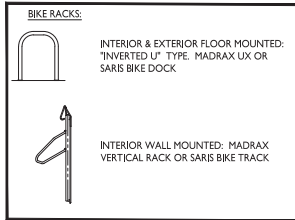


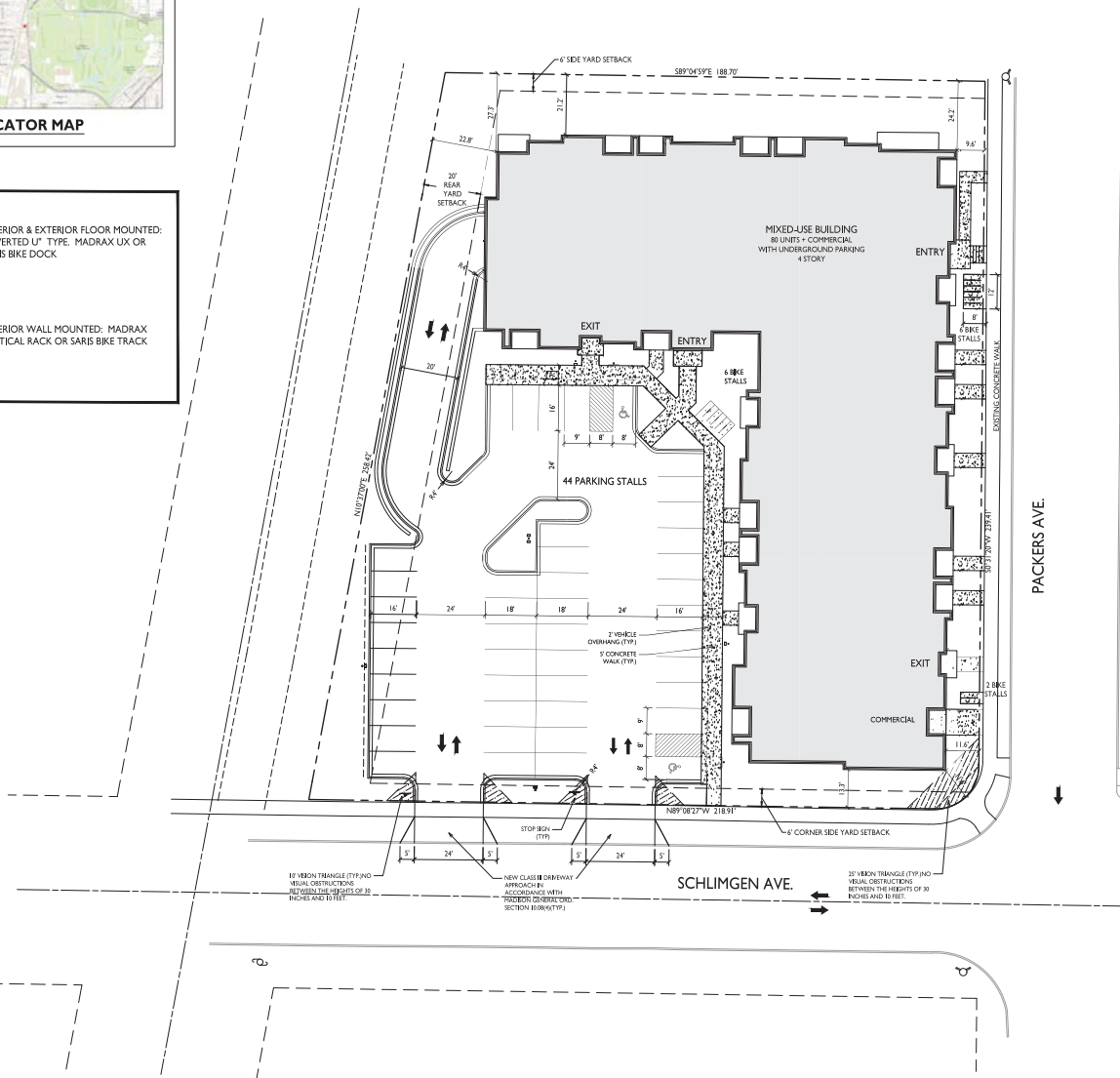


LOCATOR MAP

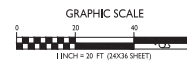


INTERIOR & EXTERIOR FLOOR MOUNTED:
"INVERTED U" TYPE: MADRAX UX OR
SARIS BIKE DOCK

INTERIOR WALL MOUNTED: MADRAX
VERTICAL RACK OR SARIS BIKE TRACK



SITE PLAN
1" = 20'-0"



SHEET INDEX	
SITE	SITE PLAN
C-1.1	SITE LIGHTING
C-1.2	FIRE ACCESS PLAN
C-1.3	LOT COVERAGE
C-1.4	USABLE OPEN SPACE
C-1.5	
CIVIL	EXISTING CONDITIONS PLAN
C-2.0	DEMOLITION PLAN
C-3.0	GRADING & EROSION CONTROL
C-4.0	UTILITY PLAN
C-5.0	
LANDSCAPE	OVERALL LANDSCAPE PLAN
L-1.1	

ARCHITECTURAL	
A-1.0	BASEMENT FLOOR PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
A-1.5	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	ELEVATIONS-COLORED
A-2.3	ELEVATIONS-COLORED
A-2.4	RENDERED PERSPECTIVE
A-2.5	RENDERED PERSPECTIVE
A-2.6	RENDERED PERSPECTIVE

SITE DEVELOPMENT DATA

ZONING: NM-X - NEIGHBORHOOD MIXED-USE DISTRICT	
DENSITIES	
LOT AREA	53,761 S.F. / 1.3 ACRES
DWELLING UNITS	80 UNITS
LOT AREA / D.U.	672 S.F./UNIT
DENSITY	61.5 UNITS/ACRE
USABLE OPEN SPACE	PROVIDED: 15,800 S.F. ZONING REQUIREMENTS: 15,320 S.F.
LOT COVERAGE	15,800 S.F. (74%) 40,320 S.F. (75% MAX.)
BUILDING HEIGHT	4 STORIES/49'-6" CONDITIONAL USE APPROVAL
RESIDENTIAL AREA	79,528 S.F.
COMMERCIAL AREA	1,048 S.F.
DWELLING UNIT MIX:	
ONE BEDROOM	63
TWO BEDROOM	17
TOTAL DWELLING UNITS	80
VEHICLE PARKING STALLS	
UNDERGROUND GARAGE SURFACE	57
TOTAL	101
PARKING RATIO	1.26 STALLS/UNIT
BICYCLE PARKING:	
GARAGE LONG-TERM (7'X4' FLOOR MOUNT)	60
GARAGE LONG-TERM (11'X4' X 3'4" STAGGERED WALL MOUNT)	20
TOTAL GARAGE LONG-TERM	80
SURFACE LONG-TERM	4
SURFACE GUEST	8
TOTAL	84 BIKE STALLS

GENERAL NOTES:

- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DEGREEABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF THE TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (264-4816) PRIOR TO EXCAVATION TO ACCESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (264-4816).
- THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THE SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.



