



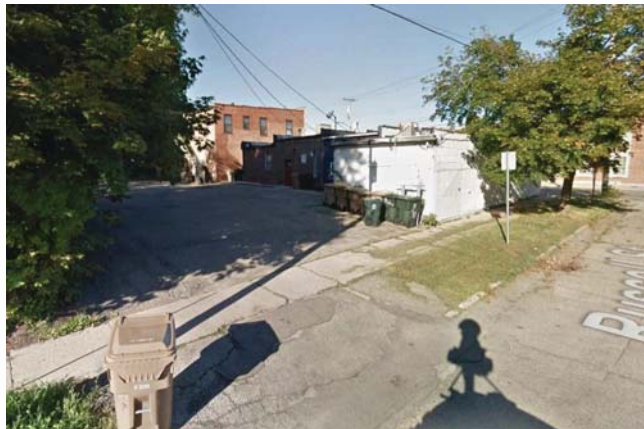
VIEW SOUTHWEST DOWN WINNEBAGO - SUBJECT SITE ON LEFT



SUBJECT SITE VIEWED FROM WINNEBAGO



SUBJECT SITE VIEWED FROM WINNEBAGO



REAR OF EXISTING BUILDINGS VIEWED FROM RUSSELL



EXISTING HOUSE ON SITE VIEWED FROM RUSSELL



INTERIOR & EXTERIOR FLOOR MOUNTED:
"INVERTED U" TYPE. MADRAX UX OR
SARIS BIKE DOCK

 $1^{\circ} = 10^{-9}$ 

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GENERAL NOTES:

1. THE APPLICANT SHALL REPLACE ALL SIDEWALKS AND CURBS AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT THE SAME LEVEL, OR BECAUSE OF WHETHER THE CONDITION DETERMINES REPAIR TO BEGINNING CONSTRUCTION.
2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-GENICSED CONTRACTOR.
3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
4. EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION SHALL BE PERMITTED WITHIN THE TREE PROTECTION FENCING. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY ENGINEER (264-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND TO OBTAIN APPROVAL. TREE REMOVAL SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 07.13.03 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO REMOVE, MOVE, OR DESTROY TREES OR TO OBTAIN A TREE REMOVAL PERMSSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY ENGINEER (264-4816).
6. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THE SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE AT ANY TIME.

SITE DEVELOPMENT STATISTICS

ADDRESS	1949 WINNEBAGO STREET	
PROPOSED BUILDING	3-STORY W/ UNDERGROUND PARKING	
LOT AREA	13,096 SF / 3 ACRES	
ZONING DISTRICT	TSS - TRANSITIONAL SHOPPING STRIP	
ABUTTING PROPERTIES	TSS	
<u>ZONING</u>	<u>REQUIRED</u>	<u>PROPOSED</u>
FRONT SETBACK	25' MAX.	3'
SIDE YARD	6'	6.5/6.7'
REAR YARD	20'	20.3'
LOT COVERAGE	85% MAX.	84.5%
OPEN SPACE	40 S.F. / D.U.	74 S.F. / D.U.
REAR YARD HEIGHT TRANSITION	N/A - ALL TSS	
BUILDING HEIGHT	3 STORIES	
RETAIL AREA	1,524 S.F.	
OFFICE AREA (BOTH FLOORS)	6,541 S.F.	
GROSS FLOOR AREA	33,723 S.F. (INCL. PARKING)	
FLOOR AREA RATIO	2.58	
<u>DWELLING UNIT MIX:</u>		
ONE BEDROOM	3	
TWO BEDROOM + DEN	1	
TWO BEDROOM	7	
TOTAL	11 D.U.	
<u>VEHICLE PARKING</u>		
UNDERGROUND	19	
SURFACE (COVERED)	6	
TOTAL	25 VEHICLE STALLS	
<u>BIKE PARKING</u>		
UNDERGROUND LONG-TERM	14	
SURFACE SHORT-TERM	6	
TOTAL	20 BIKE STALLS	



