

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____



March 26, 2020
1:48 p.m.

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 36 West Towne Mall

Title: West Towne Mall Redevelopment (Demo of Boston Store for Von Maur Development)

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested April 29, 2020

- | | |
|--|--|
| <input type="checkbox"/> New development | <input checked="" type="checkbox"/> Alteration to an existing or previously-approved development |
| <input type="checkbox"/> Informational | <input type="checkbox"/> Initial approval |
| | <input type="checkbox"/> Final approval |

3. Project Type

- | |
|---|
| <input type="checkbox"/> Project in an Urban Design District |
| <input type="checkbox"/> Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC) |
| <input type="checkbox"/> Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC) |
| <input type="checkbox"/> Planned Development (PD)
<input type="checkbox"/> General Development Plan (GDP)
<input type="checkbox"/> Specific Implementation Plan (SIP) |
| <input checked="" type="checkbox"/> Planned Multi-Use Site or Residential Building Complex |

Signage

- | |
|--|
| <input type="checkbox"/> Comprehensive Design Review (CDR) |
| <input type="checkbox"/> Signage Variance (i.e. modification of signage height, area, and setback) |

Other

- | |
|---|
| <input type="checkbox"/> Please specify |
|---|

4. Applicant, Agent, and Property Owner Information

Applicant name Ken Wittler
Street address 2030 Hamilton Place Boulevard, Suite 500
Telephone 423-855-0001

Project contact person Jeff Yersin
Street address 16745 W. Bluemound Rd.
Telephone 262-317-3232

Property owner (if not applicant) _____
Street address _____
Telephone _____

Company CBL Properties
City/State/Zip Chattanooga, TN 37421
Email ken.wittler@cblproperties.com

Company RaSmith, Inc
City/State/Zip Brookfield, WI 53005
Email jeff.yersin@rasmith.com

City/State/Zip _____
Email _____

5. Required Submittal Materials

- ☒ **Application Form**
- ☒ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development plans** (Refer to checklist on Page 4 for plan details)
- ☒ **Filing fee**
- ☒ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with City of Madison Development Assistance Team on October 31, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Ken Wittler Relationship to property Vice President - Development at CBL