ISSUED
Issued for Land Use & UDC - May 20, 2020
Revised for Land Use & UDC - July 17, 2020

PROJECT TITLE
Liberty Mortgage
& Development
Company

Packers Avenue &
Schlimgen Avenue
SHEET TITLE
Site Plan

SHEET NUMBER

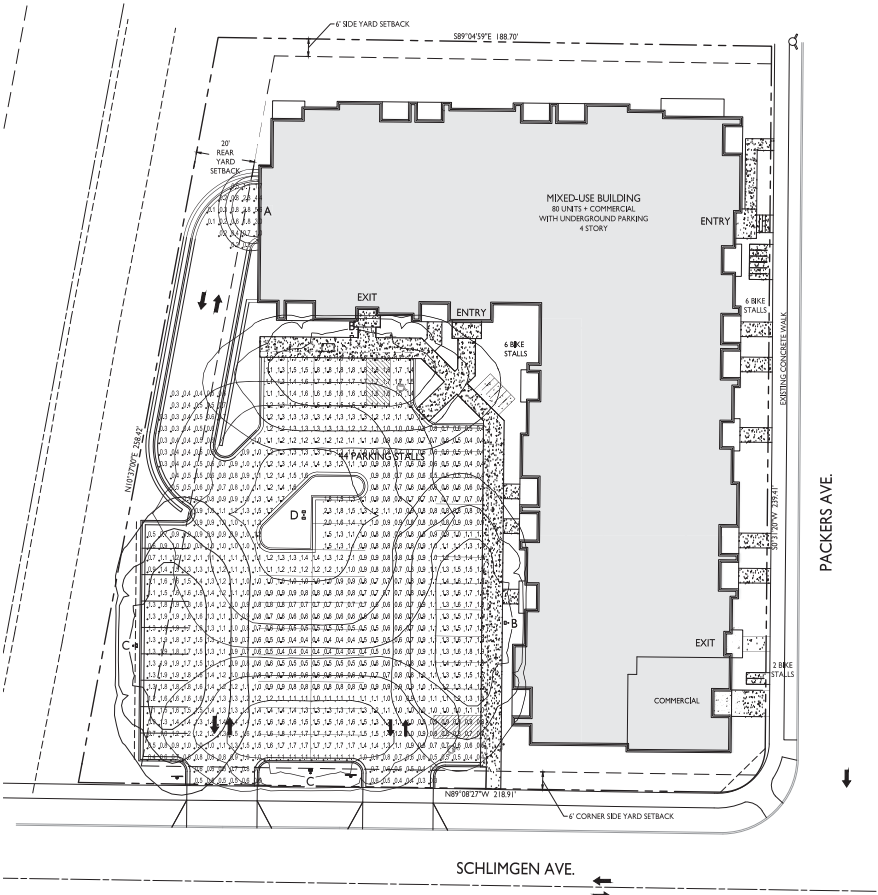
C-1.1

PROJECT NO. 1973

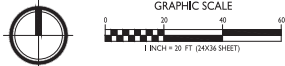
© Knothe + Bruce Architects, LLC

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX.	MIN.	MAX. / MIN.	AVG. / MIN.
Parking Area Lighting	+	1.0 fc	2.3 fc	0.3 fc	7.7:1	33:1
Parking Garage Entry Lighting	+	1.3 fc	5.6 fc	0.1 fc	56:1	13:1

LUMINAIRE SCHEDULE					
SYMBOL	LABEL	QTY.	MANUF.	CATALOG	DESCRIPTION
	A	1	LITHONIA LIGHTING	LIL LED 30K MVOLT	LIL WALLPACK (STANDARD)
					LIL_LED_30K_MVOLT.dwg
					8'-0" ABOVE GRADE ON BUILDING
	B	2	LITHONIA LIGHTING	DSX0 LED P1 30K BLC MVOLT	DSX0_LED_P1_30K_BLC_MVOLT.dwg
					18'-0" POLE ON FLUSH CONC. BASE
	C	2	LITHONIA LIGHTING	DSX0 LED P1 30K BLC MVOLT	DSX0_LED_P1_30K_BLC_MVOLT.dwg
					16'-0" POLE ON 2'-0" TALL CONC. BASE
	D	1	LITHONIA LIGHTING	DSX0 LED P1 30K T4M MVOLT HS	DSX0_LED_P1_30K_T4M_MVOLT_HS.dwg
					16'-0" POLE ON 2'-0" TALL CONC. BASE
EXAMPLE LIGHT FIXTURE DISTRIBUTION					



1 SITE LIGHTING PLAN
C-1.2
1" = 20'-0"



ISSUED
Issued for Land Use & UDC - May 20, 2020
Revised for Land Use & UDC - July 17, 2020

PROJECT TITLE
Liberty Mortgage
& Development
Company

Packers Avenue &
Schlimgen Avenue
SHEET TITLE
Site Lighting Plan

SHEET NUMBER

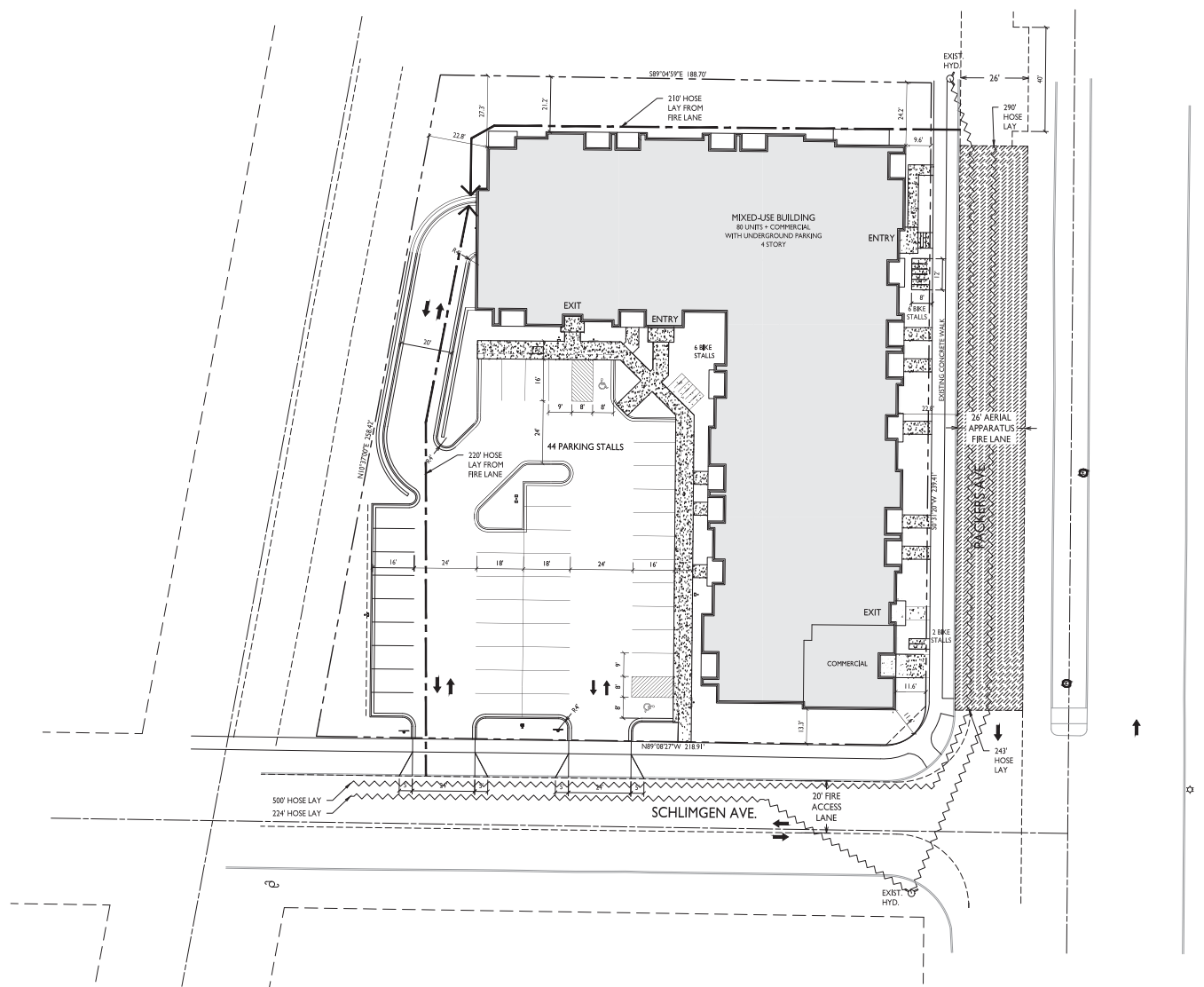


Packers Avenue &
Schlimgen Avenue

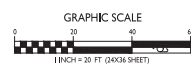
SHEET TITLE
Fire Department
Access Plan

SHEET NUMBER

PROJECT NO. 1973
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I FIRE DEPARTMENT ACCESS PLAN
C-1.3 1" = 20'-0"



