

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

**RECEIVED**

9/2/2020  
10:45 a.m.

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: \_\_\_\_\_

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

New development

Alteration to an existing or previously-approved development

Informational

Initial approval

Final approval

## 3. Project Type

Project in an Urban Design District

Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)

Signage Variance (i.e. modification of signage height, area, and setback)

Signage Exception

### Other

Please specify

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** \_\_\_\_\_

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

**Project contact person** \_\_\_\_\_

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

**Property owner (if not applicant)** \_\_\_\_\_

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

Company \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

Company \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

**5. Required Submittal Materials**

**Application Form**

**Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

**Development Plans** (Refer to checklist on Page 4 for plan details)

**Filing fee**

**Electronic Submittal\***

**Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with \_\_\_\_\_ on \_\_\_\_\_.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant \_\_\_\_\_ Relationship to property \_\_\_\_\_

Authorizing signature of property owner  \_\_\_\_\_ Date \_\_\_\_\_

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per §35.24(6) MGO).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

September 03, 2020

Tim Parks  
Department of Planning & Development  
126 S. Hamilton Street  
Madison, WI 53703

Re: Letter of Intent  
2161 Rimrock Road – Alteration of Existing Conditional Use

Dear Tim:

This is our Letter of Intent (Minor Alteration of Existing Conditional Use) for the property located at 2161 Rimrock Road. The owner, Madison Rimrock Retail Investors, LLC is planning to develop a new retail building at this location. The lot is currently vacant, and demolition of existing structures will not be required.

The total gross area of the new building is 2,365 sf. The lot area is 62,726 sf (or 1.44 acres).

Total Parking/Bicycle Stalls will be as follows:

**Parcel 1 (Retail Parcel along Rimrock Road)**

Small Car Parking: 0  
Large Car Parking: 61 (51 existing)  
Accessible Parking: 4 (2 existing)  
Bicycle Stall: 12 (8 Existing) Total Parcel 1 Parking: 65 (53 existing)

**Parcel 2 (Hotel – Completed)**

Small Car Parking: 28  
Large Car Parking: 112  
Accessible Parking: 5  
Bicycle Stall: 16  
Total Parcel 2 Parking: 145

**Parcel 3 (DOR Overflow Lot – Completed)**

Small Car Parking: 0  
Large Car Parking: 24  
Accessible Parking: 0  
Bicycle Stall: 0  
Total Parcel 3 Parking: 24

**Total Site Parking**

Small Car Parking: 28  
Large Car Parking: 192  
Accessible Parking: 5  
Bicycle Stall: 22  
Total Site Car Parking: 225

All maintenance, including trash and snow removal, will be provided by private contract.

The hotel hours of operation will be 24 hours a day/365 days a year, the retail and restaurant hours of operation are anticipated to be no more than from 5AM to 1AM. Building A's use is a restaurant and will include an outdoor seating area with approximately 105 seats & 3,300 square feet. Building B's proposed use will be a coffee shop and will include an outdoor seating area with approximately 10 seats and 100 square feet. Building B will also include a drive through lane. The drive through lane will comply with all applicable City of Madison drive through requirements and restrictions.

The number of construction jobs created as a result of this new development will be 30 and the number of full-time equivalent jobs created is approximately 15 FTE.

The hotel construction was completed in 2019. The restaurant construction was finished in June 2020. The retail coffee shop construction will continue upon the completion of the hotel and restaurant and be complete in 2021.

The Development Team includes the following:

Construction Manager:	Tri-North Builders 2625 Research Park Drive Fitchburg, WI 53711 Phone: 608-204-7267 Principal Contact: Ryan Huenink <a href="mailto:rhuenink@tri-north.com">rhuenink@tri-north.com</a>
Applicant/Owner:	Madison Rimrock Retail Investors, LLC c/o North Central Group 1600 Aspen Commons, Suite 200 Middleton, WI 53562 Phone: 608-807-6302 Principal Contact: Erik Sande <a href="mailto:esande@ncghotels.com">esande@ncghotels.com</a>
Architect:	GBA 2248 Deming Way, Suite 120 Middleton, WI 53562 Phone: 608-829-1750 Fax: 608-829-3056 Principal Contact: Josh Wilcox <a href="mailto:josh.wilcox@garybrink.com">josh.wilcox@garybrink.com</a>
Civil/Landscape:	Pinnacle Engineering Group 20725 Watertown Road, Suite 100 Brookfield, WI 53186 Phone: 262-754-8792 Principal Contact: Mark Seidl <a href="mailto:mseidl@pinnacle-engr.com">mseidl@pinnacle-engr.com</a>

Please refer to the attached plans for additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Josh Wilcox". The signature is fluid and cursive, with a long horizontal stroke at the end.

Josh Wilcox  
Partner

# PROPOSED Starbucks

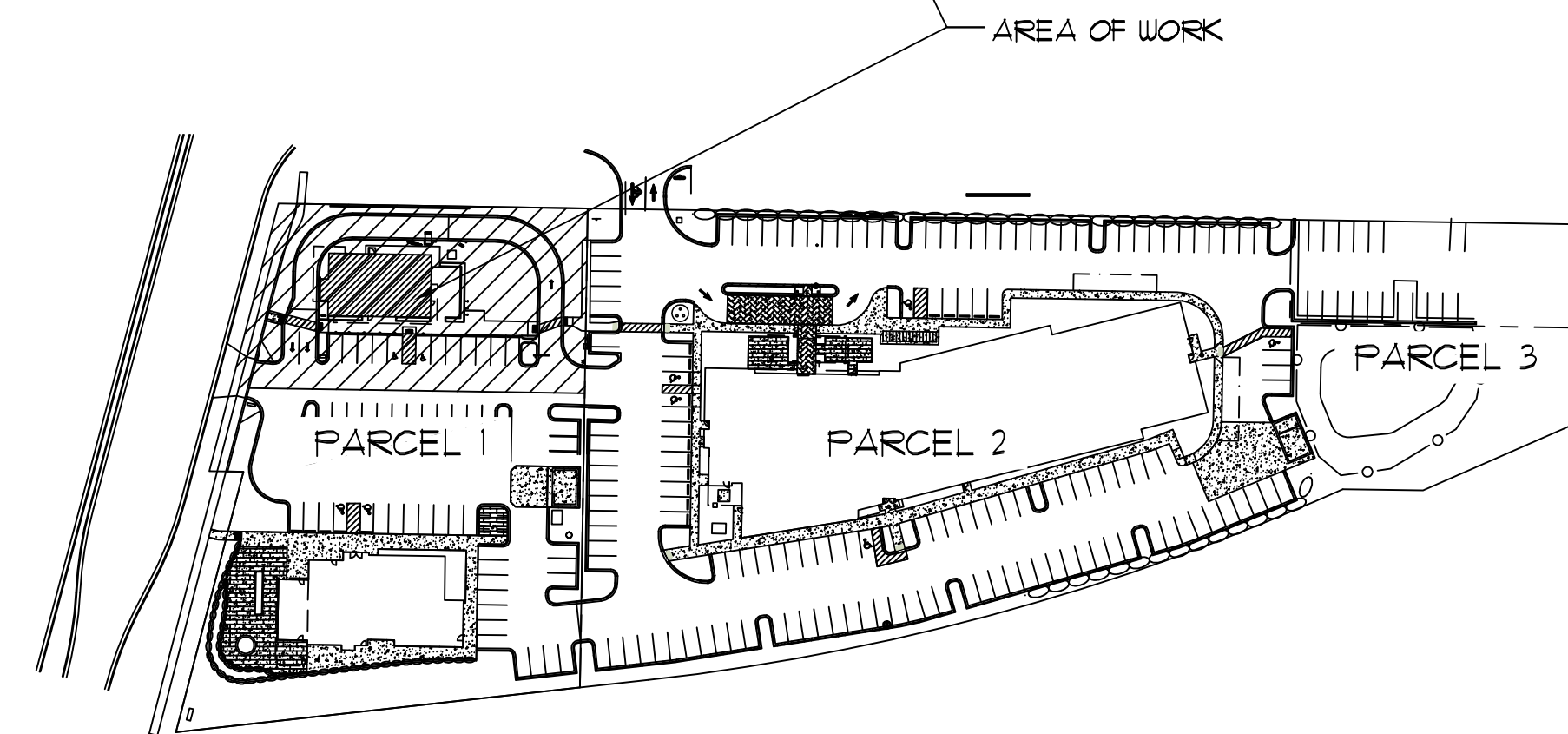
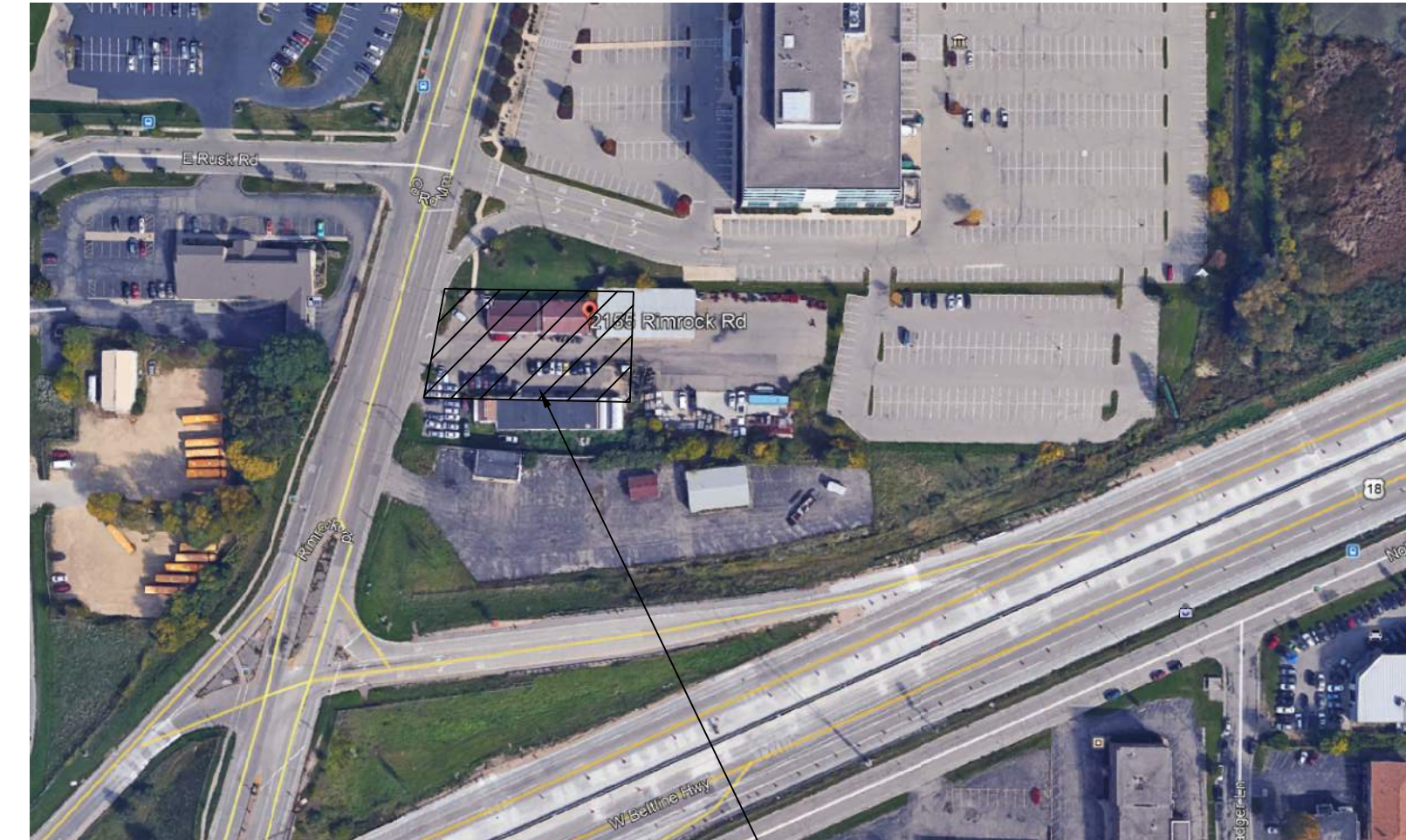
2143 Rimrock Road  
Madison, Wisconsin

MINOR ALTERATION OF CONDITIONAL USE  
Sept 03, 2020

## PROJECT BUILDING & PARKING MATRIX

Building	Square Footage						
A (Completed)	5,733						
B	2,365						
Parking Stalls (Previously Approved Hotel)							
ACC-Parking Stalls	5	140	Total	145			
Parking Stalls (Parcel #1)							
ACC-Parking Stalls	4	61	Total	65			
Site Information				Area Total			
By Parcels	Parcel #1	1.44 acres	Parcel #2	2.72 acres	Parcel #3	.28 acres	3. acres

## PROJECT LOCATION MAP



CONDITIONAL USE APPROVED AS PART OF HOTEL PROJECT  
LEGISLAR #49924, 50223 & 55596 (LNDUSE 2018-00001)

## SHEET INDEX:

- T-1 TITLE SHEET
- CIVIL DRAWINGS
  - C-1 COVER SHEET
  - C-2 GENERAL NOTES
  - C-3 EXISTING CONDITIONS AND DEMO PLAN
  - C-4 SITE DIMENSIONAL AND PAVING PLAN
  - C-5 GRADING AND EROSION CONTROL PLAN
  - C-6 UTILITY PLAN
  - C-7 CONSTRUCTION DETAILS
  - C-8 FIRE ACCESS PLAN
  - L1 LANDSCAPE PLAN
  - L2 LANDSCAPE WORKSHEET
- LIGHTING DRAWINGS
  - E101 SITE LIGHTING PLAN
  - E102 SITE LIGHTING DETAILS
- ARCHITECTURAL DRAWINGS
  - A2.01 FLOOR PLAN, ROOF PLAN, & BUILDING SECTION
  - A6.01 BUILDING ELEVATIONS AND RENDERINGS



### CONSTRUCTION MANAGER:

#### TRI-NORTH BUILDERS

2625 RESEARCH PARK DR.  
FITCHBURG, WISCONSIN 53711  
PHONE: (608) 204-7267  
EMAIL: RHUENINK@TRI-NORTH.COM  
CONTACT: RYAN HUENINK



### APPLICANT/OWNER:

#### MADISON RIMROCK RETAIL INVESTORS, LLC NORTH CENTRAL GROUP

1600 ASPEN COMMONS, SUITE 200  
MIDDLETON, WISCONSIN 53562  
PHONE: (608) 807-6302  
EMAIL: ESANDE@NCGHOTELS.COM  
CONTACT: ERIK SANDE



### ARCHITECT:

#### GBA ARCHITECTURE & DESIGN

2248 DEMING WAY, SUITE 120  
MIDDLETON, WISCONSIN 53562  
PHONE: (608) 829-1750  
EMAIL: JOSH.WILCOX@GARYBRINK.COM  
CONTACT: JOSH WILCOX

### CIVIL ENGINEER

#### PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD, SUITE 100  
BROOKFIELD, WISCONSIN 53186  
PHONE: (262) 754-8792  
EMAIL: MSEIDL@PINNACLE-ENGR.COM  
CONTACT: MARK SEIDL

PROJECT: STARBUCKS (87644-001)  
RIMROCK ROAD  
MADISON, WI 53713  
CLIENT: RIMROCK RETAIL INVESTORS, LLC  
C/O NORTH CENTRAL GROUP  
1600 ASPEN COMMONS, SUITE 200  
MIDDLETON, WI 53562

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PROJECT: 202018  
DRAWN BY: D&D  
DATE:  
SCALE: AS NOTED  
CITY SUBMITTAL 09-03-2020



