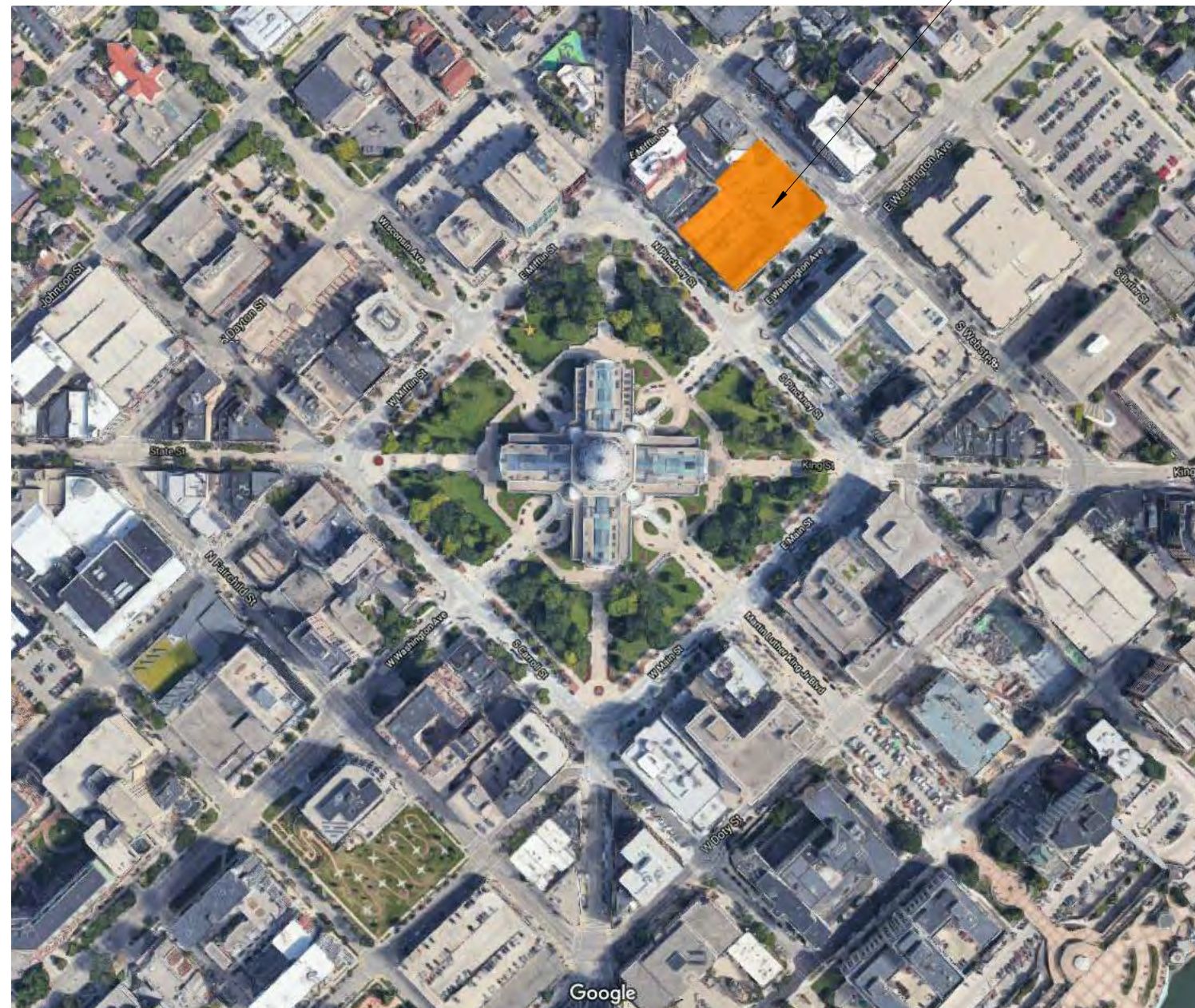
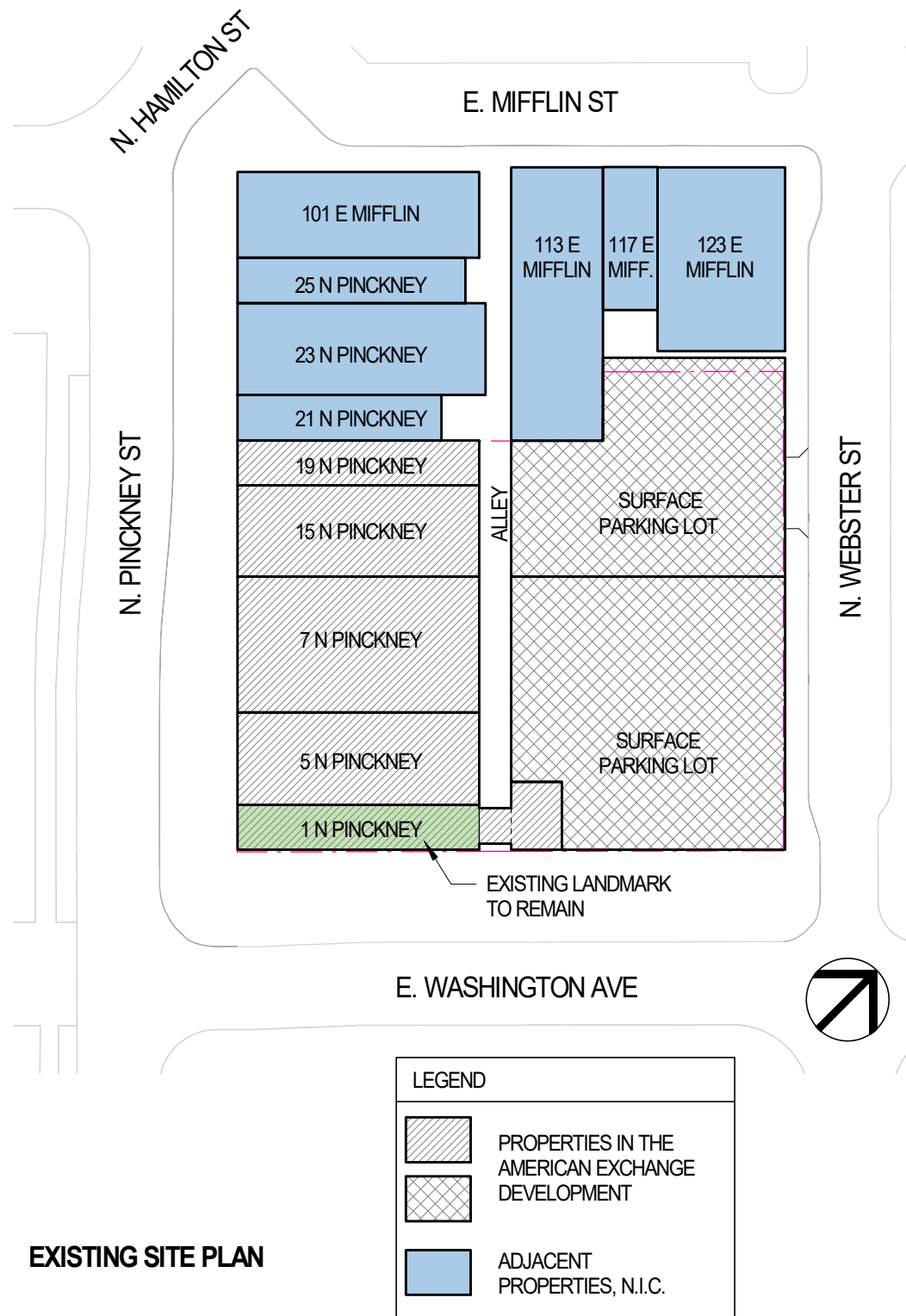


An aerial photograph of a city, likely Madison, Wisconsin, featuring the large, ornate dome of the Wisconsin State Capitol on the left. The city is densely packed with buildings and green spaces, with a large body of water, Lake Monona, visible in the background under a clear sky.

AMERICAN EXCHANGE DEVELOPMENT

VALERIO
DEWALT
TRAIN

URBAN DESIGN COMMISSION AUGUST 12, 2020



VALERIO DEWALT TRAIN

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312.260.7300

Developer



Project Name

AMERICAN EXCHANGE DEVELOPMENT

Project Address

A Portion of Block 101
in the City of Madison,
Wisconsin

Project Number

18038.00

Date

08/12/20

Sheet Name

LOCATION MAP

Sheet Number

0-01

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VICINITY MAP

Sheet Number

0-02

CAPITOL HILL APARTMENTS

WAKELEY GILES BUILDING

BARTELL THEATER

YWCA BUILDING

OLD FASHIONED / HARVEST

PROJECT BOUNDARY

CAPITOL SQUARE

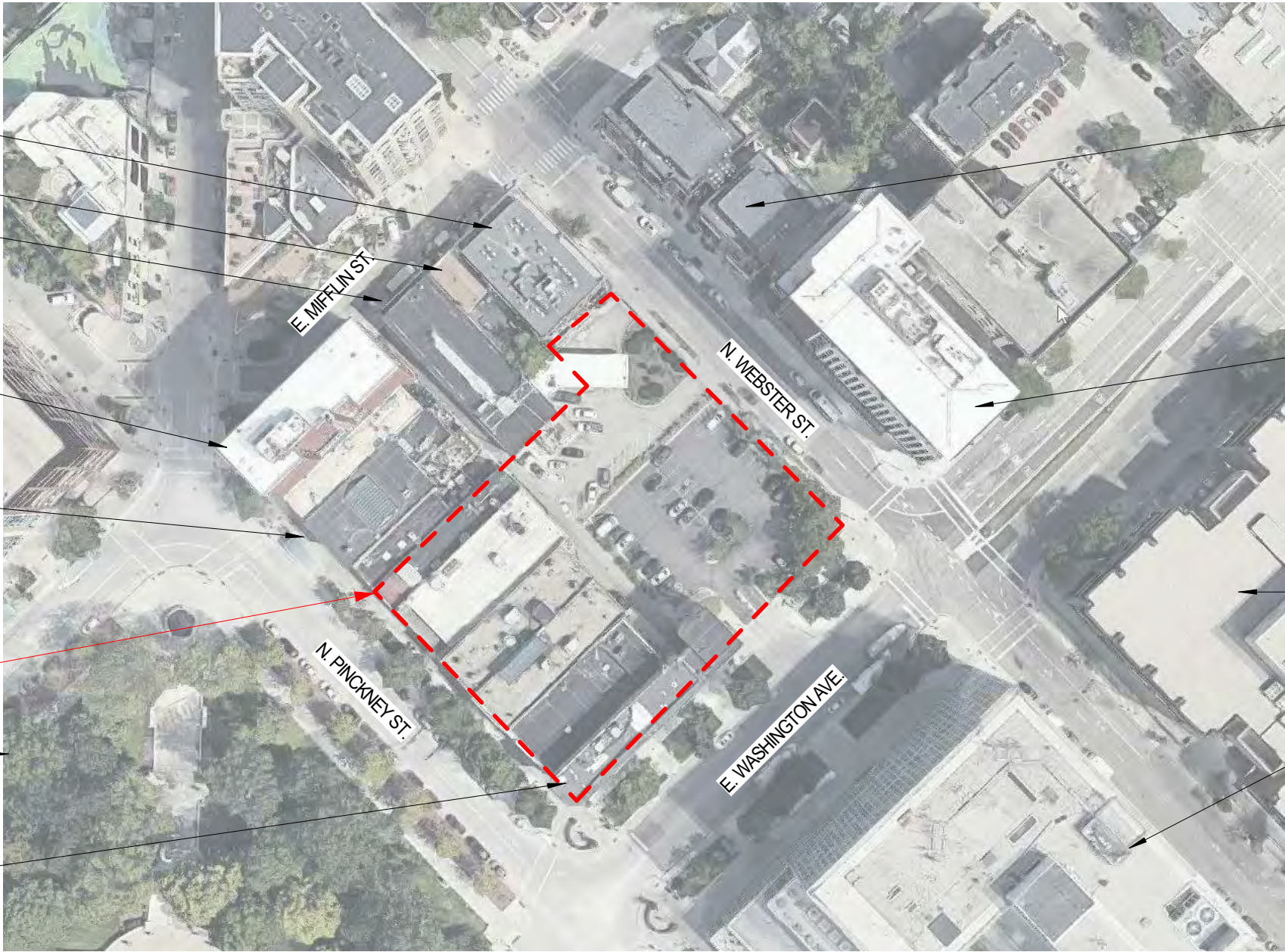
AMERICAN EXCHANGE
BANK BUILDING

CAPITOL'S EDGE
APARTMENTS

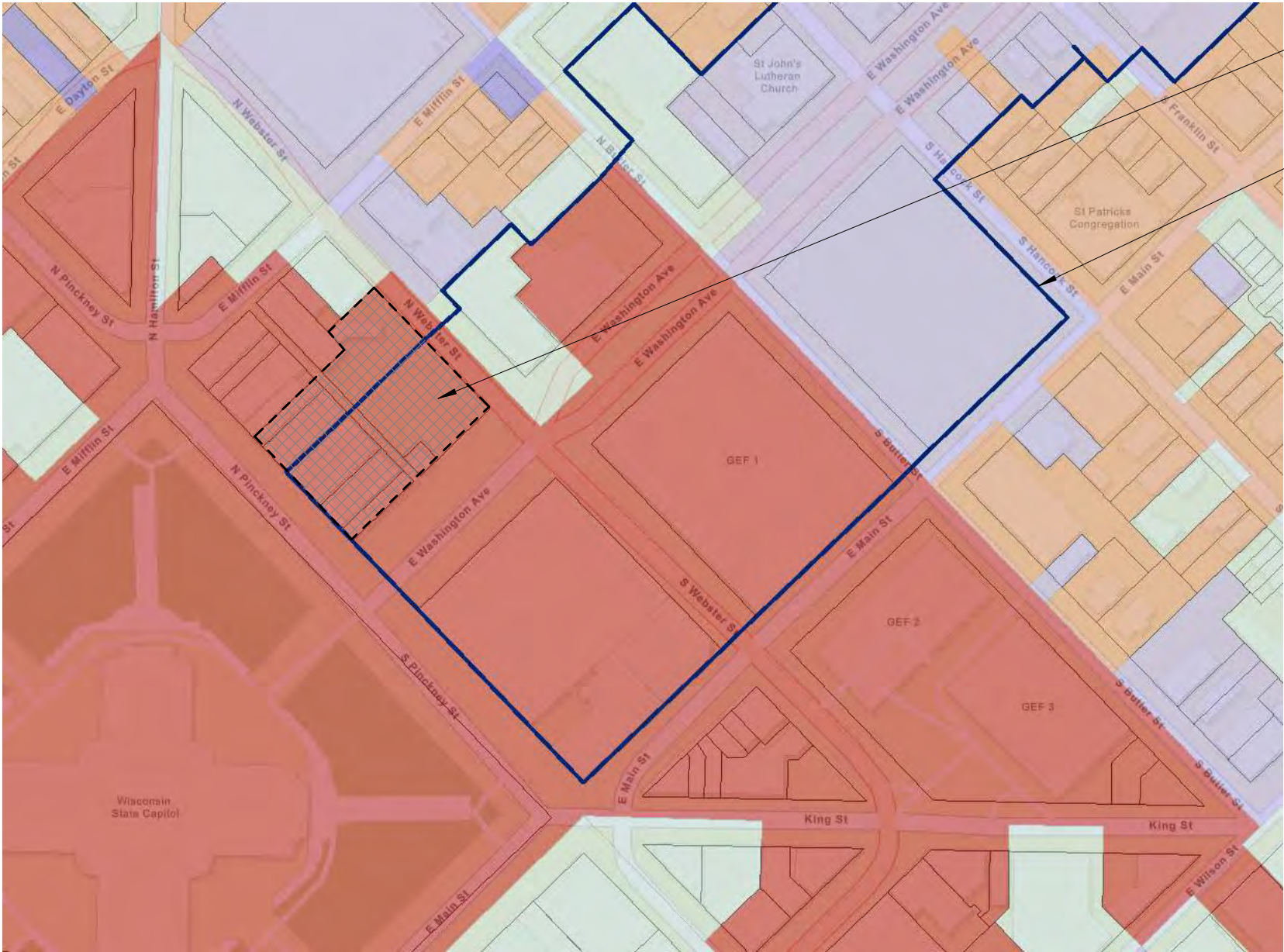
AC HOTEL

WISCONSIN DEPT. OF
WORKFORCE DEVELOPMENT /
WISCONSIN DEPT OF
CHILDREN AND FAMILIES

US BANK PLAZA



BLOCK 101 VICINITY MAP



CITY OF MADISON ZONING DISTRICTS

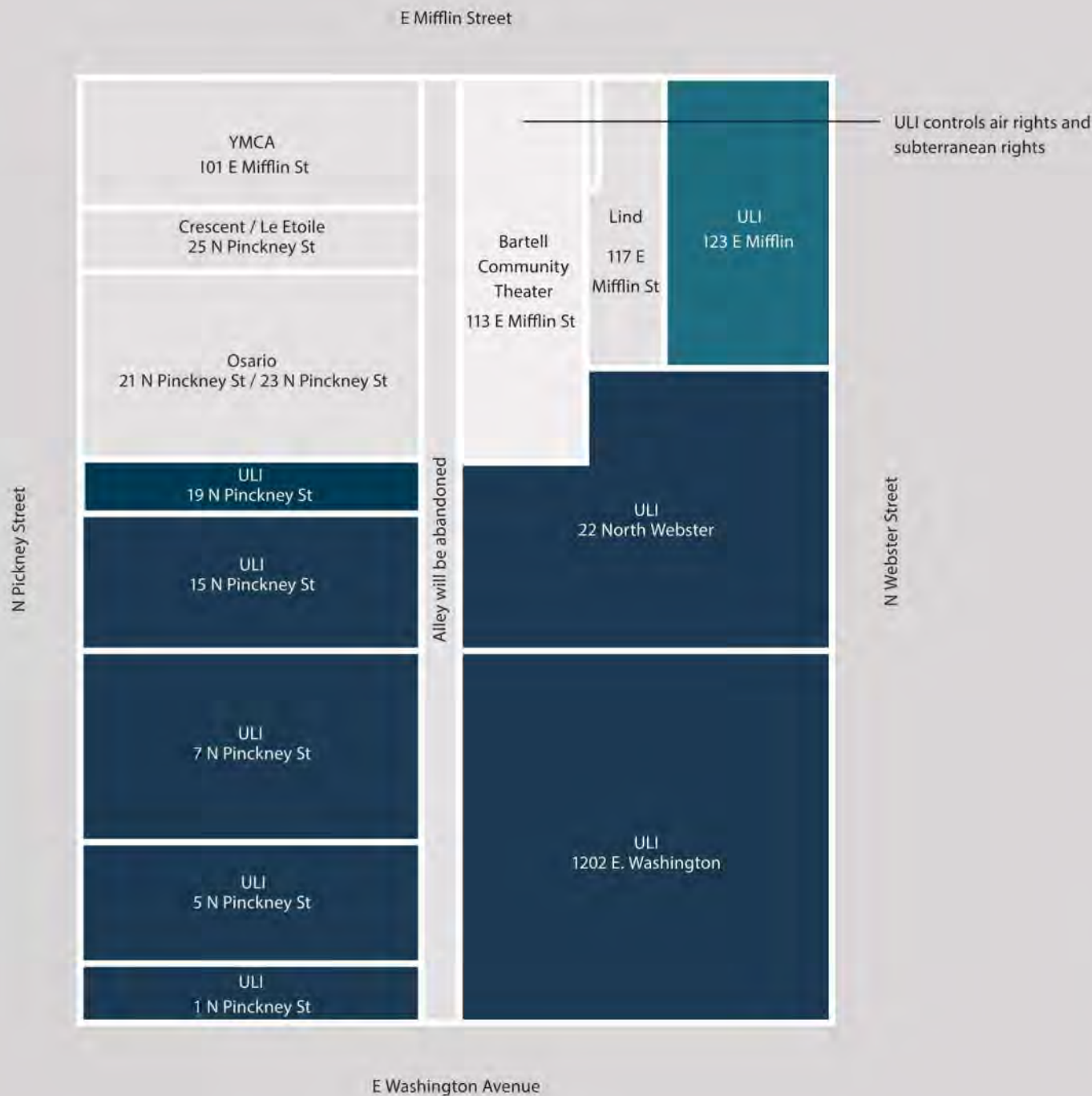
PROJECT SITE ZONING
CURRENT: DOWNTOWN CORE DISTRICT (DC)
PROPOSED: PLANNED DEVELOPMENT (PD)

URBAN DESIGN DISTRICT
4 BOUNDARY

Zoning Districts

| Residential Districts | | Employment Districts | |
|------------------------------------|---|------------------------------|-------------------------------------|
| SR-C1 | Suburban Residential - Consistent District 1 | TE | Traditional Employment District |
| SR-C2 | Suburban Residential - Consistent District 2 | SE | Suburban Employment District |
| SR-C3 | Suburban Residential - Consistent District 3 | SEC | Suburban Employment Center District |
| SR-V1 | Suburban Residential - Varied District 1 | EC | Employment Campus District |
| SR-V2 | Suburban Residential - Varied District 2 | IL | Industrial - Limited District |
| TR-C1 | Traditional Residential - Consistent District 1 | IG | Industrial - General District |
| TR-C2 | Traditional Residential - Consistent District 2 | | |
| TR-C3 | Traditional Residential - Consistent District 3 | | |
| TR-C4 | Traditional Residential - Consistent District 4 | | |
| TR-U1 | Traditional Residential - Urban District 1 | | |
| TR-U2 | Traditional Residential - Urban District 2 | | |
| TR-V1 | Traditional Residential - Varied District 1 | | |
| TR-V2 | Traditional Residential - Varied District 2 | | |
| TR-R | Traditional Residential - Rustic District | | |
| TR-P | Traditional Residential - Planned District | | |
| Commercial and Mixed-Use Districts | | Downtown and Urban Districts | |
| LMX | Limited Mixed Use District | DC | Downtown Core District |
| NMX | Neighborhood Mixed Use District | UOR | Urban Office Residential District |
| TSS | Traditional Shopping Street District | UMX | Urban Mixed Use District |
| MXC | Mixed-Use Center District | DRI | Downtown Residential 1 |
| CC-T | Commercial Corridor - Transitional District | DR2 | Downtown Residential 2 |
| CC | Commercial Center District | | |
| Special Districts | | | |
| A | Agricultural District | | |
| UA | Urban Agricultural District | | |
| CN | Conservancy District | | |
| PR | Parks and Recreation District | | |
| AP | Airport District | | |
| CI | Campus Institutional District | | |
| PD | Planned Development District | | |
| PMHP | Planned Mobile Home Park District | | |





55% of current
site area consists
of surface parking.

| Lot Areas | |
|------------------|-----------|
| 1 N Pinckney St | 2,762 SF |
| 5 N Pinckney St | 5,280 SF |
| 7 N Pinckney St | 7,920 SF |
| 15 N Pinckney St | 5,640 SF |
| 19 N Pinckney | 2,280 SF |
| Am Ex Lot | 16,302 SF |
| US Bank Drive Up | 11,616 SF |
| Cap Hill | 6,138 SF |
| Total | 56,658 SF |



EXISTING CONDITIONS

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Sheet Name

EXISTING CONDITIONS

Sheet Number

0-05



EXISTING CONDITIONS

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EXISTING CONDITIONS

Sheet Number

0-06



EXISTING CONDITIONS

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Sheet Name

EXISTING CONDITIONS

Sheet Number

0-07



EXISTING CONDITIONS - OUTER LOOP

Project Name

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EXCHANGE
DEVELOPMENT

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A Portion of Block 101
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Date

08/12/20

Sheet Name

EXISTING CONDITIONS
- OUTER LOOP

Sheet Number

0-08



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08/12/20

Sheet Name

EXISTING CONDITIONS
- PINCKNEY STREET

Sheet Number

0-09

21-23 N. PINCKNEY, LANDMARK
EXISTING TO REMAIN

PROJECT AREA



EXISTING CONDITIONS - PINCKNEY STREET

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Date

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Sheet Name

EXISTING CONDITIONS
- PINCKNEY STREET

Sheet Number

0-10

← EXISTING TO REMAIN PROJECT AREA →



EXISTING CONDITIONS - PINCKNEY STREET



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A Portion of Block 101
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Date

08/12/20

Sheet Name

EXISTING CONDITIONS
- PINCKNEY STREET

Sheet Number

0-11

1 N. PINCKNEY, LANDMARK



EXISTING CONDITIONS - PINCKNEY STREET



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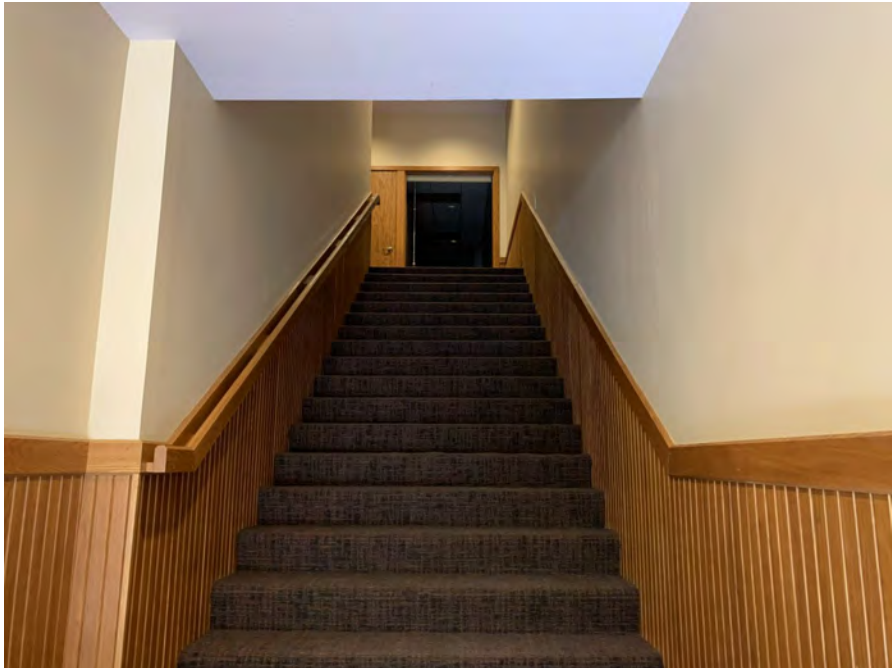
500 North Dearborn Street
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Sheet Name

EXISTING CONDITIONS - 5 N. PINCKNEY

Sheet Number

0-12



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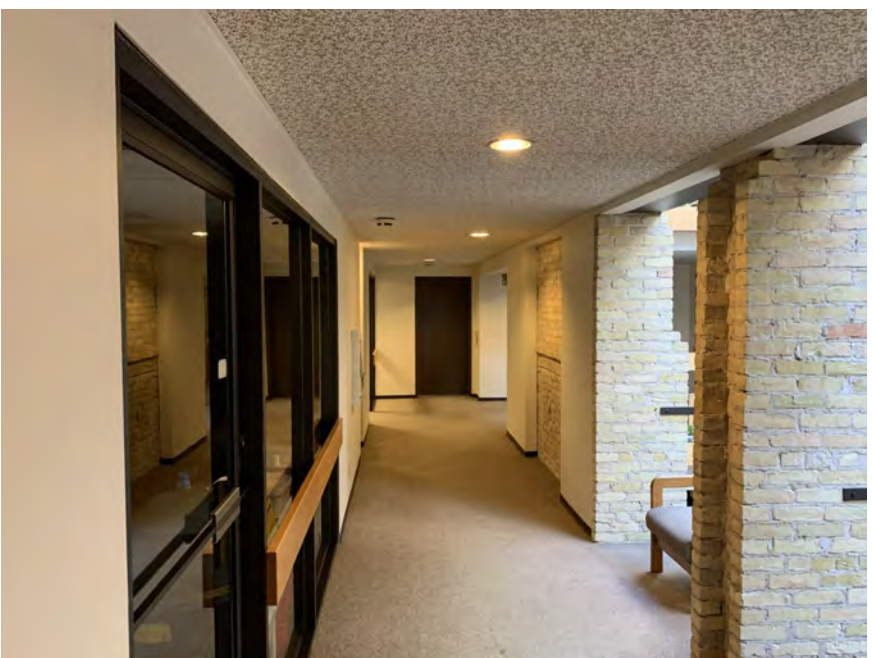
08/12/20