Authorizing signature of property owner  Date 1-9-20

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

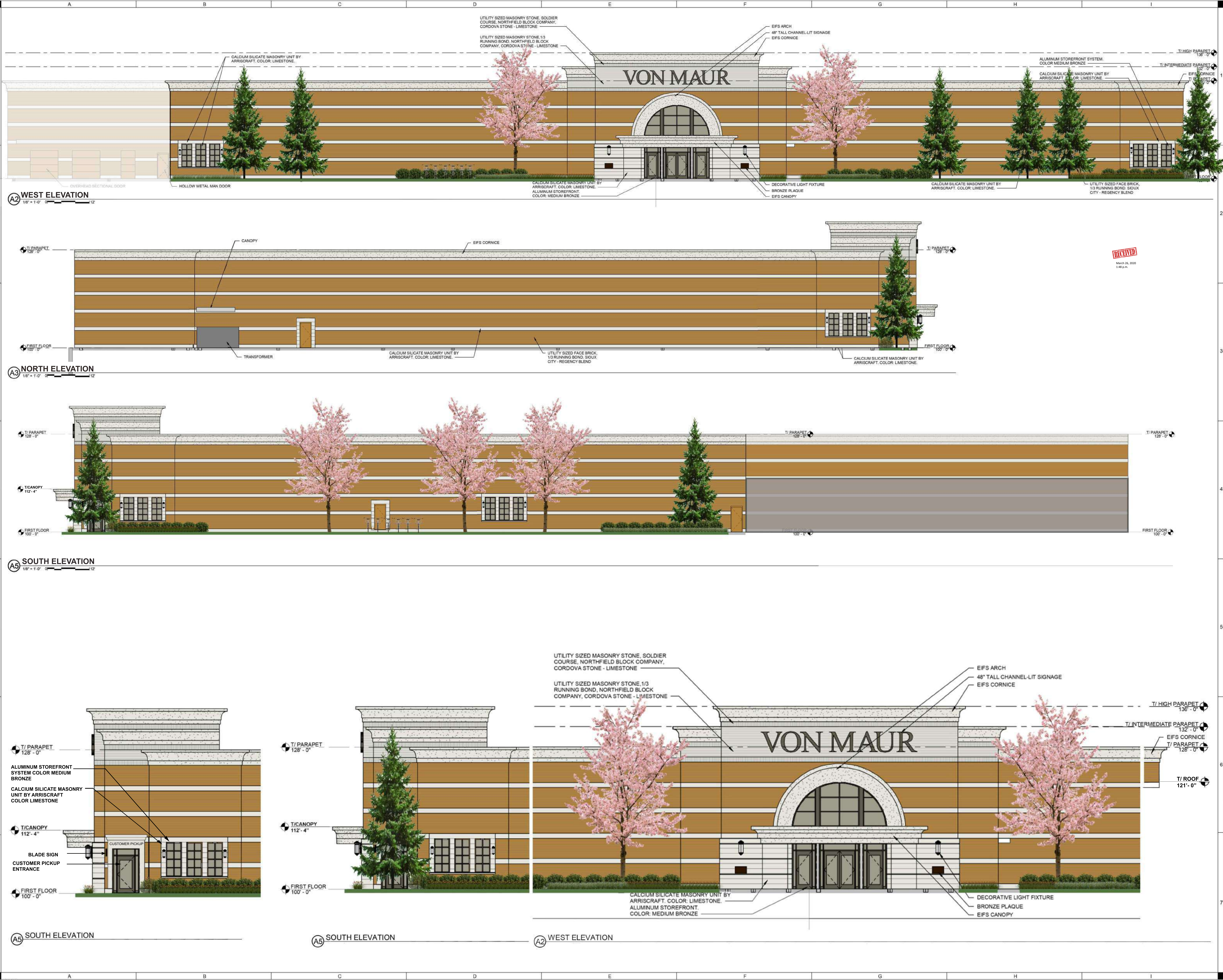
