URBAN DESIGN COMMISSION APPLICATION



City of Madison **Planning Division** Madison Municipal Building, Suite 017 215 Martin Luther King, Jr. Blvd. P.O. Box 2985



Paid Receipt # Date received Received by _____ Aldermanic District _____ RECEIVED Zoning District ____ Urban Design District ____ Submittal reviewed by Legistar #

City/State/Zip _____

FOR OFFICE USE ONLY:

Madison, WI 53701-2985 (608) 266-4635 Complete all sections of this application, including the desired meeting date and the action requested. If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately. 1. Project Information Address: _____ 2. Application Type (check all that apply) and Requested Date UDC meeting date requested _____ Alteration to an existing or previously-approved development New development Informational Final approval Initial approval 3. Project Type Project in an Urban Design District Signage Project in the Downtown Core District (DC), Urban Comprehensive Design Review (CDR) Mixed-Use District (UMX), or Mixed-Use Center District (MXC) Signage Variance (i.e. modification of signage height, Project in the Suburban Employment Center District (SEC), area, and setback) Campus Institutional District (CI), or Employment Campus Signage Exception District (EC) Planned Development (PD) Other General Development Plan (GDP) Please specify Specific Implementation Plan (SIP) Planned Multi-Use Site or Residential Building Complex 4. Applicant, Agent, and Property Owner Information Company _____ Applicant name City/State/Zip _____ Street address Telephone Project contact person _____ Company _____ Street address City/State/Zip _____ Telephone Property owner (if not applicant)

Email

Street address

Telephone

Each submittal must include

fourteen (14) 11" x 17" collated

paper copies. Landscape and

Lighting plans (if required)

must be full-sized and legible.

Please refrain from using

plastic covers or spiral binding.

5. Required Submittal Materials

Application Form

Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development Plans (Refer to checklist on Page 4 for plan details)

Filing fee

Electronic Submittal*

Notification to the District Alder

• Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Both the paper copies and electronic copies <u>must</u> be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

6. Ap	plicant Declarations			
1.	Prior to submitting this application Commission staff. This application	·	discuss the proposed project	t with Urban Design on
2.	The applicant attests that all required is not provided by the application consideration.		•	•
Name	of applicant	Relati	onship to property	
Autho	orizing signature of property owner _	Led Willes	Date	

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development
 Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

URBAN DESIGN COMMISSION APPROVAL PROCESS



Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the
 UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants
 should provide details on the context of the site, design concept, site and building plans, and other relevant information
 to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- <u>Initial Approval</u>. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. Applicants/presenters are responsible for all presentation materials, AV equipment and easels.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST



The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informa	tional Presentation						
	Locator Map)		Requirem	ents for All Plan Sheets		
	Letter of Intent (If the project is within			1. Title	block		
	an Urban Design District, a summary of how the development proposal addresses			2. Shee	et number		
	the district criteria is required)		Providing additional	3. Nort	th arrow		
	Contextual site information, including	Ţ	information beyond these minimums may generate		e, both written and graphic		
	photographs and layout of adjacent		a greater level of feedback	5. Date			
	buildings/structures Site Plan		from the Commission.		dimensioned plans, scaled '= 40' or larger		
	Two-dimensional (2D) images of				ns must be legible, including		
	proposed buildings or structures.	J		plans (if re	zed landscape and lighting quired)		
2. Initial A	pproval						
	Locator Map)			
	Letter of Intent (If the project is within a the development proposal addresses the			of <u>how</u>			
	Contextual site information, including ph structures	otog	raphs and layout of adjacent bu	uildings/	Providing additional information beyond these		
	information beyond						
	a greater rever of recase						
	Building Elevations in both black & white and color for all building sides (include material callouts)						
	PD text and Letter of Intent (if applicable	<u>:</u>)		J			
3. Final Ap	proval						
All the r	equirements of the Initial Approval (see al	oove), <u>plus</u> :				
	Grading Plan						
	Proposed Signage (if applicable)						
	Lighting Plan, including fixture cut sheet	s and	I photometrics plan (must be le	egible)			
	Utility/HVAC equipment location and scr	eeni	ng details (with a rooftop plan	if roof-mou	inted)		
	PD text and Letter of Intent (if applicable	,)					
	Samples of the exterior building materia	ls (pr	resented at the UDC meeting)				
4. Compre	hensive Design Review (CDR) and Varia	nce	Requests (<i>Signage applicatio</i>	ons only)			
	Locator Map						
	Letter of Intent (a summary of how the prop	posec	d signage is consistent with the CI	OR or Signage	e Variance criteria is required)		
	Contextual site information, including photographs of existing signage both on site and within proximity to the project site						
	Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks driveways, and right-of-ways						
	Proposed signage graphics (fully dimens	ione	d, scaled drawings, including m	naterials and	d colors, and night view)		
	Perspective renderings (emphasis on per	destr	ian/automobile scale viewshed	ds)			
	Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.						
	Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit						



September 03, 2020

Tim Parks
Department of Planning & Development
126 S. Hamilton Street
Madison, WI 53703

Re: Letter of Intent

2161 Rimrock Road – Alteration of Existing Conditional Use

Dear Tim:

This is our Letter of Intent (Minor Alteration of Existing Conditional Use) for the property located at 2161 Rimrock Road. The owner, Madison Rimrock Retail Investors, LLC is planning to develop a new retail building at this location. The lot is currently vacant, and demolition of existing structures will not be required.

The total gross area of the new building is 2,365 sf. The lot area is 62,726 sf (or 1.44 acres).

Total Parking/Bicycle Stalls will be as follows:

Parcel 1 (Retail Parcel along Rimrock Road)

Small Car Parking: 0

Large Car Parking: 61 (51 existing)
Accessible Parking: 4 (2 existing)

Bicycle Stall: 12 (8 Existing) Total Parcel 1 Parking: 65 (53 existing)

Parcel 2 (Hotel – Completed)

Small Car Parking: 28 Large Car Parking: 112 Accessible Parking: 5

Bicycle Stall: 16

Total Parcel 2 Parking: 145

Parcel 3 (DOR Overflow Lot - Completed)

Small Car Parking: 0 Large Car Parking: 24 Accessible Parking: 0

Bicycle Stall: 0

Total Parcel 3 Parking: 24

Total Site Parking

Small Car Parking: 28 Large Car Parking: 192 Accessible Parking: 5

Bicycle Stall: 22

Total Site Car Parking: 225

All maintenance, including trash and snow removal, will be provided by private contract.

The hotel hours of operation will be 24 hours a day/365 days a year, the retail and restaurant hours of operation are anticipated to be no more than from 5AM to 1AM. Building A's use is a restaurant and will include an outdoor seating area with approximately 105 seats & 3,300 square feet. Building B's proposed use will be a coffee shop and will include an outdoor seating area with approximately 10 seats and 100 square feet. Building B will also include a drive through lane. The drive through lane will comply with all applicable City of Madison drive through requirements and restrictions.

The number of construction jobs created as a result of this new development will be 30 and the number of full-time equivalent jobs created is approximately 15 FTE.

The hotel construction was completed in 2019. The restaurant construction was finished in June 2020. The retail coffee shop construction will continue upon the completion of the hotel and restaurant and be complete in 2021.

The Development Team includes the following:

Construction

Manager: Tri-North Builders

2625 Research Park Drive Fitchburg, WI 53711 Phone: 608-204-7267

Principal Contact: Ryan Huenink

rhuenink@tri-north.com

Applicant/Owner: Madison Rimrock Retail Investors, LLC

c/o North Central Group

1600 Aspen Commons, Suite 200

Middleton, WI 53562 Phone: 608-807-6302

Principal Contact: Erik Sande esande@ncghotels.com

Architect: GBA

2248 Deming Way, Suite 120

Middleton, WI 53562 Phone: 608-829-1750 Fax: 608-829-3056

Principal Contact: Josh Wilcox josh.wilcox@garybrink.com

Civil/Landscape: Pinnacle Engineering Group

20725 Watertown Road, Suite 100

Brookfield, WI 53186 Phone: 262-754-8792

Principal Contact: Mark Seidl mseidl@pinnacle-engr.com

Please refer to the attached plans for additional information.