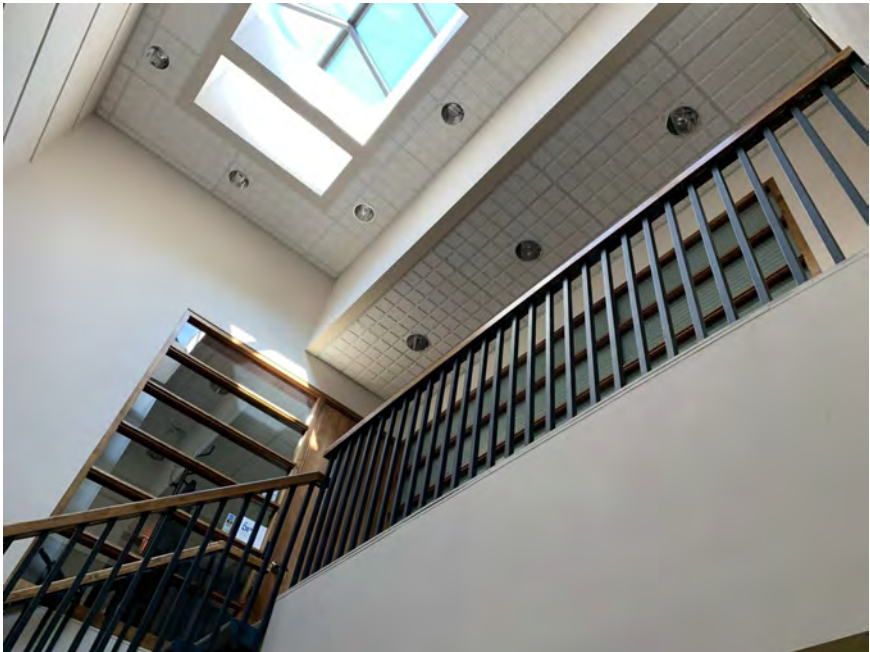
Sheet Name

EXISTING CONDITIONS
- 7 N. PINCKNEY

Sheet Number

0-17





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Sheet Name

EXISTING CONDITIONS - 15 N. PINCKNEY

Sheet Number

0-22



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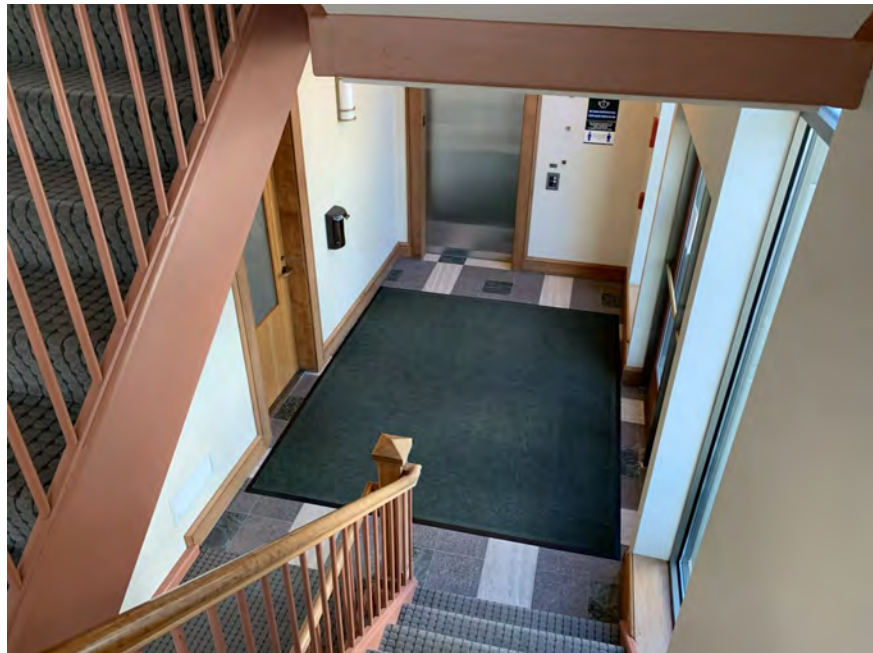
08/12/20

Sheet Name

EXISTING CONDITIONS - 19 N. PINCKNEY

Sheet Number

0-27



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Sheet Name

EXISTING CONDITIONS - 118 E. WASHINGTON

Sheet Number

0-32



The historic American Exchange Bank building, originally constructed in 1871, is situated at the most visible corner of the site. The building will be preserved and restored to ensure it will be the focal point of the new development. Urban Land Interests has engaged InSite Consulting Architects, a local historical preservation expert, to guide this process. The crumbling sandstone facade will be preserved while the historic finishes on the first floor maintained and incorporated into the completed project.



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08/12/20

Sheet Name

**HISTORIC
PRESERVATION -
AMERICAN EXCHANGE**

Sheet Number

0-37



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Sheet Name

HISTORIC
PRESERVATION -
CENTRE 7

Sheet Number

0-38

The City of Madison Landmarks Commission recently granted approval of ULI's variance request to allow for the demolition of the locally landmarked Centre7 building. Urban Land Interests intends to preserve the historic second floor windows in a reconstructed facade that more closely recalls the original structure.



RED DASHED LINE
INDICATES RELOCATED AND
RESTORED 7 N. PINCKNEY
FACADE

ADJACENT FACADES ECHO
SIZE AND SCALE OF THE
BUILDINGS THAT SURROUND
THE CAPITOL BLOCK

BUILDING SIGNAGE

NEW TERRACOTTA TO
MATCH HISTORIC
TERRACOTTA

NEW ALUMINUM
STOREFRONT REMINISCENT
OF ORIGINAL HISTORIC
BUILDING

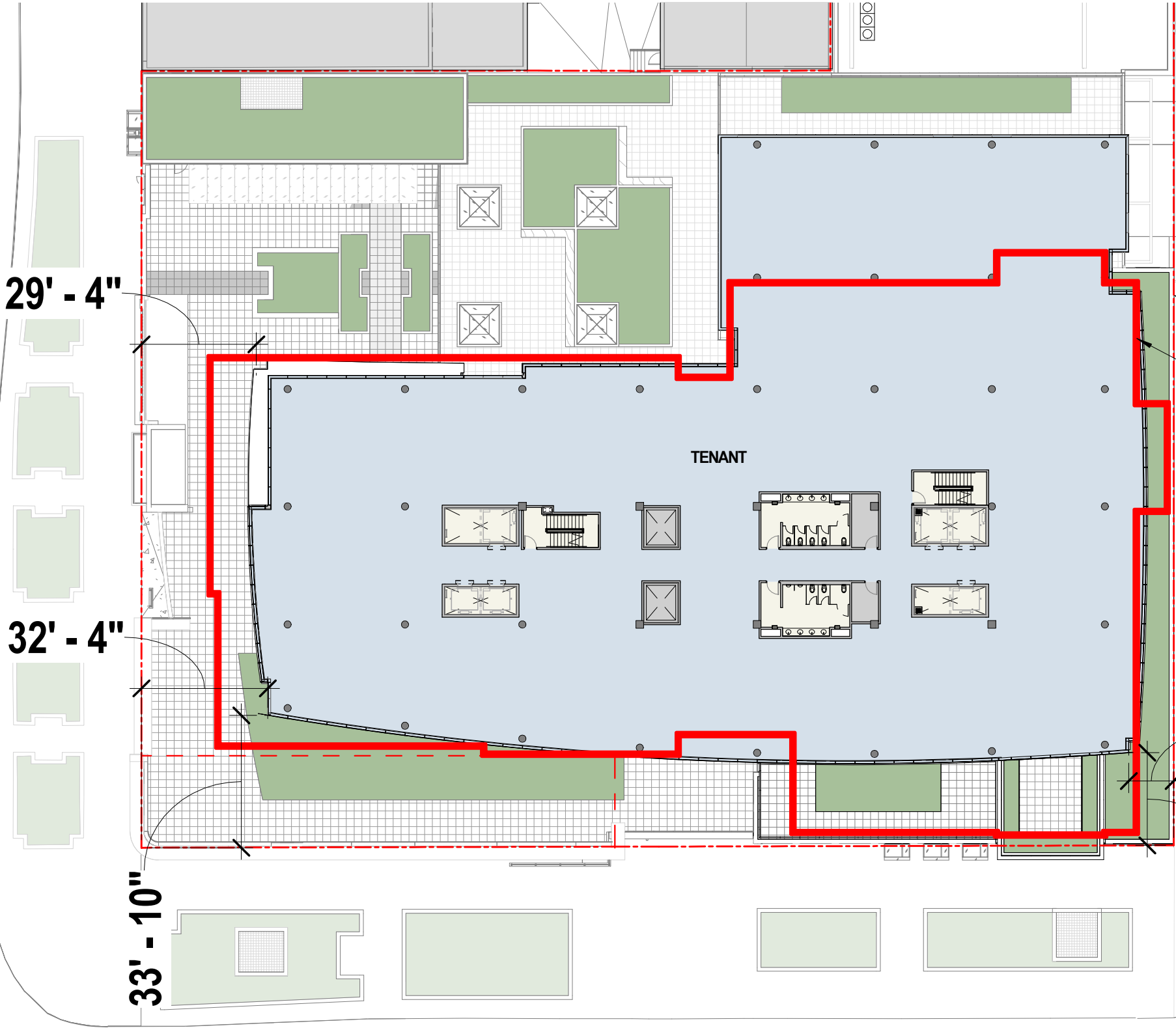


FOOTPRINT COMPARISON DIAGRAM

SCALE: 1/32" = 1'-0"



N. PINCKNEY ST



The building's tower was reconfigured to further step back from the property lines and shift towards the center of the block.

PROPERTY LINE

OUTLINE OF PREVIOUS TOWER DESIGN

N. WEBSTER ST

E. WASHINGTON AVE

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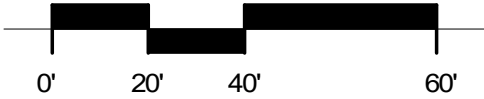
**FOOTPRINT
COMPARISON**

Sheet Number

0-39

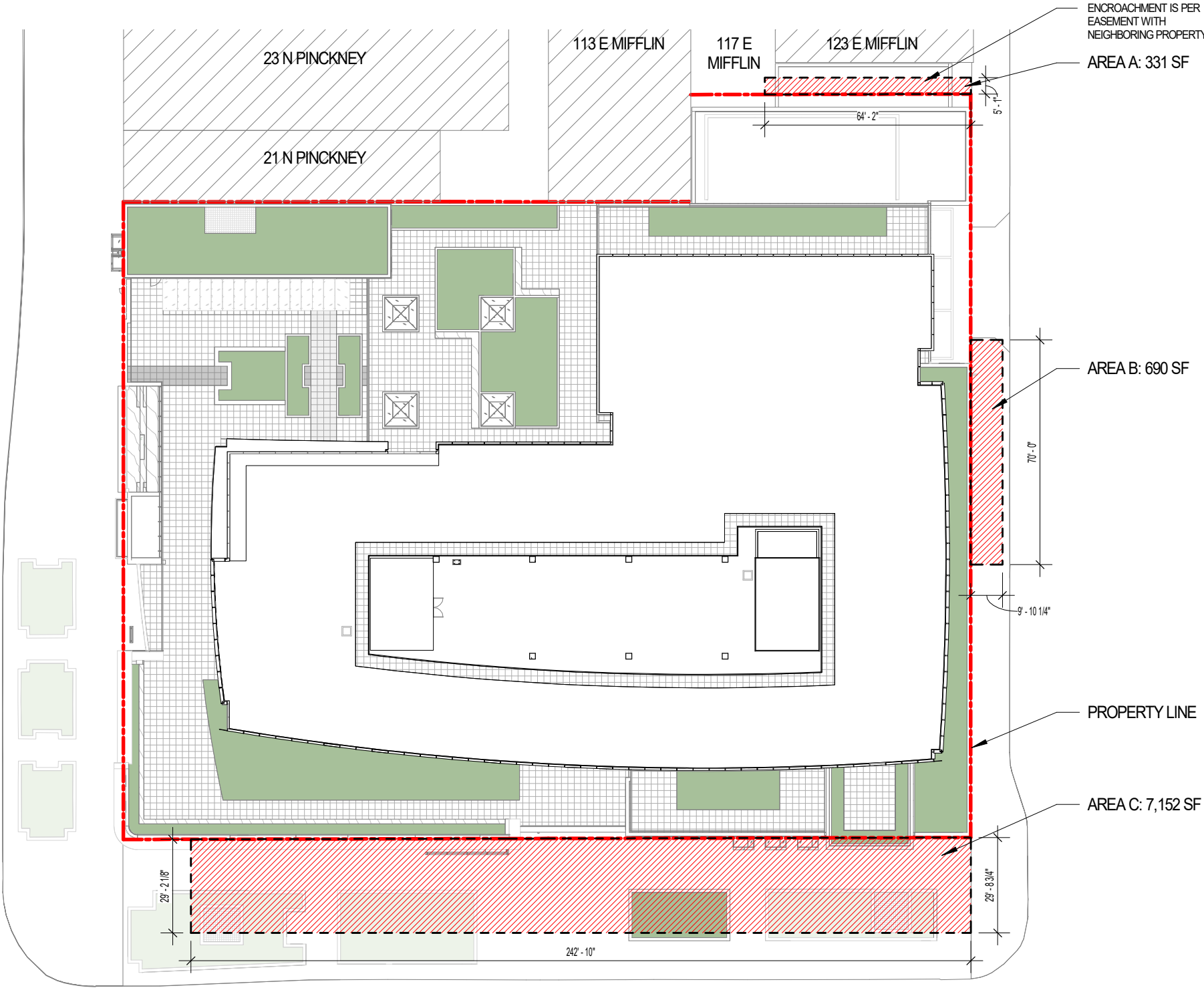
SUBTERRANEAN ENCROACHMENT DIAGRAM

SCALE: 1" = 40'-0"



**SUBTERRANEAN
ENCROACHMENT AREA**

| | |
|-------------|----------|
| AREA A: | 331 SF |
| AREA B: | 690 SF |
| AREA C: | 7,152 SF |
| TOTAL AREA: | 8,173 SF |



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Sheet Name

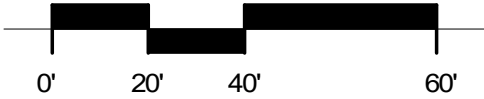
**SUBTERRANEAN
ENCROACHMENT
DIAGRAM**

Sheet Number

0-40

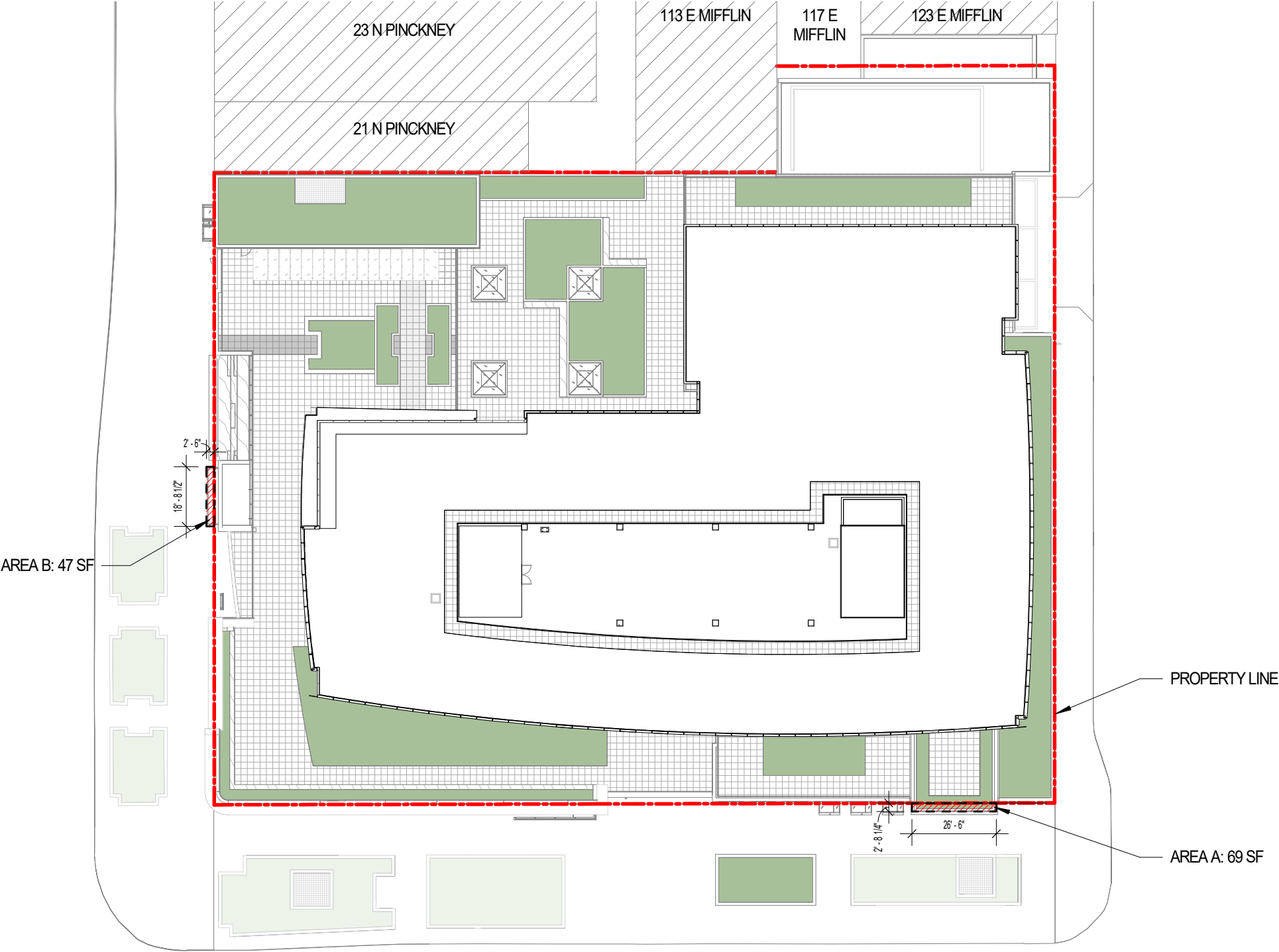
ABOVE GRADE ENCROACHMENT DIAGRAM

SCALE: 1" = 40'-0"



**ABOVE GRADE
ENCROACHMENT AREA**

| | |
|-------------|--------|
| AREA A: | 69 SF |
| AREA B: | 47 SF |
| TOTAL AREA: | 116 SF |



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Sheet Name

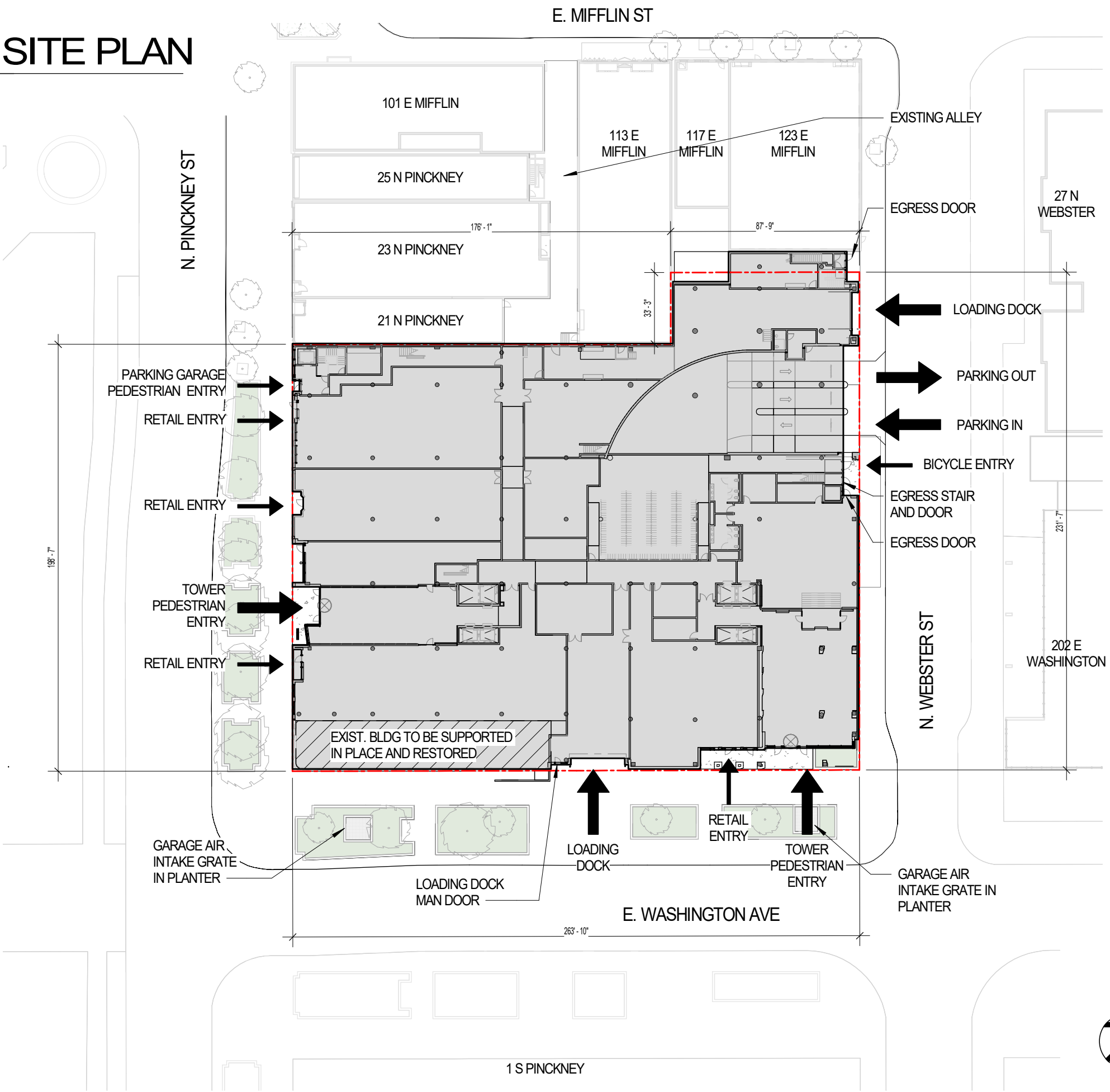
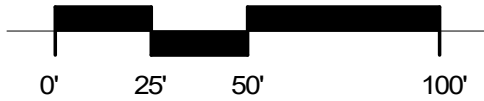
**ABOVE GRADE
ENCROACHMENT
DIAGRAM**

Sheet Number

0-41

ARCHITECTURAL SITE PLAN

SCALE: 1" = 50'-0"



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Sheet Name

ARCHITECTURAL SITE PLAN

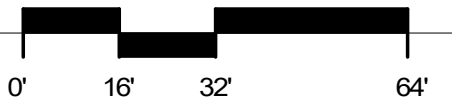
Sheet Number

1-00

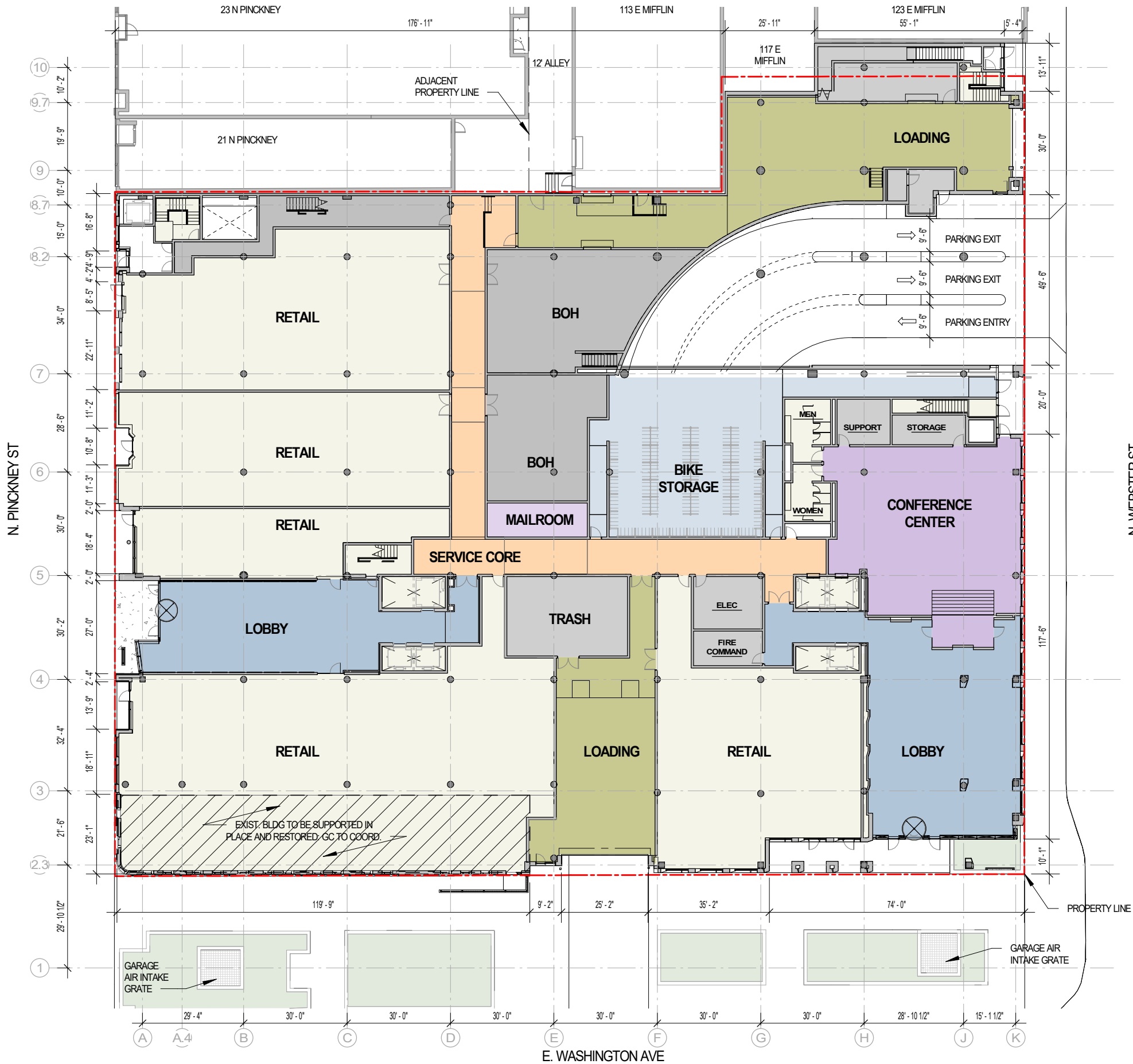


LEVEL 01 - RETAIL AND LOBBY PLAN

SCALE: 1/32" = 1'-0"



| AREA SUMMARY | | |
|--------------|--------------------------|------------------------|
| LEVEL | INTERIOR GROSS AREA (SF) | FLOOR USABLE AREA (SF) |
| LEVEL 01 | 48,007 | 19,788 |
| LEVEL 02 | 46,871 | 37,016 |
| LEVEL 03 | 52,691 | 50,389 |
| LEVEL 04 | 44,326 | 37,465 |
| LEVEL 05 | 33,476 | 31,915 |
| LEVEL 06 | 33,068 | 31,715 |
| LEVEL 07 | 31,594 | 30,241 |
| LEVEL 08 | 29,147 | 27,794 |
| LEVEL 09 | 28,477 | 27,124 |
| TOTAL | 347,657 | 293,447 |



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LEVEL 01 PLAN

Sheet Number

1-01

LEVEL 02 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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LEVEL 02 PLAN

Sheet Number

1-02

LEVEL 03 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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LEVEL 03 PLAN

Sheet Number

1-03



LEVEL 04 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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LEVEL 04 PLAN