Please consult the schedule below for the appropriate fee for your request:

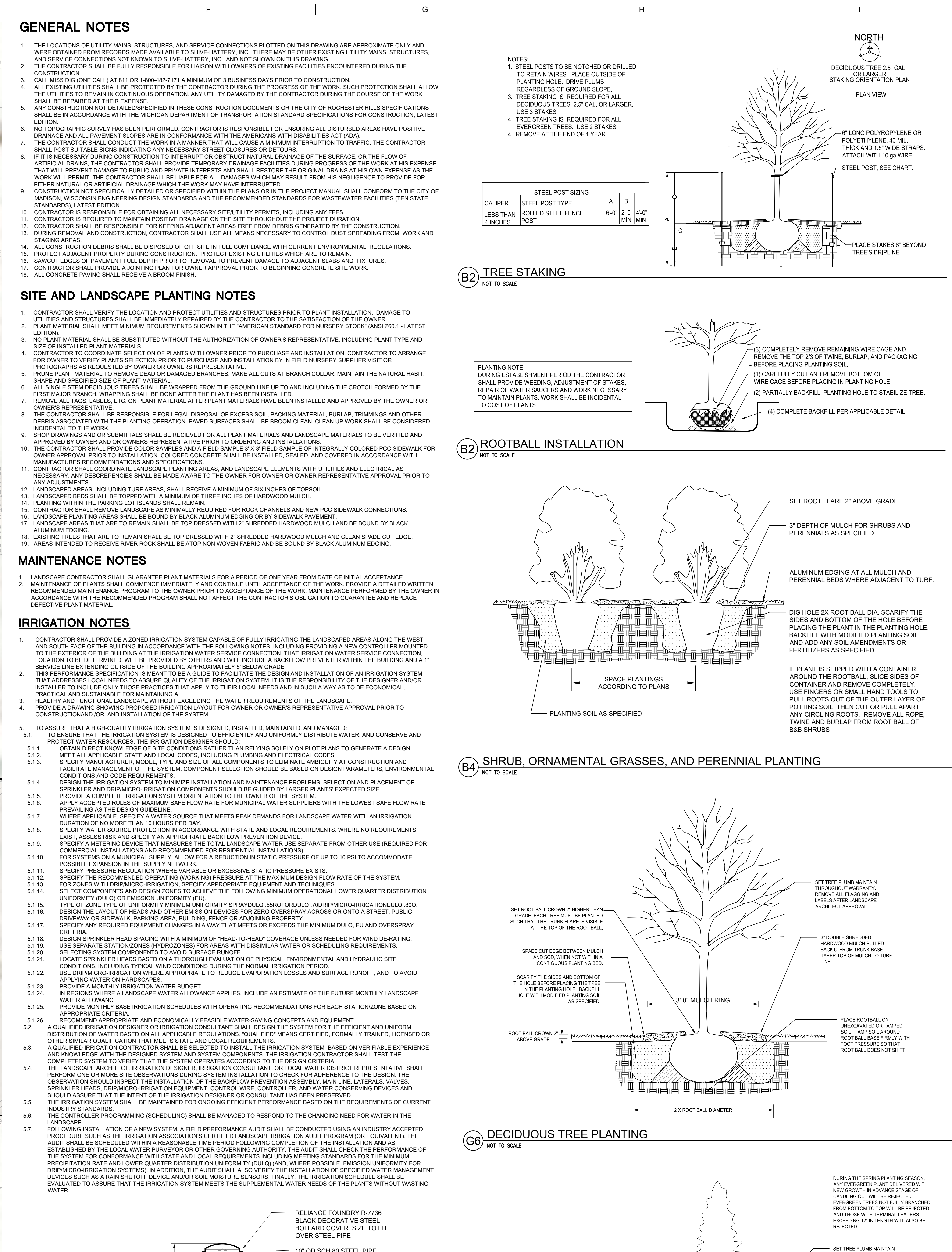
- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