Sincerely,

Josh Wilcox Partner

Jul William

PROPOSED Starbucks

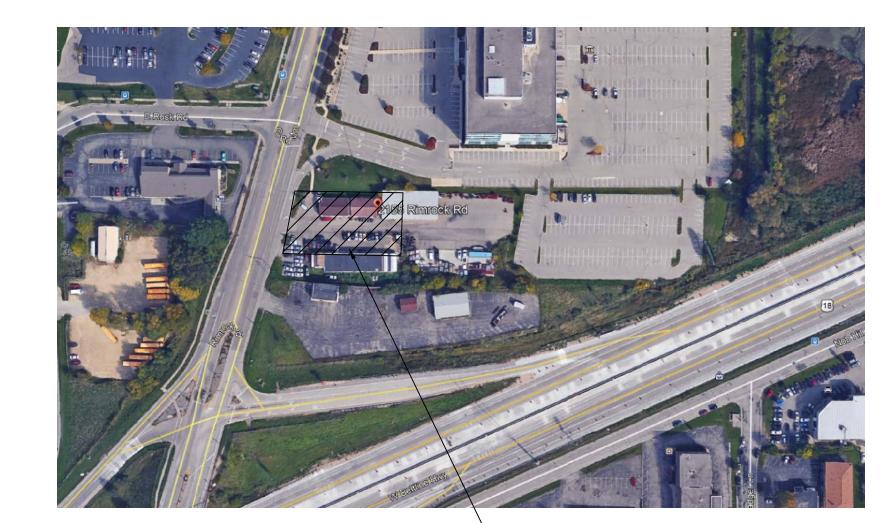
2143 Rimrock Road Madison, Wisconsin

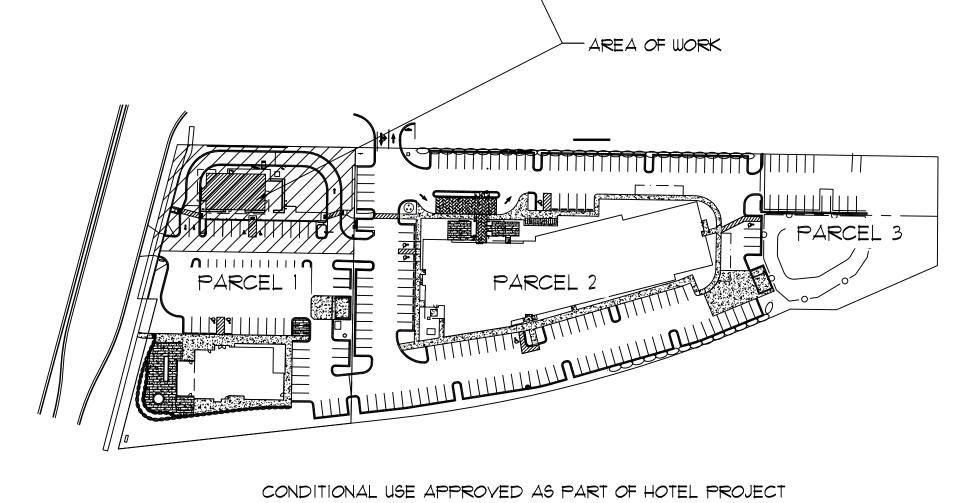
MINOR ALTERATION OF CONDITIONAL USE Sept 03, 2020

PROJECT BUILDING & PARKING MATRIX

Building	Square Footage										
A (Completed)	5,733	5,733									
В	2,365	2,365									
	Parking Stalls (Previously Approved Hotel)										
ACC-Parking Stalls	5		140		145						
	Parking Stalls (Parcel #1)										
ACC-Parking Stalls	4		61		65						
Site Information							Area Total				
By Parcels	Parcel #1	1.44 acres	Parcel #2	2.72 acres	Parcel #3	.28 acres	3. acres				

PROJECT LOCATION MAP





LEGISTAR #49924, 50223 & 55596 (LNDUSE 2018-00001)

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L1 LANDSCAPE PLAN
L2 LANDSCAPE WORKSHEET

LIGHTING DRAWINGS

E101 SITE LIGHTING PLAN E102 SITE LIGHTING DETAILS

ARCHITECTURAL DRAWINGS

A2.01 FLOOR PLAN, ROOF PLAN, & BUILDING SECTION A6.01 BUILDING ELEVATIONS AND RENDERINGS

Tri-North BUILD SMART.

TRI-NORTH BUILDERS2625 RESEARCH PARK DR.

CONSTRUCTION MANAGER:

FITCHBURG. WISCONSIN 53711 PHONE: (608) 204-7267

EMAIL: RHUENINK@TRI-NORTH.COM

CONTACT: RYAN HUENINK



APPLICANT/OWNER:

MADISON RIMROCK RETAIL INVESTORS, LLC NORTH CENTRAL GROUP

1600 ASPEN COMMONS, SUITE 200 MIDDLETON. WISCONSIN 53562 PHONE: (608) 807-6302

EMAIL: ESANDE@NCGHOTELS.COM

CONTACT: ERIK SANDE

CIVIL ENGINEER

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WISCONSIN 53186 PHONE: (262) 754-8792

EMAIL: MSEIDL@PINNACLE-ENGR.COM

CONTACT: MARK SEIDL

2248 DEMING WAY. STE. 120 MIDDLETON, WI 53562 (608) 829-1750 (608) 829-3056 (FAX)

STARBUCKS (87644-001)
RIMROCK ROAD
MADISON, WI 53713
CLIENT:
RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 54562

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PROJECT: 202018

DRAWN BY: DSD

DATE:

SCALE: AS NOTED

SCALE: AS NOTED

CITY SUBMITTAL Ø9-03-2020

TITLE BLOCK

T-1

A ARCHIT

ARCHITECT:

GBA ARCHITECTURE & DESIGN

2248 DEMING WAY, SUITE 120 MIDDLETON. WISCONSIN 53562 PHONE: (608) 829-1750

EMAIL: JOSH.WILCOX@GARYBRINK.COM

CONTACT: JOSH WILCOX

LLGLINL		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	S	•
STORM SEWER MANHOLE	(37)	•
STORM SEWER CATCH BASIN (ROUND CASTING)	0	•
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		
PRECAST FLARED END SECTION	\triangleleft	•
CONCRETE HEADWALL	<	<
VALVE BOX	\bowtie	
FIRE HYDRANT	α	⋖
CLEANOUT	0	•
SANITARY SEWER —	\longrightarrow	
FORCE MAIN —	__	
STORM SEWER —		
DRAIN TILE —		
WATER MAIN —	— w —	— w —
FIRE PROTECTION		—— FP —
ELECTRICAL CABLE —	—— E——	——————————————————————————————————————
OVERHEAD WIRES —	—— OHW ———	IOHWI
GAS MAIN —	—— G ———	IGI
TELEPHONE LINE —	T	—— Т ——
UTILITY CROSSING		XX
CAUTION EXISTING UTILITIES NEARBY		 <u>Caution</u>
GRANULAR TRENCH BACKFILL		
LIGHTING	\rightleftharpoons	•
	• 💢	
ELECTRICAL TRANSFORMER OR PEDESTAL	TF	T
POWER POLE	-0-	-
POWER POLE WITH LIGHT	\Rightarrow	*
GUY WIRE	-•	
STREET SIGN	Þ	þ
CONTOUR	<i>─</i> 749 <i>─ ─</i>	749
SPOT ELEVATION	×(750.00)	+ 750.00
WETLANDS —	WET	
PRIMARY ENVIRONMENTAL CORRIDOR —	PEC-	
FLOODWAY		·
FLOODPLAIN —		
HIGH WATER LEVEL (HWL)	•••	
NORMAL WATER LEVEL (NWL)		
DIRECTION OF SURFACE FLOW		GRASS PAVEME
DITCH OR SWALE —	→ — → —	-
DIVERSION SWALE		$\rightarrow \rightarrow \rightarrow \rightarrow \rightarrow$
OVERFLOW RELIEF ROUTING	\Box	\Box
TREE WITH TRUNK SIZE	6" 6"	V
SOIL BORING	B-0	-
TOPSOIL PROBE		↓ T-1
FENCE LINE, TEMPORARY SILT —	SF	SF
FENCE LINE, WIRE —	X	X
FENCE LINE, CHAIN LINK OR IRON —	O	<u> </u>
FENCE LINE, WOOD OR PLASTIC —		
CONCRETE SIDEWALK		
CURB AND GUTTER ==		
DEPRESSED CURB =		
REVERSE PITCH CURB & GUTTER		111111111111
EASEMENT LINE —		

LEGEND

ABBREVIATIONS							
BL	BASE LINE	NWL	NORMAL WATER LEVEL				
	LONG CHORD OF CURVE	PC	POINT OF CURVATURE				
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY				
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION				
CL	CENTERLINE	R	RADIUS				
	DEGREE OF CURVE	ROW	RIGHT-OF-WAY				
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER				
FF	FINISHED FLOOR	ST	STORM SEWER				
FG	FINISHED GRADE	T	TANGENCY OF CURVE				
FL	FLOW LINE	TB	TOP OF BANK				
FP	FLOODPLAIN	TC	TOP OF CURB				
FR	FRAME	TF	TOP OF FOUNDATION				
FW	FLOODWAY	TP	TOP OF PIPE				
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK				
INV	INVERT	TW	TOP OF WALK				
	LENGTH OF CURVE	WM	WATER MAIN				
MH	MANHOLE	Δ	INTERSECTION ANGLE				
NTS	NOT TO SCALE						

