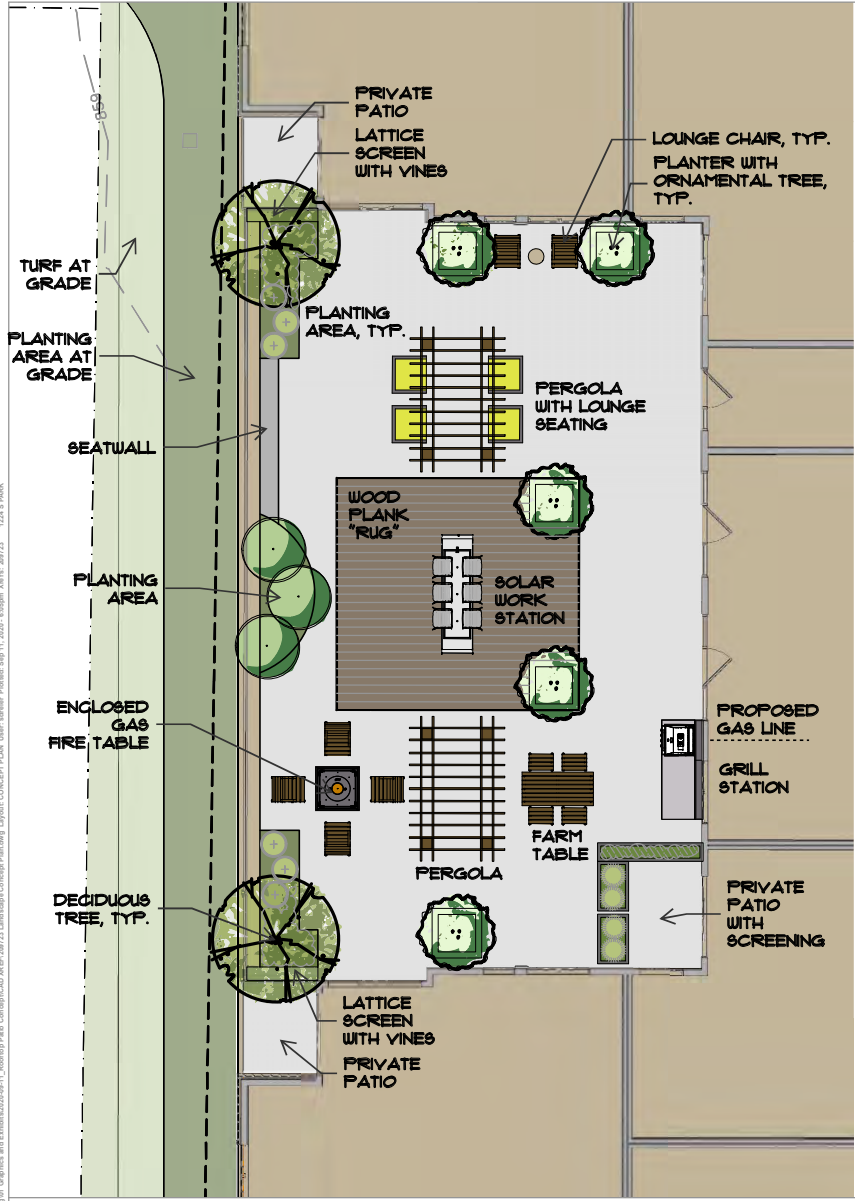
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**L1.1**