ISSUED
Issued for Land Use & UDC - May 20, 2020
Revised for Land Use & UDC - July 17, 2020

PROJECT TITLE
Liberty Mortgage
& Development
Company

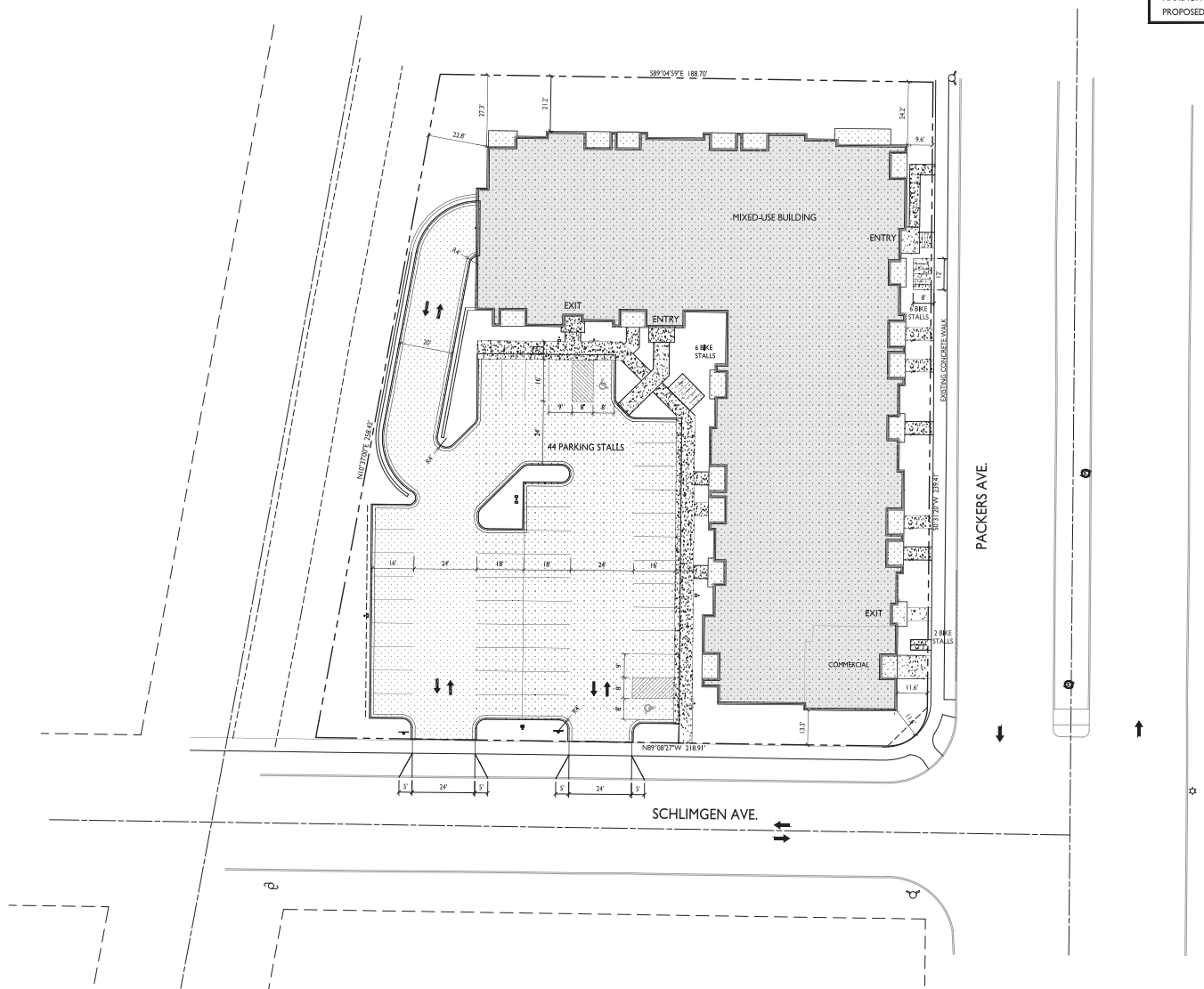
Packers Avenue &
Schlimgen Avenue
SHEET TITLE
Lot Coverage

SHEET NUMBER

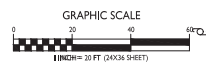
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PROJECT NO. 1973
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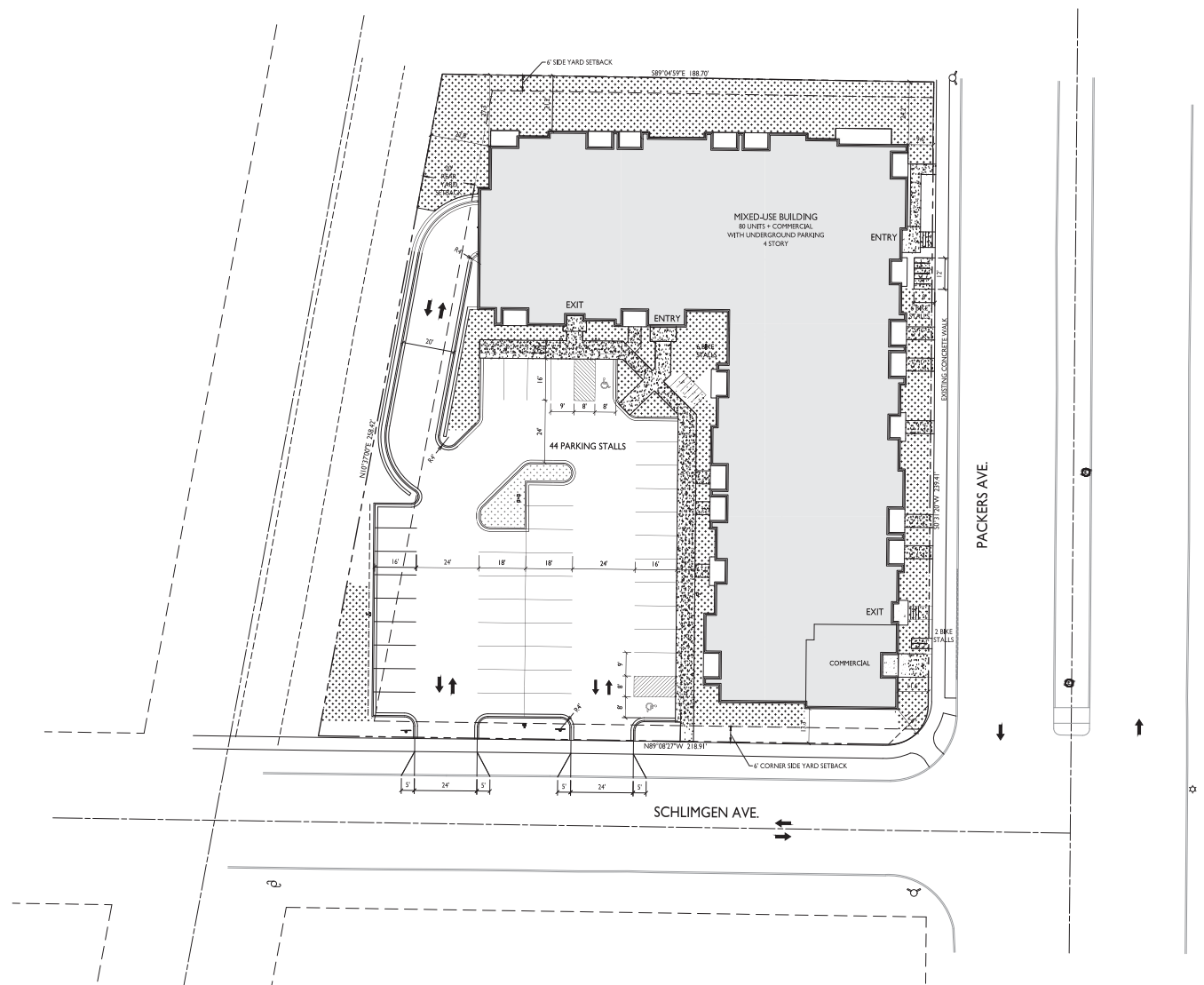
LOT COVERAGE	
ZONING:	NMX - NEIGHBORHOOD MIXED-USE DISTRICT
LOT AREA	53,761 S.F.
MAXIMUM ALLOWABLE LOT COVERAGE	40,320 S.F. (75%)
PROPOSED COVERAGE	39,658 S.F. (74%)



