



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

**Project Address:** 1313 Regent St / Lucky's

**Contact Name & Phone #:** Kevin Burow 608-836-3690

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

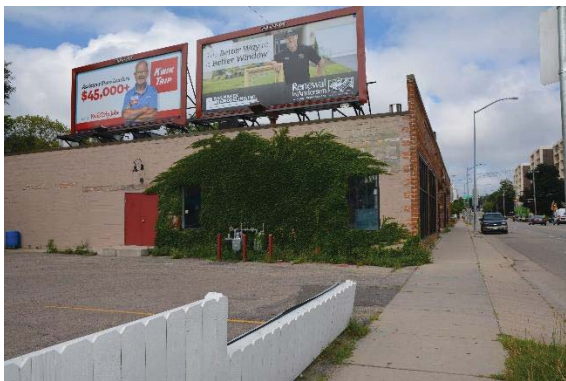
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

**EXISTING PHOTOS**  
**LUCKY'S 1313 BREW PUB EXPANSION**

**1313 Regent Street / Lucky's Brew Pub**



**Bowen Court / Lucky's Brew Pub Parking Lot, Patio & Volleyball Courts**





**Bowen Court / Lucky's Brew Pub Parking Lot, Patio & Volleyball Courts**



**S. Randall Avenue / Lucky's surface parking lot**





# CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 1313 Regent Street  
 Name of Project Lucky's 1313 Expansion  
 Owner / Contact Matt Saltzberry, PLA - D'Onofrio Kottke (Landscape Architect)  
 Contact Phone 608-833-7530 Contact Email msaltzberry@donofrio.cc

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

### Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 18,675 SF  
 Total landscape points required 311

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area \_\_\_\_\_  
 Five (5) acres = 217,800 square feet  
 First five (5) developed acres = 3,630 points  
 Remainder of developed area \_\_\_\_\_  
 Total landscape points required \_\_\_\_\_

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area \_\_\_\_\_  
 Total landscape points required \_\_\_\_\_

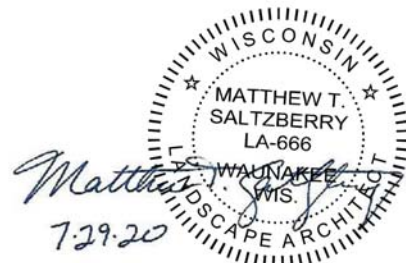
**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

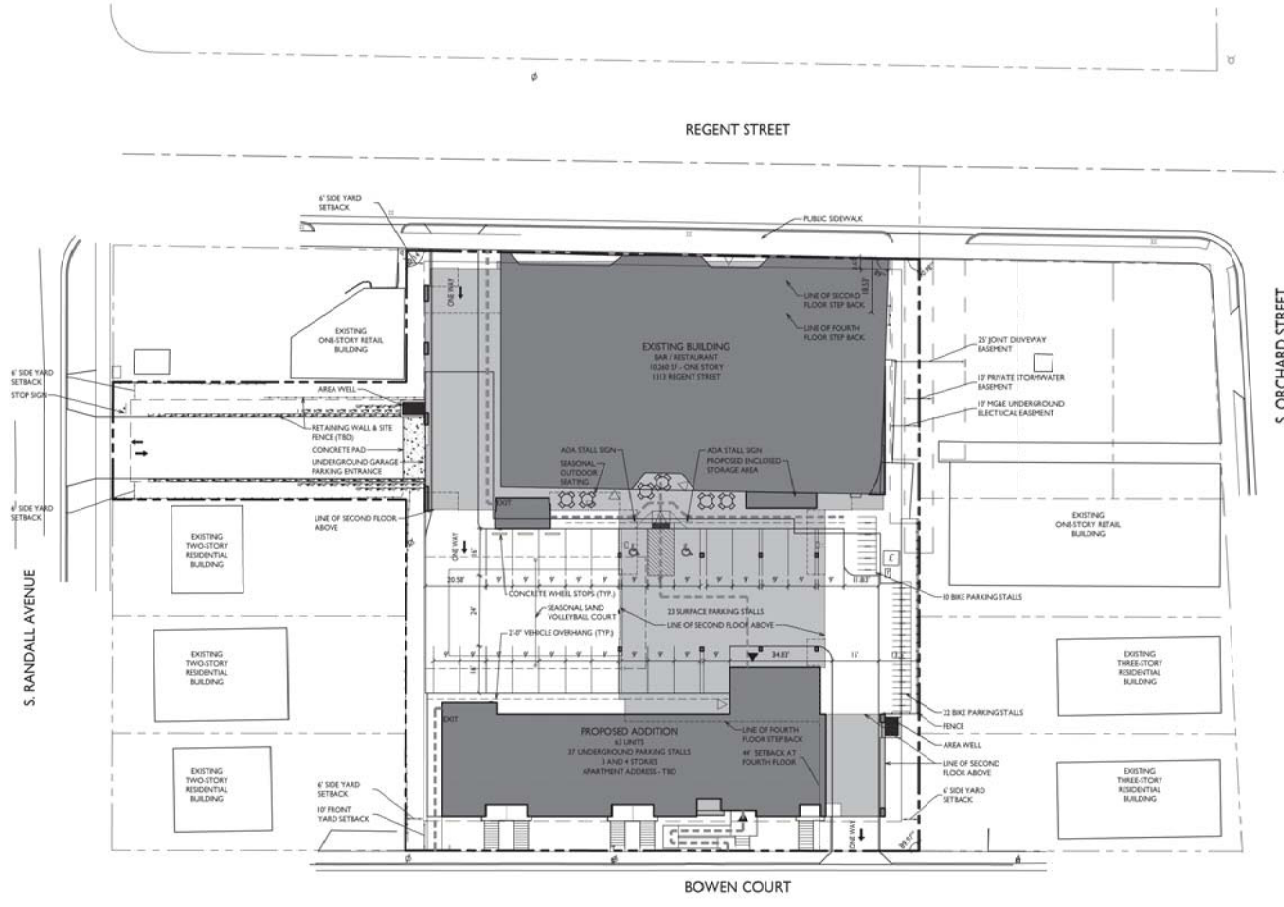
Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35	-	-	4	140
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	-	-	-	-
Ornamental tree	1 1/2 inch caliper	15	-	-	-	-
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10	-	-	-	-
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	-	-	40	120
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	-	-	37	148
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2	-	-	84	168
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.	-	-	-	-
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	-	-	-	-
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"	-	-	-	-
<b>Sub Totals</b>				-		576

**Total Number of Points Provided** 576

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.







**SHEET INDEX**

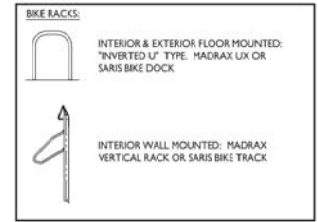
<b>SITE</b>	
C-1.1	SITE PLAN
C-1.2	SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	USABLE OPEN SPACE
C-1.5	LOT COVERAGE
C-2.1	EXISTING CONDITIONS
C-2.2	DEMOLITION PLAN
C-2.3	GRAADING & EROSION CONTROL PLAN
C-2.4	UTILITY PLAN
L-1.0	LANDSCAPE PLAN
<b>ARCHITECTURAL</b>	
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS
A-2.3	RENDERED EXTERIOR ELEVATIONS
A-2.4	RENDERED EXTERIOR ELEVATIONS

- GENERAL NOTES**
1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  2. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  3. ALL DAMAGE TO THE PAVEMENT ON CITY STREETS AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  4. EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF THE TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (264-4814) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  5. APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (264-4814).
  6. THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO TIE-IN SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

**Site Development Data**      UPDATED 7-26-2020

Zoning: TSS - Traditional Shopping Street

<b>Densities:</b>	<b>Conditional Use</b>
Lot Area	37,864 S.F. (873 sqm)
Dwelling Units 202 units	026 S.F./unit
Lot Area / D.U.	30 units/Acre
Density	12,260 S.F.
Commercial Area	
Usable Open Space	6,069 S.F. (16 S.F./unit)
Lot Coverage	33.5 / 19 S.F. (80%)
<b>Building Height</b>	3 and 4 stories
<b>Dwelling Unit Mix:</b>	<b>Proposed Addition</b>
Efficiency	10
One Bedroom	17
One Bedroom + Den	3
Two Bedroom	8
Two Bedroom Townhouse	5
<b>Total Dwelling Units</b>	<b>43</b>
<b>Vehicle Parking Spots:</b>	
Underground Garage	37
Surface	23
<b>Total</b>	<b>60</b>
<b>Parking Ratio:</b> 0.95 stalls/unit	
<b>Bicycle Parking:</b>	
Garage - wall mount	6
Garage - floor mount	17
Surface-Guest	7
Surface-Commercial	25
<b>Total</b>	<b>55</b>