USD PROJECT NO: 230523

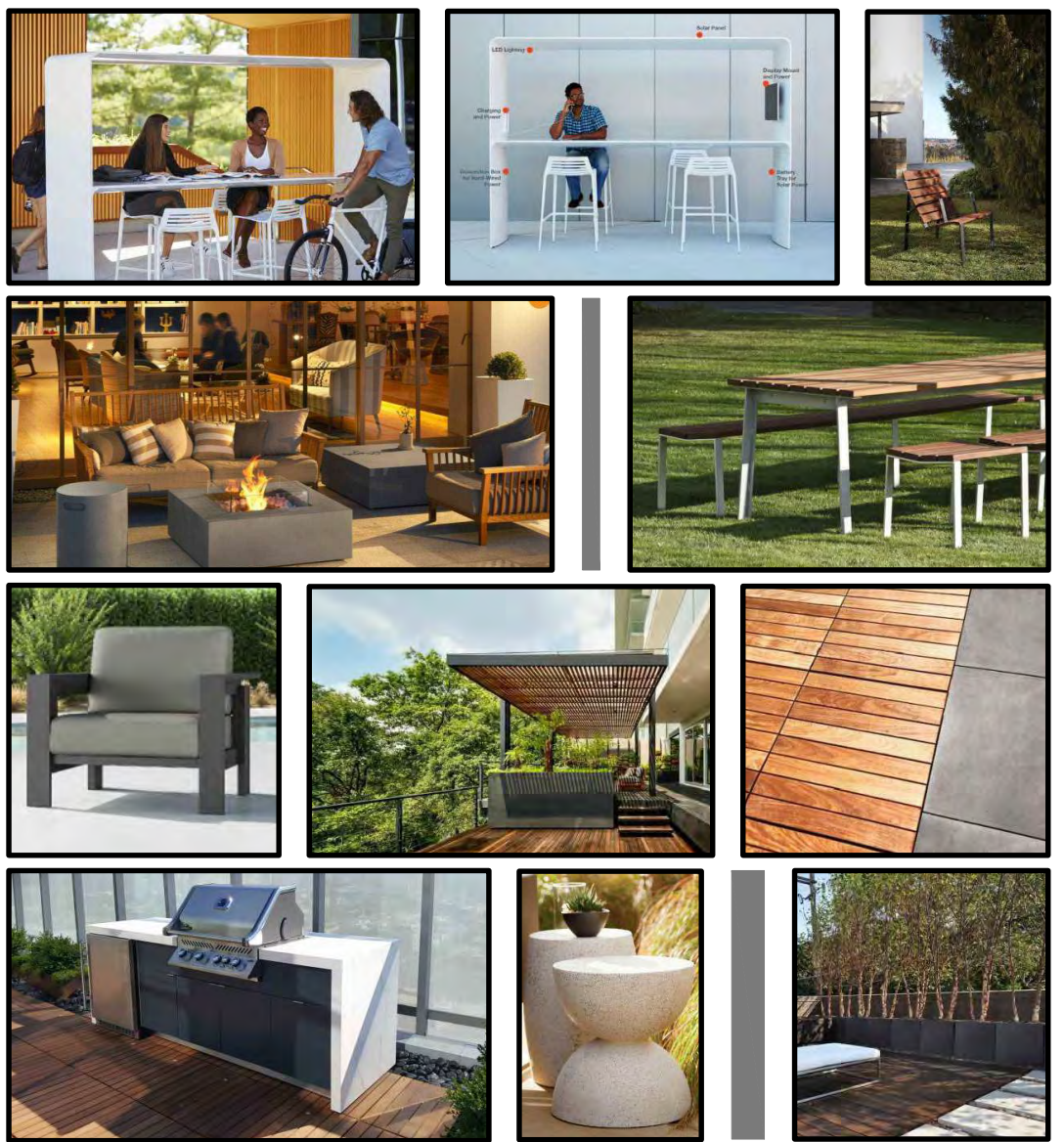


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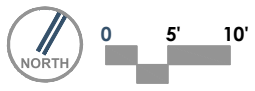