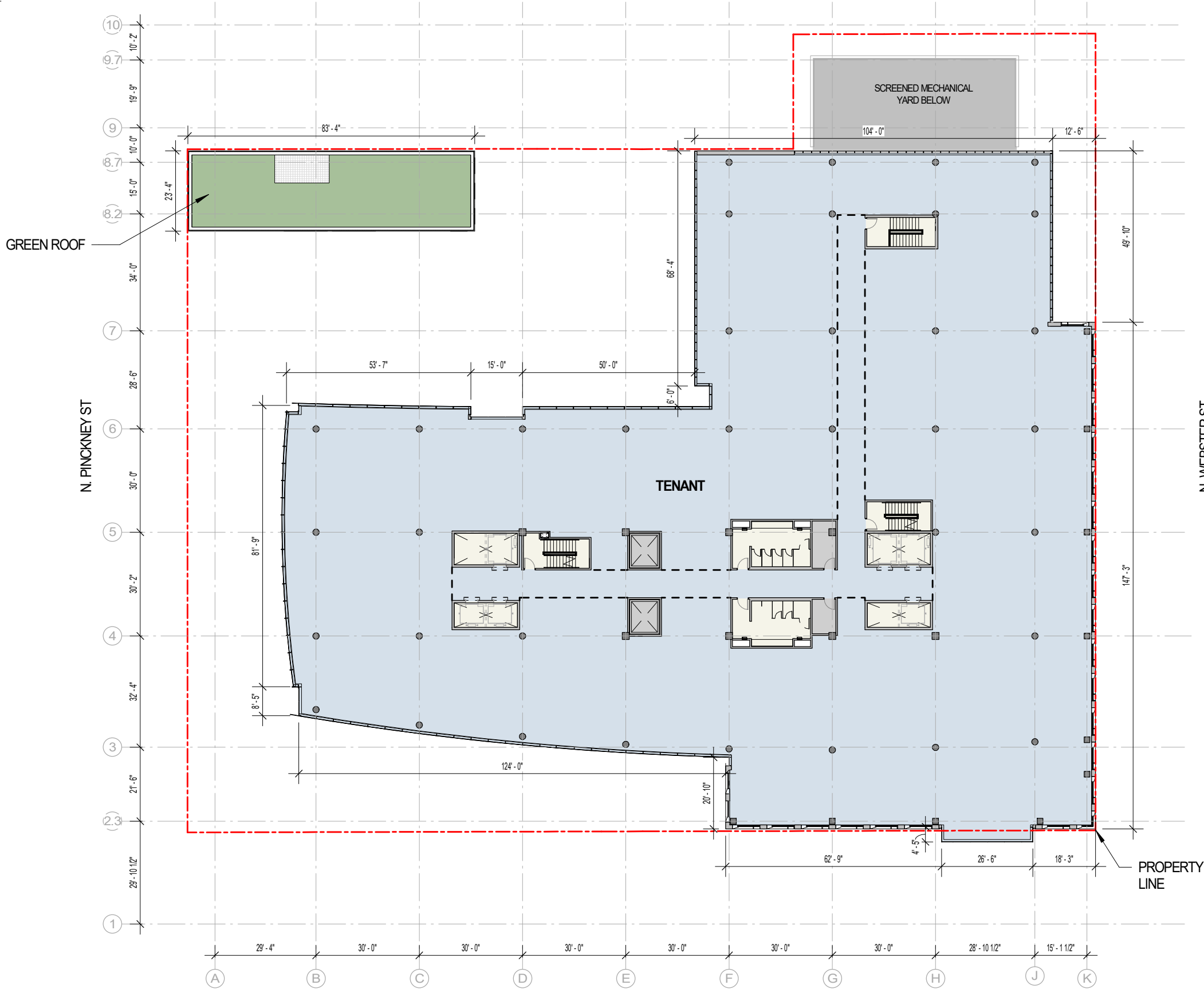
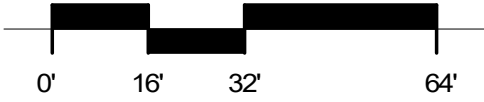
Sheet Number

1-04



LEVEL 05 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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LEVEL 05 PLAN

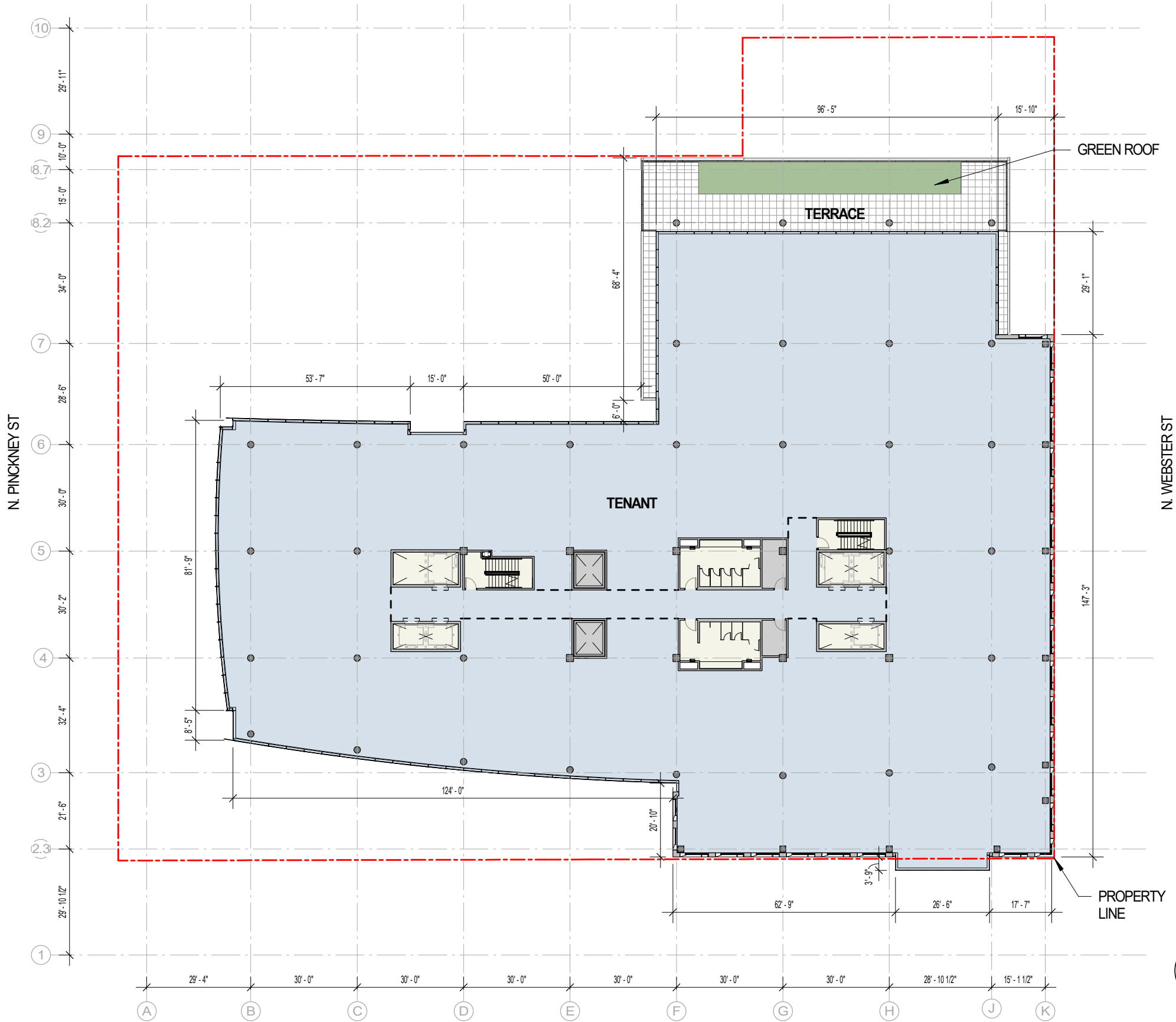
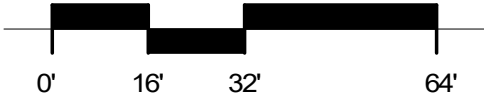
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1-05



LEVEL 06 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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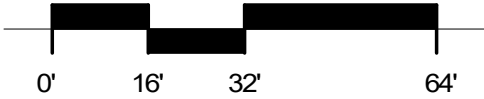
LEVEL 06 PLAN

Sheet Number

1-06

LEVEL 07 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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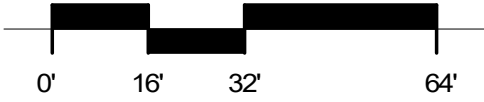
LEVEL 07 PLAN

Sheet Number

1-07

LEVEL 08 - OFFICE PLAN

SCALE: 1/32" = 1'-0"



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LEVEL 08 PLAN

Sheet Number

1-08

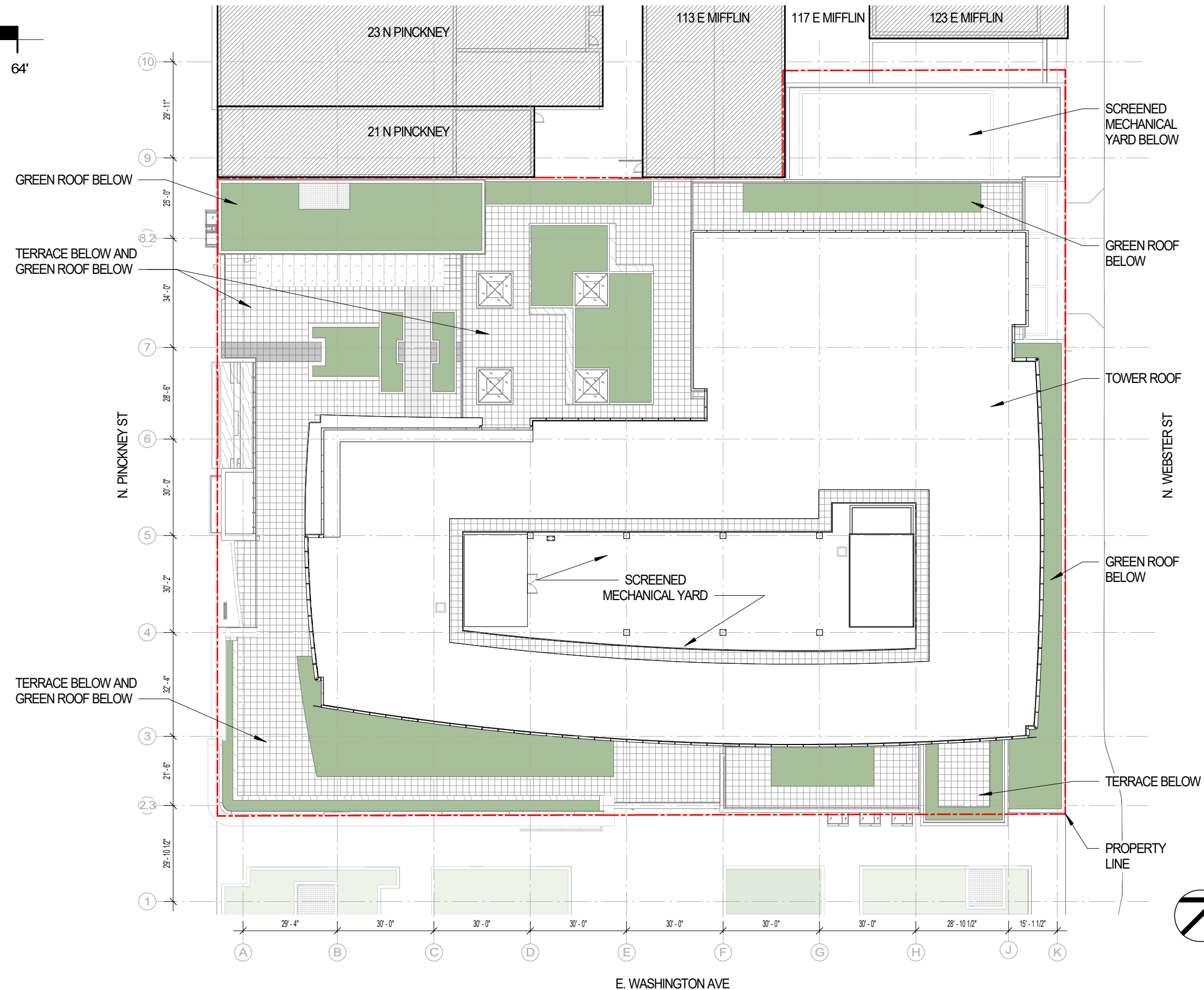
SCALE: $1/32" = 1'-0"$



1-09

ROOF PLAN

SCALE: 1/32" = 1'-0"



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Sheet Name

ROOF PLAN

Sheet Number

1-10

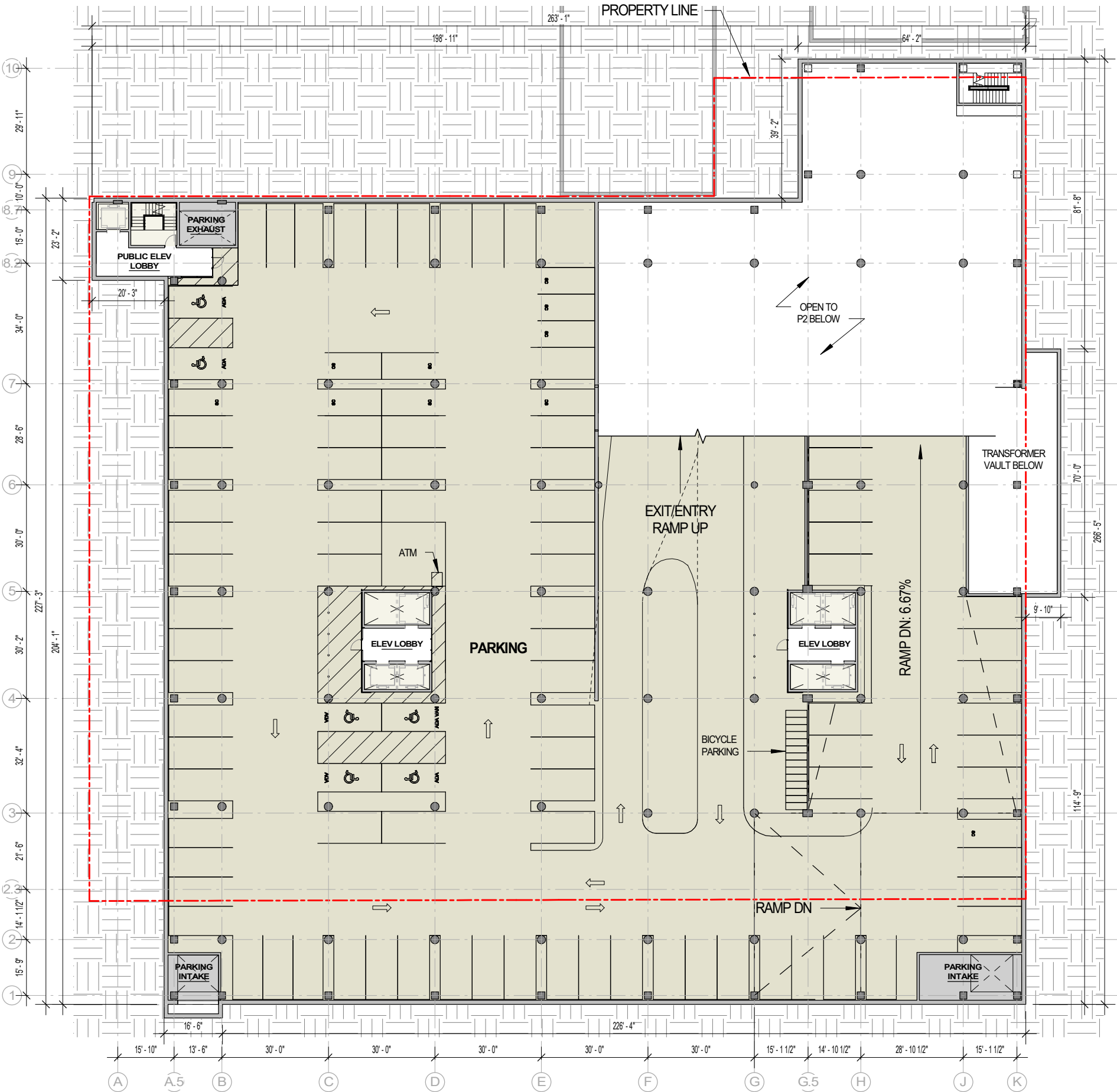
LEVEL P1 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



| PARKING STALL COUNTS | |
|----------------------------------|--------|
| 2.5 STALLS PER 1,000 SF OFFICE | |
| (844 STALLS; ~331,000 SF OFFICE) | |
| LEVEL | STALLS |

| | |
|--------------|-----|
| LEVEL P1 | 85 |
| LEVEL P2 | 144 |
| LEVEL P3 | 149 |
| LEVEL P4 | 154 |
| LEVEL P5 | 154 |
| LEVEL P6 | 158 |
| TOTAL STALLS | 844 |



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Developer



Urban Land Interests

Project Name

AMERICAN
EXCHANGE
DEVELOPMENT

Project Address

A Portion of Block 101
in the City of Madison,
Wisconsin

Project Number

18038.00

Date

08/12/20

Sheet Name

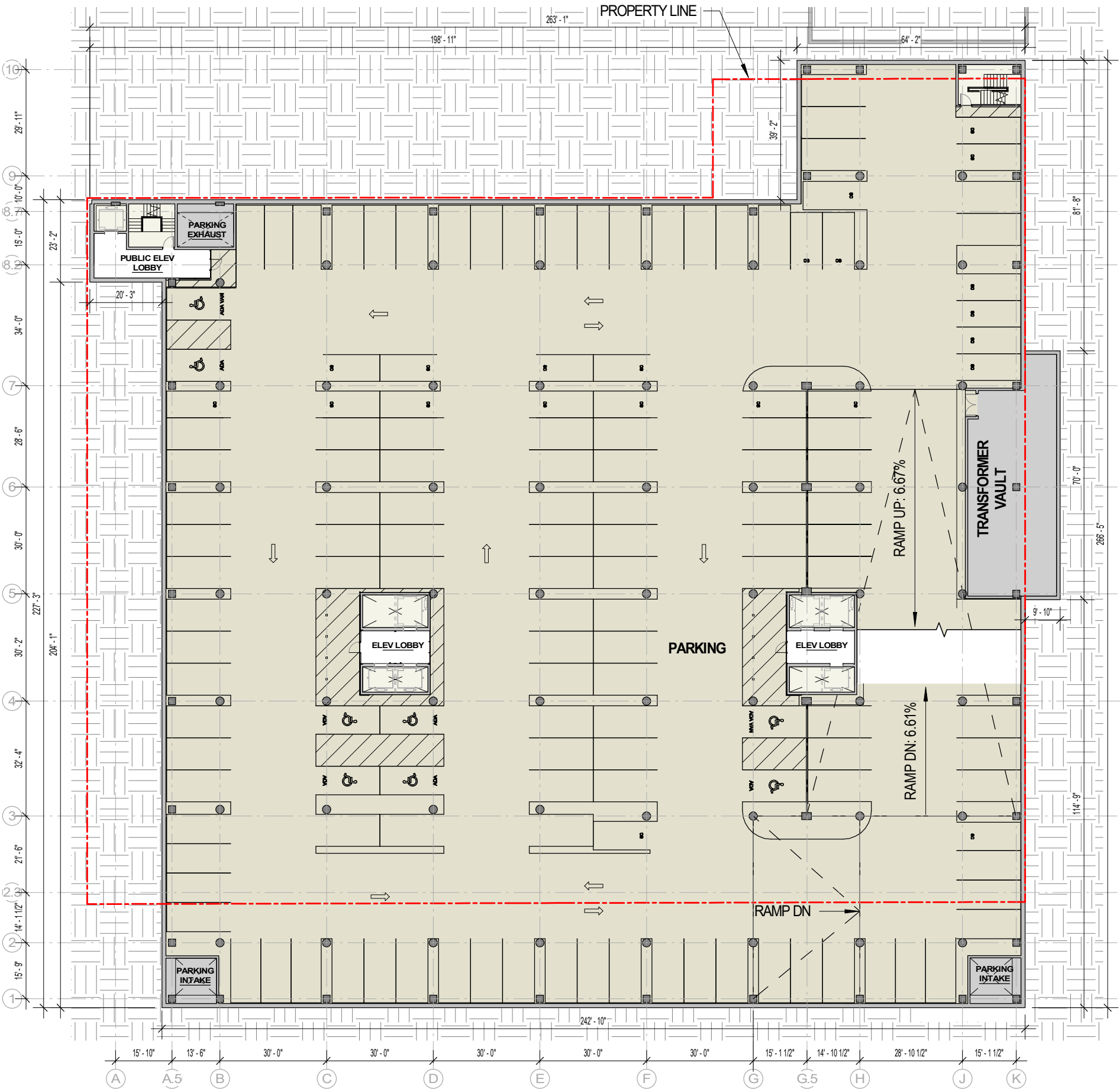
PARKING LEVEL P1

Sheet Number

1-P1

LEVEL P2 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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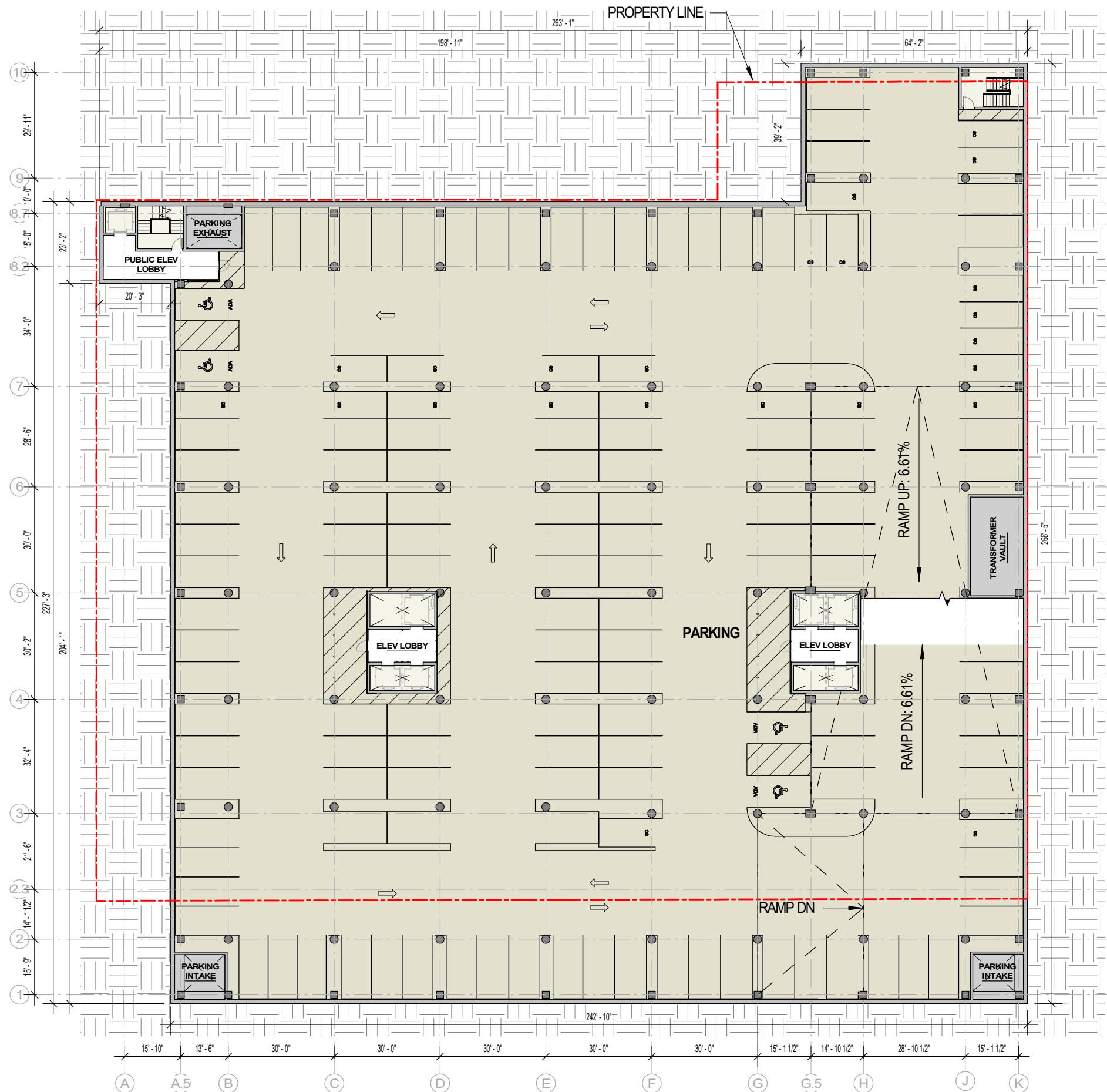
PARKING LEVEL P2

Sheet Number

1-P2

LEVEL P3 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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PARKING LEVEL P3

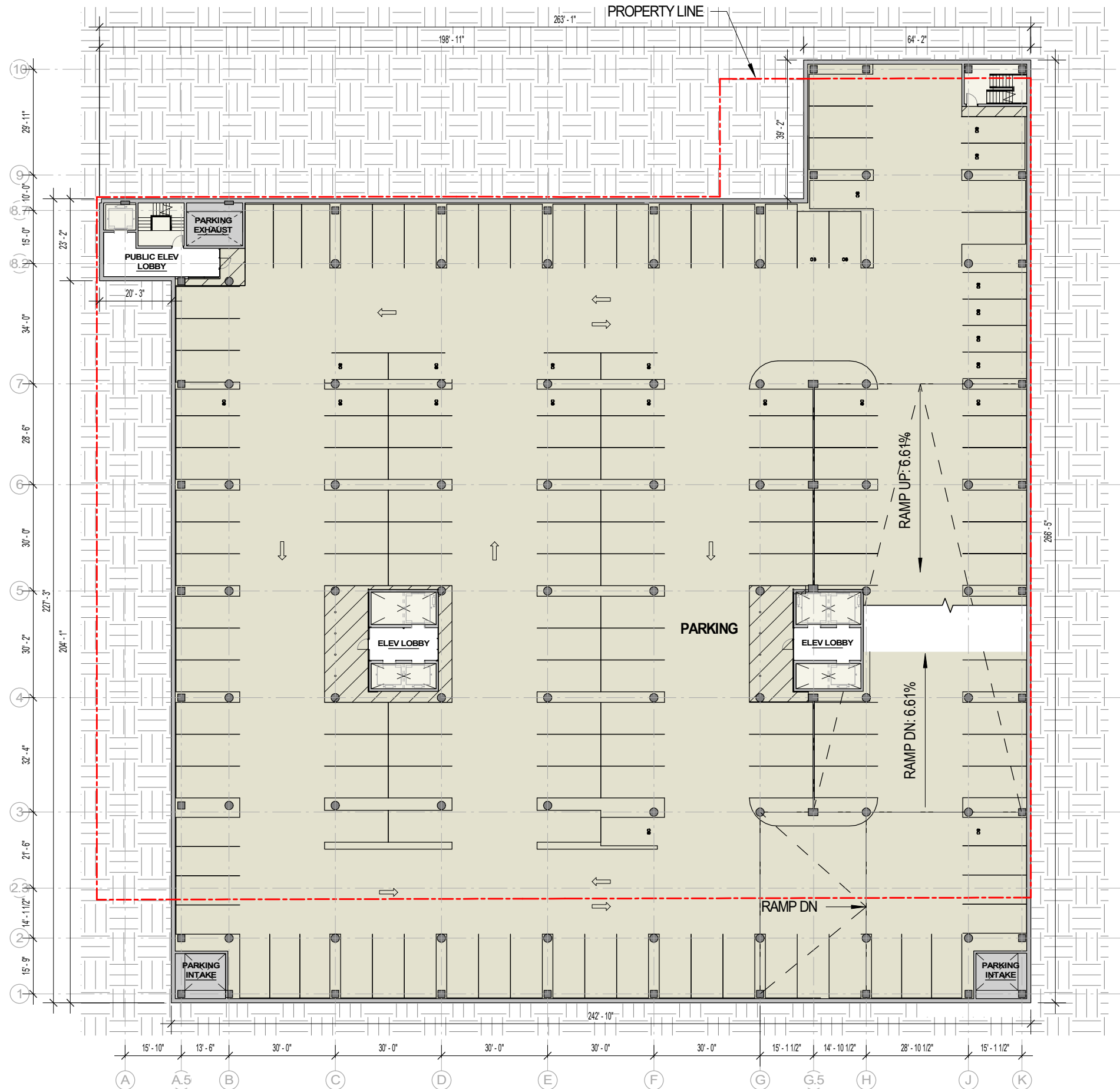
Sheet Number

1-P3



LEVEL P4 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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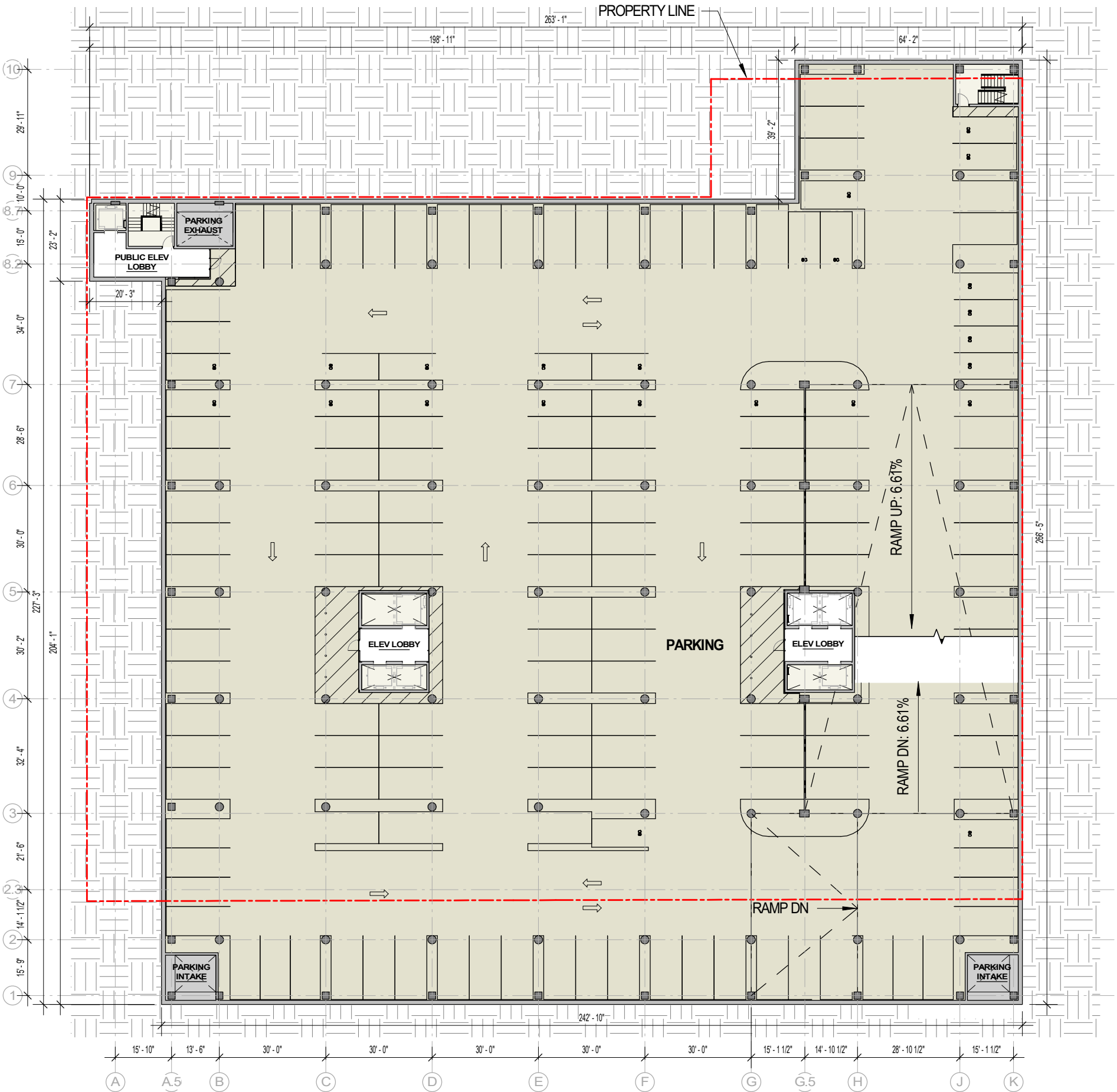
PARKING LEVEL P4