ISSUED  
 Issued for Land Use Submittal - July 28, 2020

PROJECT TITLE  
**Lucky's 1313**  
 Expansion

1313 Regent Street  
 Madison, Wisconsin  
 SHEET TITLE  
**Site Plan**

SHEET NUMBER

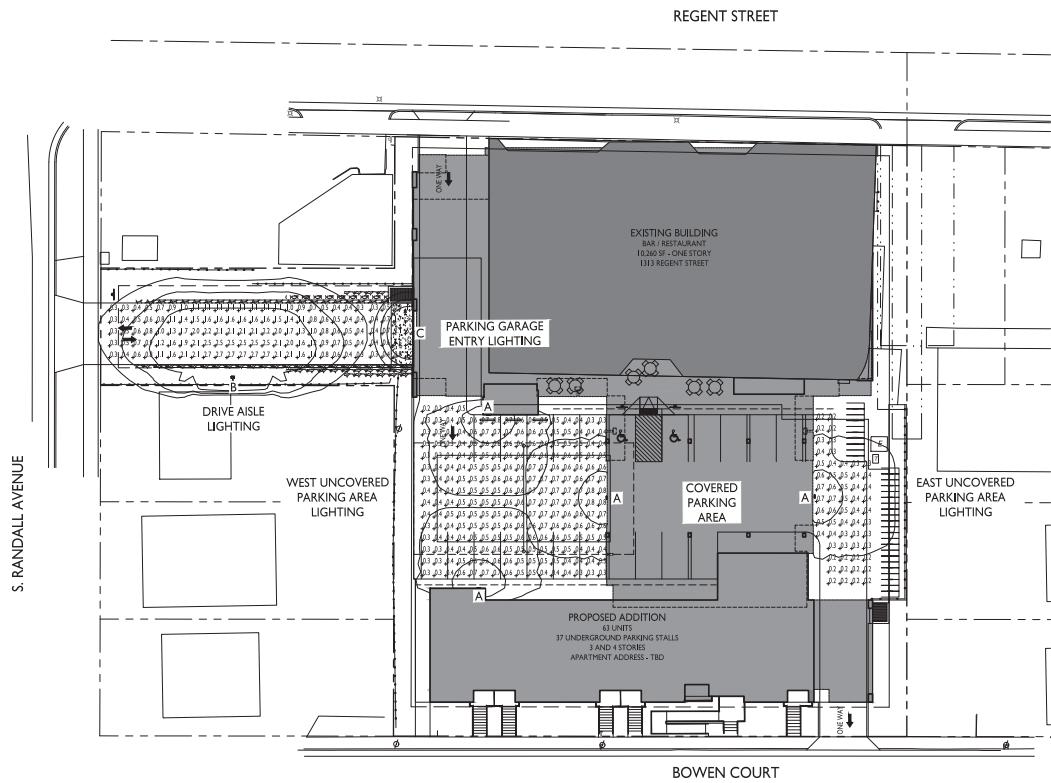
**C-1.1**  
 PROJECT NO. 1916  
 © Knothe & Bruce Architects, LLC

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
East Parking Area Lighting	+	0.4 fc	0.7 fc	0.2 fc	3.5:1	2.0:1
West Parking Area Lighting	+	0.5 fc	0.8 fc	0.2 fc	4.0:1	2.5:1
Drive Aisle Lighting	+	1.2 fc	2.7 fc	0.3 fc	9.0:1	4.0:1
Parking Garage Entry Lighting	+	1.3 fc	5.2 fc	0.3 fc	17.3:1	4.3:1

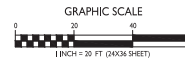
LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION	FILE	MOUNTING
	A	4	LITHONIA LIGHTING	DSXW1 LED 10C 350 30K T4M MVOLT HS	DSXW1 LED WITH (1) 10 LED LIGHT ENGINE, TYPE 4M OPTIC, 3000K, AT 350mA WITH HOUSE-SIDE SHIELD	DSXW1_LED_10C_350_30K_T4M_MVOLT_HS.ies	MOUNTED ON BUILDING 16'-0" ABOVE GRADE
	B	1	LITHONIA LIGHTING	DSX0 LED P1 30K BLC MVOLT	DSX0 LED P1 30K BLC MVOLT	DSX0_LED_P1_30K_BLC_MVOLT.ies	16'-0" POLE ON FLUSH CONC. BASE
	C	1	LITHONIA LIGHTING	L1L LED 30K MVOLT	L1L WALLPACK (STANDARD)	L1L_LED_30K_MVOLT_HS.ies	MOUNTED ON BUILDING 8'-0" ABOVE GRADE

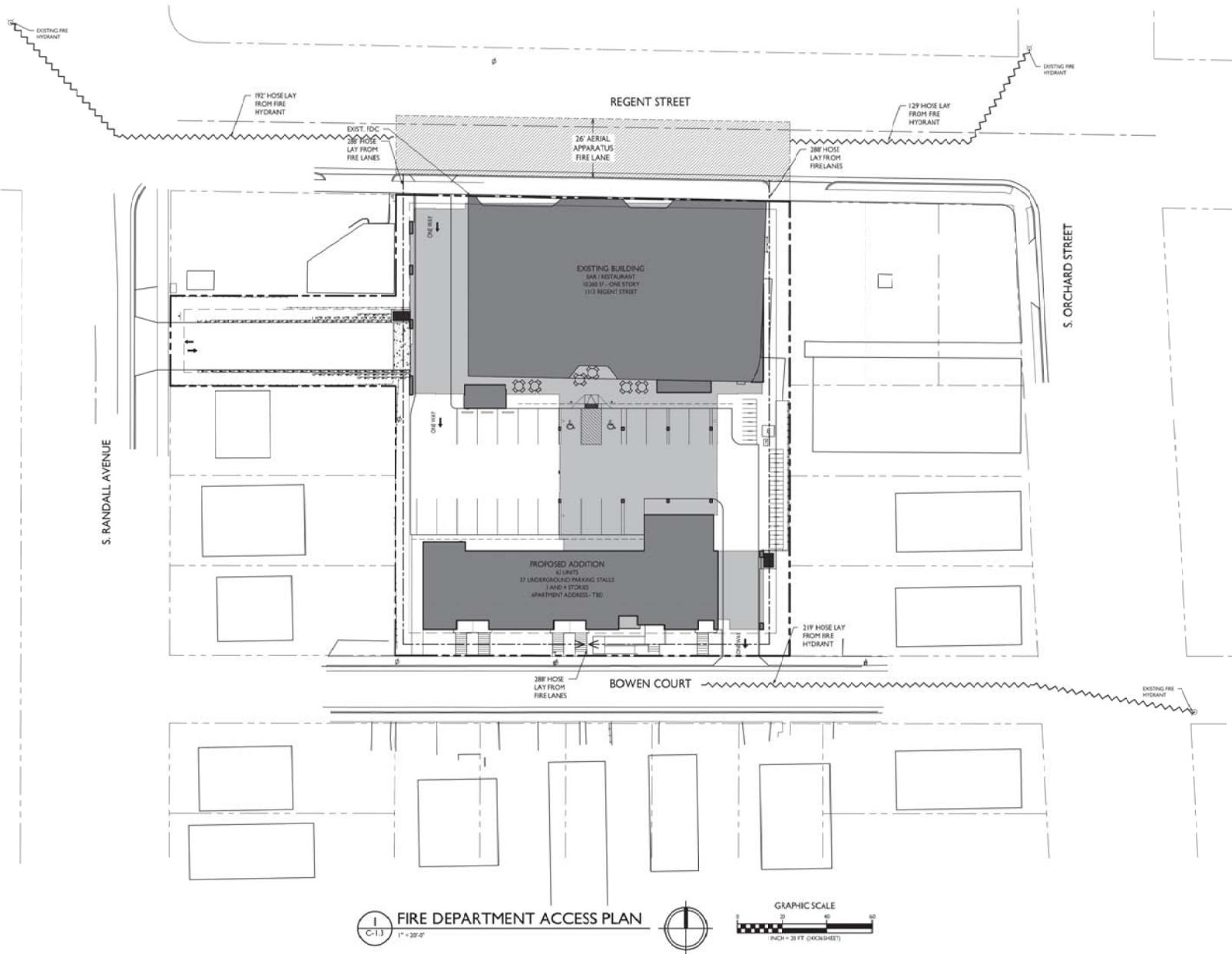
  

EXAMPLE LIGHT FIXTURE DISTRIBUTION	
	LIGHT FIXTURE
	ISOLUX CONTOUR = 0.25 FC
	ISOLUX CONTOUR = 0.5 FC
	ISOLUX CONTOUR = 1.0 FC