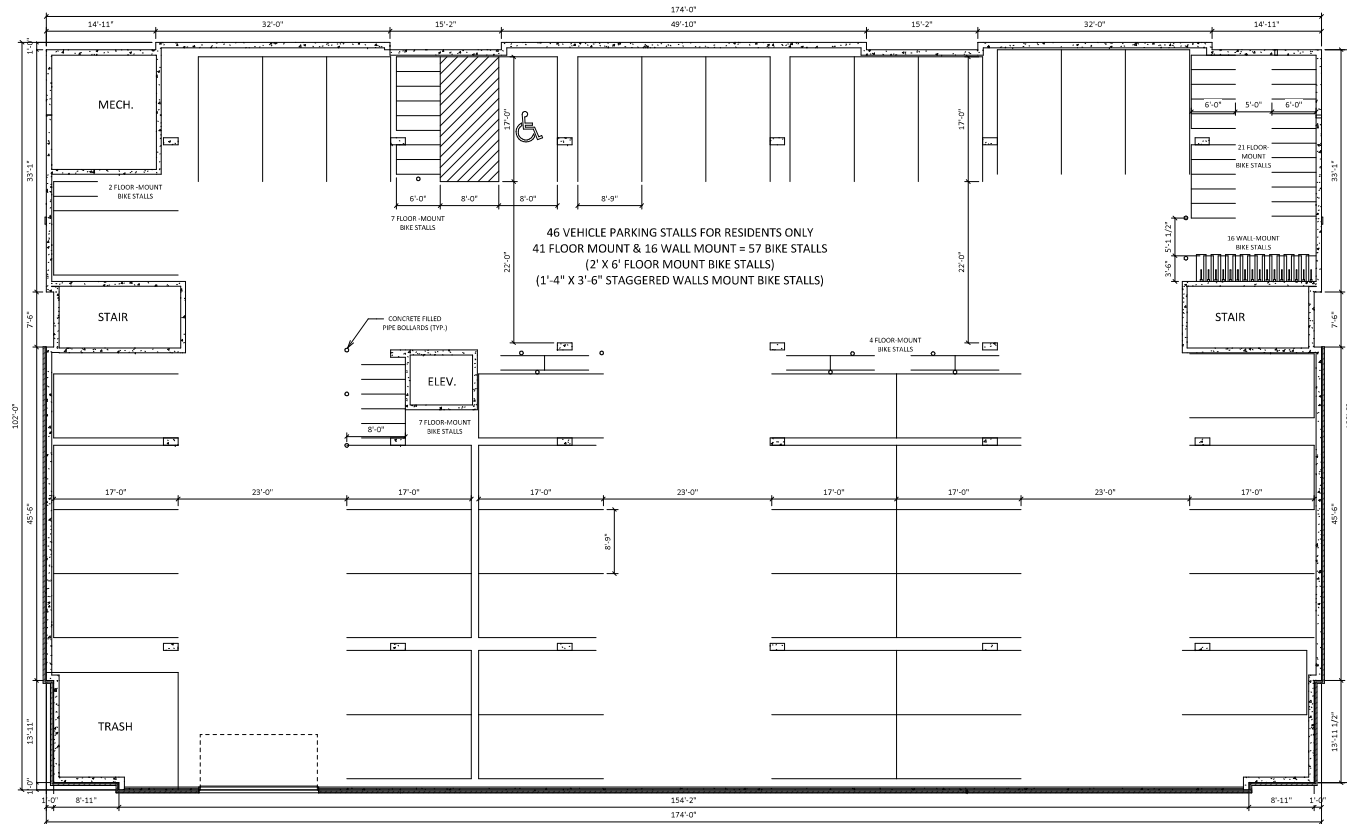
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