Sheet Number

1-P4

LEVEL P5 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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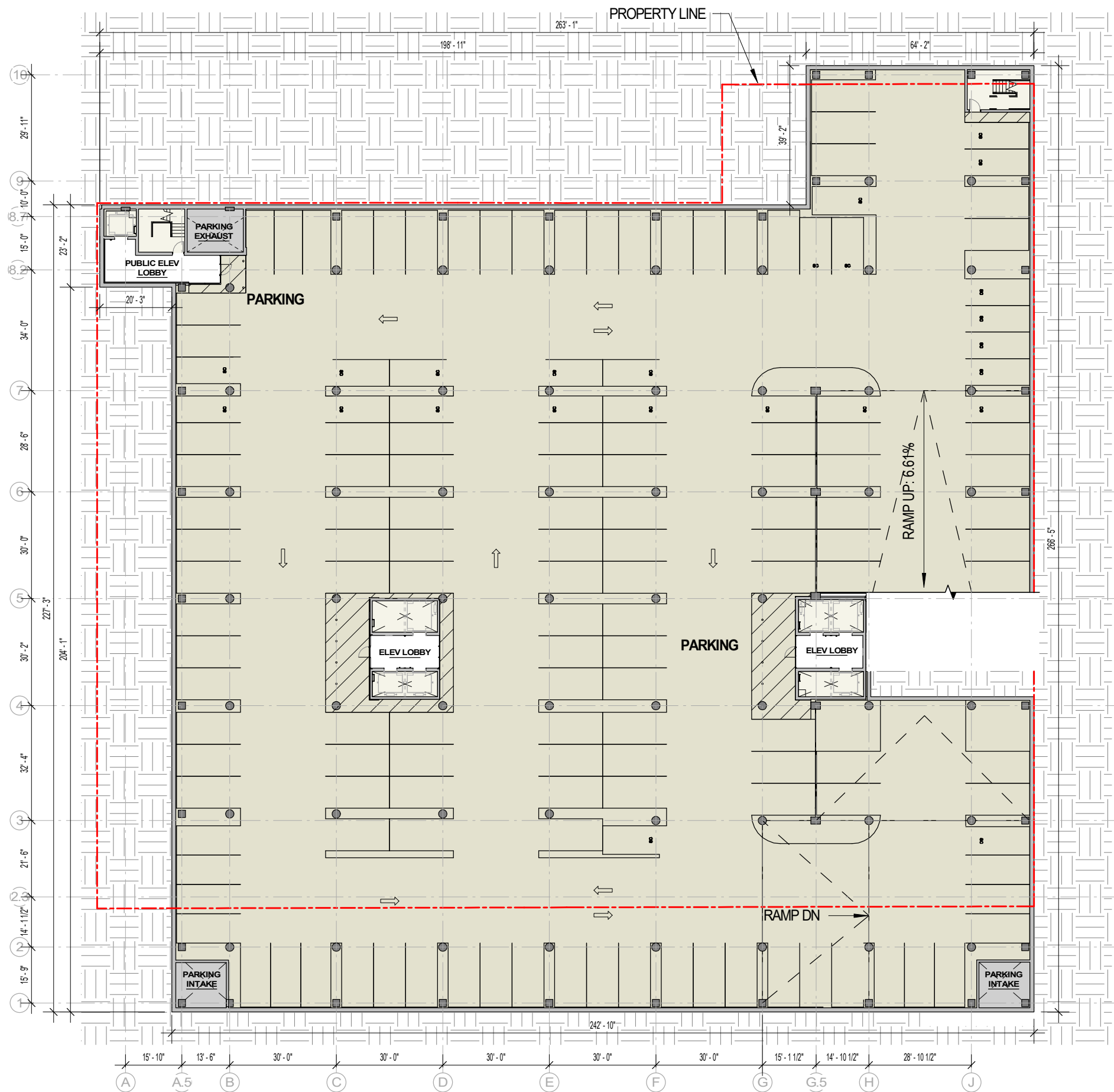
PARKING LEVEL P5

Sheet Number

1-P5

LEVEL P6 - LOWER LEVEL PARKING PLAN

SCALE: 1/32" = 1'-0"



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Sheet Name

PARKING LEVEL P6

Sheet Number

1-P6



EXTERIOR MATERIAL LEGEND

| EXTERIOR MATERIAL LEGEND | | | | | |
|--------------------------|--|--------------|-------------------|----------------------------------|---|
| MARK | DESCRIPTION | MANUF. | PRODUCT NAME/ NO. | COLOR/ FINISH | COMMENTS |
| GLAZING SYSTEM | | | | | |
| CW-01 | ALUM CURTAIN WALL - 4 SIDED SSG | KAWNEER | CLEARWALL | | AT TOWER |
| CW-02 | ALUM CURTAIN WALL - 2 SIDED SSG, VERTICAL CAPTURE W/ EXTRUDED MULLION CAPS | KAWNEER | 1600 SERIES 2 | | AT TOWER |
| CW-03 | ALUM CURTAIN WALL W/ SPIDER FITTINGS | SADEV | CUSTOM | | AT E. WASH LOBBY |
| CW-04 | ALUM CURTAIN WALL W/ EXTRUDED MULLION CAPS | KAWNEER | SERIES 1600 | | |
| CW-05 | ALUM CURTAIN WALL W/ GLASS MULLIONS | OLD CASTLE | CUSTOM | | AT PINCKNEY LOBBY |
| CW-06 | ALUM CURTAIN WALL / 2 SIDED SSG AND HORIZONTAL CAPTURE | KAWNEER | 1600 SERIES 2 | | |
| SF-01 | ALUM THERMALLY BROKEN WINDOW SYSTEM | KAWNEER | NXT-3800 SERIES | CLEAR ANODIZED | ANODIZED |
| SF-02 | ALUM THERMALLY BROKEN WINDOW SYSTEM | KAWNEER | NXT-3800 SERIES | DARK GRAY | TBD/ MICA PAINT FINISH |
| SF-03 | ALUM THERMALLY BROKEN WINDOW SYSTEM | KAWNEER | NXT-3800 SERIES | MEDIUM BRONZE | ANODIZED |
| SF-04 | ALUM THERMALLY BROKEN WINDOW SYSTEM | KAWNEER | NXT-3800 SERIES | DARK BRONZE | ANODIZED |
| SF-05 | ALUM THERMALLY BROKEN WINDOW SYSTEM | KAWNEER | NXT-3800 SERIES | CHAMPAGNE | ANODIZED |
| SF-06 | ALUM THERMALLY BROKEN WINDOW SYSTEM | KAWNEER | NXT-3800 SERIES | LIGHT BRONZE | ANODIZED |
| SF-07 | ALUM THERMALLY BROKEN WINDOW SYSTEM W/ EXTRUDED MULLION CAPS | KAWNEER | NXT-3800 SERIES | MEDIUM BRONZE | ANODIZED |
| GLASS | | | | | |
| GL-01 | LOW IRON GLAZING | | | | NOT USED |
| GL-02 | STANDARD GLASS | VIRACON | RADIANT LOW-E | VRE1-59 | |
| GL-02X | STANDARD GLASS SPANDREL | VIRACON | RADIANT LOW-E | TO MATCH GL-04 | |
| GL-03 | BLUE TINTED GLASS | VIRACON | LOW-E | VE6-42 | |
| GL-03X | BLUE TINTED GLASS SPANDREL | VIRACON | LOW-E | TO MATCH GL-03 | |
| GL-10 | GLASS BLOCK | | | | |
| METAL PANEL | | | | | |
| MTL-01 | COMPOSITE METAL PANEL | | | LIGHT BRONZE / MICA PAINT FINISH | COMPANION BUILDING ENTRY |
| MTL-02 | COMPOSITE METAL PANEL | | | TBD/ MICA PAINT FINISH | WEBSTER EGRESS PAVILLION |
| MTL-03 | COMPOSITE METAL PANEL | | | TBD/ MICA PAINT FINISH | |
| MTL-04 | BRAKE METAL | | | TBD/ MICA PAINT FINISH | |
| MTL-05 | SOFFIT PANEL | | | | |
| MTL-06 | PLATE ALUMINUM | | | BRUSHED ALUMINUM | AT STEP BUILDING WINDOW SURROUNDS |
| MTL-07 | METAL TRIM | | | TBD/ MICA PAINT FINISH | AT FOUR STORY ENTRANCE |
| MTL-08 | METAL TRIM | | | CHAMPAGNE | BALCONY SLAB EDGE COVERS |
| MTL-09 | COLUMN ENCLOSURE | | | BRUSHED ALUMINUM | |
| MTL-10 | PERFORATED CORRUGATED METAL EQUIPMENT SCREEN | | | TBD/ MICA PAINT FINISH | |
| MTL-11 | METAL TRIM FRAMING | | | CHAMPAGNE | TRIM @ PINCKNEY ENTRY |
| MTL-12 | METAL TRIM FRAMING | | | LIGHT BRONZE | CORNICE AT COMPANION BUILDING |
| MTL-13 | METAL TRIM FRAMING | | | TBD/ MICA PAINT FINISH | CORNICE AT E. WASHINGTON LOADING DOCK |
| MASONRY | | | | | |
| ST-01 | STONE PANEL | | | INDIANA LIMESTONE | HONED FINISH |
| ST-02 | STONE PANEL | VETTER STONE | | GLACIER BUFF | TAPESTRY FINISH |
| ST-03A | STONE PANEL | EATHWORKS | | EW GOLD | HONED FINISH |
| ST-03B | STONE PANEL | EATHWORKS | | EW GOLD | SANDBLASTED FINISH |
| STB-01 | STONE BASE | | | MASON GRANITE BEIGE | FLAMED FINISH |
| STB-02 | STONE BASE | STONE DESIGN | | WILLHOITE SUEDE | POLISHED FINISH |
| STB-03 | STONE BASE | COLDSPRING | | MESABI BLACK | FLAMED FINISH |
| STB-10 | STONE BASE | POLYCOR | | PICASSO | ANTIQUE FINISH |
| STB-11 | STONE BASE | DAKOTA | | MAHOGANY | POLISHED FINISH |
| STB-12 | STONE BASE | COLDSPRING | | MESABI BLACK | FLAMED FINISH |
| BR-01 | BRICK | YANKEE HILL | | G1 - SMOOTH | AT 4 STORY FACADE |
| BR-02 | BRICK | YANKEE HILL | | SALMON - SMOOTH | AT STEP FACADE |
| BR-03 | BRICK | YANKEE HILL | | CREIGHTON - SMOOTH | AT WEBSTER LOADING DOCK |
| BR-04 | BRICK | YANKEE HILL | | FL TAN - SMOOTH | AT EAST WASHINGTON LOADING DOCK |
| CMU-01 | CONCRETE MASONRY UNIT | | | | ALLEY AND WALLS ADJACENT EXISTING BUILDINGS |
| CONCRETE | | | | | |
| CONC-01 | CONCRETE COLUMN | | | | |
| CONC-02 | CONCRETE PLANTER | | | | |
| SL-01 | PRECAST CONCRETE SILL | | | COLOR TO MATCH BR-01 | |
| SL-02 | PRECAST CONCRETE SILL | | | COLOR TO MATCH BR-02 | |
| SL-03 | PRECAST CONCRETE SILL | | | COLOR TO MATCH BR-03 | |
| RAILING | | | | | |
| RL-01 | CABLE RAIL | | | | |
| RL-02 | GLASS RAIL | | | | |
| OTHER | | | | | |
| LV-01 | MTL LOUVER | | | TBD/ MICA PAINT FINISH | |
| LV-02 | MTL LOUVER | | | TBD/ MICA PAINT FINISH | |

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Project Number

18038.00

Date

08/12/20

Sheet Name

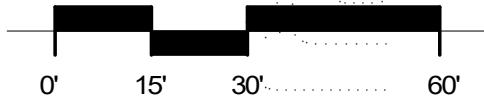
EXTERIOR MATERIAL
LEGEND

Sheet Number

2-00

N. PINCKNEY STREET - COLOR ELEVATION

SCALE: 1" = 30'-0"



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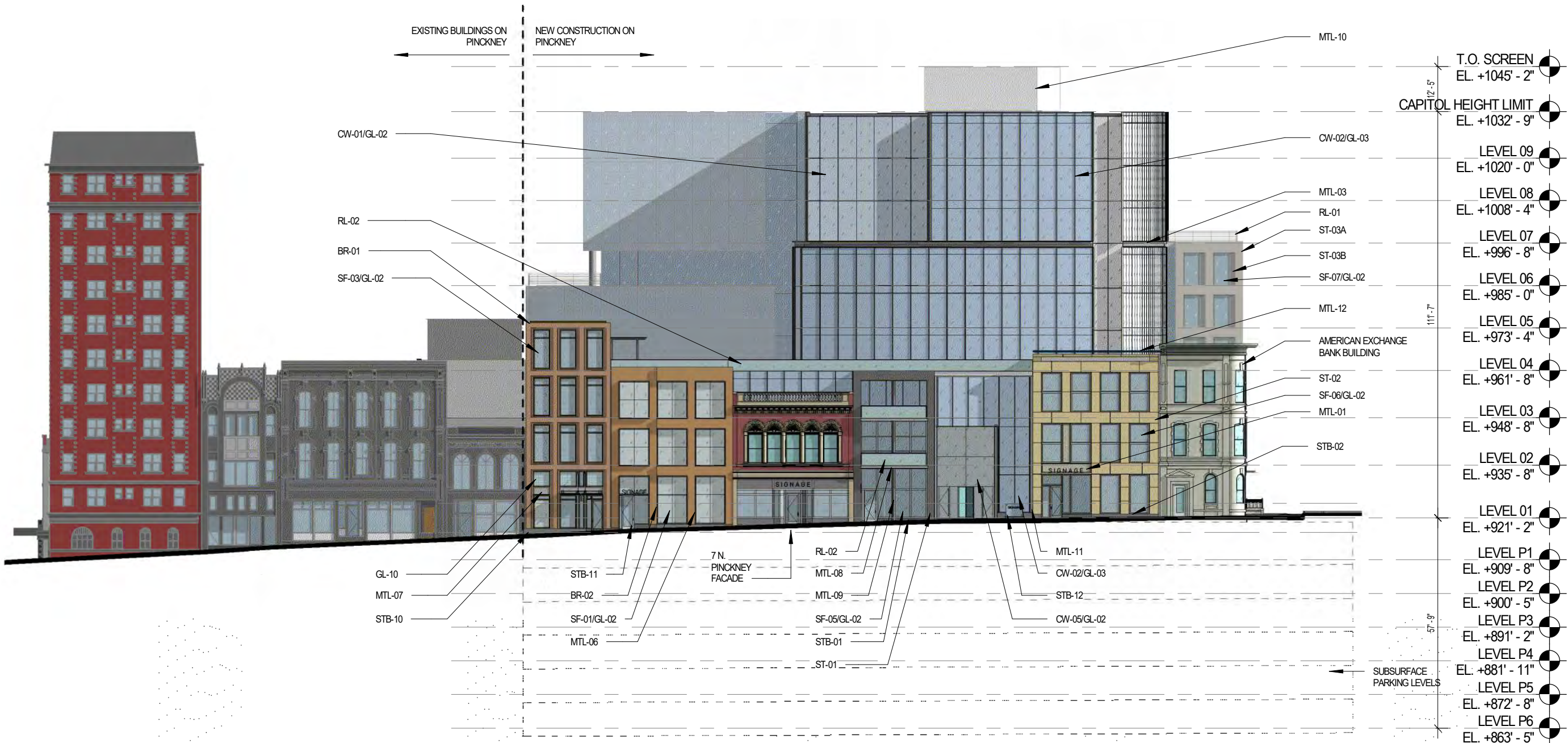
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Sheet Name

PINCKNEY ELEVATION

Sheet Number

2-01



E. WASHINGTON AVENUE - COLOR ELEVATION

SCALE: 1" = 30'-0"



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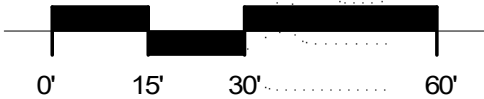
**WASHINGTON
ELEVATION**

Sheet Number

2-02

N. WEBSTER STREET - COLOR ELEVATION

SCALE: 1" = 30'-0"



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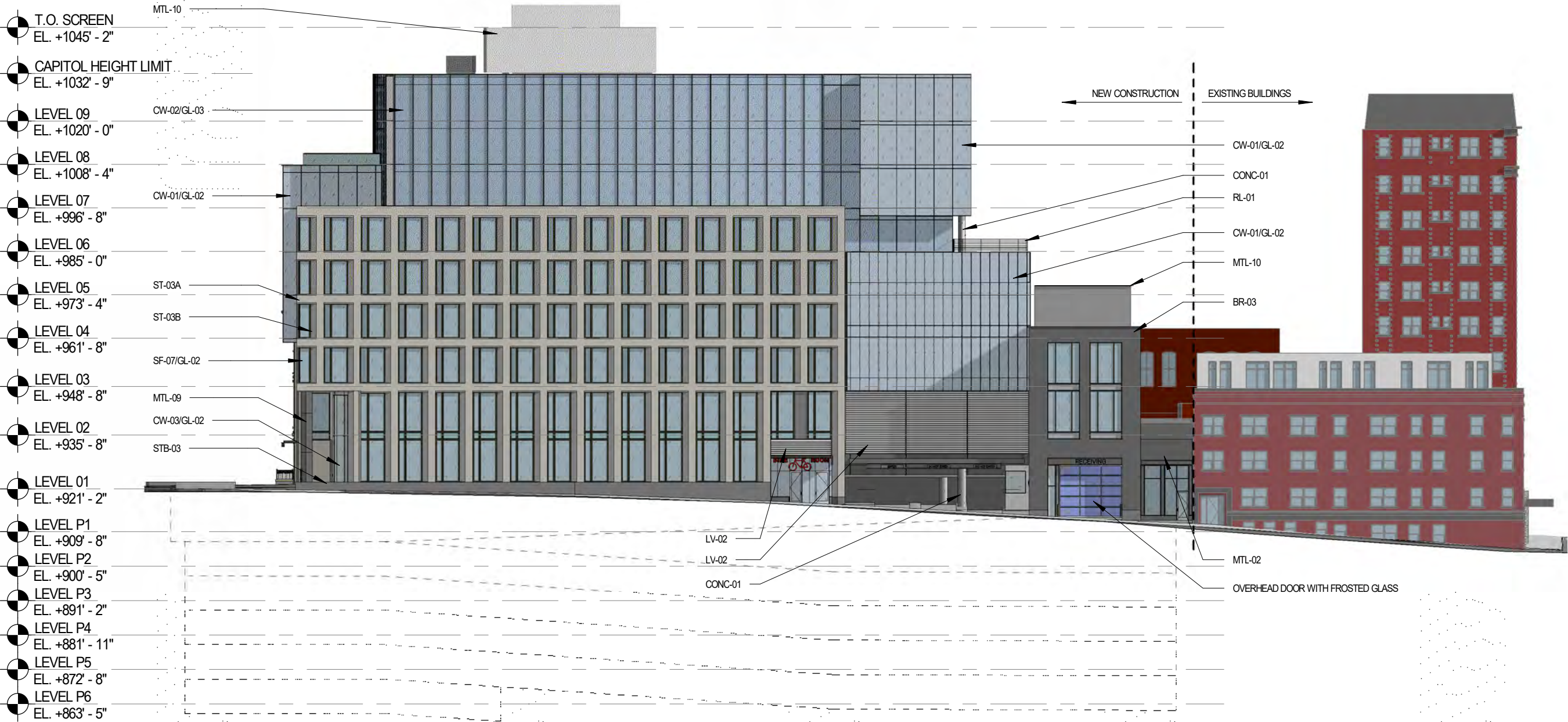
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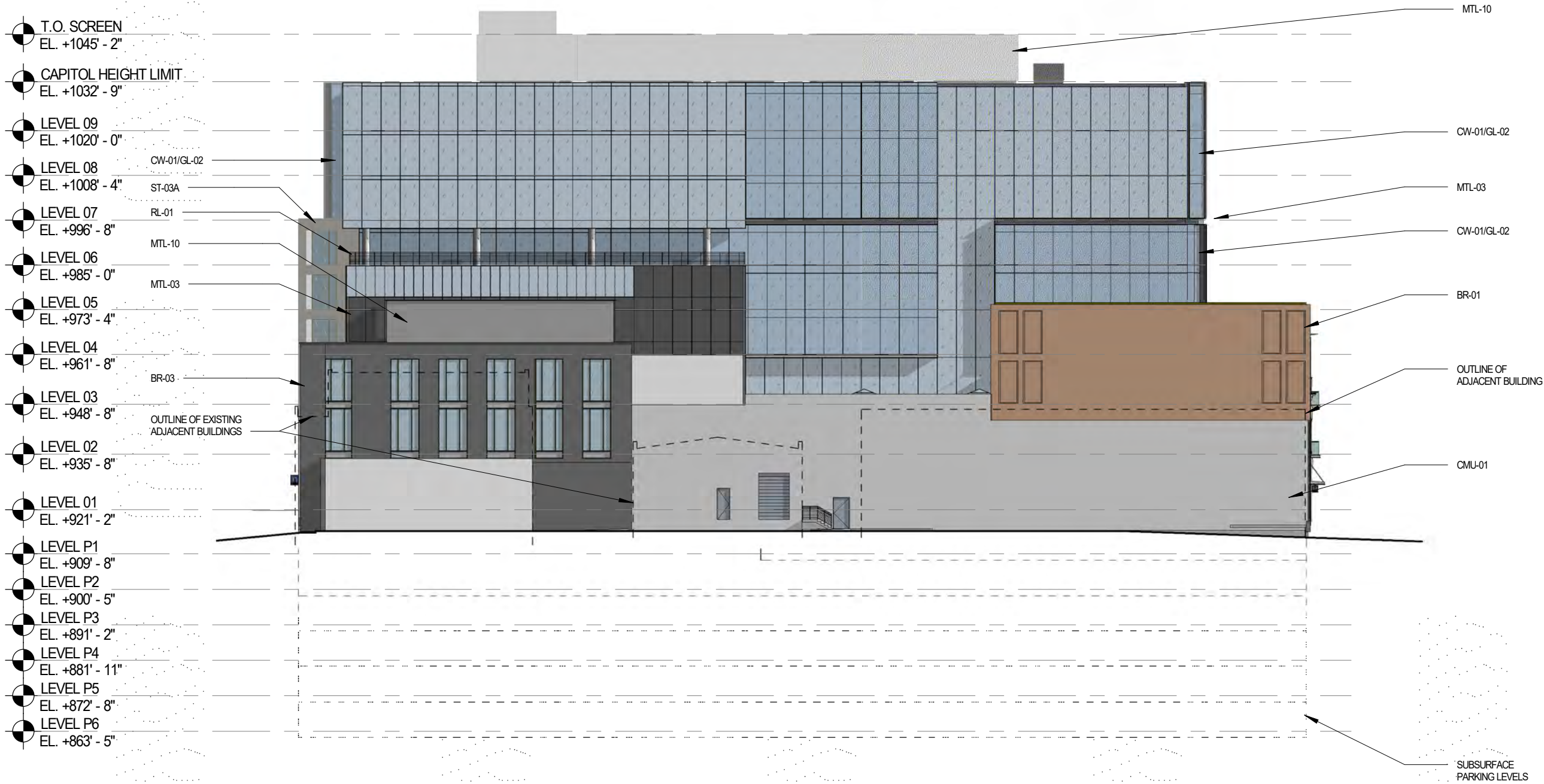
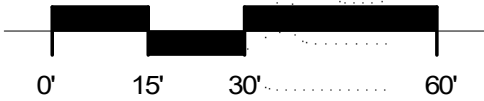
WEBSTER ELEVATION

Sheet Number

2-03

NORTH FACADE - COLOR ELEVATION

SCALE: 1" = 30'-0"