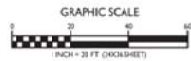


**1 SITE LIGHTING PLAN**  
 C-I.2 1" = 20'-0"





**1** FIRE DEPARTMENT ACCESS PLAN  
C-1.3 1" = 20'-0"



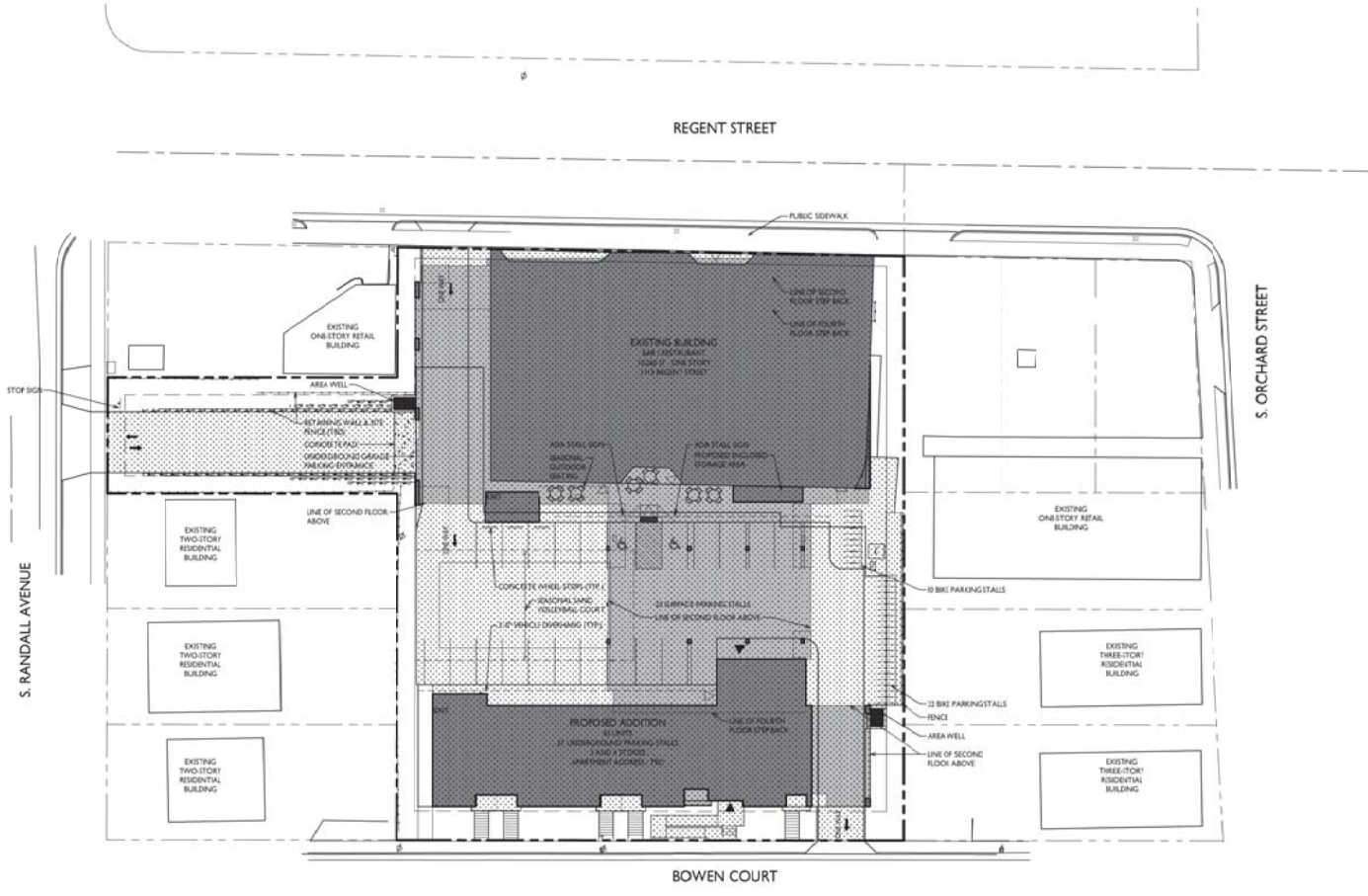
ISSUED  
Issued for Land Use Submittal - July 28, 2010

PROJECT TITLE  
**Lucky's 1313  
Expansion**

1313 Regent Street  
Madison, Wisconsin  
SHEET TITLE  
**Fire Department  
Access Plan**

SHEET NUMBER



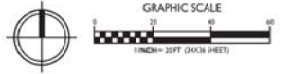


ISSUED  
 Issued for Land Use Submittal - July 28, 2020

PROJECT TITLE  
**Lucky's 1313**  
 Expansion

1313 Regent Street  
 Madison, Wisconsin  
 SHEET TITLE  
**Lot Coverage**

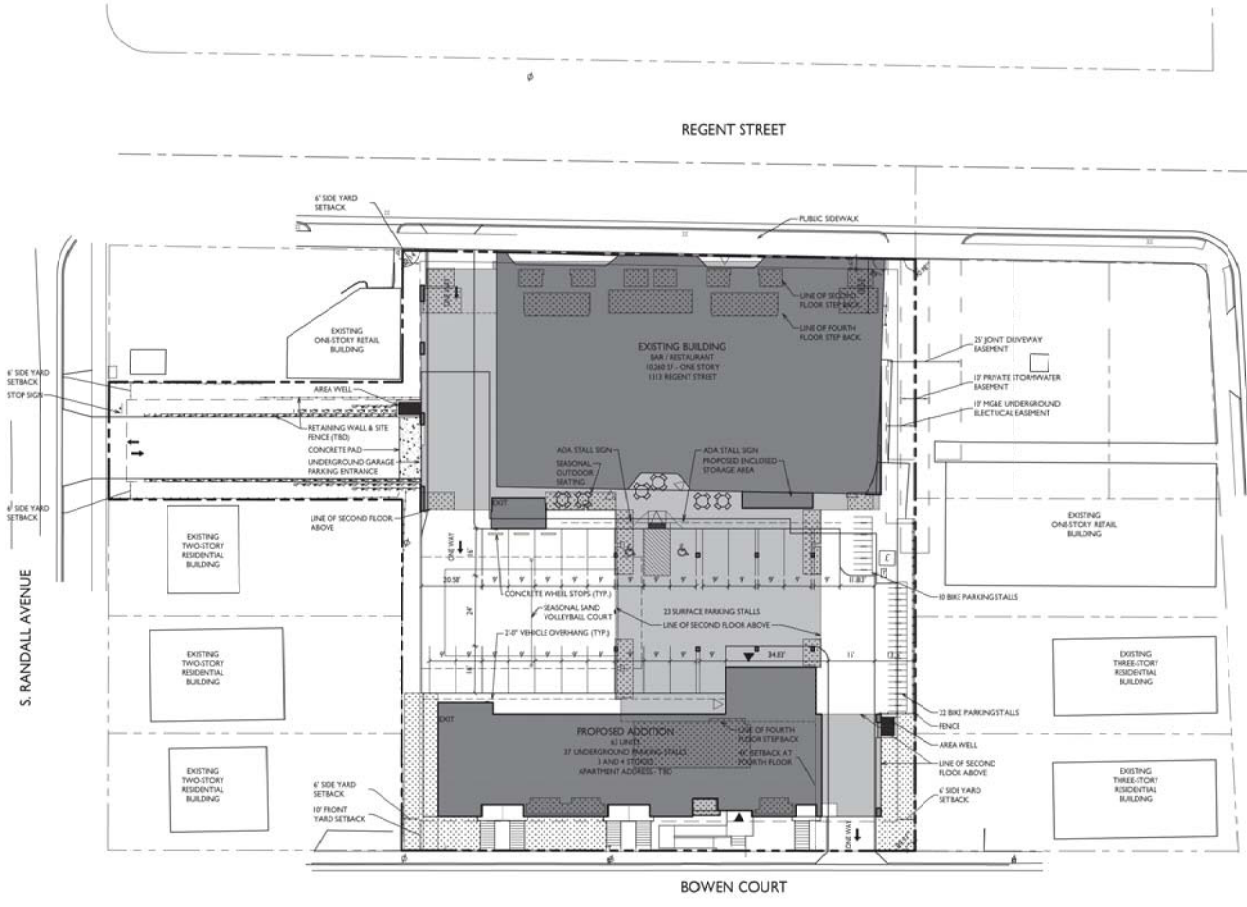
**LOT COVERAGE**  
 C-1.4  
 1" = 40'-0"



LOT COVERAGE	
ZONING:	TSS
MAXIMUM LOT COVERAGE:	85%
LOT AREA:	39,464 S.F.
PROPOSED COVERAGE:	33,519 S.F. / 85%

SHEET NUMBER

**C-1.4**  
 PROJECT NO. 1916  
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USABLE OPEN SPACE	
ZONING:	TSS
REQUIRED OPEN SPACE:	40 S.F. / D.U.
DWELLING UNITS:	63
40 X 63 =	2520 S.F. OPEN SPACE REQUIRED
OPEN SPACE PROVIDED:	
ROOF DECK:	636 S.F.
PRIVATE BALCONIES:	3,817 S.F.
SURFACE:	1,616 S.F.
TOTAL:	6,069 S.F.

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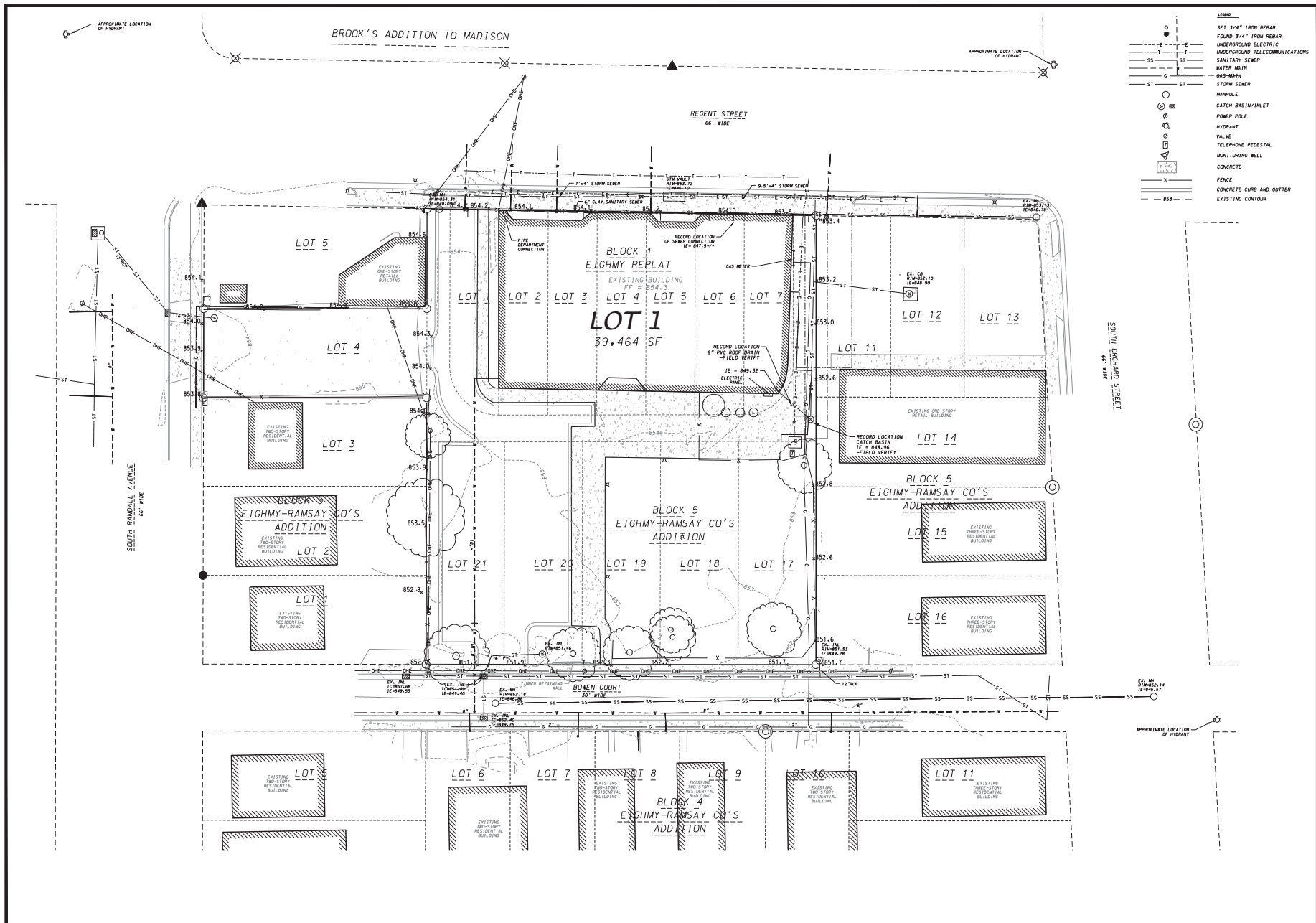
PROJECT TITLE  
**Lucky's 1313**  
 Expansion

