

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 702 Gardener Road

Title: Madison Yards at Hill Farms Block 3

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested 4/29/20

- ☒ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☒ Initial approval ☒ Final approval

3. Project Type

- ☒ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☒ Planned Development (PD)
☐ General Development Plan (GDP)
☒ Specific Implementation Plan (SIP)
☐ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Mark Theder
Street address 241 N. Broadway, Suite 400
Telephone (414) 453-0110

Company Madison Yards Block 3, LLC
City/State/Zip Milwaukee, WI 53202
Email mtheder@summitsmith.com

Project contact person Sean Roberts
Street address 241 N. Broadway, Suite 400
Telephone (414) 453-0110

Company Summit Smith Development
City/State/Zip Milwaukee, WI 53202
Email sroberts@summitsmith.com

Property owner (if not applicant) Madison Yards Block 6, LLC

Street address 241 N. Broadway, Suite 400
Telephone (414) 453-0110

City/State/Zip Milwaukee, WI 53202
Email mtheder@summitsmith.com

5. Required Submittal Materials

- ☐ **Application Form**
- ☐ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☐ **Development plans** (Refer to checklist on Page 4 for plan details)
- ☐ **Filing fee**
- ☐ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on 12/19/19.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Mark Theder Relationship to property Owner

Authorizing signature of property owner  Date 3/2/20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Madison Yards Block 3, LLC
241 N. Broadway, Suite 400, Milwaukee, WI 53202

March 4, 2020

City of Madison
Planning Division
215 Martin Luther King, Jr. Blvd, Suite 017
Madison, WI 53701

RE: Letter of Intent - Madison Yards at Hill Farms, Block 3 PD-SIP Land Use – UDC Initial/Final

This letter, together with plans, application and supplemental materials, constitutes our Land Use Application for Major Amendment to an Approved Planned Development – Specific Implementation Plan (PD-SIP) for the proposed Madison Yards at Hill Farms, Block 3 project.

Project Location:

The project site is located at 702 Gardener Road, Lot 3 Madison Yards at Hill Farms. The site is 1.2 acres.

Legal Description:

Lot 3, Madison Yards At Hill Farms, recorded in Volume 61-018B of Plats on Page 99, City of Madison, Dane County, Wisconsin.

Project Team:

Owner/Developer: Madison Yards Block 3, LLC
Master Planner/Civil Engineer/Landscape Architect: JSD Professional Services, Inc.
Architect: KTG Group, Inc.

Project Description

The Block 3 development is part of a multi-block development known as Madison Yards at Hill Farms and is more specifically located at the south west corner of Gardener Road and University Avenue in Madison, WI. This project shall consist of a mixed-use podium style building and contain retail, residential and parking uses.

The retail use is proposed to be a single level space of approximately 10,000 gsf and is located on the southern portion of the building facing the Central Green space of the overall development. The primary materials for the retail use will be aluminum/ glass storefront systems and masonry/ fiber cement wall panels.

The enclosed parking is located on the lower level and ground floor level and has separate entrances to each level. Parking entrance to the lower level garage is located on Gardener Way. Parking entrance to the ground floor level garage is located on the west façade of the building adjacent to the State Office building. A shared loading space for retail and residential is located on the west façade of the building. Parking for both retail and residential units are provided for on-site as previously approved in the GDP for

this development. The primary materials for the parking garage shall be masonry, metal screen panels and aluminum/ glass storefront systems.

The residential building is proposed as a 5-story building located at the podium level and contains 189 units. The residential lobby is located on the lower level at the corner of University and Gardene and is anticipated to be 2 stories in height with aluminum/ glass storefronts to activate the streetscape in this area. The residential building shall have an exterior amenity courtyard located at the podium level and fully enclosed by residential units. Balconies are proposed for most of the units and may be recessed or extended from the exterior façade. The primary building materials for the residential building are vinyl windows with insulated glazing, fiber cement and metal wall panels or siding. Balcony railings are painted metal or prefinished aluminum.

Existing Land Use

Former Wisconsin DOT Office Building & Parking – Vacant Pending Redevelopment

Zoning Request

The Madison Yards Planned Development General Development Plan (GDP) was approved and recorded in April 2019. The development team is seeking approval of the Madison Yards at Hill Farms Block 3 Specific Implementation Plan (SIP).

Zoning/ Project Data:

Block 3 is part of the Planned Development District – General Development Plan, Madison Yards at Hill Farms Redevelopment, 4802 Sheboygan Ave.

Block 3	Allowable/ required	Proposed
1) Site Area	1.2 Ac	1.2 Ac
2) Bldg Area(excluding parking)	50,000- 275,000 gsf	215,000 gsf
3) Building Height (max)	14 stories/ 175 ft	7 stories/ 85 ft
4) Minimum Setback (ft) University Avenue:		
a) 0' for 80% of building façade	80%	77%
b) 15' for 20% of building façade	20%	23%
5) Maximum Setback (ft) from University Ave:	30 ft	11'-4" ft
6) Minimum distance (ft) from base of building to existing back of curb on University Avenue:	30 ft	45'-10" ft
7) Min/Max Setback (ft) Madison Yards Way:	6/15 ft	6/10.5 ft
8) Min/Max Setback (ft) Gardener Road:	0/15 ft	0/6 ft
9) Min/Max Setback (ft) Side Yard:	0/15 ft	0/15 ft
10) On University Avenue, a minimum of 75% of the building façade, above 2 stories, will be stepped back a minimum of 10 ft from the property line.	10 ft	11 ft
11) Residential Density	250 units	189 units
12) Retail	15,000 sf	10,000 sf

Parking:

Parking for residential is a minimum of .9 spaces per unit and a maximum of 1.25 spaces per unit. Additional parking above the maximum may be shared with another use. The project includes 200 structured parking spaces.

No dedicated retail loading for buildings containing less than 12,000 sf of retail. Project is proposing 1 loading space.

Streets, Easements, Utilities and Fire Access

Streets within the Madison Yards development are privately held and maintained. Utility easements are in place for existing utility lines and future easements will be finalized and recorded once final plans are approved. Public access easements are in place as required in the final GDP approval.

Fire access for the site was discussed with Bill Sullivan of the Madison Fire Department, including fire lanes, aerial apparatus lanes, and street tree spacing. The approved GDP included a fire access plan for the project.

Traffic Impact Analysis

A traffic impact analysis (TIA) update from JSD Professional Services and an updated TDM Plan has been submitted with this letter.

Exterior Signage

All signage depicted in this submittal is for illustrative purposes only. The project team will follow the UDC signage review process as the design develops. Signage will be allowed per Chapter 31 of the Madison General Ordinances and will be provided with each SIP.

Tax Increment Financing

The Development Team is seeking TIF financing for the Madison Yards project. Initial conversations have been held with City of Madison staff and a formal TIF application is pending.

Anticipated Schedule

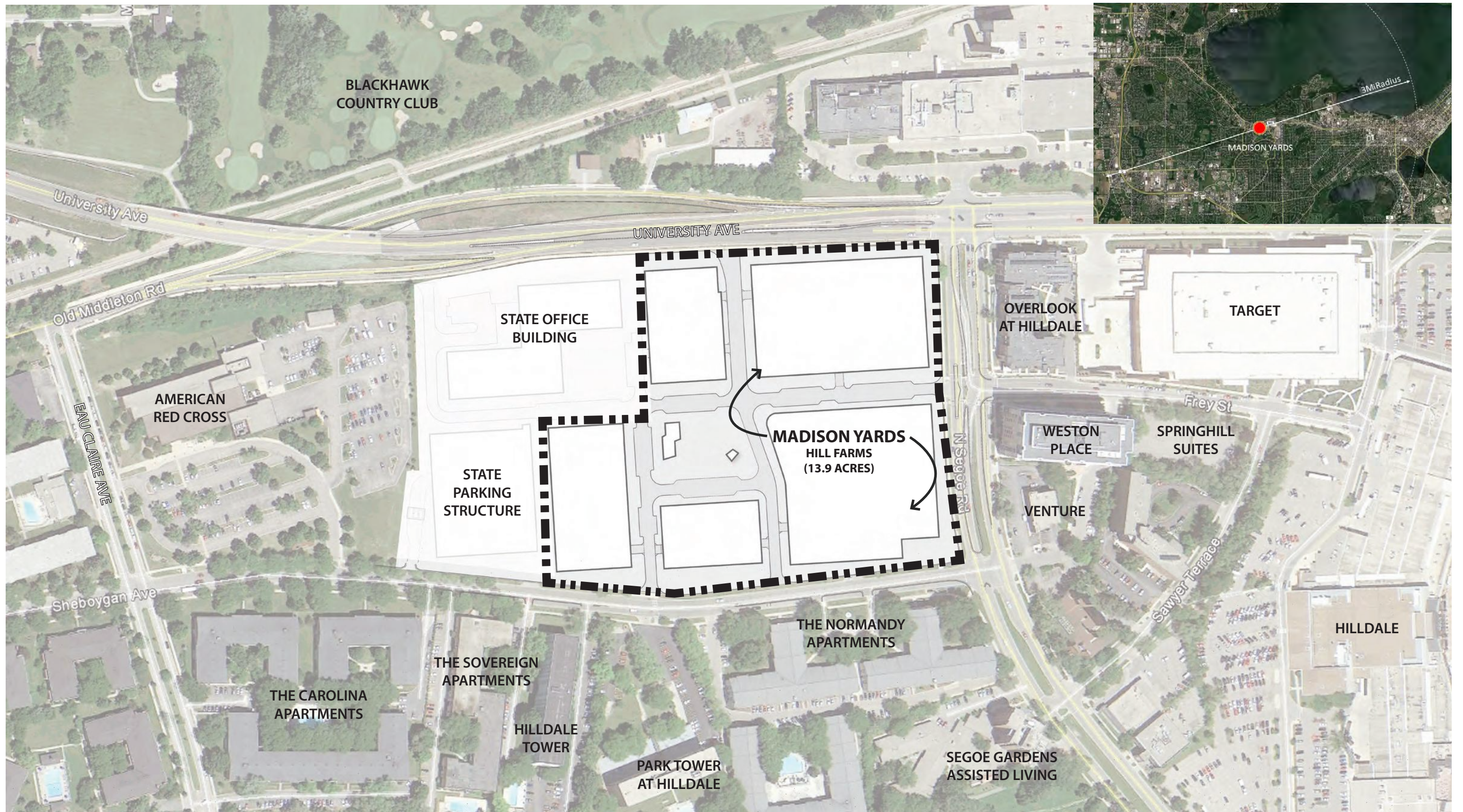
Construction of Project is scheduled for a summer of 2020 start with completion in 2022.

Sincerely,

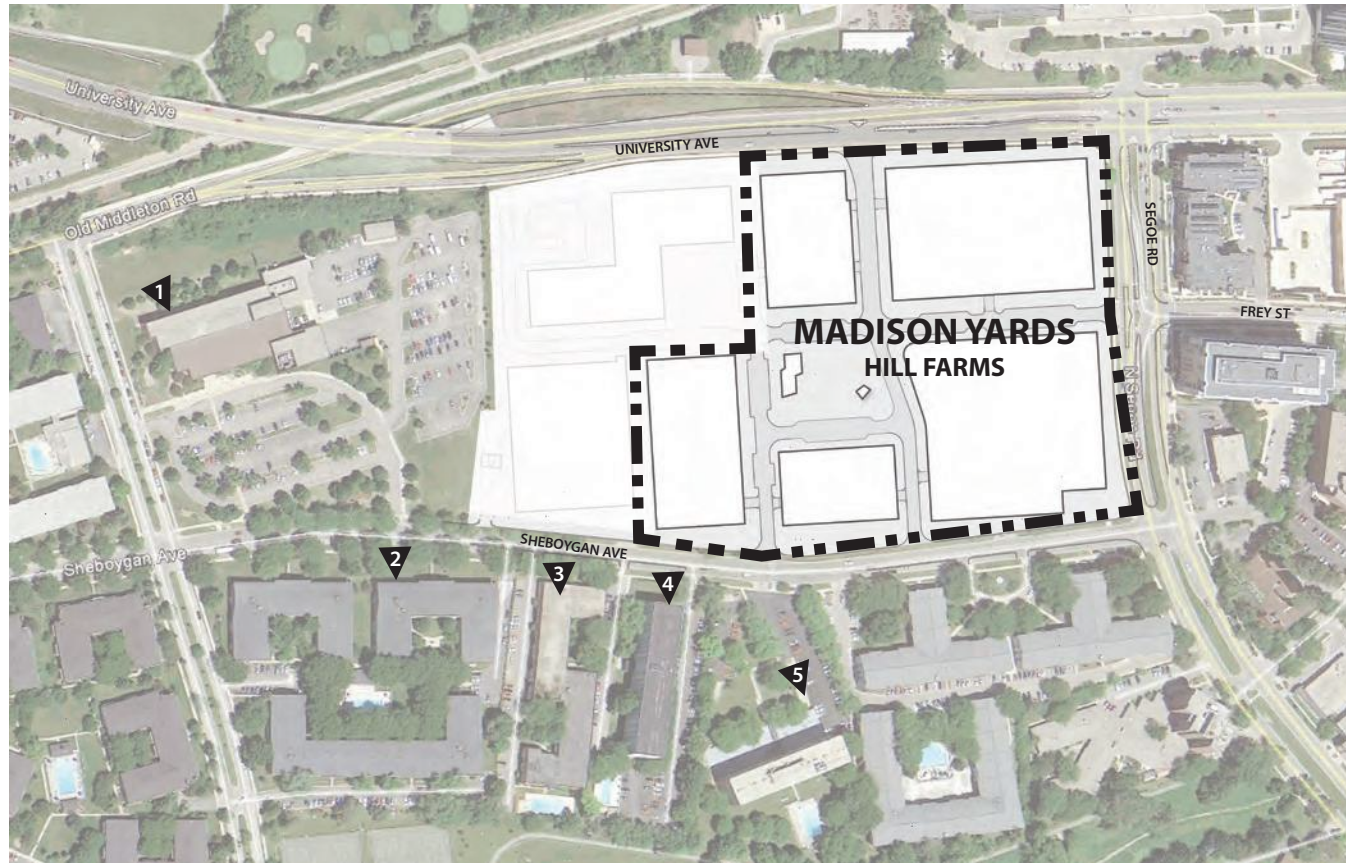
A handwritten signature in black ink, appearing to read "Mark Theder".

Mark Theder

Madison Yards Block 3, LLC



LOCATION MAP



1. AMERICAN RED CROSS



2. THE CAROLINA APARTMENTS



3. THE SOVEREIGN APARTMENTS

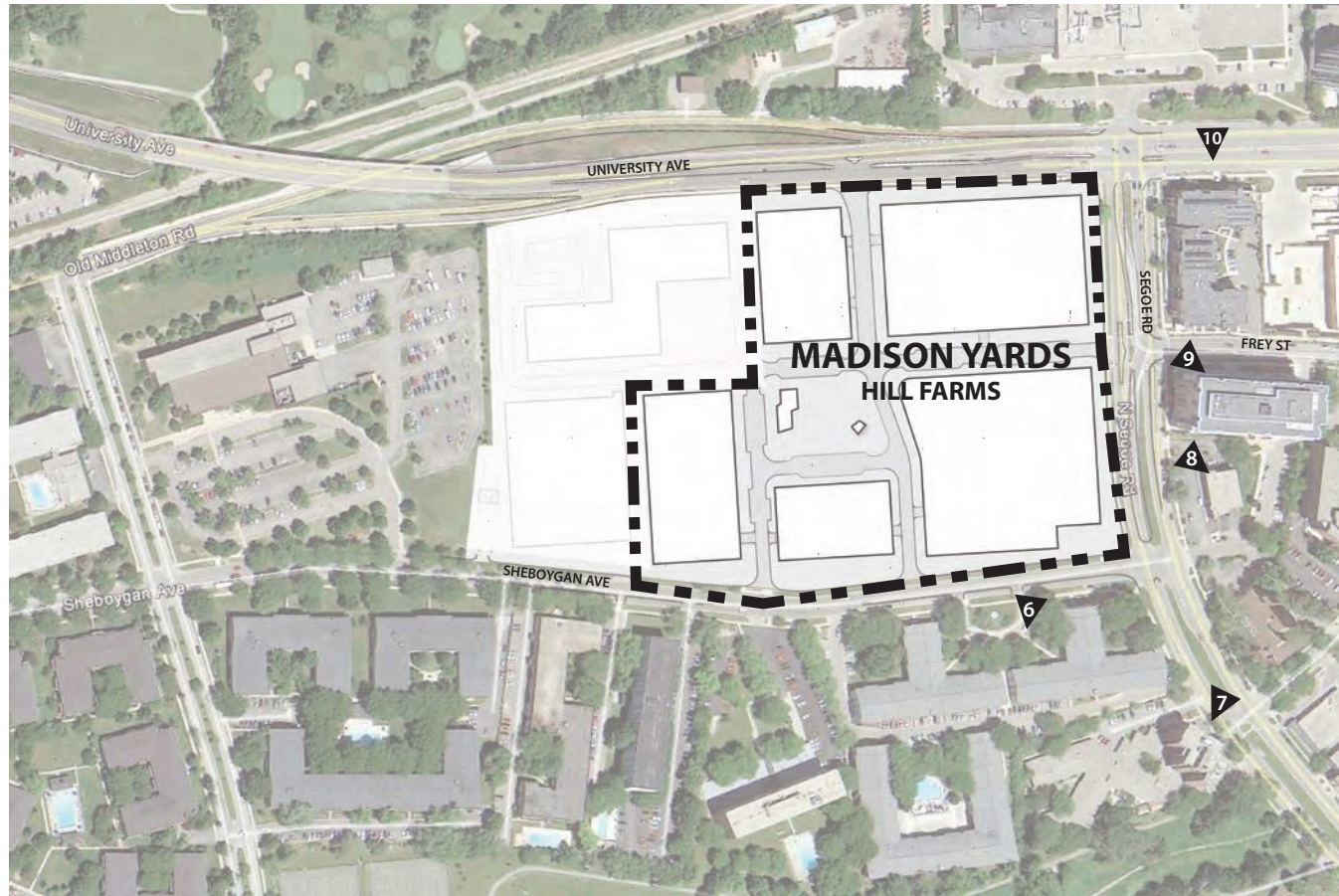


4. HILLDALE TOWER



5. PARK TOWER AT HILLDALE

CONTEXTUAL SITE INFORMATION



6. THE NORMANDY APARTMENTS



7. SEGOE GARDENS ASSISTED LIVING



8. VENTURE



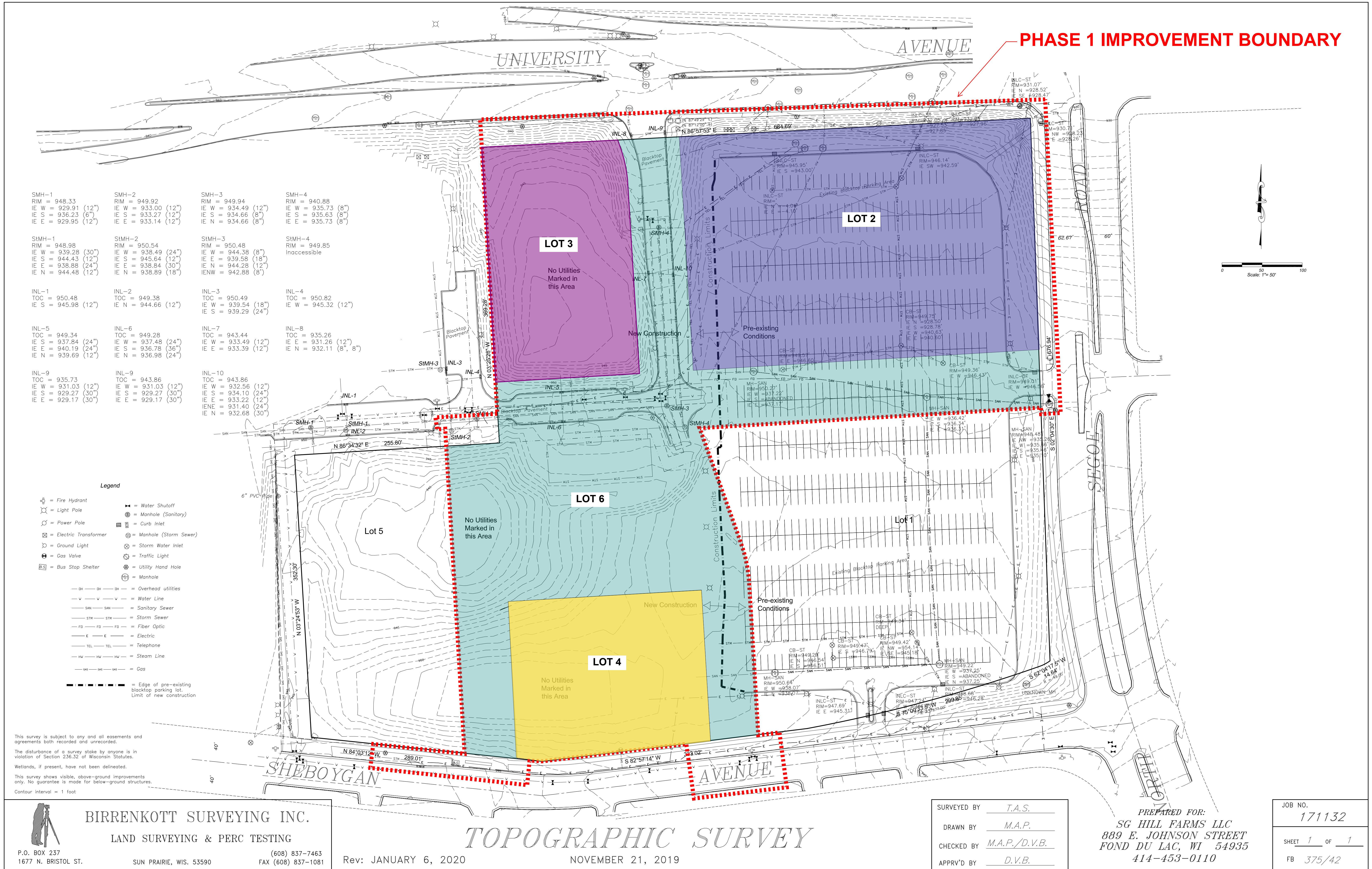
9. WESTON PLACE



10. OVERLOOK AT HILLDALE

CONTEXTUAL SITE INFORMATION





PHASE 1 IMPROVEMENT BOUNDARY

SMH-1 RIM = 948.33 IE W = 929.91 (12") IE S = 936.23 (6") IE E = 929.95 (12")	SMH-2 RIM = 949.92 IE W = 933.00 (12") IE S = 933.27 (12") IE E = 933.14 (12")	SMH-3 RIM = 949.94 IE W = 934.49 (12") IE S = 934.66 (8") IE N = 934.66 (8")	SMH-4 RIM = 940.88 IE W = 935.73 (8") IE S = 935.63 (8") IE E = 935.73 (8")
StMH-1 RIM = 948.98 IE W = 939.28 (30") IE S = 944.43 (12") IE E = 938.88 (24") IE N = 944.48 (12")	StMH-2 RIM = 950.54 IE W = 938.49 (24") IE S = 945.64 (12") IE E = 938.84 (30") IE N = 938.89 (18")	StMH-3 RIM = 950.48 IE W = 944.38 (8") IE E = 939.58 (18") IE N = 944.28 (12") IENW = 942.88 (8")	StMH-4 RIM = 949.85 Inaccessible
INL-1 TOC = 950.48 IE S = 945.98 (12")	INL-2 TOC = 949.38 IE N = 944.66 (12")	INL-3 TOC = 950.49 IE W = 939.54 (18") IE S = 939.29 (24")	INL-4 TOC = 950.82 IE W = 945.32 (12")
INL-5 TOC = 949.34 IE S = 937.84 (24") IE E = 940.19 (24") IE N = 939.69 (12")	INL-6 TOC = 949.28 IE W = 937.48 (24") IE S = 936.78 (36") IE E = 936.98 (24")	INL-7 TOC = 943.44 IE W = 933.49 (12") IE E = 933.39 (12")	INL-8 TOC = 935.26 IE E = 931.26 (12") IE N = 932.11 (8", 8")
INL-9 TOC = 935.73 IE W = 931.03 (12") IE S = 929.27 (30") IE E = 929.17 (30")	INL-9 TOC = 943.86 IE W = 931.03 (12") IE S = 929.27 (30") IE E = 929.17 (30")	INL-10 TOC = 943.86 IE W = 932.56 (12") IE S = 934.10 (24") IE E = 933.22 (12") IENE = 931.40 (24") IE N = 932.68 (30")	

Legend

- Fire Hydrant
- Light Pole
- Power Pole
- Electric Transformer
- Ground Light
- Gas Valve
- Bus Stop Shelter
- Water Shutoff
- Manhole (Sanitary)
- Curb Inlet
- Manhole (Storm Sewer)
- Storm Water Inlet
- Traffic Light
- Utility Hand Hole
- Manhole
- Overhead utilities
- Water Line
- Sanitary Sewer
- Storm Sewer
- Fiber Optic
- Electric
- Telephone
- Steam Line
- Gas
- Edge of pre-existing blacktop parking lot.
- Limit of new construction

This survey is subject to any and all easements and agreements both recorded and unrecorded.
The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.
Wetlands, if present, have not been delineated.
This survey shows visible, above-ground improvements only. No guarantee is made for below-ground structures.
Contour interval = 1 foot

BIRRENKOTT SURVEYING INC.