LOT COVERAGE
1" = 40'-0"

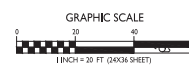


USABLE OPEN SPACE			
ZONING: NMX - NEIGHBORHOOD MIXED-USE DISTRICT			
OPEN SPACE REQUIREMENTS:			
160 S.F./1 BDRM UNIT			
320 S.F./ >1 BDRM UNITS			
DWELLING UNITS			
ONE BEDROOM	63(140)	10,080 S.F.	
>ONE BEDROOM	17(320)	5,440 S.F.	
TOTAL REQUIRED		15,520 S.F.	
OPEN SPACE PROVIDED			
BALCONIES, PATIOS, ROOF DECKS		5,778 S.F.	
SURFACE		11,072 S.F.	
TOTAL PROVIDED		16,850 S.F.	



USABLE OPEN SPACE

1" = 20'-0"



SURVEYED FOR:
LIBERTY MORTGAGE &
DEVELOPMENT COMPANY
ATTN: ALF MCCONNELL
2677 ORRINGTON AVENUE
EVANSTON, IL 60201

SURVEYED BY:
VIERBICHER ASSOCIATES, INC.
BY: DAVID N. GULLICKSON
999 FOURIER DRIVE, STE. 201
MADISON, WI 53717
(608)-821-3966
dgu@vierbicher.com

PROJECT BENCHMARKS:

- ① BENCHMARK 1 - ELEV=879.52;
TOP NUT OF FIRE HYDRANT LOCATED AT
1818 PACKERS AVENUE.
- ② BENCHMARK 2 - ELEV=872.23;
TOP OF INLET ON NORTH SIDE OF SCHLIMGEN
AVENUE

SURVEY LEGEND

- FOUND 3/4" # IRON ROD
- ⊙ FOUND 1" # IRON PIPE

TOPOGRAPHIC HATCHING LEGEND

- CONCRETE SIDEWALK
- ASPHALT PAVEMENT

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING CURB INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIELD INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING WATER MAIN VALVE
- EXISTING GAS METER
- EXISTING ELECTRIC MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- ⊙ BENCHMARK (SEE BENCHMARK NOTES)

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD TELEPHONE
- EXISTING SANITARY SEWER LINE
- EXISTING 8" SANITARY SEWER LINE
- EXISTING 18" SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING 10" STORM SEWER LINE
- EXISTING 12" STORM SEWER LINE
- EXISTING 30" STORM SEWER LINE
- EXISTING 36" STORM SEWER LINE
- EXISTING D.I. WATER MAIN
- EXISTING 8" D.I. WATER MAIN
- EXISTING 10" D.I. WATER MAIN
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY BOUNDARY

NOTES:

1. This survey was prepared based upon information provided in Commitment for Title Insurance, Order No. C-19214274, dated March 20, 2020 at 05:59 A.M. from Chicago Title Insurance Company, 901 S. Whitney Way Madison, WI 53711. (O.L. 21 & LOT 8)
2. This survey was prepared based upon information provided in Commitment for Title Insurance, Commitment No. F-363378, dated April 3, 2020 at 12:00 A.M. from Fidelity National Title Company, LLC, 300 N. Corporate Dr., Suite 350 Brookfield, WI 53045. (O.L. A)
3. The parcel surveyed contains 1.23 Acres or 53,761 sq. ft. more or less.
4. This survey is based upon field survey work performed April 6 and April 9, 2020. Any changes in site conditions after April 9, 2020 are not reflected by this survey.
5. Benchmarks shall be verified prior to construction.
6. Elevations depicted on this survey are based upon NAVD83 Datum. (2012 Geoid)
7. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
8. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20201408236, 20201408286, 20201408291, 20201408294, 20201408295, 20201408303, 20201408307, 20201411547, 20201411563. Location of buried private utilities are not within the scope of this survey.
9. This drawing is also based upon CADD information provided by others as we used the CADD file from Birrenkott Surveying, Inc., Job No. 190179, dated March 26, 2020.

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

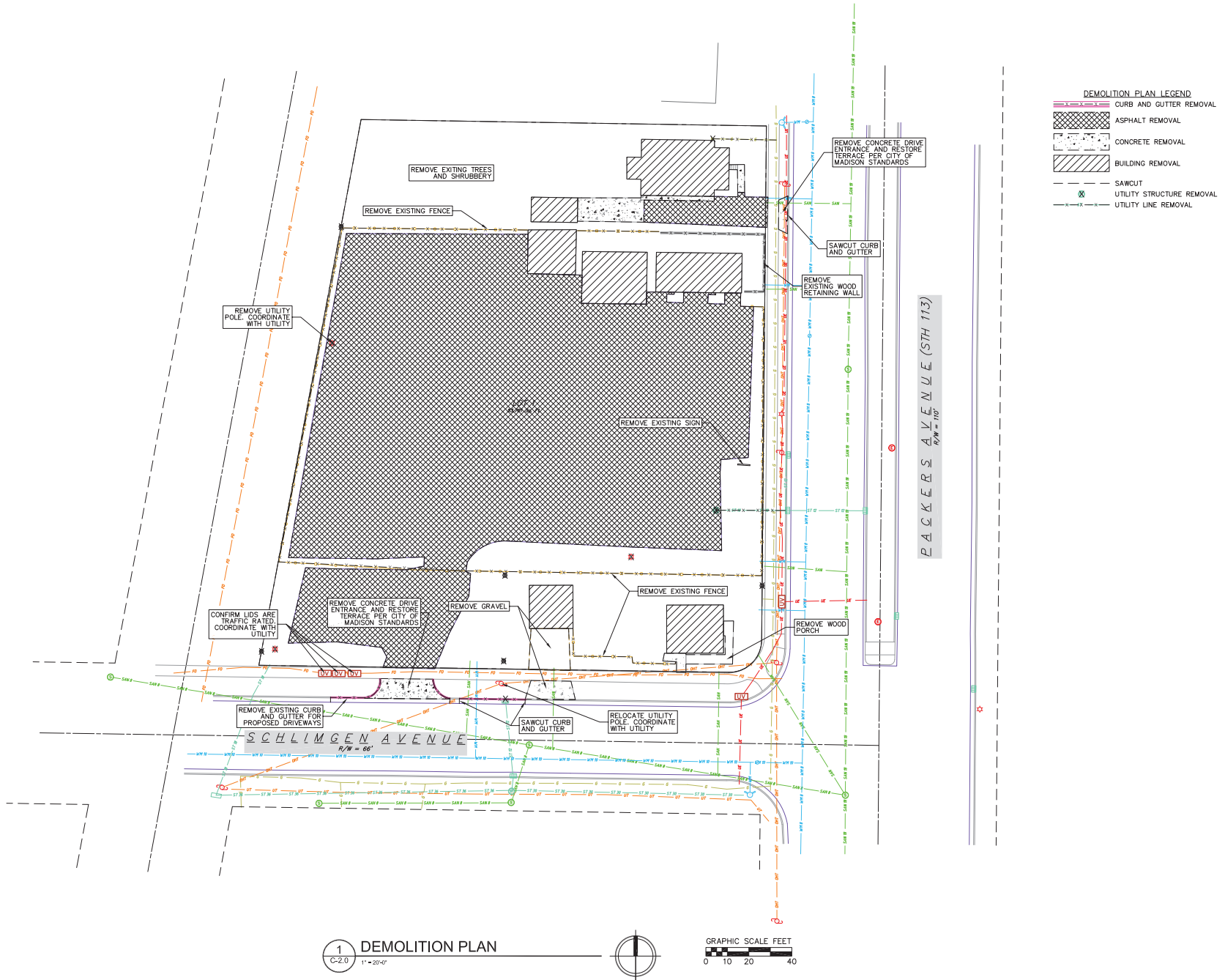
THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