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www.pinnacle-engr.com

### LEGEND

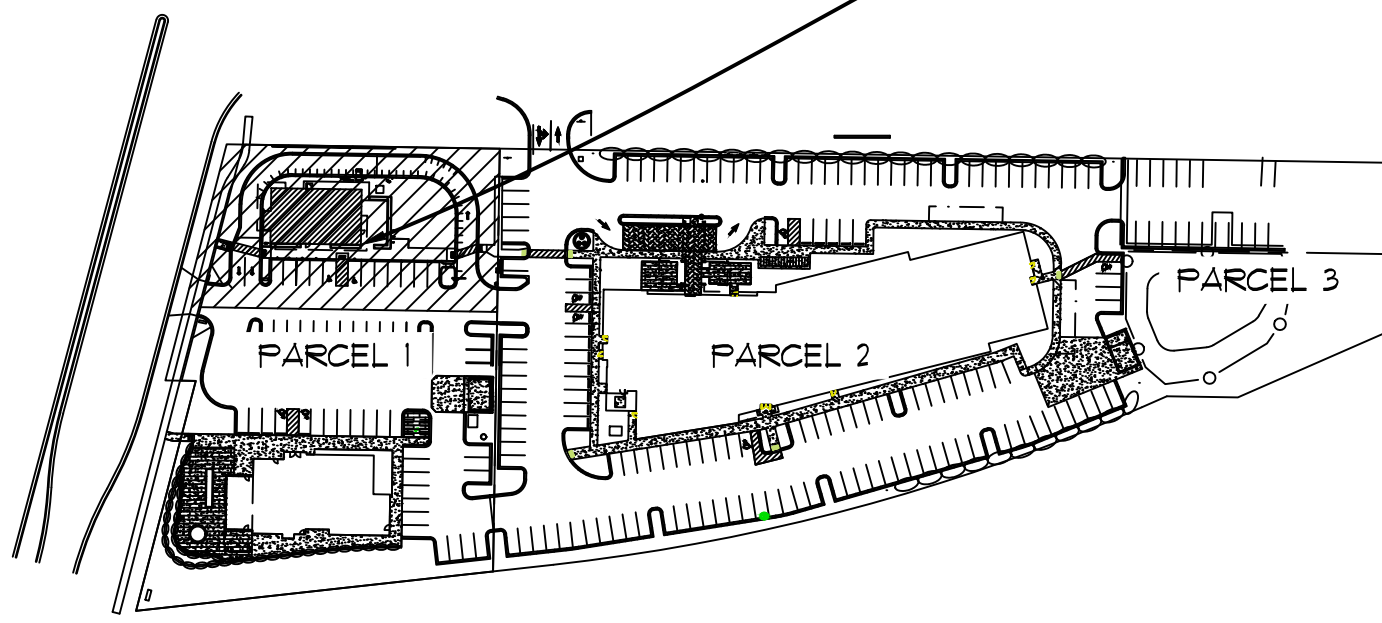
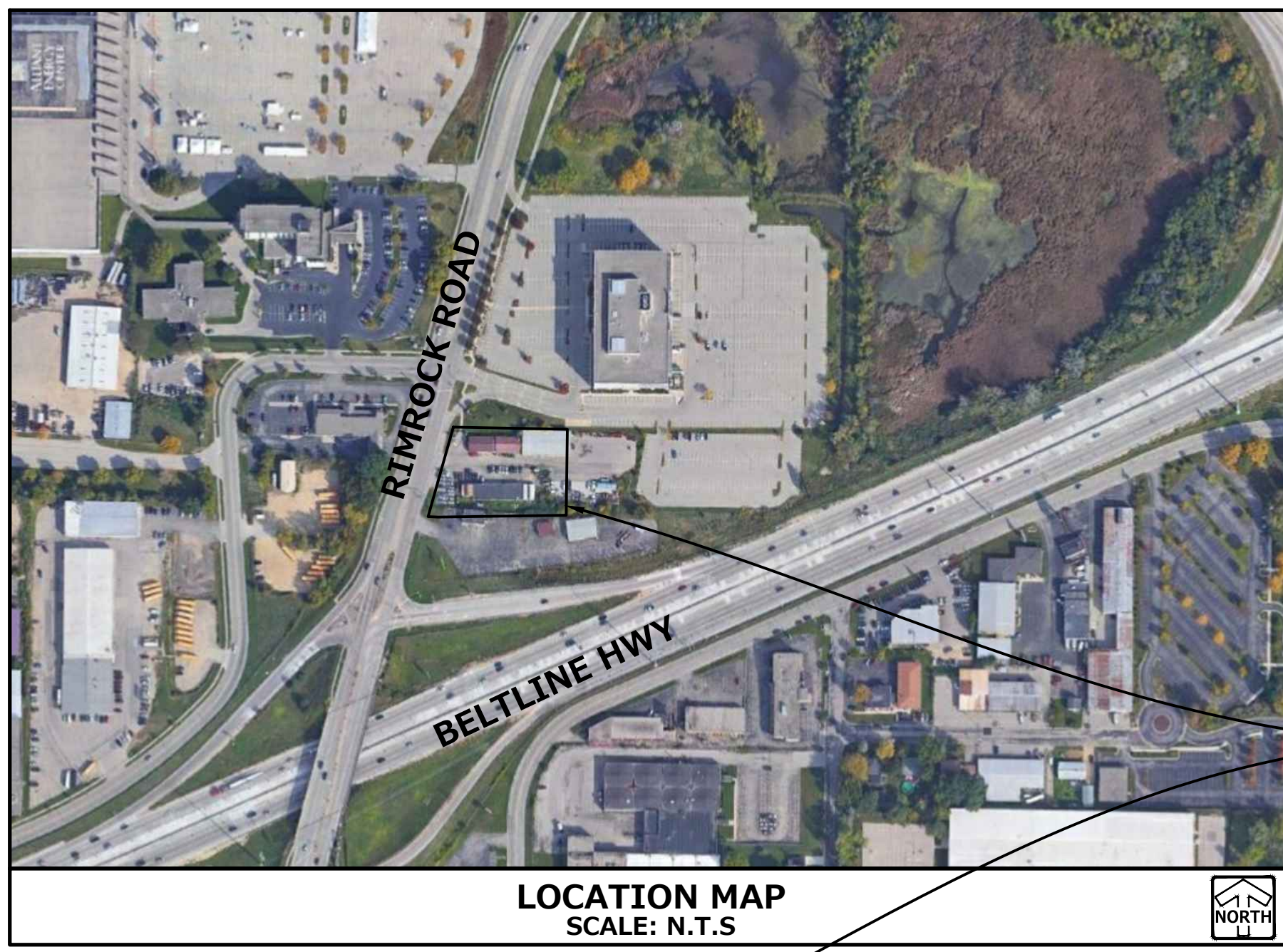
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊗	⊗
STORM SEWER CATCH BASIN (ROUND CASTING)	⊕	●
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	∩	∩
VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
CLEANOUT	⊗	⊗
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
FIRE PROTECTION	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
UTILITY CROSSING	—	—
CAUTION EXISTING UTILITIES NEARBY	⚠	⚠
GRANULAR TRENCH BACKFILL	▨	▨
LIGHTING	⊗	⊗
ELECTRICAL TRANSFORMER OR PEDESTAL	⊗	⊗
POWER POLE	⊗	⊗
POWER POLE WITH LIGHT	⊗	⊗
GUY WIRE	⊗	⊗
STREET SIGN	⊗	⊗
CONTOUR	749	749
SPOT ELEVATION	x (750.00)	+750.00
WETLANDS	▨	▨
PRIMARY ENVIRONMENTAL CORRIDOR	▨	▨
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊗	⊗
SOIL BORING	⊗	⊗
TOPSOIL PROBE	⊗	⊗
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS			
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C & G	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
CB	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
EP	EDGE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAV	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TS	TOP OF SIDEWALK
HWL	HIGH WATER LEVEL	TW	TOP OF WALK
INVT	INVERT	WM	WATER MAIN
L	LENGTH OF CURVE	∠	INTERSECTION ANGLE
M	MANHOLE		
N	NOT TO SCALE		

# ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

## FOR STARBUCKS - RIMROCK ROAD

RIMROCK ROAD, MADISON, WI  
 PLANS PREPARED FOR  
 THE NORTH CENTRAL GROUP & TRI-NORTH BUILDERS



INDEX OF SHEETS	
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS AND DEMO PLAN
C-4	SITE DIMENSIONAL AND PAVING PLAN
C-5	GRADING & EROSION CONTROL PLAN
C-6	UTILITY PLAN
C-7	CONSTRUCTION DETAILS
C-8	FIRE ACCESS PLAN

GOVERNMENT CONTACTS	
<b>CITY OF MADISON DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT</b> 215 MARTIN LUTHER KING JR BLVD. SUITE 017 MADISON, WI 53703 MAIN: (608) 266-4635	<b>CITY OF MADISON ENGINEERING DEPARTMENT</b> 210 MARTIN LUTHER KING JR BLVD. SUITE 115 MADISON, WI 53703 MAIN: (608) 266-4751

PROJECT TEAM CONTACTS	
<b>CIVIL ENGINEER:</b> MARK T. SEIDL, P.E. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 MAIN: (262) 754-8888 E-MAIL: MSEIDL@PINNACLE-ENGR.COM	<b>SURVEYOR:</b> JOHN KONOPACKI, P.L.S. PINNACLE ENGINEERING GROUP 20725 WATERTOWN ROAD, SUITE 100 BROOKFIELD, WI 53186 MAIN: (262) 754-8888 E-MAIL: john.konopacki@pinnacle-engr.com
<b>APPLICANT/OWNER:</b> ERIK SANDE, P.E. THE NORTH CENTRAL GROUP 1600 ASPEN COMMONS, SUITE 200 MIDDLETON, WI 53562 MAIN: 608-662-3623 E-MAIL: esande@ncg-hotels.com	<b>CONSTRUCTION MANAGER:</b> RYAN HUENINK TRI-NORTH BUILDERS 2625 RESEARCH PARK DR FITZGIBBONS, WI 53171 MAIN: 608-271-8717 E-MAIL: rhuenink@tri-north.com

### GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCIES LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- A GEOTECHNICAL REPORT HAS NOT YET BEEN PREPARED FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL 'GOOD HOUSEKEEPING'.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.



EXPIRATION DATE: \_\_\_\_\_  
 PINNACLE ENGINEERING GROUP, LLC  
 ENGINEER'S LIMITATION  
 PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.  
 FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

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(262) 754-8888  
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**STARBUCKS - RIMROCK ROAD**

RIMROCK ROAD, MADISON, WI

COVER SHEET

REVISIONS		SHEET
1	CITY SUBMITTAL #1 09.23.20	
		C-8

PEC JOB NO. 2086.00  
 MTS  
 PEG PM  
 START DATE 09/03/20  
 SCALE N.T.S.



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REVIEWED: MTS

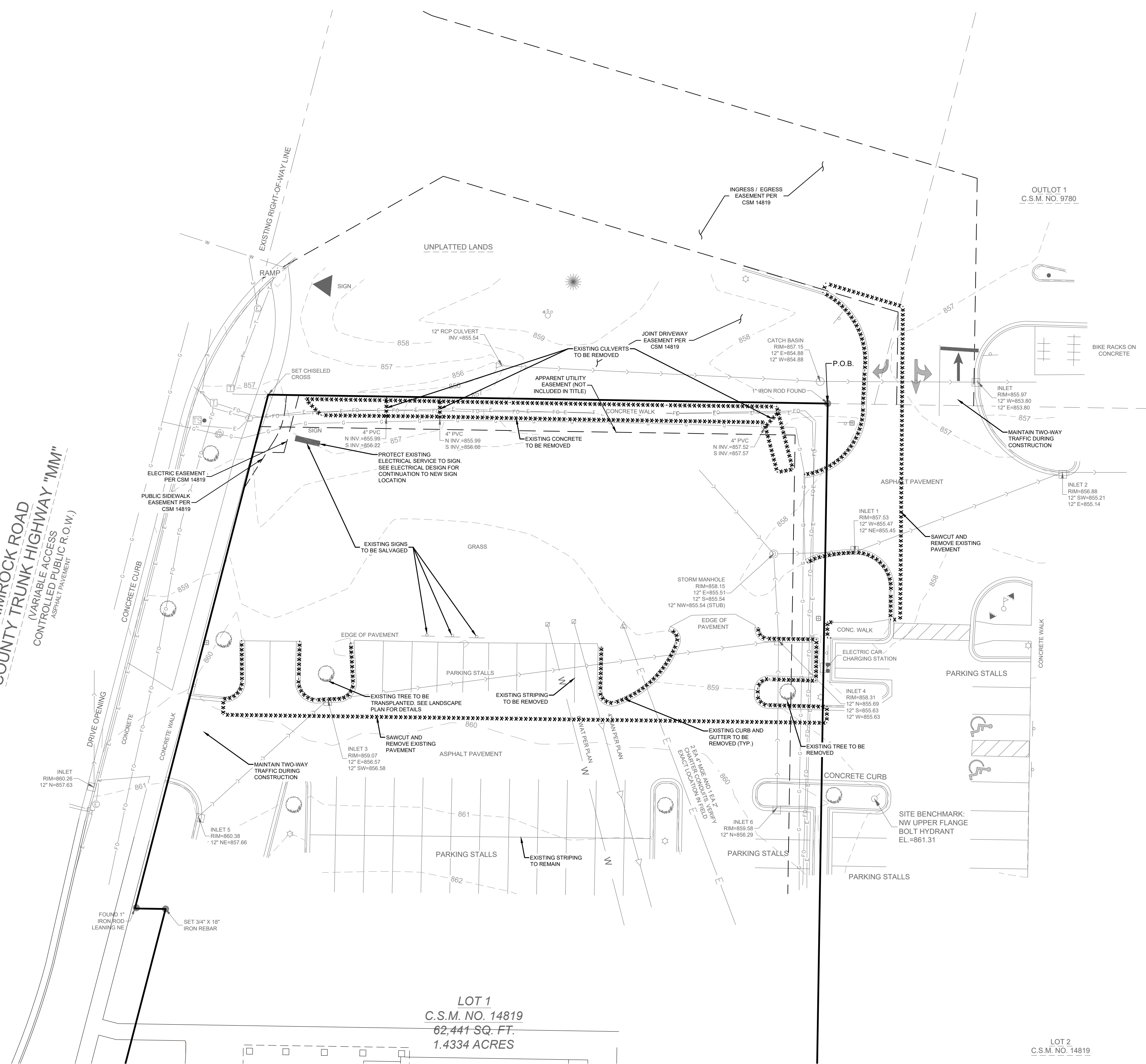
DESIGNED: AAS

DRAFTED: AAS

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EXISTING CONDITIONS AND DEMO PLAN

RIMROCK ROAD  
COUNTY TRUNK HIGHWAY "MM"  
(VARIABLE ACCESS  
CONTROLLED PUBLIC R.O.W.)  
ASPHALT PAVEMENT



LEGEND			
SANITARY MANHOLE	⊗	STORM SEWER	— S —
STORM MANHOLE	⊙	WATER MAIN	— W —
CATCH BASIN	○	LIGHTING	⊛
INLET	□	ELECTRICAL CABLE	— E —
PRECAST FLARED END SECTION	△	ELECTRICAL TRANSFORMER OR PEDESTAL	⊠
CONCRETE HEADWALL	∩	POWER POLE	⊕
VALVE VAULT	⊗	POWER POLE WITH LIGHT	⊕*
VALVE BOX	■	GUY WIRE	— G —
FIRE HYDRANT	⊙	STREET SIGN	⊙
BUFFALO BOX	⊙	GAS MAIN	— G —
CLEANOUT	⊠	TELEPHONE LINE	— T —
SANITARY SEWER	— S —	CONTOUR	~
FORCE MAIN	— F —	TREE WITH TRUNK SIZE	* 6"
CONCRETE SIDEWALK	—	EASEMENT LINE	- - -

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**CONTRACTOR TO CONFIRM ALL STARBUCKS SITE ITEMS WITH STARBUCKS CONSTRUCTION DOCUMENTS**

**EXISTING CONDITIONS SURVEY:**

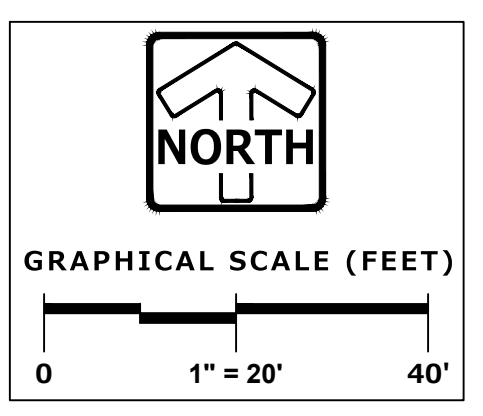
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

**CONTRACTOR RESPONSIBILITY:**

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

LOT 1  
C.S.M. NO. 14819  
62,441 SQ. FT.  
1.4334 ACRES

LOT 2  
C.S.M. NO. 14819



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**STARBUCKS - RIMROCK ROAD**