LAND SURVEYING & PERC TESTING

P.O. BOX 237
1677 N. BRISTOL ST.

SUN PRAIRIE, WIS. 53590

(608) 837-7463
FAX (608) 837-1081

Rev: JANUARY 6, 2020

TOPOGRAPHIC SURVEY

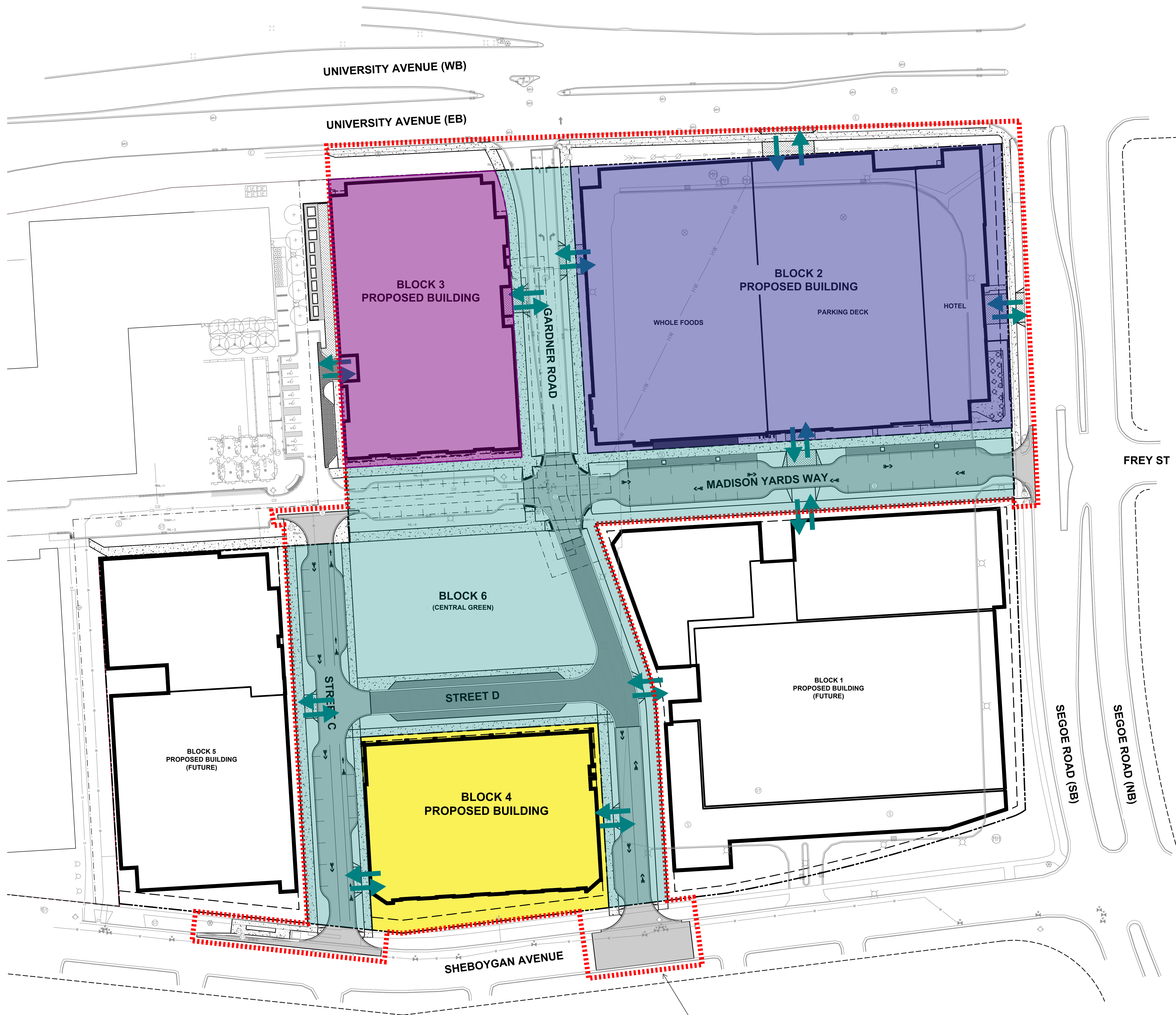
NOVEMBER 21, 2019

SURVEYED BY	T.A.S.
DRAWN BY	M.A.P.
CHECKED BY	M.A.P./D.V.B.
APPR'D BY	D.V.B.

PREPARED FOR:
SG HILL FARMS LLC
889 E. JOHNSON STREET
FOND DU LAC, WI 54935
414-453-0110

JOB NO.	171132
SHEET	1 OF 1
FB	375/42

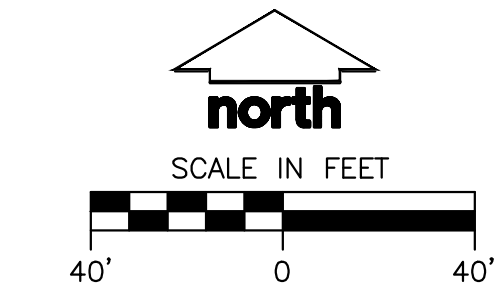
File: L:\2019\190328\DWG\Civil\Sheet\190328 BLK C2.0 - SITE PLAN.dwg Layout: C2.0 - SITE PLAN.dwg User: kyska Printed: Jan 22, 2020 7:17am Xref's:



PHASE 1 IMPROVEMENT BOUNDARY

PROPERTY LIMITS

- BLOCK 2
- BLOCK 3
- BLOCK 4
- BLOCK 6



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APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
606 LIBERTY AVENUE
PITTSBURGH, PA 15222

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 6**

PROJECT LOCATION:
MADISON, WI
DANE

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.05.2020	UDC INITIAL-FINAL SUBMITTAL
3		
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Design/Drawn:
Approved:

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO: 19-0360

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

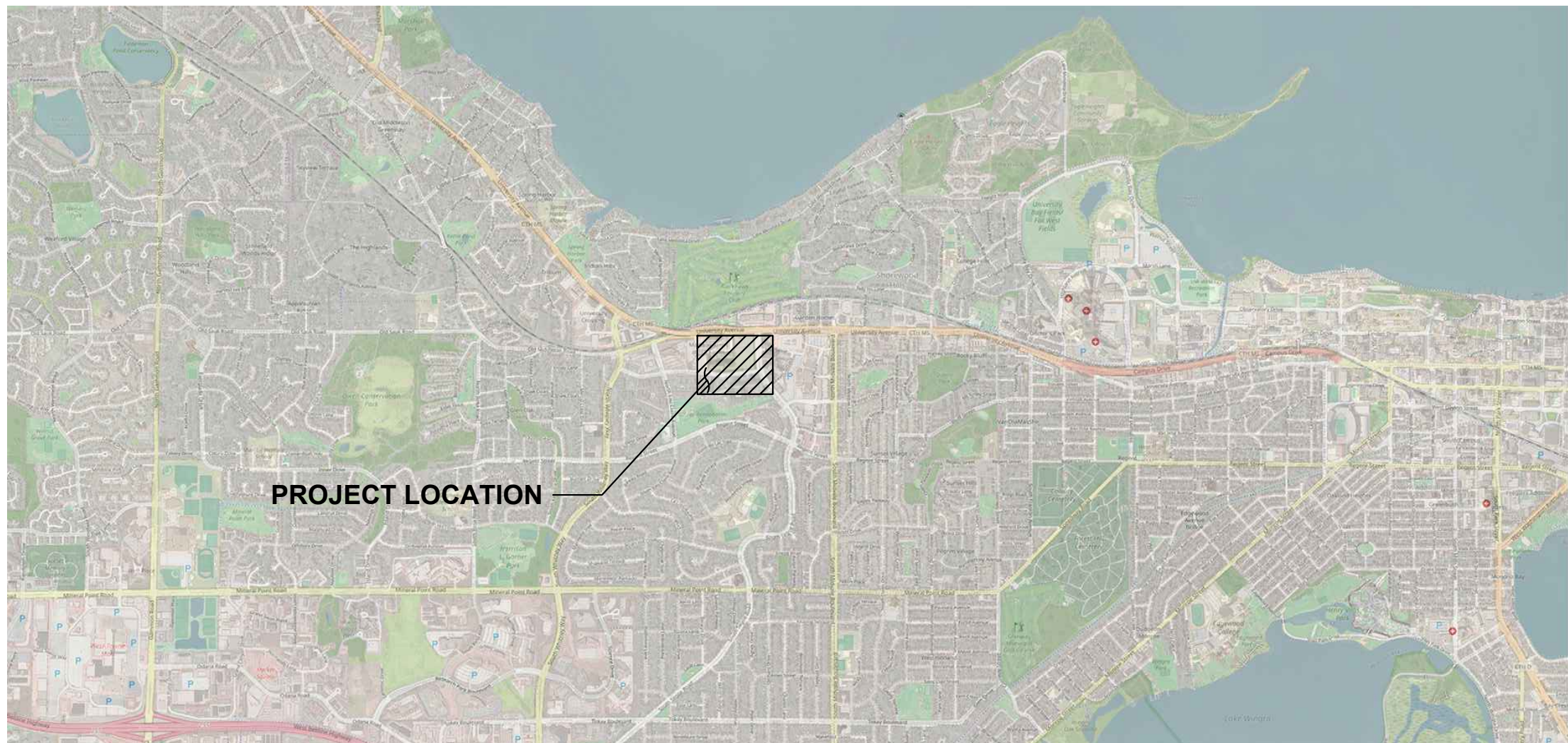
MADISON YARDS AT HILLS FARMS

BLOCK 3 PRIVATE IMPROVEMENTS SET

CITY OF MADISON, WISCONSIN
702 GARDENER ROAD, MADISON, WI 53705

DRAWING INDEX

B3-TS	BLOCK 3 TITLE SHEET
	TOPOGRAPHIC SURVEY
B3-C0.1	BLOCK 3 NOTES & LEGEND
B3-C1.0	BLOCK 3 OVERALL SITE PLAN
B3-C1.1	BLOCK 3 DETAILED SITE PLAN - NORTH
B3-C1.2	BLOCK 3 DETAILED SITE PLAN - SOUTH
B3-C2.0	BLOCK 3 OVERALL GRADING & EROSION CONTROL PLAN
B3-C2.1	BLOCK 3 DETAILED GRADING PLAN - NORTH
B3-C2.2	BLOCK 3 DETAILED GRADING PLAN - SOUTH
B3-C3.0	BLOCK 3 UTILITY PLAN
B3-C4.0	BLOCK 3 DETAILS - EROSION CONTROL & UTILITIES
B3-C4.1	BLOCK 3 DETAILS - SITE
B3-L1.0	BLOCK 3 OVERALL LANDSCAPE PLAN
B3-L1.1	BLOCK 3 DETAILED LANDSCAPE PLAN - NORTH
B3-L1.2	BLOCK 3 DETAILED LANDSCAPE PLAN - SOUTH
B3-L2.0	BLOCK 3 LANDSCAPE DETAILS & NOTES



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER
SMITH - GILBANE
PROJECT CONTACT: SEAN ROBERTS
241 N. Broadway, Suite 400
Milwaukee, WI 53202
P: 414-453-0110
C: 412-999-9643
E: sroberts@summitsmith.com

CONSTRUCTION MANAGER
SMITH - GILBANE
PROJECT CONTACT: JASON BOS
241 N. Broadway, Suite 400
Milwaukee, WI 53202
C: 920-948-0692
E: jbos@cdsmith.com

PROJECT CONSULTANT / LANDSCAPE ARCHITECT
JSD PROFESSIONAL SERVICES, INC.
PROJECT CONTACT: KEVIN YESKA
161 Horizon Drive, Suite 101
Verona, WI 53593
P: 608-848-5060
C: 608-609-6794
E: kevin.yeska@jsdinc.com

ARCHITECT
KTYG ARCHITECTURE + PLANNING
CONTACT: CRAIG PRYDE
217 N. Jefferson, Suite 400
Chicago, IL 60661
P: 312-549-4905
C: 630-881-3950
E: cpryde@ktgy.com

CIVIL ENGINEERING
JSD PROFESSIONAL SERVICES, INC.
PROJECT CONTACT: TOMAS TORO
161 Horizon Drive, Suite 101
Verona, WI 53593
P: 608-848-5060
C: 608-963-2133
E: tomas.toro@jsdinc.com

MUNICIPAL CONTACTS

CITY OF MADISON DEPARTMENT OF PUBLIC WORKS/ENGINEER
CONTACT: JANET SCHMIDT
City-County Building, Room 115
210 Martin Luther King Jr. Boulevard
Madison, WI 53703
P: 608-261-9688
E: jschmidt@cityofmadison.com

CITY OF MADISON FORESTRY
CONTACT: BRAD HOFMANN
P: 608-267-4908
C: 608-220-6796
E: bhofmann@cityofmadison.com

UTILITY CONTACTS

GAS
Madison Gas & Electric Company
CONTACT: STEVE BEVERSDORF
133 South Blair Street
Madison, WI 53788
P: 608-252-1552
C: 608-444-9620
E: sbeversdorf@mge.com

ELECTRIC
Madison Gas & Electric Company
CONTACT: BRIAN BIGGE
623 Railroad Street
Madison, WI 53703
P: 608-252-7338
E: bbigge@mge.com



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CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:		
#	Date:	Description:
1	02.28.2020	GMP SET
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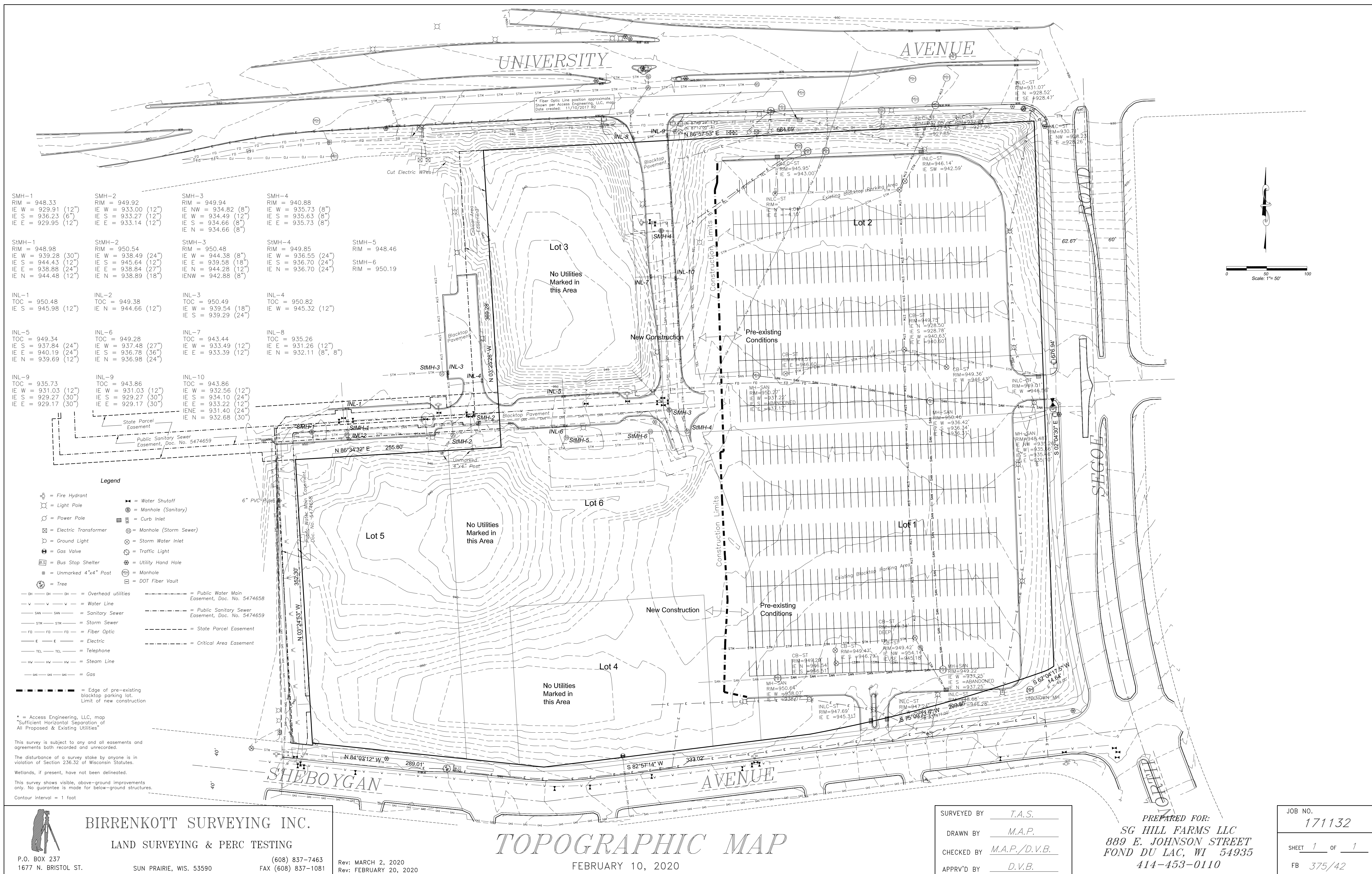
Design/Drawn:
Approved:

SHEET TITLE:
BLOCK 3
TITLE SHEET

SHEET NUMBER:
B3-TS



JSD PROJECT NO: 19-0360



GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION VERIFY AND MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC INC. DATED FEBRUARY 27, 2018 (REPORT C17549).
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION – NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DETECTED SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET CITY OF MADISON REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 2.1. CODES AND STANDARDS – THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS – APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (–1° C).
 - 2.3. GRADE CONTROL – ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE – THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE – THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE – THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS – THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

3. CONCRETE PAVING SPECIFICATIONS
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
 - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS WILL DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
3. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
4. CONTRACTOR SHALL PROVIDE NOTICE TO THE CITY OF MADISON IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
5. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
6. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
7. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
8. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
9. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE SIZE, TYPE, ELEVATION, AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSEINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN – AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. STORM SEWER SPECIFICATIONS –

PIPE – REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".

INLETS – INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEEHAH R-3067 OR EQUAL.

BACKFILL AND BEDDING – STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEEHAH R-1550 WITH SELF SEALING LIDS, NON-ROCKING OR EQUAL.

FIELD TILE CONNECTION – ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

13. WATER MAIN SPECIFICATIONS –

PIPE – DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, 24"-30", WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).

VALVES AND VALVE BOXES – GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.2.7.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

HYDRANTS – HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).

BEDDING AND COVER MATERIAL – PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

14. SANITARY SEWER SPECIFICATIONS –

PIPE – SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

BEDDING AND COVER MATERIAL – BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL – BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLES – MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.

MANHOLE FRAMES AND COVERS – MANHOLE FRAMES AND COVERS SHALL BE NEEHAH R-1550 WITH SELF SEALING LIDS, NON-ROCKING OR EQUAL.

15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSTALL PERMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ON ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDMR TECHNICAL STANDARDS 1052 AND 1053.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDMR TECHNICAL STANDARD 1068.
15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDMR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDMR REQUIREMENTS.
17. STABILIZATION PRACTICES:
 - 17.1. *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 17.2. *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 17.3. *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE)
 - HYDRO-MULCHING WITH A TACKIFIER
 - GEOTEXTILE EROSION MATTING
 - SODDING.

LEGEND

-----	PROPERTY LINE
- - - - -	RIGHT-OF-WAY
- - - - -	EASEMENT LINE
=====	BUILDING OUTLINE
=====	BUILDING OVERHANG
=====	BUILDING SETBACK LINE
=====	EDGE OF PAVEMENT
=====	18" CONCRETE VALLEY CURB
=====	ASPHALT PAVEMENT
=====	CONCRETE PAVEMENT
=====	HEAVY DUTY CONCRETE PAVEMENT
=====	PROPOSED 1 FOOT CONTOUR
=====	PROPOSED 5 FOOT CONTOUR
=====	EXISTING 1 FOOT CONTOUR
=====	EXISTING 5 FOOT CONTOUR
=====	DRAINAGE DIRECTION
=====	FENCE
=====	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
=====	BIKE RACK
=====	SAWTOOTH EXISTING PAVEMENT
=====	SANITARY SEWER (REFER TO BLOCK 6 PLAN SET)
=====	WATERMAIN (REFER TO BLOCK 6 PLAN SET)
=====	STORM SEWER (REFER TO BLOCK 6 PLAN SET)
=====	PRELIMINARY GAS LINE (REFER TO FINAL PLAN BY MG&E)
=====	SILT FENCE
=====	RIP-RAP
=====	CONSTRUCTION ENTRANCE
=====	EROSION MATTING
=====	TURF REINFORCEMENT MATTING
=====	SPOT ELEVATION
=====	EP – EDGE OF PAVEMENT
=====	FG – FINISH GRADE
=====	EC – EDGE OF CONCRETE
=====	BCC – BACK OF CURB
=====	MATCH – MATCH EXISTING GRADE
=====	HP – HIGH POINT
=====	SW – SIDEWALK
=====	INLET PROTECTION (REFER TO BLOCK 6 PLAN SET)
=====	TREE PROTECTION FENCING
=====	LANDSCAPE EDGING
=====	DECORATIVE STONE MULCH



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE | WAUSAU
APPLETON | KENOSHA | CHICAGO
COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

PLAN MODIFICATIONS:		
#	Date:	Description:
1	02.28.2020	GMP SET
2		
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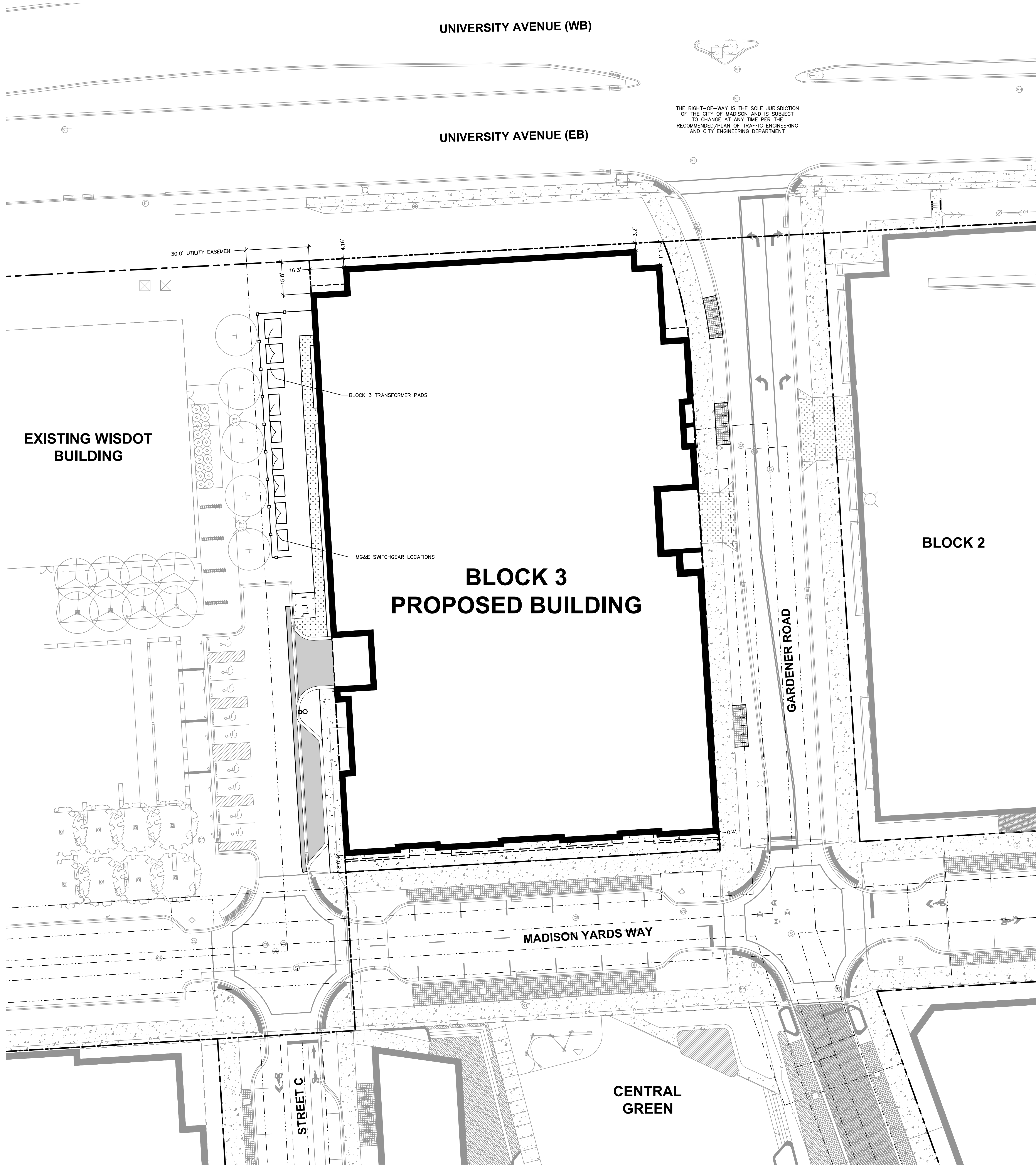
Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 3
NOTES & LEGEND**