1313 Regent Street  
 Madison, Wisconsin  
 SHEET TITLE  
**Usable Open**  
 Space

SHEET NUMBER

**C-1.5**  
 PROJECT NO. 1916  
 © Knothe & Bruce Architects, LLC





- LEGEND**
- SET 3/4" IRON REBAR
  - FOUND 3/4" IRON REBAR
  - E—E UNDERGROUND ELECTRIC
  - T—T UNDERGROUND TELECOMMUNICATIONS
  - SS SS SANITARY SEWER
  - W W WATER MAIN
  - BM BM 8-IN. BOLLARD
  - ST ST STORM SEWER
  - MANHOLE
  - CATCH BASIN/INLET
  - POWER POLE
  - HYDRANT
  - VALVE
  - TELEPHONE PEDESTAL
  - MONITORING WELL
  - CONCRETE
  - X— FENCE
  - CONCRETE CURB AND GUTTER
  - 853 — EXISTING CONTOUR

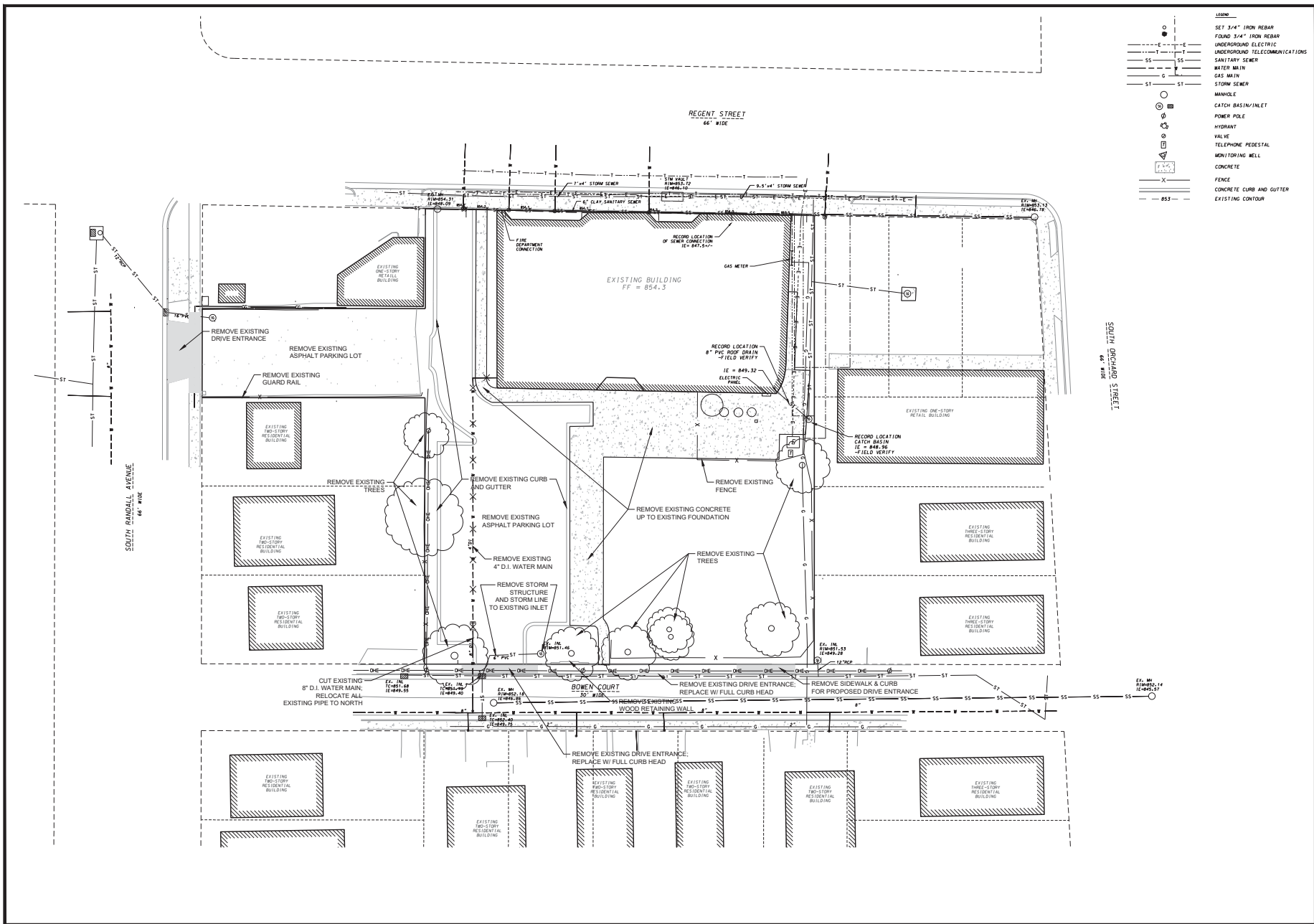
**PROFESSIONAL LAND SURVEYOR, INC.**  
 7250 Wisconsin Way, Madison, WI 53717  
 Phone: 608.261.7250 • Fax: 608.261.7259  
 VERIFICATION: WISCONSIN STATE BOARD OF SURVEYING

EXISTING CONDITIONS  
**LUCKY'S 1313 EXPANSION**  
 CITY OF MADISON, DANE COUNTY, WISCONSIN



SCALE: 1" = 20'  
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 FN: 20-05-130  
 Sheet Number:  
**C-2.1**