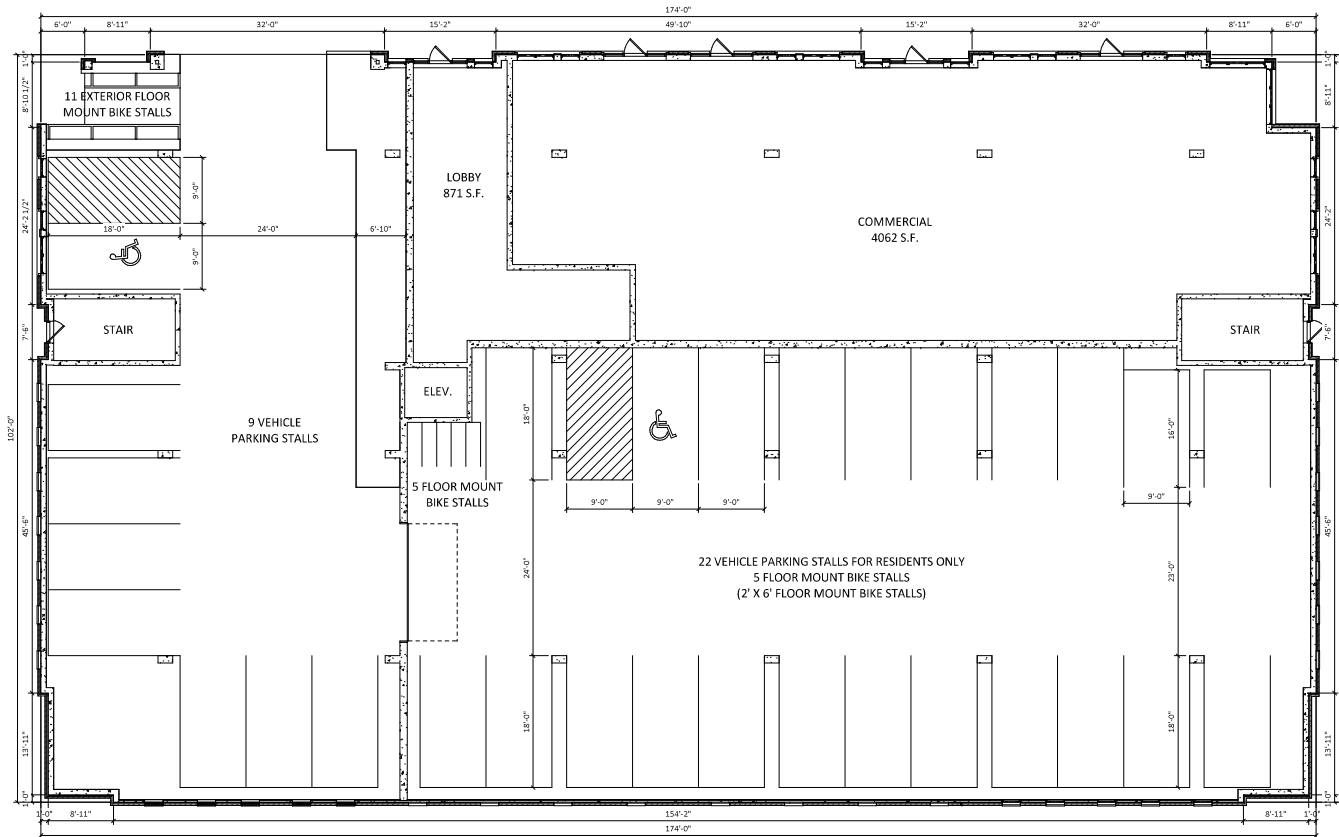
1224 SOUTH PARK STREET  
MADISON, WI 09.16.2020