SHEET NUMBER:
B3-C0.1
JSD PROJECT NO: 19-0360



File: C:\019\199298_199298 - Block 3\WDC\NL\LANDSCAPE SHEETS\199298 BLK3 - C1.0 - SITE PLAN.dwg Layout: C1.0 User: kysela Plotted: Mar 03, 2020 - 12:46pm XHP's



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

BLOCK 3	
SITE INFORMATION BLOCK	
SITE ADDRESS	702 GARDENER ROAD
PROPERTY ACREAGE	1.20 ACRES
NUMBER OF BUILDING STORIES	6
TOTAL BUILDING SQUARE FOOTAGE	47,294
GROSS BUILDING SQUARE FOOTAGE	(REFER TO ARCHITECTURAL)
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	0
ACCESSIBLE	0
TOTAL SURFACE	0
UNDERGROUND	
LARGE	(REFER TO ARCHITECTURAL)
ACCESSIBLE	(REFER TO ARCHITECTURAL)
TOTAL UNDERGROUND	(REFER TO ARCHITECTURAL)
ON-STREET BICYCLE STALLS:	36
INDOOR BICYCLE STALLS:	185
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	0 SF
EXISTING PERVIOUS SURFACE AREA	52,272 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.00
PROPOSED IMPERVIOUS SURFACE AREA	51,059 SF
PROPOSED PERVIOUS SURFACE AREA	1,213 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.98



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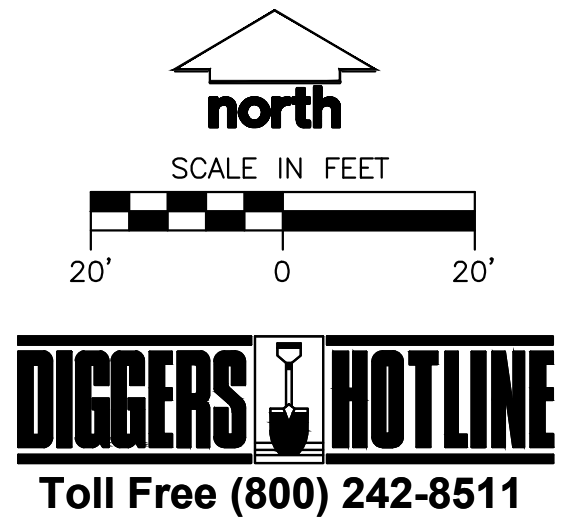
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Design/Drawn:
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SHEET TITLE:
**BLOCK 3
OVERALL SITE PLAN**

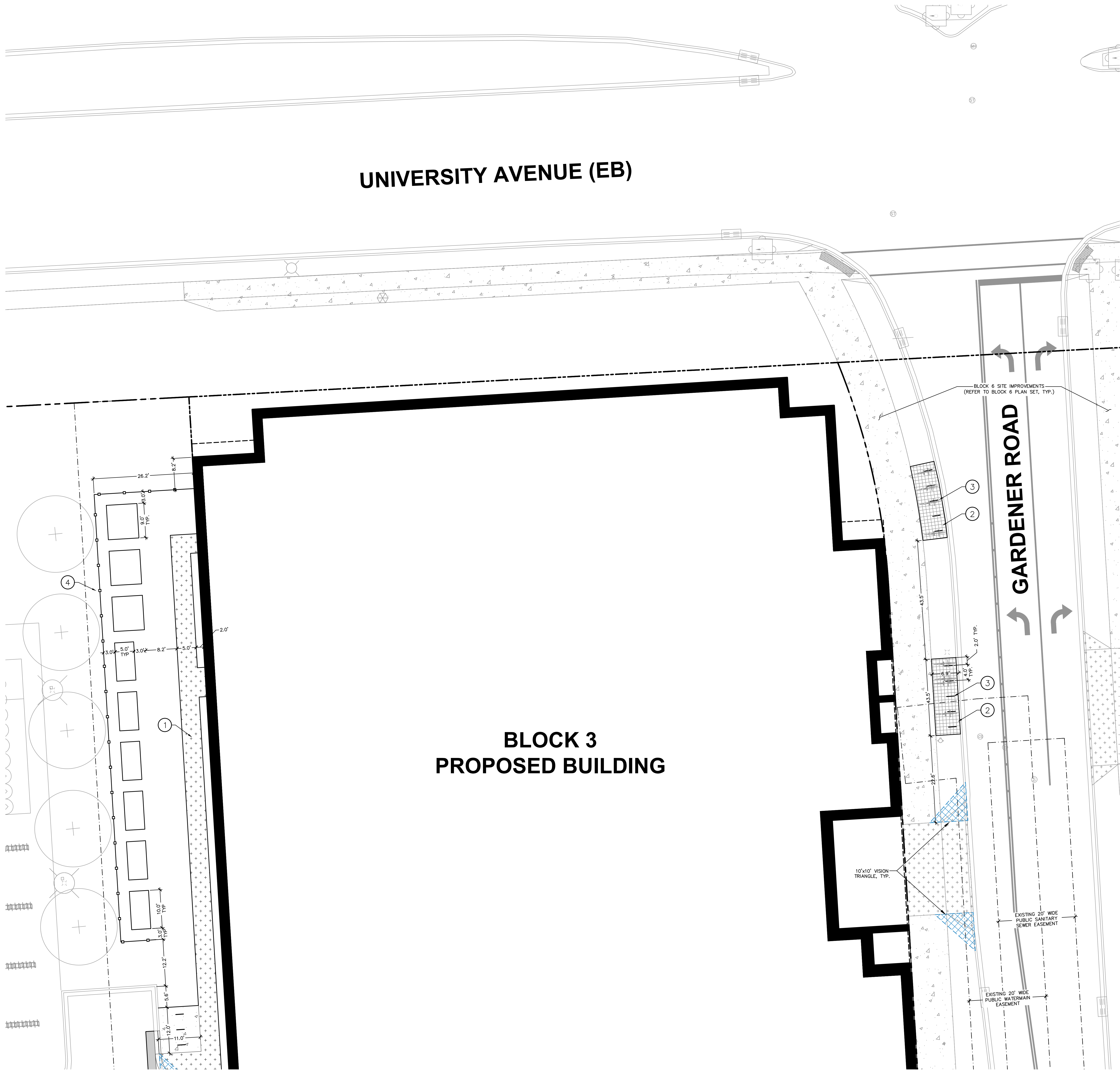
SHEET NUMBER:
B3-C1.0

JSD PROJECT NO: 19-0360



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File: 12011919326L_19326L - Block 3060000000 LANDSCAPE SHEETS19326L BLDG C1.0 - SITE PLAN.dwg Layout: C1 User: kysela Plotted: Mar 03, 2020 12:53pm Xref's:



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES
1. HEAVY-DUTY CONCRETE PAVEMENT SECTION. SEE DETAIL.
2. ARCHITECTURAL PAVERS. SEE DETAIL.
3. CORTEN STEEL BIKE RACKS. SEE DETAIL.
4. SCREENING FENCE. (REFER TO ARCHITECTURAL)



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COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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FOR CONSTRUCTION

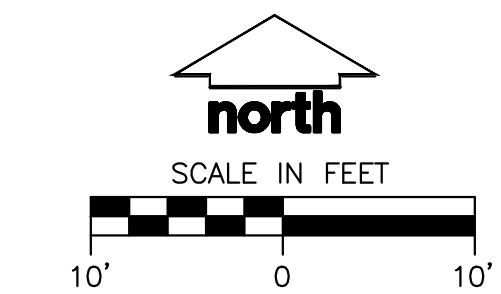
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Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 3
DETAILED SITE PLAN
NORTH**

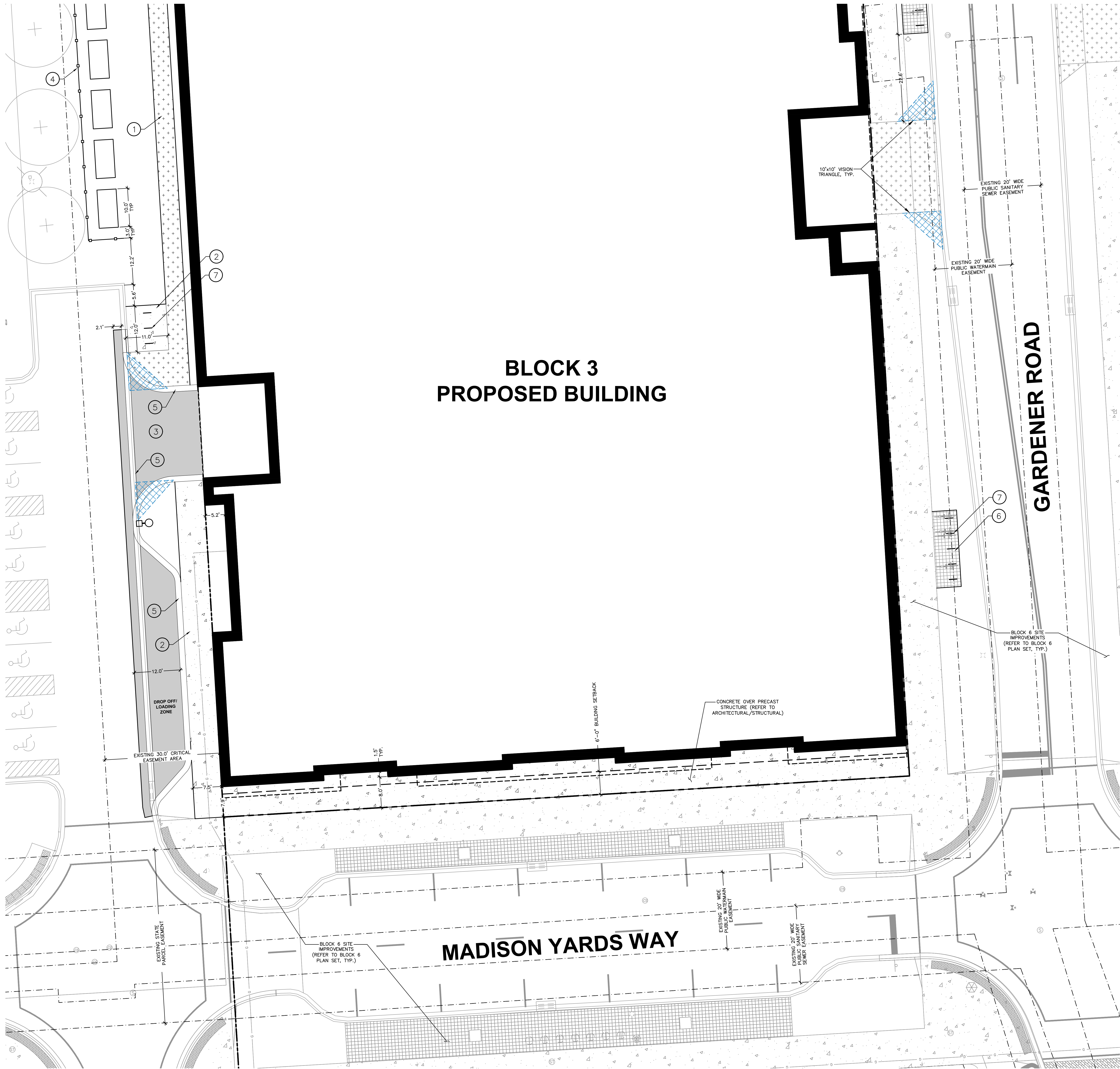
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B3-C1.1

JSD PROJECT NO: 19-0360



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File: C:\019189386\199386 - Block 3\DWG\LANDSCAPE SHEETS\199386 BLK3 - C1.0 - SITE PLAN.dwg Layout: C1.0 User: kysala Printed: Mar 03, 2020 - 12:51pm XHP's



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. HEAVY-DUTY CONCRETE PAVEMENT SECTION. SEE DETAIL.
2. CONCRETE SIDEWALK PAVEMENT SECTION. SEE DETAIL.
3. ASPHALT PAVEMENT. SEE DETAIL.
4. SCREENING FENCE. (REFER TO ARCHITECTURAL)
5. 18" VALLEY CURB. SEE DETAIL.
6. ARCHITECTURAL PAVERS. SEE DETAIL.
7. CORTEN STEEL BIKE RACKS. SEE DETAIL.



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
**702 GARDENER ROAD
MADISON, WI 53705**

REVIEW DRAWING
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FOR CONSTRUCTION

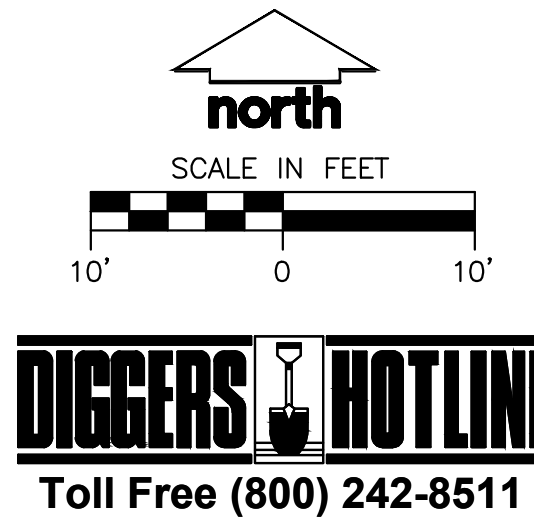
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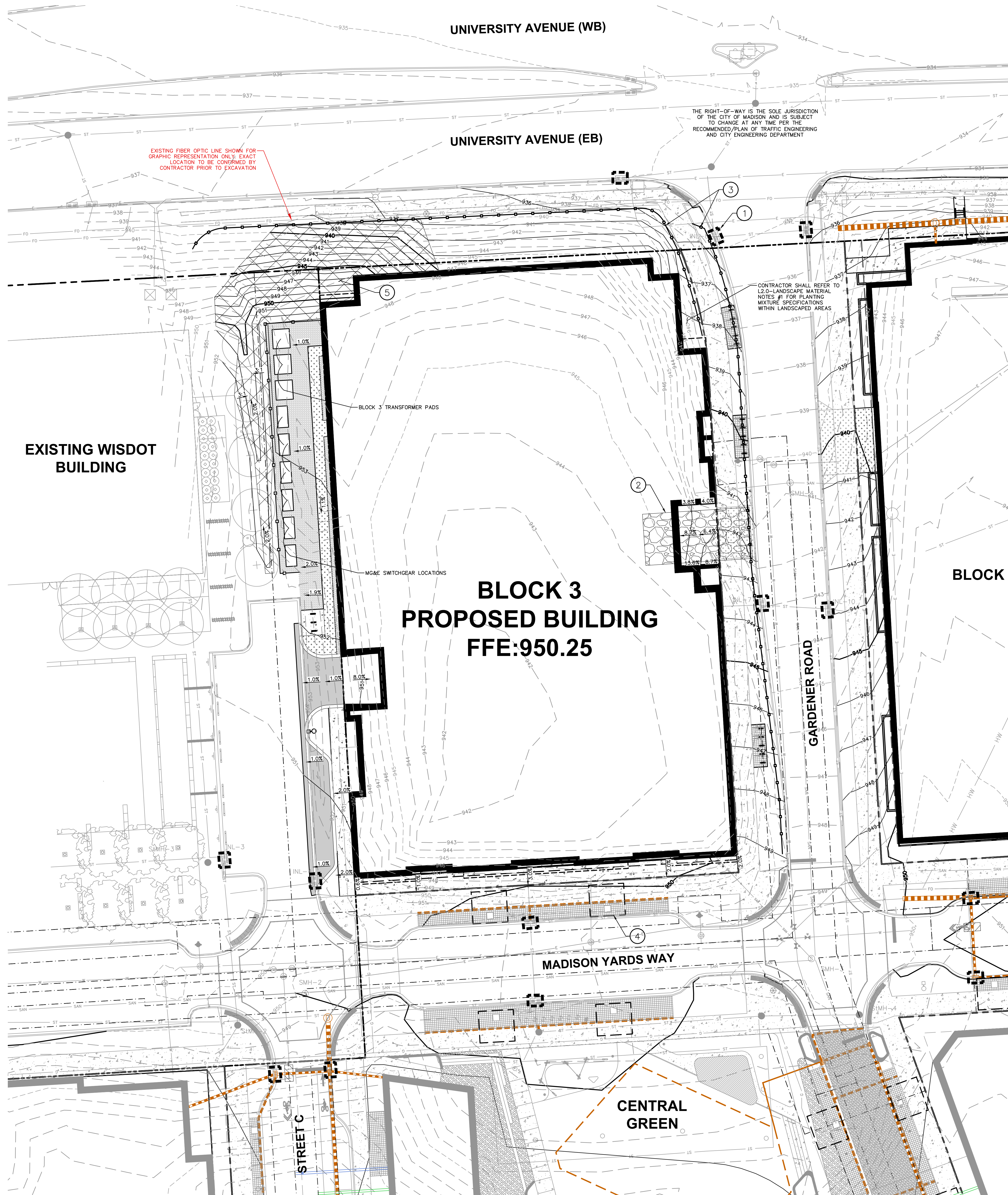
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**BLOCK 3
DETAILED SITE PLAN
SOUTH**

SHEET NUMBER:
B3-C1.2

JSD PROJECT NO: 19-0360



File: L:\2019\190326\190326 - Block 3\WDC\LANDSCAPE SHEETS\190326 BLK3 C2.0 - GRADING & EROSION CONTROL.dwg Layout: C2.0 User: kysana Printed: Mar 03, 2020 11:23pm Xref's:



LEGEND

REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

NOTES

1. FRAMED INLET PROTECTION, TYP. (REFER TO BLOCK 6 PLAN SET)
2. CONSTRUCTION ENTRANCE. SEE DETAIL.
3. SILT FENCE, TYP. SEE DETAIL.
4. SOIL CELL EXTENTS (REFER TO BLOCK 6 PLAN SET)
5. EROSION MATTING, REFER TO EROSION CONTROL NOTE 13 AND DETAIL.



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

SMITH Gilbane

CLIENT ADDRESS:

241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:

**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:

702 GARDENER ROAD
MADISON, WI 53705

REVIEW DRAWING
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FOR CONSTRUCTION

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Approved:

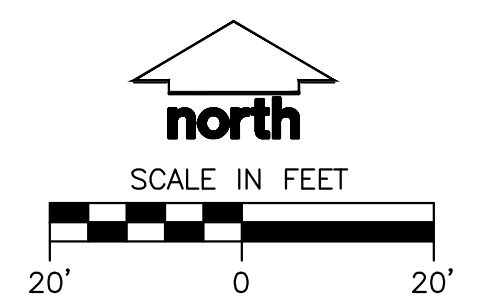
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**BLOCK 3
OVERALL
GRADING & EROSION
CONTROL PLAN**

SHEET NUMBER:

B3-C2.0

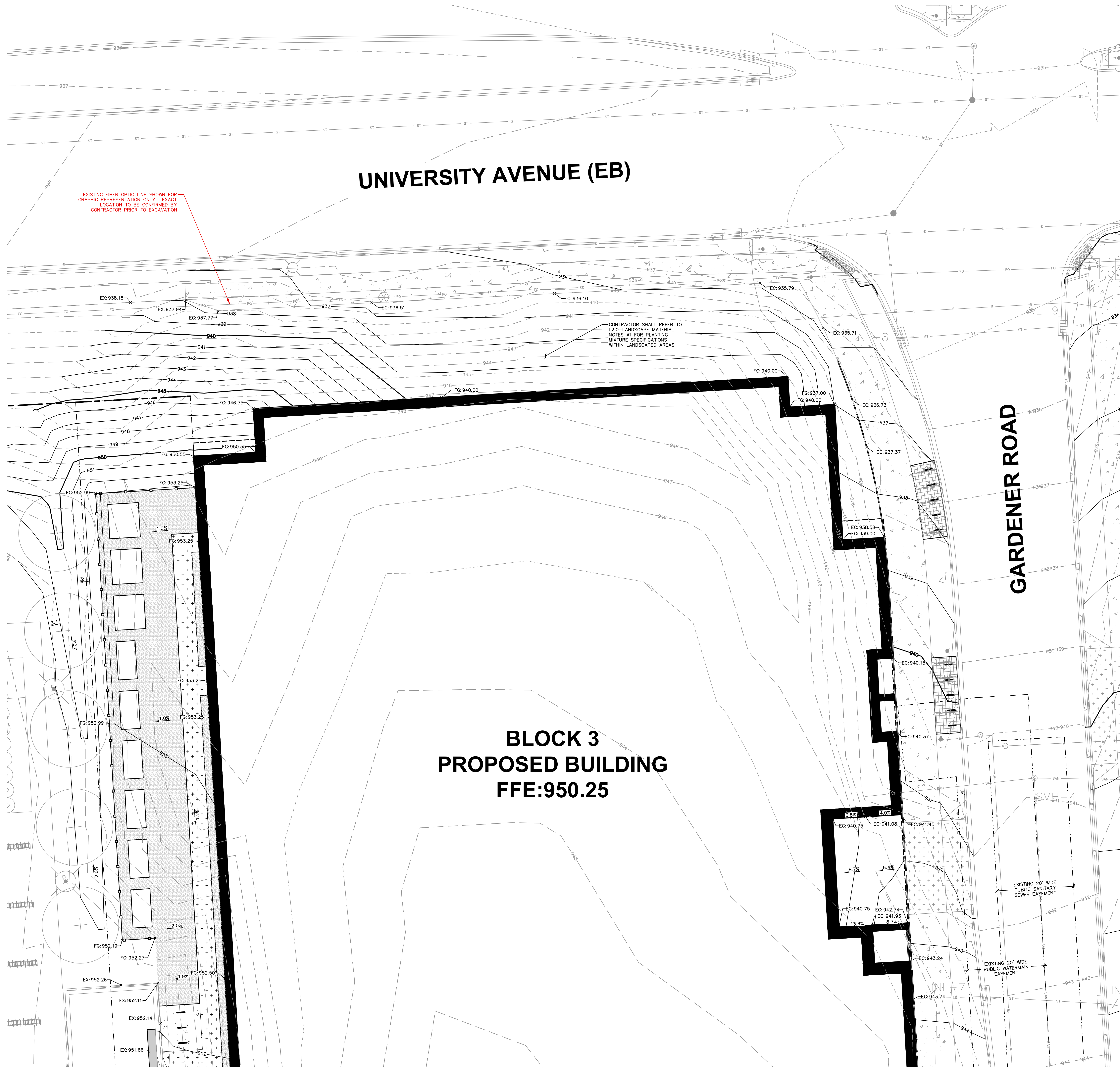
JSD PROJECT NO:

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File: I:\2019\190308 - Block 3\DWG\CIVIL\LANDSCAPE\BLOCK 3 - GRADING & EROSION CONTROL.dwg Layout: C21 User: kysana Printed: Mar 03, 2020 1:24pm Xref's:



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

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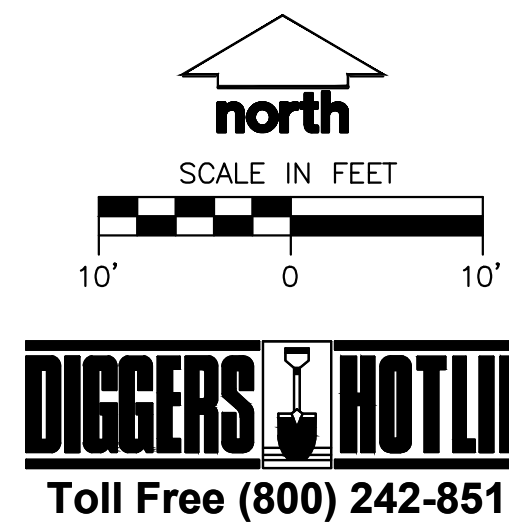
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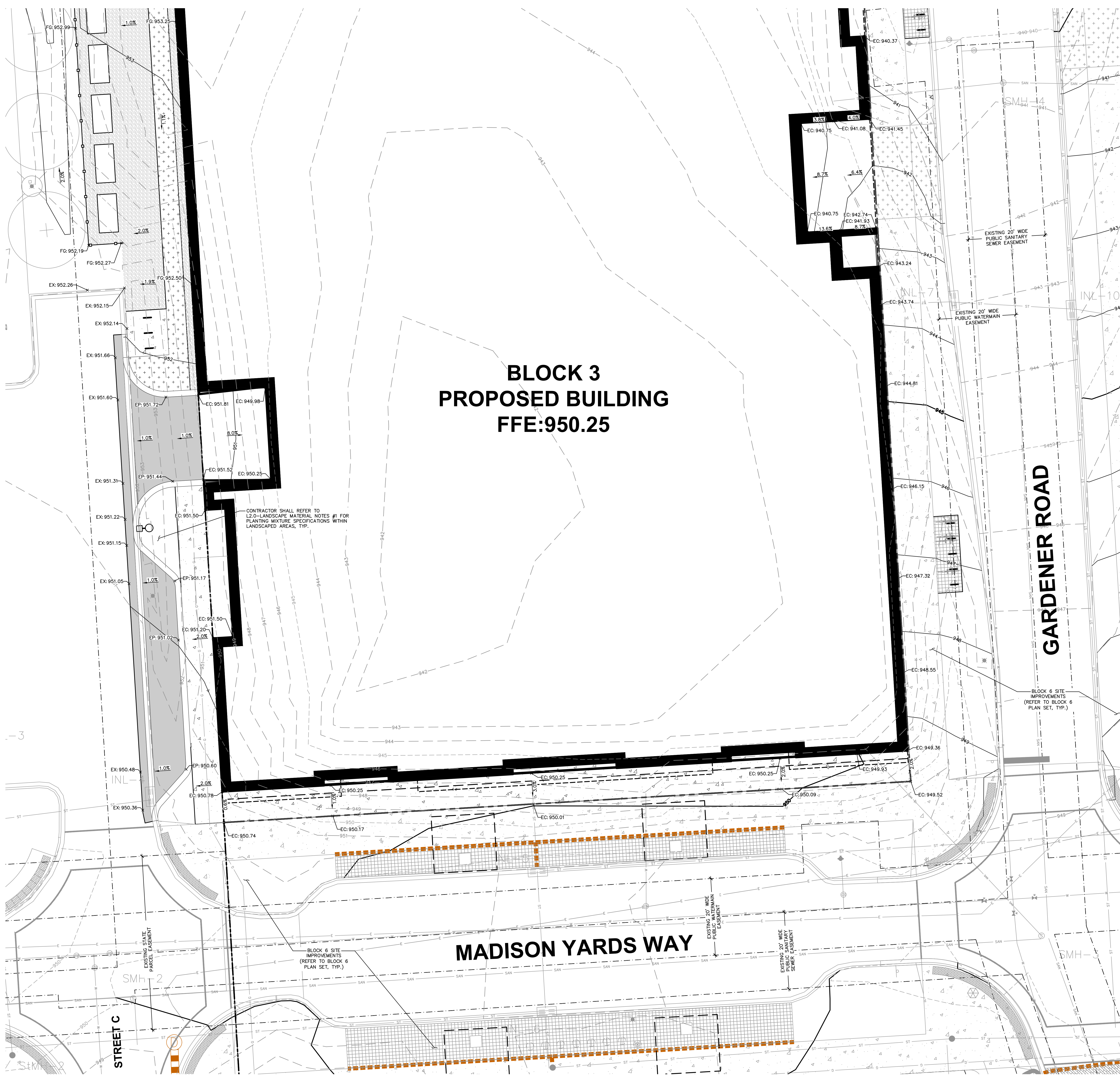
Design/Drawn:
Approved:

SHEET TITLE:
**BLOCK 3
DETAILED GRADING PLAN
NORTH**

SHEET NUMBER:
B3-C2.1

JSD PROJECT NO: 19-0360





REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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161 HORIZON DRIVE, SUITE 101
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P. 608.848.5060

PATIENT:



PROJECT:
MADISON YARDS AT
MILL FARMS
BLOCK 3

PROJECT LOCATION:
02 GARDENER ROAD
MADISON, WI 53705

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Approved: _____

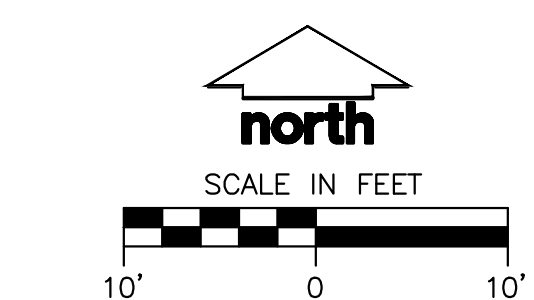
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ETAILED GRADING PLAN
OUTH**

SHEET NUMBER:

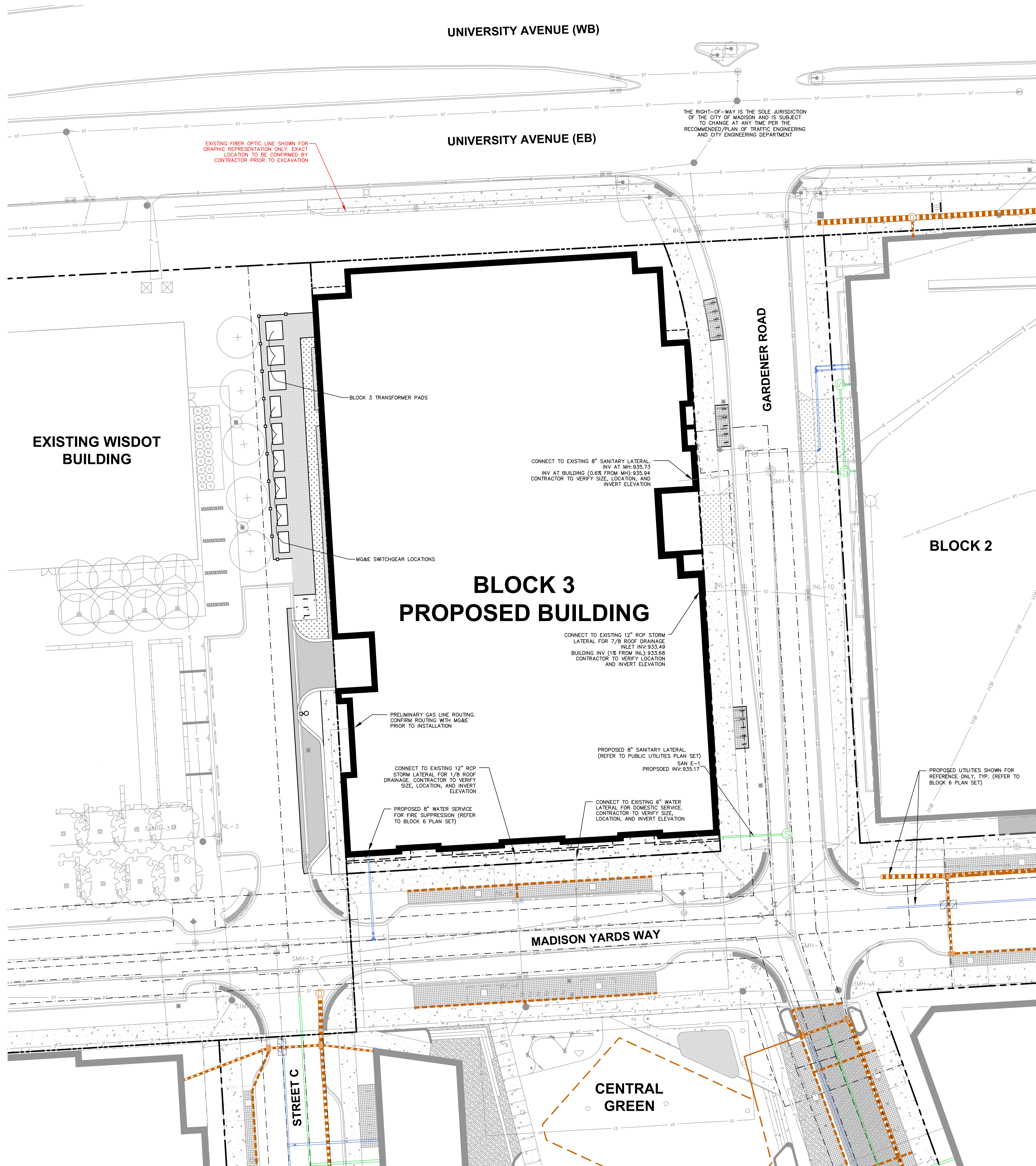
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D. PROJECT NO:

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File: C:\019199298\199298 - Block 3\DWG\LANDSCAPE SHEETS\199298 BLK3 C3.0 - UTILITY PLAN.dwg Layout: C3.0 User: Kyska Printed: Mar 03, 2020 - 1:30pm Kref:



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION



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P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

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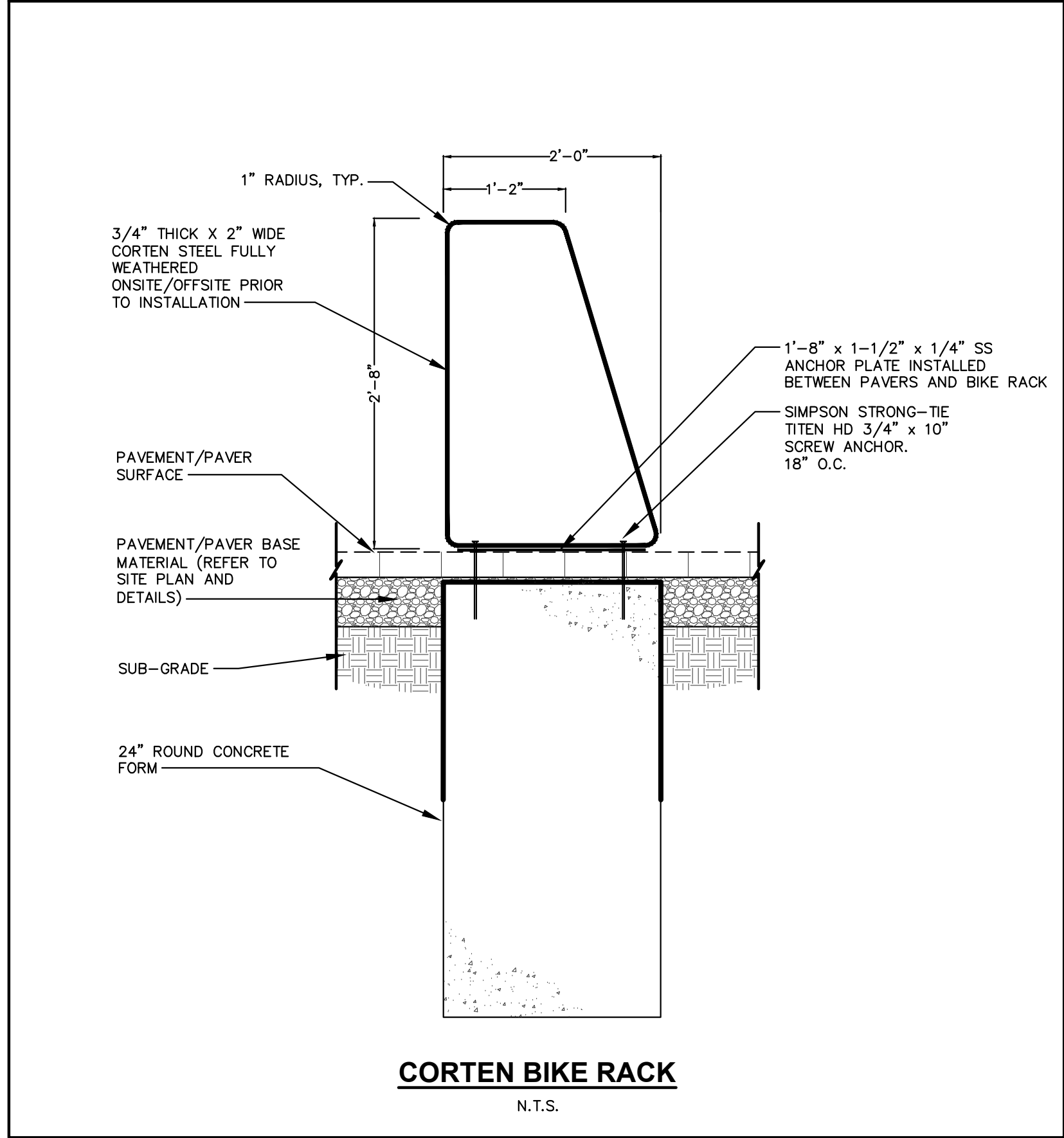
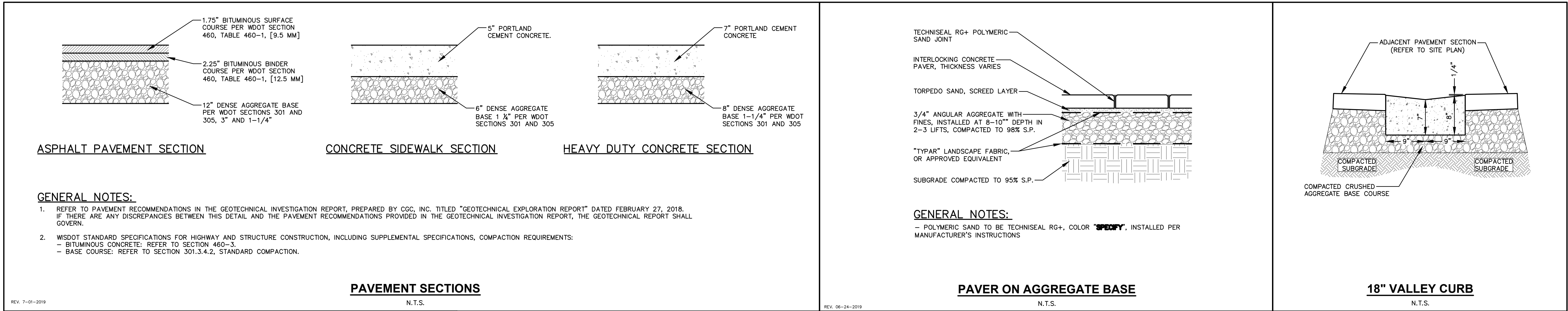
SHEET TITLE:
**BLOCK 3
UTILITY PLAN**

SHEET NUMBER:
B3-C3.0

JSD PROJECT NO: 19-0360

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File: L:\2019\190326\190326 - Block 3\DWG\CIVIL\LANDSCAPE SHEETS\190326 BLK3 - C4.0 - DETAILS.dwg Layout: C4.1 User: lyneka Printed: Feb 28, 2020 9:50pm Xref(s):



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COEUR D'ALENE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202

PROJECT:
MADISON YARDS AT HILL FARMS BLOCK 3

PROJECT LOCATION:
702 GARDENER ROAD
MADISON, WI 53705

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FOR CONSTRUCTION

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Approved:

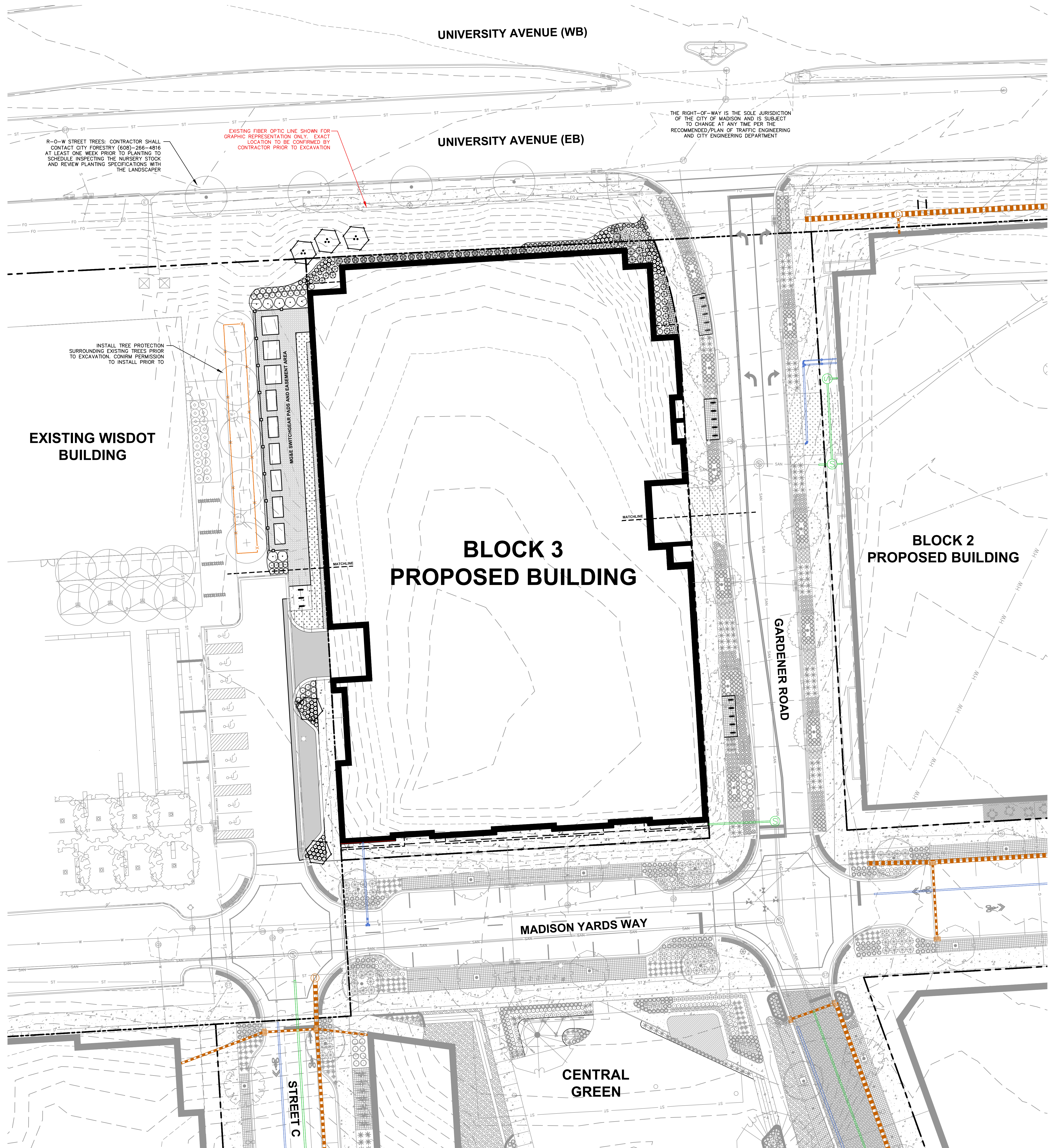
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**BLOCK 3
DETAILS - SITE**

SHEET NUMBER:
B3-C4.1

JSD PROJECT NO: 19-0365

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File: L2019199308 - Block 3 OVERALL LANDSCAPE SHEETS 199308.BLOCK 3 - L1.0 - OVERALL LANDSCAPE PLAN User: kyska Printed: Mar 03, 2020 1:14pm Xref: 19-9308.BLOCK 3 MADISON YARDS - BLOCK 3



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	
	AJ	Amelanchier laevis 'JFS-Arb' / Spring Flurry Serviceberry	
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	
	AB	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry	
	HT	Hydrangea macrophylla 'Twist-n-Shout' / Twist-n-Shout Hydrangea	
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	
	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	
	TME	Taxus x media 'Everlow' / Yew	
	TMT	Taxus x media 'Tauntonii' / Tauton Yew	
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	
	CN	Calamintha nepeta 'Montrose White' / Montrose White Catmint	
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass	
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower	
	SC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia	
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	



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MADISON REGIONAL OFFICE
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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
**702 GARDENER ROAD
MADISON, WI 53705**

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Design/Drawn: MWS
Approved: KJV

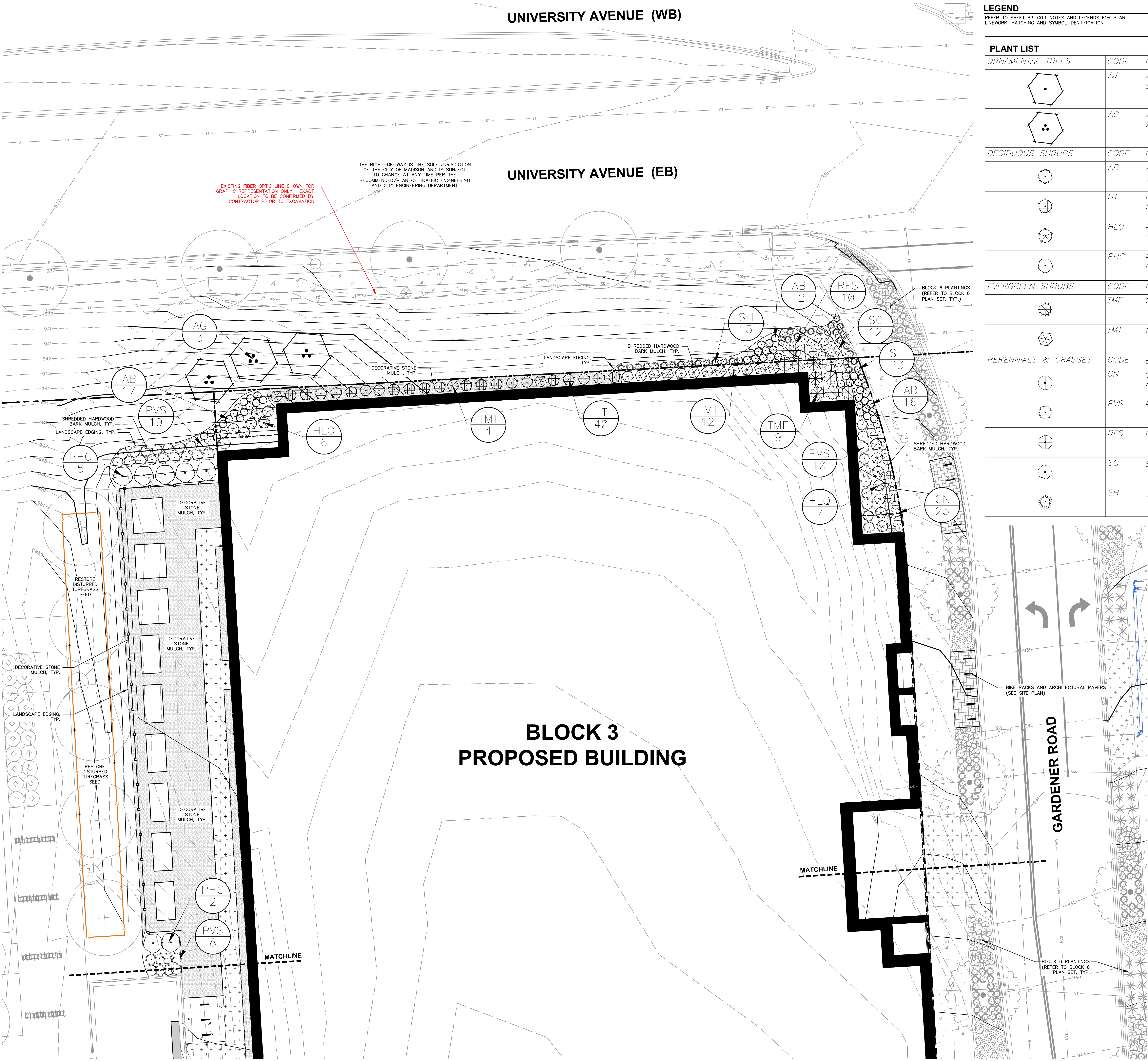
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**BLOCK 3
OVERALL LANDSCAPE
PLAN**

SHEET NUMBER:
B3-L1.0

JSD PROJECT NO: 19-0365

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File: L2019199298 - Block 30000000 LANDSCAPE SHEETS199298 BLK3 - L1 - DETAILED LANDSCAPE PLAN - NORTH User: Kyska Printed: Mar 03, 2020 - 1:46pm Kyr: 193346-BLK3 MADISON YARDS - BLK3