PROJECT TITLE
WINNRUSS
WINNEBAGO
MIXED-USE

1949 WINNEBAGO ST.
SHEET TITLE
Site Plan

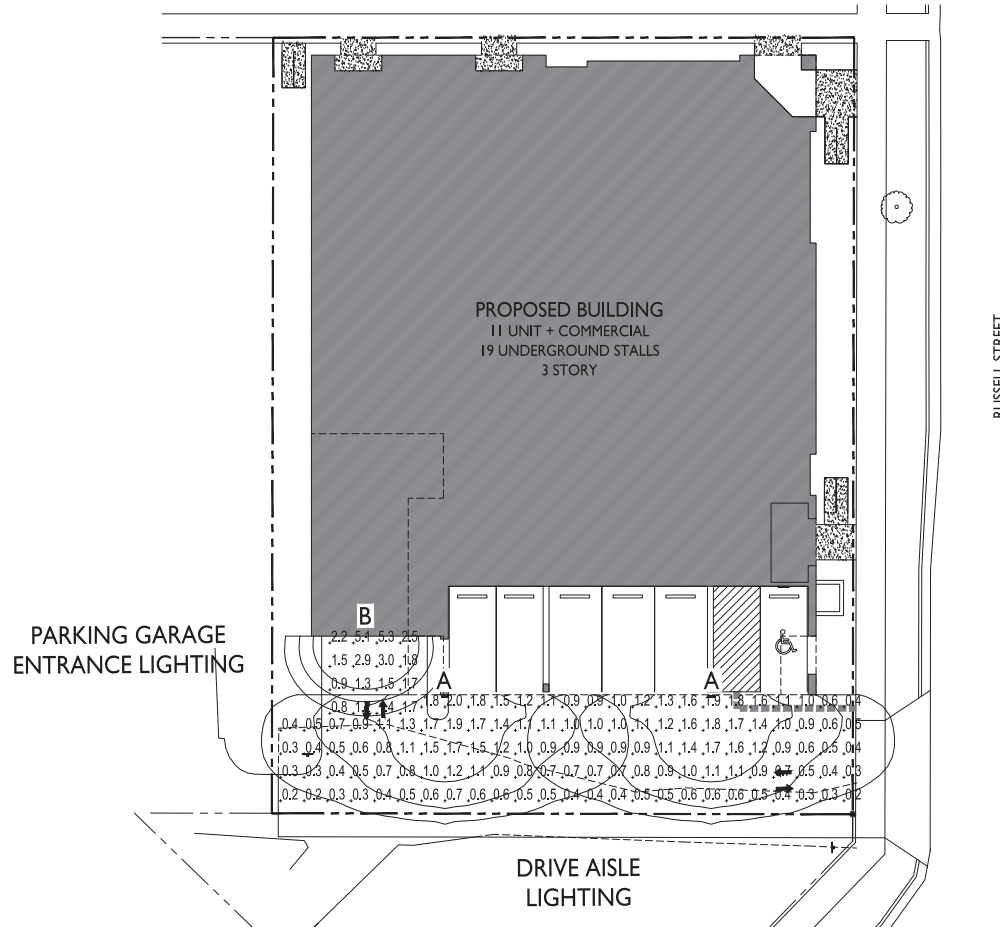
SHEET NUMBER

C-1.1

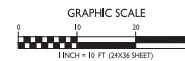
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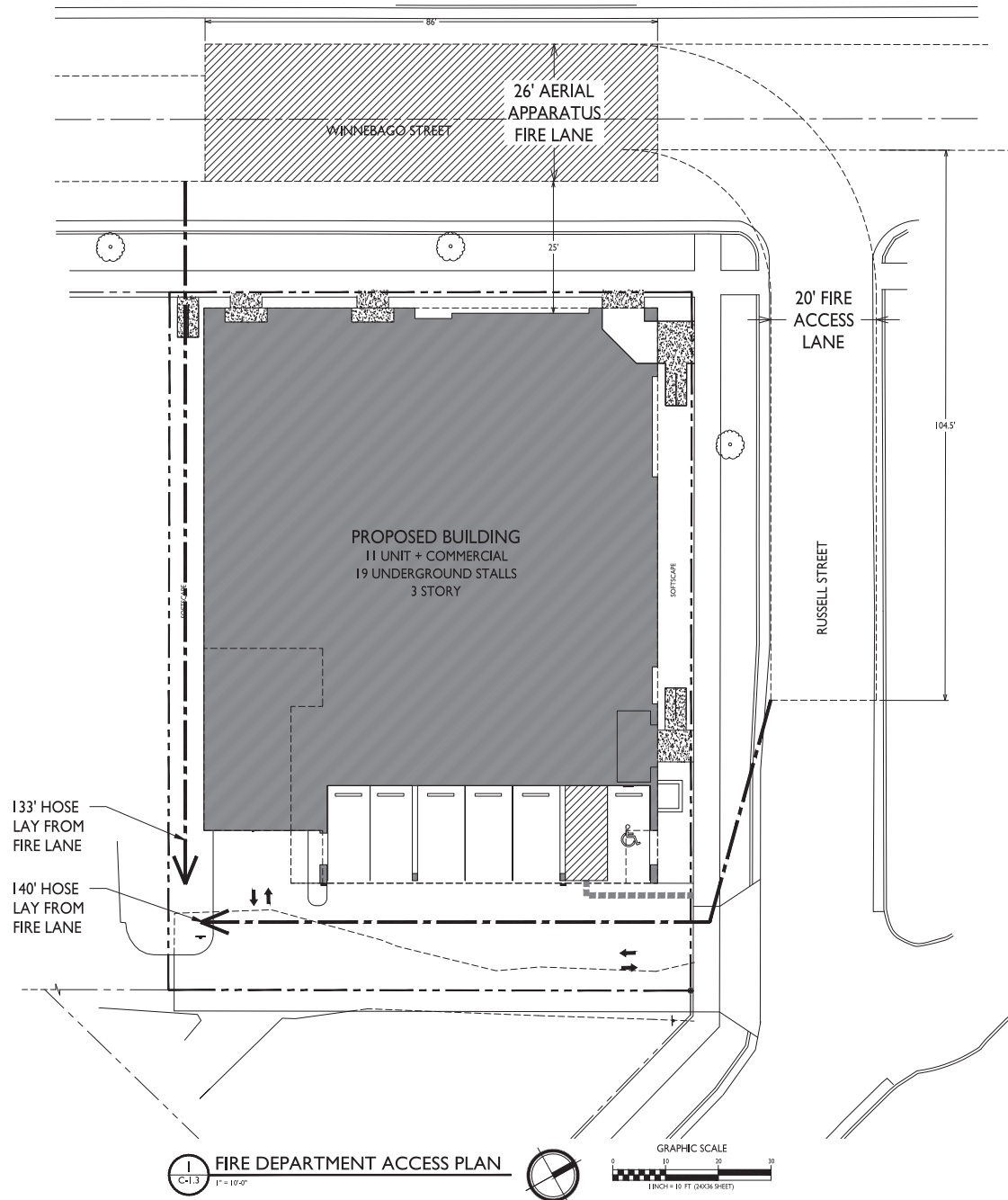
STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Drive Aisle Lighting	+	0.9 fc	2.0 fc	0.2 fc	10.0:1	4.5:1
Parking Garage Entrance Lighting	+	2.2 fc	5.3 fc	0.8 fc	6.6:1	2.8:1

LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE
	A	2	LITHONIA LIGHTING	DSXW1 LED 10C 350 30K T2M MVOLT HS	DSXW1 LED WITH (1) 10 LED LIGHT ENGINE TYPE T2M OPTIC, 3000K, 350 mA WITH HOUSE SIDE SHIELD	DSXW1_LED_10C_350_30K_T2M_MVOLT_HS.ies
	B	1	LITHONIA LIGHTING	LIL LED 30K MVOLT	LIL LED WALLPACK (STANDARD)	LIL_LED_30K_MVOLT.ies
MOUNTING						
						8'-0" ABOVE GRADE ON BUILDING
						10'-0" ABOVE GRADE ON BUILDING
EXAMPLE LIGHT FIXTURE DISTRIBUTION						
<p>ISOLUX CONTOUR = 0.25 FC. ISOLUX CONTOUR = 0.5 FC. ISOLUX CONTOUR = 1.0 FC. LIGHT FIXTURE</p>						