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

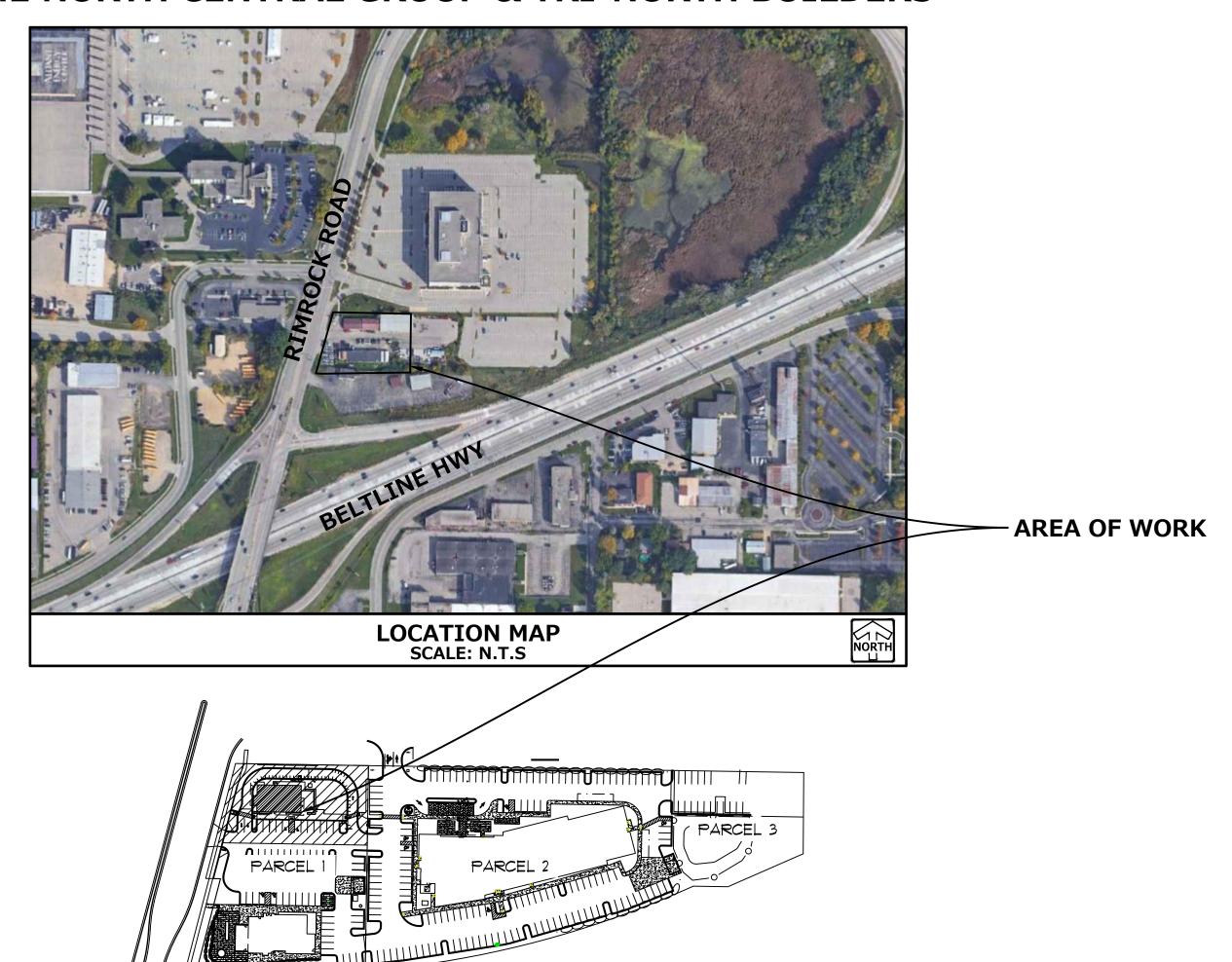
R

STARBUCKS - RIMROCK ROAD

RIMROCK ROAD, MADISON, WI

PLANS PREPARED

THE NORTH CENTRAL GROUP & TRI-NORTH BUILDERS



GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- 2. A GEOTECHNICAL REPORT HAS NOT YET BEEN PREPARED FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST
- 3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- 4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- 5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- 6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- 7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.

- 3. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- 9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- 10. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER
- 12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- 13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- 14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

INDEX OF SHEETS

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C-5 GRADING & EROSION CONTROL PLAN

C-6 UTILITY PLAN

CONSTRUCTION DETAILS

FIRE ACCESS PLAN

GOVERNMENT CONTACTS

CITY OF MADISON DEPARTMENT OF PLANNIN AND COMMUNITY DEVELOPMENT 215 MARTIN LUTHER KING JR BLVD. SUITE 017

MADISON, WI 53703 MAIN: (608) 266-4635

CITY OF MADISON ENGINEERING DEPARTMENT 210 MARTIN LUTHER KING JR BLVD. SUITE 115 MADISON, WI 53703 MAIN: (608) 266-4751

PROJECT TEAM CONTACTS

CIVIL ENGINEER: MARK T. SEIDL, P.E.

MARK T. SEIDL, P.E.

PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
MAIN: (262) 754-8888

ADDITCANT/OWNE

E-MAIL: MSEIDL@PINNACLE-ENGR.COM

APPLICANT/OWNER:
ERIK SANDE, P.E.
THE NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562
MAIN: 608-662-3623
E-MAIL: esande@ncghotels.com

JOHN KONOPACKI, P.L.S.

PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53005
MAIN: (262) 754-8888

E-MAIL: john.konopacki@pinnacle-engr.com

CONSTRUCTION MANAGER:
RYAN HUENINK
TRI-NORTH BUILDERS
2635 DECEABACH DADK DD

2625 RESEARCH PARK DR FITCHBURG, WI 53711 MAIN: 608-271-8717 E-MAIL: rhuenink@tri-north.com



EXPIRATION DATE

PINNACLE ENGINEERING GROUP,

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIS WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THIS KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF

PLANIDESIGNI DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP

wisconsin office:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888

STARBUCKS - RIMROCK ROAD

COVER SHEET

RIMROCK ROAD, MADISON, WI

| C-1 | C-8 2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.

4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.

5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.

8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE GRADING & EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.

9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.

TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
 THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

12. SPOT ELEVATIONS REPRESENT THE GRADE ON PAVEMENT SURFACE OR FLOW LINE UNLESS OTHERWISE NOTED.

13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.

14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING

15. CONTRACTOR SHALL COMPLY WITH ALL DANE COUNTY CONSTRUCTION STANDARDS/ORDINANCES.

16. LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.

2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.

3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.

4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WITTING BEFORE ANY DEVIATIONS ARE MADE.

5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT. AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM-D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER, ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT, IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED. UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.

6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.

7. SUBGRADE TOLERANCES ARE +/-1" FOR LANDSCAPE AREAS AND +/- ½" FOR ALL PAVEMENT AND BUILDING AREAS.

8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4"

ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.

9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.

10. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE POWER SWEPT IMMEDIATELY AND ALL SEDIMENT REMOVED FROM DOWNSTREAM FACILITIES.

SPECIFICATIONS FOR PRIVATE UTILITIES

1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEP TAPPING SLEEVE.

3. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT

LOCATION OF ALL DOWN SPOUTS CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.

4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.

5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE (PER STANDARD SPECIFICATIONS). MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE PER DETAIL ON PLAN OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERTA WYE OR EQUIVALENT. LAST (3) THREE JOINTS SHALL BE RESTRAINED WITH RODS.

6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERTA WYE

OR EQUIVALENT. A MINIMUM OF 6' OF COVER IS REQUIRED FOR ALL SANITARY SEWER.

7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE, PVC SHALL BE AWWA C-900. DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6' COVER IS REQUIRED FOR ALL WATERMAIN. VALVES SHALL BE NONRISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE.

8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.

9. TRACER WIRE (NO. 10 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END.

10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.

11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

12. 45° BENDS SHALL BE USED IN PLACE OF 90° BENDS WHEREVER POSSIBLE

SPECIFICATIONS FOR PAVING

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.

2. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE

PER THE DETAIL ON THE PLANS. BASE SHALL BE 1 ¼ INCH DIAMETER LIMESTONE UNLESS NOTED OTHERWISE. RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.

3. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.

4. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.

JOINT: REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING: MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.

5. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS. MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460

TYPE LT IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.

6. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO THE SECTION 415 OF THE STANDARD SPECIFICATIONS, GRADE A, ASTM C-94, 6 BAG MIX, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATION WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'.

EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION

7. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.

8. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

 THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUIEST.

3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.

4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS

5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION

6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.

7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.

8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:

PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.

9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.

10. IF APPLICABLE, ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH DOUBLE ROW OF SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.

11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.

12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.

13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.

14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.

15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.

16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.

17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.

18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE.THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.

19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.

20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.

21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

DEMOLITION NOTES

 PERIMETER SILT FENCING AND CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION. PLEASE REFER TO GRADING AND EROSION AND SEDIMENT CONTROL PLAN SHEETS FOR FURTHER DETAILS.

2. EXISTING FEATURES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "MISS DIG" PRIOR TO ANY

3. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.

4. COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES AND THE MUNICIPALITY TO PROTECT EXISTING FUNCTIONING UTILITIES, BULKHEAD/REMOVE CONNECTIONS AS NECESSARY, AND TO ENSURE ALL UTILITIES ARE INACTIVE PRIOR TO ANY DEMOLITION ACTIVITIES. CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO ENSURE PROTECTION OF EXISTING UTILITIES THAT ARE NOT TO BE IMPACTED. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY EXISTING UTILITIES DAMAGED AS A RESULT OF THE DEMOLITION.

5. VOIDS LEFT BY REMOVAL OF FEATURES SHALL BE MODIFIED/FILLED TO PREVENT PONDING OF WATER.

 DEMOLISH AND DISPOSE EXISTING PIPING, CABLE/WIRES, STRUCTURES, OR OTHER SURFACE FEATURES INDICATED ON THE PLANS TO BE REMOVED.

7. CLEARING AND GRUBBING DESIGNATIONS SHALL INCLUDE CLEARING, GRUBBING, REMOVING, AND DISPOSING OF ALL VEGETATION AND DEBRIS WITHIN THE LIMITS OF CONSTRUCTION, AS DESIGNATED ON THE PLANS. CONTRACTOR SHALL REMOVE ONLY THOSE TREES ABSOLUTELY NECESSARY TO ALLOW FOR

8. CONTRACTOR SHALL REMOVE EXISTING FENCING IN A MANNER TO ALLOW REUSE. ANY FENCING MATERIAL TO BE REUSED IN THE CONSTRUCTION OF RELOCATED FENCE LINES SHALL BE PRESENTED TO ENGINEER FOR INSPECTION AND PROPOSED CONTRACT DEDUCT ASSOCIATED WITH REUSE OF THE SALVAGED MATERIAL. ENGINEER OR OWNER WILL PROVIDE WRITTEN ACCEPTANCE OF THE PROPOSED SALVAGED MATERIAL.

9. CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY FOR TERMINATION OF PUBLIC UTILITY CONNECTIONS TO SITE.

10. CONTRACTOR SHALL COORDINATE STOCKPILE LIMITS AND LOCATIONS WITH ENGINEER/OWNER PRIOR TO DEMOLITION.

PLAN I WWW.P

PLAN I DESIGN I DELIVER

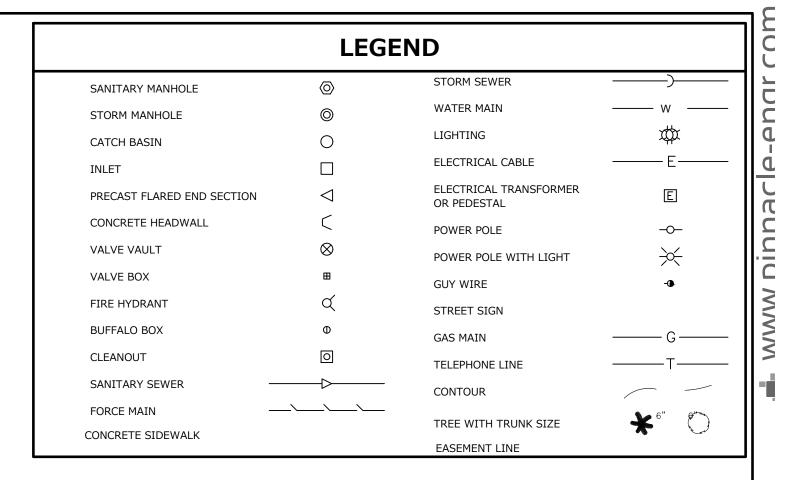
www.pinnacle-engr.com

WISCONSIN OFFICE: 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 (262) 754-8888 STARBUCKS - RIMROCK ROAD

RIMROCK ROAD, MADISON, WI

GENERAL NOTES

ERAL NOTES



CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONTRACTOR TO CONFIRM ALL STARBUCKS SITE ITEMS WITH STARBUCKS CONSTRUCTION DOCUMENTS

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTS THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF

UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

GRAPHICAL SCALE (FEET)

0 1" = 20' 40'

PLANIDESIGN I DELIVER

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Wisconsin office:
20725 WATERTOWN ROAD, SUITE 100

BROOKFIELD, WI 53186
(262) 754-8888

STARBUCKS - RIMROCK ROAD

RIMROCK ROAD, MADISON, WI

EXISTING CONDITIONS
AND DEMO PLAN

EG JOB NO. 2086.00

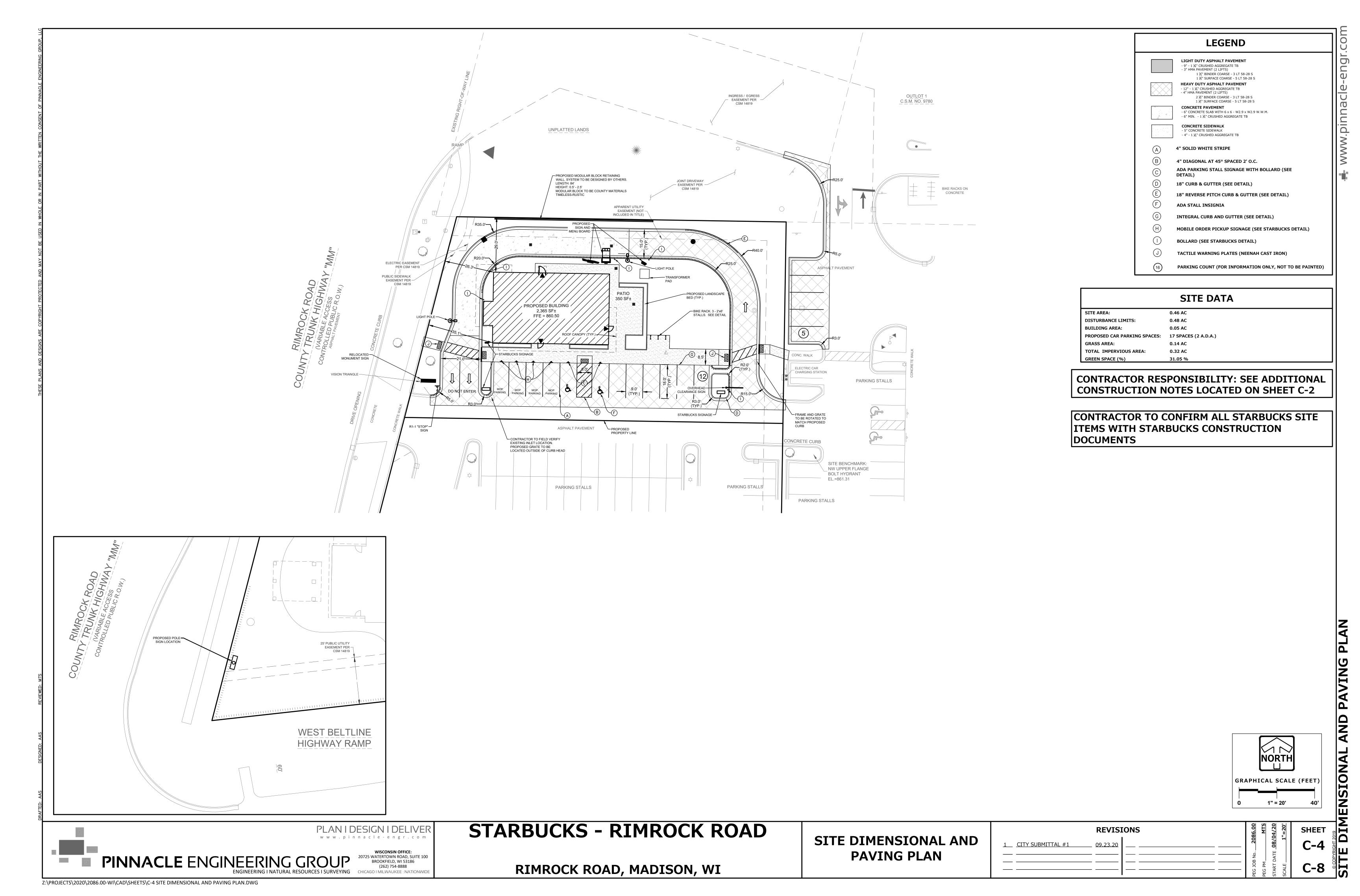
EG PM MTS

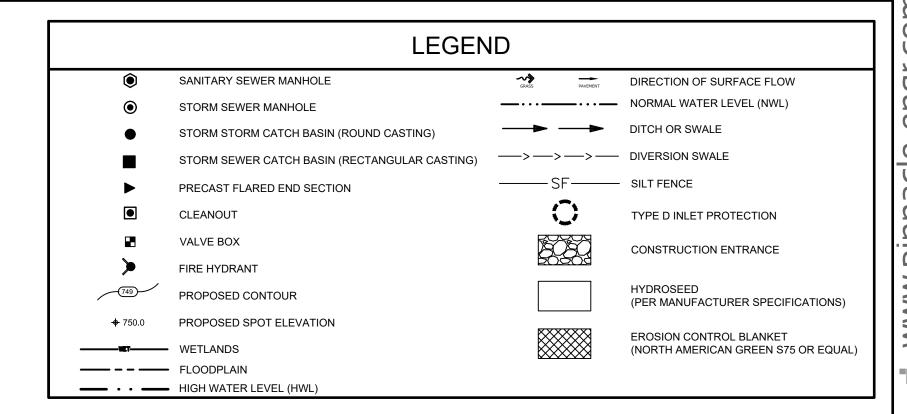
TART DATE 08/04/20

CALE 1"=20'

CALE 1

Z:\PROJECTS\2020\2086.00-WI\CAD\SHEETS\C-3 EXISTING CONDITIONS AND DEMO PLAN.DWG





CONTRACTOR TO CONFIRM ALL STARBUCKS SITE ITEMS WITH STARBUCKS CONSTRUCTION DOCUMENTS

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONSTRUCTION SITE SEQENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES
- 2. DEMOLITION AND REMOVALS OF BUILDINGS, PAVEMENTS & LANDSCAPING.
- 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
- 4. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
- 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- INSTALL TOPSOIL AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED

1" = 20'