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ALUMINUM EDGING, TYP. INSTALLED PER DETAIL 4 SHEET C500

TURF GRASS OR PLANT MATERIAL, AS SPECIFIED

4" MIN. DEPTH, 1" RIVER ROCK

FACE OF BUILDING

LANDSCAPE FABRIC

Z' WIDE TYP.

E7 TYPICAL SPADE EDGE AND MULCH DETAIL NOT TO SCALE

3/4" X 5.5" ALUMINUM EDGING, CC

BED MEDIA OR AGGREGATE

TOP OF EDGING TO BE MAXIMUM 1" ABOVE SURFACE MATERIAL

MINIMUM 2" OVERLAP

COMPACT GRADES ADJACENT TO SPA TO AVOID SETTLING

INSTALL PER MANUFACTURER'S INSTRUCTIONS AT CORNERS, CUT BASE OF MULCH TO FORM A CONTINUOUS CORNER



LANDSCAPE PLAN

DRAWN: SJB

APPROVED: GJB

ISSUED FOR REVIEW

DATE: 01-06-2020

PROJECT NO: 3105640

FIELD BOOK: --

CLIENT NO: --

PRELIMINARY

- NOT FOR

CONSTRUCTION

NEW DEPARTMENT STORE, WEST TOWNE MALL

VON MAUR

66 WEST TOWNE MALL, MADISON, WI 53719

SHIVE-HATTERY

ARCHITECTURE + ENGINEERING

1770 River Drive, Suite 200 | Meville, Illinois 61055

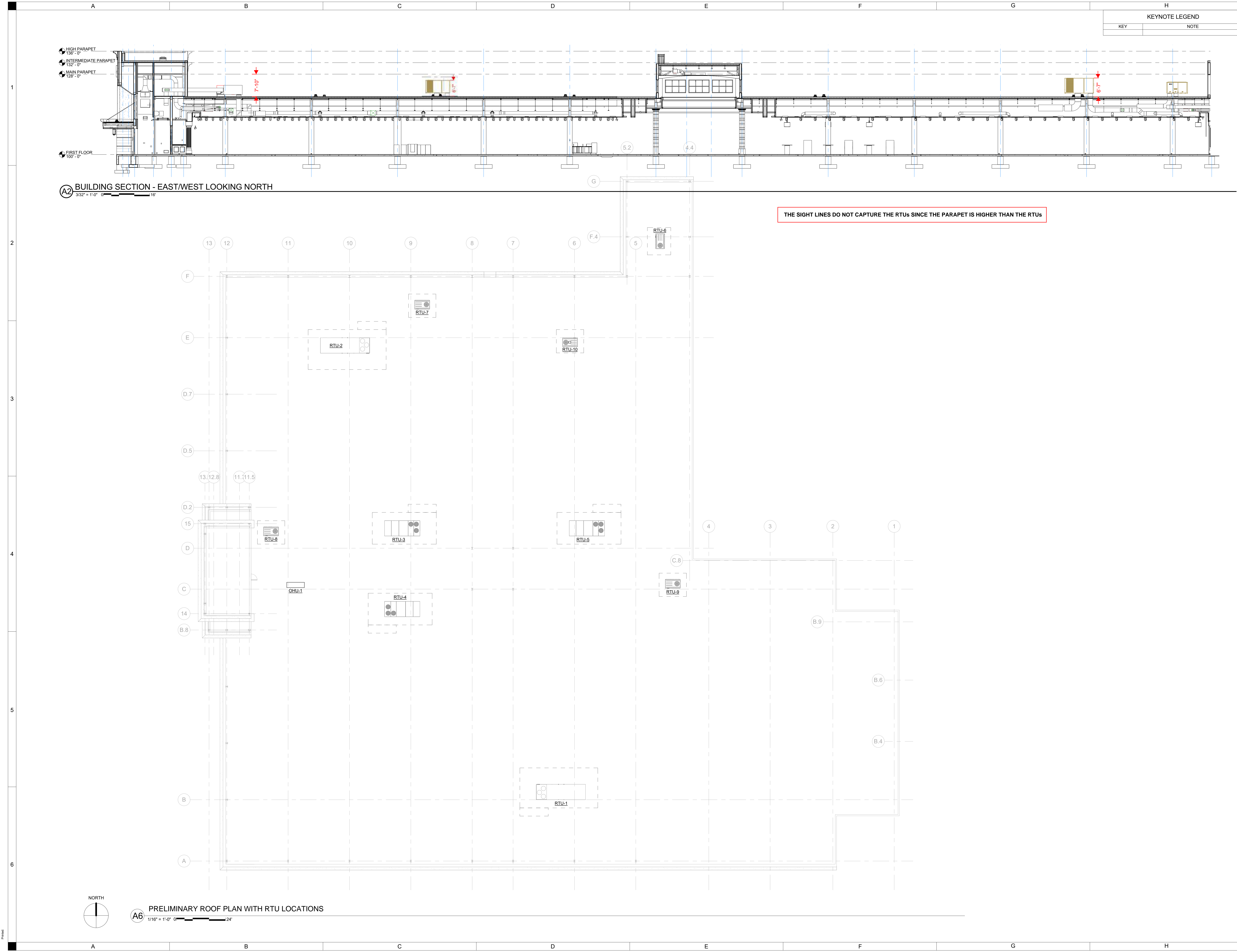
309.504.1652 | www.shive-hattery.com

Illinois | Illinois | Indiana

Illinois Firm Number: 184-000214

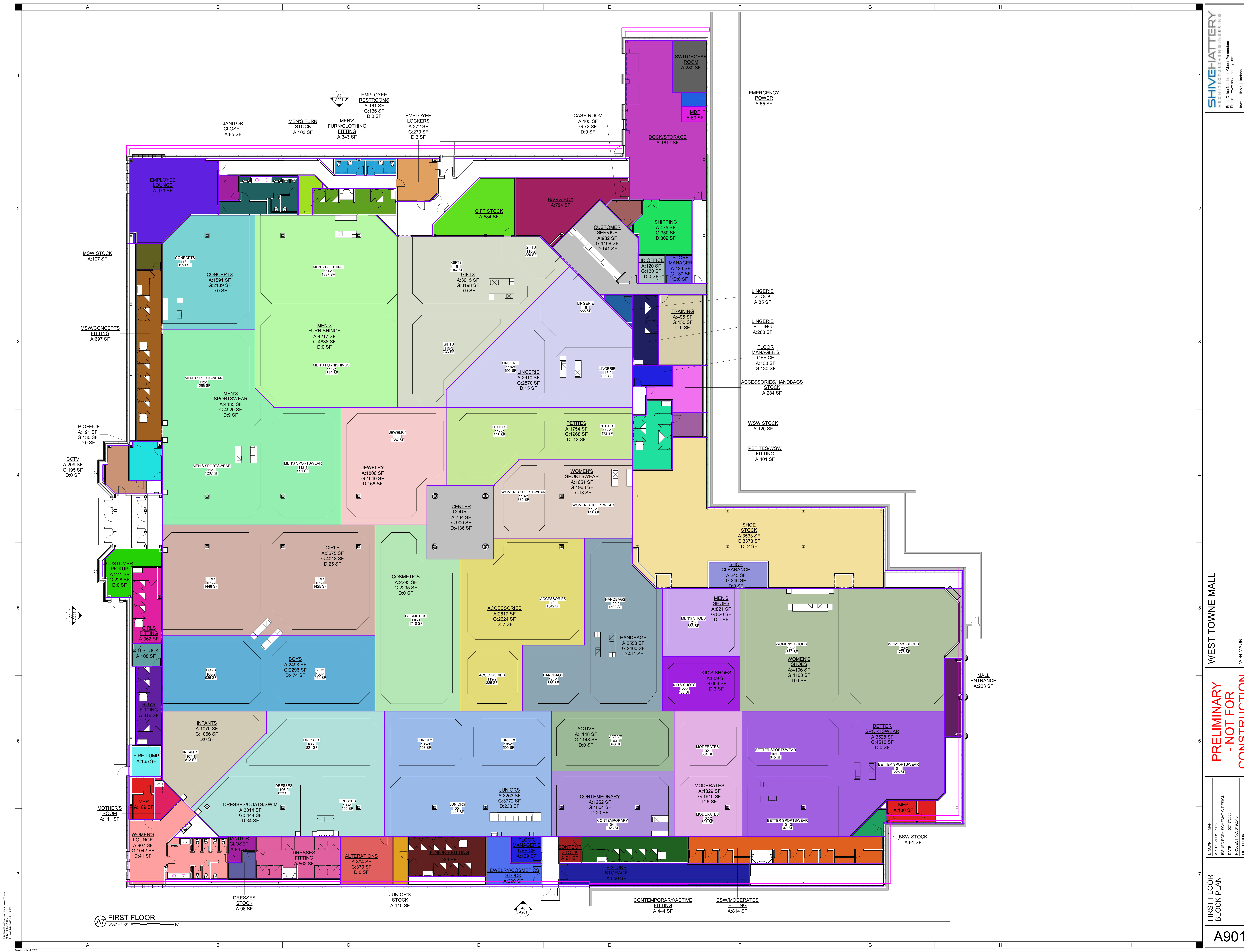
SEAL

C142



KEYNOTE LEGEND	
KEY	NOTE