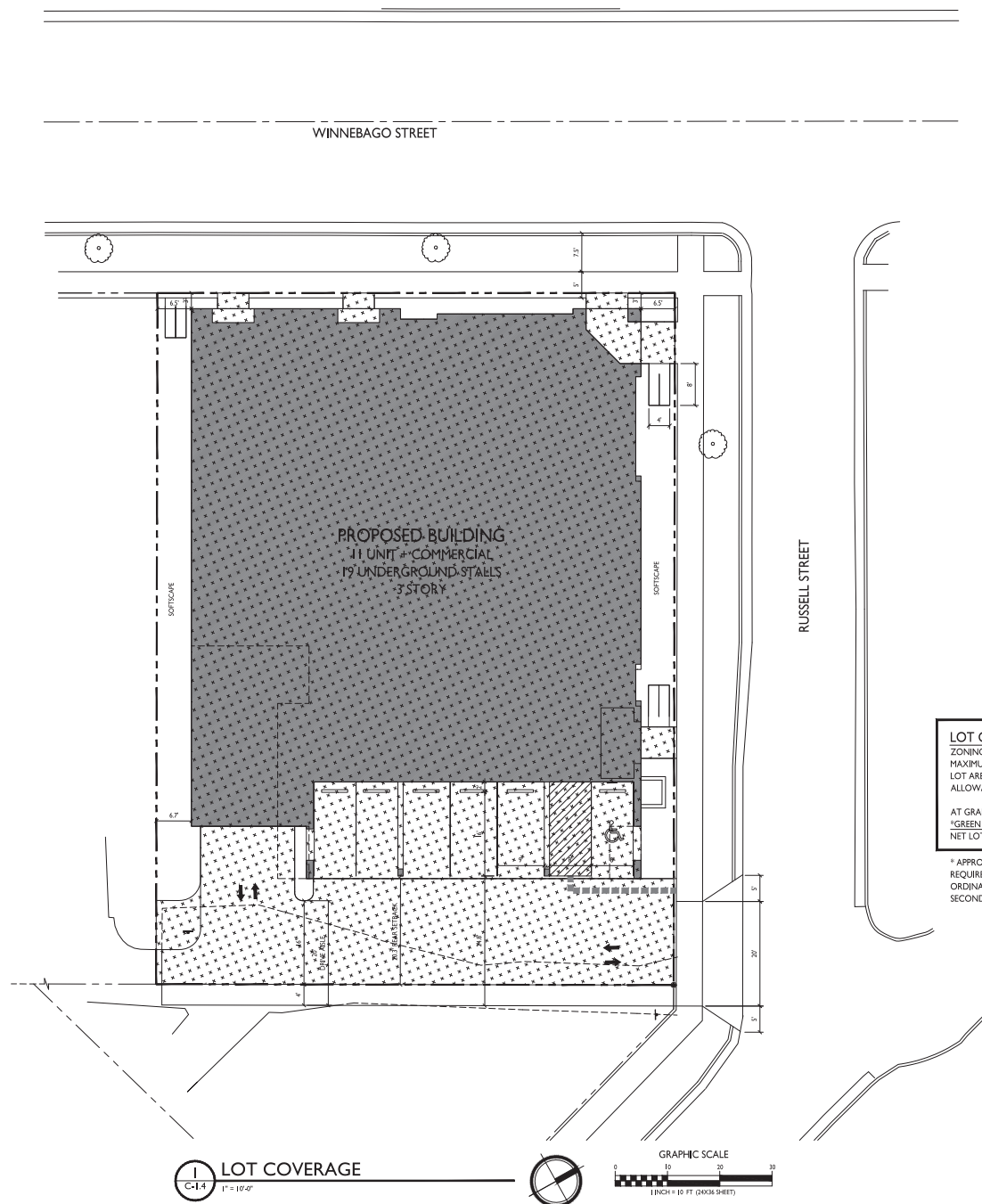


C-I.2 SITE LIGHTING PLAN
1" = 10'-0"



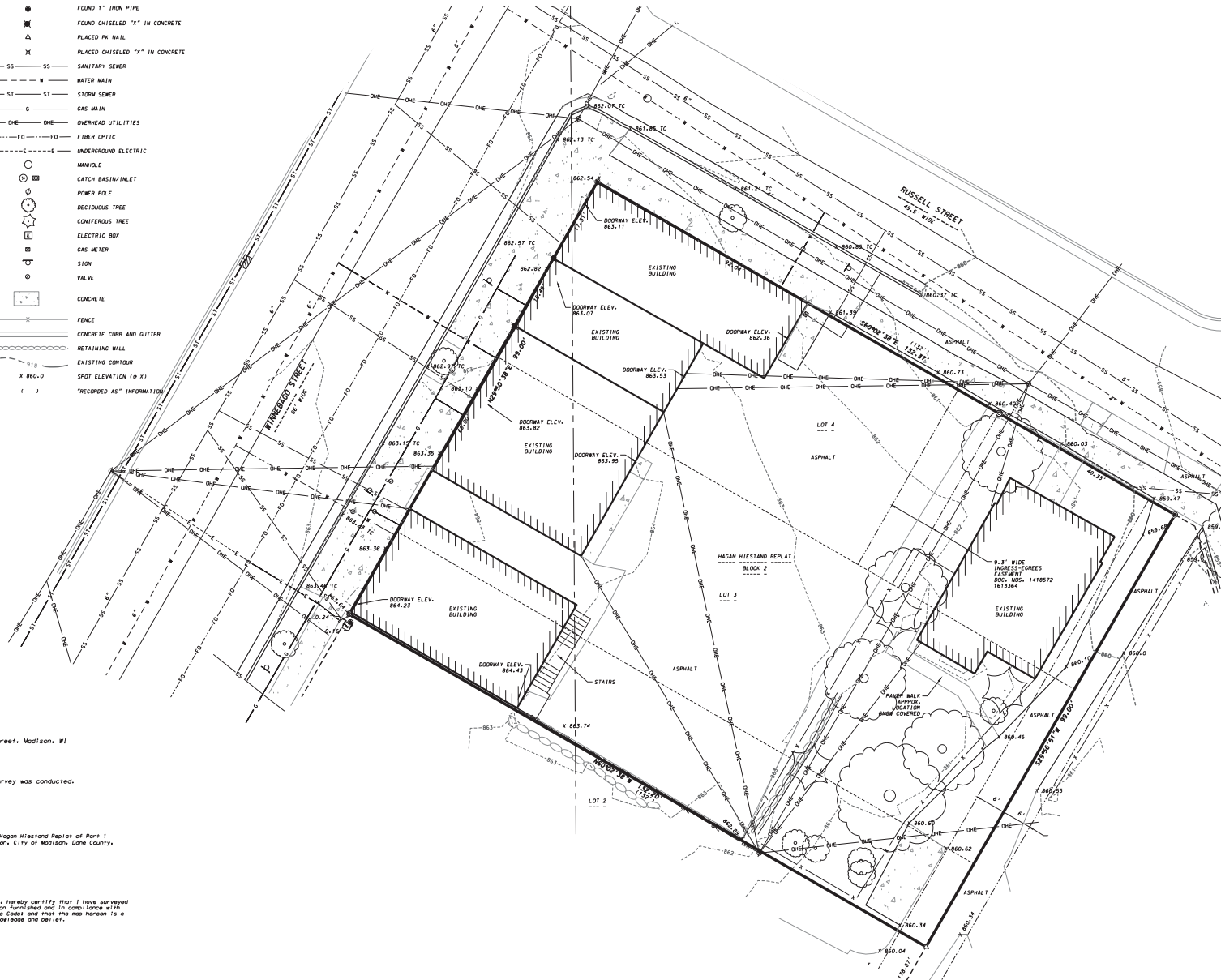


FIRE DEPARTMENT ACCESS PLAN
C-I.3
1" = 10'-0"