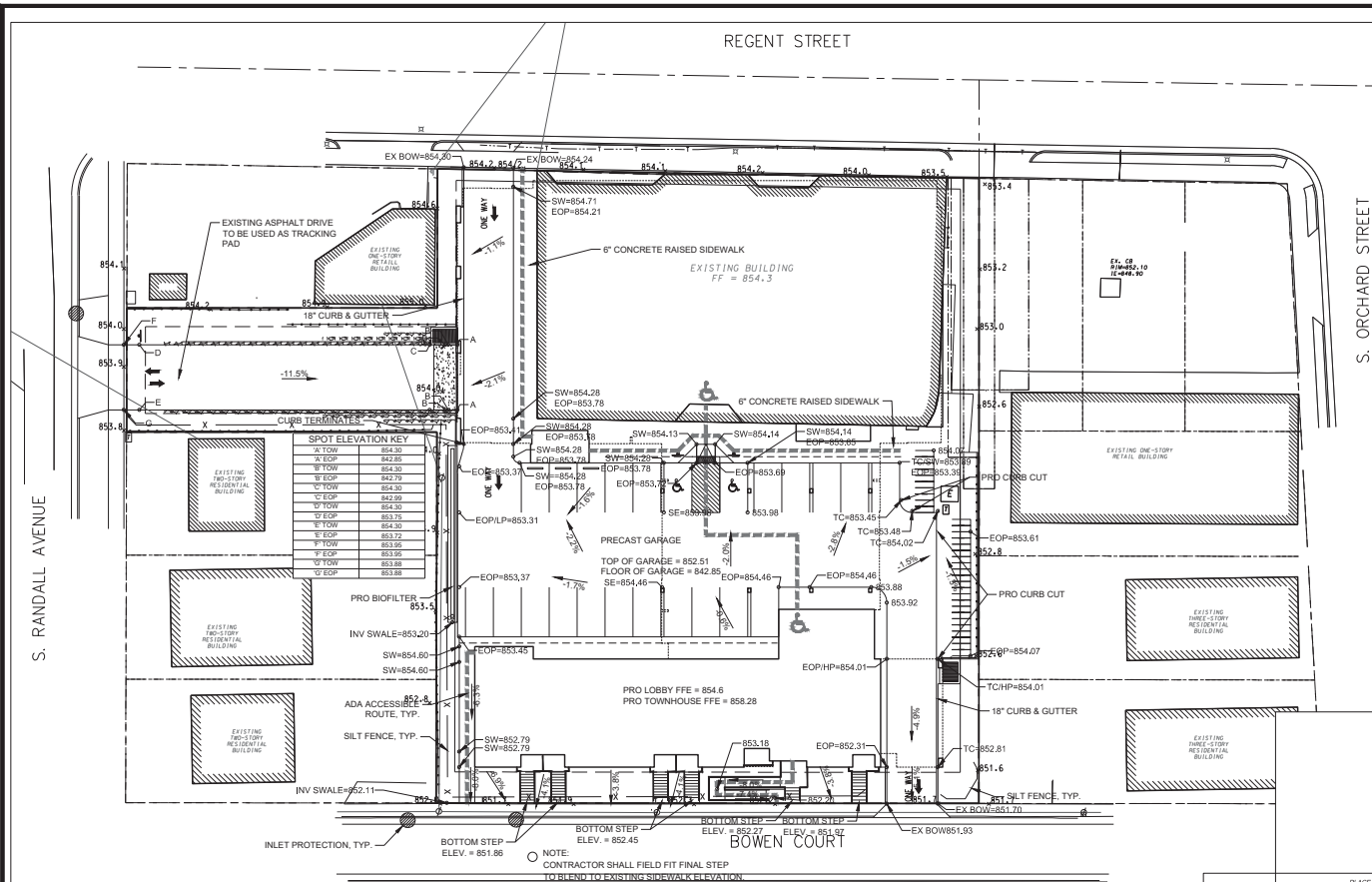


- LEGEND**
- SET 3/4" IRON REBAR
  - FOUND 3/4" IRON REBAR
  - E— UNDERGROUND ELECTRIC
  - T— UNDERGROUND TELECOMMUNICATIONS
  - SS— SANITARY SEWER
  - W— WATER MAIN
  - G— GAS MAIN
  - ST— STORM SEWER
  - MANHOLE
  - CATCH BASIN/INLET
  - POWER POLE
  - HYDRANT
  - VALVE
  - TELEPHONE PEDESTAL
  - MONITORING WELL
  - CONCRETE
  - X— FENCE
  - CONCRETE CURB AND GUTTER
  - 853 — EXISTING CONTOUR

**PROPOSED SITE PLAN AND ADDRESSING, INC.**  
 7250 Wisconsin Way, Madison, WI 53717  
 Phone: 608.271.7250 • Fax: 608.271.7259  
 WWW.PROPOSEDSITEPLAN.COM

**DEMOLITION PLAN**  
**Lucky's 1313 EXPANSION**  
 CITY OF MADISON, DANE COUNTY, WISCONSIN

  
**SCALE: 1" = 20'**  
 (PAGE SIZE: 22x34)  
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 REVISED:  
 DRAWN BY: KJP  
 FN: 20-05-130  
 Sheet Number:  
**C-2.2**



**LEGEND**

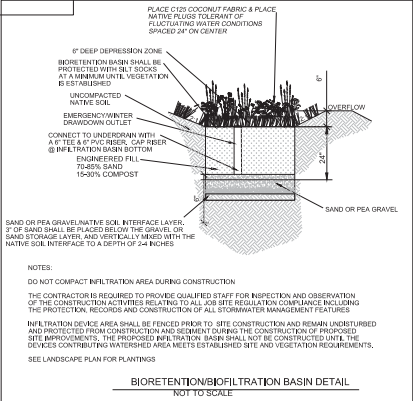
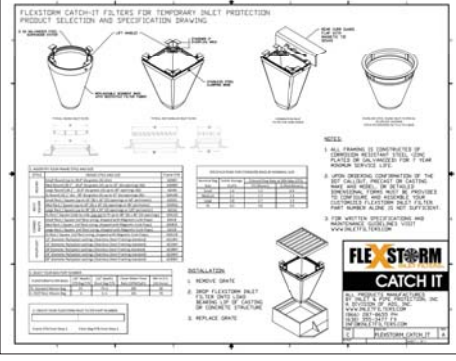
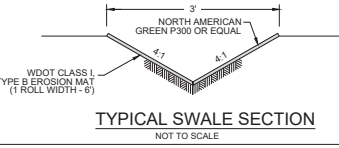
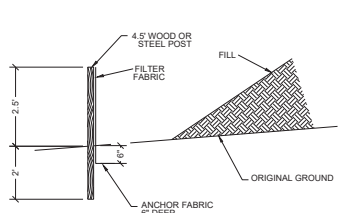
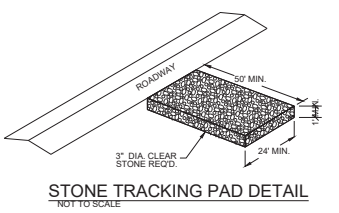
- LIMITS OF DISTURBANCE
- - - - RIGHT-OF-WAY
- LOT LINE
- x-x-x- EXISTING FENCE
- PROPOSED CONCRETE CURB & GUTTER
- EXISTING PAVEMENT
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED STORM SEWER
- SILT FENCE

- 1.) EROSION CONTROL AND SITE GRADING SCHEDULE:
- EROSION CONTROL = MAY 1, 2021  
 SITE GRADING = MAY 2 - JUNE 1, 2021  
 BUILDING CONSTRUCTION = MAY 15, 2021 - MAY 1, 2022  
 UTILITY CONSTRUCTION = JUNE 1, 2021  
 PARKING CONSTRUCTION = SEPTEMBER 1, 2021  
 RESTORATION = SEPTEMBER 1, 2021 - MAY 15, 2022
- 2.) COMPLETION DATES ARE TO BE ABIDED BY AND FAILURE TO MEET DEADLINES CONSTITUTES A VIOLATION OF THE PERMIT AND POSSIBLE ISSUANCE OF A STOP WORK ORDER. ANY PROPOSED MODIFICATIONS TO APPROVED PLANS OR ALTERATIONS TO ACCEPTED SEQUENCING OF LAND DISTURBING ACTIVITIES AT THE SITE SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO IMPLEMENTATION OF SAID CHANGES.
- 3.) AT THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL THE TRACKING PAD. THE PAD SHALL BE 50' LONG AND 1" THICK, CONSTRUCTED WITH A MINIMUM 3" CLEAR STONE. ADDITIONAL TRACKING PAD MATERIALS SHALL BE INSTALLED AS NEEDED AND THE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT THE TRACKING OF MUD ONTO THE EXISTING STREET SURFACES AT NO ADDITIONAL COST TO THE OWNER. ALL ADJACENT PUBLIC STREETS SHALL BE INSPECTED AND CLEANED AT THE END OF EACH WORKDAY. ADDITIONAL CONSTRUCTION ENTRANCES MAY BE ALLOWED WITH THE APPROVAL OF THE CITY ENGINEER.
- 4.) FLEXSTORM INLET PROTECTION SHALL BE INSTALLED IN ALL STORM INLETS SHOWN AND SHALL BE MAINTAINED THROUGH SITE IMPROVEMENTS. THE FILTER SHALL BE INSPECTED AFTER EVERY RAINFALL AND CLEANED AS NECESSARY. THESE PROTECTIONS SHALL BE REMOVED BY THE CONTRACTOR ONCE AN ESTABLISHED CATCH OF GRASS HAS GROWN IN THE TERRACES.
- 5.) ALL DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND MULCH. SEED SHALL BE PLACED PER THE REQUIREMENTS OF SECTION 630 IN THE WDOT STANDARD SPECIFICATIONS. SEED SHALL BE WOOD MIXTURE 40 APPLIED AT 2 POUNDS PER 1000 SQUARE FEET.
- 6.) ALL FERTILIZER SHALL BE WDOT TYPE A APPLIED AT 7 POUNDS PER 1000 SQUARE FEET.
- 7.) MULCH SHALL BE HAY OR STRAW APPLIED AT A RATE OF 2 TONS PER ACRE DISCED IN PLACE. CHANGES TO ABOVE TYPES SHALL BE APPROVED BY THE ENGINEER.
- 8.) EROSION CONTROL MATTING IS REQUIRED IN ALL DRAINAGEWAYS AND AREAS WITH A SLOPE OF 4:1 OR GREATER. EROSION MATTING SHALL BE NORTH AMERICAN GREEN S150 OR EQUAL.
- 9.) EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT BY THE CITY. EROSION CONTROL MEASURES AS SHOWN ON THE APPROVED PLAN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES.
- 10.) PUBLIC STREETS SHALL BE CLEANED AND SWEEP AS NECESSARY AT THE END OF EACH WORKDAY.
- 11.) ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE CITY INSPECTOR OR THE OWNERS ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

**SPOOT ELEVATION KEY**

A TO W	854.20
1" EOP	842.85
1" TOW	854.20
1" EOP	842.78
1" TOW	854.20
1" EOP	842.98
1" TOW	854.30
1" EOP	853.70
1" TOW	854.30
1" EOP	853.72
1" TOW	853.95
1" EOP	853.88
1" TOW	853.88

NOTE:  
 CONTRACTOR SHALL FIELD FIT FINAL STEP TO BLEND TO EXISTING SIDEWALK ELEVATION.