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN
LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	
	AJ	Amelanchier laevis 'JFS-Arb' / Spring Flurry Serviceberry	
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.	
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	
	AB	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry	
	HT	Hydrangea macrophylla 'Twist-n-Shout' / Twist-n-Shout Hydrangea	
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	
	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	
	TME	Taxus x media 'Everlow' / Yew	
	TMT	Taxus x media 'Tauntonii' / Tauton Yew	
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	
	CN	Calamintha nepeta 'Montrose White' / Montrose White Catmint	
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass	
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower	
	SC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia	
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
**702 GARDENER ROAD
MADISON, WI 53705**

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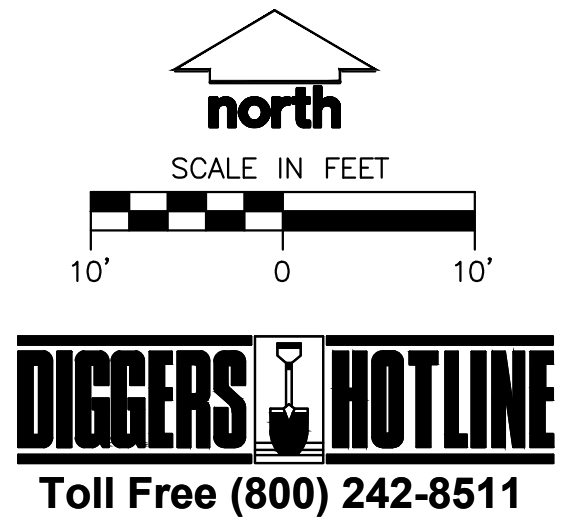
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Design/Drawn: MWS
Approved: KJY

SHEET TITLE:
**BLOCK 3
DETAILED LANDSCAPE
PLAN - NORTH**

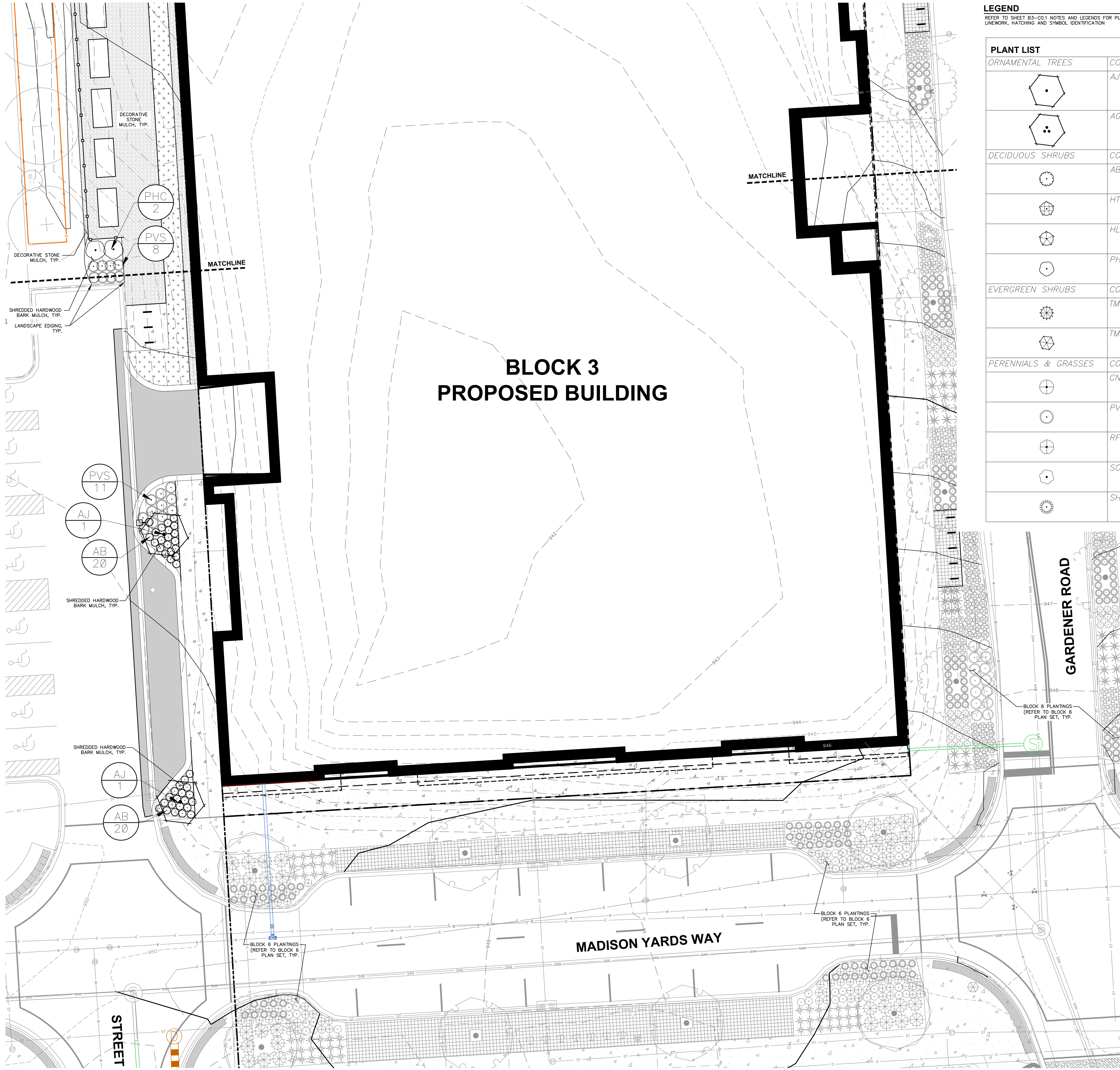
SHEET NUMBER:
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JSD PROJECT NO: 19-0360



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File: 12019199308 - Block 3020000000 LANDSCAPE SHEETS 199308 BLK3 - L1.0 - LANDSCAPE PLAN.dwg Layout: L1.2 - DETAILED LANDSCAPE PLAN - SOUTH User: kyska Printed: Mar 03, 2020 - 1:46pm Kern: 19-0308-BLK3 MADISON YARDS - BLK3



LEGEND
REFER TO SHEET B3-C0.1 NOTES AND LEGENDS FOR PLAN LINEWORK, HATCHING AND SYMBOL IDENTIFICATION

PLANT LIST		SEE SHEET L2.0 FOR COMPREHENSIVE PLANT SCHEDULE	
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	
	AJ	Amelanchier laevis 'JFS-Arb' / Spring Flurry Serviceberry	
	AG	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry M.S.	
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	AB	Aronia melanocarpa 'UCONNAM166' TM / Low Scape Hedger Chokeberry	
	HT	Hydrangea macrophylla 'Twist-n-Shout' / Twist-n-Shout Hydrangea	
	HLQ	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Hydrangea	
	PHC	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	
	TME	Taxus x media 'Everlow' / Yew	
	TMT	Taxus x media 'Tauntonii' / Taunton Yew	
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	
	CN	Calamintha nepeta 'Montrose White' / Montrose White Catmint	
	PVS	Panicum virgatum 'Shenandoah' / Switch Grass	
	RFS	Rudbeckia fulgida speciosa / Showy Coneflower	
	SC	Salvia nemorosa 'Caradonna' / Cardonna Perennial Salvia	
	SH	Sporobolus heterolepis 'Tara' / Prairie Dropseed	



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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SMITH Gilbane

CLIENT ADDRESS:
**241 N. BROADWAY, SUITE 400
MILWAUKEE, WI 53202**

PROJECT:
**MADISON YARDS AT
HILL FARMS
BLOCK 3**

PROJECT LOCATION:
**702 GARDENER ROAD
MADISON, WI 53705**

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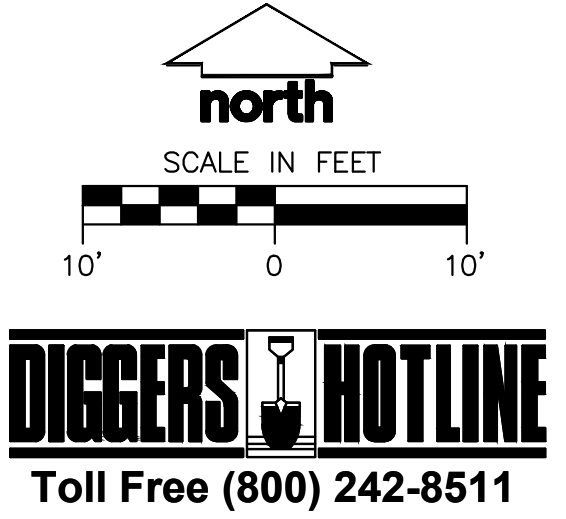
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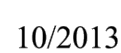
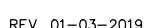
Design/Drawn: MWS
Approved: KJV

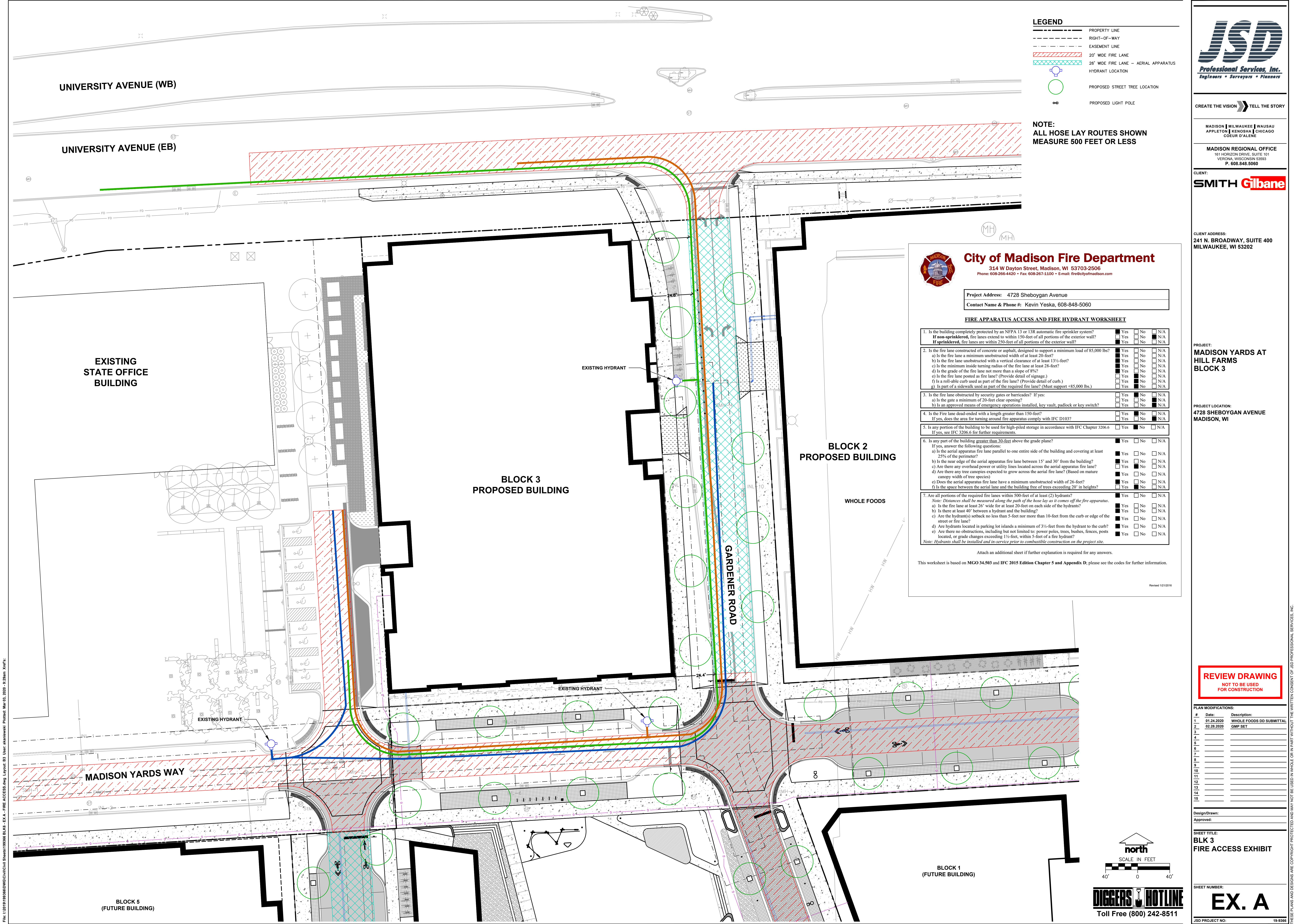
SHEET TITLE:
**BLOCK 3
DETAILED LANDSCAPE
PLAN - SOUTH**

SHEET NUMBER:
B3-L1.2

JSD PROJECT NO: 19-0308







- LEGEND**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - 20' WIDE FIRE LANE
 - 26' WIDE FIRE LANE - AERIAL APPARATUS
 - HYDRANT LOCATION
 - PROPOSED STREET TREE LOCATION
 - PROPOSED LIGHT POLE

NOTE:
ALL HOSE LAY ROUTES SHOWN
MEASURE 500 FEET OR LESS



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 4728 Sheboygan Avenue
Contact Name & Phone #: Kevin Yeska, 608-848-5060

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC ID103?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the grade plane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.
This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 12/12/16

REVIEW DRAWING
NOT TO BE USED
FOR CONSTRUCTION

#	Date:	Description:
1	01.24.2020	WHOLE FOODS DD SUBMITTAL
2	02.26.2020	GMP SET
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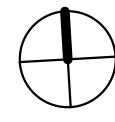

Design/Drawn:
Approved:

SHEET TITLE:
**BLK 3
FIRE ACCESS EXHIBIT**

SHEET NUMBER:
EX. A

JSD PROJECT NO: 19-0366

SITE MAP

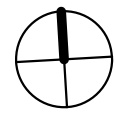


VICINITY MAP

PROJECT LOCATION



PROJECT LOCATION



CONSULTANTS

<u>OWNER/DEVELOPER</u>	<u>CIVIL</u>
------------------------	--------------

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C/O - GILBANE DEVELOPMENT COMPANY
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SHAWN ZIMNY: SZIMNY@GILBANECO.COM

JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
P:608.848.5060
KEVIN YESKA: KEVIN.YESKA@JSDINC.COM

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ARCHITECT STRUCTURAL
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KTGY GROUP, INC.
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CHICAGO, IL 60661
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CRAIG PRYDE: CPROYDE@KTGY.COM

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ERIC P. FEILE: EFEILE@PIERCEENGINEERS.COM

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LATIMER SOMMERS & ASSOCIATES

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3639 SW SUMMERFIELD DRIVE, SUITE A
TOPEKA, KA 66614
P:785. 233. 3232
DAVID EVERHART: DEVERHART@LSAPA.COM

INTERIOR DESIGNER

MARY COOK ASSOCIATES
4011 N. RAVENSWOOD AVE, #112
CHICAGO, IL 60613
P:773.975.9500
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CIVIL

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MEP

LATIMER SOMMERS & ASSOCIATES
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TOPEKA, KA 66614
P:785. 233. 3232
DAVID EVERHART: DEVERHART@LSAPA.COM



MADISION YARDS: BLOCK 3

NEW CONSTRUCTION
UDC SIP SUBMISSION
03.03.2020

**KTGY Project No: #20170922**

Project Contact: Anthony
Margadonna

Email: amargadonna@ktgy.com

Principal: Craig Pryde
Project Designer: Eric Lukasik

Developer



Gilbane Development Company

Contact: Shawn Zimny

Address: 225. W. Wacker Dr.

Suite 2160
Chicago, IL 60606

Phone: 312.907.4493

MADISON YARDS - BLOCK 3

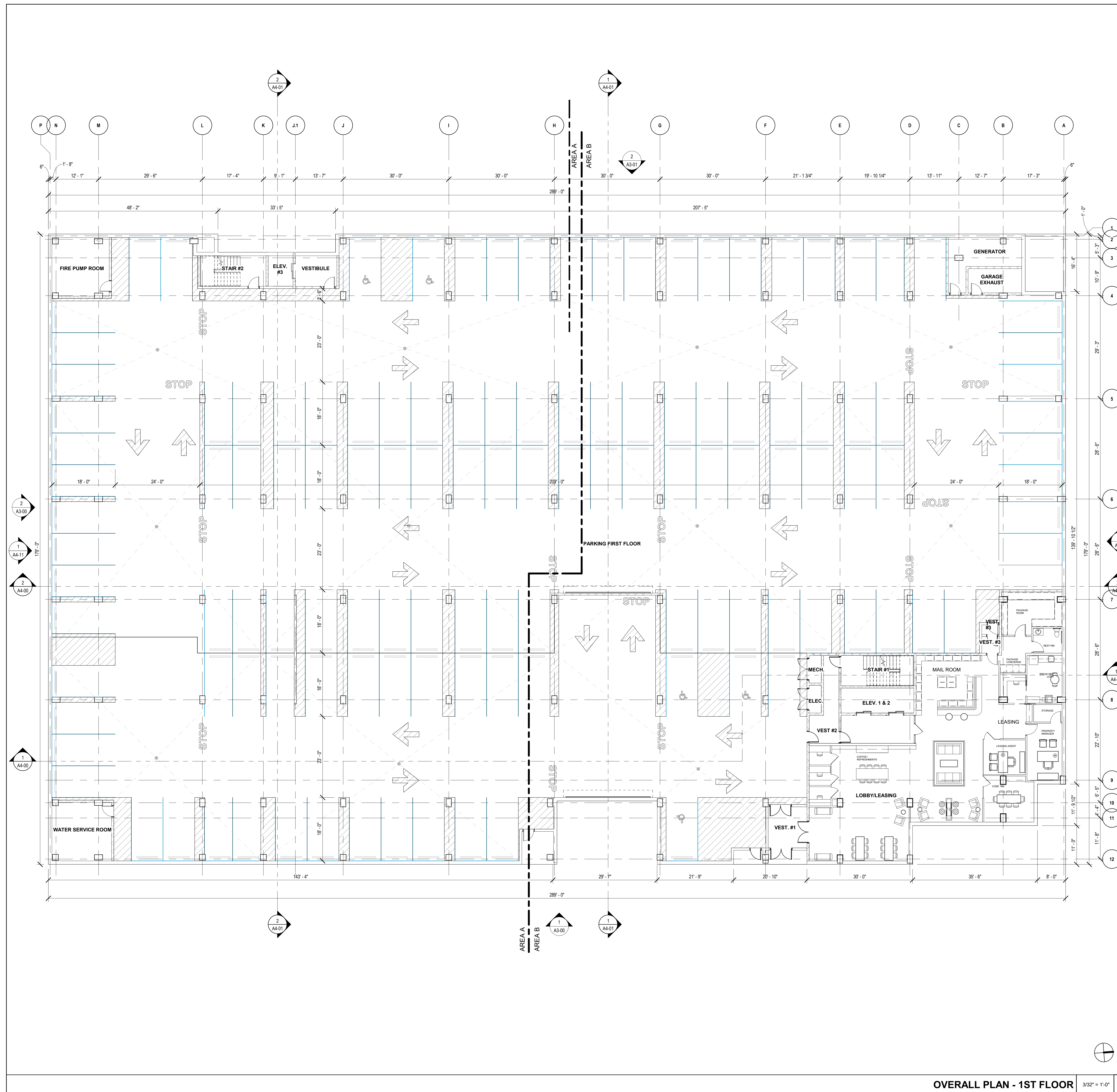
YARDS
MADISON, WI[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

UDC SIP
SUBMISSION
03.03.2020

COVER

A0-00



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
2. VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
3. FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC., PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
4. ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
5. SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO ROOFING, ELEC. PENETS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
6. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
7. PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
8. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

GENERAL NOTES - LEVEL 1

1. PODIUM BUILDING IS CONSTRUCTION TYPE IA, ALL MATERIALS AND FINISHES SHALL BE NON-COMBUSTIBLE AND AS REQUIRED BY THE BUILDING CODE.
2. DIMENSIONS ARE TO FACE OF STUD U.N.O.
SEE "C" DRAWINGS FOR ALL FINISH GRADE ELEVATIONS.
SEE "I" (INTERIOR) DRAWINGS FOR EXTERIOR CONCRETE SIDEWALKS/ CONNECTIONS TO GRADE LEVEL EXITS
3. PROVIDE WATERPROOFING MEMBRANE PROTECTION ON THE OUTSIDE SURFACE OF ALL BASEMENT FOUNDATION WALLS ADJACENT TO OCCUPIED SPACES WITH SUB-SURFACE DRAINAGE. SEE SPECIFICATIONS FOR ADDITIONAL WATERPROOFING INFORMATION. SEE PLUMBING DRAWINGS FOR SUB-SURFACE DRAINAGE.
6. MIN. CLEAR HEIGHT IN DRIVE AISLES AND PARKING SPACES SHALL BE 7 FT ABOVE THE FINISH FLOOR AND 8'-2" CLEAR IN AREAS FOR ACCESSIBLE VAN PARKING ACCESS.
7. PROVIDE REMOTE CONTROLLED ACCESS TO RESIDENTIAL WATERS CAPPED. SEE SPECIFICATION FOR OVERHEAD COILING GATE REQUIREMENTS.
8. NOTE DELETED.
9. PROVIDE DIRECTIONAL SIGNAGE IN PARKING GARAGE, SUSPENDED FROM CEILING - MIN. 7 FT CLEAR TO BOTTOM OF SIGNAGE. COORDINATE WITH FIRE PROTECTION AND LIGHT FIXTURES FOR VEHICLE PARKING.
10. PROVIDE SIGNAGE FOR RETAIL PARKING AREA AND HANDICAPPED PARKING SPACES.
11. PROVIDE ELECTRIC VEHICLE CHARGING STATIONS AS INDICATED ON THE PLANS WITH REQUIRED SIGNAGE.
12. PROVIDE 4" WIDE PAINTED PARKING STRIPING IN LAYOUT UNPAVING, PARKING SPACES, DRIVEWAYS, AND NON-PARKING STALLS OR AS INDICATED. PROVIDE NUMBERED PARKING STALLS (PLAN, MIN. STALL SIZE 8'-6" x 18')
13. PROVIDE MISC. STEEL "PIPE PROTECTION" AT ALL VERTICAL PLUMBING LOCATIONS. COORDINATE WITH PLUMBING DRAWINGS.
14. PROVIDE BROOM FINISH ON ALL CONCRETE PARKING SURFACES. SEE SPECIFICATIONS FOR CONCRETE SEALER REQUIREMENTS ON ALL EXTERIOR CONCRETE SLABS. SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER REQUIREMENTS.
15. ALL EXPOSED CMU OR OTHER NON-FINISHED MATERIALS SHALL BE PAINTED.
16. COORDINATE ALL OPENINGS IN POST-TENSIONED CONCRETE SLABS. DO NOT FIELD CUT OPENINGS.
17. PROVIDE INSULATED / HEATED PLENUM CEILING ABOVE PARKING AREA WITH SUSPENDED LAYIN CEILING SYSTEM W/ HOLD DOWN CLIPS. SEE SPECIFICATIONS FOR CEILING SYSTEM REQUIREMENTS.
18. NO INTERIOR FINISHES PROVIDED IN RETAIL SPACE. INSULATE EXTERIOR WALLS ONLY.
20. COORDINATE TRASH COMPACTOR REQUIREMENTS WITH OWNER'S SUPPLIER FOR CONNECTIONS, LOADING CAPACITY AND LOCATION OF TRASH CHUTE ABOVE.
21. EXTERIOR MECHANICAL/ UTILITY SPACES TO BE PRIMED/ PAINTED.
22. SEE "I" (INTERIOR) DRAWINGS FOR BIKE STORAGE SYSTEMS/ SPECIFICATIONS.