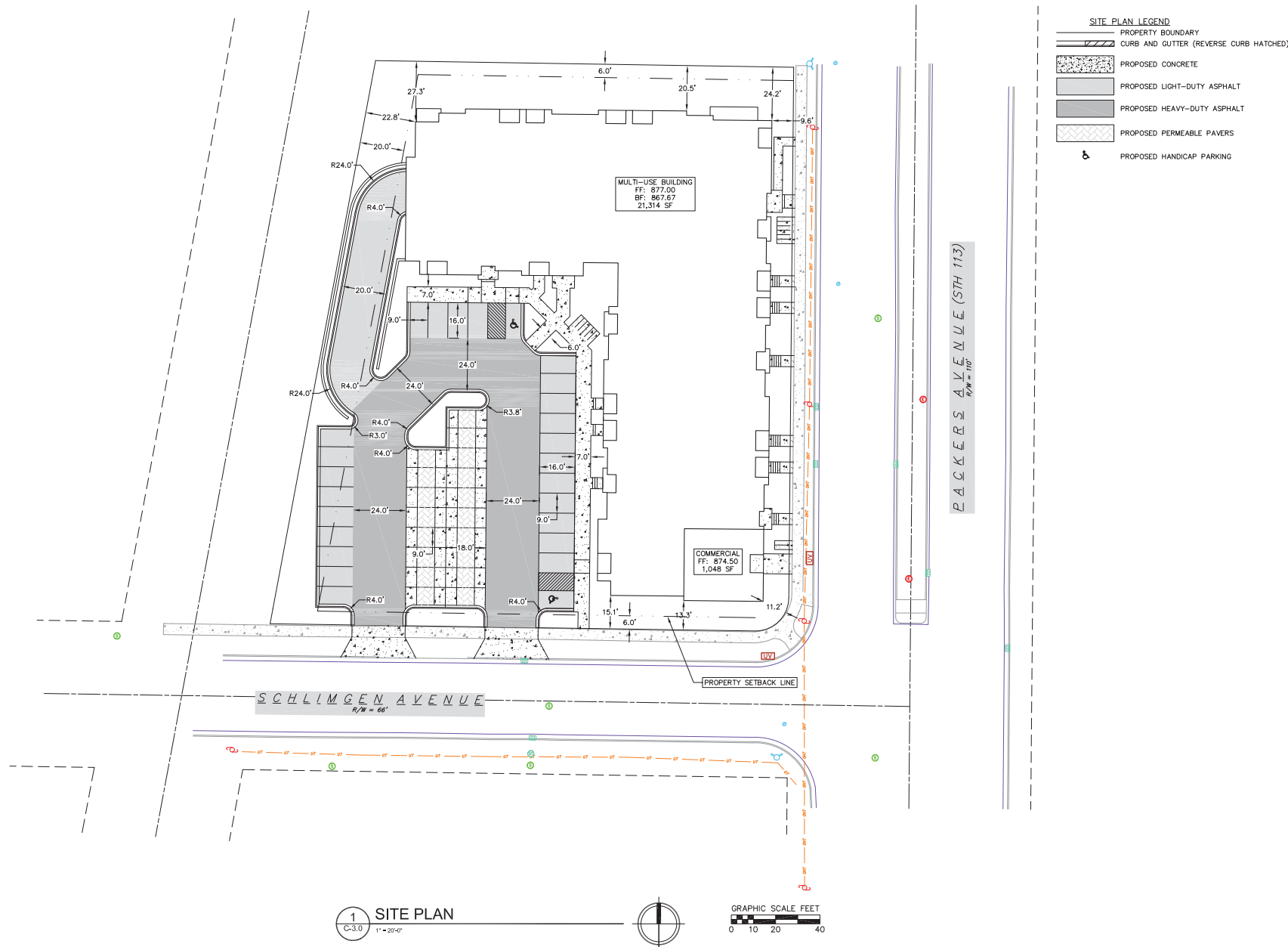
CALL DIGGER'S HOTLINE
1-800-242-8511

1 EXISTING CONDITIONS
C-1.0 1" = 20'-0"

GRAPHIC SCALE FEET
0 10 20 40

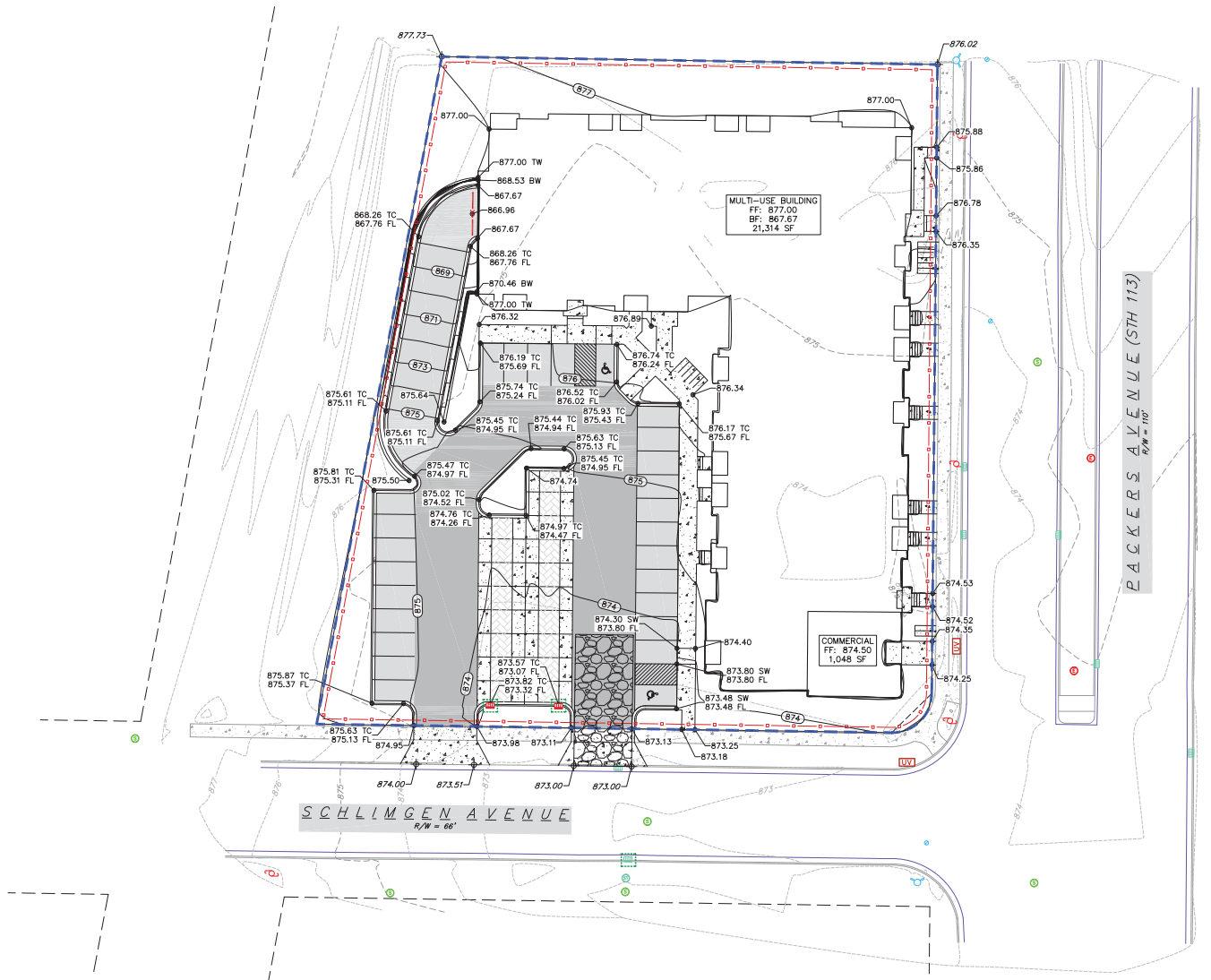
C-1.0



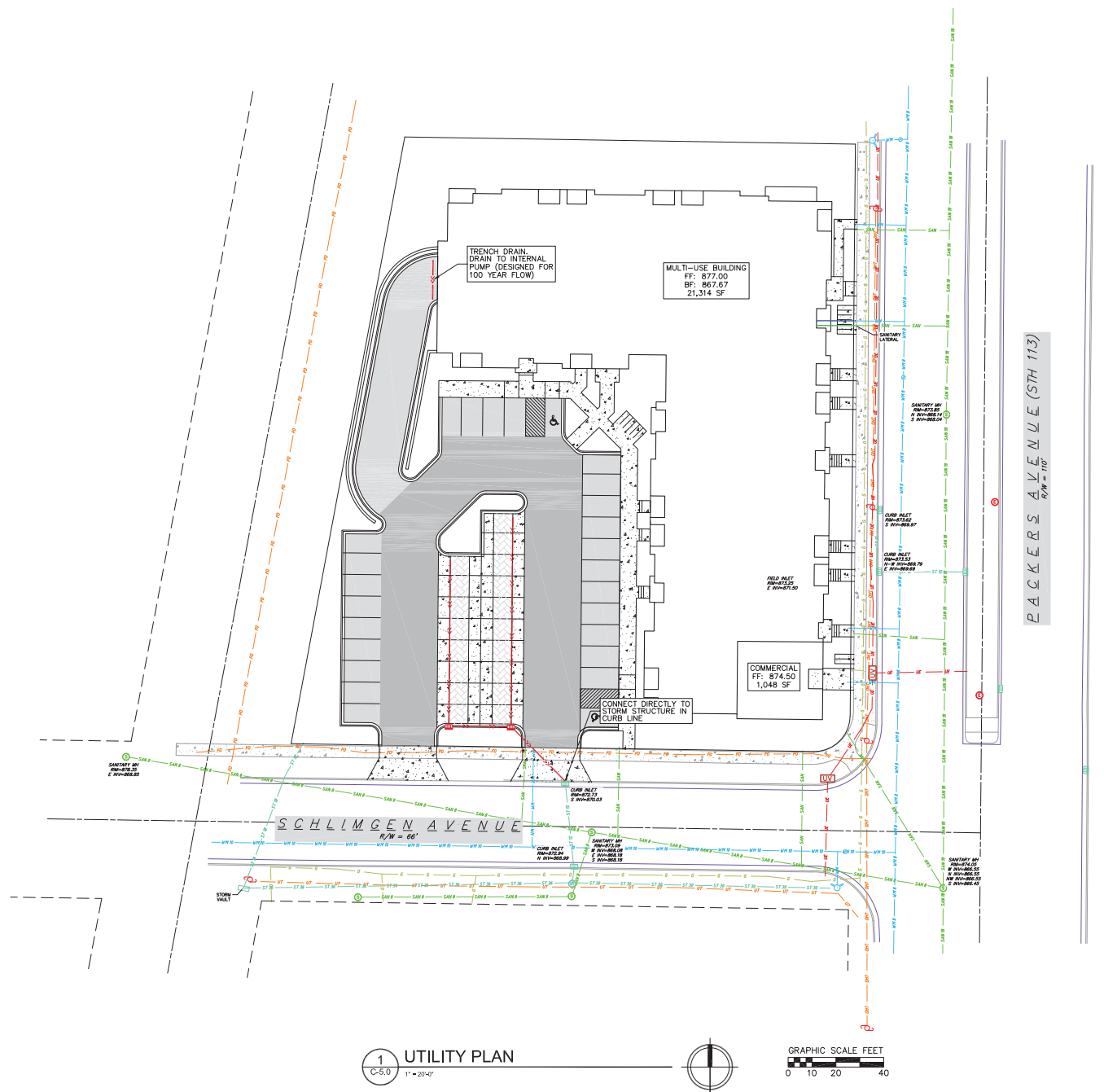


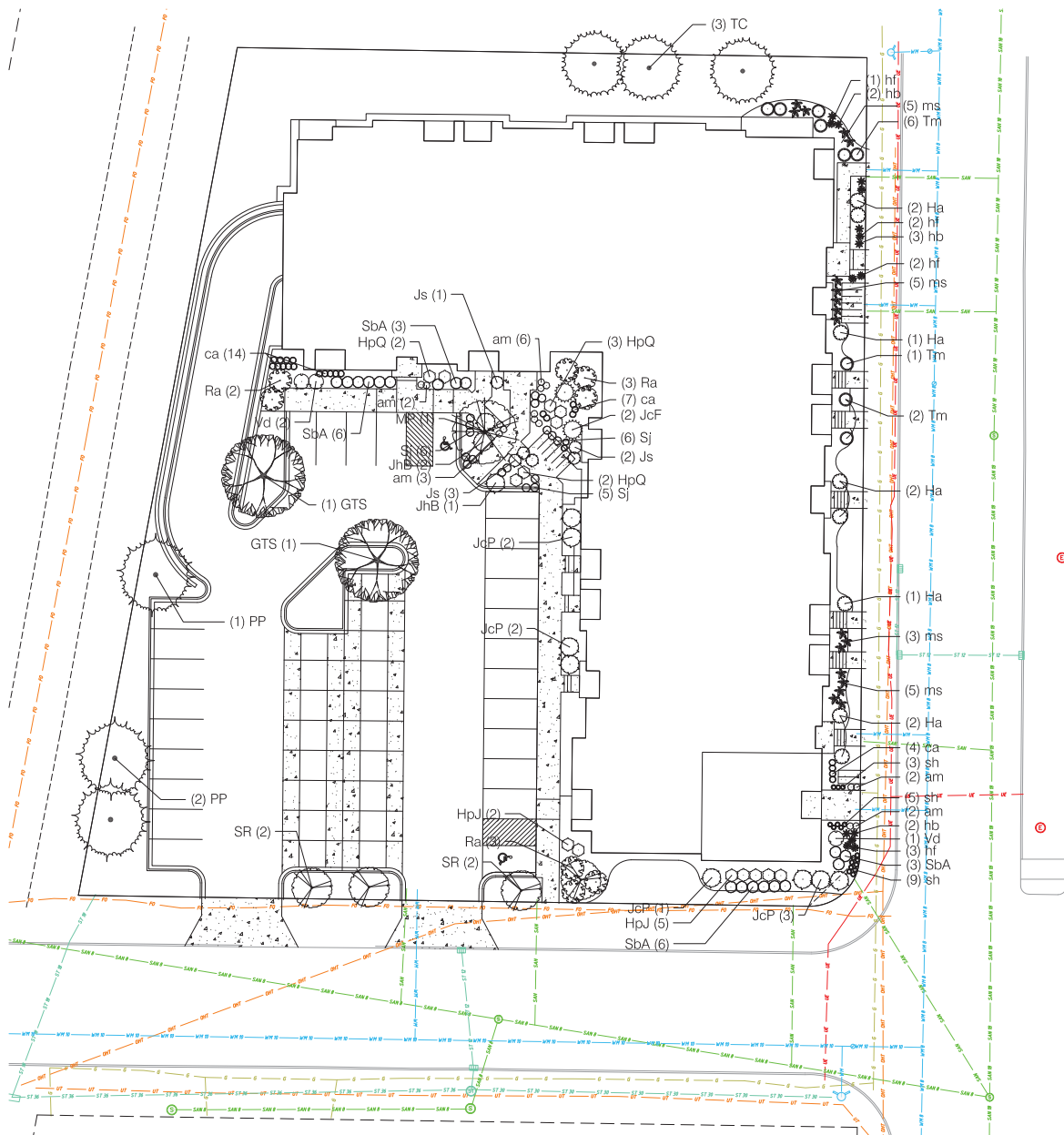
- GRADING LEGEND**
- 820 --- EXISTING MAJOR CONTOURS
 - 818 --- EXISTING MINOR CONTOURS
 - 820 --- PROPOSED MAJOR CONTOURS
 - 818 --- PROPOSED MINOR CONTOURS
 - 818 --- SILT FENCE
 - 818 --- DISTURBED LIMITS
 - 818 --- DRAINAGE DIRECTION
 - 818 --- PROPOSED SLOPE ARROWS
 - 818 --- EXISTING SPOT ELEVATIONS
 - 818 --- PROPOSED SPOT ELEVATIONS
 - 818 --- INLET PROTECTION
 - 818 --- TRACKING PAD