**GRADING AND EROSION CONTROL PLAN**  
**LUCKY'S 1313 EXPANSION**  
 CITY OF MADISON, DANE COUNTY, WISCONSIN



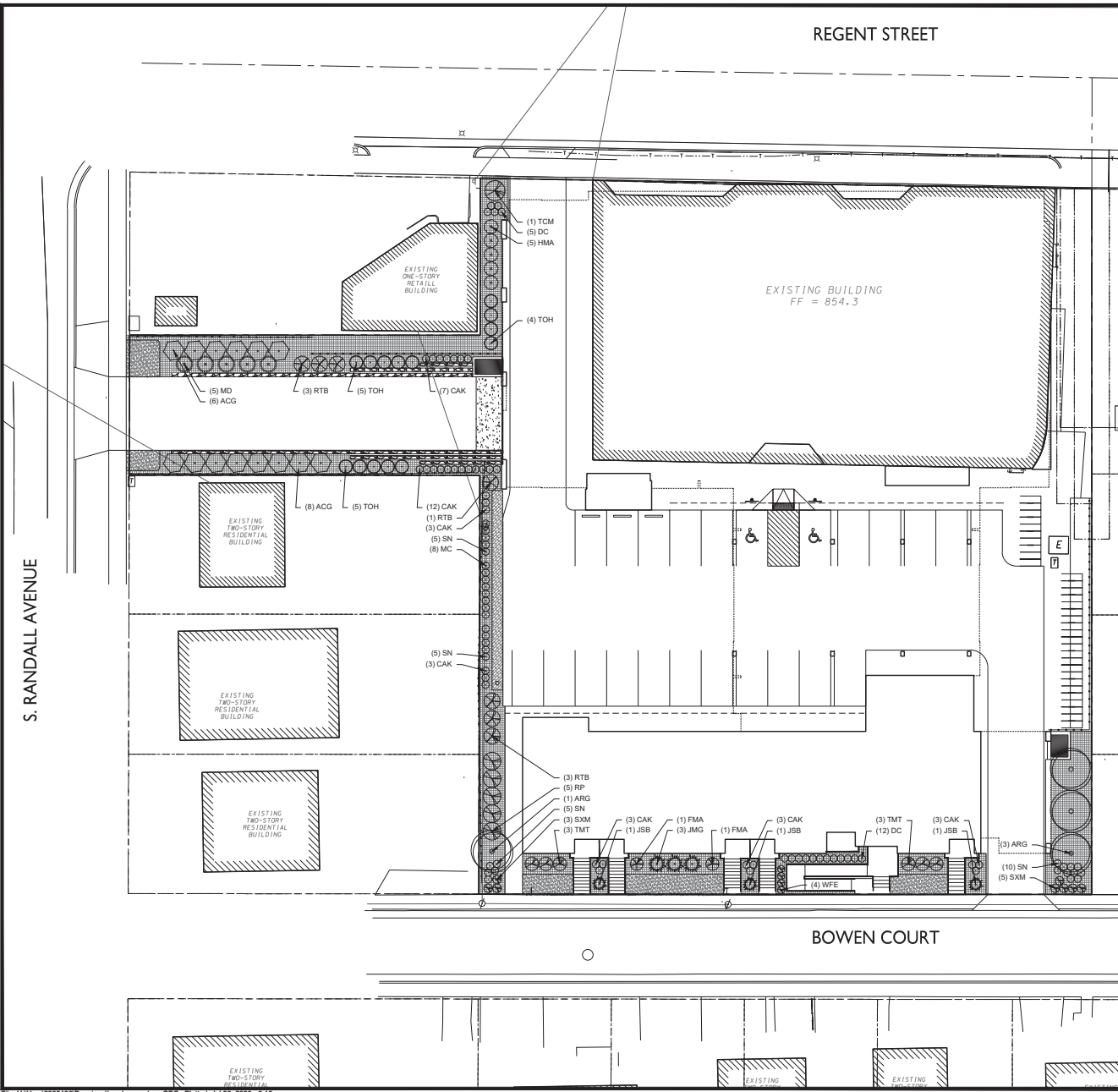
DATE: 07/29/2020  
 REVISION:  
 DRAWN BY: KJP  
 FN: 20-05-130  
 Sheet Number:  
 C-2.3





REGENT STREET

BOWEN COURT



LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:  
 5 POINTS PER 300 SF OF DEVELOPED AREA  
 DEVELOPED AREA = 18,675 SQ FT  
 TOTAL POINTS REQUIRED = 311 POINTS  
 POINTS PROVIDED = 576 POINTS

PLANTING SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER	SUB-	PLANT	TOTAL	SIZE	ROOT	COND
OVERSTORY DECIDUOUS TREES										
ARK	<i>acer rubrum</i> 'Armstrong Gold'	Armstrong Gold Maple	4	36	140	2'		B&B		
DECIDUOUS SHRUB										
ACG	<i>Jamelancher canadensis</i> 'Glenform'	Rainbow Pillar Serviceberry	14	3	42	48"		B&B		
FMA	<i>Fothergilla</i> 'Mt. Airy'	Mt. Airy Fothergilla	2	3	6	24"		POT		
HMA	<i>Hydrangea</i> 'M. Summer Beauty'	Mt. Summer Beauty Hydrangea	5	3	15	24"		POT		
RTB	<i>Rhus typhina</i> 'Baillyer'	Tiger Eyes Sumac	7	3	21	24"		POT		
SXM	<i>Spiraea</i> 'Magic Carpet'	Magic Carpet Spiraea	6	3	18	12"		POT		
WVE	<i>Vibegna</i> 'Sherry'	Memento Vibegna	4	3	12	12"		POT		
EVERGREEN SHRUB										
JMG	<i>Juniperus x media</i> 'Sea of Gold'	Sea of Gold Juniper	3	4	12	12"		POT		
JSB	<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	3	4	12	12"		POT		
MC	<i>Microbiota decussata</i>	Russian Arborvitae	5	4	20	8"		POT		
RP	<i>Rhododendron</i> 'PJM'	PJM Rhododendron	5	4	20	24"		POT		
TCH	<i>Taxus canadensis</i> 'Minzey'	Emerald Spruce Pine	1	4	4	12"		POT		
TMT	<i>Taxus</i> 'Taunton'	Taunton Pine	6	4	24	24"		POT		
TOH	<i>Thuja occidentalis</i> 'Hölmström'	Hölmström Arborvitae	14	4	56	36"		POT		
ORNAMENTAL GRASSES										
CAK	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	34	2	68			1 GAL	POT	
DC	<i>Deschampsia cespitosa</i> 'Northern Lights'	Northern Lights Tufted Hair Grass	17	2	34			1 GAL	POT	
MC	<i>Molinia caerulea</i> 'Shirazer'	Shirazer Moor Grass	6	2	12			1 GAL	POT	
SN	<i>Sorghastrum nutans</i> 'Soxux Blue'	Soxux Blue Indian Grass	25	2	50			1 GAL	POT	
			TOTAL:		576			POINTS		

GROUND COVER LEGEND

- LAWN
- INFILTRATION AREA
- 3" DEPTH WASHED STONE MULCH OVER FILTER FABRIC

SITE LANDSCAPE PLAN - GENERAL NOTES

1. CONTACT DESIGNER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF LOCAL WASHED STONE MULCH OVER LANDSCAPE FABRIC CONTAINED BY LANDSCAPE EDGING.
4. WASHED STONE MULCH SHALL BE 3/8" INCH OR LARGER.
5. LANDSCAPE EDGING SHALL BE 3/8" X 4" ALL ALUMINUM EDGING.
6. LANDSCAPE FABRIC SHALL BE 80% OR APPROVED EQUAL.
7. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TROPISOL.
8. LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC PER MANUFACTURER'S SPECIFICATIONS.
9. INFILTRATION AREA PLANT MIX SHALL CONFORM TO THE SPECIFICATIONS OF THE RAINWATER RENOVATION GARDEN FOR SUNNY STREETS AS MANUFACTURED BY AGRICOLA NATIVE NURSERY ([www.agricola-nursery.com](http://www.agricola-nursery.com)) OR APPROVED EQUAL. SEE GRADING AND EROSION CONTROL PLAN FOR INFILTRATION BASIN PLANTING DETAIL.
8. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