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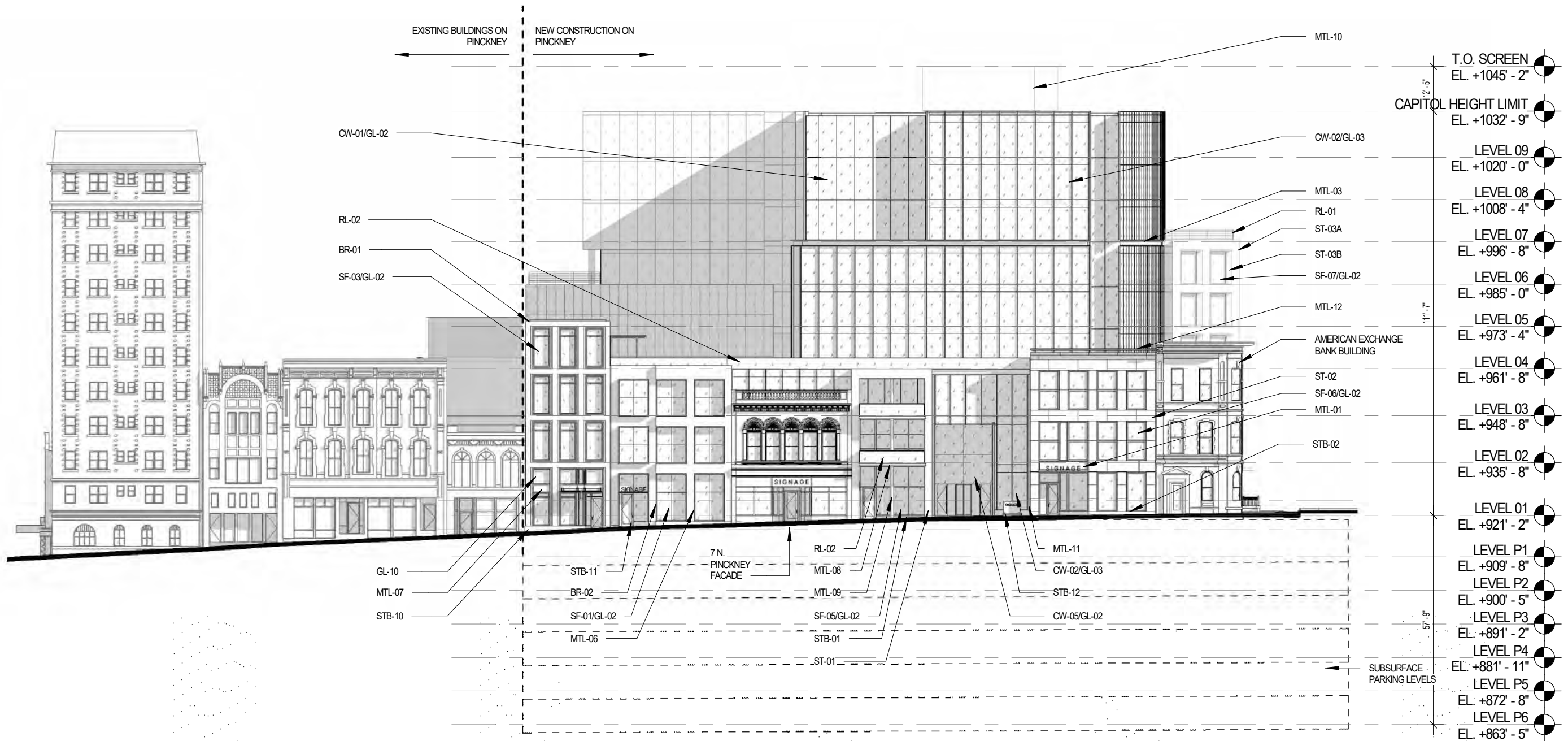
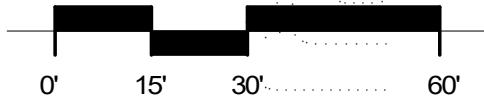
NORTH ELEVATION

Sheet Number

2-04

N. PINCKNEY STREET - ELEVATION

SCALE: 1" = 30'-0"



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Sheet Name

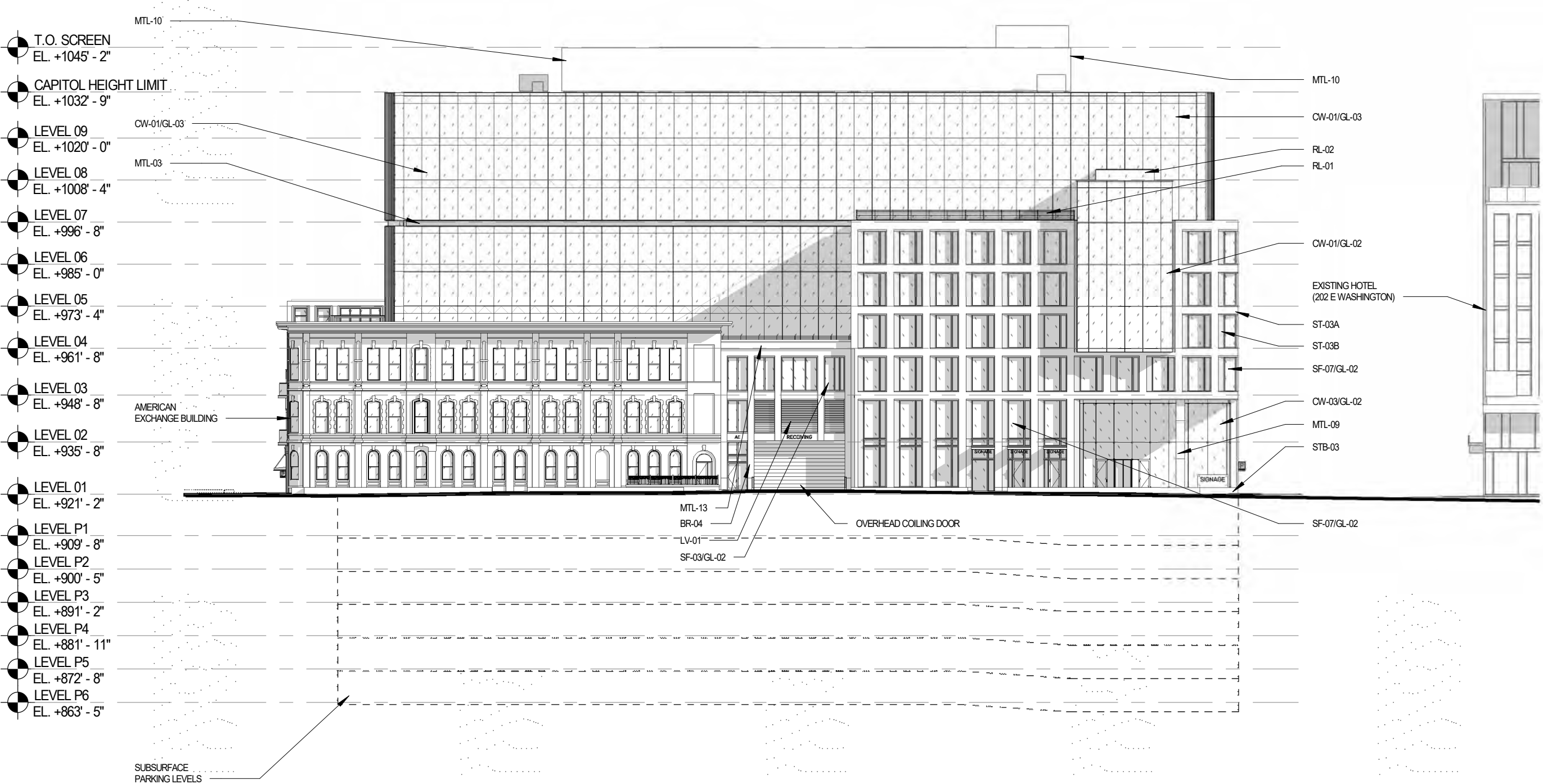
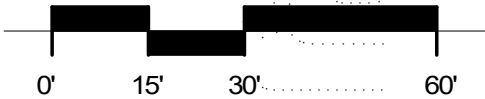
PINCKNEY ELEVATION

Sheet Number

2-11

E. WASHINGTON AVENUE - ELEVATION

SCALE: 1" = 30'-0"



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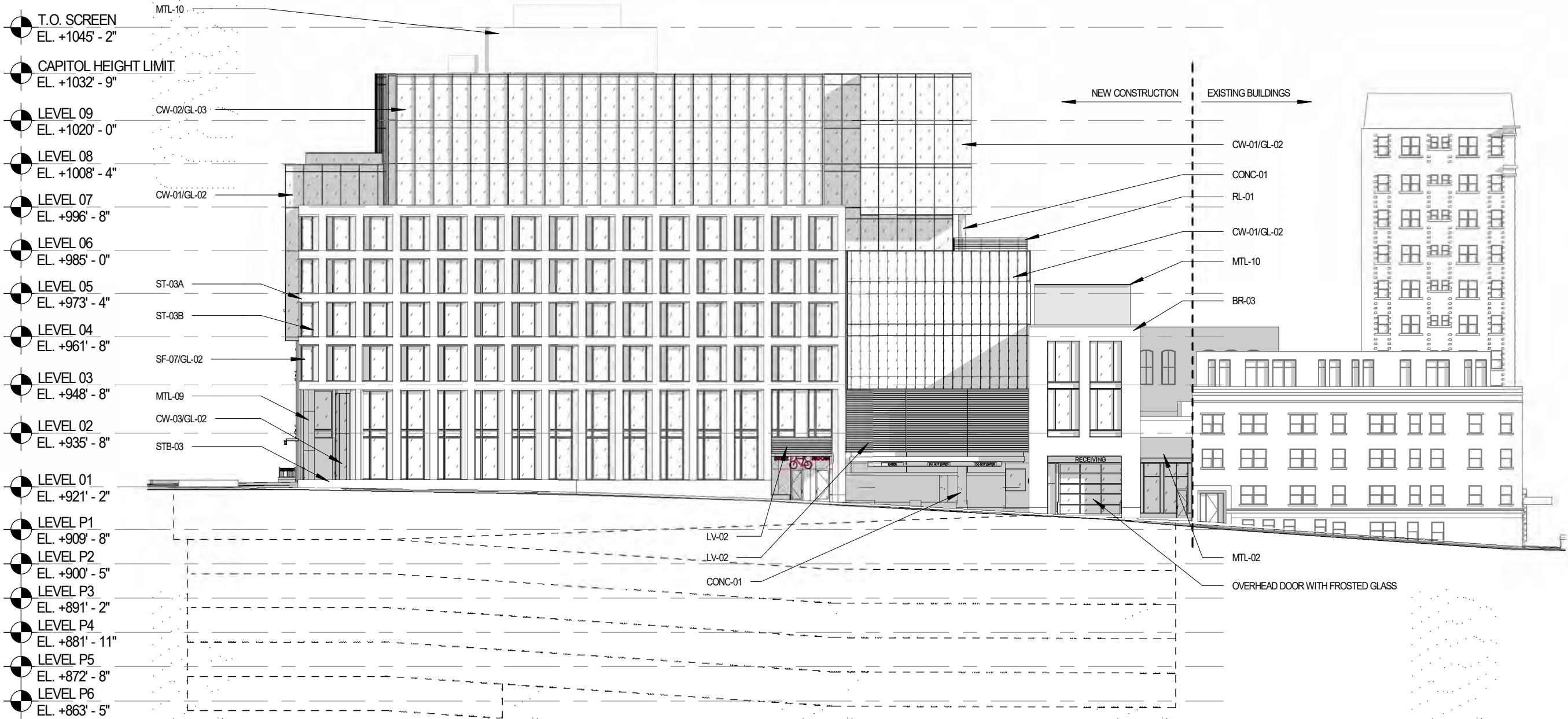
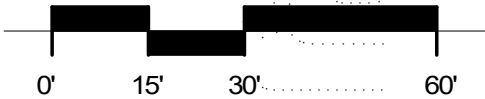
WASHINGTON
ELEVATION

Sheet Number

2-12

N. WEBSTER STREET - ELEVATION

SCALE: 1" = 30'-0"



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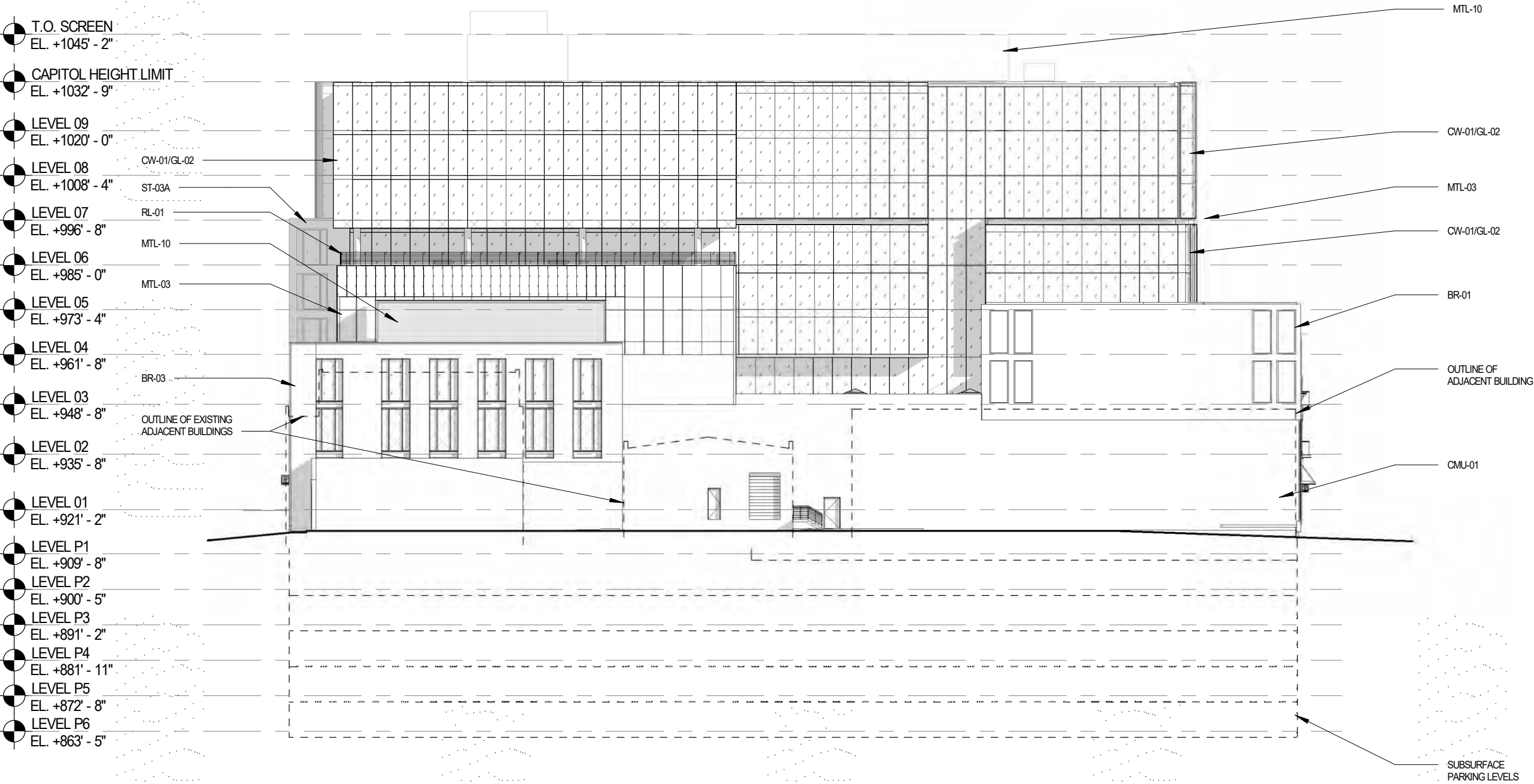
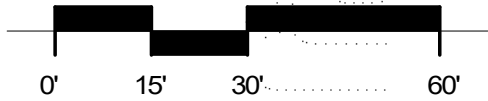
WEBSTER ELEVATION

Sheet Number

2-13

NORTH FACADE - ELEVATION

SCALE: 1" = 30'-0"



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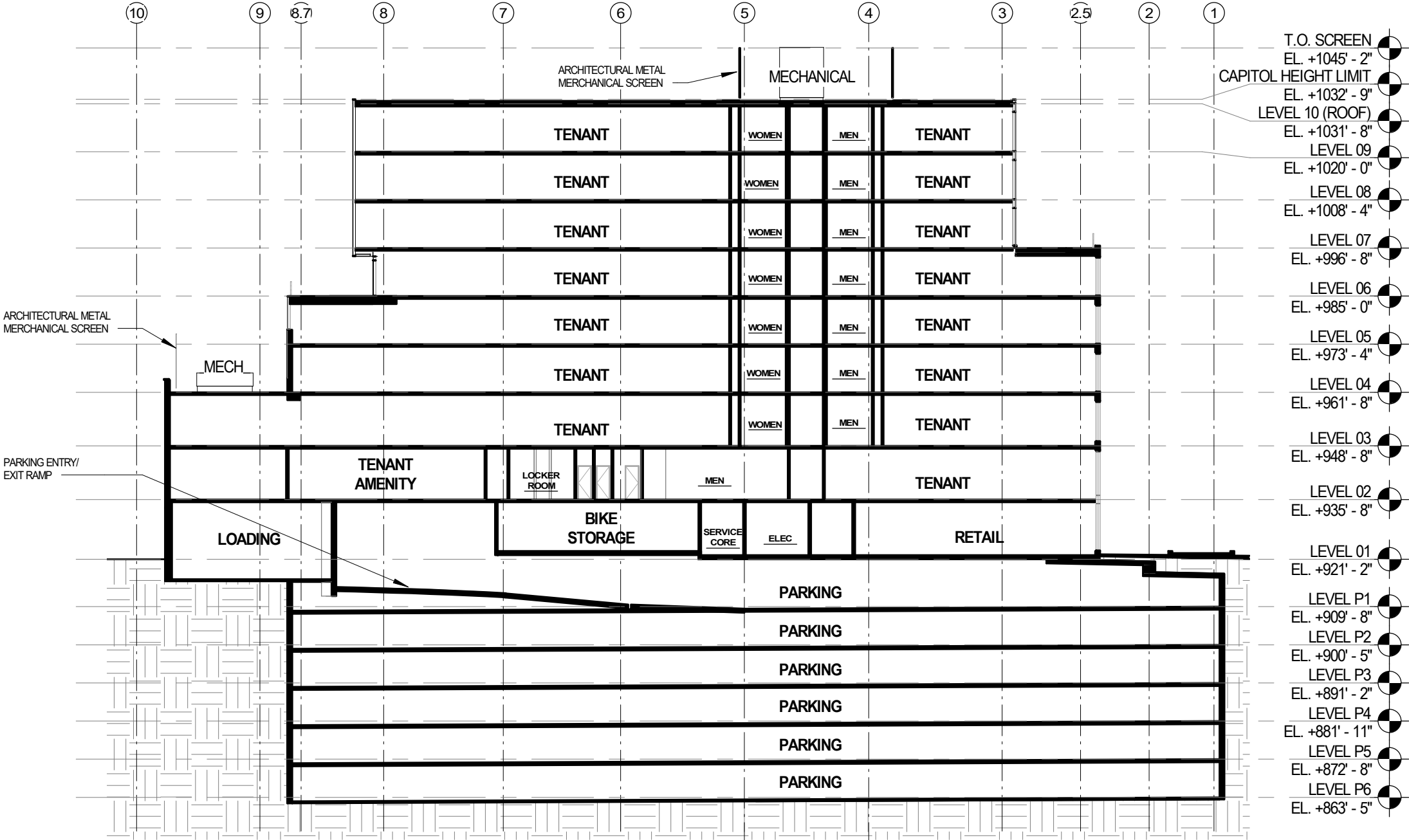
NORTH ELEVATION

Sheet Number

2-14

BUILDING SECTION

SCALE: 1" = 30'-0"



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Sheet Name

BUILDING SECTION

Sheet Number

2-15



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Sheet Name

RENDERING - VIEW
ACROSS N. PINCKNEY

Sheet Number

3-01



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Sheet Name

RENDERING - PINCKNEY FACADE

Sheet Number

3-02



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Sheet Name

RENDERING -
PINCKNEY FACADE

Sheet Number

3-03



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Sheet Name

RENDERING - VIEW FROM N. PINCKNEY

Sheet Number

3-04

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Sheet Name

RENDERING - VIEW
ACROSS E.
WASHINGTON

Sheet Number

3-05



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Sheet Name

RENDERING - VIEW
FROM EAST
WASHINGTON

Sheet Number

3-06



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Sheet Name

RENDERING - VIEW
FROM E.
WASHINGTON & N.
WEBSTER

Sheet Number

3-07



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Sheet Name

**RENDERING - VIEW OF
WASHINGTON AVE
LOBBY**

Sheet Number

3-08



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Sheet Name

**RENDERING - VIEW
FROM N. WEBSTER**

Sheet Number

3-09



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Sheet Name

**RENDERING - VIEW OF
INTERIOR
COURTYARD**

Sheet Number

3-10



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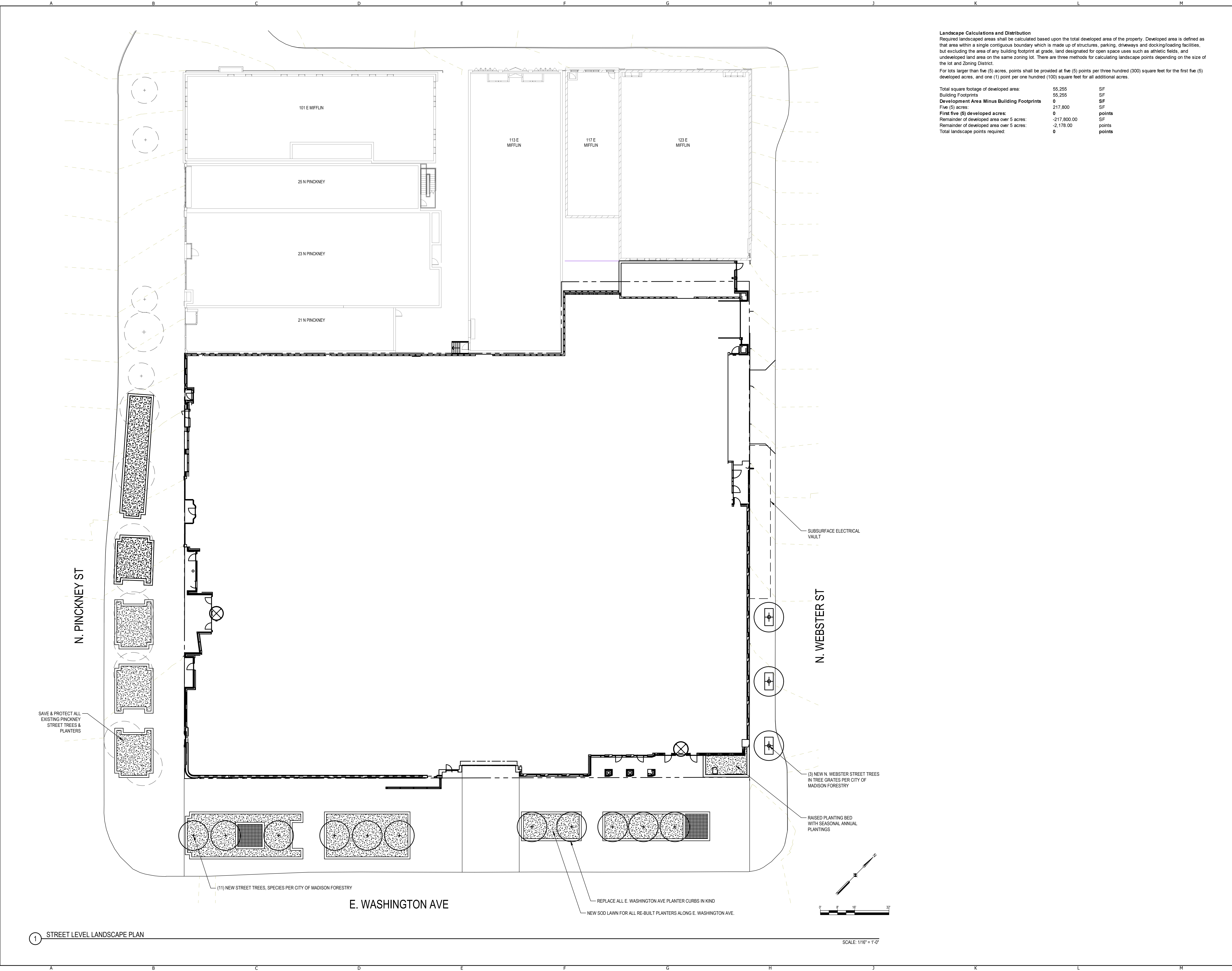
08/12/20

Sheet Name

**RENDERING - VIEW OF
INTERIOR
COURTYARD**

Sheet Number

3-11



Landscape Calculations and Distribution
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.
For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

| | | |
|--|-------------|--------|
| Total square footage of developed area: | 55,255 | SF |
| Building Footprints | 55,255 | SF |
| Development Area Minus Building Footprints | 0 | SF |
| Five (5) acres: | 217,800 | SF |
| First five (5) developed acres: | 0 | points |
| Remainder of developed area over 5 acres: | -217,800.00 | SF |
| Remainder of developed area over 5 acres: | -2,178.00 | points |
| Total landscape points required: | 0 | points |

AMERICAN
EXCHANGE
DEVELOPMENT

Project Address
Madison, WI

Project Number
18038.00

Architect

VALERIO
DEWALT
TRAIN

500 North Dearborn Street
Suite 900
Chicago, Illinois 60654
312.260.7300

Project Team Architect's Stamp
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DAVID JENNERJAHN
TOM DALY
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PETER WOJTOWICZ

Consultant
SMITHGROUP
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SUITE 500
MADISON, WI 53703
608.251.1177
www.smithgroup.com
Consultant Project Number

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| 2 | ISSUED FOR UDC / LAND USE | 09.02.2020 |

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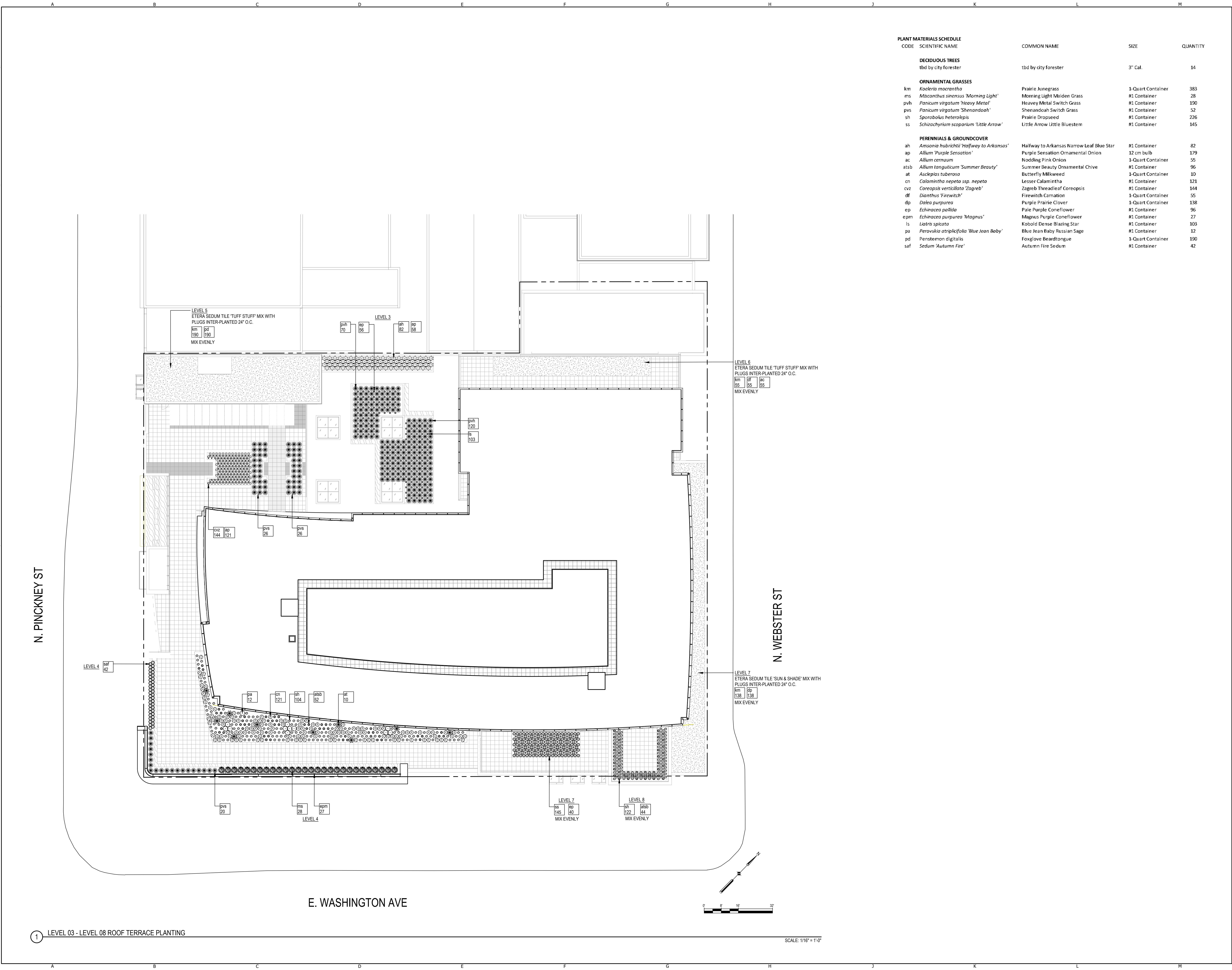
Sheet Name
LANDSCAPE PLAN