- ABBREVIATIONS**
- TC - TOP OF CURB
 - FF - FINISHED FLOOR
 - FL - FLOW LINE
 - SW - TOP OF WALL
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL

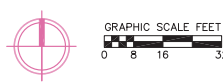


PROPOSED UTILITY LEGEND
--- STORM SEWER PIPE
--- STORM SEWER MANHOLE
--- STORM SEWER CURB INLET
--- SANITARY SEWER LATERAL PIPE
--- WATER SERVICE LATERAL PIPE





1 LANDSCAPE PLAN
L-1.1 1" = 16'-0"



PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
GTS	Gleditsia inaequalis 'Inermis' / Shademaster™ TM / Shademaster Locust 50-60' x 30-35'	B & B	2'S'Cal	2
EVERGREEN TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
PP	Picea pungens / Colorado Spruce 40-60' x 20-30'	B & B	6' ht.	3
TC	Tsuga canadensis / Canadian Hemlock	B & B	6' ht.	3
UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
MP	Malus x 'Prairie Maid' / Prairie Maid Crabapple 20' x 25'	B & B	2'Cal	1
SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac 25' h x 15' w	B & B	2'Cal	4
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Ha	Hydrangea arborescens 'Incrediball' / Incrediball White Hydrangea 4' x 4-5'	Cont.	5 Gal.	8
HpJ	Hydrangea paniculata 'Jane' TM / Little Line Hydrangea 3-5' x 3-5'	Cont.	5 Gal.	7
HpQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea 3-5' x 3-5'	Cont.	5 Gal.	7
Ra	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2-3' h x 6-8' w	Cont.	3 Gal.	8
SJ	Spiraea japonica 'Magik Carpet' / Magik Carpet Spiraea 2-3' x 3-4'	Cont.	3 Gal.	17
SbA	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea 4-5' x 4-5'	Cont.	3 Gal.	18
Vd	Viburnum dentatum 'Little Joe' / Little Joe Viburnum 4-5' x 4-5'	Cont.	5 Gal.	3
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
JcP	Juniperus chinensis 'Fairview' / Fairview Juniper 15-20' x 6-7'	B & B	5 ft.	2
JnB	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper 8-10' x 6-8'	Cont.	5 Gal.	3
JcP	Juniperus horizontalis 'Plumosa Compacta' / Creeping Juniper 1' x 6'	Cont.	5 Gal.	8
Js	Juniperus sibirica 'Blue Forest' / Blue Forest Juniper 12' x 3-4'	Cont.	5 Gal.	6
Tm	Taxus x media 'Everlow' / Everlow Yew 2-3' x 4-5'	Cont.	5 Gal.	9
PERENNIALS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
am	Anemone x 'Blue Ice' / Blue Ice Bluestar 18" x 24"	Cont.	4 in	15
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 3-5' h x 2' w	Cont.	1 Gal.	25
hc	Hosta x 'Frances' / Plantain Lily 2-4' x 2-4'	Cont.	1 Gal.	7
hf	Hebe x 'Frances' / Plantain Lily 2-4' x 2-4'	Cont.	1 Gal.	8
ms	Mathlaea struthifera / Ostrich Fern 2-4' x 2-4'	Cont.	1 Gal.	18
sh	Sporobolus heterolepis / Prairie Dropseed 24" x 18"	Cont.	1 Gal.	17

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by LaCrosse Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/toddled.
- Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permaloc CleanLine 1/2" x 4" or equal, color black anodized.

City of Madison Landscape Worksheet

Address:	1814 Packers Ave	Date:	05.11.20						
Total Square Footage of Developed Area:	53760	(Site Area)	-	(Building Footprint at Grade)	21314	=	32446	sf	
Total Landscape Points Required (<5 ac):	32,446	/ 300 =	108	x 5 =	541				
Landscape Points Required >5 ac:	0	/ 100 =	0	x 1 =	-				
		Credits/ Existing Landscaping		New/ Proposed Landscaping					
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved			
Overstory deciduous tree	2.5' cal	35		0	2	70			
Tall Evergreen Tree	9-6 feet tall	35		0	6	210			
Ornamental tree	1.5' cal	15		0	5	75			
Upright evergreen shrub	3-4 feet tall	10		0	2	20			
Shrub, deciduous	#3 gallon container size, Min. 12-24"	3		0	68	204			
Shrub, evergreen	#3 gallon container size, Min. 12-24"	4		0	26	104			
Ornamental grasses/perennials	#1 gallon container size, Min. 8-18"	2		0	75	150			
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0		0			
Existing significant specimen tree	Min. Size 2.5' cal. Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch. Max. points per tree: 200		0		0			
Landscape Furniture for public seating and/or transit connections	Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points	5 points per "seat"		0		0			
Sub Totals			0	833					
			Total Points Provided:	833					

knothe • bruce
ARCHITECTS
7400 University Ave, Ste 301
Madison, WI 53742
Phone: 608.836.3690
CONSULTANT

Issued for Land Use Submittal - XXXX

ISSUED

PROJECT TITLE
Liberty Mortgage & Development Company

Packers Avenue & Schlimmen Avenue
SHEET TITLE
Landscape Plan

SHEET NUMBER

L-1.1

PROJECT NO. **1973**
© Knothe & Bruce Architects, LLC



1 BASEMENT FLOOR PLAN
A-1.0 1/8" = 1'-0"



ISSUED
Issued for Land Use & UDC - May 20, 2020

PROJECT TITLE
**LIBERTY
MORTGAGE &
DEVELOPMENT
COMPANY**

PACKERS AVENUE
& SCHLIMGEN
AVENUE
SHEET TITLE
**BASEMENT
FLOOR PLAN**

SHEET NUMBER

A-1.0
PROJECT NUMBER **1973**
© Knothe & Bruce Architects, LLC



1 FIRST FLOOR PLAN
1/8" = 1'-0"



ISSUED
Issued for Land Use & UDC - May 20, 2020

PROJECT TITLE
**LIBERTY
MORTGAGE &
DEVELOPMENT
COMPANY**

**PACKERS AVENUE
& SCHLIMGEN
AVENUE**

SHEET TITLE
**FIRST FLOOR
PLAN**

SHEET NUMBER

A-1.1

PROJECT NUMBER **1973**
© Knothe & Bruce Architects, LLC



1 SECOND FLOOR PLAN
A-1.2 1/8" = 1'-0"



ISSUED
Issued for Land Use & UDC - May 20, 2020

PROJECT TITLE
**LIBERTY
MORTGAGE &
DEVELOPMENT
COMPANY**

PACKERS AVENUE
& SCHLIMGEN
AVENUE

SHEET TITLE
**SECOND FLOOR
PLAN**

SHEET NUMBER

A-1.2

PROJECT NUMBER **1973**
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1 THIRD FLOOR PLAN
A-1.3 1/8" = 1'-0"