DRAWN:	Autor
APPROVED:	Approver
ISSUED FOR:	
DATE:	Issue Date
PROJECT NO:	Project Number
FIELD BOOK:	



7 FIRST FLOOR
3/32" = 1'-0" 0" 16"

1/22/2020 3:07:48 PM

\\sh.shive-hattery.com\data\Projects\MO\3192540\Deliverables\Drawings\1_Civil\Exterior Images Exhibit.dwg



EXTERIOR BUILDING UPLIGHTING PROTOTYPE PHOTOS

SHIVE-HATTERY

ARCHITECTURE + ENGINEERING

1701 River Drive, Suite 200 | Moline, Illinois 61265

309.764.7650 | www.shive-hattery.com

Iowa | Illinois | Indiana Illinois Firm Number: 184-000214

VON MAUR 66 W TOWNE MALL, MADISON WI. 53719			
DATE	01-22-2020	SCALE	...
DRAWN	SLB	FIELD BOOK	...
APPROVED	SPK	REVISION	...
PROJECT NO. 3192540			
SHEET NO. EX-1			

FXLED150SFY



Color: Bronze

Weight: 27.2 lbs

Project: Von Maur REVISED SUBMITTAL 11/9/2018		Type: F29/Heads	
Prepared By: LMFETTIS		Date: 9/27/2018	
Driver Info Type: Constant Current 120V: 1.31A 208V: 0.80A 240V: 0.69A 277V: 0.60A Input Watts: 153W Efficiency: 98%		LED Info Watts: 150W Color Temp: 3000K (Warm) Color Accuracy: 71 CRI L70 Lifespan: 100000 Lumens: 18264 Efficacy: 119 LPW	

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for ground mounting.