PLANIDESIGNIDELIVER
www.pinnacle-engr.com **PINNACLE** ENGINEERING GROUP

STARBUCKS - RIMROCK ROAD

RIMROCK ROAD, MADISON, WI

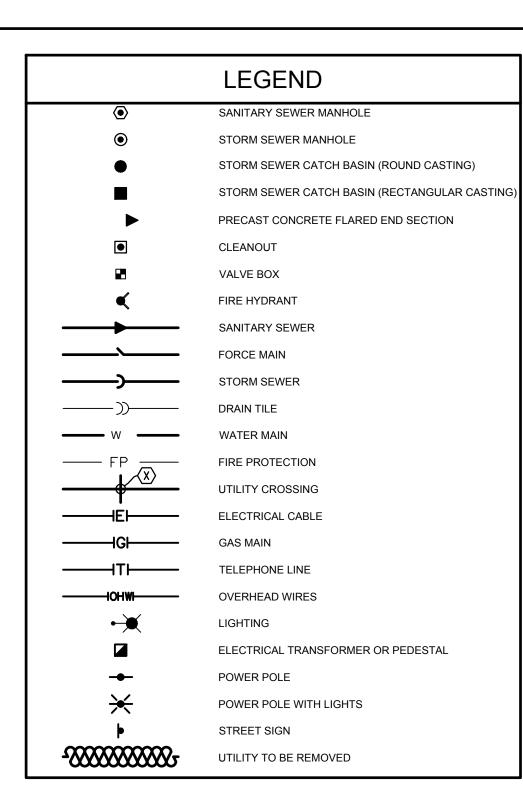
GRADING & EROSION CONTROL PLAN

REVISIONS

SHEET C-5 C-8 C-8

Z:\PROJECTS\2020\2086.00-WI\CAD\SHEETS\C-5 EROSION AND GRADING CONTROL PLAN.DWG

EROSION

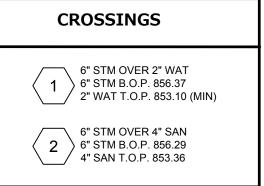


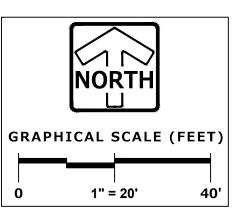
CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONTRACTOR TO CONFIRM ALL STARBUCKS SITE ITEMS WITH STARBUCKS CONSTRUCTION DOCUMENTS

DESIGN/BUILD PLUMBER TO ADJUST WATER SUPPLY PIPE SIZING AS NECESSARY TO COMPLY WITH STARBUCKS REQUIREMENTS (PROVIDE A MINIMUM OPERATING FLOW OF 60 GALLONS PER MINUTE, MINIMUM OPERATING PRESSURE OF 50PSIG AND A MAXIMUM OF 80PSIG DYNAMIC PRESSURE AT ALL TIMES, ETC. - GC TO COORDINATE

ALL STORM CATCH BASINS TO HAVE OIL & GREASE FILTERS PER SPECIFICATIONS ON SHEET C-7





PLANIDESIGNI DELIVER

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Wisconsin OFFICE:

20725 WATERTOWN ROAD, SUITE 100

BROOKFIELD, WI 53186
(262) 754-8888

CHICAGO LANI MATURAL RESOURCES I SURVEYING

CHICAGO LANI WALLIGET: NATIONALIDE

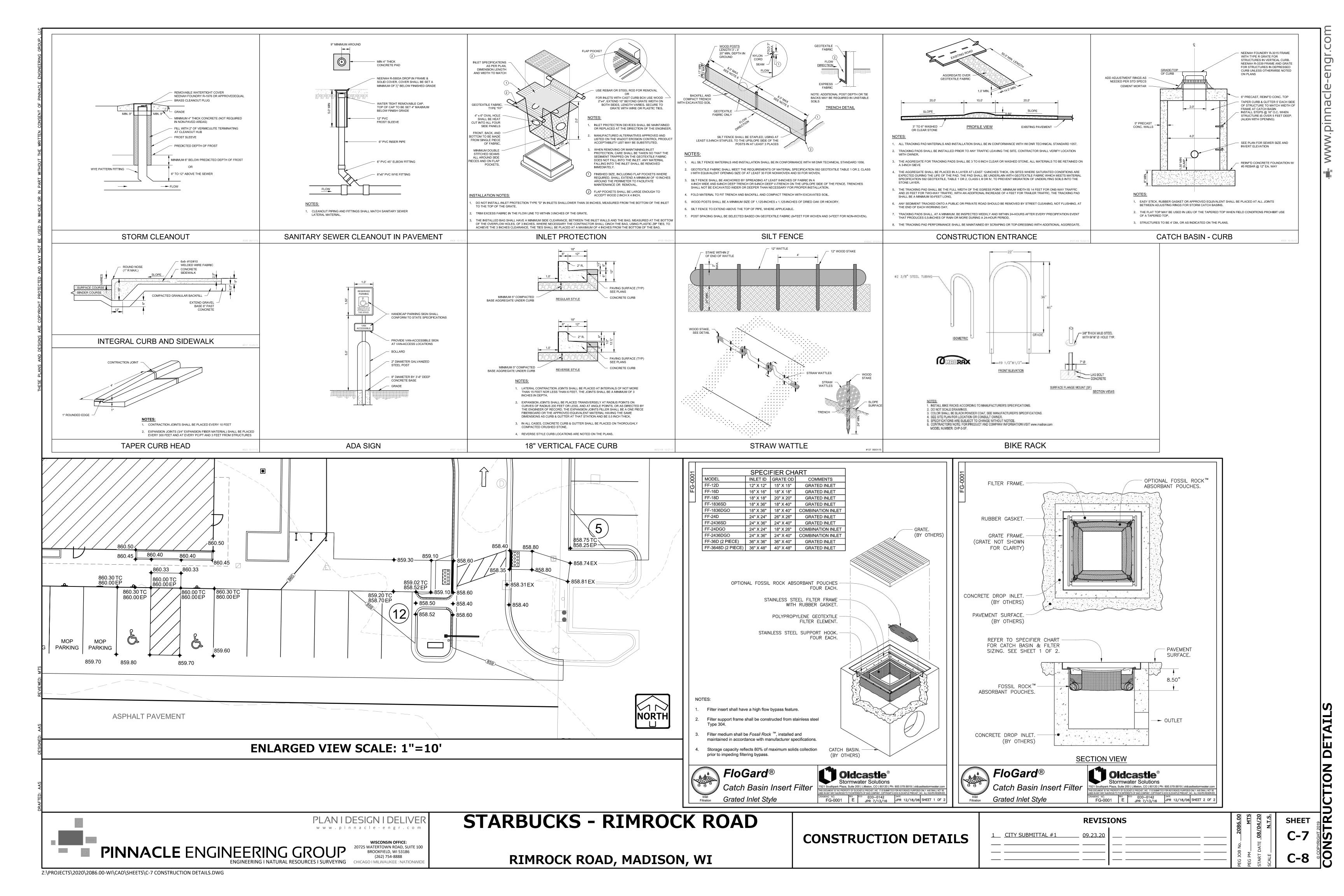
STARBUCKS - RIMROCK ROAD

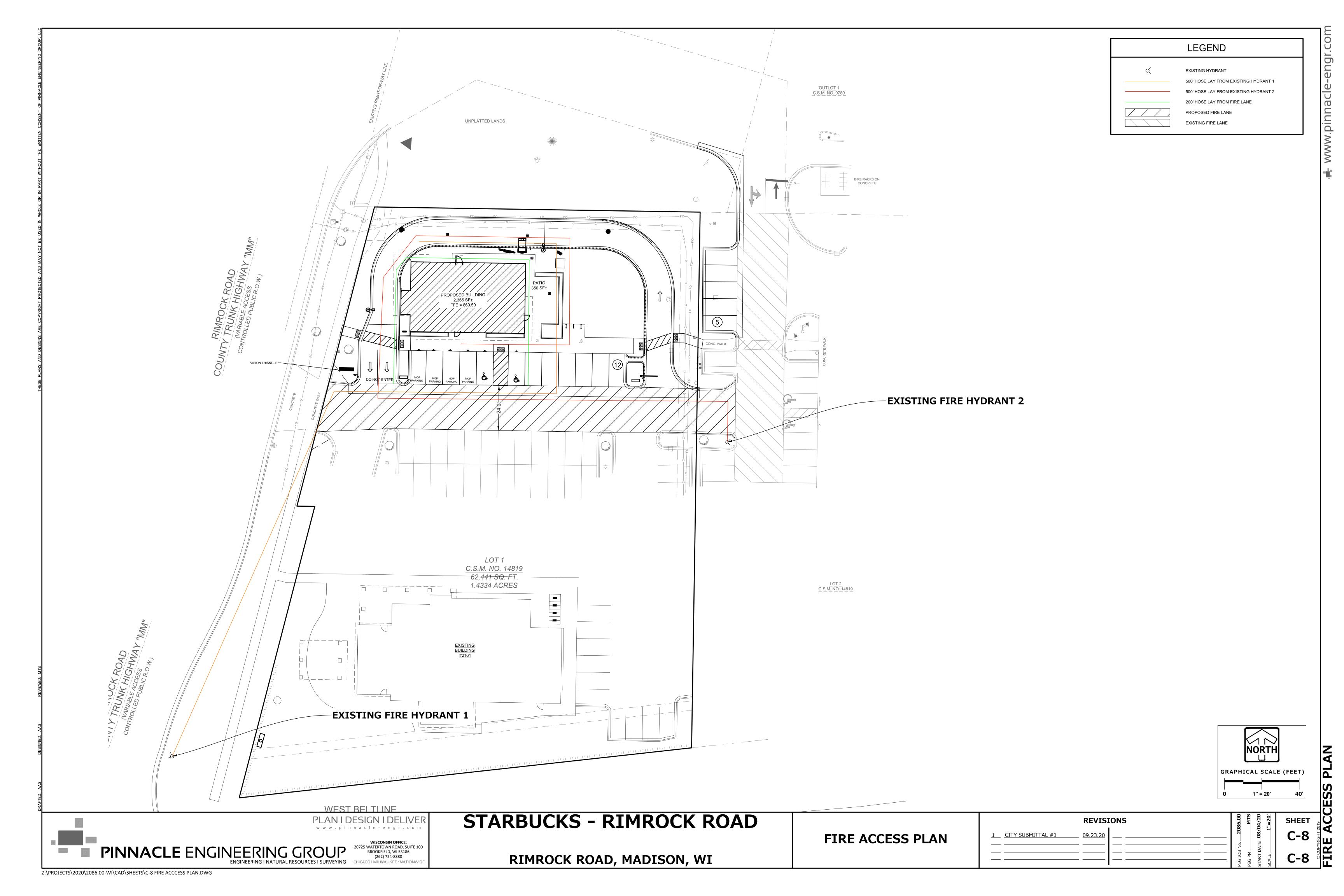
RIMROCK ROAD, MADISON, WI

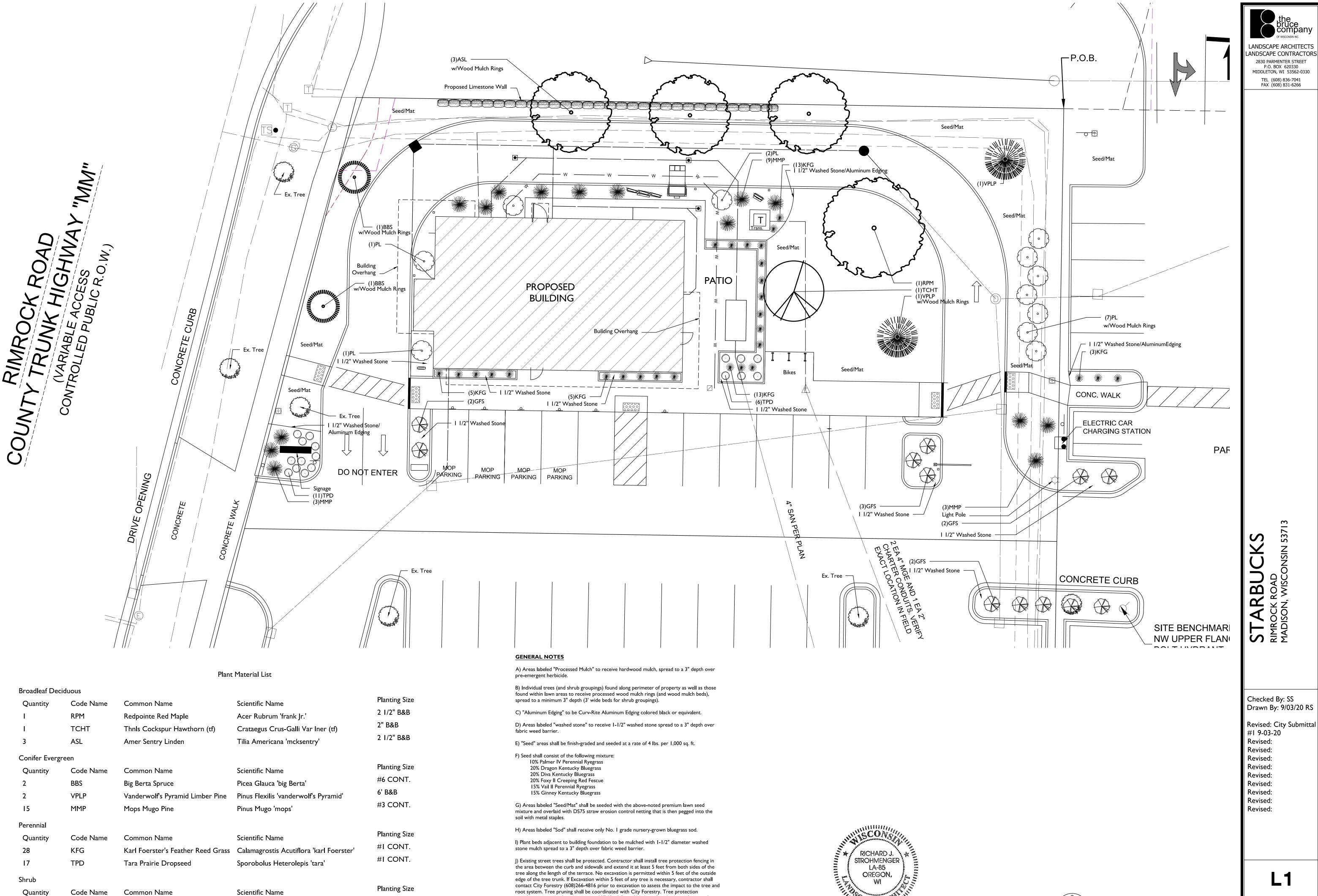
UTILITY PLAN

SHEET C-6 C-8 TILITY PLA

Z:\PROJECTS\2020\2086.00-WI\CAD\SHEETS\C-6 UTILITY PLAN.DWG







specifications can be found in section 107.13 of City of Madison Standard specifications for

K) Contractor shall contact City Forestry (608)266-4816 at least one week prior to installing

street trees to schedule inspecting the nursery stock and reviewing landscaping specifications

http://www.cityofmadison.com/business/pw/documents/StdSpecs/2013/Part1.pdf.

Public Works Construction-

with the landscaper.

#3 CONT.

#7 CONT.

Spiraea Japonica 'goldflame'

Syringa Meyeri 'palibin'

GFS

Goldflame Spirea

Palibin Lilac

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SCALE: I"=10'-0"

9-03-20

MADISON LANDSCAPE WORKSHEET

Zoning District: Current is SE	
Total square footage of developed area	I 1,520 SF
Total square footage of first 5 acres of developed area ÷ 300 square feet =	38 Landscape Units
Total square footage of 0 additional acres of developed area ÷ 100 square feet	=0 Landscape Units
NUMBER OF LANDSCAPE POINT REQUIRED	
38 Landscape Units x 5 landscape points for first 5 acres	
0 Landscpe Units x I landscape point for additional 0 acres	
TOTAL LANDSCAPE POINTS REQURED	190 points

	Point	NEW		EXIS	TING	
PLANT TYPE or ELEMENT	Value	Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	4	140			
Tall Evergreen Tree : 5-6 feet tall	35	4	140			
Ornamental Tree : I-I/2" Caliper (dbh)	15	I	15			
Upright Evergreen Shrub : 3-4 feet tall	10	0	0			
Shrub, deciduous : 3 gallon / 12"-24"	3	23	69			
Shrub, evergreen : 3 gallon / 12"-24"	4	15	60			
Ornamental grass/perennial : Igallon / 8"-18"	2	45	90			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	I4 per Cal. In.					TOTAL
Landscape furniture for public seating and /or transit connections	5 per 'seat'					POINTS PROVIDED
	Sub	Totals	514	+	0	= 514

Street Frontage Landscape Required

Street Frontage = 110 LF

Street Frontage Landscape Supplied

Proposed Canopy Trees = 6.5 Proposed Shrubs = 38



LANDSCAPE ARCHITECTS LANDSCAPE CONTRACTORS

2830 PARMENTER STREET P.O. BOX 620330 MIDDLETON, WI 53562-0330

TEL (608) 836-7041 FAX (608) 831-6266

STARBUCKS
RIMROCK ROAD
MADISON, WISCONSIN 53713

Checked By: SS Drawn By: 9/03/20 RS

Revised: City Submittal #1 9-03-20

Revised:

Revised: Revised: Revised:

Revised: Revised: Revised: Revised:

Revised:

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EXISTING HOTEL AND RESTAURANT LIGHTING INCLUDED IN ILLUMINANCE STUDY.

2,365 SF± FFE = 860.50

5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.1 5.1 5.2 \$\frac{1}{2}\frac{1}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{1}{2}\frac{

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5.0 5.0 5.0 5.0 5.0 5.0 5.1 5/1 5/2 5.2 5.2 5.3 5.4 5.7 5.9 Q-4 W\$1

0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.2 0.3 0.3 0.3 0.3 0.5 0.8 0.9

5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.1 5.1 5.1 5.1 5.2 5.2 5.5 5.2

-1.7 2.0 0 1.4 0.6 0.6 0.7 0.9 0.9 0.8 0.6 0.6 0.6 0.5 0.5 0.4 0.4 0.5 0.6 0.6 0.6 0.7 0.9 1.0 1.2 1.5 1.8 2.6 1.7

7 0 4 6 2 0 3 0 3 0 4 0 5 0 6 0 7 0 7 0 8 1 0 1 2 1 0 1 0 1 1 1 2 1 3 1 4 1 4 1 4 1 3 1 3

 $\begin{bmatrix} 4 \\ 2 \end{bmatrix}$ $\begin{bmatrix} 5 \\ 3 \end{bmatrix}$ $\begin{bmatrix} 5 \\ 3 \end{bmatrix}$ $\begin{bmatrix} 5 \\ 4 \end{bmatrix}$ $\begin{bmatrix} 5$

CALCULATION SUMMARY LABEL PARKING LOT CALCTYPE ILLUMINANCE UNITS MIN AVG AVG/MIN FC 0.4 1.47 3.68 DRIVE-THRU LANE ILLUMINANCE FC 0.4 1.20 3.00

OUTLOT 1 C.S.M. NO. 9780

AUTOMATICALLY ON AT SUNSET.

DL1 O

SUGGESTED CONTROL SEQUENCE:

POLE AND BUILDING MOUNTED LUMINAIRES

POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.

POLE TYPE DISTRIBUTION KEY: EXISTING 25'-0" TALL POLE WITH LED LUMINAIRE; IES TYPE 4 DISTRIBUTION, DUAL HEAD 25'-0" TALL POLE WITH LED LUMINAIRE; IES TYPE 3 DISTRIBUTION & HOUSE SIDE SHIELD. EXISTING 25'-0" TALL POLE WITH NEW LED LUMINAIRE; IES TYPE 4 DISTRIBUTION.