LEGEND

- | | |
|---|----------------------|
| | 2 HR FIREWALL |
| | 3 HR FIREWALL |
| | ADA ACCESSIBLE ROUTE |



KTGY Project No: #20170922

Project Contact: Anthony
Margadonna
Email: amargadonna@ktgy.com
Principal: Craig Pryde
Project Designer: Eric Lukasik

Developer



Gilbane Development Company
Contact: Shawn Zimny
Address: 225. W. Wacker Dr.
 Suite 2160
 Chicago, IL 60606
Phone: 312.907.4493

MADISON YARDS - BLOCK 3

MADISON, WI

[illegible]

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

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SUBMISSION
03.03.2020

OVERALL PLAN -
FIRST FLOOR

A2-01



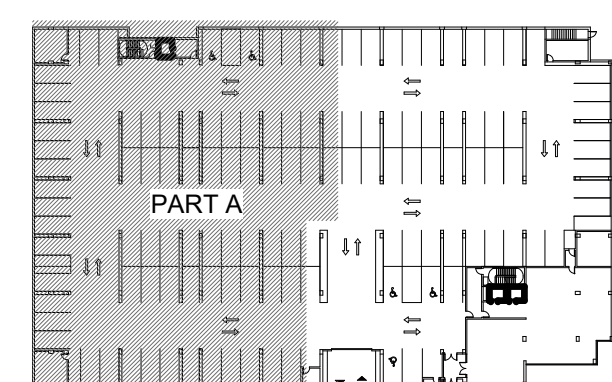
1. **DIMENSIONS ARE TO THE FACE OF FRAMING OR CONCRETE MASONRY UNIT UNLESS NOTED OTHERWISE.**
2. SEE OVERALL PLANS FOR ADDITIONAL INFORMATION AND OVERALL DIMENSIONS.
3. SEE INTERIOR DESIGN DRAWING FOR FINISHES.
4. SEE PLUMBING DETAILS FOR LOCATIONS OF VERTICAL PIPING. LOCATE DROPS ADJACENT TO OR NEAR COLUMN LOCATIONS OUTSIDE OF VEHICLE DRIVE AISLES / PARKING SPACES AND PROVIDE PIPE PROTECTION. SEE DETAIL S/ AD-31 (TYP). ALLOW CLEARANCE FOR PIPE INSULATION AS SPECIFIED.
5. FUTURE INDICATED ON PLANS IS FOR REFERENCE ONLY.
6. SEE LANDSCAPE PLANS FOR ALL EXTERIOR AMENITY ITEMS ABOVE THE WATERPROOFING MEMBRANE.
7. SEE A5-21 AND "SP" POOL DRAWINGS FOR ALL DETAILS RELATED TO THE SWIMMING POOL AT THE AMENITY DECK.
8. SEE LIFE SAFETY PLANS FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
9. SEE SHEET AD-213 FOR DETAIL FINIS DETAILS AT GARAGE.
10. SEE SHEETS AD-01 THRU AD-07 FOR WALL ASSEMBLIES.
11. SEE A3-00 THRU A3-07 FOR EXTERIOR ELEVATIONS AND EXTERIOR WALL MATERIAL DESIGNATIONS.
12. SEE SHEET A7-00 FOR DOOR AND WINDOW ELEVATIONS.
13. SEE SHEET A7-01 FOR DETAIL FINIS DETAILS AT GARAGE.
14. SEE AD-19 THRU AD-21 FOR SUB-GRADE DETAILS.
15. SEE FIRE PROTECTION DRAWINGS FOR "DESIGN-BUILD" BUILDING SPRINKLER SYSTEM REQUIREMENTS UNDER SEPARATE PERMIT APPLICATION.

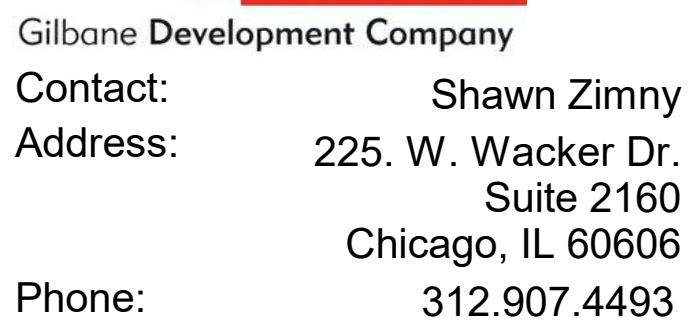
UNIT PLANS / EXTERIOR FINISH OPTIONS		UNIT TYPE		
		EXTERIOR FINISH OPTION		
		UNIT PLANS	EXTERIOR FINISH OPTIONS	
		STUDIO	SHEET RANGE	SHEET RANGE
		1 BEDROOM	SHEET RANGE	SHEET RANGE
	2 BEDROOM	SHEET RANGE	SHEET RANGE	
	2 BEDROOM / DEN	SHEET RANGE	SHEET RANGE	
	3 BEDROOM	SHEET RANGE	SHEET RANGE	

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PART PLAN -
FIRST FLOOR
PART A

A2-01.1



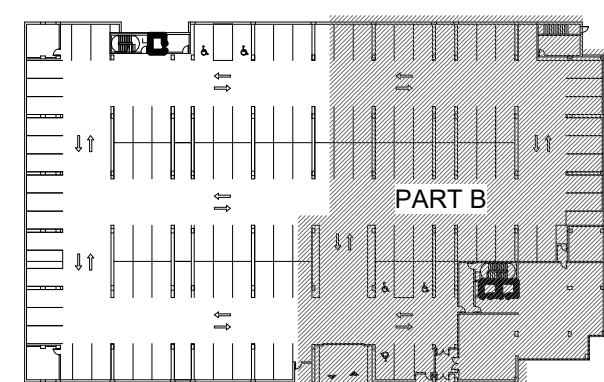


MADISON, WI

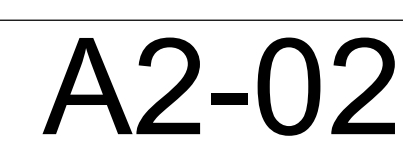
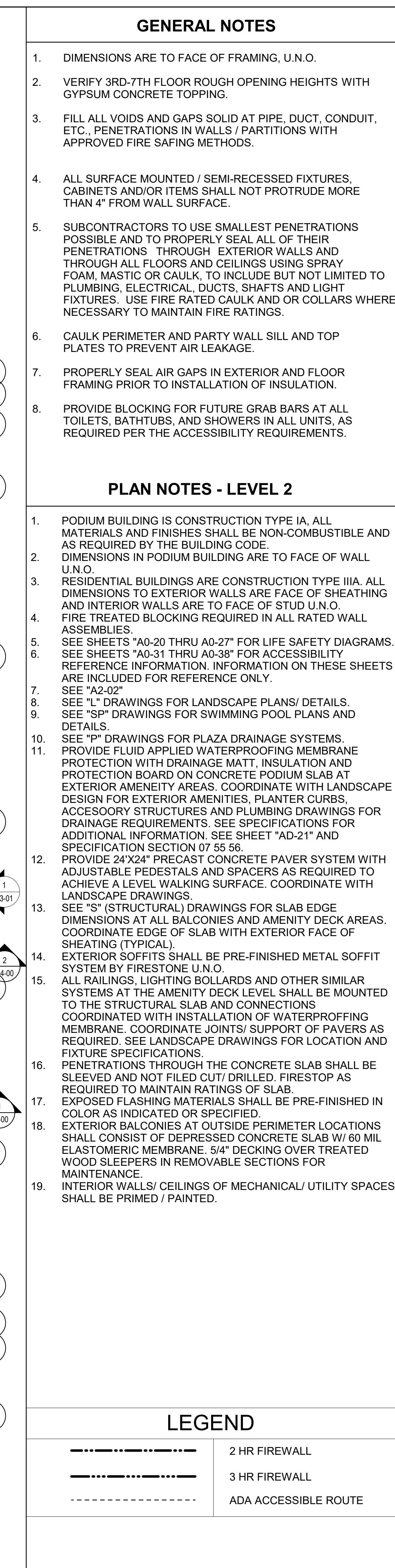
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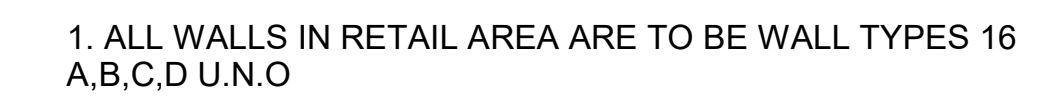
PART PLAN -
FIRST FLOOR
PART B

A2-01.2



1. ALL WALLS IN LOBBY/LEASING AREA ARE TO BE WALL TYPES 16 A,B,C,D U.N.O





Project Contact: Anthony
Margadonna
Email: amargadonna@ktgy.com
Principal: Craig Pryde
Project Designer: Eric Lukasik

Developer



Gilbane Development Company
Contact: Shawn Zimny
Address: 225. W. Wacker Dr.
 Suite 2160
 Chicago, IL 60606
Phone: 312.907.4493

MADISON YARDS - BLOCK 3

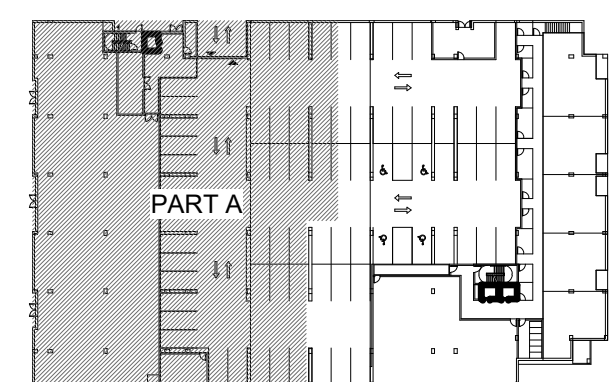
MADISON, WI

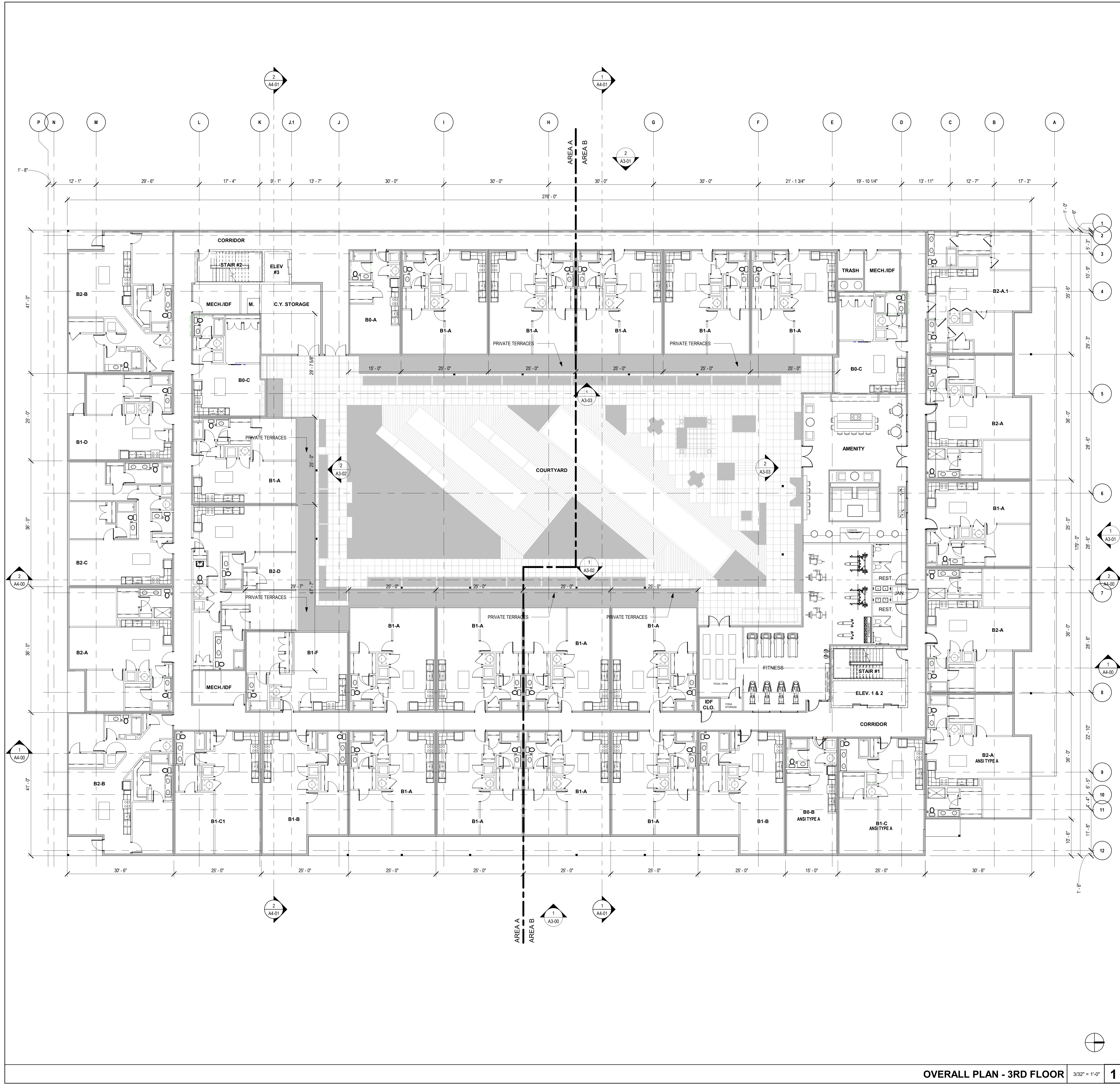
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SUBMISSION
03.03.2020

PART PLAN -
SECOND FLOOR
PART A

A2-02.1





- GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
 - VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
 - FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC. PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
 - ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
 - SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
 - CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
 - PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
 - PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

- PLAN NOTES - LEVEL 3**
- RESIDENTIAL BUILDINGS ARE CONSTRUCTION TYPE IIIA. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING AND INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
 - FIRE TREATED BLOCKING REQUIRED IN ALL RATED WALL ASSEMBLIES.
 - SEE SHEETS "AD-13 - AD-17" FOR ROOF DETAILS.
 - SEE "I" DRAWINGS FOR COMMON AREA LIGHTING / FINISHES.
 - EXTERIOR SOFFITS SHALL BE PRE-FINISHED METAL SOFFIT SYSTEM BY FIRESTONE U.N.O.
 - PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE COORDINATED WITH STRUCTURE AND SHALL BE SEALED WITH MATERIALS / SYSTEMS THAT MAINTAIN THE RATED ASSEMBLY.
 - EXPOSED FLASHING MATERIALS SHALL BE PRE-FINISHED IN COLOR AS INDICATED OR SPECIFIED.
 - EXTERIOR BALCONIES ARE FRAMED WITH TREATED WOOD JOISTS / HEADERS AND SHALL HAVE 5/4" DECKING. BALCONIES SHALL BE "DRIP THROUGH" U.N.O.
 - INTERIOR WALLS / CEILINGS OF MECHANICAL / UTILITY SPACES SHALL BE PRIMED / PAINTED.
 - SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER REQUIREMENTS AND LOCATION OF STANDPIPES. COORDINATE SPRINKLER DISTRIBUTION WITH OTHER TRADES.
 - FIRE EXTINGUISHER CABINETS - SEE SHEETS "A0-20 - A0-27". FINAL LOCATIONS TO BE AS APPROVED BY LOCAL AUTHORITIES.
 - UNIT TYPE, B0-B, B1-C1 AND B2-A NOTED ON THIS LEVEL TO BE ANSI TYPE A UNITS

No.	Date	Description
1	03/03/2020	UDC SIP SUBMISSION
2		
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- LEGEND**
- 2 HR FIREWALL
 - 3 HR FIREWALL
 - ADA ACCESSIBLE ROUTE

It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

UDC SIP
SUBMISSION
03.03.2020

OVERALL PLAN -
THIRD FLOOR

OVERALL PLAN - 3RD FLOOR 3/32" = 1'-0" 1

KTGY Project No: #20170922

Project Contact: Anthony Margadonna
Email: amargadonna@ktgy.com
Principal: Craig Pryde
Project Designer: Eric Lukasik

Developer

Gilbane Development Company
Contact: Shawn Zimny
Address: 225. W. Wacker Dr. Suite 2160
Chicago, IL 60606
Phone: 312.907.4493

MADISON YARDS - BLOCK 3

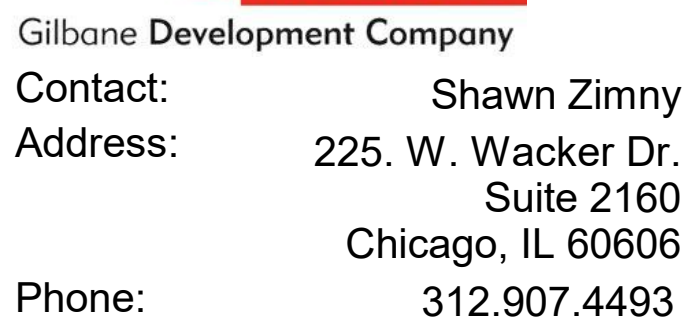
MADISON, WI

No.	Date	Description
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SUBMISSION
03.03.2020

OVERALL PLAN -
THIRD FLOOR

A2-03



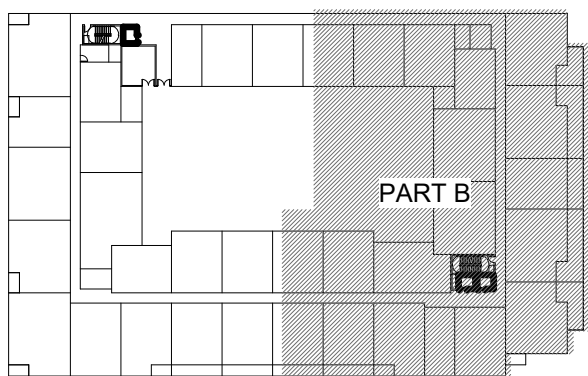
MADISON, WI

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

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SUBMISSION
03.03.2020

PART PLAN -
THIRD FLOOR
PART B

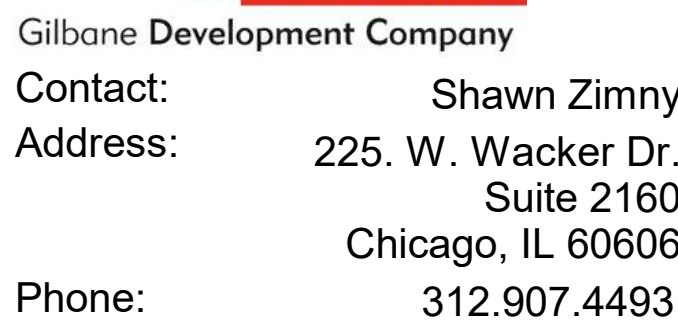
A2-03.2





Project Contact: Anthony Margadonna
Email: amargadonna@ktgy.com
Principal: Craig Pryde
Project Designer: Eric Lukasik

Developer



GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
2. VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
3. FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC. PENETRATIONS IN WALLS / PARTITIONS WITH APPROVED FIRE SAFING METHODS.
4. ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
5. SUBCONTRACTORS TO USE SMALLER PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
6. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
7. PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
8. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

LEGEND

- | | |
|-------|----------------------|
| ----- | 2 HR FIREWALL |
| ----- | 3 HR FIREWALL |
| ----- | ADA ACCESSIBLE ROUTE |

PLAN NOTES - LEVEL 4-6

1. RESIDENTIAL BUILDINGS ARE CONSTRUCTION TYPE IIIA. ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING AND INTERIOR WALLS ARE TO FACE OF STUD U.O.
2. FIRE TREATED BLOCKING REQUIRED IN ALL RATED WALL ASSEMBLIES.
3. SEE SHEETS "AD-13 - AD-17" FOR ROOF DETAILS.
4. SEE "I" DRAWINGS FOR COMMON AREA LIGHTING / FINISHES.
5. EXTERIOR SOFFITS SHALL BE PRE-FINISHED METAL SOFFIT SYSTEM BY FIRESTONE U.O.
6. PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE COORDINATED WITH STRUCTURE AND SHALL BE SEALED WITH MATERIALS / SYSTEMS THAT MAINTAIN THE RATED ASSEMBLY.
7. EXPOSED FLASHING MATERIALS SHALL BE PRE-FINISHED IN COLOR AS INDICATED OR SPECIFIED.
8. EXTERIOR BALCONIES ARE FRAMED WITH TREATED WOOD JOISTS/ HEADERS AND SHALL HAVE 5/4" DECKING. BALCONIES SHALL BE "DRIP THROUGH" U.O.
9. INTERIOR WALLS/ CEILINGS OF MECHANICAL/ UTILITY SPACES SHALL BE PRIMED / PAINTED.
10. SEE FIRE PROTECTION SCHEDULE FOR ROOF SPRINKLER REQUIREMENTS AND LOCATION OF STANDPIPES. COORDINATE SPRINKLER DISTRIBUTION WITH OTHER TRADES.
11. FIRE EXTINGUISHING CABINETS - SEE SHEETS "A0-20 - A0-27". FINAL LOCATIONS TO BE AS APPROVED BY AUTHORITIES.
12. UNIT TYPE B1-C1 NOTED ON THIS LEVEL TO BE ANSI TYPE A UNIT

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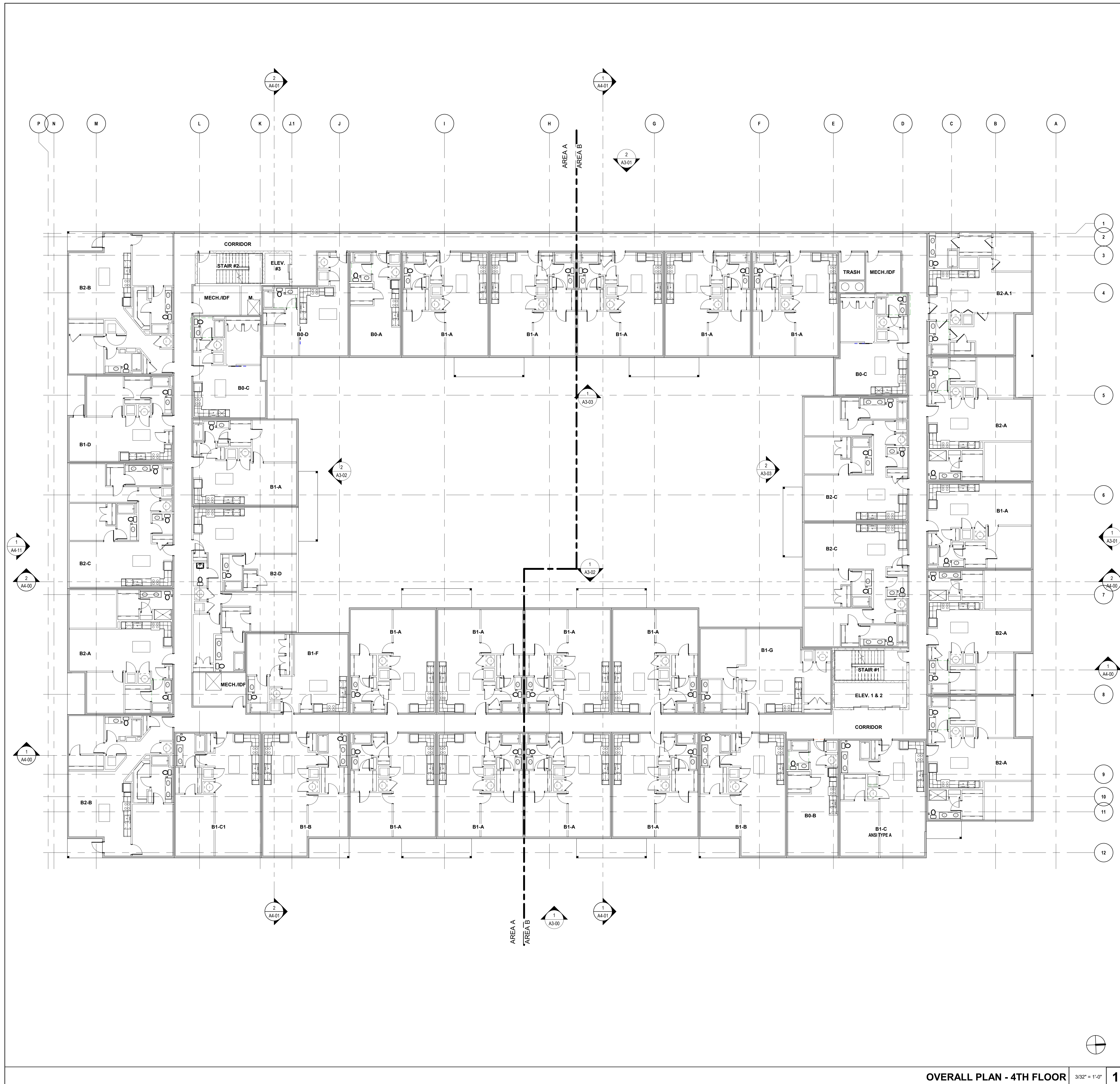
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OVERALL PLAN -
TYPICAL FLOOR
PLAN (4-6)

A2-04

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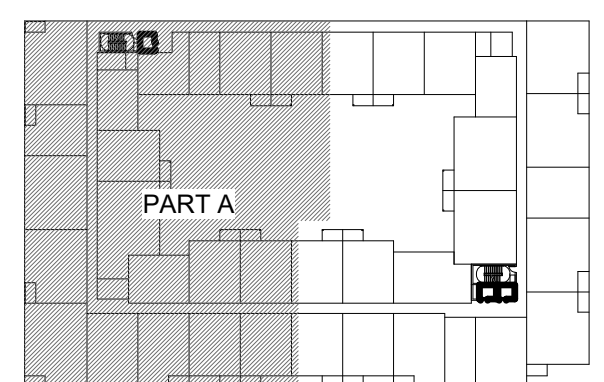


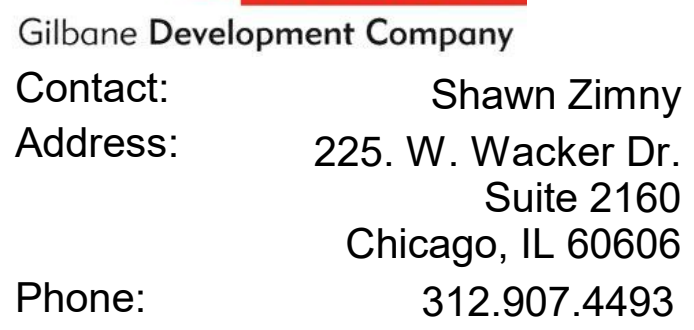


MADISON, WI

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A2-04.1


$$1/8" = 1'-0"$$



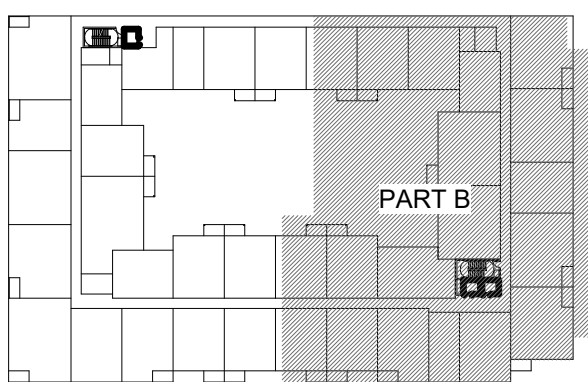
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03.03.2020

PART PLAN -
TYPICAL FLOOR
(4-6) PART B

A2-04.2





Project Contact: Anthony Margadonna
Email: amargadonna@ktgy.com
Principal: Craig Pryde
Project Designer: Eric Lukasik

Developer



1. DIMENSIONS ARE TO FACE OF FRAMING, U.N.O.
2. VERIFY 3RD-7TH FLOOR ROUGH OPENING HEIGHTS WITH GYPSUM CONCRETE TOPPING.
3. FILL ALL VOIDS AND GAPS SOLID AT PIPE, DUCT, CONDUIT, ETC., PENETRATIONS IN WALLS AND PARTITIONS WITH APPROVED FIRE SAFING METHODS.
4. ALL SURFACE MOUNTED / SEMI-RECESSED FIXTURES, CABINETS AND/OR ITEMS SHALL NOT PROTRUDE MORE THAN 4" FROM WALL SURFACE.
5. SUBCONTRACTORS TO USE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR WALLS AND THROUGH ALL FLOORS AND CEILINGS USING SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATINGS.
6. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.
7. PROPERLY SEAL AIR GAPS IN EXTERIOR AND FLOOR FRAMING PRIOR TO INSTALLATION OF INSULATION.
8. PROVIDE BLOCKING FOR FUTURE GRAB BARS AT ALL TOILETS, BATHTUBS, AND SHOWERS IN ALL UNITS, AS REQUIRED PER THE ACCESSIBILITY REQUIREMENTS.