**RIMROCK ROAD, MADISON, WI**

**EXISTING CONDITIONS AND DEMO PLAN**

REVISIONS	
1	CITY SUBMITTAL #1 09.23.20

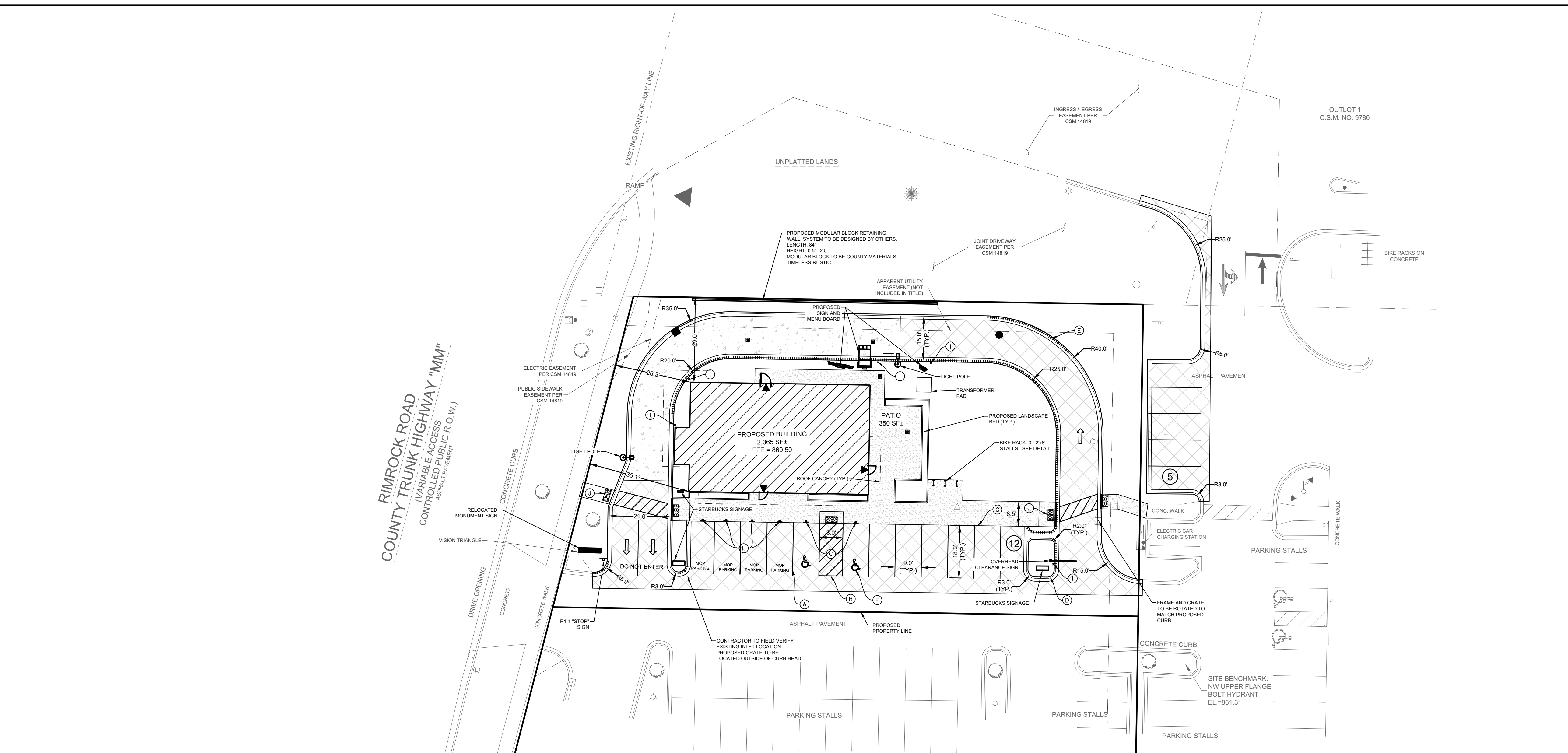
PEG JOB NO.	2086.00	SHEET	C-3
MTS			C-8
START DATE	08/04/20		
SCALE	1"=20'		

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REVIEWED: MTS

DESIGNED: AAS

DRAWN: AAS



**LEGEND**

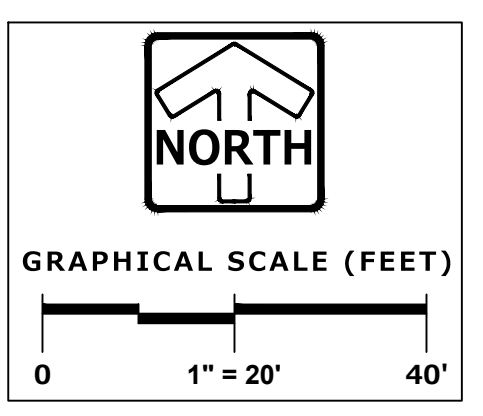
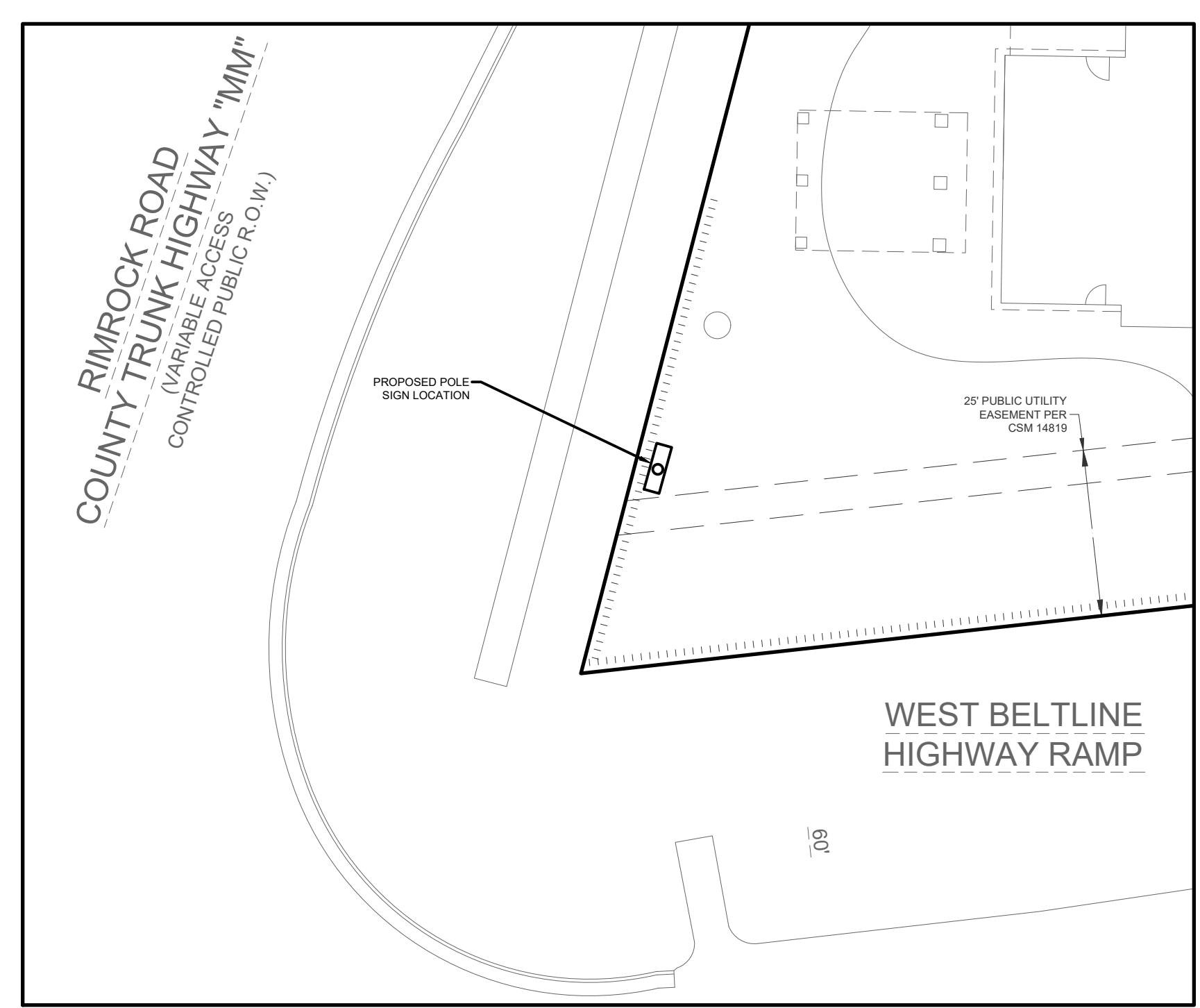
	<b>LIGHT DUTY ASPHALT PAVEMENT</b> - 9" - 1 1/2" CRUSHED AGGREGATE TB - 3" WMA PAVEMENT (2 LIFTS) - 1 1/2" BINDER COARSE - 3 LT 58-28 S - 1 1/2" SURFACE COARSE - 5 LT 58-28 S
	<b>HEAVY DUTY ASPHALT PAVEMENT</b> - 12" - 1 1/2" CRUSHED AGGREGATE TB - 4" WMA PAVEMENT (2 LIFTS) - 2 1/2" BINDER COARSE - 3 LT 58-28 S - 1 1/2" SURFACE COARSE - 5 LT 58-28 S
	<b>CONCRETE PAVEMENT</b> - 6" CONCRETE SLAB WITH 6 x 6 - W2.9 + W2.9 W.W.M. - 6" MIN. - 1 1/2" CRUSHED AGGREGATE TB
	<b>CONCRETE SIDEWALK</b> - 5" CONCRETE SIDEWALK - 4" - 1 1/2" CRUSHED AGGREGATE TB
(A)	4" SOLID WHITE STRIPE
(B)	4" DIAGONAL AT 45° SPACED 2' O.C.
(C)	ADA PARKING STALL SIGNAGE WITH BOLLARD (SEE DETAIL)
(D)	18" CURB & GUTTER (SEE DETAIL)
(E)	18" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
(F)	ADA STALL INSIGNIA
(G)	INTEGRAL CURB AND GUTTER (SEE DETAIL)
(H)	MOBILE ORDER PICKUP SIGNAGE (SEE STARBUCKS DETAIL)
(I)	BOLLARD (SEE STARBUCKS DETAIL)
(J)	TACTILE WARNING PLATES (NEENAH CAST IRON)
(16)	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

**SITE DATA**

SITE AREA:	0.46 AC
DISTURBANCE LIMITS:	0.48 AC
BUILDING AREA:	0.05 AC
PROPOSED CAR PARKING SPACES:	17 SPACES (2 A.D.A.)
GRASS AREA:	0.14 AC
TOTAL IMPERVIOUS AREA:	0.32 AC
GREEN SPACE (%):	31.05 %

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**CONTRACTOR TO CONFIRM ALL STARBUCKS SITE ITEMS WITH STARBUCKS CONSTRUCTION DOCUMENTS**



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**STARBUCKS - RIMROCK ROAD**

**RIMROCK ROAD, MADISON, WI**

**SITE DIMENSIONAL AND PAVING PLAN**

**REVISIONS**

1	CITY SUBMITTAL #1	09.23.20	

PEG JOB No. 2086.00  
PEG PM MTS  
START DATE 08/04/20  
SCALE 1" = 20'

SHEET  
**C-4**  
**C-8**

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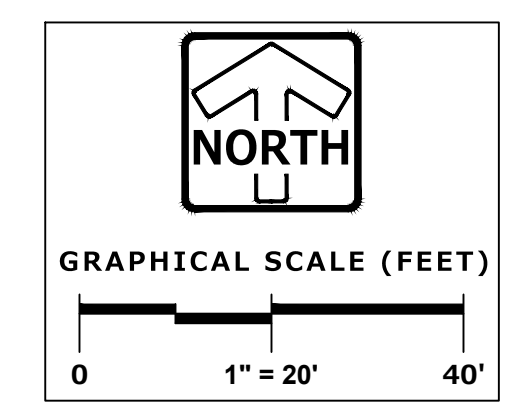
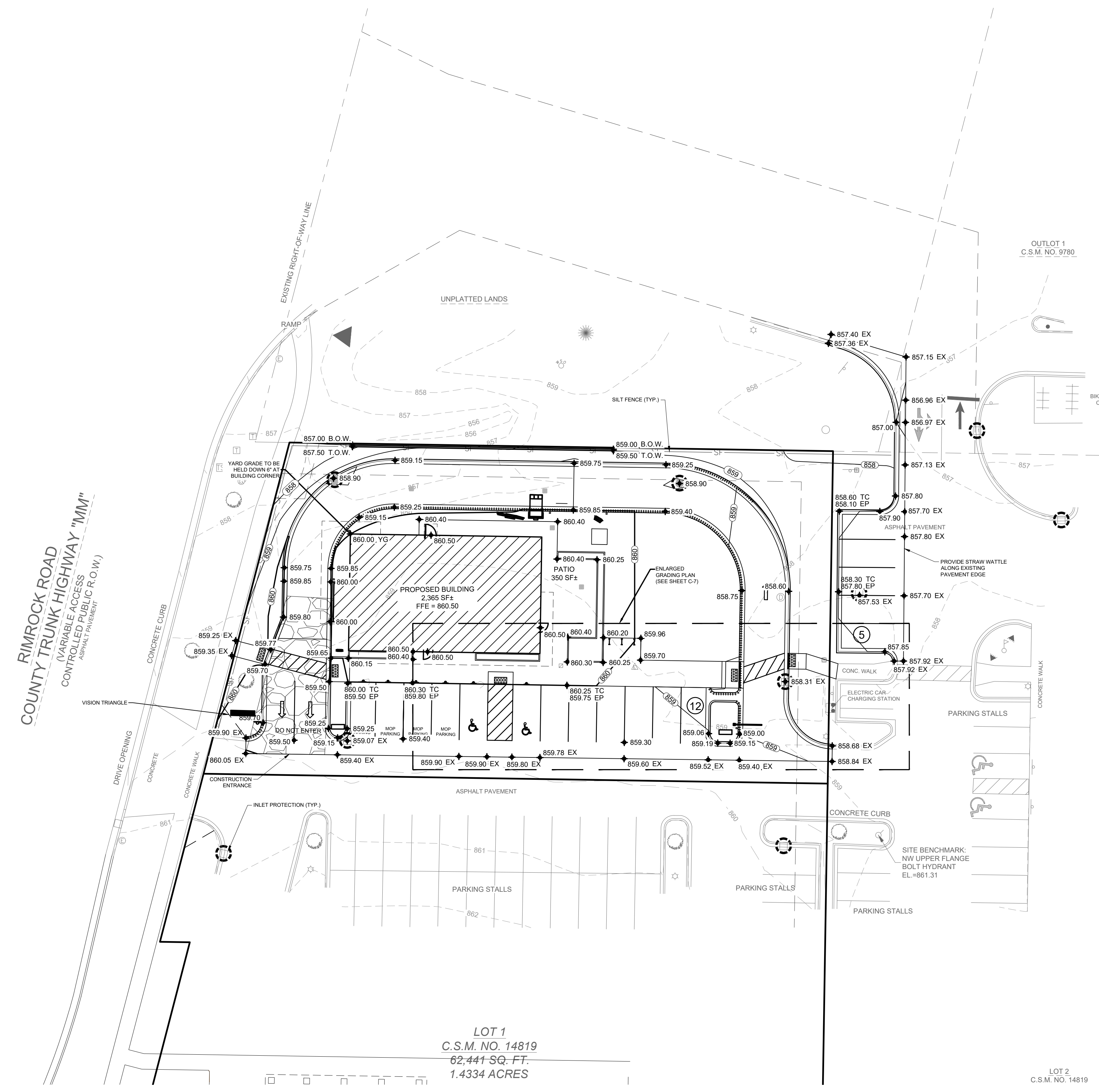
LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	WETLANDS
	FLOODPLAIN
	HIGH WATER LEVEL (HWL)
	DIRECTION OF SURFACE FLOW
	NORMAL WATER LEVEL (NWL)
	DITCH OR SWALE
	DIVERSION SWALE
	SILT FENCE
	TYPE D INLET PROTECTION
	CONSTRUCTION ENTRANCE
	HYDROSEEDED (PER MANUFACTURER SPECIFICATIONS)
	EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)

**CONTRACTOR TO CONFIRM ALL STARBUCKS SITE ITEMS WITH STARBUCKS CONSTRUCTION DOCUMENTS**

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

- CONSTRUCTION SITE SEQCING**
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES
  2. DEMOLITION AND REMOVALS OF BUILDINGS, PAVEMENTS & LANDSCAPING.
  3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
  4. CONSTRUCTION OF FOUNDATIONS AND BUILDING.
  5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
  6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
  7. INSTALL TOPSOIL AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
  8. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**NOTE :**  
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED



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**STARBUCKS - RIMROCK ROAD**  
RIMROCK ROAD, MADISON, WI

**GRADING & EROSION CONTROL PLAN**

REVISIONS	
1	CITY SUBMITTAL #1 09.23.20

PEG JOB NO.	2086.00	SHEET	C-5
PEG PM	MTS	SHEET	C-8
START DATE	08/04/20		
SCALE	1" = 20'		