LEGEND	
○	FOUND RAILROAD SPIKE
●	FOUND 3/4" REBAR
▲	FOUND PK NAIL
■	FOUND CHISELED "X" IN CONCRETE
△	PLACED PK NAIL
SS	SANITARY SEWER
W	WATER MAIN
ST	STORM SEWER
G	GAS MAIN
OHE	OVERHEAD ELECTRIC
UE	UNDERGROUND ELECTRIC
FO	UNDERGROUND FIBER OPTIC
T	UNDERGROUND TELECOMMUNICATION
□	ELECTRIC TRANSFORMER
□	TELEPHONE PEDESTAL
○	MANHOLE
○	CATCH BASIN/INLET
○	POWER POLE
○	GAS METER
○	VALVE
○	GUARD POST
○	SION
○	PARKING METER
□	CONCRETE
—	FENCE
—	CONCRETE CURB AND GUTTER
—	EXISTING CONTOUR
X 860.0	SPOT ELEVATION (8 X 1)
()	"RECORDED AS" INFORMATION

LEGEND	
●	FOUND 1" IRON PIPE
■	FOUND CHISELED "X" IN CONCRETE
△	PLACED PK NAIL
■	PLACED CHISELED "X" IN CONCRETE
SS	SANITARY SEWER
ST	STORM SEWER
G	GAS MAIN
OHE	OVERHEAD UTILITIES
FO	FIBER OPTIC
UE	UNDERGROUND ELECTRIC
○	MANHOLE
○	CATCH BASIN/INLET
○	POWER POLE
○	DECIDUOUS TREE
○	CONIFEROUS TREE
○	ELECTRIC BOX
○	GAS METER
○	SION
○	VALVE
□	CONCRETE
—	FENCE
—	CONCRETE CURB AND GUTTER
—	RETAINING WALL
—	EXISTING CONTOUR
X 860.0	SPOT ELEVATION (8 X 1)
()	"RECORDED AS" INFORMATION



- NOTES**
1. Surveyed for: MM Real Estate, 1947 Winnnebago Street, Madison, WI
 2. Acre: 13,096 square feet (0.301 acres).
 3. Field work was completed on February 25, 2020.
 4. Site was snow and ice covered at the time the survey was conducted. All features may not be shown.

LEGAL DESCRIPTION
 The Northeast 19 feet of Lot 2 and Lots 3 and 4, Block 2, Hagan Westland Replat of Part 1 and land adjoining Forest's Addition to the City of Madison, Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE
 I, Brett T. Staffegren, Professional Land Surveyor, S-2742, hereby certify that I have surveyed and mapped the above property in accordance with the information furnished and in compliance with the requirements of Chapter A-E, Wisconsin Administrative Code and that the map herein is a correct representation of such survey to the best of my knowledge and belief.

Dated this _____ day of _____, 2020.

Brett T. Staffegren, Professional Land Surveyor, S-2742

JORGENSEN WINNEBAGO
 PRELIMINARY ENGINEERING PLANS

EXISTING CONDITIONS



SCALE: 1" = 20'
 (PAGE SIZE: 11x17)

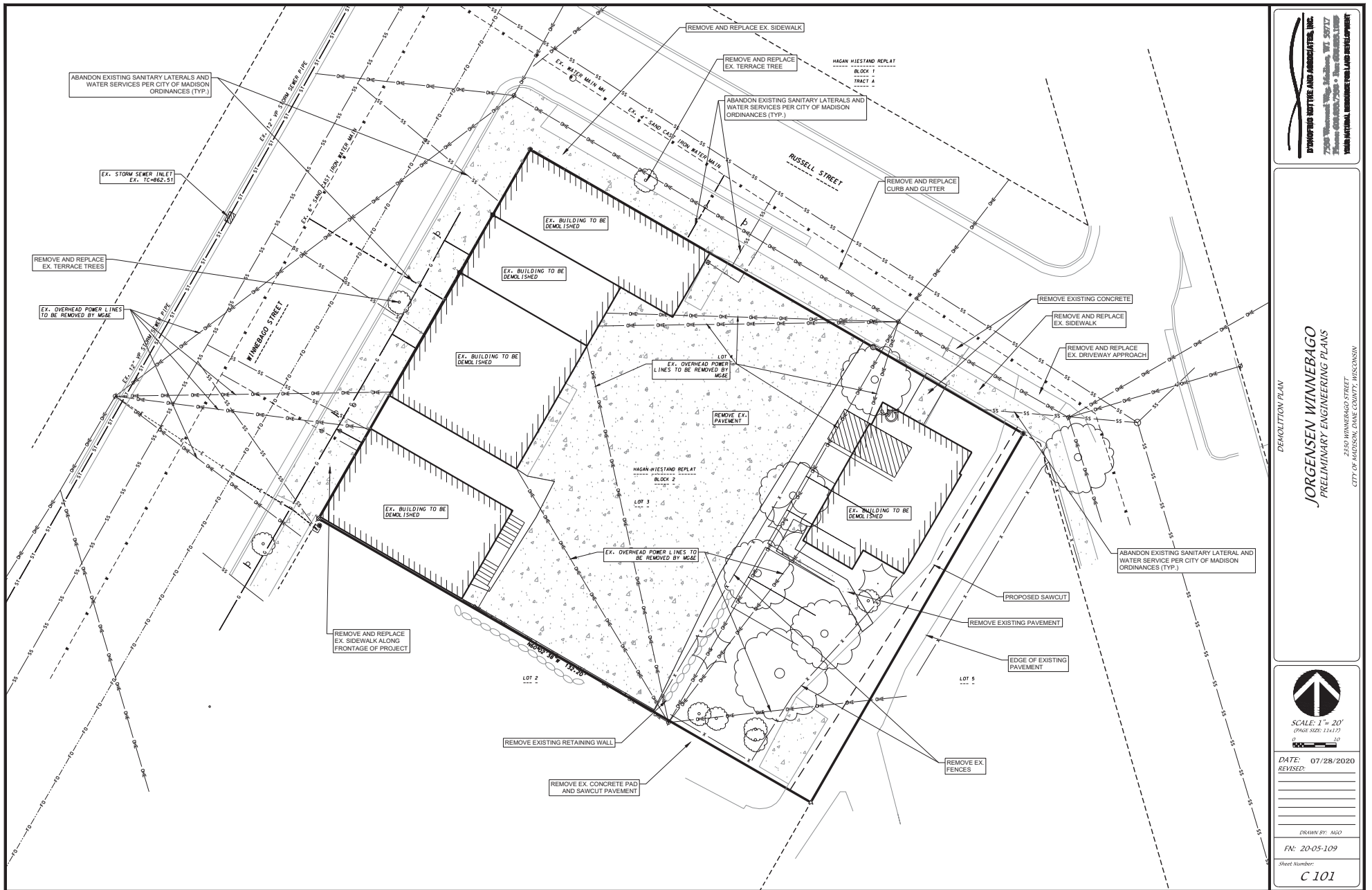
DATE: 05/06/2020
 REVISED:

DRAWN BY: NGD

FN: 20-05-109

Sheet Number:

C 100



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 7500 Wisconsin Ave., Madison, WI 53717
 Phone: 608.261.7200 • Fax: 608.261.1000
 WWW.JORGENSEN-ENGINEERING.COM

JORGENSEN WINNEBAGO
 PRELIMINARY ENGINEERING PLANS

2330 WINNEBAGO STREET
 CITY OF MADISON, DANE COUNTY, WISCONSIN

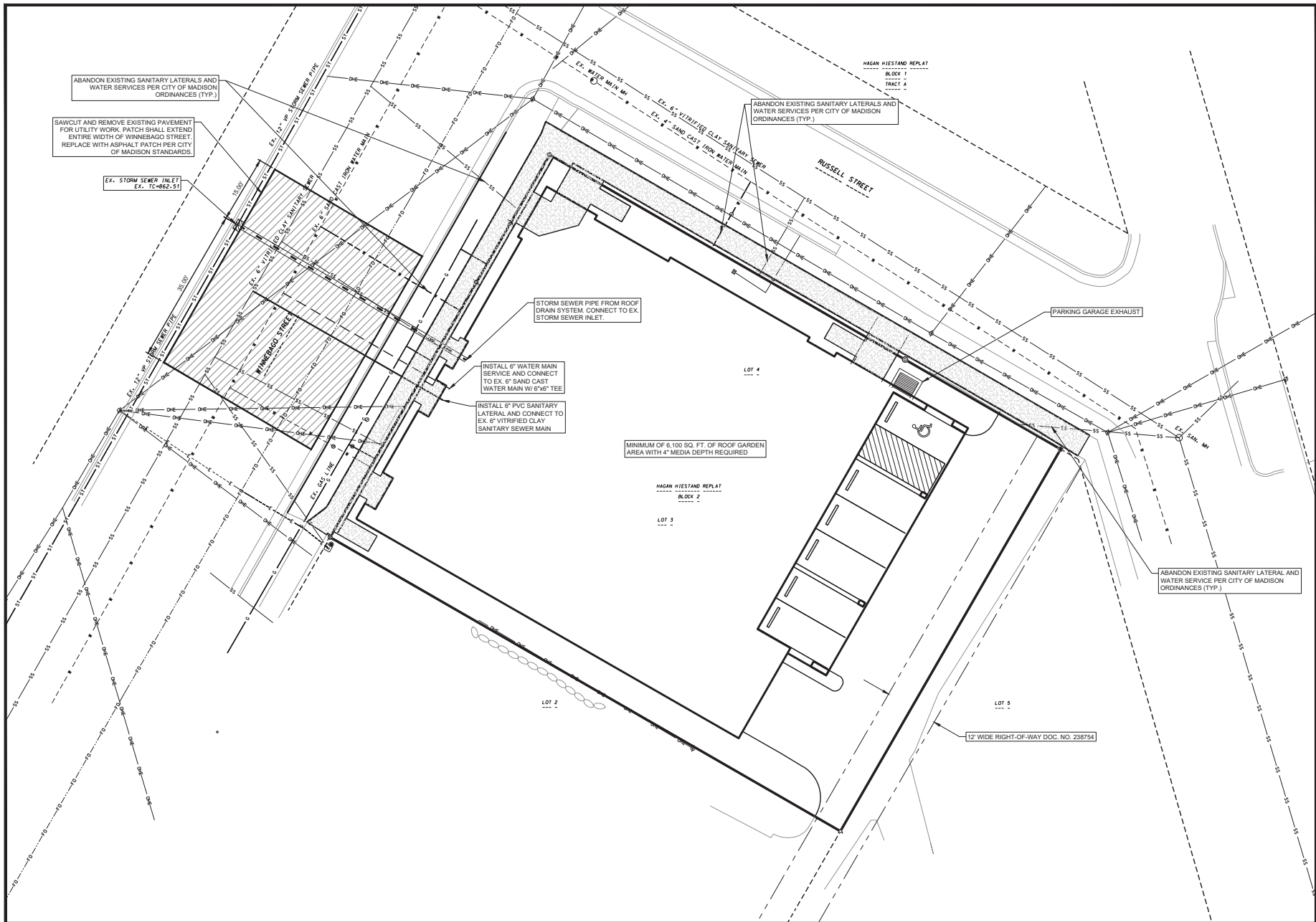


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JORGENSEN WINNEBAGO
 PRELIMINARY ENGINEERING PLANS

2330 WINNEBAGO STREET
 CITY OF MADISON, DANE COUNTY, WISCONSIN

UTILITY PLAN

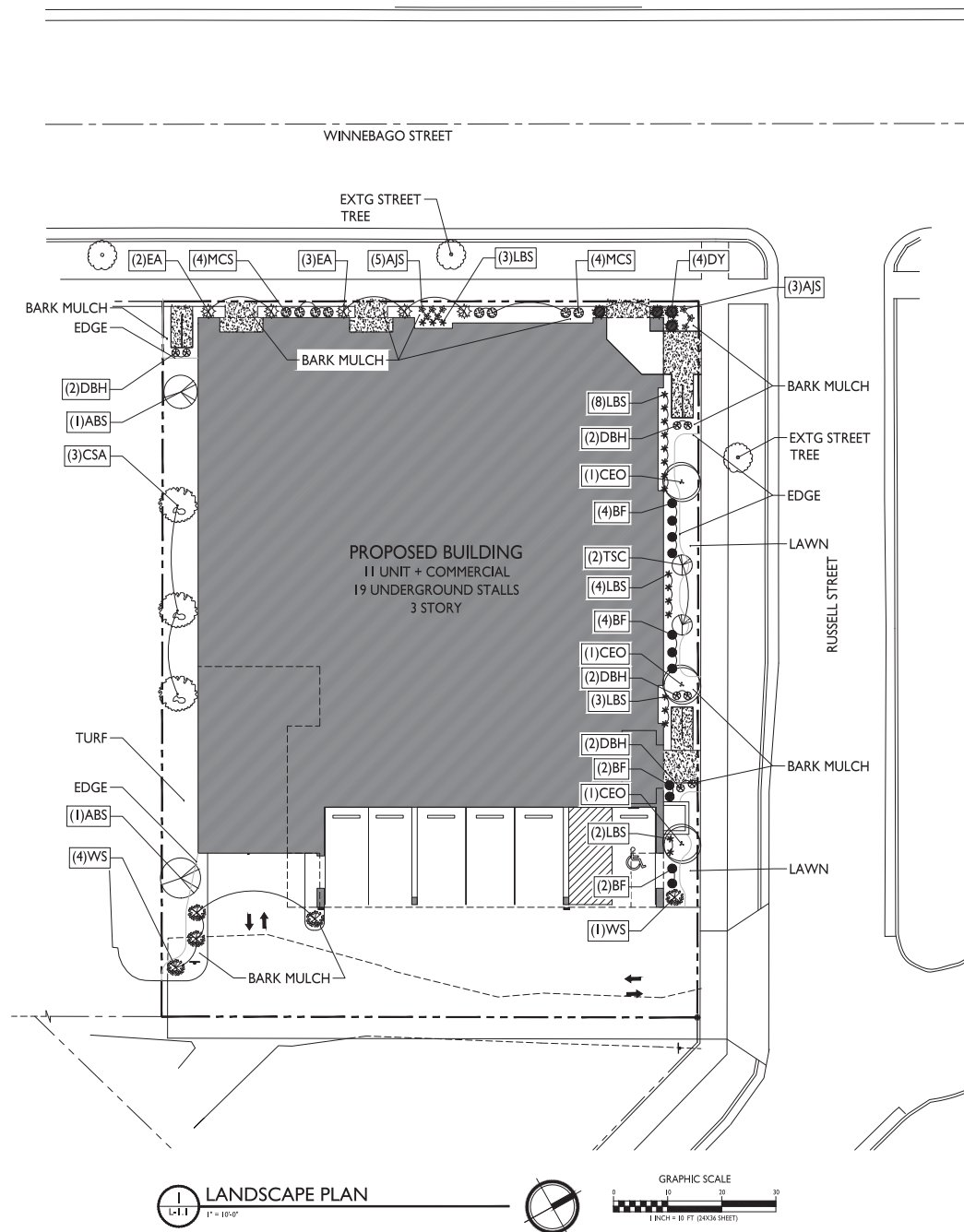


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DATE: 07/28/2020
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Sheet Number:
C 103



LANDSCAPE PLAN
1" = 10'-0"



LANDSCAPE WORKSHEET

Landscape Points Required

Developed Area = 2,439/300 x 5 = 33 points

Total Landscape Points Required 33 points

Landscape Points Supplied

Existing canopy trees - 0 @ 35 = 0 points
Proposed canopy trees - 0 @ 35 = 210 points
Existing evergreen trees - 0 @ 35 = 0 points
Proposed evergreen trees - 0 @ 35 = 0 points
Existing ornamental trees - 0 @ 15 = 0 points
Proposed ornamental trees - 4 @ 15 = 60 points
Existing upright evergreen shrubs - 0 @ 10 = 0 points
Proposed upright evergreen shrubs - 5 @ 10 = 50 points
Existing deciduous shrubs - 0 @ 3 = 0 points
Proposed deciduous shrubs - 43 @ 3 = 129 points
Existing evergreen shrubs - 0 @ 4 = 0 points
Proposed evergreen shrubs - 4 @ 4 = 16 points
Existing perennials & grasses 0 @ 2 = 0 points
Proposed perennials & grasses 28 @ 2 = 56 points

Total landscape points supplied = 521 points

Lot Frontage Landscape Required