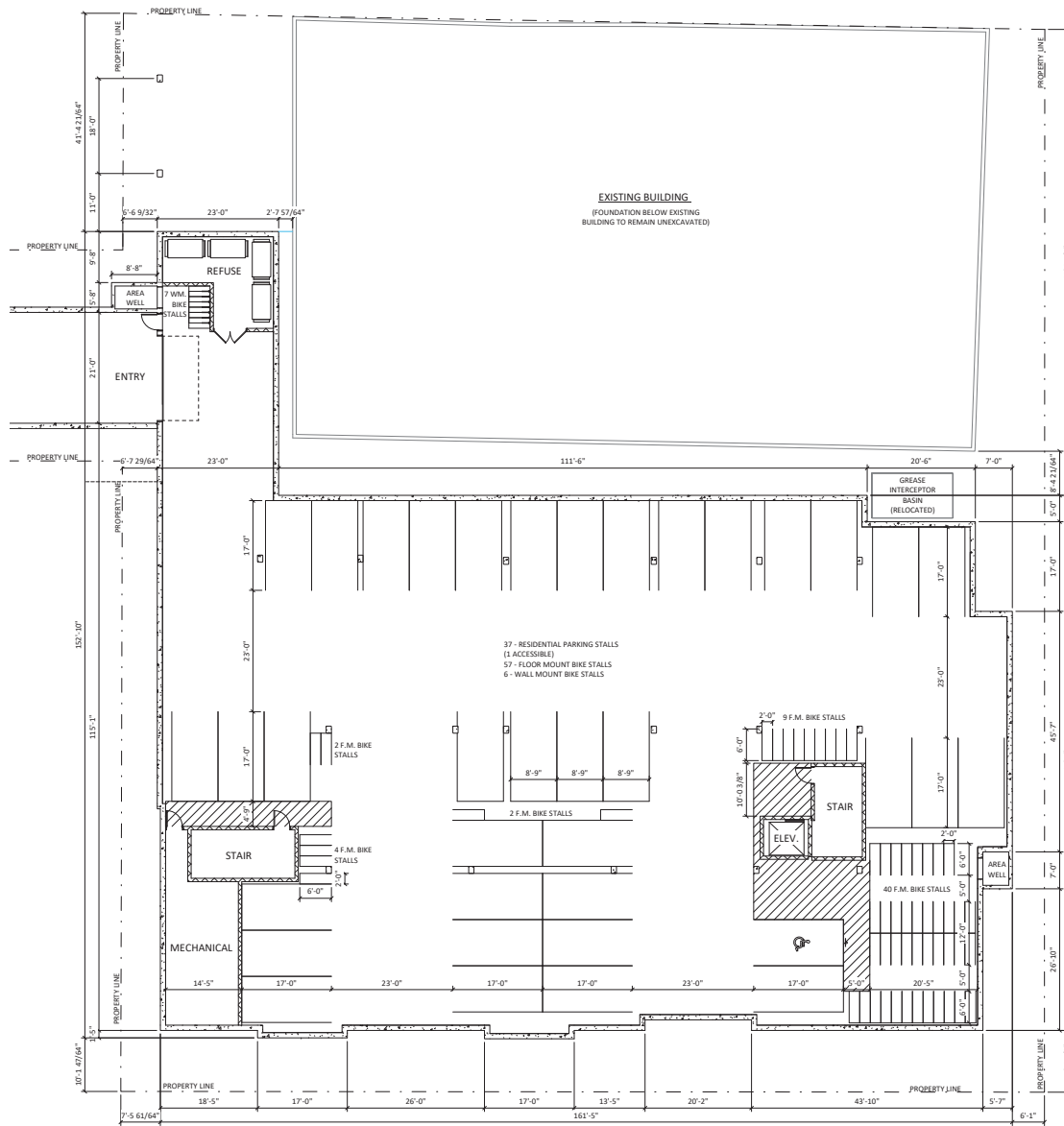


PROPOSED ART TYPE AND INSTALLATION, INC.  
 7250 Woodland Way, Madison, WI 53717  
 PHONE: 608.271.7250 • FAX: 608.271.7259  
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LANDSCAPE PLAN  
 LUCKY'S 1313 EXPANSION  
 CITY OF MADISON, DANE COUNTY, WISCONSIN



DATE: 07/29/2020  
 REVISED:  
 DRAWN BY: AS  
 FN: 20-05-130  
 Sheet Number:  
 L-1



**BASEMENT FLOOR PLAN**  
 3/32" = 1'-0"







EXISTING ONE-STORY RETAIL BUILDING

1 SECOND FLOOR PLAN  
 3/32" = 1'-0"

ISSUED  
 Issued for Land Use Submittal - July 29, 2020

PROJECT TITLE  
**LUCKY'S 1313**  
**EXPANSION**

1313 REGENT ST.  
 MADISON, WI  
 SHEET TITLE  
**SECOND FLOOR**  
**PLAN**

SHEET NUMBER

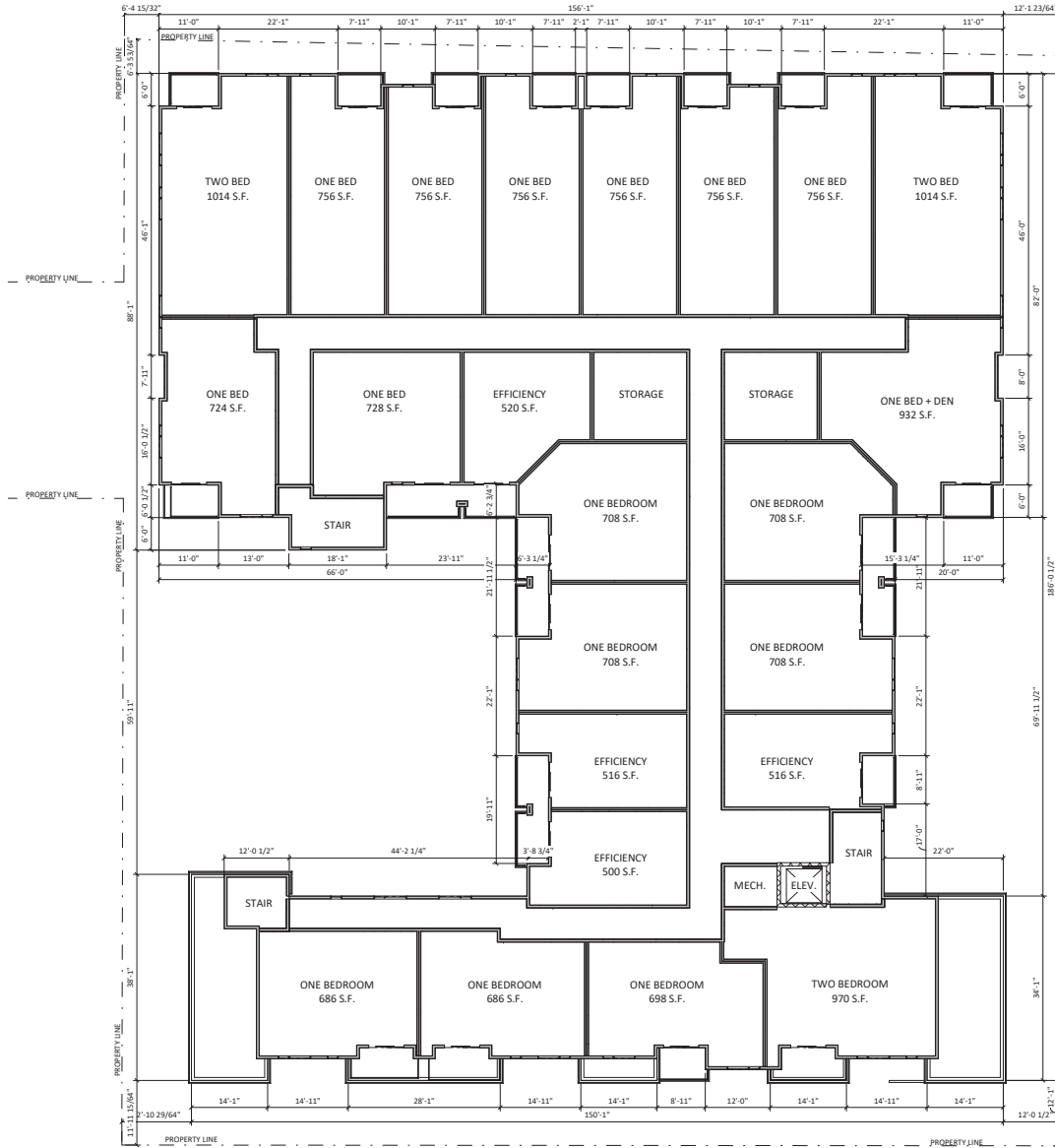
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 Issued for Land Use Submittal - July 29, 2020