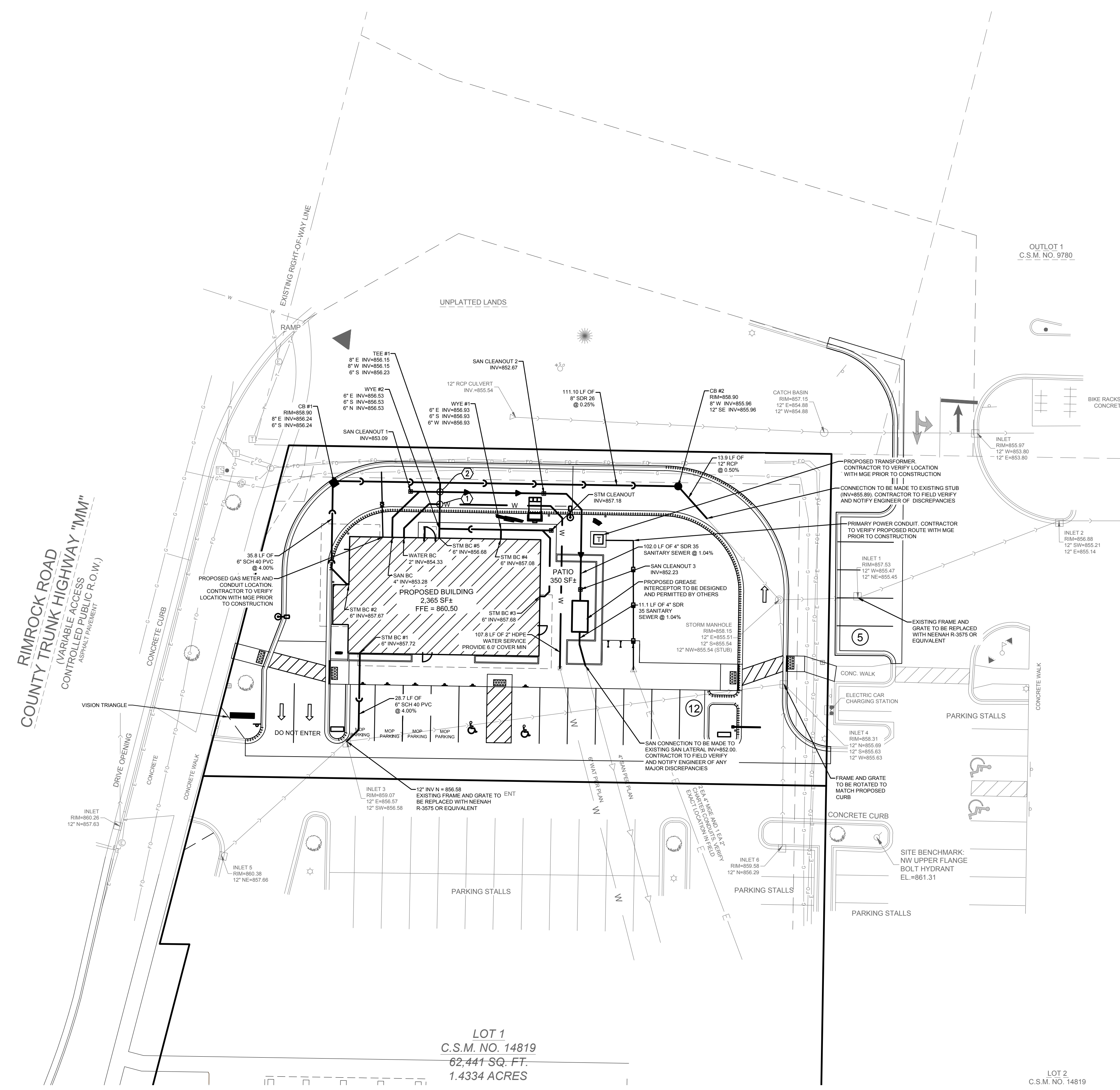
GRADING & EROSION CONTROL PLAN

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DESIGNED: AAS  
DRAFTED: AAS  
REVIEWED: MTS

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UTILITY PLAN



LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE WITH LIGHTS
	STREET SIGN
	UTILITY TO BE REMOVED

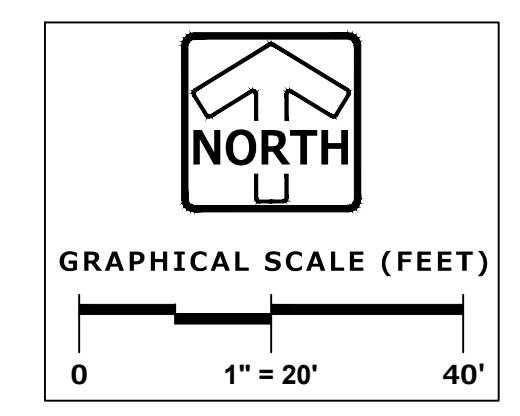
**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**CONTRACTOR TO CONFIRM ALL STARBUCKS SITE ITEMS WITH STARBUCKS CONSTRUCTION DOCUMENTS**

**DESIGN/BUILD PLUMBER TO ADJUST WATER SUPPLY PIPE SIZING AS NECESSARY TO COMPLY WITH STARBUCKS REQUIREMENTS (PROVIDE A MINIMUM OPERATING FLOW OF 60 GALLONS PER MINUTE, MINIMUM OPERATING PRESSURE OF 50PSIG AND A MAXIMUM OF 80PSIG DYNAMIC PRESSURE AT ALL TIMES, ETC. - GC TO COORDINATE**

**ALL STORM CATCH BASINS TO HAVE OIL & GREASE FILTERS PER SPECIFICATIONS ON SHEET C-7**

CROSSINGS	
	6" STM OVER 2" WAT 6" STM B.O.P. 856.37 2" WAT T.O.P. 853.10 (MIN)
	6" STM OVER 4" SAN 6" STM B.O.P. 856.28 4" SAN T.O.P. 853.36



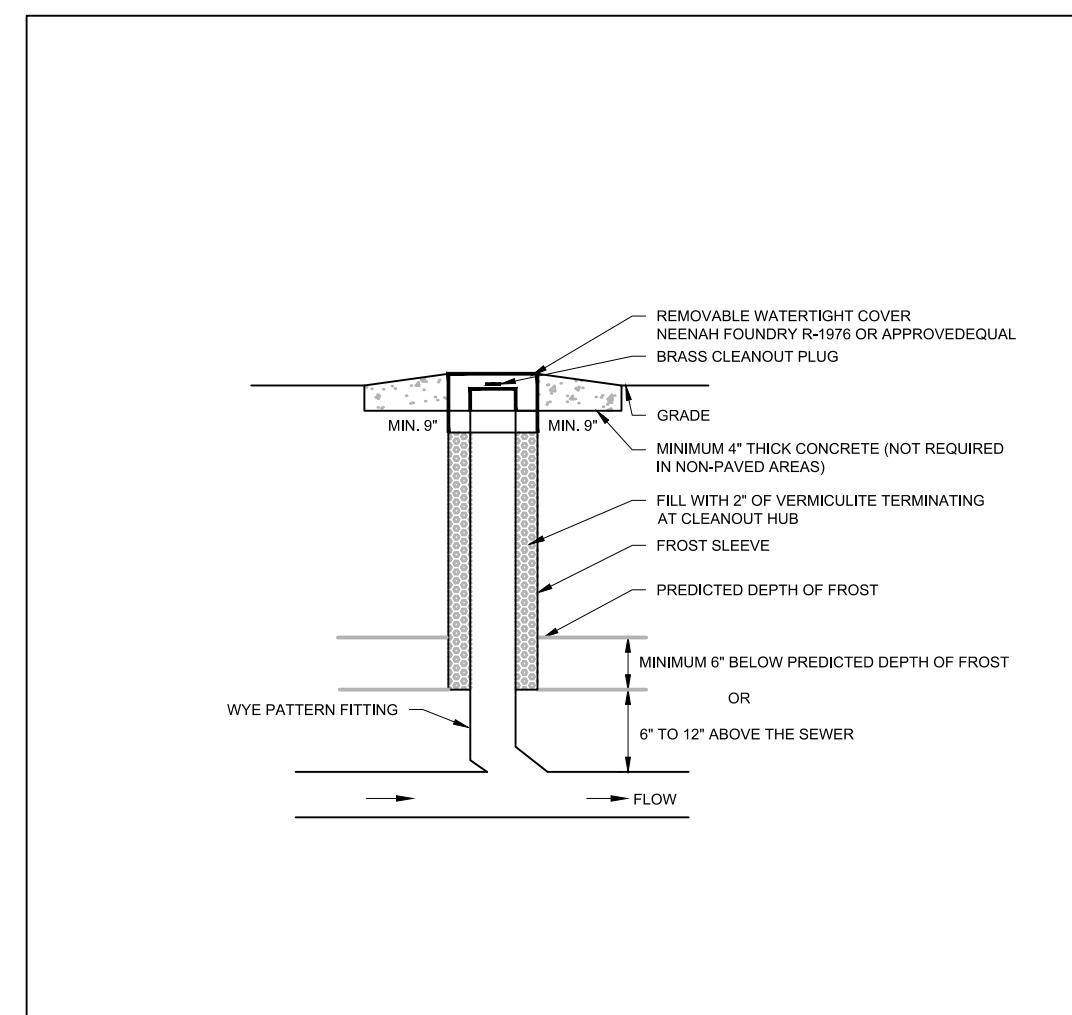
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**STARBUCKS - RIMROCK ROAD**  
**UTILITY PLAN**  
 RIMROCK ROAD, MADISON, WI

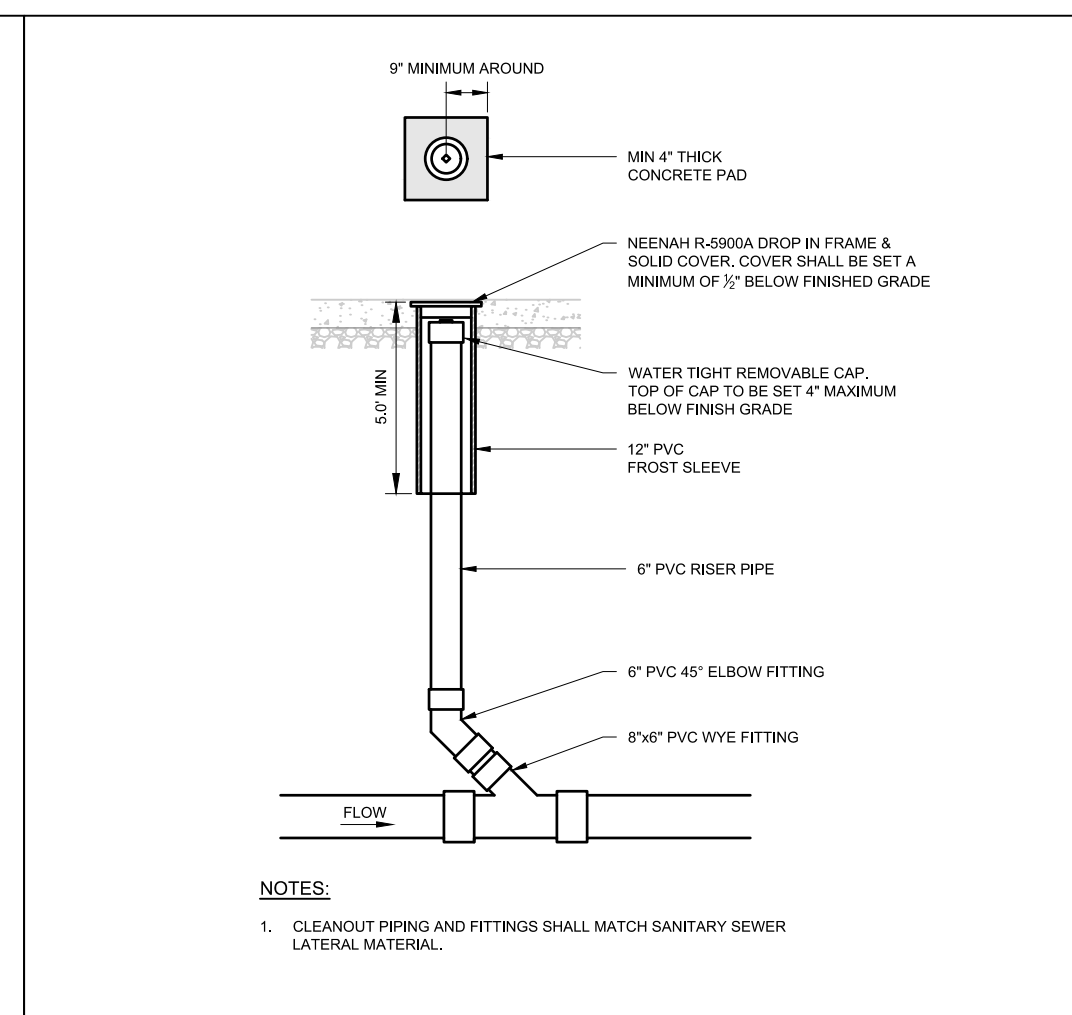
REVISIONS	
1	CITY SUBMITTAL #1 09.23.20

SHEET **C-6**  
 C-8  
 PEG JOB No. 2086.00  
 MTS  
 START DATE 08/04/20  
 SCALE 1"=20'  
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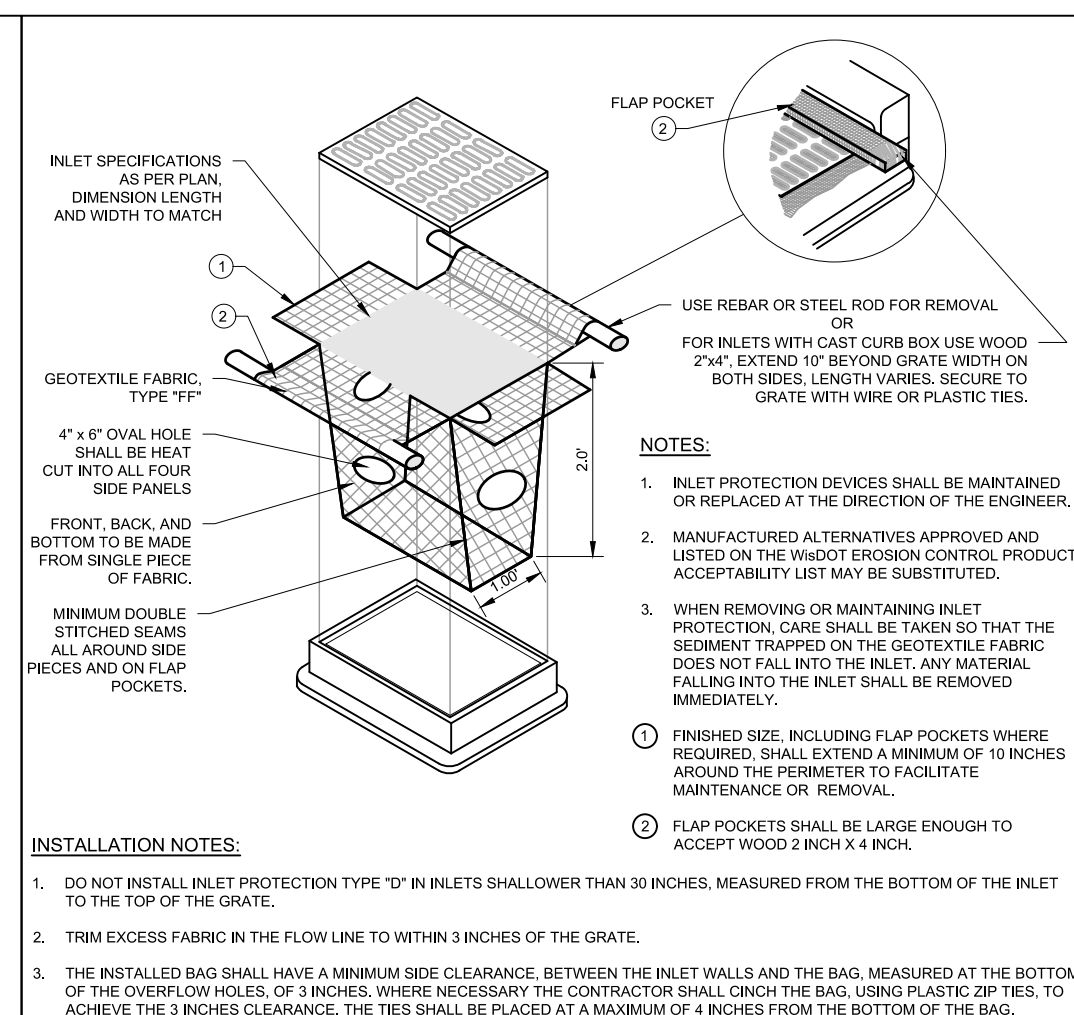
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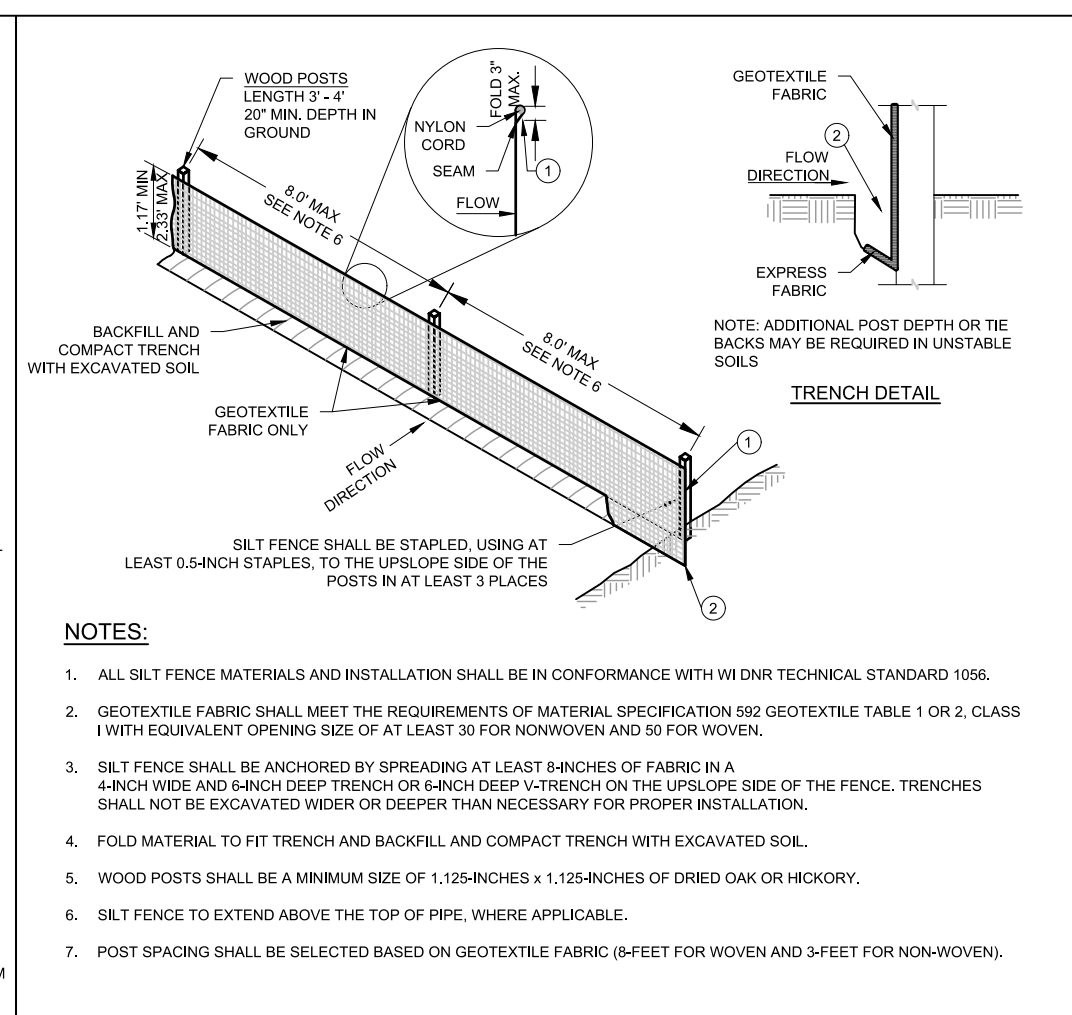
**STORM CLEANOUT**