1. RESIDENTIAL BUILDINGS ARE CONSTRUCTION TYPE IIIA, ALL DIMENSIONS TO EXTERIOR WALLS ARE FACE OF SHEATHING AND INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
2. FIRE RATED BLOCKING REQUIRED IN ALL RATED WALL ASSEMBLIES:
 - SEE SHEET "AD-13 - AD-17" FOR ROOF DETAILS.
3. PROVIDE 60 MIL "TPO" MEMBRANE ROOF OVER INSULATION AND PROTECTION BOARD. MIN. SLOPE SHALL BE 1/4" PER FT PROVIDE FLASHINGS, CRICKETS AND TAPERED INSULATION TO ACHIEVE DRAINAGE REQUIRED TO THROUGH WALL SCUPPERS. SEE SPECIFICATION SECTION 07 54.23.
4. ROOF MOUNTED CONDENSER UNITS SHALL BE PLACED ON INSULATION PADS AND PRESSURE TREATED WOOD SLEEPERS.
5. PROVIDE WALK PADS FROM ROOF HATCH TO EACH GROUP OF CONDENSERS/ SERVICES AREAS.
7. PROVIDE 42" FALL PROTECTION WHERE EQUIPMENT IS LOCATED WITHIN 10 FT OF THE ROOF EDGE OR VERTICAL DROP OF MORE THAN 36".
8. PROVIDE (1) ROOF HATCH IN EACH BUILDING WITH LADDER ACCESS FROM STAIR LANDING. SEE SPECIFICATION SECTION 07 72.23.
9. SEE "1" DRAWINGS FOR COMMON AREA LIGHTING / FINISHES. EXTERIOR SOFFITS SHALL BE PRE-FINISHED METAL SOFFIT SYSTEM BY FIRESTONE U.N.O.
11. PENETRATIONS THROUGH RATED WALL ASSEMBLIES SHALL BE COORDINATED WITH STRUCTURE AND SHALL BE SEALED WITH MATERIALS / SYSTEMS THAT MAINTAIN THE RATED ASSEMBLY.
12. EXPOSED FLASHING MATERIALS SHALL BE PRE-FINISHED IN COLOR AS INDICATED OR SPECIFIED.
13. EXTERIOR BALCONIES ARE FRAMED WITH TREATED WOOD JOISTS/ HEADERS AND SHALL HAVE 5/4" DECKING. BALCONIES SHALL BE FINISHED TO MATCH U.N.O.
14. INTERIOR WALLS/ CEILINGS OF MECHANICAL/ UTILITY SPACES SHALL BE PRIME / PAINTED.
15. SEE FIRE PROTECTION DRAWINGS FOR SPRINKLER REQUIREMENTS AND LOCATION OF STANDPIPES. COORDINATE SPRINKLER DISTRIBUTION WITH OTHER TRADES.
16. FIRE EXTINGUISHER CABINETS ARE NOTED ON THE PLANS AS "FEC". FINAL LOCATIONS TO BE AS APPROVED BY LOCAL AUTHORITIES.

 2 HR FIREWALL
 3 HR FIREWALL
 ADA ACCESSIBLE ROUTE

[illegible]

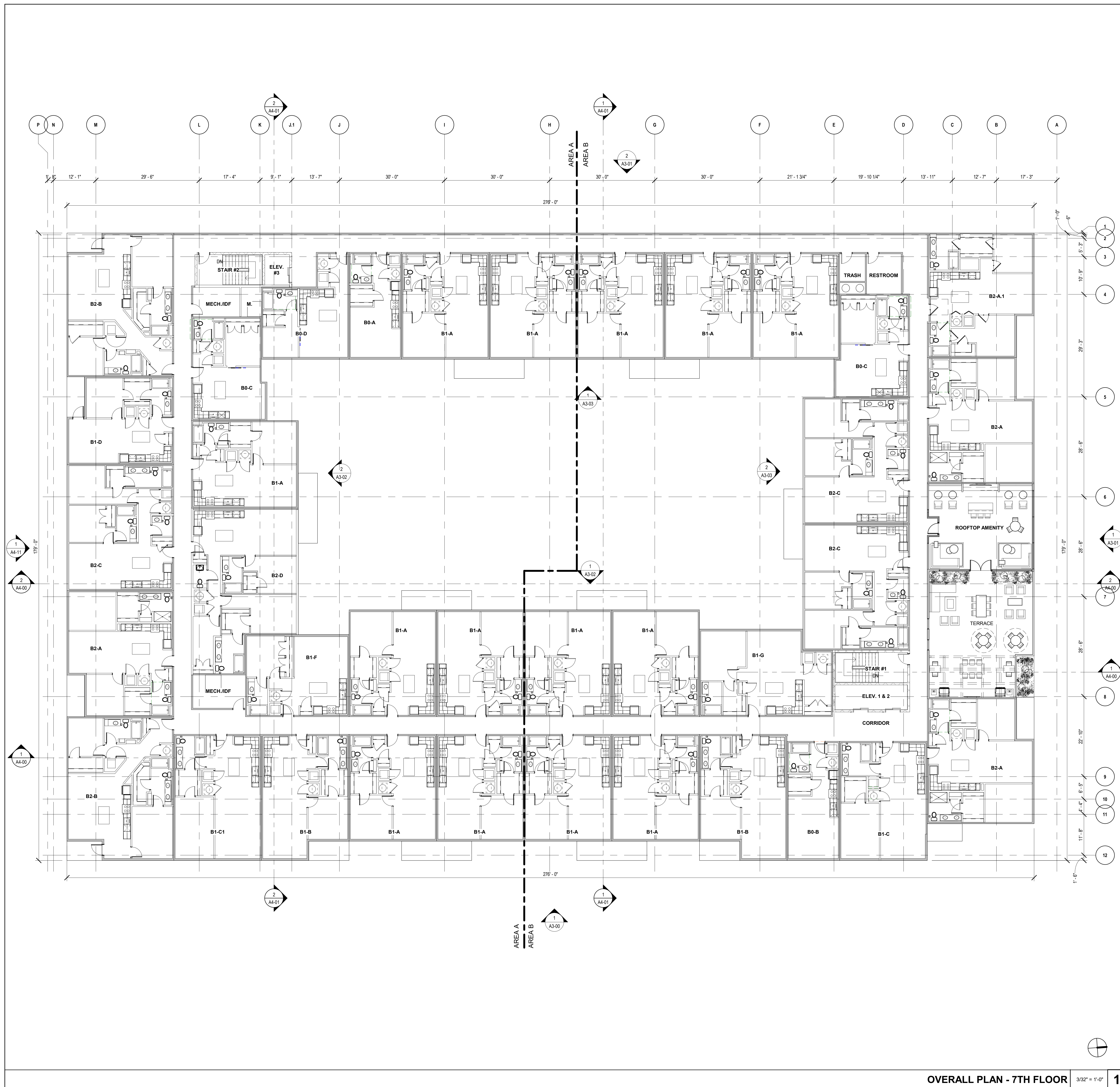
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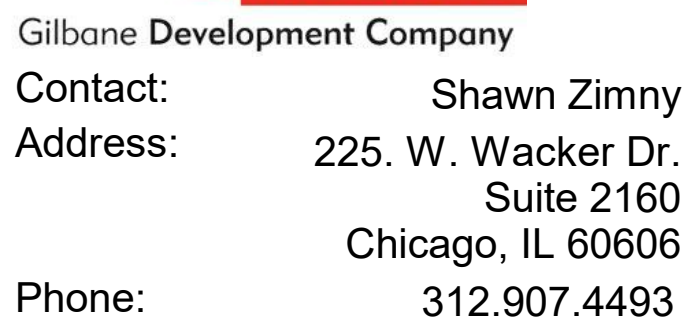
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SUBMISSION
03.03.2020

OVERALL PLAN -
SEVENTH FLOOR

A2-07

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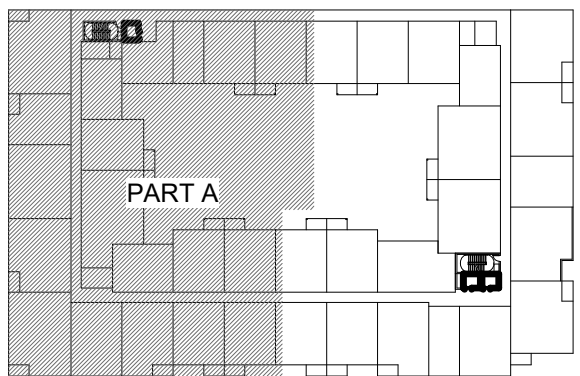
MADISON, WI

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SUBMISSION
03.03.2020

PART PLAN -
ROOF PART A

A2-08.1





- KTGY Project No:** #20170922
-
- Project Contact:** Anthony
Margadonna
Email: amargadonna@ktgy.com
Principal: Craig Pryde
Project Designer: Eric Lukasik
-
- Developer**
- 
- Gilbane Development Company
- Contact:** Shawn Zimny
Address: 225. W. Wacker Dr.
Suite 2160
Chicago, IL 60606
Phone: 312.907.4493

[illegible]UDC SIP
SUBMISSION
03.03.2020

A3-00



1. ON ALL EXTERIOR WALLS OF THE TYPE III BUILDINGS (A, B AND C), PROVIDE 1" MINERAL WOOL INSULATION BOARD WITH HORIZONTAL METAL "Z" FURRING ANCHORED TO THE EXTERIOR WALL FRAMING MEMBERS (24" ON CENTER). PROVIDE TAPE FLASHING OVER Z-FURRING CONNECTIONS TO STRUCTURAL MEMBER TO MAINTAIN WEATHER BARRIER PROTECTION TO EXTERIOR WALL. PROVIDE VERTICAL METAL FURRING STRIPS ANCHORED TO THE METAL "Z" FURRING TO CREATE A DRAINAGE PLANE BEHIND THE EXTERIOR FINISH MATERIAL. LOCATE VERTICAL FURRING AS REQUIRED TO PROVIDE JOINT PATTERNS INDICATED AND MATERIALS EVERY 2 FLOORS OR AS INDICATED ON THE DRAWINGS. TAP SEAL THRU WALL FLASHING TO WEATHER BARRIER SYSTEM.
2. PROVIDE PRE-FINISHED ALUM FLASHING AT TOP OF PARAPET LOCATIONS.
3. CAULK PERIMETER OF ALL PENETRATIONS THROUGH THE EXTERIOR WALL SURFACE/ FINISH. SEE SPECIFICATIONS 07 92 00.
4. COORDINATE LOUVER LOCATIONS WITH FLOOR TRUSSES IN TYPE III BUILDINGS. LOCATE FACE OF LOUVER FLUSH WITH EXTERIOR FINISH MATERIAL.
5. PROVIDE MISC. BLOCKING FOR EXTERIOR WALL MOUNTED SIGNAGE. COORDINATE WITH SIGN CONTRACTOR/ CONSULTANT.
6. SEE SHEET A7-27 FOR LIGHT/ VENTILATION CALCULATIONS. ALIGN BALCONY LIGHT FIXTURE AND ELECTRICAL OUTLET VERTICALLY IN LOCATIONS INDICATED. SEE ELECTRICAL PLANS FOR FIXTURE SPECIFICATION.
7. INSTALL LIGHT FIXTURES AT EXTERIOR DOORWAYS 12" ABOVE CENTER OF DOOR UNLESS NOTED OTHERWISE.
8. PAINT ALL EXTERIOR SURFACES OF CMU WALLS AT PARKING GARAGE, COLOR AS SELECTED BY ARCHITECT. SEE SPECIFICATION SECTION 09 91 00 FOR ADDITIONAL INFORMATION.
9. PAINT ALL EXPOSED CONCRETE SURFACES IN PARKING GARAGE. SEE SPECIFICATION SECTION 09 91 00 FOR ADDITIONAL INFORMATION.
10. PAINT ALL EXPOSED METAL BALLARDS, PIPE PROTECTIVE DEVICES AND MISC. STEEL ITEMS. SEE SPECIFICATIONS SECTION 09 91 00.

Project Contact: Anthony Margadonna
Email: amargadonna@ktgy.com
Principal: Craig Pryde
Project Designer: Eric Lukasik

Gilbane

Gilbane Development Company
Contact: Shawn Zimny
Address: 225. W. Wacker Dr.
 Suite 2160
 Chicago, IL 60606
Phone: 312.907.4493

$$3/32'' = 1'-0''$$

KEY	DESCRIPTION
1	FIBER CEMENT PANEL
2	CORRUGATED METAL PANEL
3	FLAT METAL PANEL
4	METAL MESH BALCONY
5	VINYL WINDOWS - RESIDENTIAL
6	VINYL DOORS - RESIDENTIAL
7	ALUMINUM STOREFRONT - COMMERCIAL
8	ALUMINUM ENTRY DOORS - COMMERCIAL
9	THIN BRICK CLADDING
10	PAINTED CONCRETE
11	STEEL AWNING
12	EXTERIOR LIGHTING
13	EXTERIOR SIGNAGE
14	PAINTED STEEL TUBE COLUMNS
15	ARCHITECTURAL LOUVER
16	VINYL WINDOW TYPE W1
17	VINYL WINDOW TYPE W2
18	VINYL WINDOW TYPE W3
19	VINYL WINDOW TYPE W4
20	VINYL WINDOW TYPE W5
21	VINYL WINDOW TYPE W6
22	VINYL WINDOW TYPE W7
23	VINYL WINDOW TYPE W8
24	VINYL WINDOW TYPE W9
25	VINYL WINDOW TYPE W10
26	VINYL WINDOW TYPE W11
27	VINYL WINDOW TYPE W12
28	VINYL WINDOW TYPE W13
29	VINYL WINDOW TYPE W14
30	VINYL WINDOW TYPE W15
31	VINYL WINDOW TYPE W16
32	VINYL WINDOW TYPE W17

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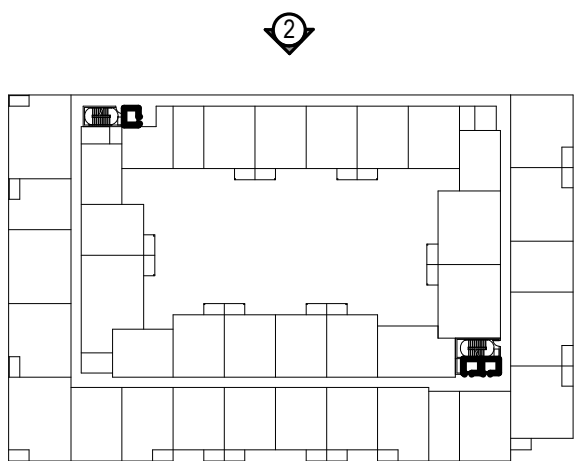
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SUBMISSION
03.03.2020

BUILDING ELEVATIONS

A3-01



NORTH ELEVATION

$$3/32'' = 1'-0''$$




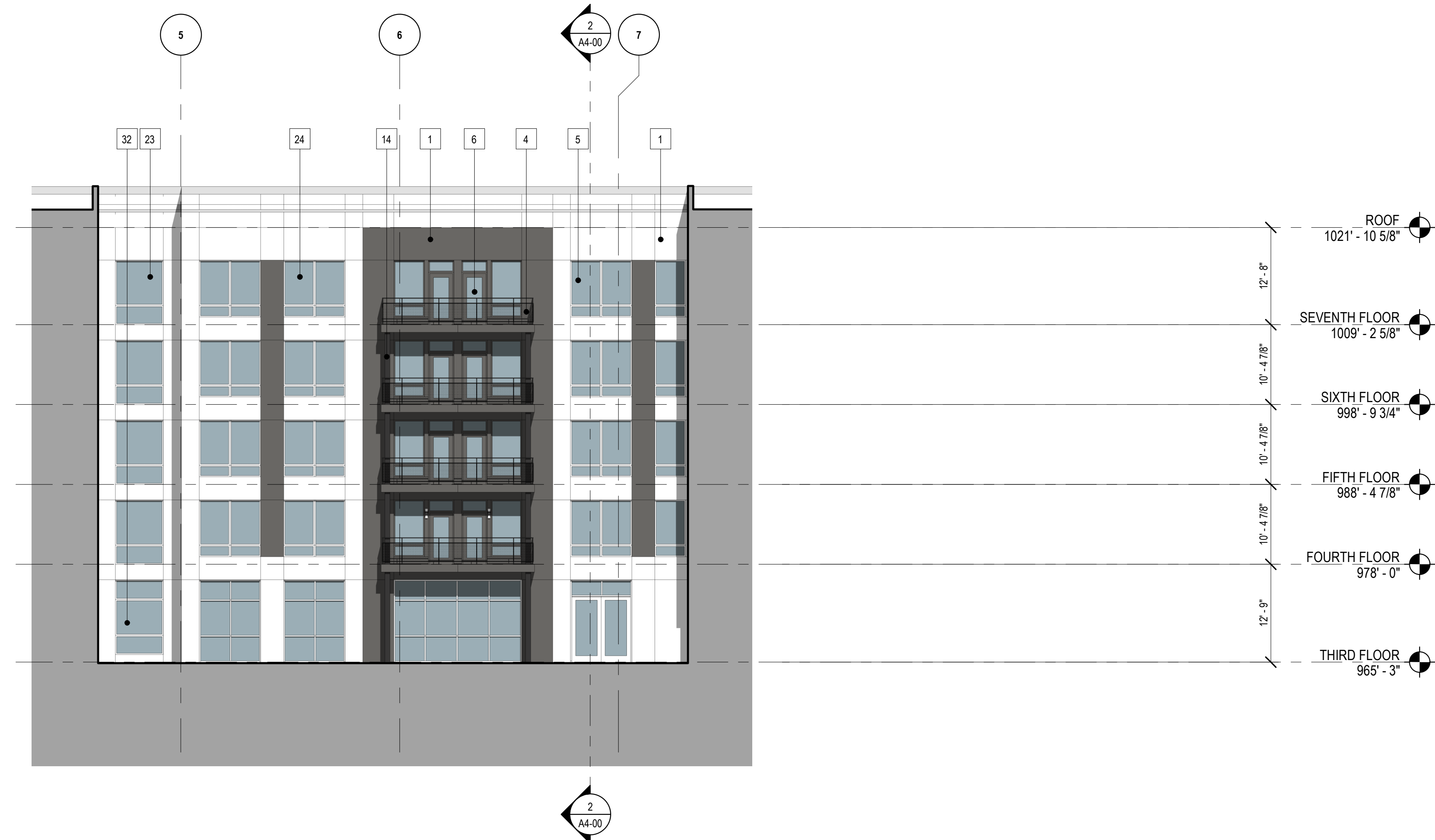
1. ON ALL EXTERIOR WALLS OF THE TYPE III BUILDINGS (A, B AND C), PROVIDE 1" MINERAL WOOL INSULATION BOARD WITH HORIZONTAL METAL "Z" FURRING ANCHORED TO THE EXTERIOR WALL FRAMING MEMBERS (24" ON CENTER). PROVIDE TAPE FLASHING OVER Z-FURRING CONNECTIONS TO STRUCTURAL MEMBERS TO MAINTAIN WEATHER BARRIER PROTECTION TO EXTERIOR WALL. PROVIDE VERTICAL METAL FURRING STRIPS ANCHORED TO THE METAL "Z" FURRING TO CREATE A DRAINAGE PLANE BEHIND THE EXTERIOR FINISH MATERIAL. LOCATE VERTICAL FURRING AS REQUIRED TO PROVIDE JOINT PATTERNS IN FINISHED MATERIALS. MEET ALL INSTALLATION REQUIREMENTS. BREAK VERTICAL FURRING STRIPS AT THE EACH FLOOR LINE TO ALLOW FOR BUILDING MOVEMENT/ SHRINKAGE.
2. PROVIDE HORIZONTAL PRE-FINISHED ALUM THRU WALL FLASHING (MATCH COLOR OF WALL FINISH MATERIAL) AT ALL CHANGE OF MATERIALS, EVERY 2 FLOORS OR AS INDICATED ON THE DRAWINGS. TAPE SEAL THRU WALL FLASHING TO WEATHER BARRIER SYSTEM.
3. PROVIDE PRE-FINISHED ALUM FLASHING AT TOP OF PARAPET LOCATIONS.
4. CAULK PERIMETER OF ALL PENETRATIONS THROUGH THE EXTERIOR WALL SURFACE/ FINISH. SEE SPECIFICATIONS 07 52 00.
5. COORDINATE LOUVER LOCATIONS WITH FLOOR TRUSSES IN TYPE III BUILDINGS. LOCATE FACE OF LOUVER FLUSH WITH EXTERIOR FINISH MATERIAL.
6. PROVIDE MISC. BLOCKING FOR EXTERIOR WALL MOUNTED SIGNAGE. COORDINATE WITH SIGN CONTRACTOR/ CONSULTANT.
7. SEE SHEET A7-27 FOR LIGHT/ VENTILATION CALCULATIONS.
8. ALIGN BALCONY LIGHT FIXTURE AND ELECTRICAL OUTLET VERTICALLY IN LOCATIONS INDICATED. SEE ELECTRICAL PLANS FOR FIXTURE SPECIFICATION.
9. INSTALL LIGHT FIXTURES AT EXTERIOR DOORWAYS 12" ABOVE CENTER OF DOOR UNLESS NOTED OTHERWISE.
10. PAINT ALL EXTERIOR SURFACES OF CMU WALLS AT PARKING GARAGE. COLOR AS SELECTED BY ARCHITECT. SEE SPECIFICATION SECTION 09 91 00 FOR ADDITIONAL INFORMATION.
11. PAINT ALL EXPOSED CONCRETE SURFACES IN PARKING GARAGE. SEE SPECIFICATION SECTION 09 91 00 FOR ADDITIONAL INFORMATION.
12. PAINT ALL EXPOSED METAL BALLARDS, PIPE PROTECTIVE DEVICES AND MISC. STEEL ITEMS. SEE SPECIFICATIONS SECTION 09 91 00.