(Section 28.142(5) Development Frontage Landscaping)

"One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree."

Winnebago Street = 99 LF

(Not Applicable - Zero lot line - no planting areas along lot frontage.)

Russell Street = 132 LF

Over story trees required 132/30' = 4.4
Shrubs required (470/30') x 5 = 78.3

Over story trees supplied 4 trees
Ornamental/Evergreen trees supplied 22 shrubs
Shrubs supplied 3 trees
2 trees
22 shrubs

PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
(6)	3	2 1/2"	Canopy Trees	
			Columnar Swedish Aspen	BB
CEO	3	2 1/2"	Columnar English Oak	BB
(3)	2	5'	Ornamental Trees	
			Autumn Brilliance Serviceberry	BB
TSC	2	2'	Tina Sargent Crab	BB
(5)	5	5'	Upright Evergreen Shrubs	
			Emerald Arborvitae	BB
(43)	10	24"	Deciduous Shrubs	
			Black Chokeberry	Pot
BF	12	18"	Bronx Forsythia	Pot
			Dwarf Bush Honeysuckle	Pot
DBH	8	18"	Magic Carpet Spirea	Pot
			White Snowberry	Pot
WS	5	24"		
(4)	4	24"	Evergreen Shrubs	
			Densiform Yew	Pot
(28)	8	1 G	Perennials	
			Autumn Joy Sedum	Con
LBS	20	1 G	Little Bluestem Grass	Con

NOTES:

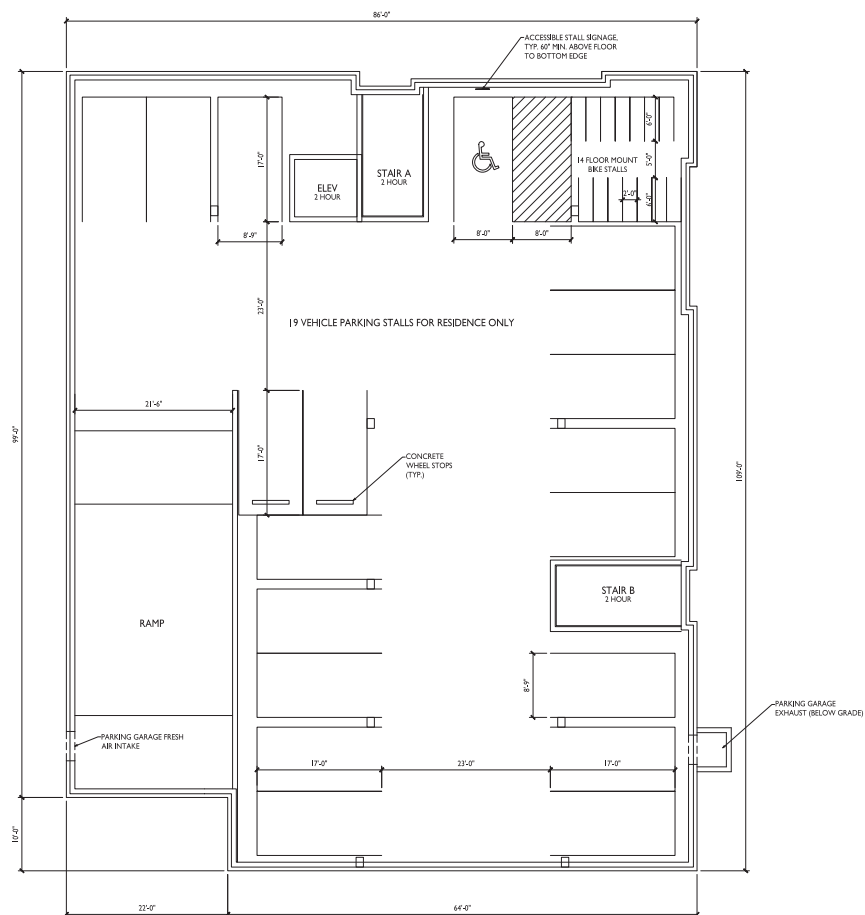
- 1) Lawn areas and existing lawn areas shall receive a minimum of 4" of topsoil, seed (Madison Parks mix), starter fertilizer, and mulch (straw or straw mat).
- 2) New turf areas shall receive a minimum of 4" of topsoil, seed (no mow turf mix), starter fertilizer, and mulch (straw or straw mat).
- 3) Designated planting beds to be mulched with #2 shredded hardwood bark spread to a depth of 3".
- 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3".
- 5) Designated planting beds to be separated from lawn areas with 5" black vinyl edging.