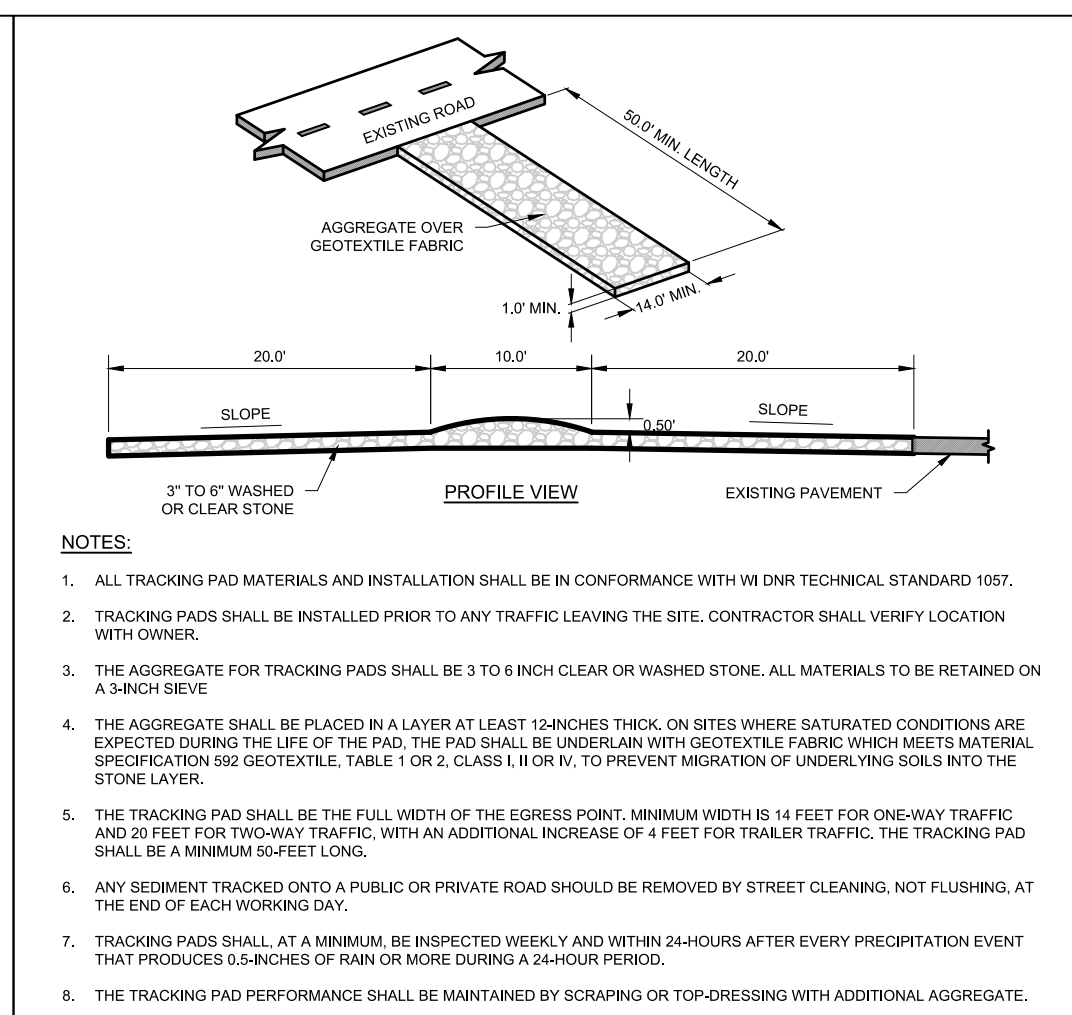
**SANITARY SEWER CLEANOUT IN PAVEMENT**



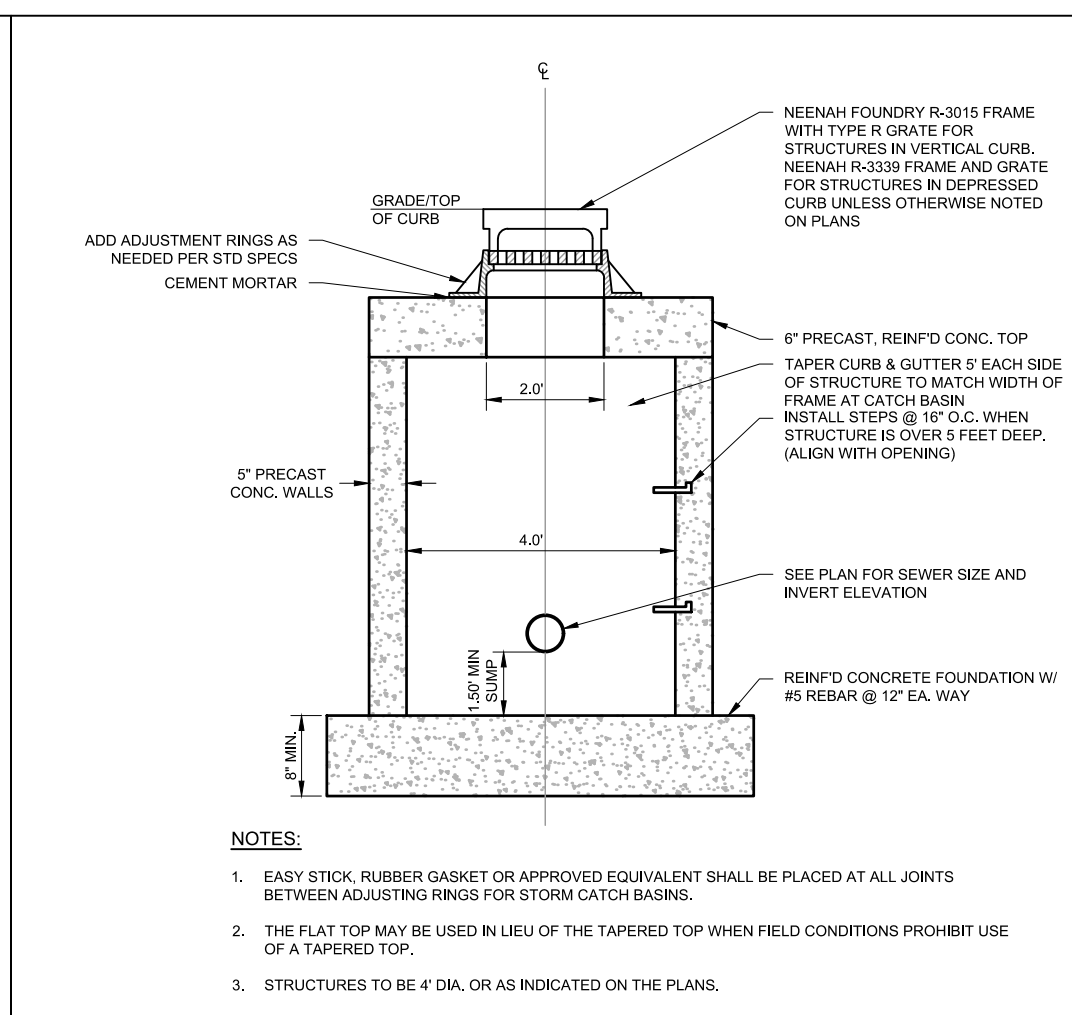
**INLET PROTECTION**



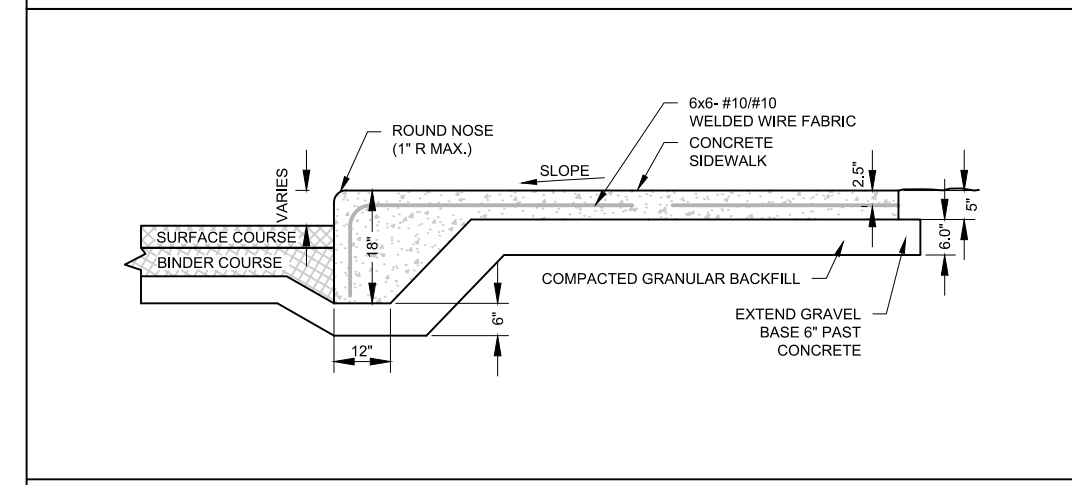
**SILT FENCE**



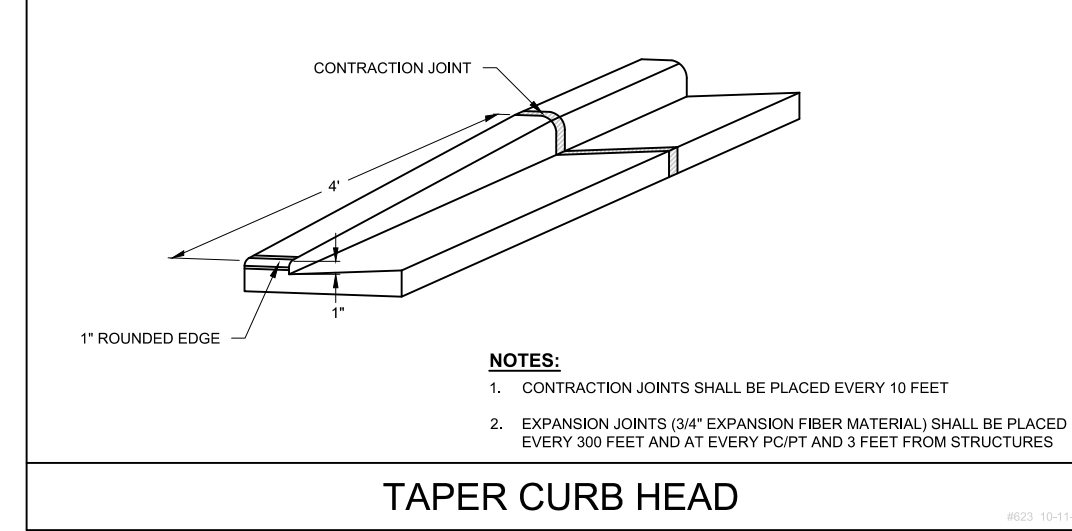
**CONSTRUCTION ENTRANCE**



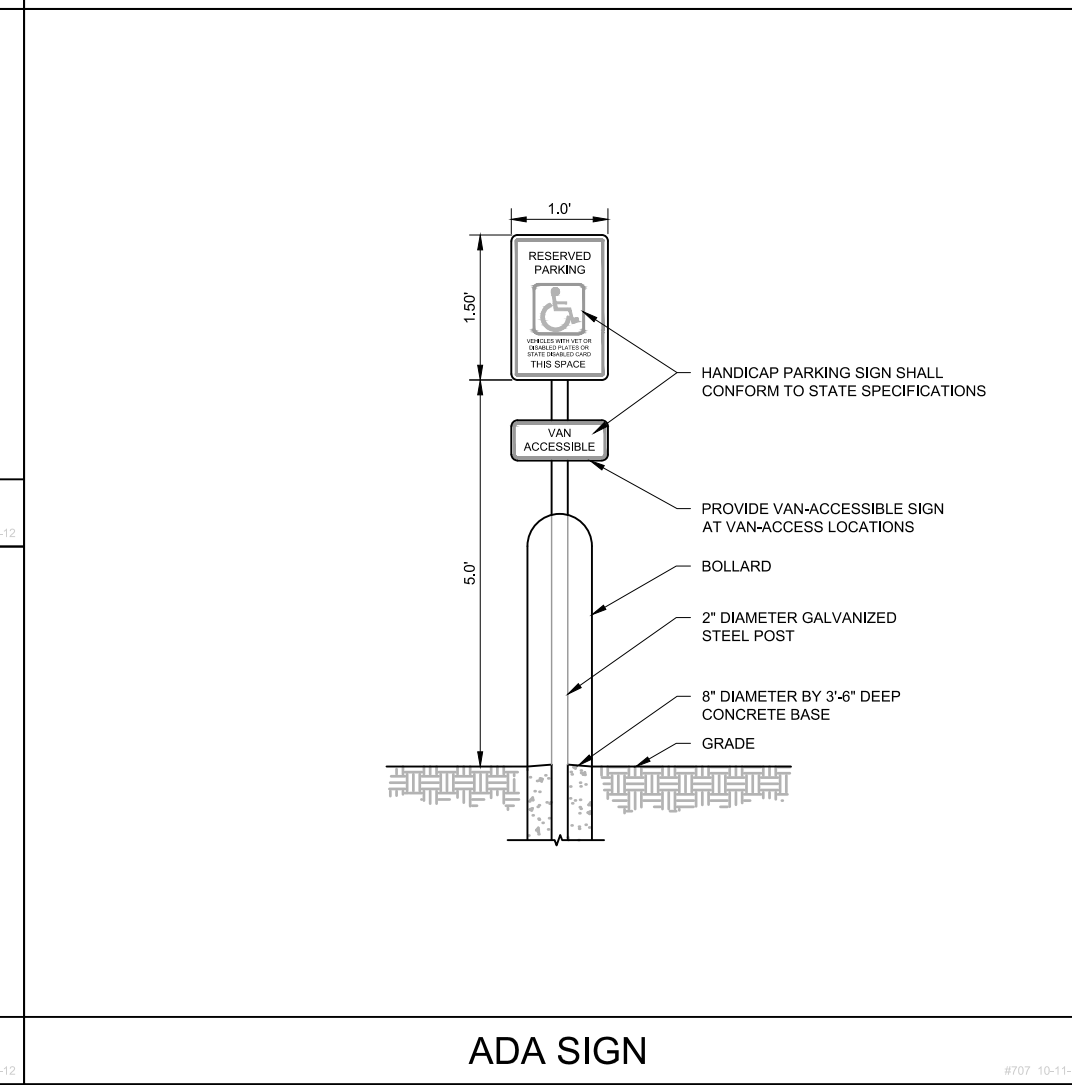
**CATCH BASIN - CURB**



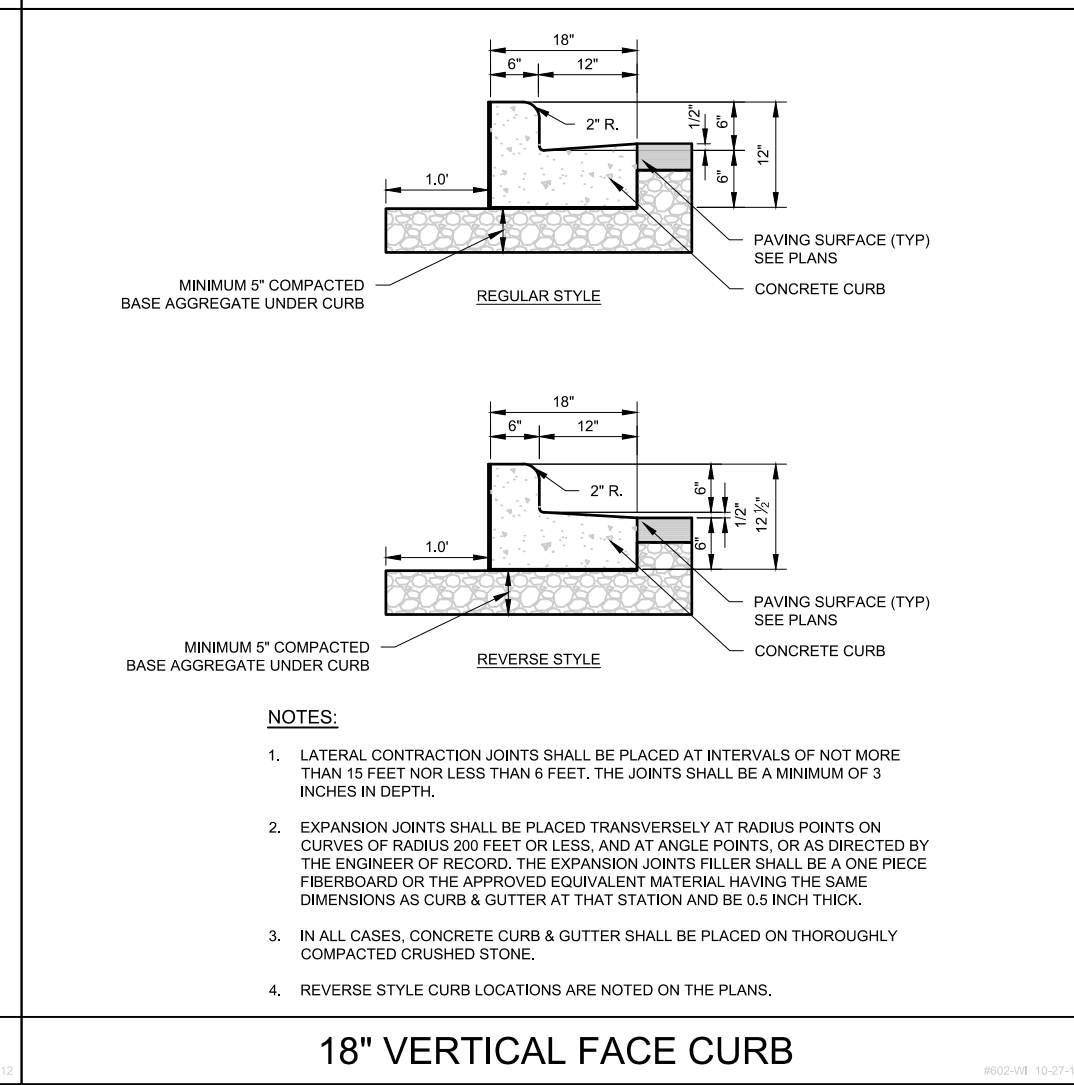
**Integral CURB AND SIDEWALK**



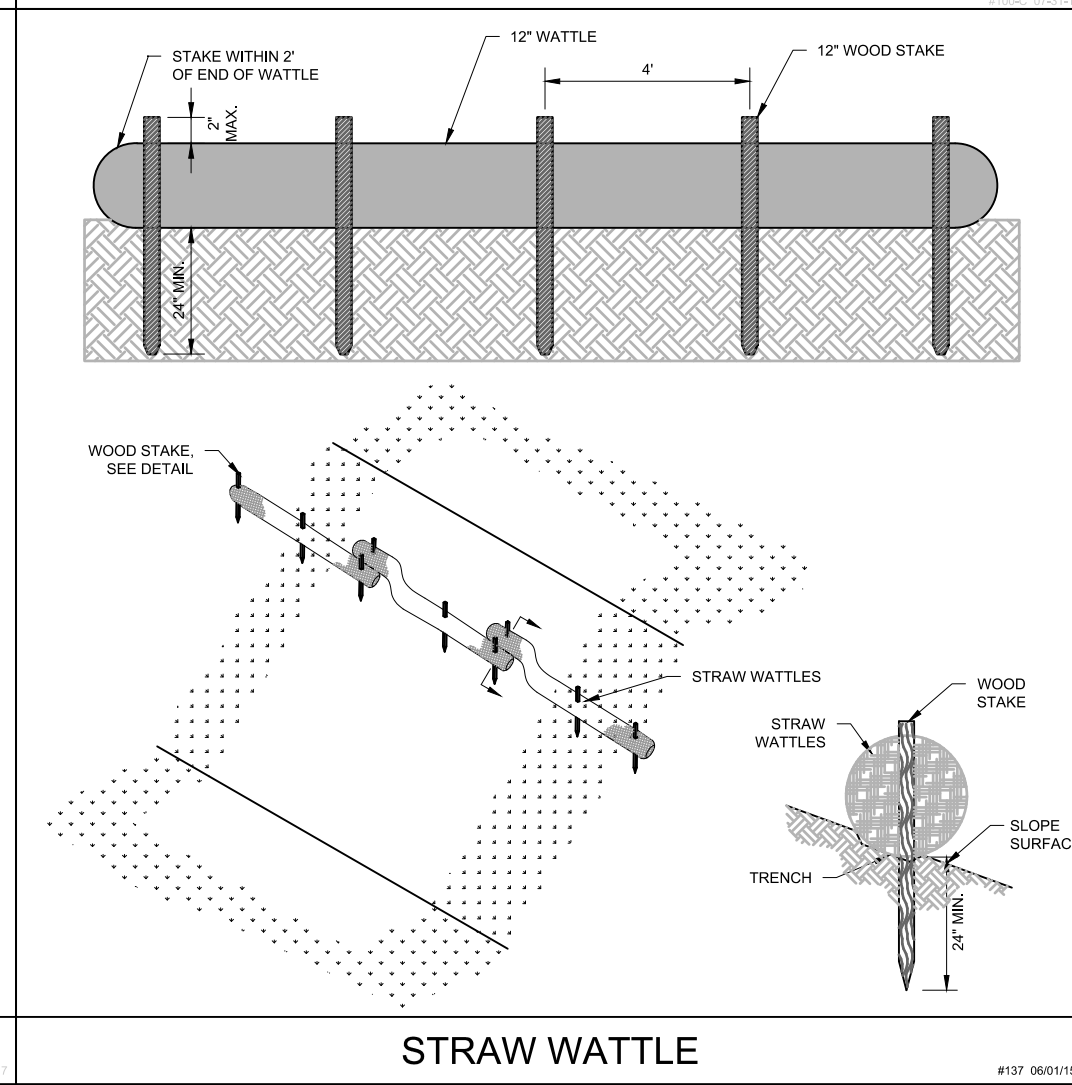