ROOFTOP PATIO CONCEPT









1  
 A-1.1  
 N.T.S.  
**01 - FIRST FLOOR**





02 - SECOND FLOOR  
 N.T.S.

ISSUED  
 09/08/20

PROJECT TITLE  
**PARK STREET  
 DEVELOPMENT**

1224 S Park St  
 Madison, WI  
 SHEET TITLE  
**SECOND FLOOR  
 PLAN**

SHEET NUMBER

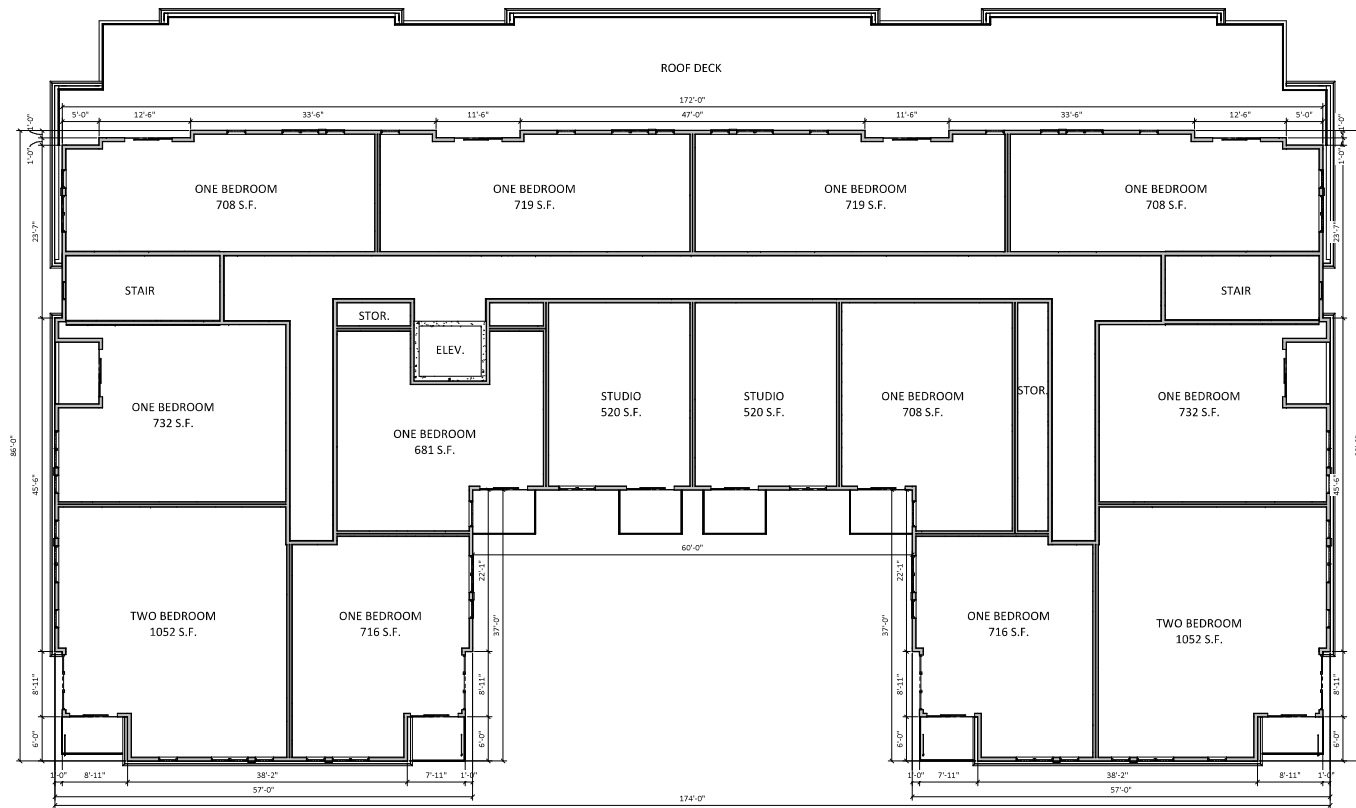
**A-1.2**  
 PROJECT NUMBER 2031  
 © Knothe & Bruce Architects, LLC