1949 WINNEBAGO ST.
SHEET TITLE
**Basement Floor
Plan**

A-1.0

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BASEMENT FLOOR PLAN



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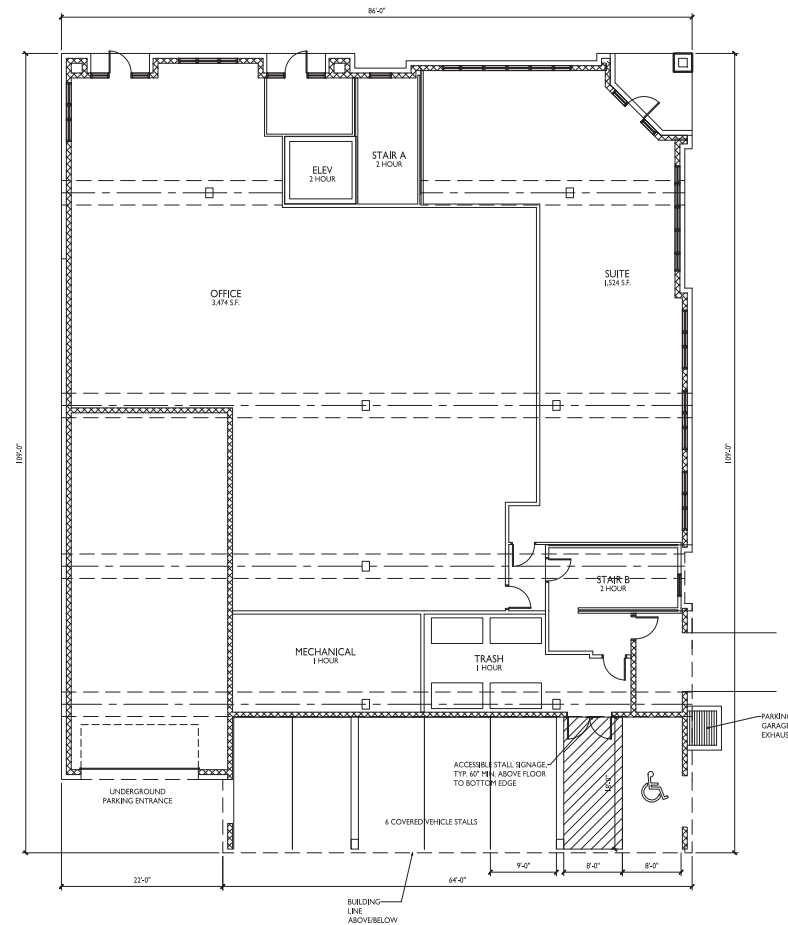
PROJECT TITLE
**WINNRUSS
WINNEBAGO
MIXED-USE**

1949 WINNEBAGO ST.
SHEET TITLE
First Floor Plan

SHEET NUMBER

A-1.1

PROJECT NO. **2005**
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FIRST FLOOR PLAN

1/8" = 1'-0"



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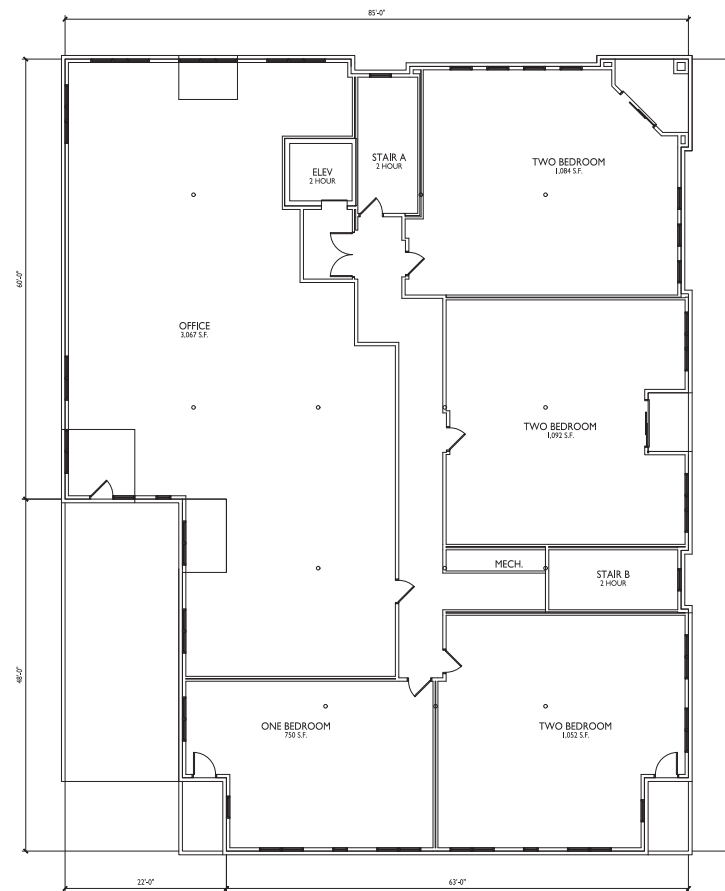
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WINNRUSS
WINNEBAGO
MIXED-USE