**TAPER CURB HEAD**



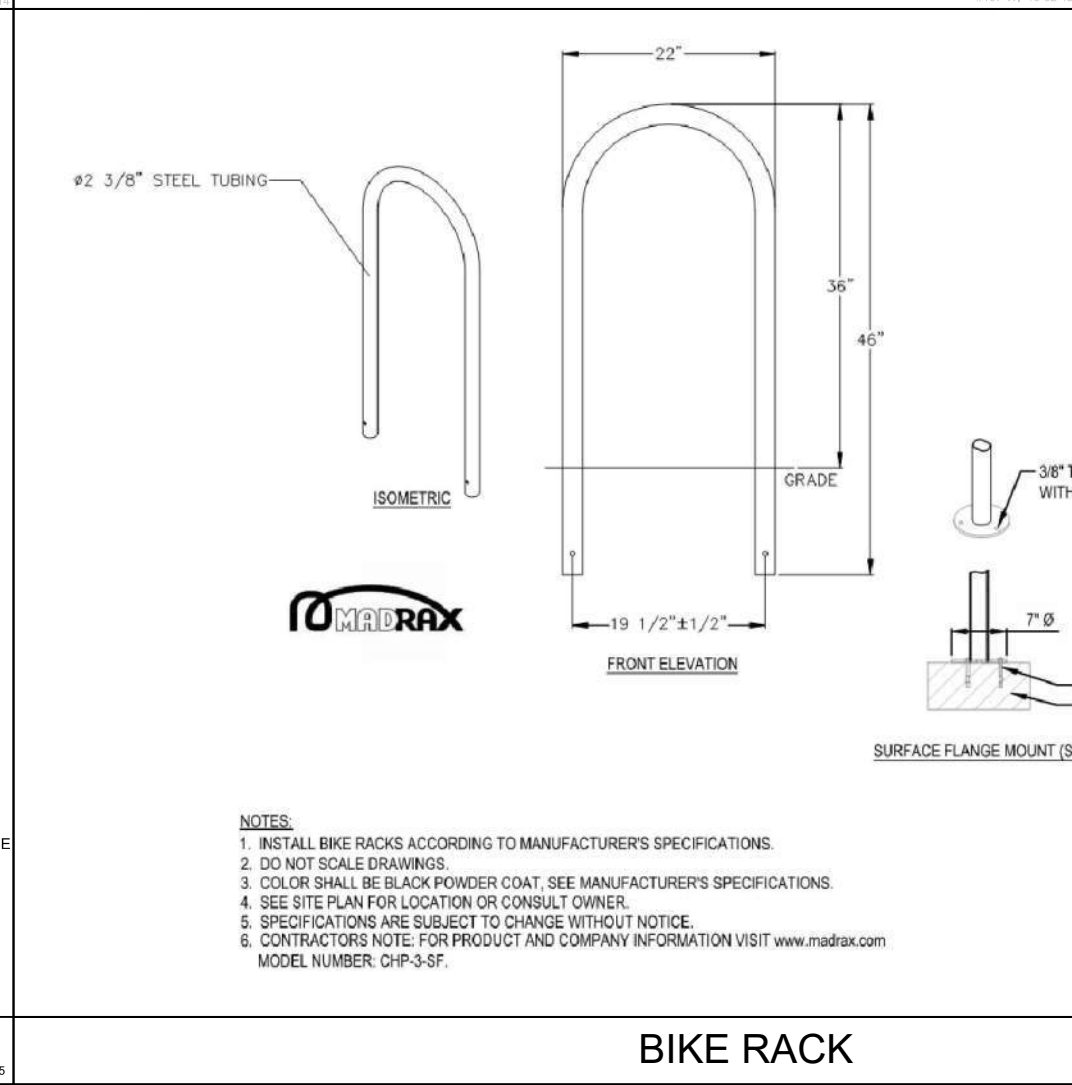
**ADA SIGN**



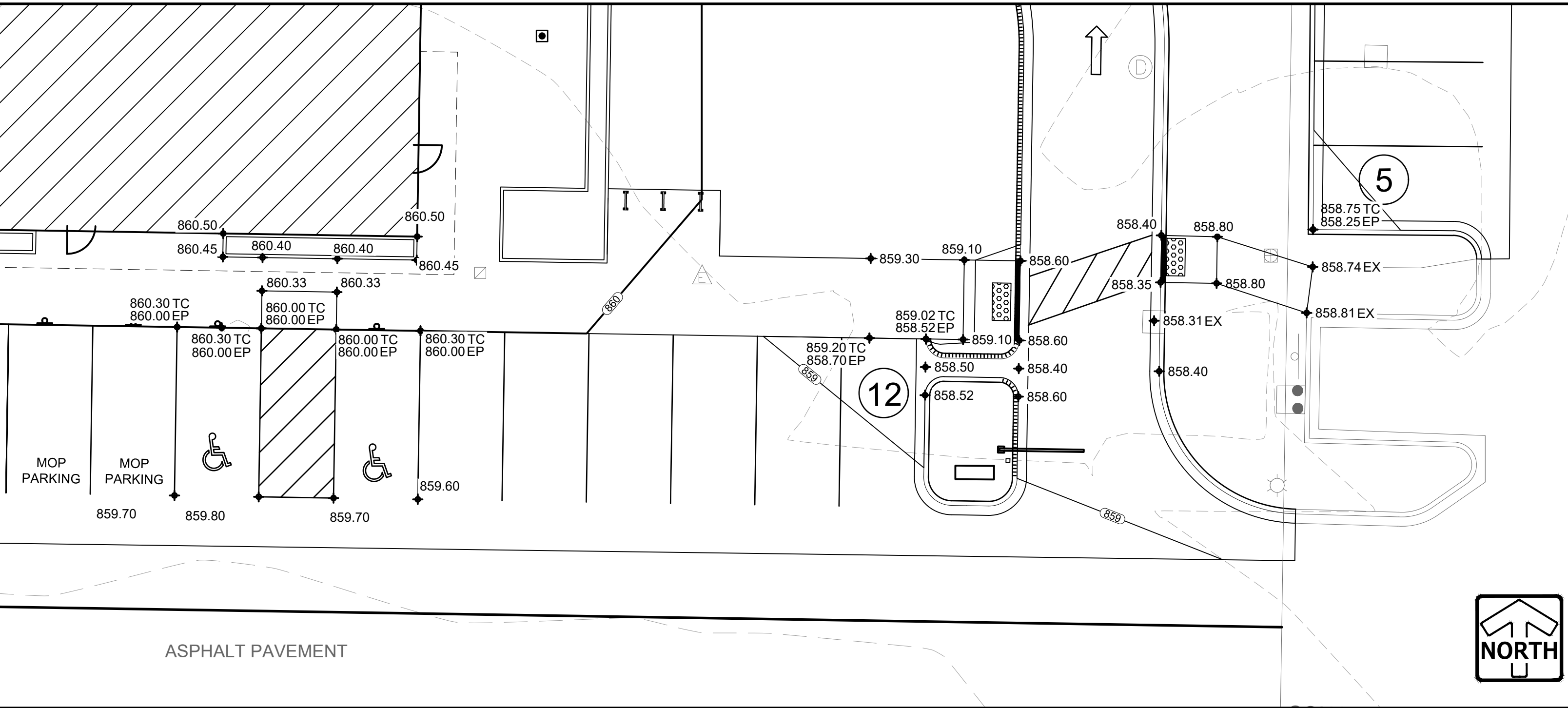
**18" VERTICAL FACE CURB**



**STRAW WATTLE**



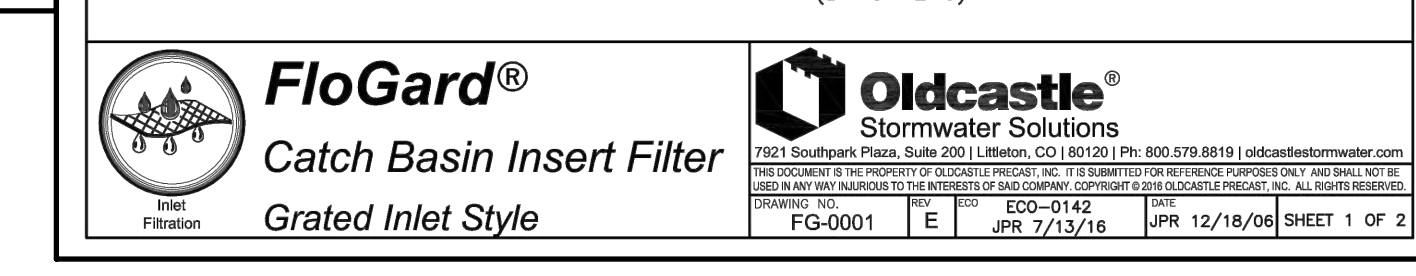
**BIKE RACK**



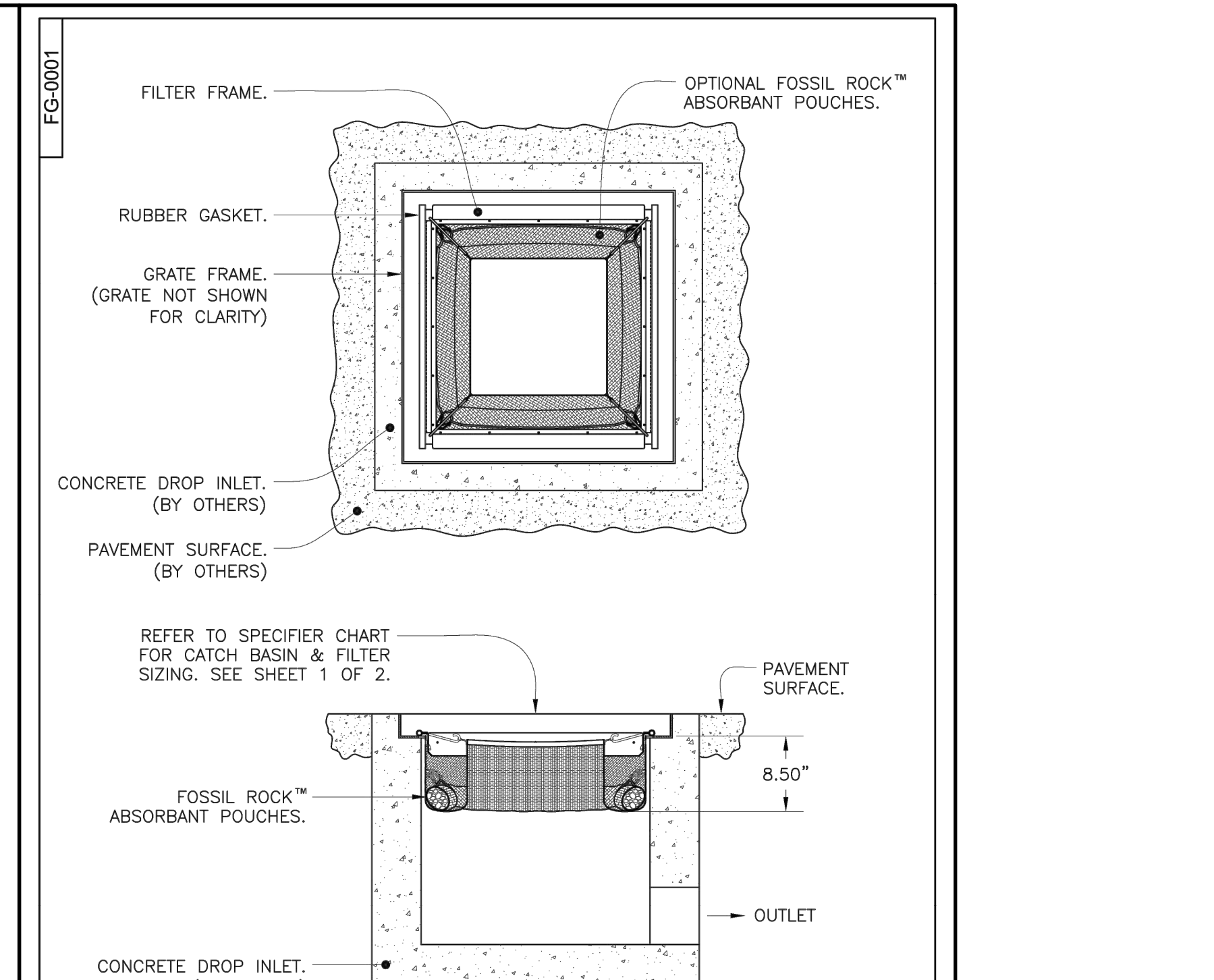
**ENLARGED VIEW SCALE: 1"=10'**

MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	28" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET

**SPECIFIER CHART**



**Catch Basin Insert Filter Grated Inlet Style**



**Catch Basin Insert Filter Grated Inlet Style**

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**STARBUCKS - RIMROCK ROAD**  
 RIMROCK ROAD, MADISON, WI

**CONSTRUCTION DETAILS**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	09.23.20	CITY SUBMITTAL #1

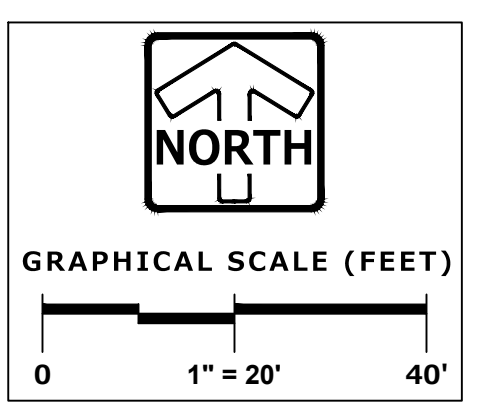
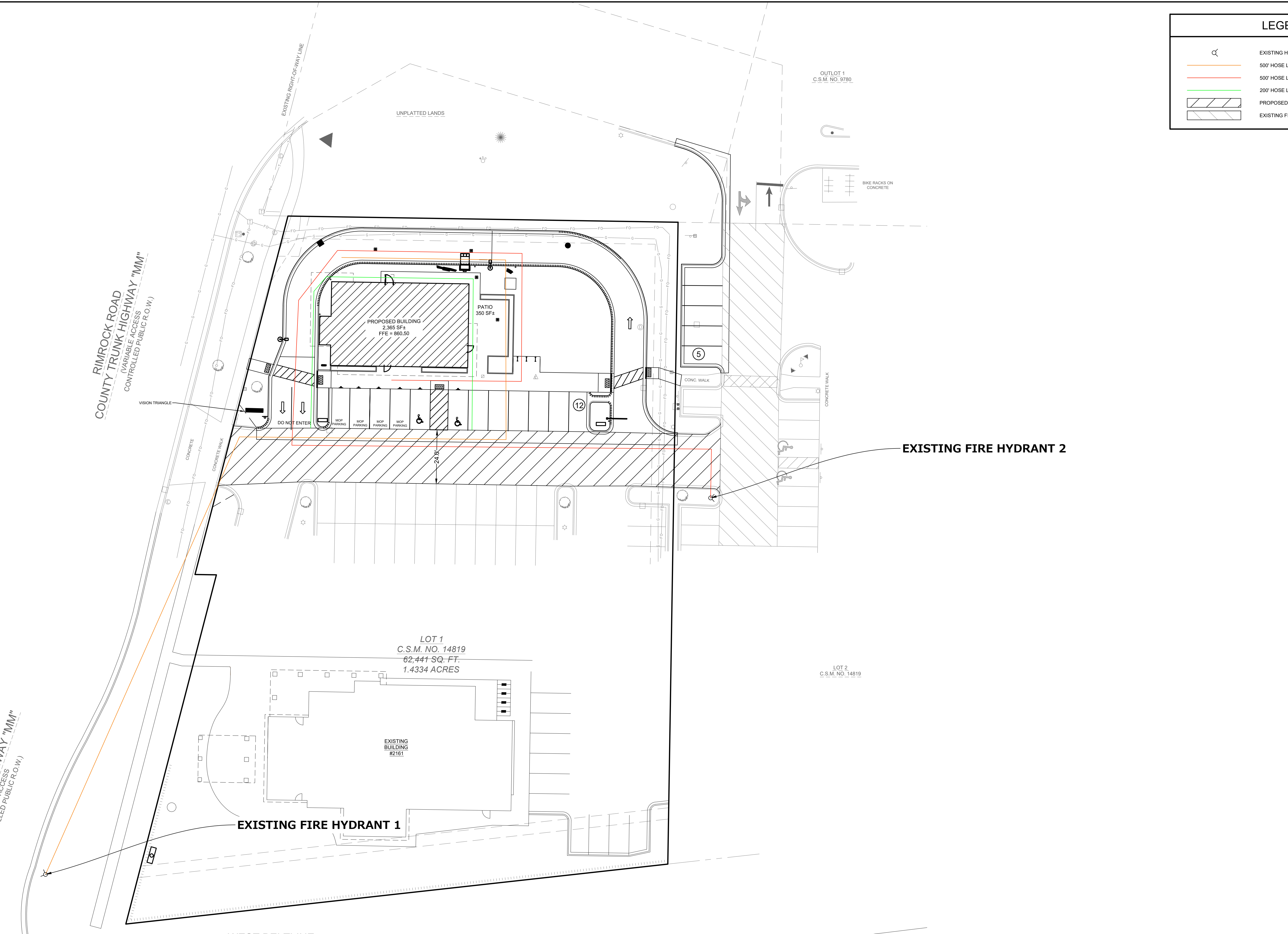
SHEET C-7  
 SHEET C-8  
 SCALE: N.T.S.  
 START DATE: 08/04/20  
 PEG JOB No.: 2086.00  
 MTS  
 N.T.S.  
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DESIGNED: AAS  
 DRAWN: AAS  
 REVIEWED: MTS  
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LEGEND	
	EXISTING HYDRANT
	500' HOSE LAY FROM EXISTING HYDRANT 1
	500' HOSE LAY FROM EXISTING HYDRANT 2
	200' HOSE LAY FROM FIRE LANE
	PROPOSED FIRE LANE
	EXISTING FIRE LANE



**PINNACLE ENGINEERING GROUP**  
 ENGINEERING | NATURAL RESOURCES | SURVEYING  
 WISCONSIN OFFICE:  
 20725 WATERTOWN ROAD, SUITE 100  
 BROOKFIELD, WI 53186  
 (262) 754-8888  
 CHICAGO | MILWAUKEE | NATIONWIDE

**STARBUCKS - RIMROCK ROAD**  
**RIMROCK ROAD, MADISON, WI**

**FIRE ACCESS PLAN**

REVISIONS	
1	CITY SUBMITTAL #1 09.23.20

PEG JOB NO. 2086.00 PEG PM MTS START DATE 08/04/20 SCALE 1"=20'	<b>SHEET</b> <b>C-8</b> <b>C-8</b>
--------------------------------------------------------------------------	------------------------------------------

FIRE ACCESS PLAN





# MADISON LANDSCAPE WORKSHEET

Zoning District: Current is SE

Total square footage of developed area ..... 11,520 SF

Total square footage of first 5 acres of developed area ÷ 300 square feet = ..... 38 Landscape Units

Total square footage of 0 additional acres of developed area ÷ 100 square feet = ..... 0 Landscape Units

## NUMBER OF LANDSCAPE POINT REQUIRED

38 Landscape Units x 5 landscape points for first 5 acres..... 190 points

0 Landscape Units x 1 landscape point for additional 0 acres..... 0 points

**TOTAL LANDSCAPE POINTS REQUIRED..... 190 points**

PLANT TYPE or ELEMENT	Point Value	NEW		EXISTING		
		Qty.	Points Achieved	Qty.	Points Achieved	
Overstory Deciduous Tree : 2-1/2" (dbh)	35	4	140			
Tall Evergreen Tree : 5-6 feet tall	35	4	140			
Ornamental Tree : 1-1/2" Caliper (dbh)	15	1	15			
Upright Evergreen Shrub : 3-4 feet tall	10	0	0			
Shrub, deciduous : 3 gallon / 12"-24"	3	23	69			
Shrub, evergreen : 3 gallon / 12"-24"	4	15	60			
Ornamental grass/perennial : 1 gallon / 8"-18"	2	45	90			
Ornamental / Decorative fencing or wall	4 per 10 l.f.					
Existing significant specimen tree	14 per Cal. In.					
Landscape furniture for public seating and /or transit connections	5 per 'seat'					
<b>Sub Totals</b>			<b>514</b>	<b>+</b>	<b>0</b>	<b>= 514</b>

### Street Frontage Landscape Required

Street Frontage = 110 LF

Canopy Trees Required: 1 per 30 LF Frontage = ..... 3.6

Shrubs Required : 5 per 30 LF Frontage = ..... 18

### Street Frontage Landscape Supplied

Proposed Canopy Trees = 6.5

Proposed Shrubs = 38



LANDSCAPE ARCHITECTS  
LANDSCAPE CONTRACTORS

2830 PARMENTER STREET  
P.O. BOX 620330  
MIDDLETON, WI 53562-0330

TEL (608) 836-7041  
FAX (608) 831-6266

**STARBUCKS**  
RIMROCK ROAD  
MADISON, WISCONSIN 53713

Checked By: SS  
Drawn By: 9/03/20 RS

Revised: City Submittal  
#1 9-03-20

Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:  
Revised:

**L2**

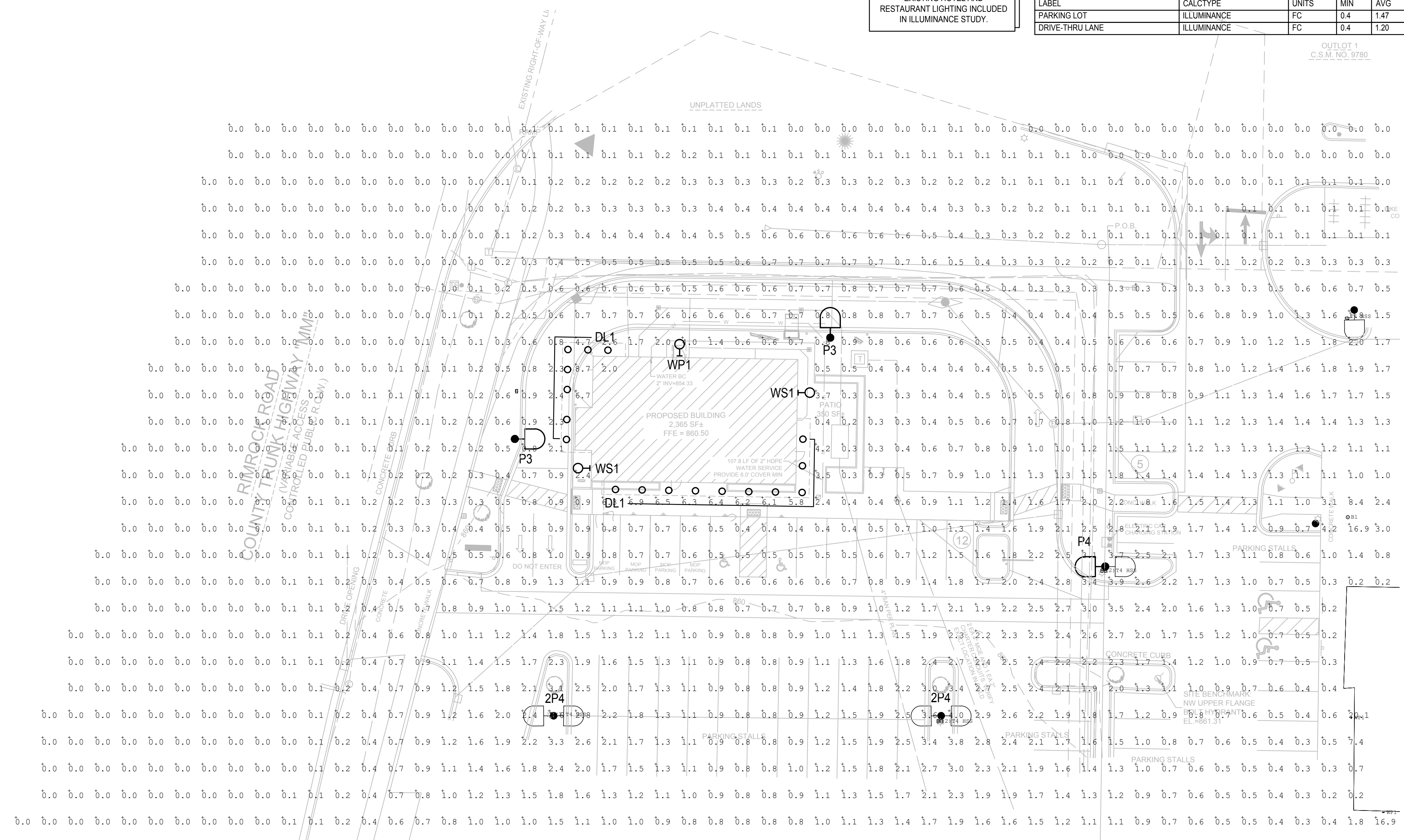
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EXISTING HOTEL AND RESTAURANT LIGHTING INCLUDED IN ILLUMINANCE STUDY.

CALCULATION SUMMARY					
LABEL	CALCTYPE	UNITS	MIN	AVG	AVGMIN
PARKING LOT	ILLUMINANCE	FC	0.4	1.47	3.68
DRIVE-THRU LANE	ILLUMINANCE	FC	0.4	1.20	3.00

SUGGESTED CONTROL SEQUENCE:  
 POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.  
 POLE AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.

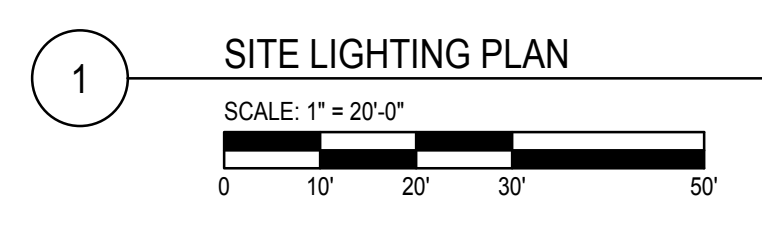
- POLE TYPE DISTRIBUTION KEY:
- EXISTING 25'-0" TALL POLE WITH LED LUMINAIRE; IES TYPE 4 DISTRIBUTION, DUAL HEAD.
  - 25'-0" TALL POLE WITH LED LUMINAIRE; IES TYPE 3 DISTRIBUTION & HOUSE SIDE SHIELD.
  - EXISTING 25'-0" TALL POLE WITH NEW LED LUMINAIRE; IES TYPE 4 DISTRIBUTION.
  - 4" RECESSED LED DOWNLIGHT
  - DECORATIVE LED WALL SCONCE.
  - LED WALL PACK



**G B A**  
 architecture | design  
 2248 DEMING WAY, STE. 120  
 MIDDLETON, WI 53562  
 (608) 829-1750  
 (608) 829-3056 (FAX)