**1** 03 - THIRD FLOOR  
 A-1.3 N.T.S.



**04 - FOURTH FLOOR**  
 N.T.S.



ISSUED  
 09/16/20

PROJECT TITLE  
**PARK STREET  
 DEVELOPMENT**

1224 S Park St  
 Madison, WI

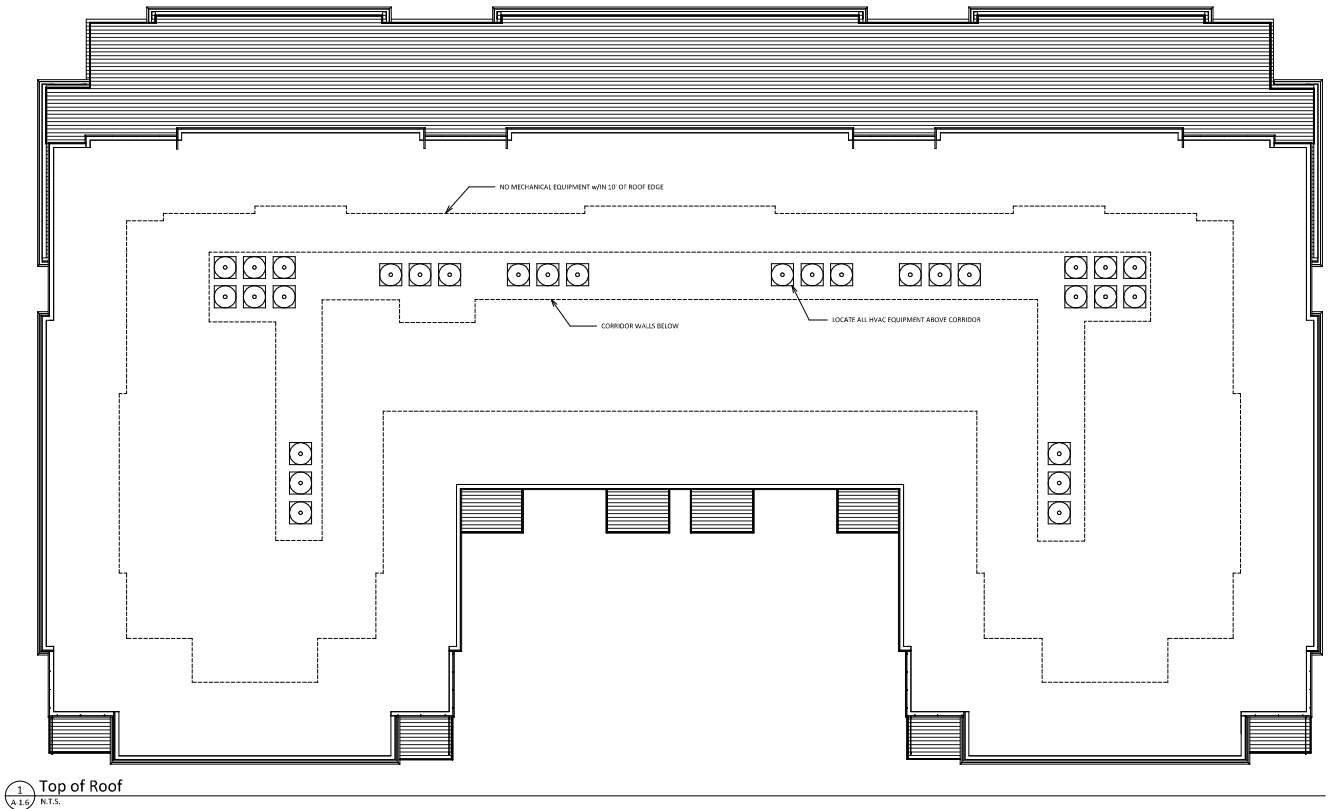
SHEET TITLE  
**FIFTH FLOOR  
 PLAN**

SHEET NUMBER

**A-1.5**

PROJECT NUMBER **2031**  
 © Knothe & Bruce Architects, LLC

1  
 A-1.5 N.E.S.  
**05 - FIFTH FLOOR**



1 Top of Roof  
 A-1.6 N.T.S.

ISSUED  
 09/16/20

PROJECT TITLE  
**PARK STREET  
 DEVELOPMENT**

1224 S Park St  
 Madison, WI  
 SHEET TITLE  
**ROOF PLAN**

SHEET NUMBER

**A-1.6**  
 PROJECT NUMBER 2031  
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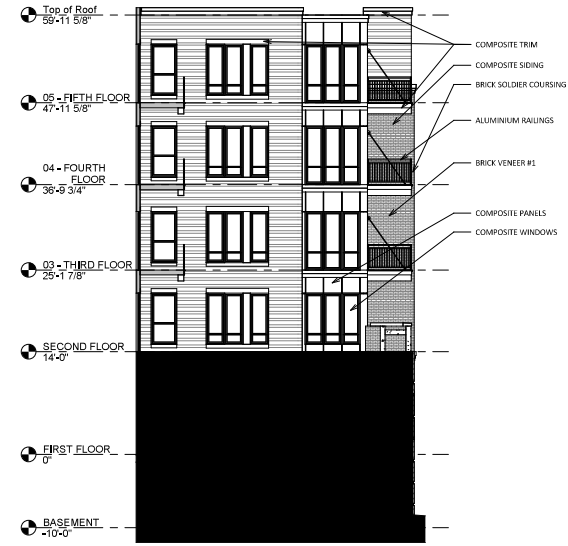
1  
 A-2.2  
 East  
 N.T.S.