> 4" RECESSED LED DOWNLIGHT DECORATIVE LED WALL SCONCE.

LED WALL PACK

/ESTORS, GROUP

2248 DEMING WAY. STE. 120 MIDDLETON, WI 53562

> (608) 829-1750 (608) 829-3056 (FAX)

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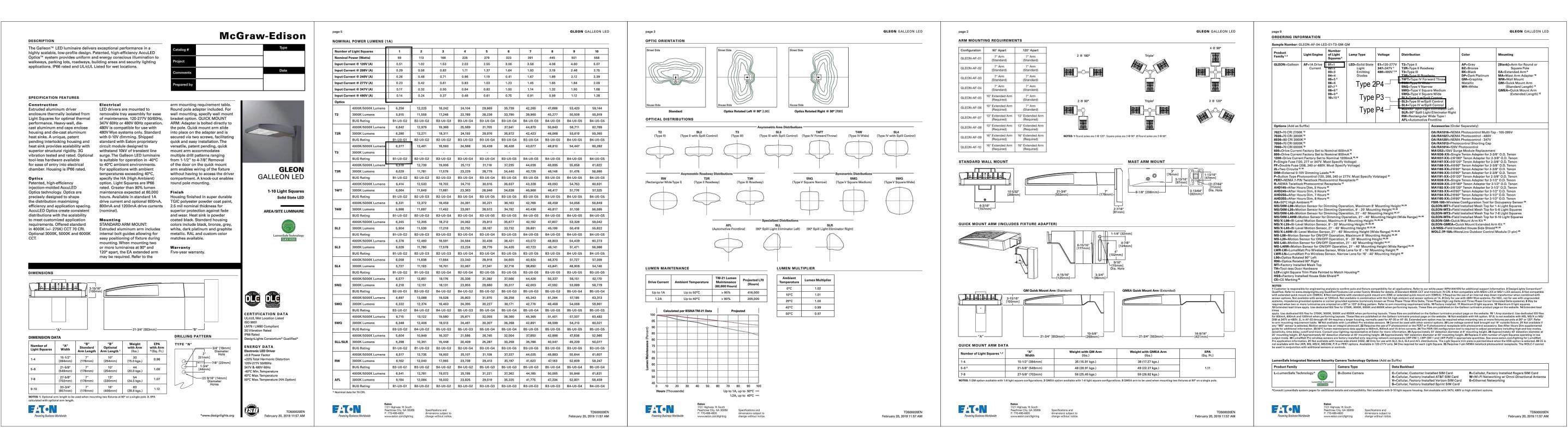
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DRAWN BY DATE: SCALE:

Ø9-Ø2-2Ø2Ø City Submittal #1

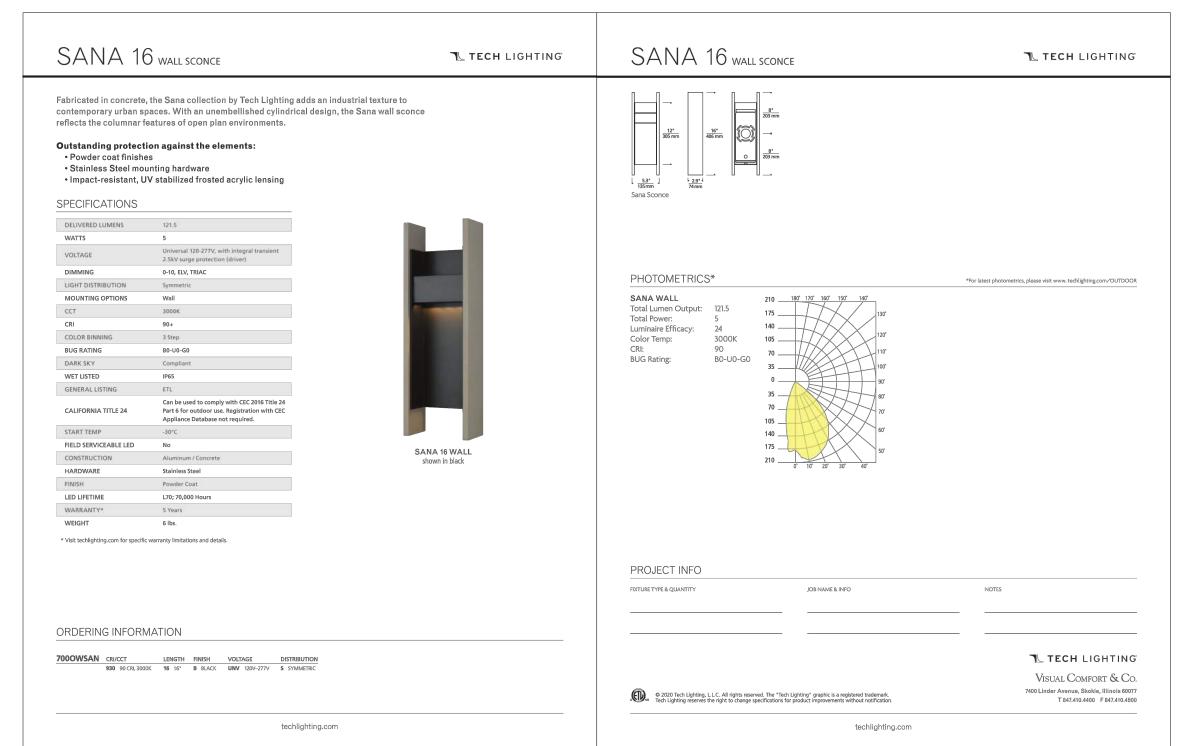
SITE LIGHTING PLAN



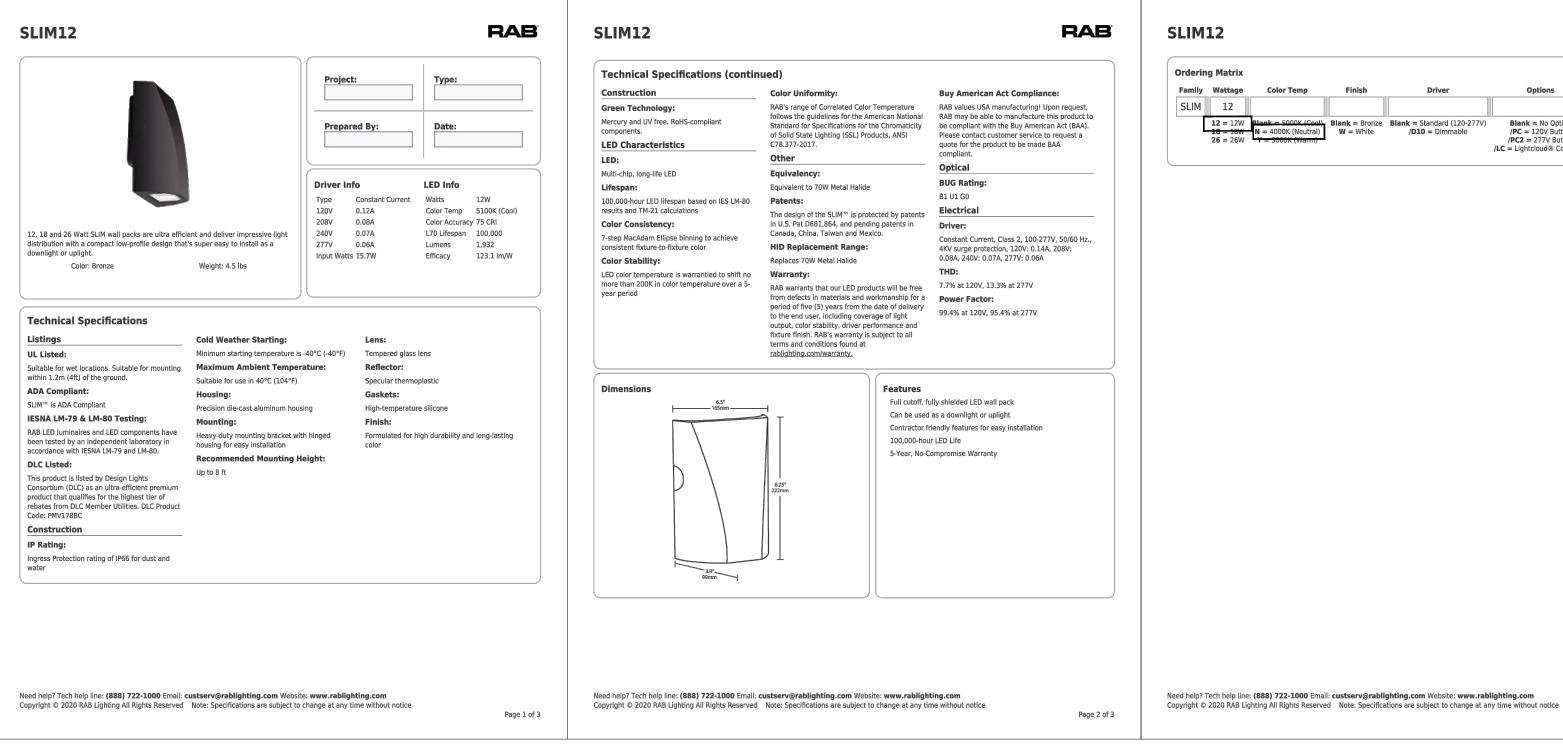


AREA LIGHTING SPECIFICATION

WALL SCONCE - WS1







WALL PACK - WP1

/ESTORS, GROUP CLIENT:
RIMROCK RETAIL INVE
C/O NORTH CENTRAL G
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 54562 (87644 BUCKS (ROAD, WI 53713 (C)2020 GARY BRINK & ASSOC. Any duplication, reproduction, or use by any other party is prohibited unless prior written authorization is received from GARY BRINK & ASSOC. PROJECT: 202018