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PROJECT TITLE
**LIBERTY
MORTGAGE &
DEVELOPMENT
COMPANY**

PACKERS AVENUE
& SCHLIMGEN
AVENUE

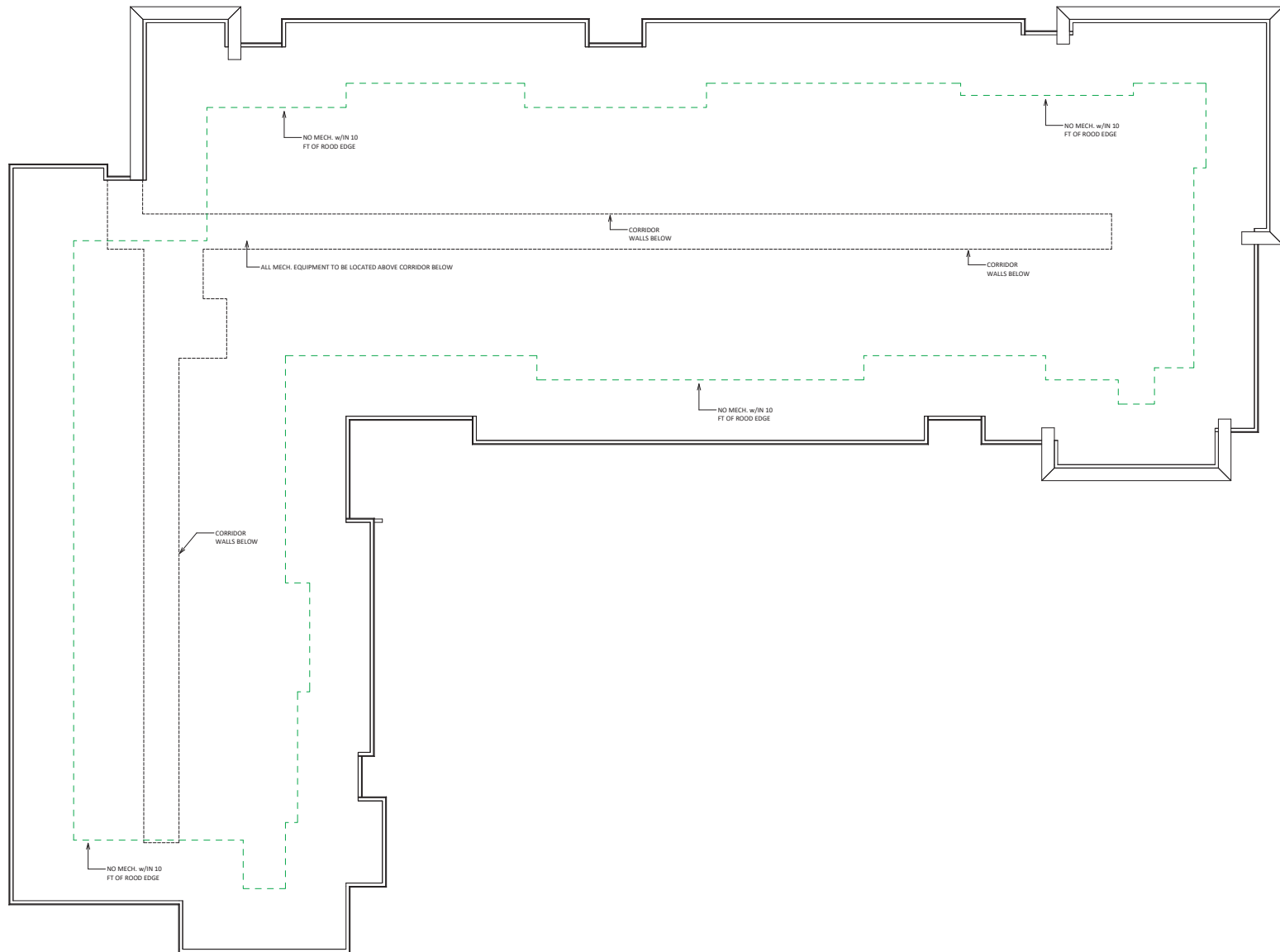
SHEET TITLE
**THIRD FLOOR
PLAN**

SHEET NUMBER

A-1.3

PROJECT NUMBER **1973**
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1 ROOF PLAN
 A-1.5 1/8" = 1'-0"





1
A-2.1
EAST ELEVATION
1/8" = 1'-0"



2
A-2.1
SOUTH ELEVATION
1/8" = 1'-0"

PROJECT TITLE
**LIBERTY
MORTGAGE &
DEVELOPMENT
COMPANY**

**PACKERS AVENUE
& SCHLIMGEN
AVENUE**

SHEET TITLE
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A-2.1

PROJECT NUMBER **1973**

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EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
4" COMPOSITE LAP SIDING - (R1)	JAMES HARDIE	NAVAJO BEIGE
6" COMPOSITE LAP SIDING - (R2)	JAMES HARDIE	AGED PEWTER
COMPOSITE TRIM	JAMES HARDIE	NAVAJO BEIGE
BRICK VENEER	ACME BRICK	GARNET - VELOUR TEXTURE
COMPOSITE WINDOWS	ANDERSON	TAN
ALUM. STOREFRONT	N/A	BLACK
METAL DOORS/FRAMES	N/A	NAVAJO BEIGE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH COMPOSITE TRIM
SOFFITS & FASCIA	N/A	NAVAJO BEIGE
RAILINGS	SUPERIOR	BLACK



1
A-2.2
WEST ELEVATION
1/8" = 1'-0"



2
A-2.2
NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
4" COMPOSITE LAP SIDING - (R1)	JAMES HARDIE	NAVAJO BEIGE
6" COMPOSITE LAP SIDING - (R2)	JAMES HARDIE	AGED PEWTER
COMPOSITE TRIM	JAMES HARDIE	NAVAJO BEIGE
BRICK VENEER	ACME BRICK	GARNET - VELOUR TEXTURE
COMPOSITE WINDOWS	ANDERSON	TAN
ALUM. STOREFRONT	N/A	BLACK
METAL DOORS/FRAMES	N/A	NAVAJO BEIGE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH COMPOSITE TRIM
SOFFITS & FASCIA	N/A	NAVAJO BEIGE
RAILINGS	SUPERIOR	BLACK



1 EAST ELEVATION COLOR
1/8" = 1'-0"



2 SOUTH ELEVATION COLOR
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
4" COMPOSITE LAP SIDING - (R1)	JAMES HARDIE	NAVAJO BEIGE
6" COMPOSITE LAP SIDING - (R2)	JAMES HARDIE	AGED PEWTER
COMPOSITE TRIM	JAMES HARDIE	NAVAJO BEIGE
BRICK VENEER	ACME BRICK	GARNET - VELOUR TEXTURE
COMPOSITE WINDOWS	ANDERSON	TAN
ALUM. STOREFRONT	N/A	BLACK
METAL DOORS/FRAMES	N/A	NAVAJO BEIGE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH COMPOSITE TRIM
SOFFITS & FASCIA	N/A	NAVAJO BEIGE
RAILINGS	SUPERIOR	BLACK



1
A-2.4
WEST ELEVATION COLOR
1/8" = 1'-0"



2
A-2.4
NORTH ELEVATION COLOR
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
4" COMPOSITE LAP SIDING - (R1)	JAMES HARDIE	NAVAJO BEIGE
6" COMPOSITE LAP SIDING - (R2)	JAMES HARDIE	AGED PEWTER
COMPOSITE TRIM	JAMES HARDIE	NAVAJO BEIGE
BRICK VENEER	ACME BRICK	GARNET - VELOUR TEXTURE
COMPOSITE WINDOWS	ANDERSON	TAN
ALUM. STOREFRONT	N/A	BLACK
METAL DOORS/FRAMES	N/A	NAVAJO BEIGE
STONE SILLS & BANDS	EDWARDS	COLOR TO MATCH COMPOSITE TRIM
SOFFITS & FASCIA	N/A	NAVAJO BEIGE
RAILINGS	SUPERIOR	BLACK



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EXTERIOR RENDERED PERSPECTIVE





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EXTERIOR RENDERED PERSPECTIVE





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EXTERIOR RENDERED PERSPECTIVE