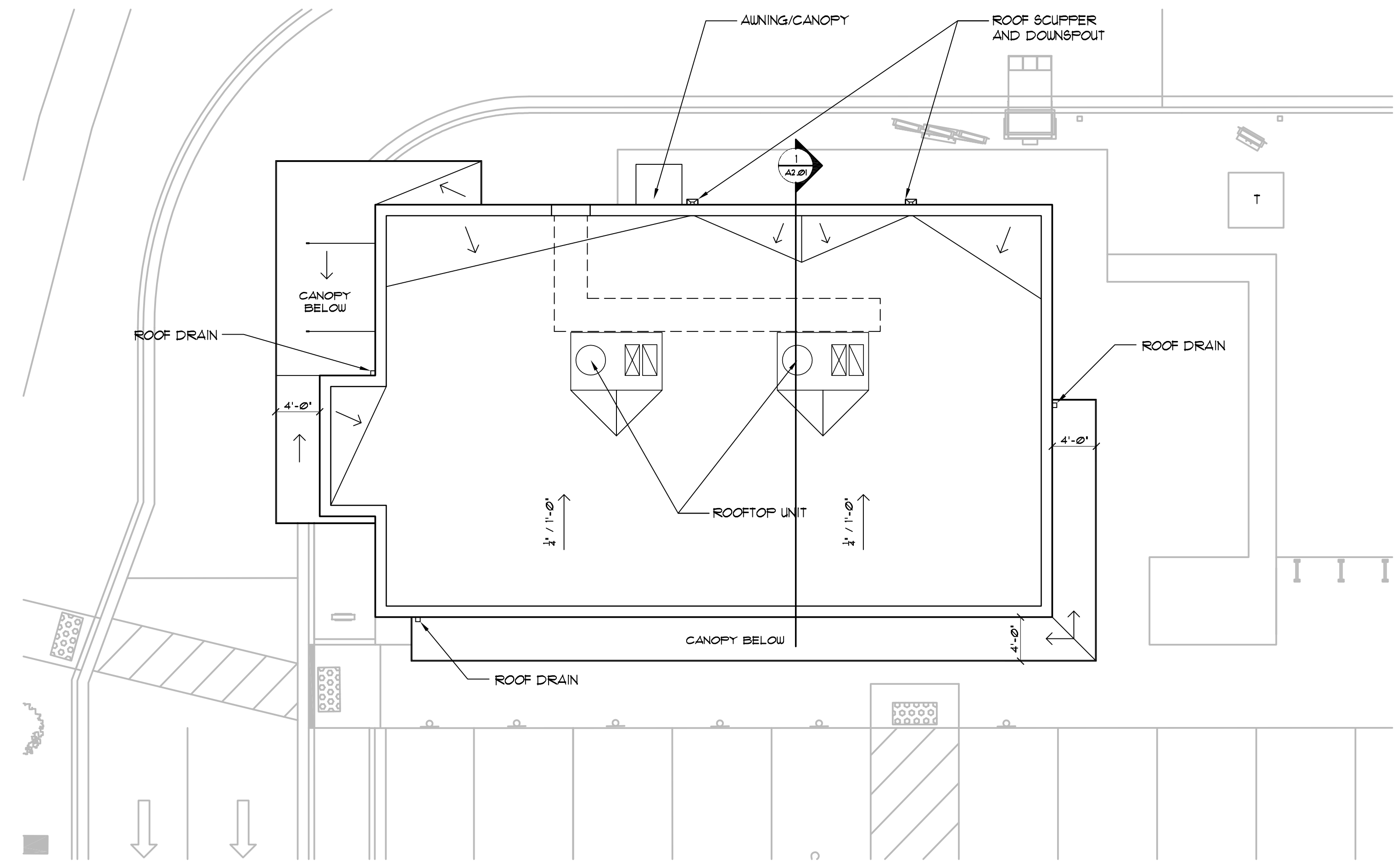
PROJECT: STARBUCKS (87644-001)  
 RIMROCK ROAD  
 MADISON, WI 53713  
 CLIENT: RIMROCK RETAIL INVESTORS, LLC  
 C/O NORTH CENTRAL GROUP  
 1600 ASPEN COMMONS, SUITE 200  
 MIDDLETON, WI 54622

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 DRAWN BY:  
 DATE:  
 SCALE:  
 City Submittal # 09-01-2020

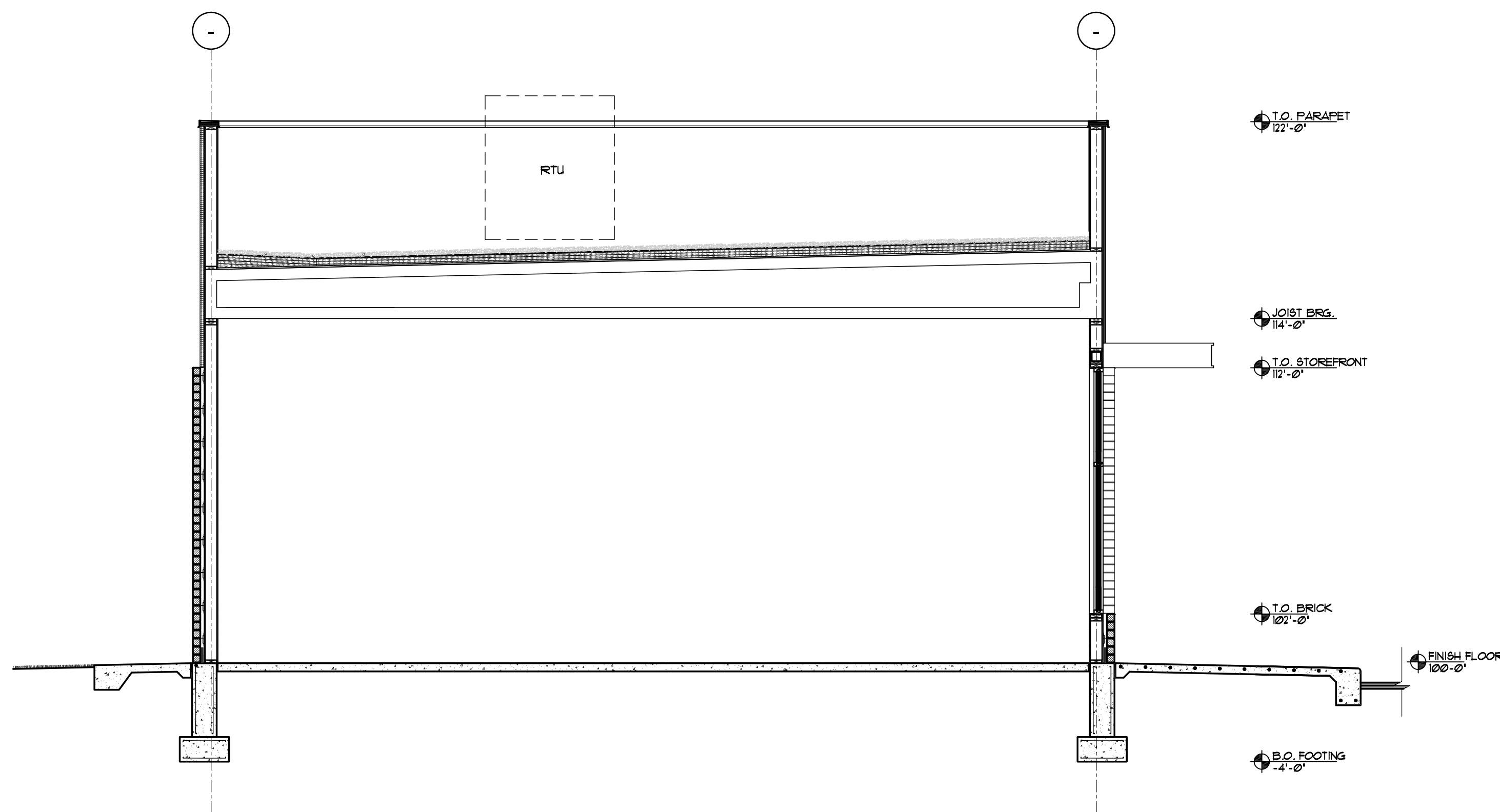


SITE LIGHTING PLAN  
**E101**

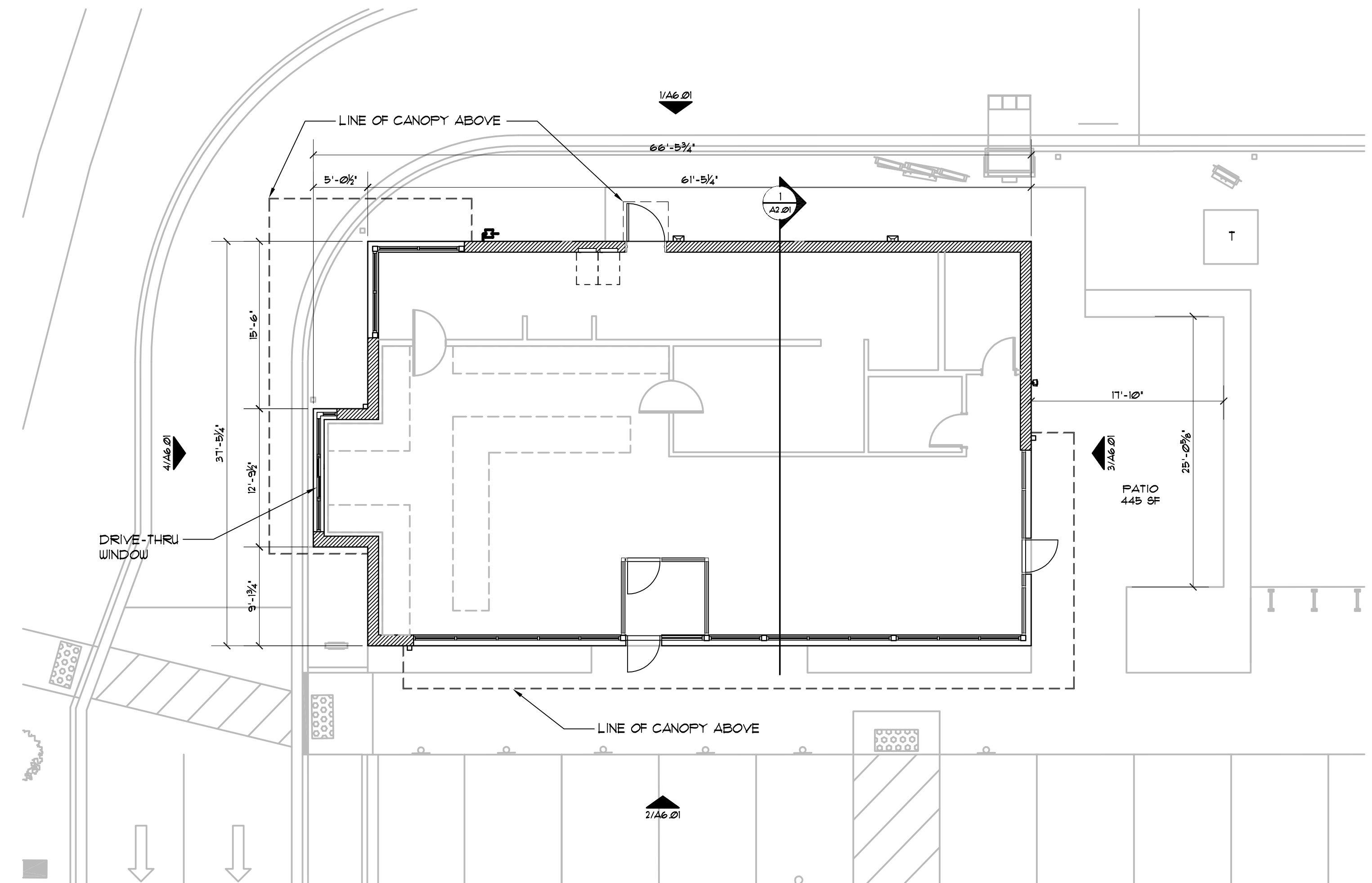




**ROOF PLAN**  
1/8" = 1'-0"



**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
1/8" = 1'-0"



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MADISON, WI 53713  
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DRAWN BY: DSD  
DATE: 08-09-2020  
SCALE: AS NOTED  
CITY SUBMITTAL 08-03-2020



8 LOOKING SOUTHWEST  
SCALE: N.T.S.



7 LOOKING NORTHWEST  
SCALE: N.T.S.

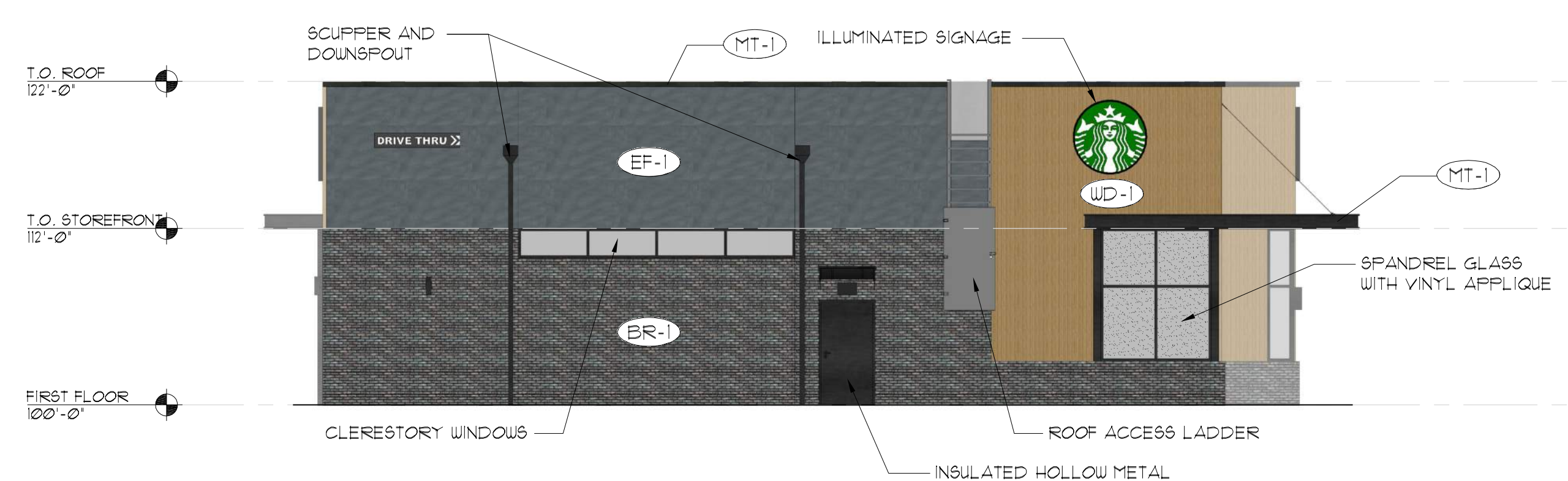
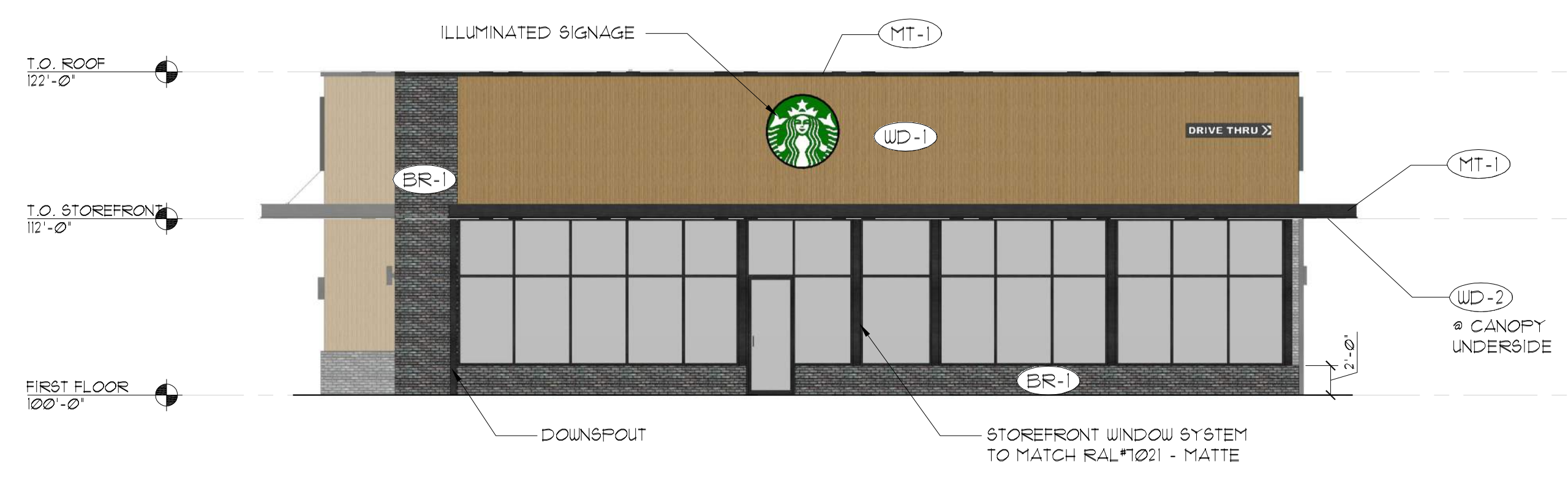


6 LOOKING NORTHEAST  
SCALE: N.T.S.



5 LOOKING SOUTHEAST  
SCALE: N.T.S.

No.	Material	Manufacturer	Color / Description	Finish / Style
1	Brick Veneer (BR-1)	Yankee Hill	Dark Iron Spot	Smooth
2	Accoya Wood Siding @ facade (WD-1)	reSAWN Timber Co. 215-709-2003	Monte, T&G	Sealed face and back 3/4" thick x 5" wide x 6'-16' random lengths
3	EIFS (EF-1)	Dryvit 734-276-0404	634A - Granite Gray	
4	Identity Wood Cladding @ Canopy Underside (WD-2)	Identity Wood Products 215-709-2003	1000 - Light brown/beige with dark lowlights, 1/16" reveal	Sealed face and back 5/8" thick x 7-1/4" wide
MT-1	Metal Coping	Locally Sourced	To match RAL#7021 Matte MTO028 - Flat Black	Pre-finished
	Aluminum Storefront System			Anodized
	Metal Canopy			Powdercoat
	Hollow Metal Door Frame			Painted



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