1949 WINNEBAGO ST.
SHEET TITLE
Second Floor Plan

SHEET NUMBER

A-1.2

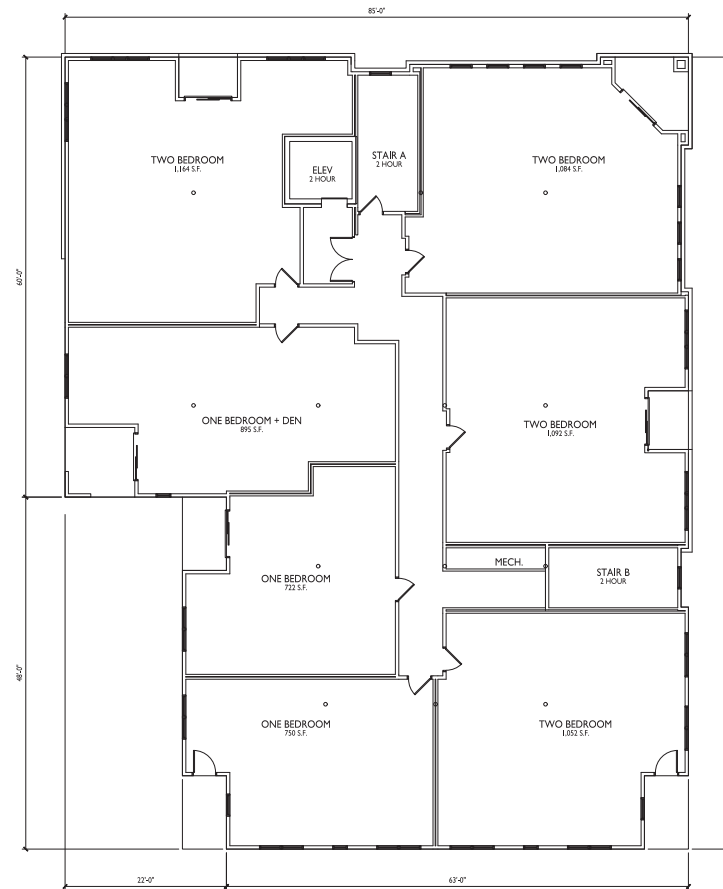
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SECOND FLOOR PLAN

1/8" = 1'-0"





THIRD FLOOR PLAN
1/8" = 1'-0"

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PROJECT TITLE
**WINNRUSS
WINNEBAGO
MIXED-USE**

1949 WINNEBAGO ST.
SHEET TITLE
Third Floor Plan

SHEET NUMBER

A-1.3

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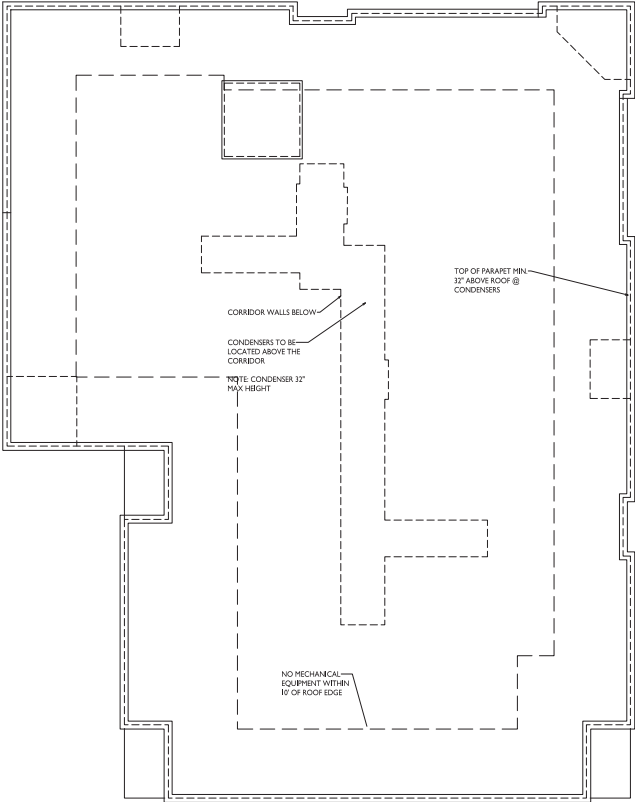
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PROJECT TITLE
WINNRUSS
WINNEBAGO
MIXED-USE

1949 WINNEBAGO ST.
SHEET TITLE
Roof Plan

SHEET NUMBER

A-1.4
PROJECT NO. 2005
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1 ROOF FLOOR PLAN
A-1.4 1/8" = 1'-0"





1 NorthEast
 A-2.1 1/8" = 1'-0"



2 NorthWest
 A-2.1 1/8" = 1'-0"

PROJECT TITLE
**WINNRUSS
 WINNEBAGO
 MIXED-USE**

1949 Winnebago
 Street Madison,
 Wisconsin 53704

SHEET TITLE
**EXTERIOR
 ELEVATIONS**

SHEET NUMBER

A-2.1

PROJECT NUMBER **2005**
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1 SouthEast
A-2.2 1/8" = 1'-0"



2 SouthWest
A-2.2 1/8" = 1'-0"

PROJECT TITLE
**WINNRUSS
WINNEBAGO
MIXED-USE**

1949 Winnebago
Street Madison,
Wisconsin 53704

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.2

PROJECT NUMBER 2005
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1 Colored - NorthEast
A-2.3 1/8" = 1'-0"



2 Colored - NorthWest
A-2.3 1/8" = 1'-0"

PROJECT TITLE
**WINNRUSS
WINNEBAGO
MIXED-USE**

1949 Winnebago
Street Madison,
Wisconsin 53704

SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLORED**

SHEET NUMBER

A-2.3

PROJECT NUMBER **2005**
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1 Colored - SouthEast
A-2.4 1/8" = 1'-0"



2 Colored - SouthWest
A-2.4 1/8" = 1'-0"

PROJECT TITLE
**WINNRUSS
WINNEBAGO
MIXED-USE**

1949 Winnebago
Street Madison,
Wisconsin 53704

SHEET TITLE
**EXTERIOR
ELEVATIONS -
COLORED**

SHEET NUMBER

A-2.4

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WINNRUSS WINNEBAGO MIXED-USE

1949 Winnebago Street Madison, Wisconsin 53704

RENDERS

A-3.1





WINNRUSS WINNEBAGO MIXED-USE

1949 Winnebago Street Madison, Wisconsin 53704

RENDERS

A-3.2





WINNRUSS WINNEBAGO MIXED-USE

1949 Winnebago Street Madison, Wisconsin 53704

RENDERS

A-3.3





WINNRUSS WINNEBAGO MIXED-USE

1949 Winnebago Street Madison, Wisconsin 53704

RENDERS

A-3.4





WINNRUSS WINNEBAGO MIXED-USE

1949 Winnebago Street Madison, Wisconsin 53704

RENDERS

A-3.5





WINNRUSS WINNEBAGO MIXED-USE

1949 Winnebago Street Madison, Wisconsin 53704

RENDERS

A-3.6





WINNRUSS WINNEBAGO MIXED-USE

1949 Winnebago Street Madison, Wisconsin 53704

RENDERS

A-3.7