3  
 A-2.2  
 East - Interior  
 N.T.S.



2  
 A-2.2  
 West  
 N.T.S.



4  
 A-2.2  
 West - Interior  
 N.T.S.







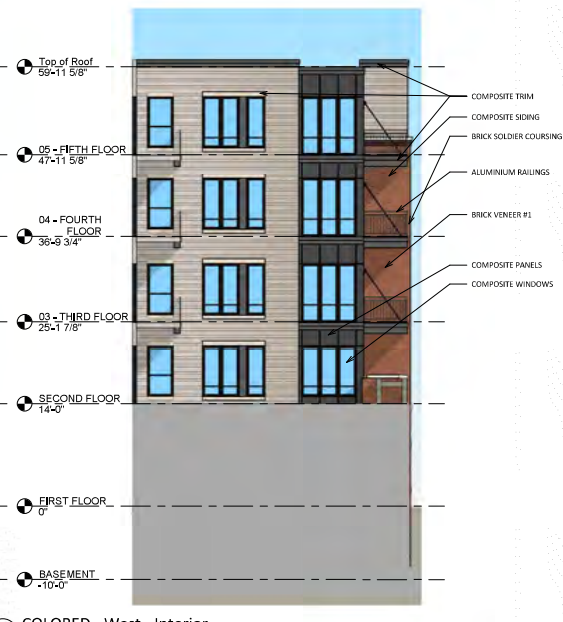
1 COLORED - East  
A-2.4 N.T.S.



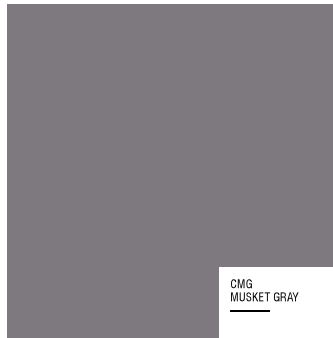
3 COLORED - East - Interior  
A-2.4 N.T.S.



2 COLORED - West  
A-2.4 N.T.S.

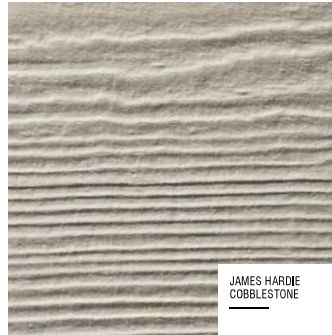


4 COLORED - West - Interior  
A-2.4 N.T.S.



CMG  
MUSKET GRAY

**COMPOSITE PANELS | TRIM**



JAMES HARDIE  
COBBLESTONE

**COMPOSITE SIDING**

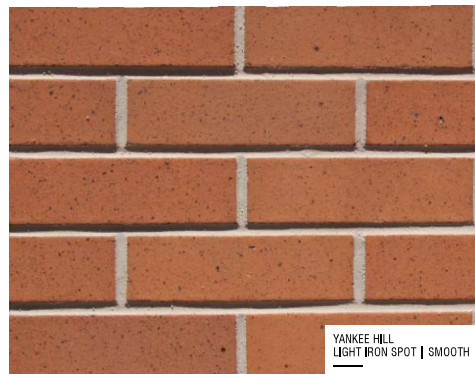


CORDOVA  
BLUFF

**STONE BASE | SILLS | BANDS**



**WINDOWS  
ALUMINIUM RAILINGS**



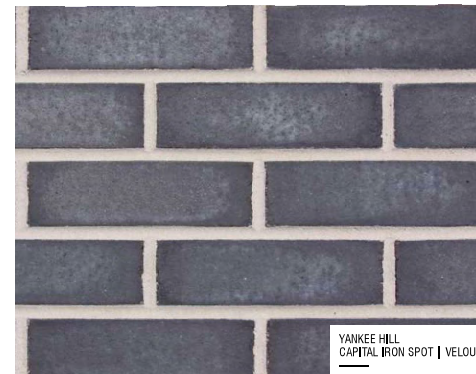
YANKEE HILL  
LIGHT IRON SPOT | SMOOTH

**BRICK VENEER #1**



YANKEE HILL  
MOJAVE | VELOUR

**BRICK VENEER #2**



YANKEE HILL  
CAPITAL IRON SPOT | VELOUR

**BRICK VENEER #3**

**MATERIAL BOARD  
PARK STREET DEVELOPMENT**

1224 S. PARK ST.  
MADISON, WI

SEPTEMBER 16, 2020







PARK STREET DEVELOPMENT

1224 S. PARK STREET  
MADISON, WI







PARK STREET DEVELOPMENT

1224 S. PARK STREET  
MADISON, WI







PARK STREET DEVELOPMENT

1224 S. PARK STREET  
MADISON, WI







SIGNAGE

SIGNAGE SIGNAGE

PARK STREET DEVELOPMENT

1224 S. PARK STREET  
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