Sheet Number

LP1-00

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| PLANT MATERIALS SCHEDULE | | COMMON NAME | SIZE | QUANTITY |
|--------------------------|--|---|-------------------|----------|
| CODE | SCIENTIFIC NAME | | | |
| DECIDUOUS TREES | | | | |
| | tbd by city forester | tbd by city forester | 3" Cal. | 14 |
| ORNAMENTAL GRASSES | | | | |
| km | <i>Koeleria macrantha</i> | Prairie Junegrass | 1-Quart Container | 383 |
| ms | <i>Miscanthus sinensis</i> 'Morning Light' | Morning Light Maiden Grass | #1 Container | 28 |
| pvh | <i>Panicum virgatum</i> 'Heavy Metal' | Heavy Metal Switch Grass | #1 Container | 130 |
| pvs | <i>Panicum virgatum</i> 'Shenandoah' | Shenandoah Switch Grass | #1 Container | 52 |
| sh | <i>Sporobolus heterolepis</i> | Prairie Dropseed | #1 Container | 226 |
| ss | <i>Schizachyrium scoparium</i> 'Little Arrow' | Little Arrow Little Bluestem | #1 Container | 145 |
| PERENNIALS & GROUNDCOVER | | | | |
| ah | <i>Amsonia hubrichtii</i> 'Halfway to Arkansas' | Halfway to Arkansas Narrow Leaf Blue Star | #1 Container | 82 |
| ap | <i>Allium</i> 'Purple Sensation' | Purple Sensation Ornamental Onion | 12 cm bulb | 179 |
| ac | <i>Allium cernuum</i> | Nodding Pink Onion | 1-Quart Container | 55 |
| atsb | <i>Allium tanguticum</i> 'Summer Beauty' | Summer Beauty Ornamental Chive | #1 Container | 96 |
| at | <i>Asclepias tuberosa</i> | Butterfly Milkweed | 1-Quart Container | 10 |
| cn | <i>Calamintha nepeta</i> ssp. <i>nepeta</i> | Lesser Calamintha | #1 Container | 121 |
| cvz | <i>Coreopsis verticillata</i> 'Zagreb' | Zagreb Threadleaf Coreopsis | #1 Container | 144 |
| df | <i>Dianthus</i> 'Firewitch' | Firewitch Carnation | 1-Quart Container | 55 |
| dp | <i>Dalea purpurea</i> | Purple Prairie Clover | 1-Quart Container | 138 |
| ep | <i>Echinacea pallida</i> | Pale Purple Coneflower | #1 Container | 96 |
| epm | <i>Echinacea purpurea</i> 'Magnus' | Magnus Purple Coneflower | #1 Container | 27 |
| ls | <i>Liatris spicata</i> | Kobold Dense Blazing Star | #1 Container | 103 |
| pa | <i>Perovskia atriplicifolia</i> 'Blue Jean Baby' | Blue Jean Baby Russian Sage | #1 Container | 12 |
| pd | <i>Penstemon digitalis</i> | Foxglove Beardtongue | 1-Quart Container | 130 |
| saf | <i>Sedum</i> 'Autumn Fire' | Autumn Fire Sedum | #1 Container | 42 |

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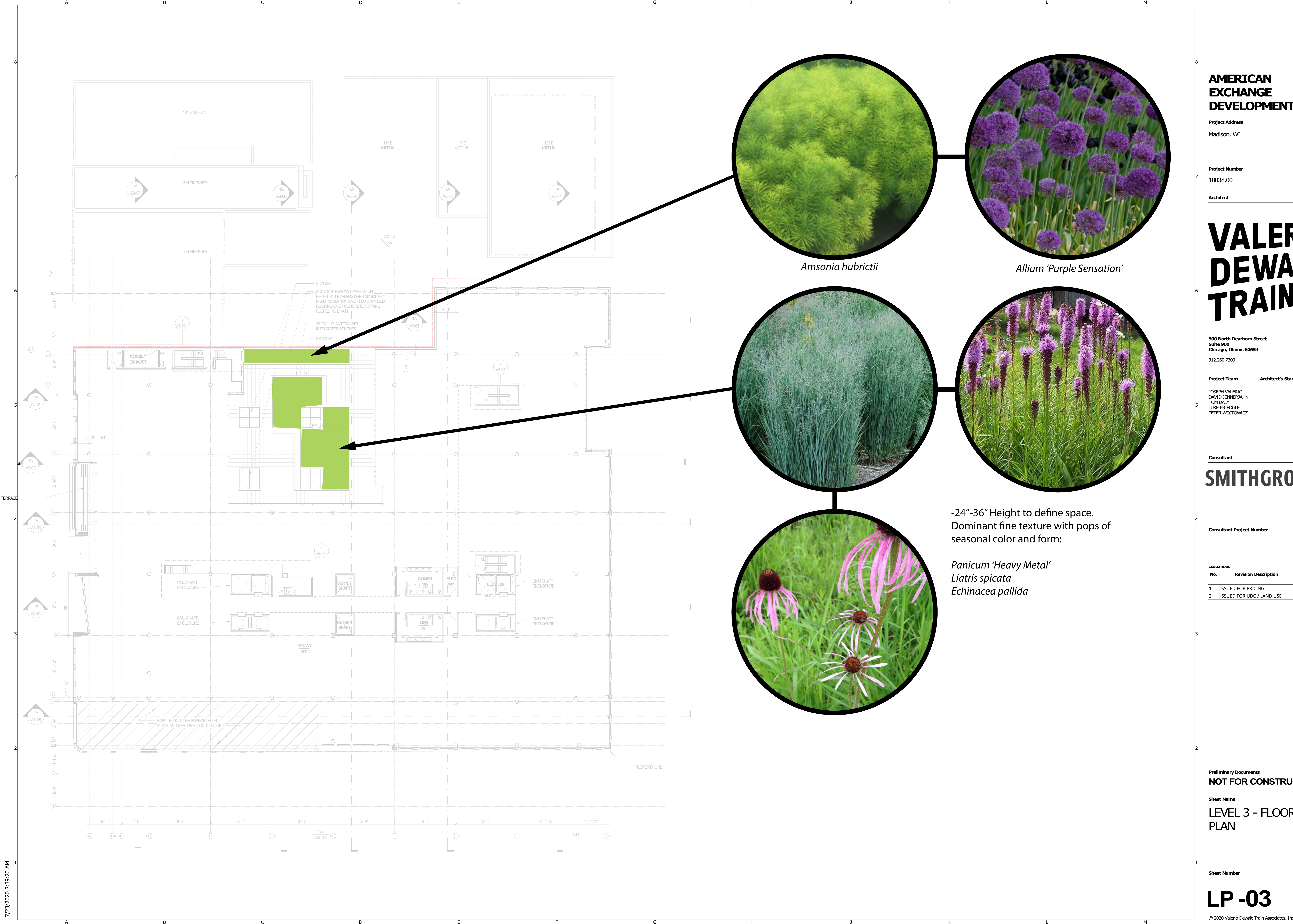
ROOF TERRACES
LANDSCAPE PLAN

Sheet Number

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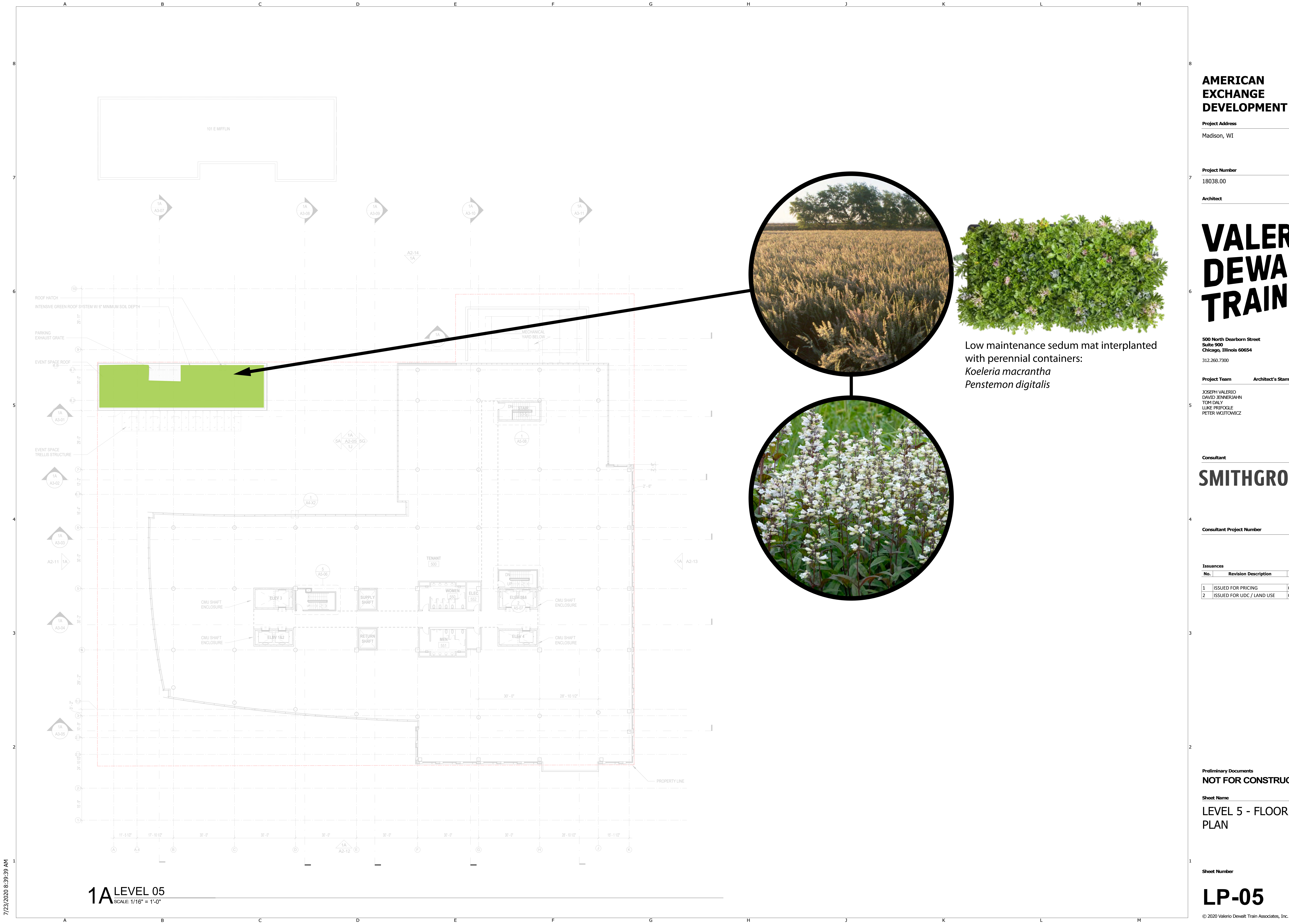
LEVEL 3 - FLOOR
PLAN

Sheet Number

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Project Address
Madison, WI

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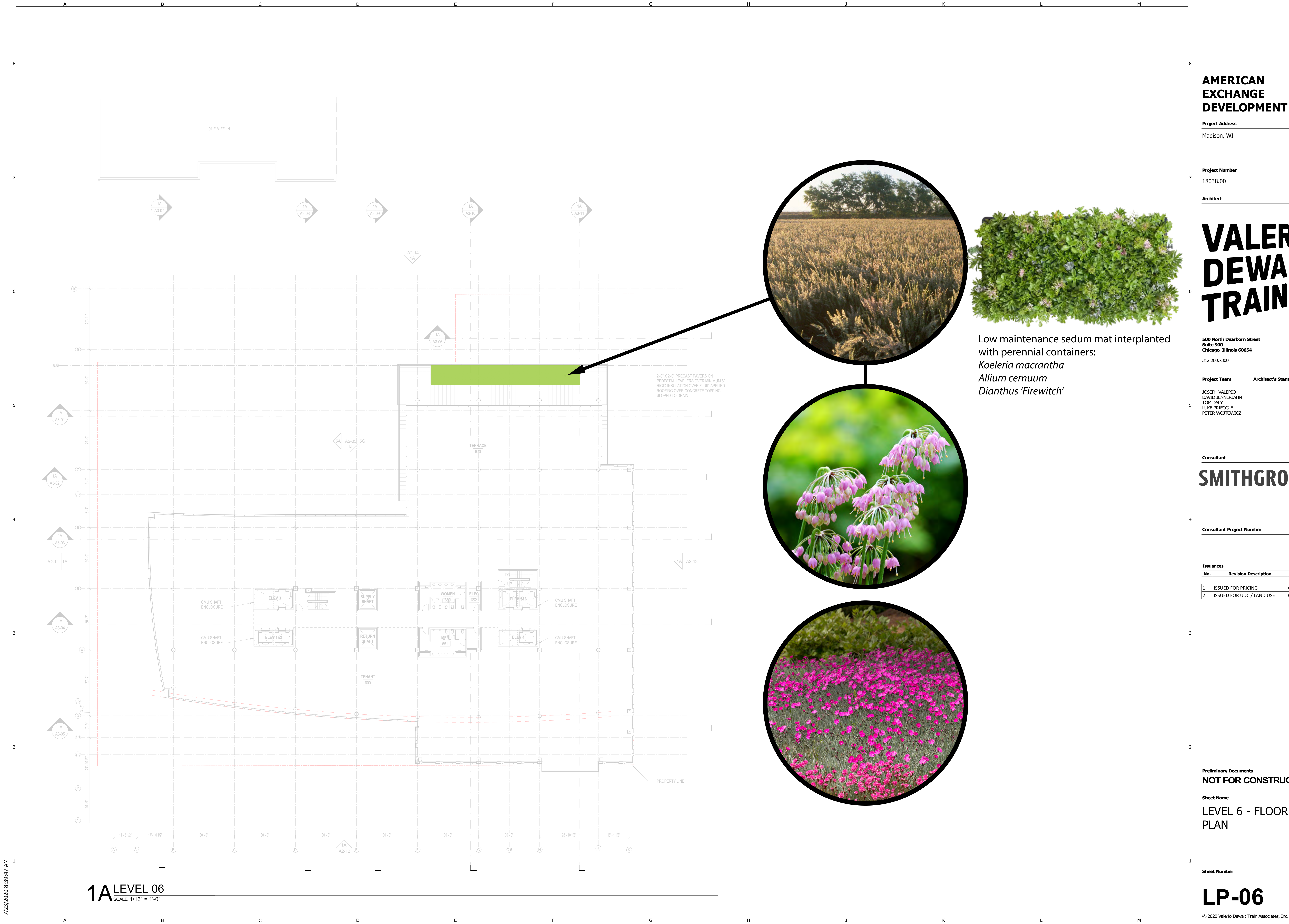
LEVEL 5 - FLOOR
PLAN

Sheet Number

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Project Team Architect's Stamp

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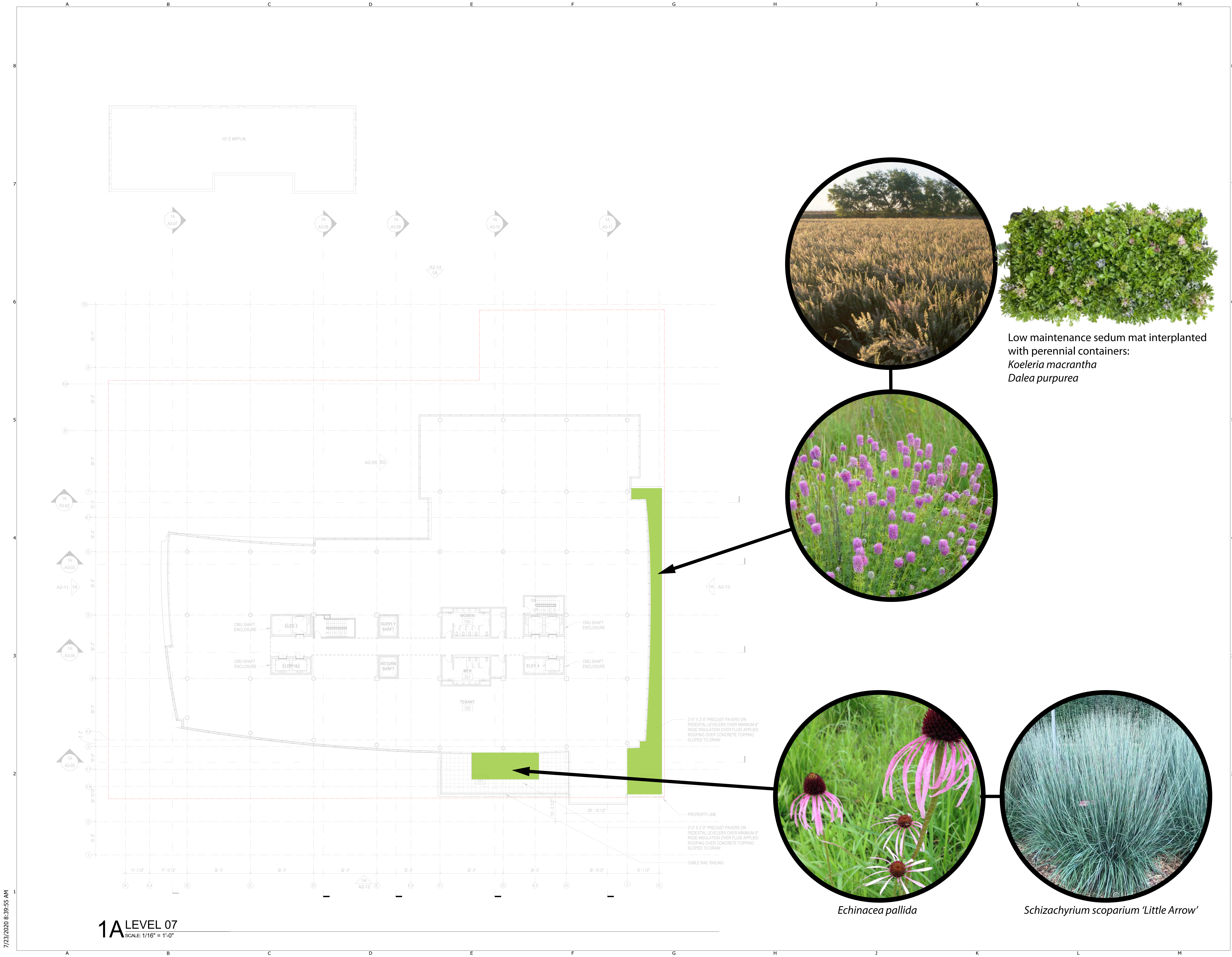
LEVEL 6 - FLOOR
PLAN

Sheet Number

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Project Address
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Consultant Project Number

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LEVEL 7 - FLOOR
PLAN

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Project Address
Madison, WI

Project Number
18038.00

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LEVEL 8 - FLOOR
PLAN

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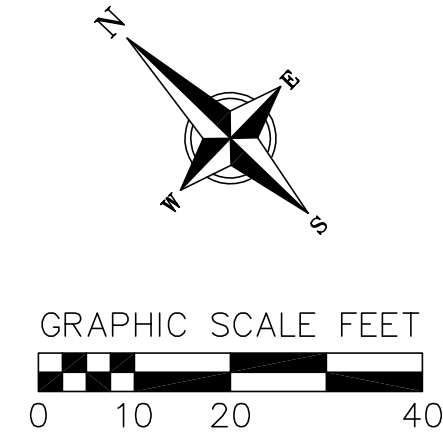
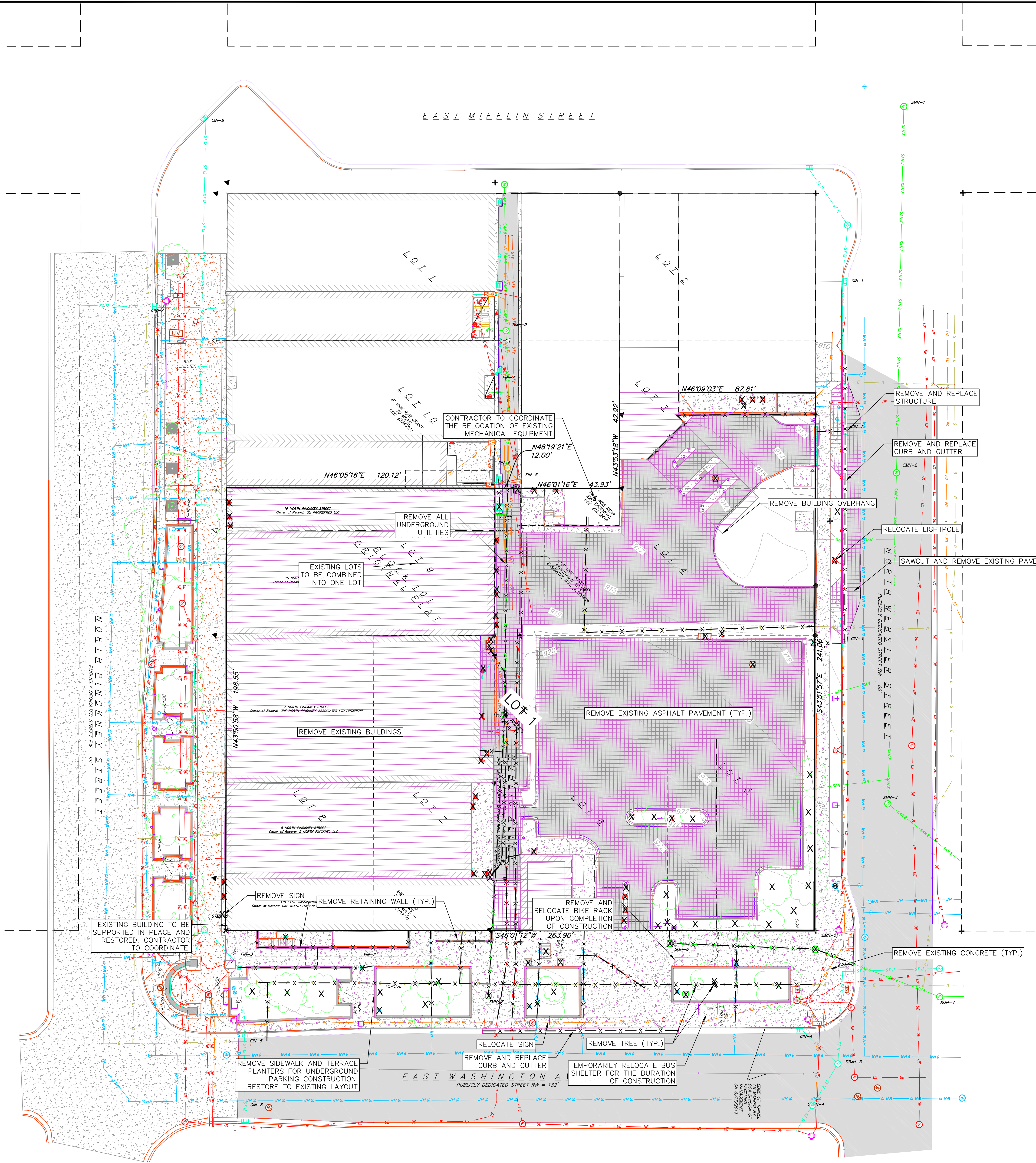
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CALL DIGGER'S HOTLINE
1-800-242-8511

EXISTING CONDITIONS



| DEMOLITION PLAN LEGEND | |
|------------------------|---------------------------|
| | CURB AND GUTTER REMOVAL |
| | ASPHALT REMOVAL |
| | CONCRETE REMOVAL |
| | BUILDING REMOVAL |
| | TREE REMOVAL |
| | SAWCUT |
| | UTILITY STRUCTURE REMOVAL |
| | UTILITY LINE REMOVAL |

- DEMOLITION/EROSION CONTROL NOTES:
1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
 2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
 3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
 4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
 6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION. MAINTAIN THROUGHOUT CONSTRUCTION.
 7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
 8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
 9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
 10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

NOT FOR CONSTRUCTION

vierbicher
planners | engineers | advisors
Phone: (608) 261-3898

Demolition Plan
American Exchange Development
City of Madison
Dane County, WI

| REVISIONS | | REVISIONS | |
|-----------|------|-----------|------|
| NO. | DATE | NO. | DATE |
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SCALE
AS SHOWN

DATE
08/12/2020

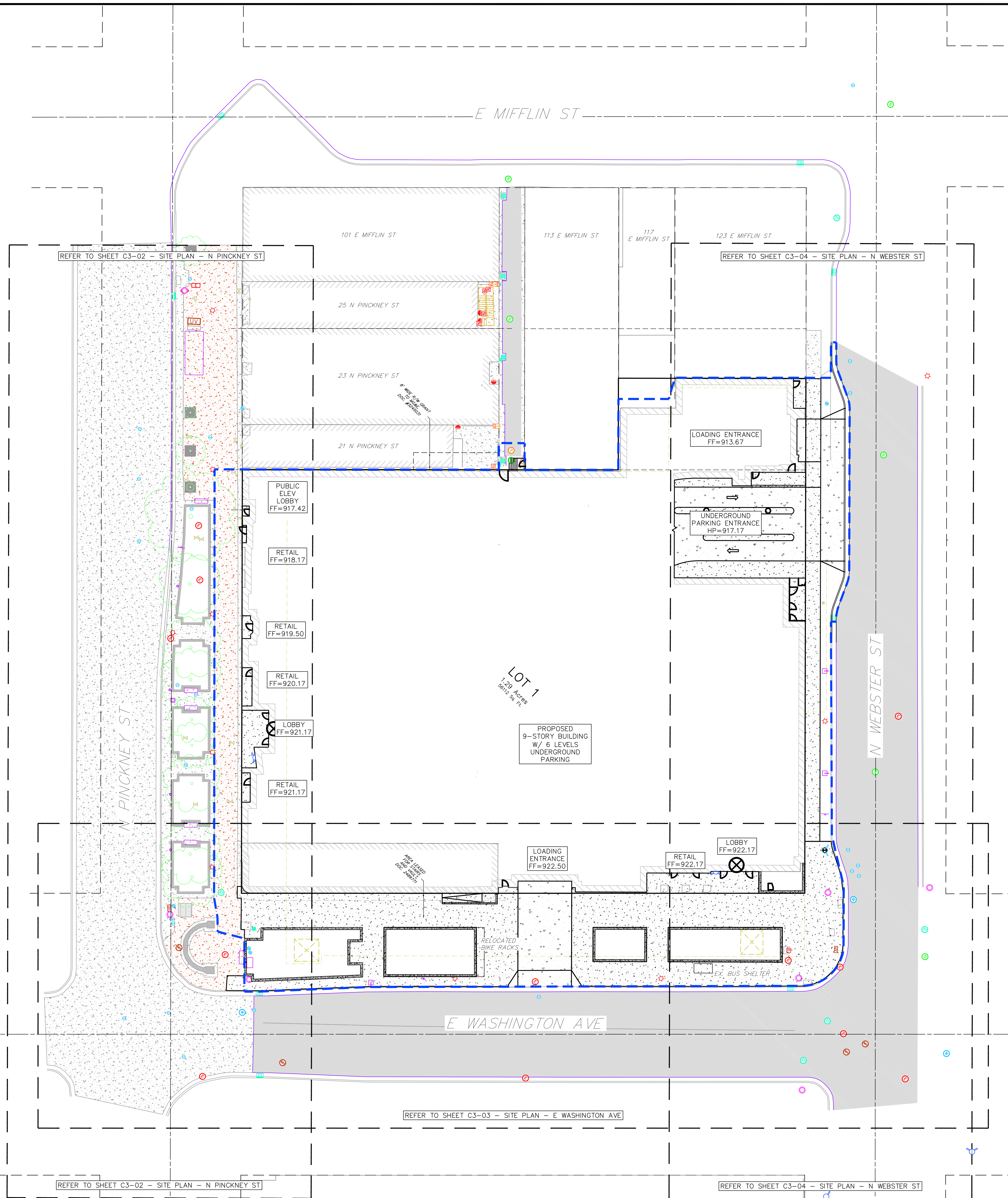
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PROJECT NO.
190142

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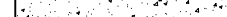
2-01



GENERAL NOTES:

1. INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
3. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
6. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
7. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
8. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
9. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
10. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEEDED.
11. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER DOCUMENTATION. ANY MONUMENTS DISTURBED BY CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
12. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
13. INSTALL WATER MAIN AT ADEQUATE DEPTH (MIN 6.5' OF COVER) TO AVOID CONFLICT WITH PROPOSED SANITARY SEWER AND STORM SEWER PER DNR STANDARDS EXCEPT WHERE NOTED ON THE PLANS. MAINTAIN MINIMUM 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
14. SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
15. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
16. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
17. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
18. CROSS-SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
19. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
20. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
21. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
22. ADJUST ALL EXISTING MANHOLE AND VALVE RIMS TO FINAL GRADE.