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City Submittal #1

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DATE: SCALE:

RAB

Page 3 of 3

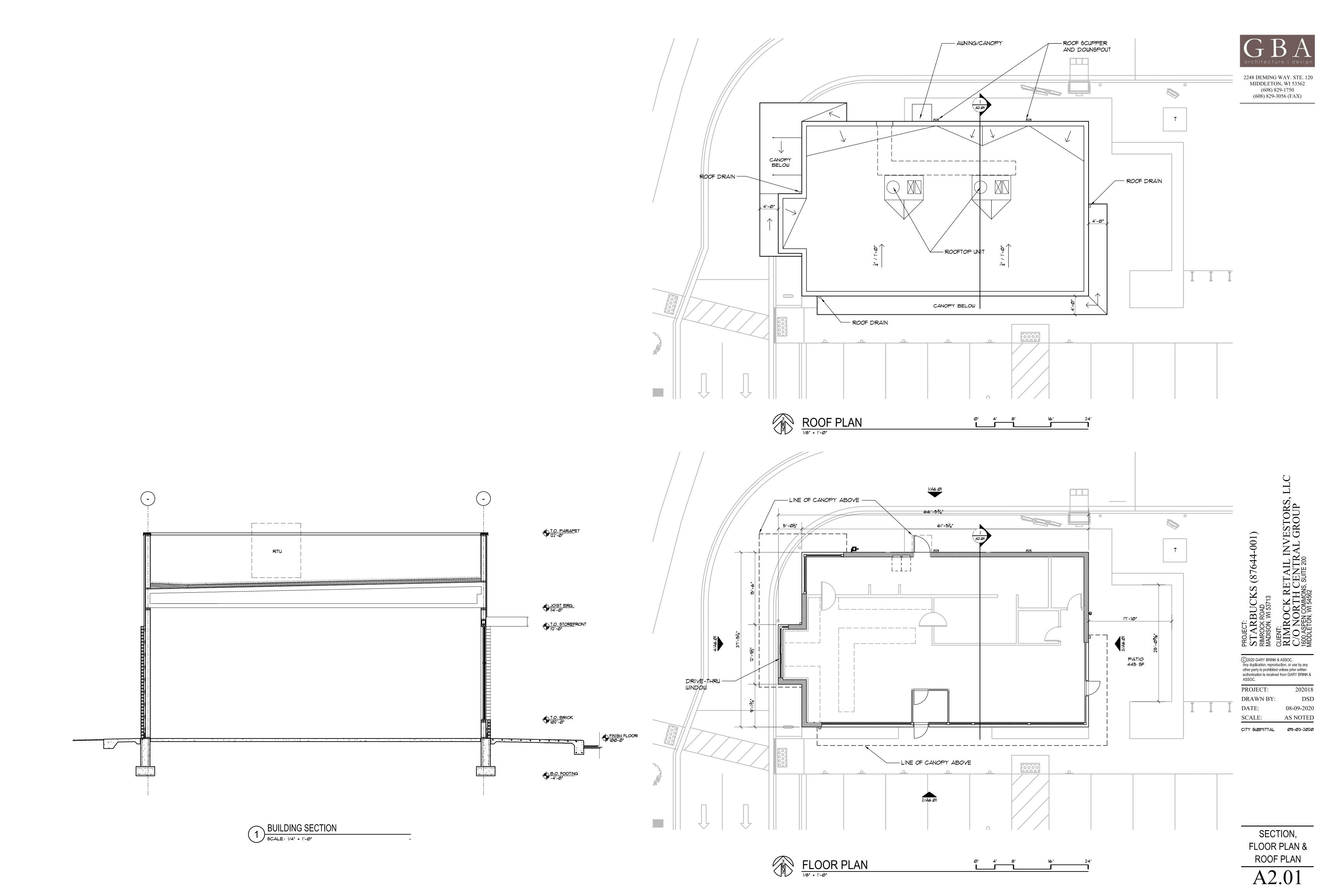
2248 DEMING WAY. STE. 120

MIDDLETON, WI 53562

(608) 829-1750

(608) 829-3056 (FAX)

SITE LIGHTING PLAN

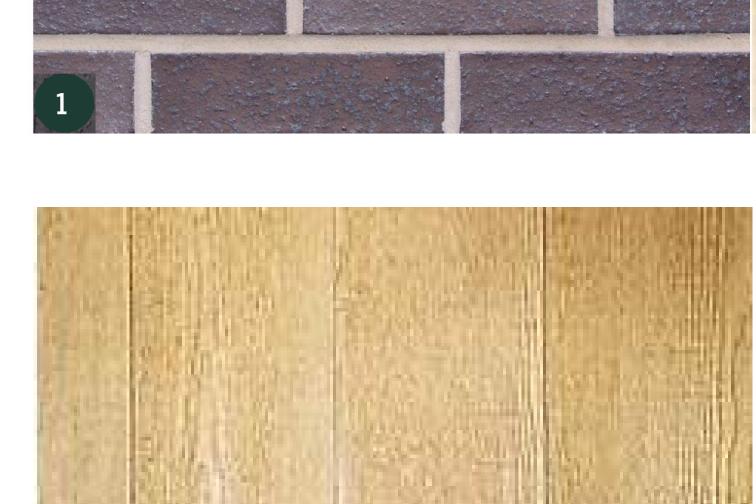




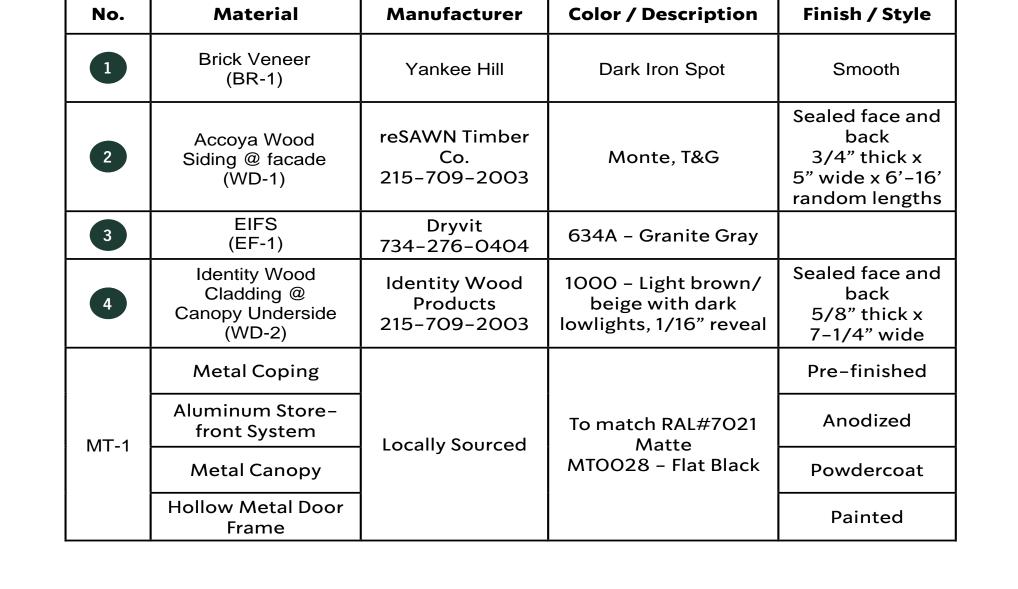
8 LOOKING SOUTHWEST

7 LOOKING NORTHWEST









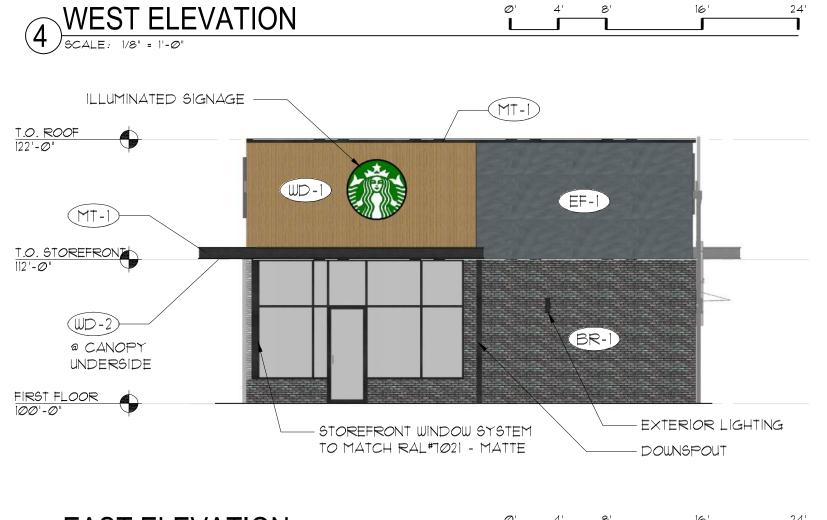


6 LOOKING NORTHEAST













BUILDING **ELEVATIONS**

CLIENT:
RIMROCK RETAIL INVESTORS,
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 54562

202018

08-09-2020

AS NOTED

*0*9-*0*3-2*0*20

DSD

2248 DEMING WAY. STE. 120 MIDDLETON, WI 53562 (608) 829-1750 (608) 829-3056 (FAX)

A6.01