Project Contact: Anthony
Margadonna
Email: amargadonna@ktgy.com
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Project Designer: Eric Lukasik

Gilbane

Gilbane Development Company
Contact: Shawn Zimny
Address: 225. W. Wacker Dr.
 Suite 2160
 Chicago, IL 60606
Phone: 312.907.4493

$3/32" = 1'-0"$	1
-----------------	----------



2

KEY	DESCRIPTION
1	FIBER CEMENT PANEL
2	CORRUGATED METAL PANEL
3	FLAT METAL PANEL
4	METAL MESH BALCONY
5	VINYL WINDOWS - RESIDENTIAL
6	VINYL DOORS - RESIDENTIAL
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8	ALUMINUM ENTRY DOORS - COMMERCIAL
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10	PAINTED CONCRETE
11	STEEL AWNING
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24	VINYL WINDOW TYPE W9
25	VINYL WINDOW TYPE W10
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27	VINYL WINDOW TYPE W12
28	VINYL WINDOW TYPE W13
29	VINYL WINDOW TYPE W14
30	VINYL WINDOW TYPE W15
31	VINYL WINDOW TYPE W16
32	VINYL WINDOW TYPE W17

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03.03.2020

A3-03



A3-10

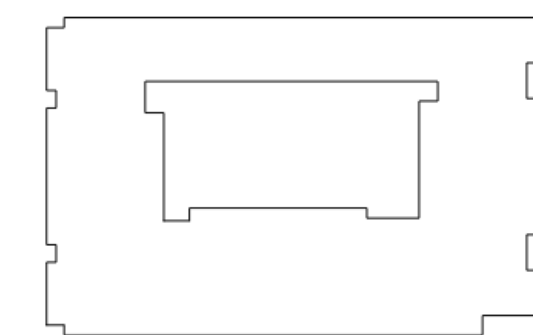


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 Chicago, IL 60606
Phone: 312.907.4493

MADISON, WI

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EXTERIOR
BUILDING VIEWS
(NE CORNER)



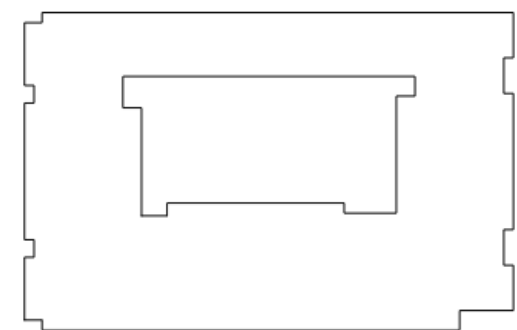
KEY PLAN



MADISON, WI

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EXTERIOR
BUILDING VIEWS
(NE CORNER)



KEY PLAN

Developer

Gilbane

Gilbane Development Company

Contact: Shawn Zimny

Address: 225. W. Wacker Dr.
Suite 2160
Chicago, IL 60606

Phone: 312.907.4493

MADISON, WI

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EXTERIOR
BUILDING VIEWS
(SE CORNER)

A3-13





A3-14

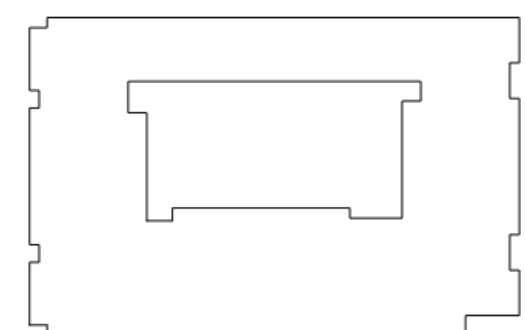


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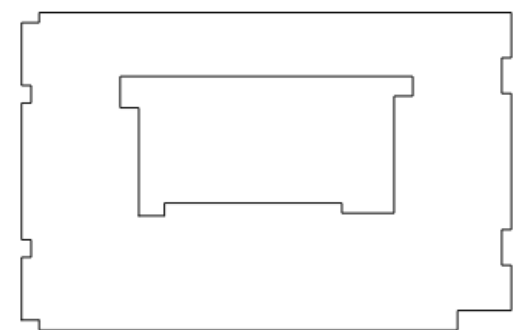
MADISON, WI

[illegible]

EXTERIOR
BUILDING VIEWS
(SE CORNER)



KEY PLAN



A3-16



Gilbane Development Company
Contact: Shawn Zimny
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MADISON, WI

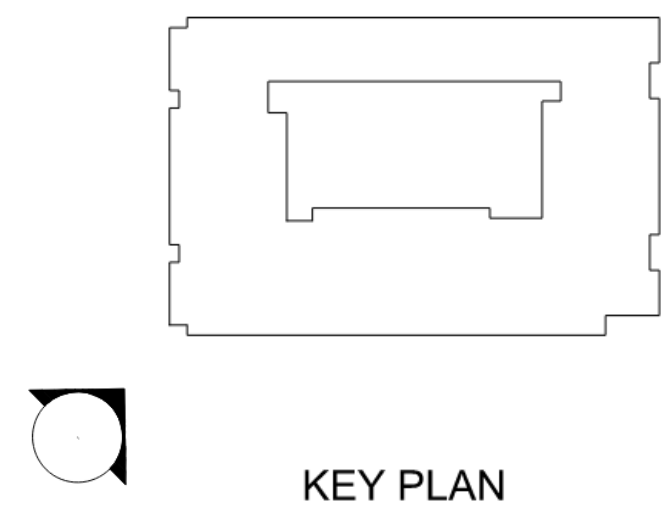
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UDC SIP
SUBMISSION
03.03.2020

EXTERIOR
BUILDING VIEWS
(SE CORNER)

A3-17





Gilbane Development Company
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Address: 225. W. Wacker Dr.
 Suite 2160
 Chicago, IL 60606
Phone: 312.907.4493

MADISON, WI

[illegible]

EXTERIOR
BUILDING VIEWS
(NE CORNER)



DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

Optics

Choice of 10 patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquares feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

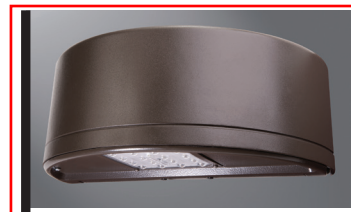
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

Finish

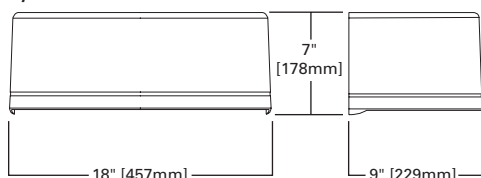
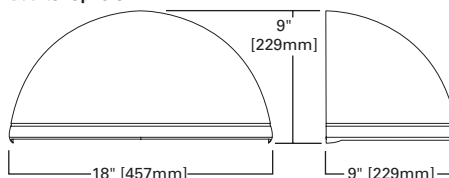
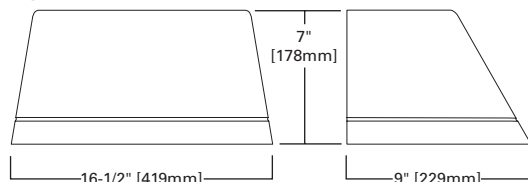
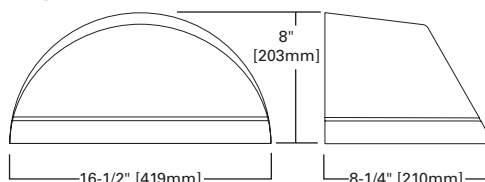
Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

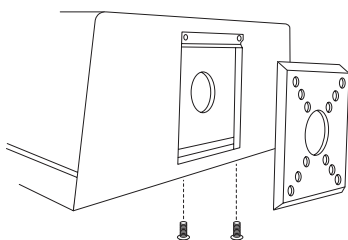
Five-year warranty.



DIMENSIONS

Cylinder**Quarter Sphere****Trapezoid****Wedge**

HOOK-N-LOCK MOUNTING



ISC/ISS/IST/ISW IMPACT ELITE LED

1 LightSquare
Solid State LED

WALL MOUNT LUMINAIRE

CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 LightSquare
DesignLights Consortium® Qualified*
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)

POWER AND LUMENS

1 LightSquare (AF)		Cylinder (ISC) and Quarter Sphere (ISS)						Trapezoid (IST) and Wedge (ISW)					
Drive Current (mA)		350	450	600	800	1000	1200	350	450	600	800	1000	1200
Power (Watts)	120-277V	20.3	25.5	33.4	43.9	55.1	66.2	20.3	25.5	33.4	43.9	55.1	66.2
Current (A)	120V	0.17	0.22	0.29	0.38	0.48	0.56	0.17	0.22	0.29	0.38	0.48	0.56
	277V	0.09	0.10	0.13	0.17	0.21	0.25	0.09	0.10	0.13	0.17	0.21	0.25
Power (Watts)		23.3	28.7	36.6	49.5	60.7	70.1	23.3	28.7	36.6	49.5	60.7	70.1
Current (A)	347V	0.07	0.08	0.11	0.15	0.18	0.21	0.07	0.08	0.11	0.15	0.18	0.21
	480V	0.05	0.06	0.08	0.11	0.13	0.16	0.05	0.06	0.08	0.11	0.13	0.16
Optics													
T2	Lumens	2,336	2,934	3,827	4,791	5,663	6,444	2,498	3,136	4,091	5,122	6,054	6,889
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T3	Lumens	2,385	2,994	3,906	4,889	5,779	6,577	2,504	3,144	4,101	5,133	6,068	6,905
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T4FT	Lumens	2,360	2,963	3,866	4,839	5,720	6,509	2,530	3,177	4,145	5,188	6,133	6,979
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
T4W	Lumens	2,386	2,996	3,908	4,892	5,783	6,581	2,500	3,139	4,095	5,126	6,059	6,895
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL2	Lumens	2,257	2,834	3,697	4,628	5,470	6,225	2,413	3,030	3,953	4,948	5,849	6,656
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL3	Lumens	2,220	2,787	3,636	4,552	5,380	6,122	2,365	2,970	3,874	4,849	5,732	6,523
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SL4	Lumens	2,110	2,649	3,456	4,326	5,113	5,818	2,234	2,805	3,660	4,581	5,415	6,162
	BUG Rating	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B0-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
SLL/SLR	Lumens	1,990	2,498	3,259	4,080	4,823	5,488	2,154	2,705	3,529	4,418	5,222	5,942
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2	B1-U1-G2
RW	Lumens	2,380	2,988	3,898	4,880	5,768	6,564	2,465	3,095	4,037	5,054	5,974	6,798
	BUG Rating	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B2-U0-G0	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1	B3-U1-G1

LUMEN MAINTENANCE

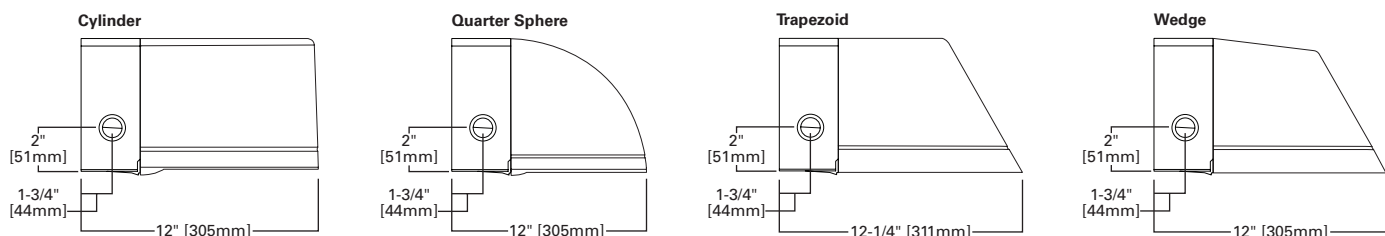
Current	Ambient Temperature	25000 Hours*	50000 Hours*	60000 Hours*	100000 Hours*	Theoretical L70 (Hours)*
Up to 1.2A	Up to 40°C	>95%	>91%	>90%	>83%	20,4000

*Data calculated based on TM-21 calculator.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

THRUWAY BACK BOX



ORDERING INFORMATION

Sample Number: ISC-AF-1200-LED-E1-T3-BZ

Product Family ¹	Light Engine	Drive Current	Lamp Type	Voltage	Distribution	Color
ISC =Impact Elite LED Small Cylinder ISS =Impact Elite LED Small Quarter Sphere IST =Impact Elite LED Small Trapezoid ISW =Impact Elite LED Small Wedge	AF=(1) LightSquare	350 =Drive Current Factory Set to 350mA 450 =Drive Current Factory Set to 450mA 600 =Drive Current Factory Set to 600mA 800 =Drive Current Factory Set to 800mA 1000 =Drive Current Factory Set to 1000mA 1200 =Drive Current Factory Set to 1200mA ²	LED=Solid State Light Emitting Diodes	E1 =Electronic (120-277V) 347 =347V ² 480 =480V ^{2,3}	T2 =Type II T3 =Type III T4FT =Type IV Forward Throw T4W =Type IV Wide SL2 =Type II w/Spill Control SL3 =Type III w/Spill Control SL4 =Type IV w/Spill Control SLL =90° Spill Light Eliminator Left SLR =90° Spill Light Eliminator Right RW =Rectangular Wide Type I	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)				Accessories (Order Separately) ¹⁷		
7030 =70 CRI / 3000K CCT ⁴ 7050 =70 CRI / 5000K CCT ⁴ 7060 =70 CRI / 5700K CCT ⁴ 8030 =80 CRI / 3000K CCT ⁴ PER7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ^{2,5,6} P =Button Type Photocontrol (Available in 120, 208, 240 or 277V. Must Specify Voltage) ^{2,6} HA =50°C High Ambient ⁷ AHD145 =After Hours Dim, 5 Hours, 50% ⁸ AHD245 =After Hours Dim, 6 Hours, 50% ⁸ AHD255 =After Hours Dim, 7 Hours, 50% ⁸ AHD355 =After Hours Dim, 8 Hours, 50% ⁸ MS/DIM-LXX =Motion Sensor for Dimming Operation ^{9,10,11} LWR-LW =LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{6,11,12} LWR-LN =LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{6,11,12} BBB =Battery Pack with Back Box (Specify 120V or 277V) ¹³ CWB =Cold Weather Battery Pack with Back Box (Specify 120V or 277V) ¹⁴ LCF =LightSquare Trim Plate Matches Housing Finish HSS =Factory Installed House Side Shield ¹⁵ ULG =Uplight Glow ^{5,6} TR =Tamper Resistant Hardware X =Driver Surge Protection (6kV) Only ¹⁶				MA1253 =10kV Circuit Module Replacement MA1254-XX =Thruway Back Box - Impact Elite Trapezoid MA1255-XX =Thruway Back Box - Impact Elite Cylinder MA1256-XX =Thruway Back Box - Impact Elite Quarter Sphere MA1257-XX =Thruway Back Box - Impact Elite Wedge FSIR-100 =Wireless Configuration Tool for Occupancy Sensor		

NOTES:

- Standard 4000K CCT and greater than 70 CRI.
- Not available with ULG option.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Extended lead times apply.
- Not available with ISS or ISW.
- Not available with LWR-XX or MS/DIM-LXX.
- Suitable for 50°C provided no options other than motion sensor are included and driver output set to 1.A or less.
- Requires the use of P photocontrol or the PER7 photocontrol receptacle with photocontrol accessory. Not available with 350mA drive current. See After Hours Dim supplemental guide for additional information.
- Specify lens in place of XX. Round to next highest option based on mounting height. Available options are 08, 20 and 40W.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Includes integral photocell.
- LumaWatt Pro wireless sensors are factory installed and requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt Pro application information.
- LED standard integral battery pack is rated for minimum operating temperature 32°F (0°C). Operates downlight for 90-minutes.
- LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates downlight for 90-minutes.
- Only for use with SL2, SL3 and SL4 distributions. The LightSquare trim plate is painted black when the HSS option is selected.
- Removes additional surge module.
- Specify color in place of XX.



6" new construction LED downlight

Weight: 7.05 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	LED
120V	0.17A
208V	0.11A
240V	0.10A
277V	0.09A
Input Watts	20.411W
Efficiency	98%

LED Info

Watts	20WW
Color Temp	3000K
Color Accuracy	82 CRI
L70 Lifespan	50,000
Lumens	1866
Efficacy	91.4 LPW

Technical Specifications**Listings****UL Listed:**

Suitable for wet locations covered ceiling

ENERGY STAR V2.0:

This product is ENERGY STAR® Version 2.0 Certified.

Construction**Housing:**

Professional-grade, die-cast aluminum construction

Trim Ring:

Silver powder coated die cast trim ring

Trim Cone:

Specular silver round trim cone

Drop Ceiling Installation:

NDLED can be installed in drop ceiling tiles when using optional c-channel bars and following local construction codes

Aperture Size:

6" Trim Module

Easy Installation:

The EZ-Connector makes installation easy

Junction Box:

Integral junction box with wiring capacity for Min 90°C supply conductors 4 in 4 out

Air Tight:

Housing certified Air Tight as per ASTM E283

Ambient Temperature:

Suitable For use in 40°C (104°F)

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Aperture Size:

6" Rough-In

Mounting:

Housing includes nailer bars and butterfly brackets. Brackets also accommodate mounting with 1/4" to 1/2" bar stock, C channel or 1/2" conduit.

Easy Installation:

The EZConnector makes installation easy

Thermal Protector:

Thermal protector included. Disables power if temperature exceeds safe operation levels.

Electrical**Dimming:**

Dimmable. Requires rough-in with dimming driver.

Dimming Driver:0 - 10V (at 120-277V), TRIAC and ELV (at 120V only). [See dimmer compatibility guide here.](#)**Driver:**

ELV, 0-10V and TRIAC Dimming, Constant Current, Class 2, 120V-277V, 50/60Hz, Power Factor 98%, THD ≤ 20%

Technical Specifications (continued)

Optical

Optics:

50° beam spread with specular thermoplastic optics and Nanostructure lens technology for smooth light output and high efficiency

LED Characteristics

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Other

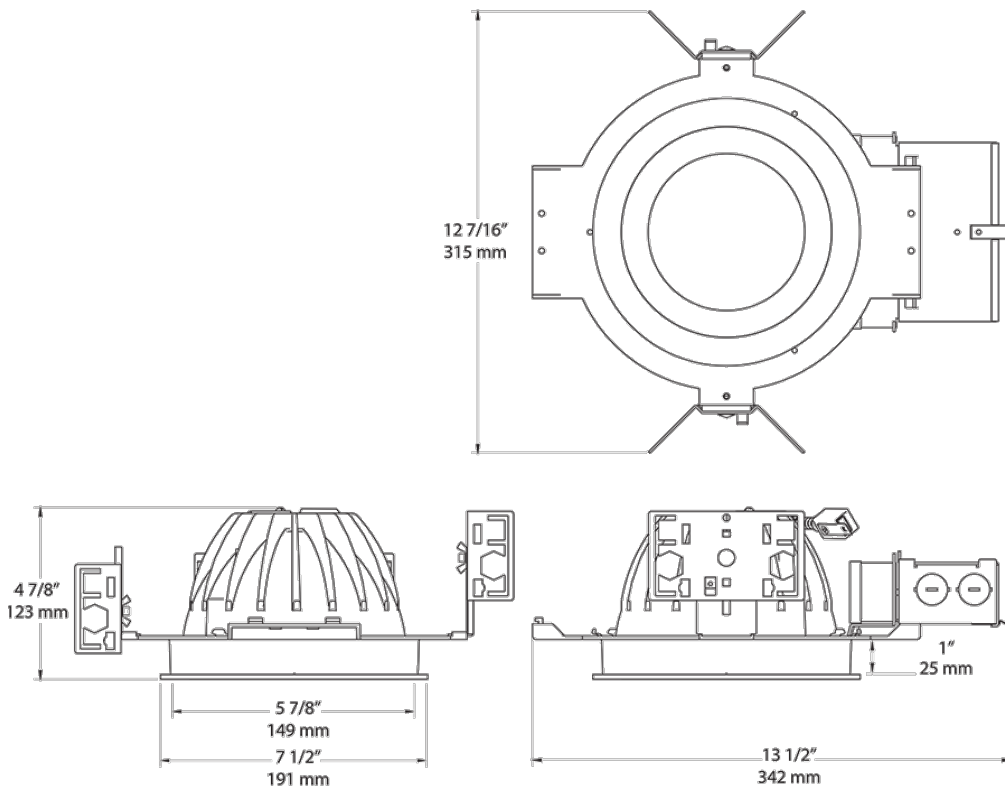
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Equivalency:

Equivalent to 100W PAR

Dimensions: ND6R20D



LED

503
SENTRY



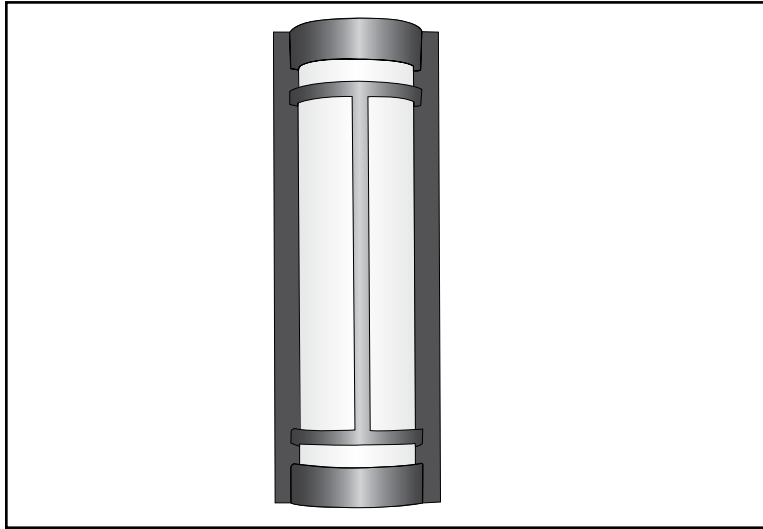
Constructed of solid aluminum bars this unique design makes a strong design statement. Whether used on brick or on smooth surfaces the fixture will dramatically enhance the aesthetics of the building.

Indessa
LIGHTING

503 SENTRY

LED

TYPE



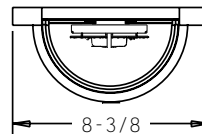
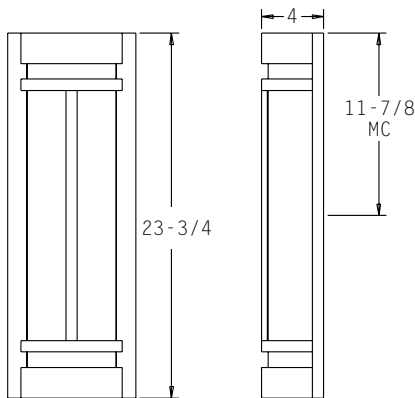
PROJECT: _____

LOCATION: _____

FEATURES

- Solid aluminum bar stock makes for an extremely rigid fixture.
- The integration of 2", 1 1/4" and 3/4" bars blends in seamlessly for a very unique look.
- Standard 0-10V dimming driver.
- All parts treated with a five stage phosphate bonding process before being treated with a long lasting powder coat finish.
- Ability to lengthen fixture and add or subtract bars.
- Listed and approved for wet locations.
- No visible fasteners.
- Manufactured in the U.S.A.
- Meets ADA requirements.
- Available with integral emergency ballast.

DIMENSIONS



MC = Mounting Center
A 4" octagonal junction box should be used for installation.

ORDERING INFORMATION / OPTIONS EXAMPLE: 503-2LED14-BLK

503

MODEL

503 - Sentry

LAMP

1LED19 – (1) 19W LED MODULE. 2000 Lumens
2LED14 – (2) 14W LED MODULES. 3100 Lumens
2LED17 – (2) 19W LED MODULES. 4000 Lumens
2F27 – (2) 24/27W Long Twin Tube CF (2G11 Base)
Consult factory for other available lamps and LED Wattages.

HOUSING FINISH

WHT - White
BLK - Black
SAL - Silver
BRZ - Bronze
BA - Brushed Aluminum
Consult factory for other finishes.

OPTIONS

BL - Bottom Lens
TC - Top Aluminum Cover
BC - Bottom Aluminum Cover
DRY - Indoor Version
30K - 3000 Kelvin Temperature
35K - 3500 Kelvin Temperature
40K - 4000 Kelvin Temperature
IEM - Integral Emergency Driver
 (BC option cannot be used in conjunction with IEM)

Indessa
LIGHTING

PHONE: 509.924.0243 • FAX: 509.924.2607 • www.indessa.com

Indessa Lighting reserves the right to make design revisions without prior notice.