SITE PLAN LEGEND

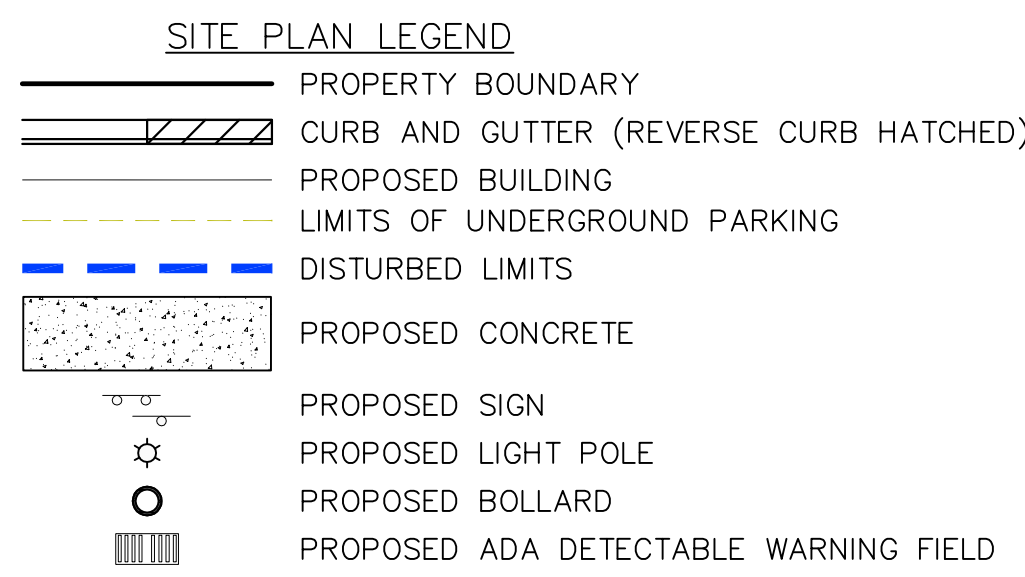
- | | |
|---|--|
|  | PROPOSED BOUNDARY CURB AND CURB (REVERSE CURB HATCHED) |
|  | PROPOSED BUILDING LIMITS OF UNDERGROUND PARKING |
|  | DISTURBED LIMITS |
|  | PROPOSED CONCRETE |
|  | PROPOSED SIGN |
|  | PROPOSED LIGHT POLE |
|  | PROPOSED BOLLARD |
|  | PROPOSED ADA DETECTABLE WARNING FIELD |

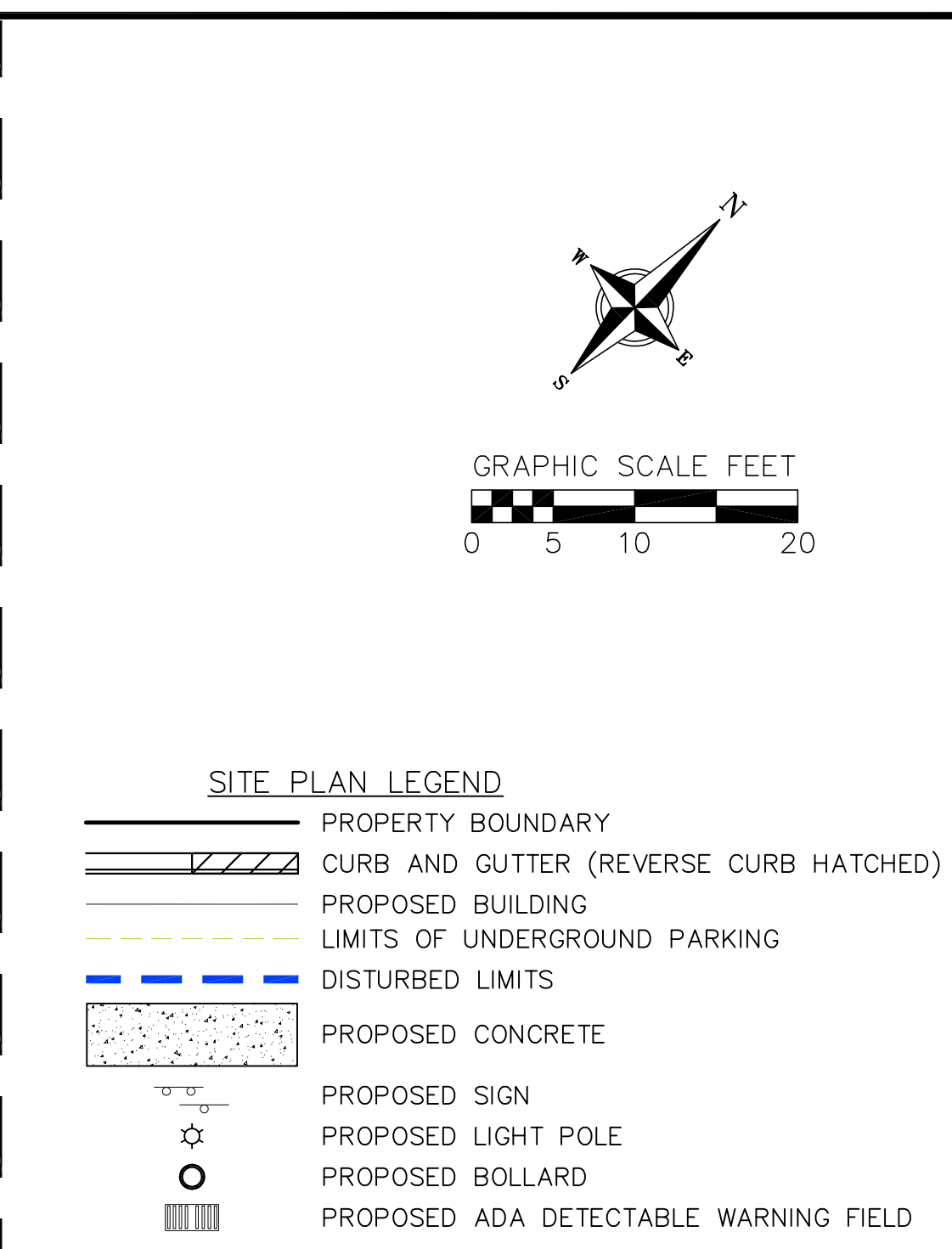
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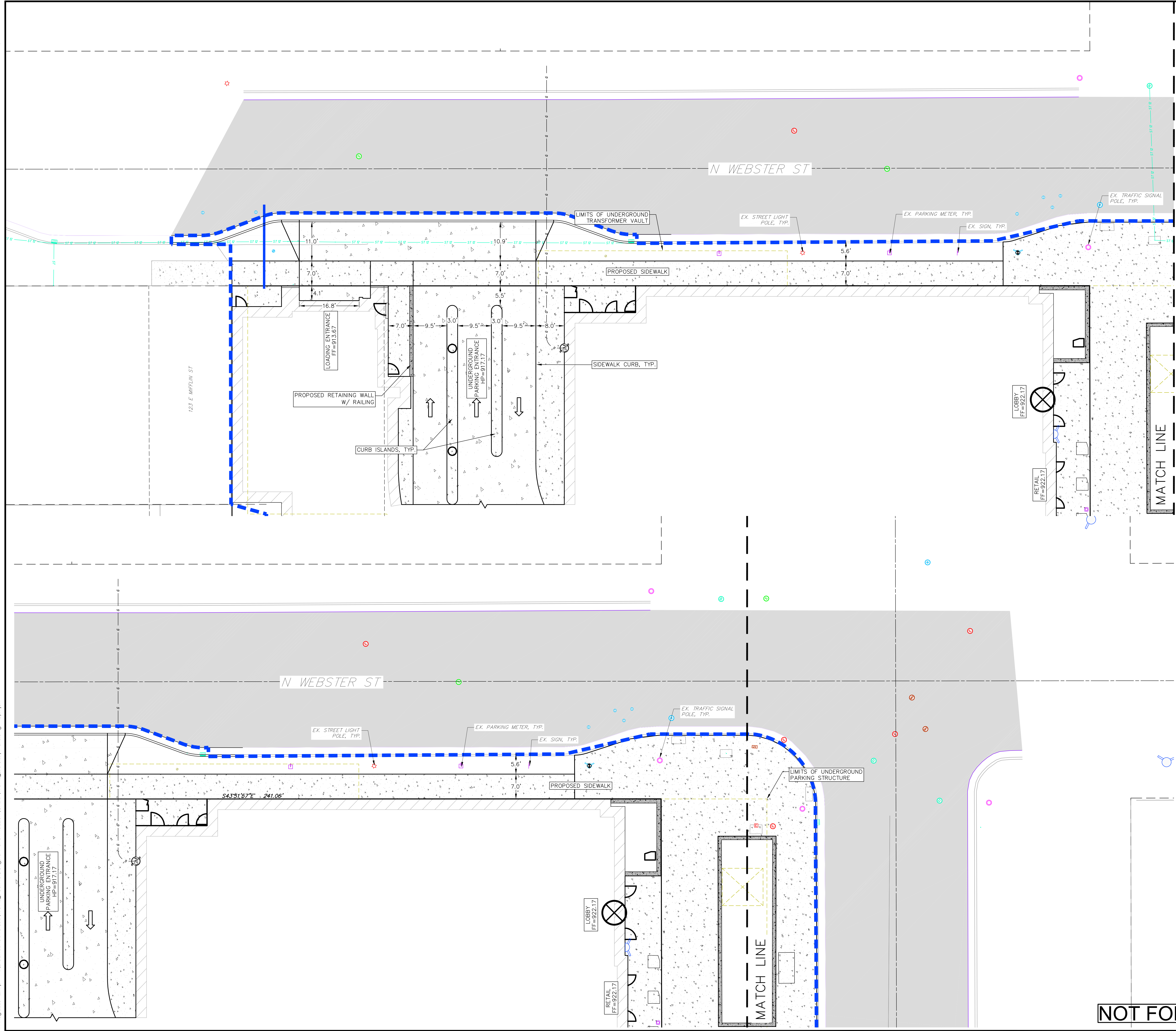
1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CURB FACE HEIGHT ON SITE SHALL BE 6 INCHES.
4. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
6. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

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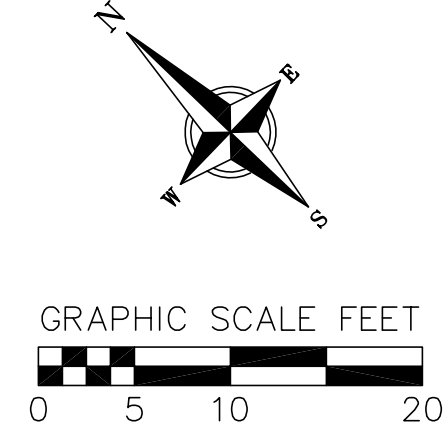






SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED BUILDING
- LIMITS OF UNDERGROUND PARKING
- DISTURBED LIMITS
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD



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planners | engineers | architects
Phone: (608) 261-3898

Site Plan - N Webster St
American Exchange Development
City of Madison
Dane County, WI

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| NO. | DATE | NO. | DATE |
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08/12/2020

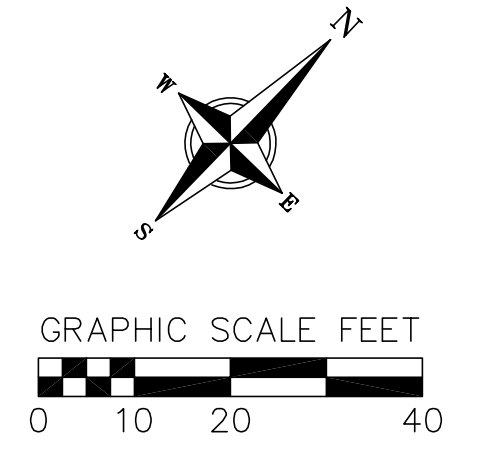
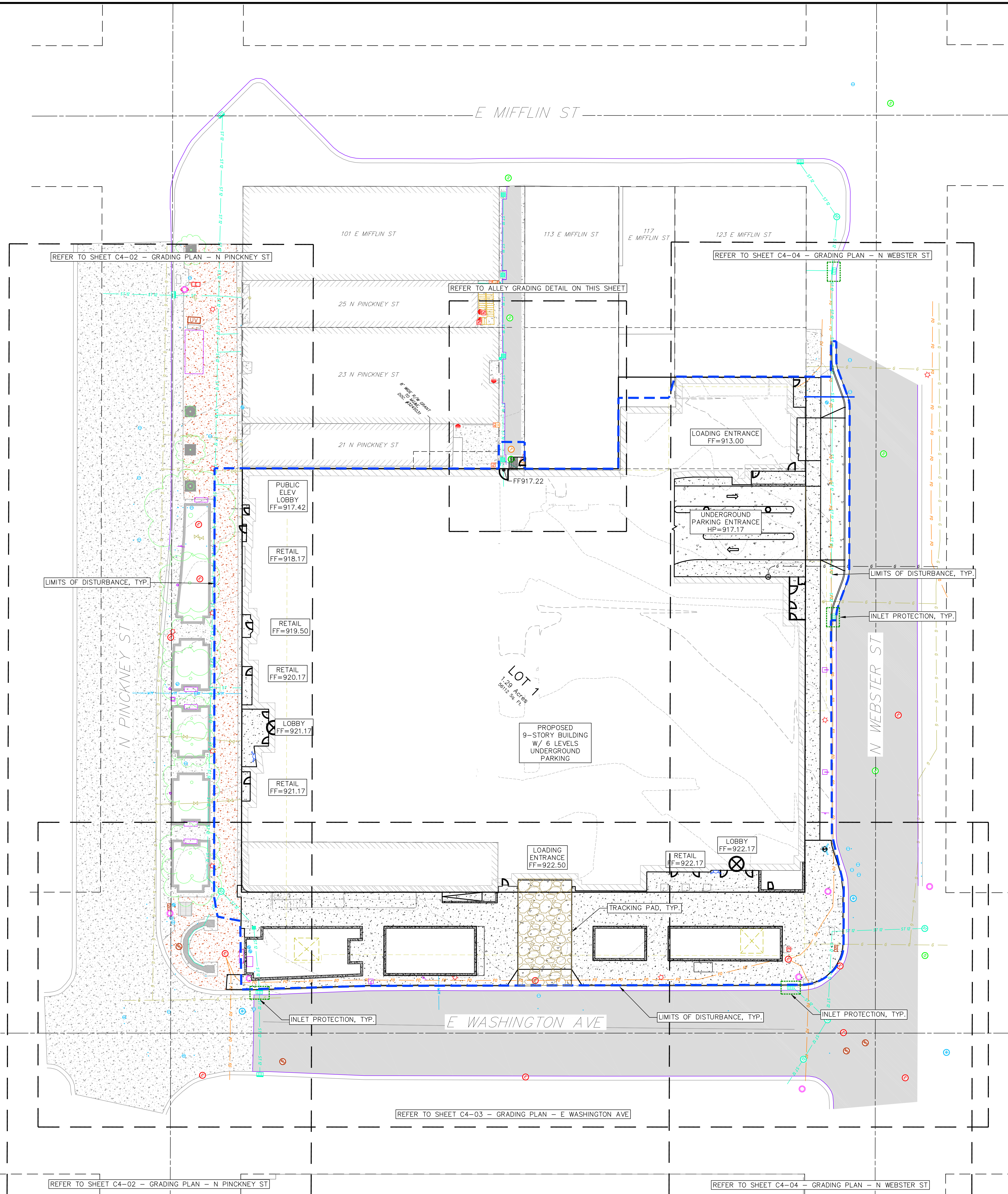
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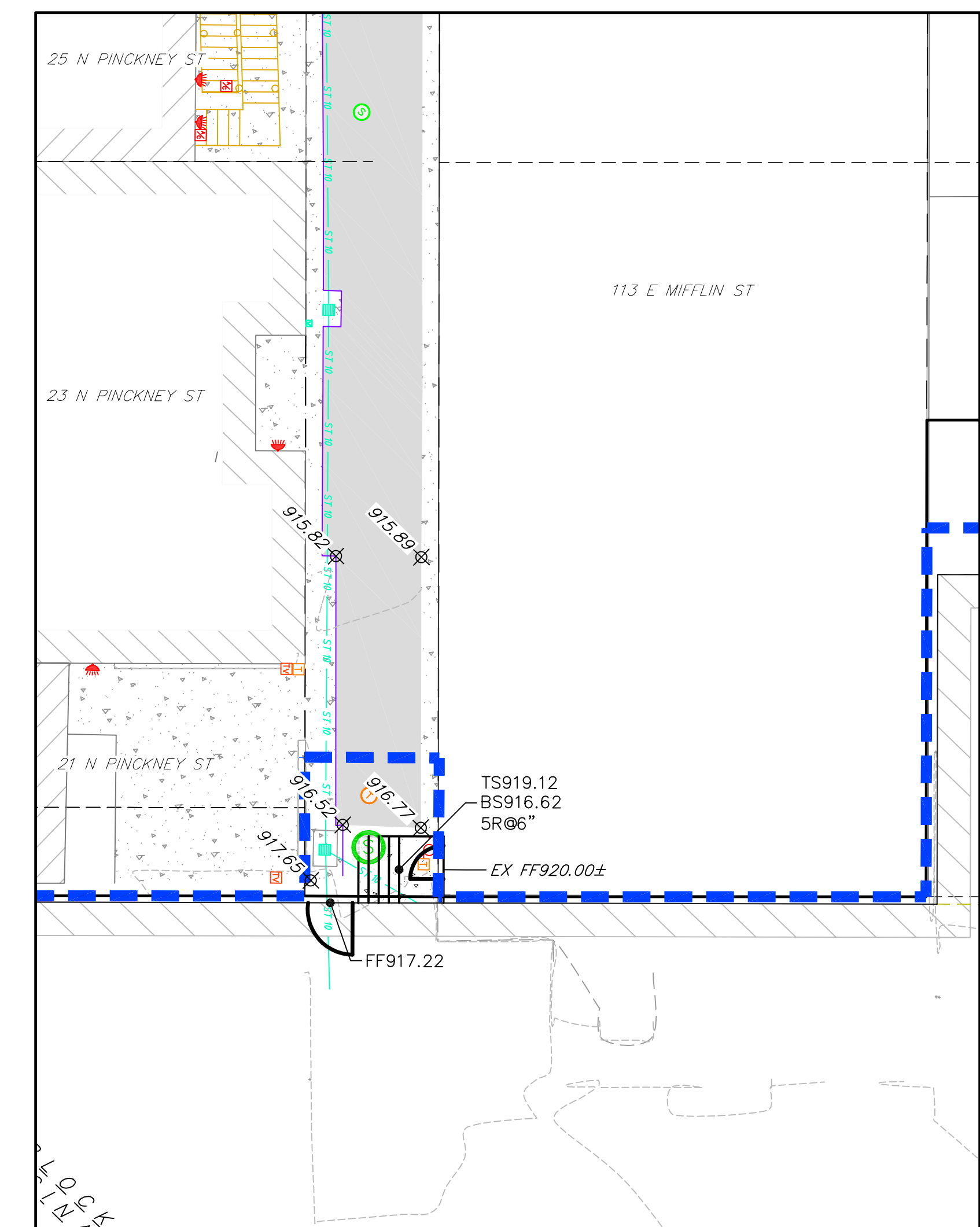
3-04



- ### GRADING LEGEND
-  - 820 -- EXISTING MAJOR CONTOURS
 -  - 818 -- EXISTING MINOR CONTOURS
 -  - 820 -- PROPOSED MAJOR CONTOURS
 -  - 818 -- PROPOSED MINOR CONTOURS
 -  -- SILT FENCE
 -  -- DISTURBED LIMITS
 -  -- DRAINAGE DIRECTION
 -  -- PROPOSED SLOPE ARROWS
 -  1048.61 -- EXISTING SPOT ELEVATIONS
 -  1048.61 -- PROPOSED SPOT ELEVATIONS
 -  -- INLET PROTECTION
 -  -- TRACKING PAD

GRADING NOTES:

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 2.0% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

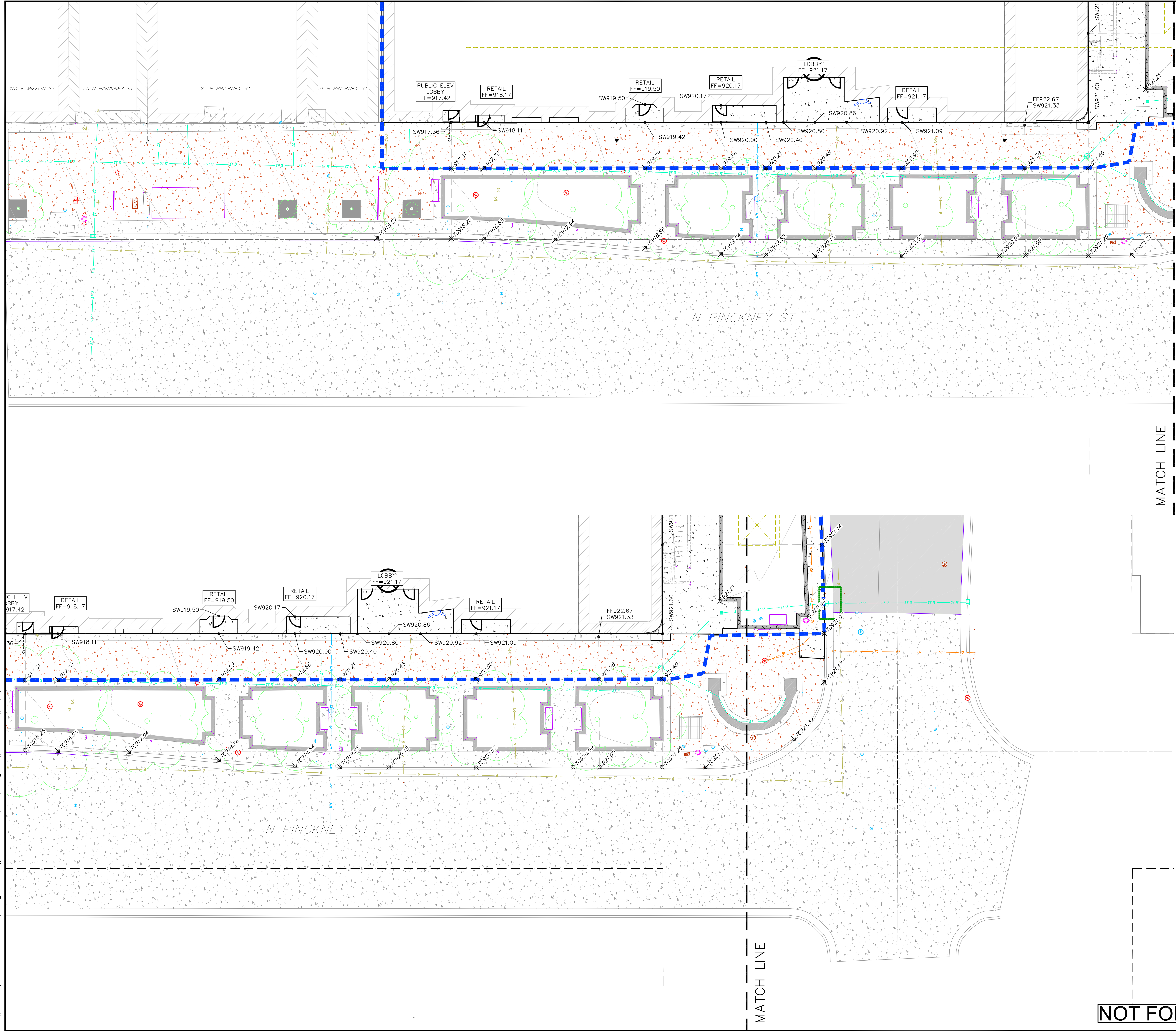


1 ALLEY GRADING DETAIL
C4-01 1" = 10'

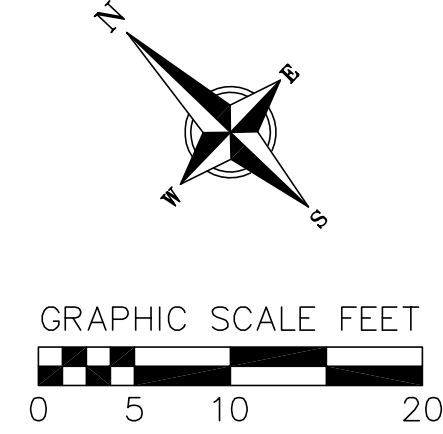
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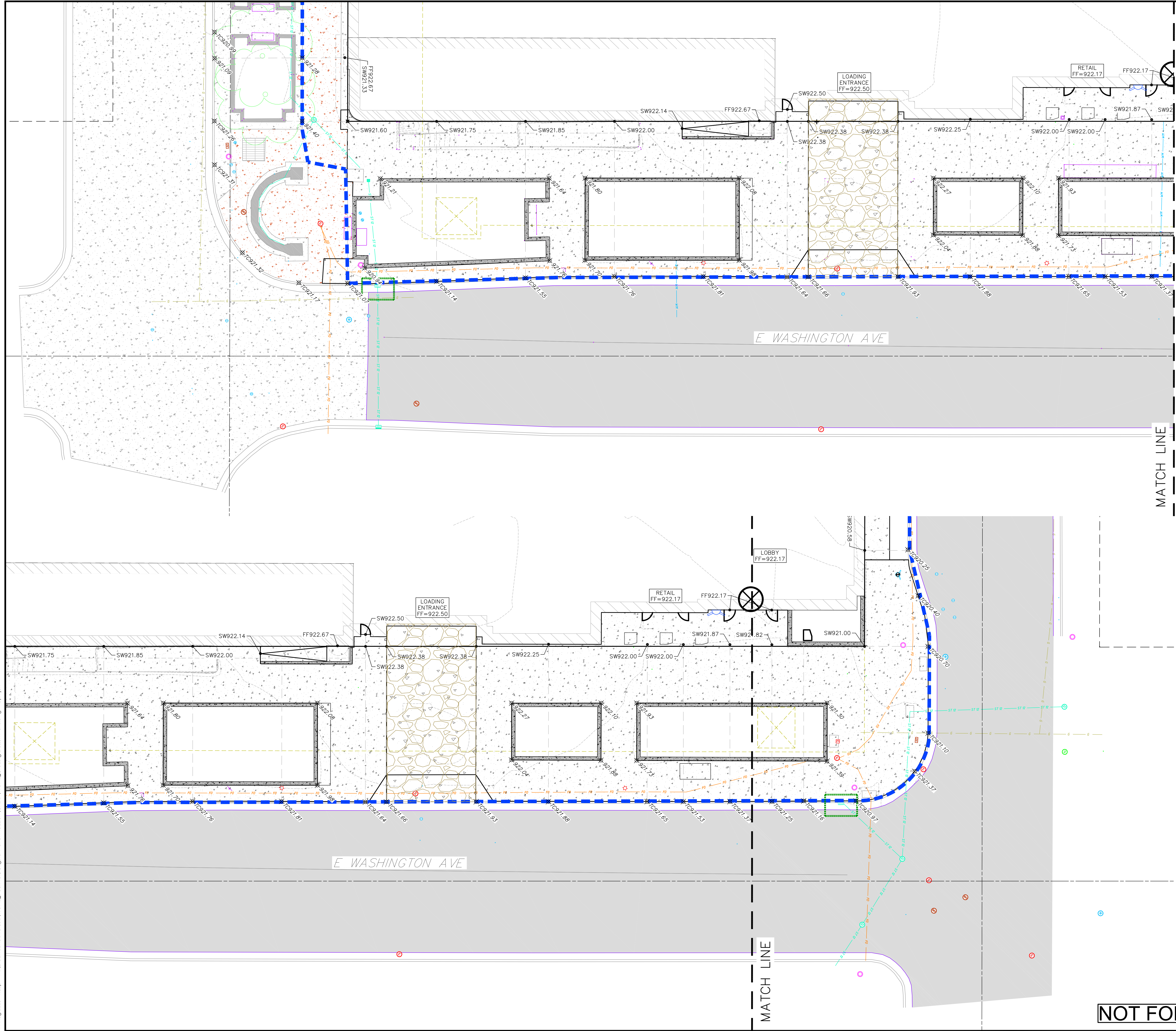
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| DATE | 08/12/2020 | NO. DATE | REMARKS | NO. DATE | REMARKS |
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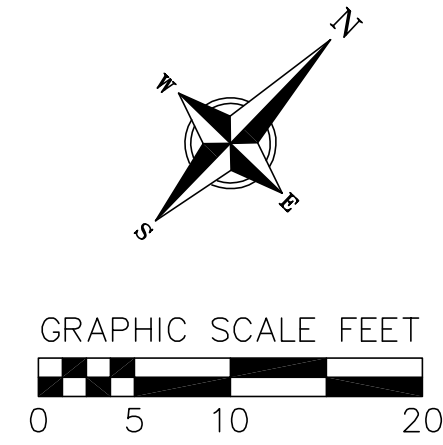


- GRADING LEGEND
- 820 EXISTING MAJOR CONTOURS
 - 818 EXISTING MINOR CONTOURS
 - 820 PROPOSED MAJOR CONTOURS
 - 818 PROPOSED MINOR CONTOURS
 - SILT FENCE
 - DISTURBED LIMITS
 - DRAINAGE DIRECTION
 - 2.92% PROPOSED SLOPE ARROWS
 - 1048.61 EXISTING SPOT ELEVATIONS
 - 1048.61 PROPOSED SPOT ELEVATIONS
 - INLET PROTECTION
 - TRACKING PAD






- GRADING LEGEND**
- 820 EXISTING MAJOR CONTOURS
 - 818 EXISTING MINOR CONTOURS
 - 820 PROPOSED MAJOR CONTOURS
 - 818 PROPOSED MINOR CONTOURS
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 - 1048.61 PROPOSED SPOT ELEVATIONS
 - INLET PROTECTION
 - TRACKING PAD



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vierbicher
planners | engineers | architects

Phone: (608) 241-3898

Grading Plan - E Washington Ave

American Exchange Development

City of Madison

Dane County, WI

| REVISIONS | | REVISIONS | |
|-----------|------|-----------|------|
| NO. | DATE | NO. | DATE |
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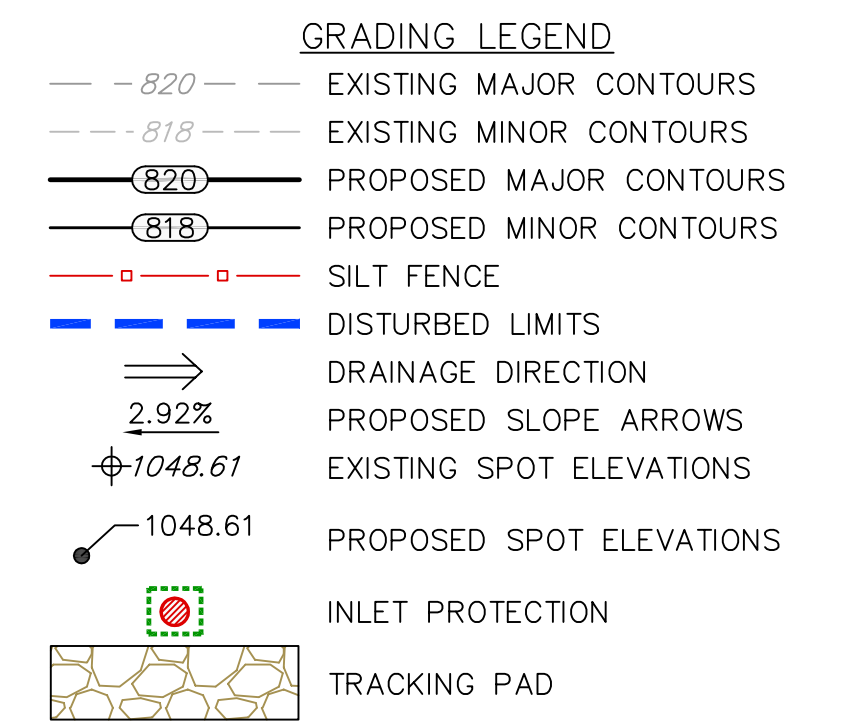
PROJECT NO.