PROJECT TITLE  
**LUCKY'S 1313  
 EXPANSION**

1313 REGENT ST.  
 MADISON, WI  
 SHEET TITLE  
**THIRD FLOOR PLAN**

SHEET NUMBER

**A-1.3**  
 PROJECT NUMBER **1916**  
 © Knothe & Bruce Architects, LLC



**THIRD FLOOR PLAN**  
 3/32" = 1'-0"



**FOURTH FLOOR PLAN**  
 A-1.4 3/32" = 1'-0"

ISSUED  
 Issued for Land Use Submittal - July 29, 2020

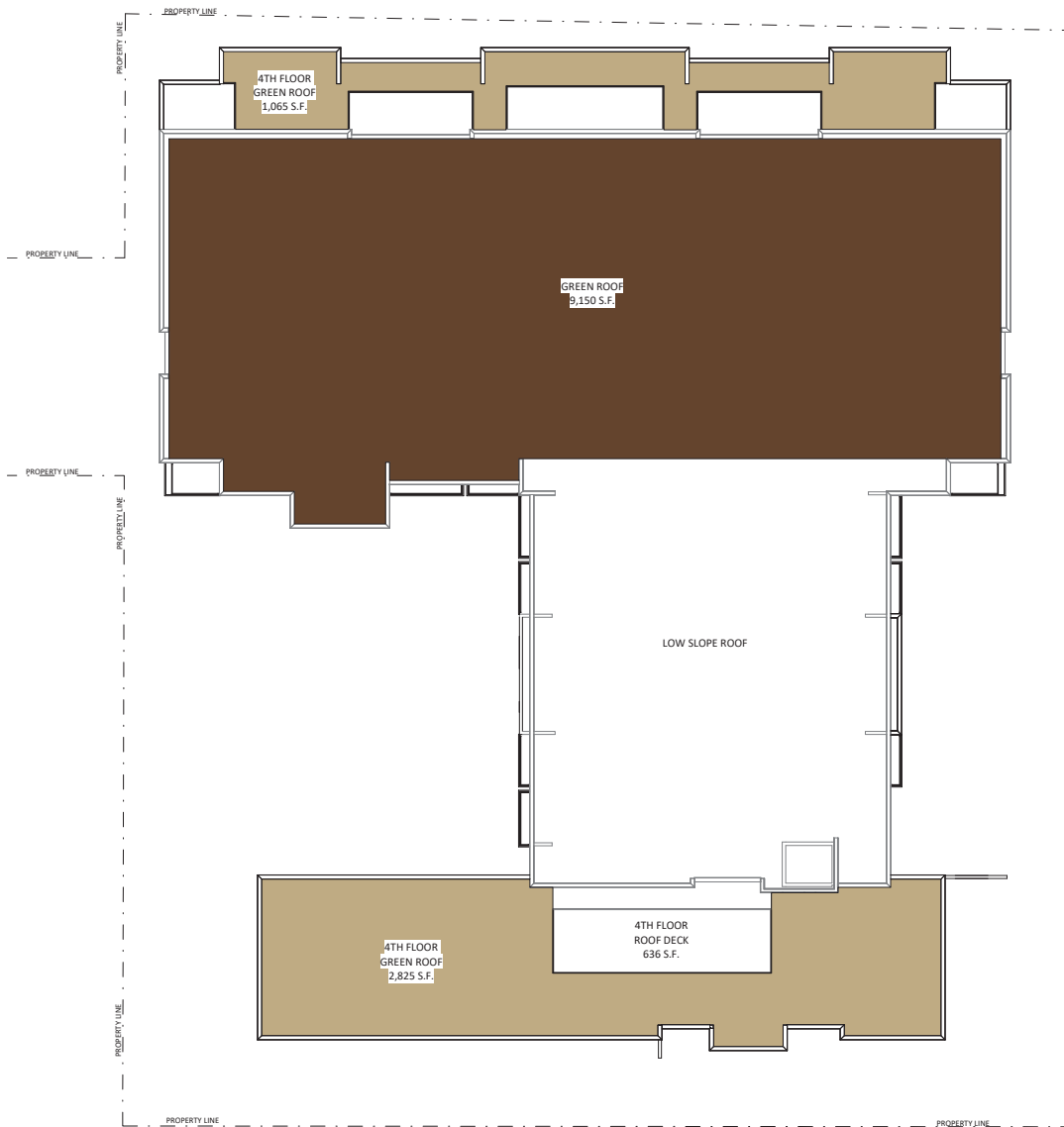
PROJECT TITLE  
**LUCKY'S 1313  
 EXPANSION**

1313 REGENT ST.  
 MADISON, WI  
 SHEET TITLE  
**ROOF PLAN**

SHEET NUMBER

**A-1.5**

PROJECT NUMBER **1916**  
 © Knothe & Bruce Architects, LLC



**1**  
**A-1.5**  
**ROOF PLAN**  
 3/32" = 1'-0"





1 North  
 A-2.1 3/32" = 1'-0"



2 West  
 A-2.1 3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - (#1) - 4"	JAMES HARDIE	SLATE GRAY
COMPOSITE LAP SIDING - (#2) - CUSTOM WIDTH	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE PANEL SIDING - (#3)	JAMES HARDIE	ARCTIC WHITE
COMPOSITE TRIM - (#T1)	JAMES HARDIE	SLATE GRAY
COMPOSITE TRIM - (#T2)	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE TRIM - (#T3)	JAMES HARDIE	ARCTIC WHITE
MODULAR BRICK VENEER	N/A	MATCH EXISTING
VINYL WINDOWS	VISIONS	WHITE
ALUM. STOREFRONT	N/A	WHITE FRAME / RED DOORS
METAL DOORS/FRAMES	N/A	SW 6126 - NAVAJO WHITE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	SW 6126 - NAVAJO WHITE
RAILINGS	SUPERIOR	BLACK

ISSUED  
 Issued for Land Use Submittal - July 27, 2020

PROJECT TITLE  
**LUCKY'S 1313**  
**EXPANSION**

1313 REGENT ST.  
 MADISON, WI

SHEET TITLE  
**EXTERIOR**  
**ELEVATIONS**

SHEET NUMBER

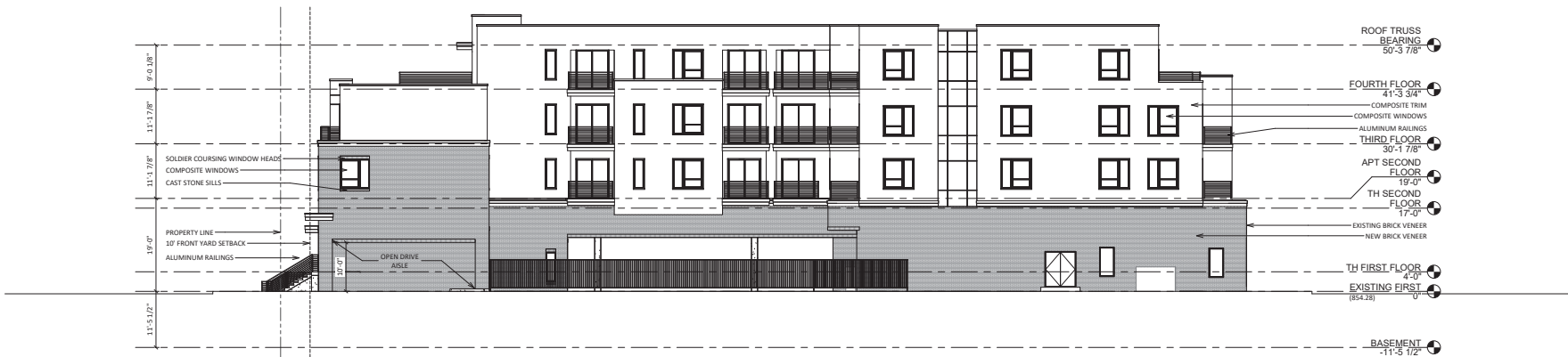
**A-2.1**

PROJECT NUMBER **1916**  
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1 South  
 A-2.2  
 3/32" = 1'-0"

ISSUED  
 Issued for Land Use Submittal - July 27, 2020



2 East  
 A-2.2  
 3/32" = 1'-0"

PROJECT TITLE  
**LUCKY'S 1313**  
**EXPANSION**

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - (#1) - 4"	JAMES HARDIE	SLATE GRAY
COMPOSITE LAP SIDING - (#2) - CUSTOM WIDTH	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE PANEL SIDING - (#3)	JAMES HARDIE	ARCTIC WHITE
COMPOSITE TRIM - (#T1)	JAMES HARDIE	SLATE GRAY
COMPOSITE TRIM - (#T2)	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE TRIM - (#T3)	JAMES HARDIE	ARCTIC WHITE
MODULAR BRICK VENEER	N/A	MATCH EXISTING
VINYL WINDOWS	VISIONS	WHITE
ALUM. STOREFRONT	N/A	WHITE FRAME / RED DOORS
METAL DOORS/FRAMES	N/A	SW 6126 - NAVAJO WHITE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	SW 6126 - NAVAJO WHITE
RAILINGS	SUPERIOR	BLACK

1313 REGENT ST.  
 MADISON, WI

SHEET TITLE  
**EXTERIOR**  
**ELEVATIONS**

SHEET NUMBER

**A-2.2**

PROJECT NUMBER **1916**  
 © Knothe & Bruce Architects, LLC



1 North - Rendered Elevation  
A-2.3 3/32" = 1'-0"



2 West - Rendered Elevation  
A-2.3 3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - (#1) - 4"	JAMES HARDIE	SLATE GRAY
COMPOSITE LAP SIDING - (#2) - CUSTOM WIDTH	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE PANEL SIDING - (#3)	JAMES HARDIE	ARCTIC WHITE
COMPOSITE TRIM - (#F1)	JAMES HARDIE	SLATE GRAY
COMPOSITE TRIM - (#F2)	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE TRIM - (#F3)	JAMES HARDIE	ARCTIC WHITE
MODULAR BRICK VENEER	N/A	MATCH EXISTING
VINYL WINDOWS	VISIONS	WHITE
ALUM. STOREFRONT	N/A	WHITE FRAME / RED DOORS
METAL DOORS/FRAMES	N/A	SW 6126 - NAVAJO WHITE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	SW 6126 - NAVAJO WHITE
RAILINGS	SUPERIOR	BLACK



1 South - Rendered Elevation  
 A-2.4 3/32" = 1'-0"



2 East - Rendered Elevation  
 A-2.4 3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
COMPOSITE LAP SIDING - (#1) - 4"	JAMES HARDIE	SLATE GRAY
COMPOSITE LAP SIDING - (#2) - CUSTOM WIDTH	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE PANEL SIDING - (#3)	JAMES HARDIE	ARCTIC WHITE
COMPOSITE TRIM - (#F1)	JAMES HARDIE	SLATE GRAY
COMPOSITE TRIM - (#F2)	JAMES HARDIE	SW 7585 SUN DRIED TOMATO
COMPOSITE TRIM - (#F3)	JAMES HARDIE	ARCTIC WHITE
MODULAR BRICK VENEER	N/A	MATCH EXISTING
VINYL WINDOWS	VISIONS	WHITE
ALUM. STOREFRONT	N/A	WHITE FRAME / RED DOORS
METAL DOORS/FRAMES	N/A	SW 6126 - NAVAJO WHITE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH STONE VENEER
SOFFITS & FASCIA	N/A	SW 6126 - NAVAJO WHITE
RAILINGS	SUPERIOR	BLACK





**LUCKY'S**  
1313 REGENT ST. MADISON, WI  
RENDERED PERSPECTIVE  
JULY 29, 2020





**LUCKY'S**  
1313 REGENT ST. MADISON, WI  
RENDERED PERSPECTIVE  
JULY 29, 2020







**LUCKY'S**  
1313 REGENT ST. MADISON, WI  
RENDERED PERSPECTIVE  
JULY 29, 2020





**LUCKY'S**  
1313 REGENT ST. MADISON, WI  
RENDERED PERSPECTIVE  
JULY 29, 2020