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P00001730

Electrical

Driver:

One Driver, Constant Current, Class 2, 2100mA 100-277V, 50-60Hz, Power Factor 99%

THD:

4.9% at 120V, 13.9% at 277V

Power Factor:

99.5% at 120V, 93.7% at 277V

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Note:

All values are typical (tolerance +/- 10%)

LEDs:

Multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures

Effective Projected Area:

EPA = 2

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Thermal Management:

Superior thermal management with external "Air-Flow" fins

Lens:

Tempered glass lens

Housing:

Die-cast aluminum housing and door frame

Mounting:

Heavy-duty Slipfitter for 2 3/8"OD pipe

Reflector:

Specular, vacuum-metalized polycarbonate

Gaskets:

High-temperature silicone gaskets

Finish:

Formulated for high-durability and long lasting color

Green Technology:

Mercury and UV-free. RoHS compliant components.

Optical

NEMA Type:

NEMA Beam Spread of 6H x 6V

Sensor Characteristics

Field & Beam Angles:

Horizontal Beam Angle (50%): 91.8°, Vertical Beam Angle (50%): 73.5° Horizontal Field Angle (10%): 121.0°, Vertical Field Angle (10%): 108.0°

KIMLIGHTING

CFL Compact Floodlight, LED 2.0 kl_cfl_led_spec.pdf

JOB VON MAUR GRAND RAPIDS TYPE

NOTES CFL/WF/213KUV/CC FH-CFL/CC-P APPROVALS REVISED SUBMITTAL

FEATURES

- Second generation LED 2.0
- Three beam patterns, Wide Flood, Vertical Flood, and Narrow Flood distributions generate high efficiencies and outstanding uniformity of illumination
- Die-cast housing with integral cooling ribs promote efficient transfer of heat.
- A variety of mounting options.
- IP66 sealed optical chamber.

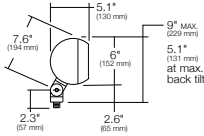
Certifications



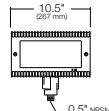
SPECIFICATIONS



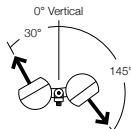
Max Weight = 13 lbs.



Side



Front



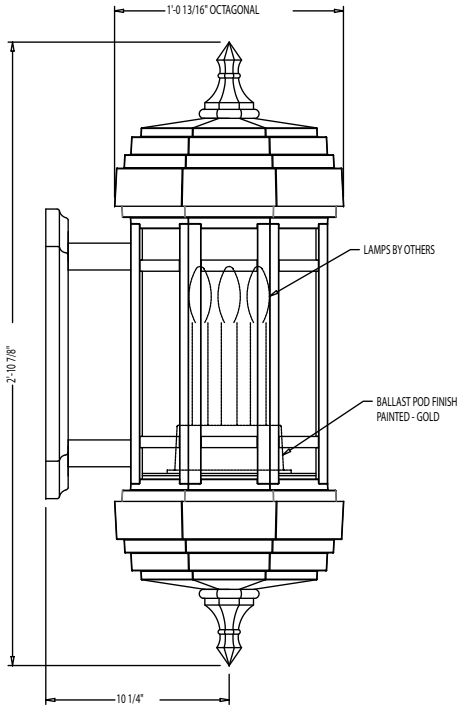
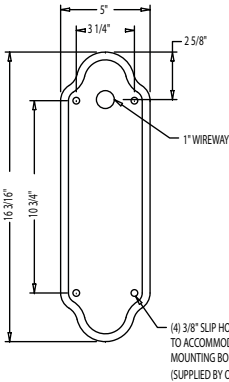
Aiming Range