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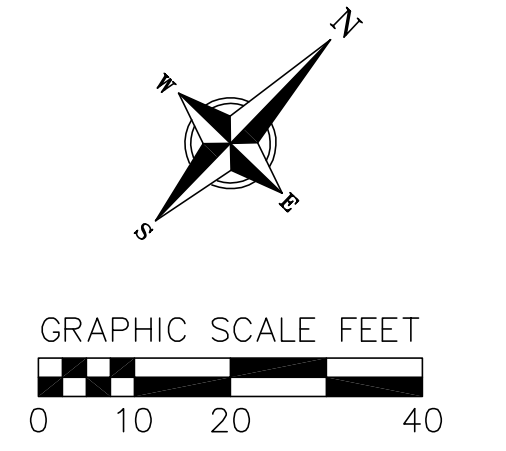
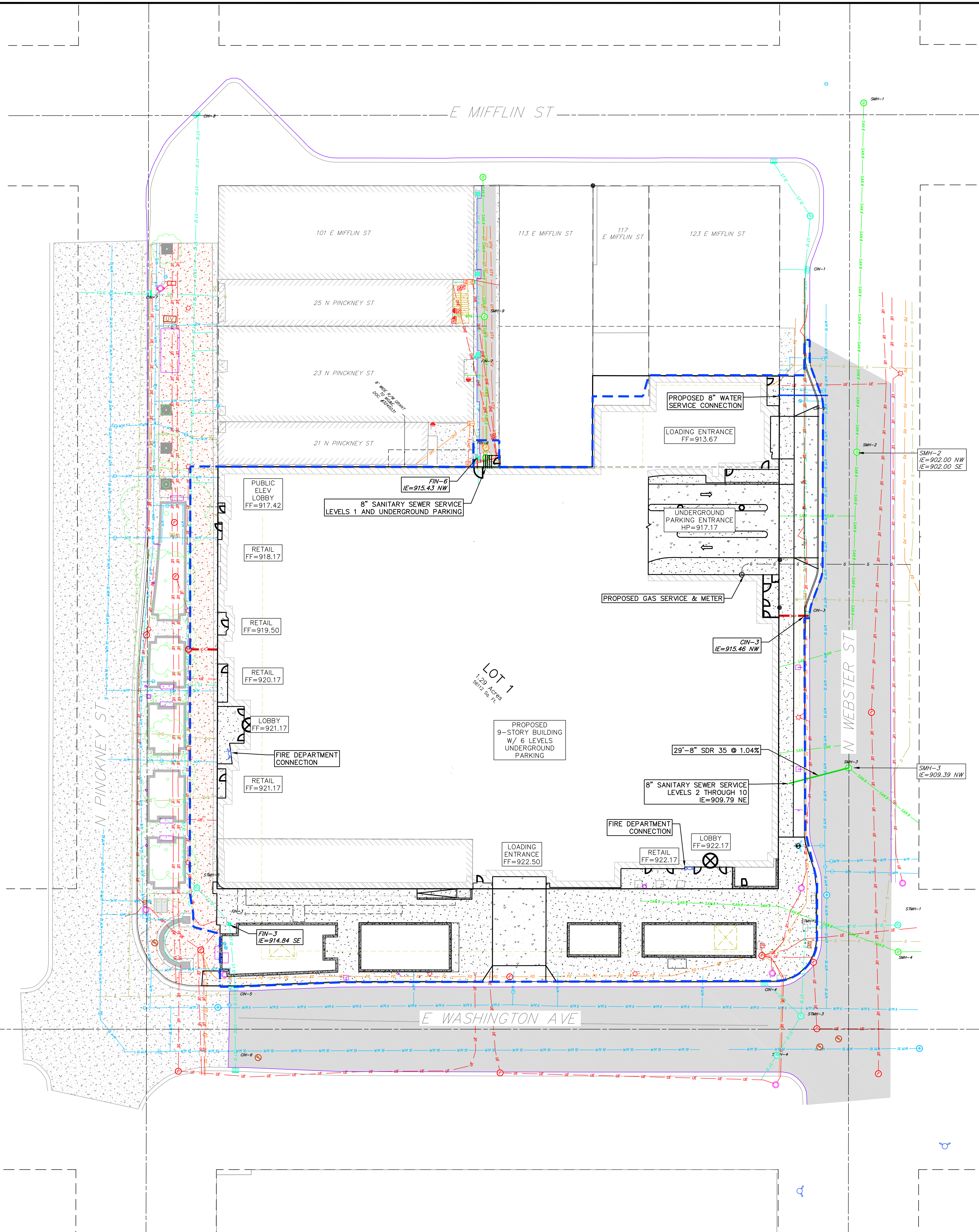
American Exchange Development
City of Madison
County Government, WI

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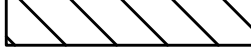

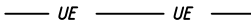
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PROPOSED UTILITY LEGEND

- | | |
|---|----------------------------------|
|  | STORM SEWER PIPE |
|  | STORM SEWER MANHOLE |
|  | STORM SEWER ENDWALL |
|  | STORM SEWER CURB INLET |
|  | STORM SEWER CURB INLET W/MANHOLE |
|  | STORM SEWER FIELD INLET |
|  | ROOF DRAIN CLEANOUT |
|  | SANITARY SEWER PIPE (GRAVITY) |
|  | SANITARY SEWER PIPE (FORCE MAIN) |
|  | SANITARY SEWER LATERAL PIPE |
|  | SANITARY SEWER MANHOLE |
|  | SANITARY SEWER CLEANOUT |
|  | WATER MAIN |
|  | WATER SERVICE LATERAL PIPE |
|  | FIRE HYDRANT |
|  | WATER VALVE |
|  | CURB STOP |
|  | WATER VALVE MANHOLE |
|  | PROPOSED PIPE INSULATION |
|  | GAS MAIN |
|  | ELECTRIC SERVICE |

ABBREVIATIONS

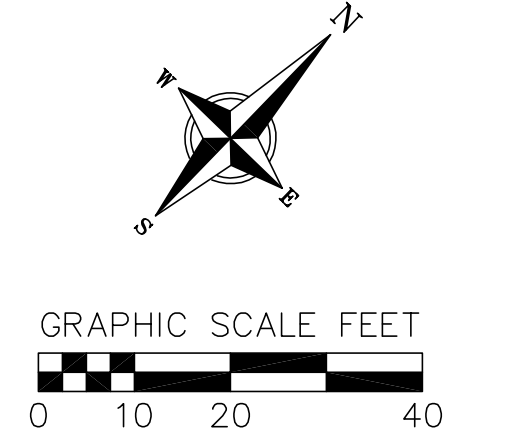
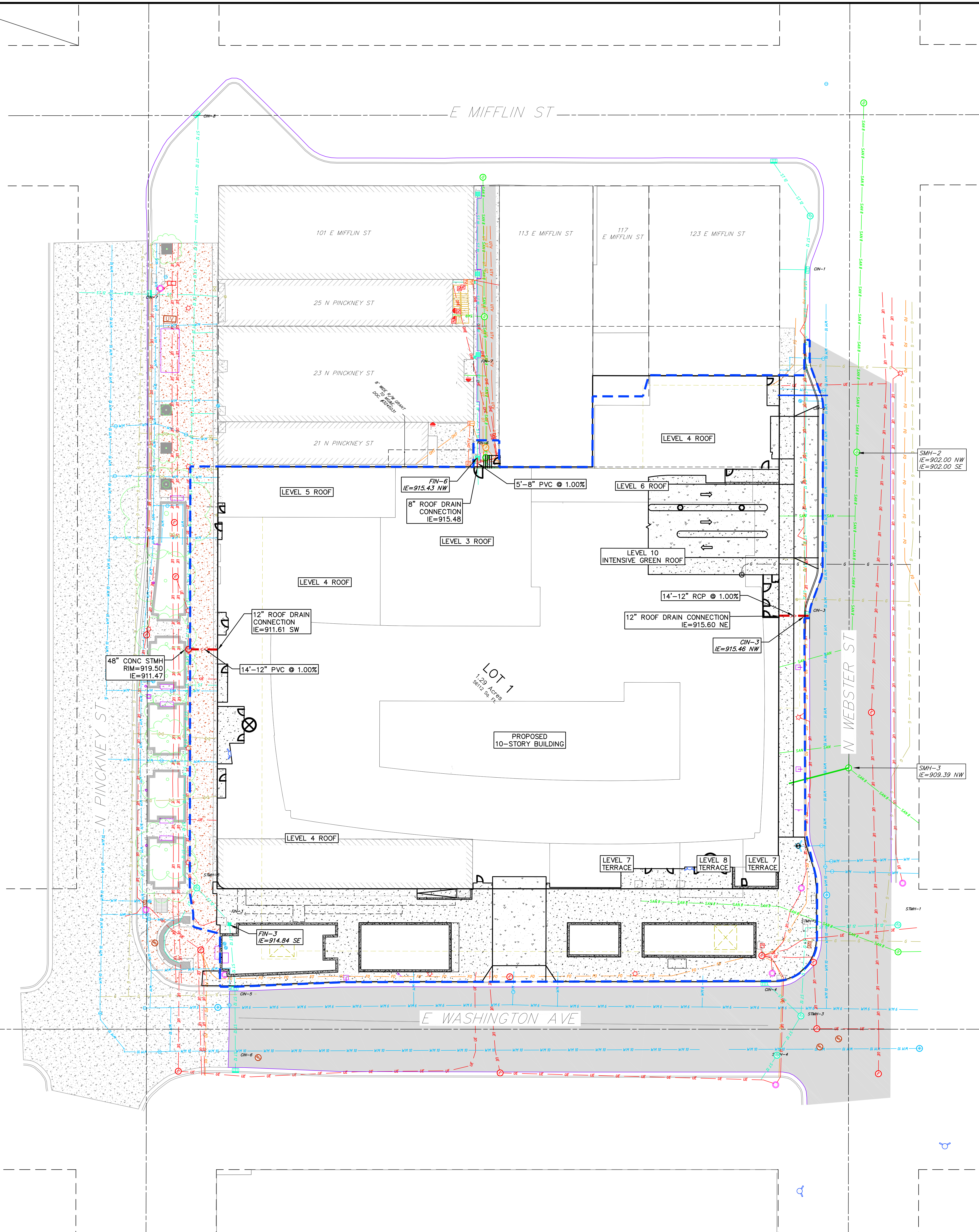
- STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

UTILITY NOTES:



















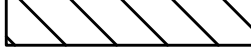

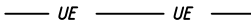
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|-----|--|---|--|
| | | CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION. | |
| 2. | | CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK. | |
| 3. | | SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE. | |
| 4. | | CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS. | |
| 5. | | CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY. | |
| 6. | | FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER. | |
| 7. | | IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES. | |
| 8. | | A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS. | |
| 9. | | PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES. | |
| 10. | | STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c). | |
| 11. | | UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2). | |
| 12. | | PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d). | |
| 13. | | PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c). | |
| 14. | | A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(B)(k). | |
| 15. | | EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.). | |
| 16. | | NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06. | |
| 17. | | SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS. | |
| 18. | | IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION. | |
| 19. | | CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES | |
| 20. | | CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION. | |
| 21. | | SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 21. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 26. | |
| 22. | | CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED. | |
| 23. | | ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE. | |
| 24. | | SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP. | |
| 25. | | INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS. | |

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PROPOSED UTILITY LEGEND

- | | |
|---|----------------------------------|
|  | STORM SEWER PIPE |
|  | STORM SEWER MANHOLE |
|  | STORM SEWER ENDWALL |
|  | STORM SEWER CURB INLET |
|  | STORM SEWER CURB INLET W/MANHOLE |
|  | STORM SEWER FIELD INLET |
|  | ROOF DRAIN CLEANOUT |
|  | SANITARY SEWER PIPE (GRAVITY) |
|  | SANITARY SEWER PIPE (FORCE MAIN) |
|  | SANITARY SEWER LATERAL PIPE |
|  | SANITARY SEWER MANHOLE |
|  | SANITARY SEWER CLEANOUT |
|  | WATER MAIN |
|  | WATER SERVICE LATERAL PIPE |
|  | FIRE HYDRANT |
|  | WATER VALVE |
|  | CURB STOP |
|  | WATER VALVE MANHOLE |
|  | PROPOSED PIPE INSULATION |
|  | GAS MAIN |
|  | ELECTRIC SERVICE |

ABBREVIATIONS

STMH - STORM MANHOLE
FI - FIELD INLET
CI - CURB INLET
CB - CATCH BASIN
EW - ENDWALL
SMH - SANITARY MANHOLE

| REMARKS | | REMARKS | |
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PROJECT NO.
190142

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City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: Block 101, Original Plat of Madison (1 N Pinckney St)

Contact Name & Phone #: Justin Zampardi, 608-821-3970

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

| | | | |
|--|---|--|--|
| 1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered , fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered , fire lanes are within 250-feet of all portions of the exterior wall? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No | <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A |
| 2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.) | <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A |
| 3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch? | <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No | <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A |
| 4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103? | <input type="checkbox"/> Yes <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No <input type="checkbox"/> No | <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A |
| 5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A |
| 6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights? | <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No | <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A |
| 7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? | <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No | <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A |

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

Long Views

VALERIO
DEWALT
TRAIN



E. WASHINGTON & PATERSON



E. WASHINGTON & BLOUNT



VISIBLE PORTION OF
PROPOSED BUILDING

OUTLINE OF PROPOSED
BUILDING BEYOND

E. WASHINGTON & HANCOCK

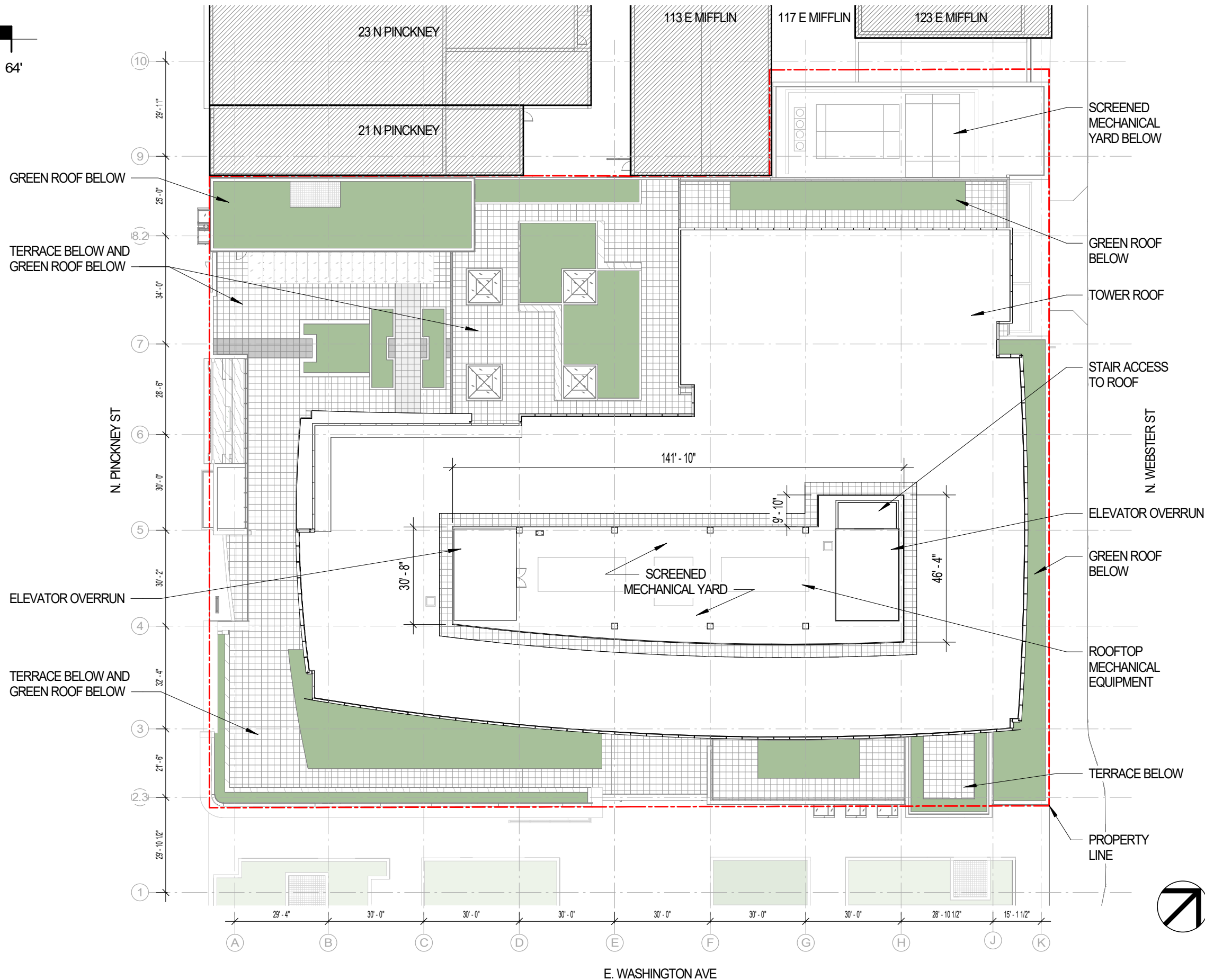


VISIBLE PORTION OF
PROPOSED BUILDING

OUTLINE OF PROPOSED
BUILDING BEYOND

ROOF PLAN

SCALE: 1/32" = 1'-0"



VALERIO DEWALT TRAIN

500 North Dearborn Street
Suite 900
Chicago, Illinois 60654

312.260.7300

Developer



Urban Land Interests

Project Name

AMERICAN
EXCHANGE
DEVELOPMENT

Project Address

A Portion of Block 101
in the City of Madison,
Wisconsin

Project Number

18038.00

Date

08/12/20

Sheet Name

ROOF PLAN

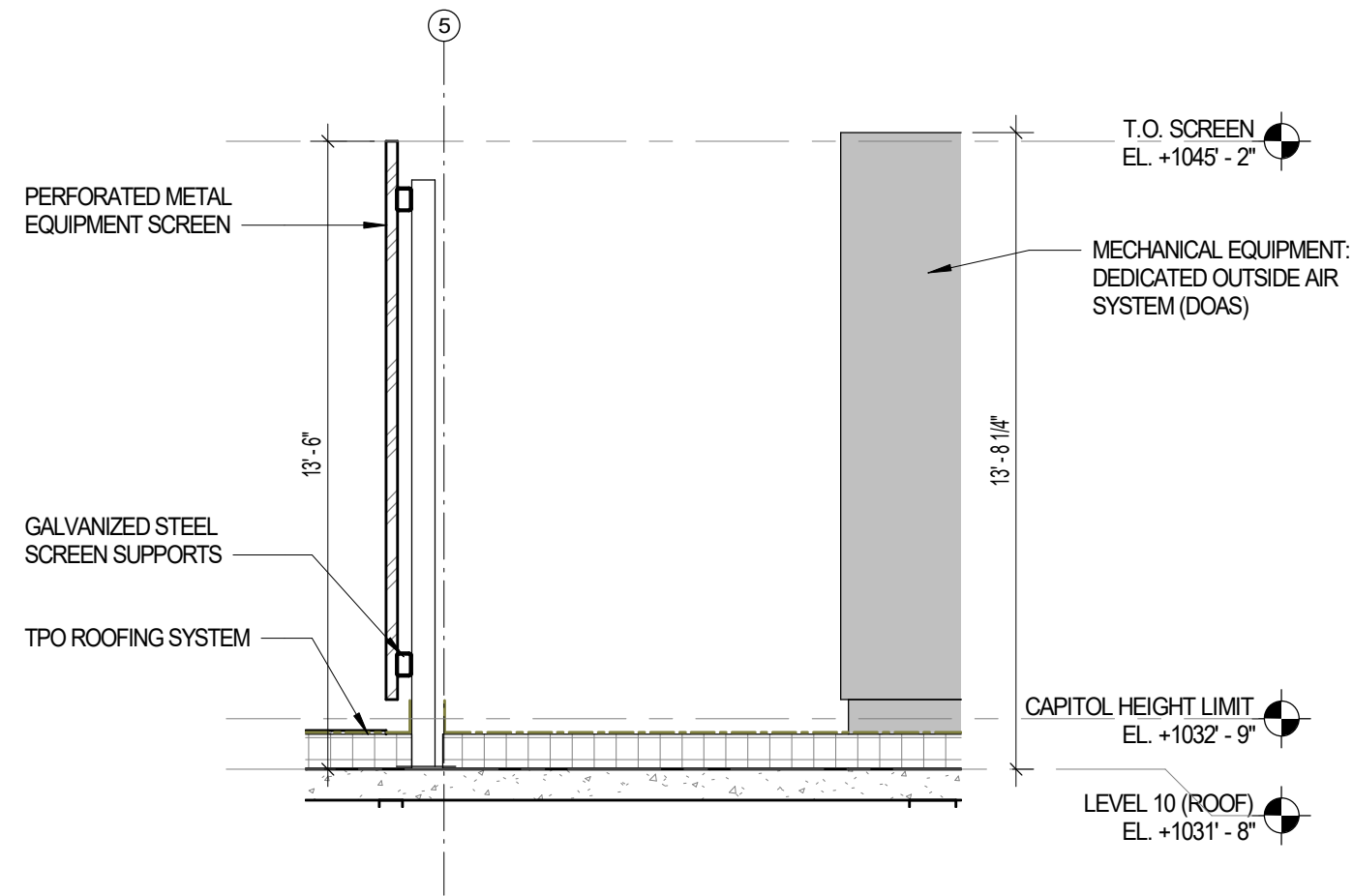
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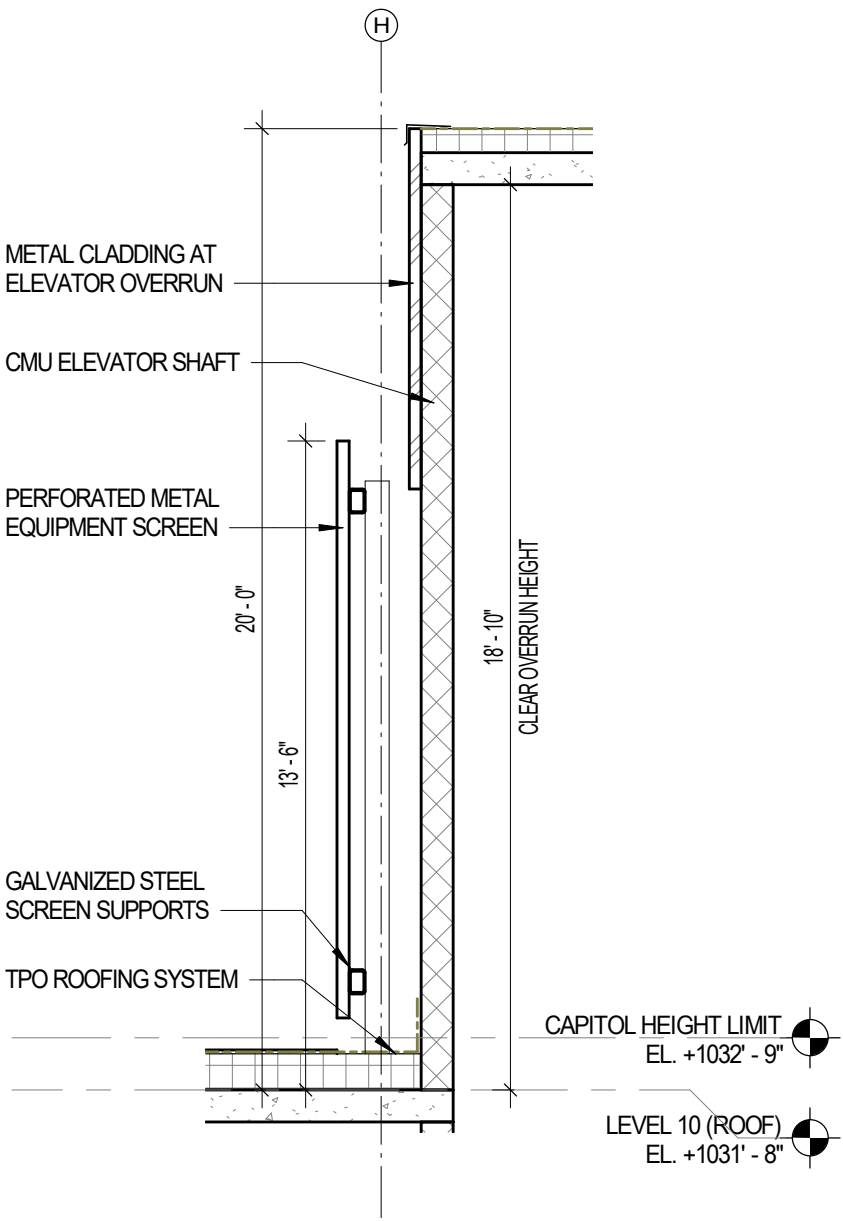


MECHANICAL SCREEN DETAILS

SCALE: 1/4" = 1'-0"



SECTION AT MECHANICAL SCREEN



SECTION AT ELEVATOR OVERRUN

VALERIO
DEWALT
TRAIN

500 North Dearborn Street
Suite 900
Chicago, Illinois 60654

312.260.7300

Developer



Urban Land Interests

Project Name

AMERICAN
EXCHANGE
DEVELOPMENT

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Sheet Name

MECHANICAL SCREEN
DETAILS

Sheet Number

2-16