ORDERING CODE

CFL	WF	21	3K	35	UV	CC	
Fixture	Distribution	# LED's	CCT	Drive Current	Voltage	Color	Fuse Options
	WF Wide Flood VF Vertical Flood NF Narrow Flood	21 21 LED's	3K 3000K 4K 4000K 5K 5000K	35 350mA 50 500mA	UV 120-277V	BL Black DB Dark Bronze LG Light Gray PS Platinum Silver TT Titanium WH White CC Custom Color ²	SF 120, 277 Line Volts DF 208, 240 Line Volts
FH-CFL/CC-P							

Accessories / Mounting Options	
BD-CFL Barn Doors	JBR32 Brass In-Grade Staked J-Box with Cord
FH-CFL Fixed Hood	SM18 Surface Mount Tenon
FS-CFL Full Shield	J-27N Surface Mount
JBR2/3/21/24 Brass In-Grade Architectural J-Box	JW Architectural Wall Mount
JBR4/5 Composite In-Grade Architectural J-Box	EP17 PowerPost
JBR30 Brass In-Grade Staked J-Box	JB1 Architectural J-Box
	J-25N Portable Spear Mount

(SEE ADDITIONAL SUBMITALL PAGE)



WALL BRACKET SPECIFICATIONS:

STYLE: FORT WORTH (M1) WALL BRACKET
HEIGHT: 2'-10 7/8"
WIDTH: 1'-0 13/16" OCTAGONAL (FLAT TO FLAT)
LUMINAIRE: 10 1/4" FROM WALL TO B.O.F LUMINAIRE
BRACKET: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
MATERIAL: POWDER COAT: RIVER TEXTURE GLOSS BLACK
FINISH: (4) 50 WATT INCANDESCENT
LAMPS: WIRED AT 120 VOLTS
VOLTAGE: (4) MINI CANDELABRA
SOCKET: CLEAR POLYCARBONATE
PANELS: FORT POINT
FINAL:

CATALOG NO. AWKFTW-M1-15-10-25-HNDS0/SX/MC-PPLO-FNA-CU

Δ QUANTITY 6 REQUIRED

*UPDATED JOB INFORMATION AND CHANGED TO QTY 6

REVISED BY: MWG		DATE: 04-06-18	
DESCRIPTION		DRAWN BY: DATE	
CUSTOMER		MWG WB-3000S	
JOB		Crescent Eletic Supply Company, Grand Rapids, MI WOODLAND MALL	
SCALE		DRAWING NO.	
N.T.S.		10/2018 SB-3000S	

SHIVE-HATTERY
ARCHITECTURE + ENGINEERING
1701 River Drive, Suite 200 | Moline, Illinois 61265
309.764.7660 | www.shive-hattery.com
Iowa | Illinois | Indiana Illinois Firm Number: 184-000214

VON MAUR 66 W TOWNE MALL, MADISON WI. 53719		SCALE	FIELD BOOK	REVISION
DATE	01-22-2020	SLB	SPK	
DRAWN				
APPROVED				

PROJECT NO.	3192540
SHEET NO.	EX-3

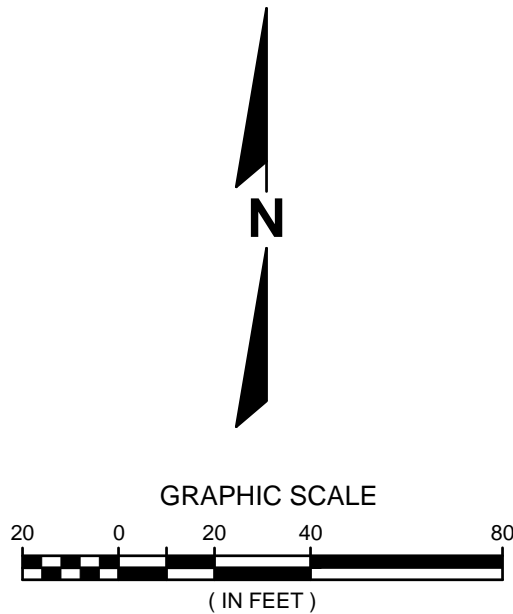
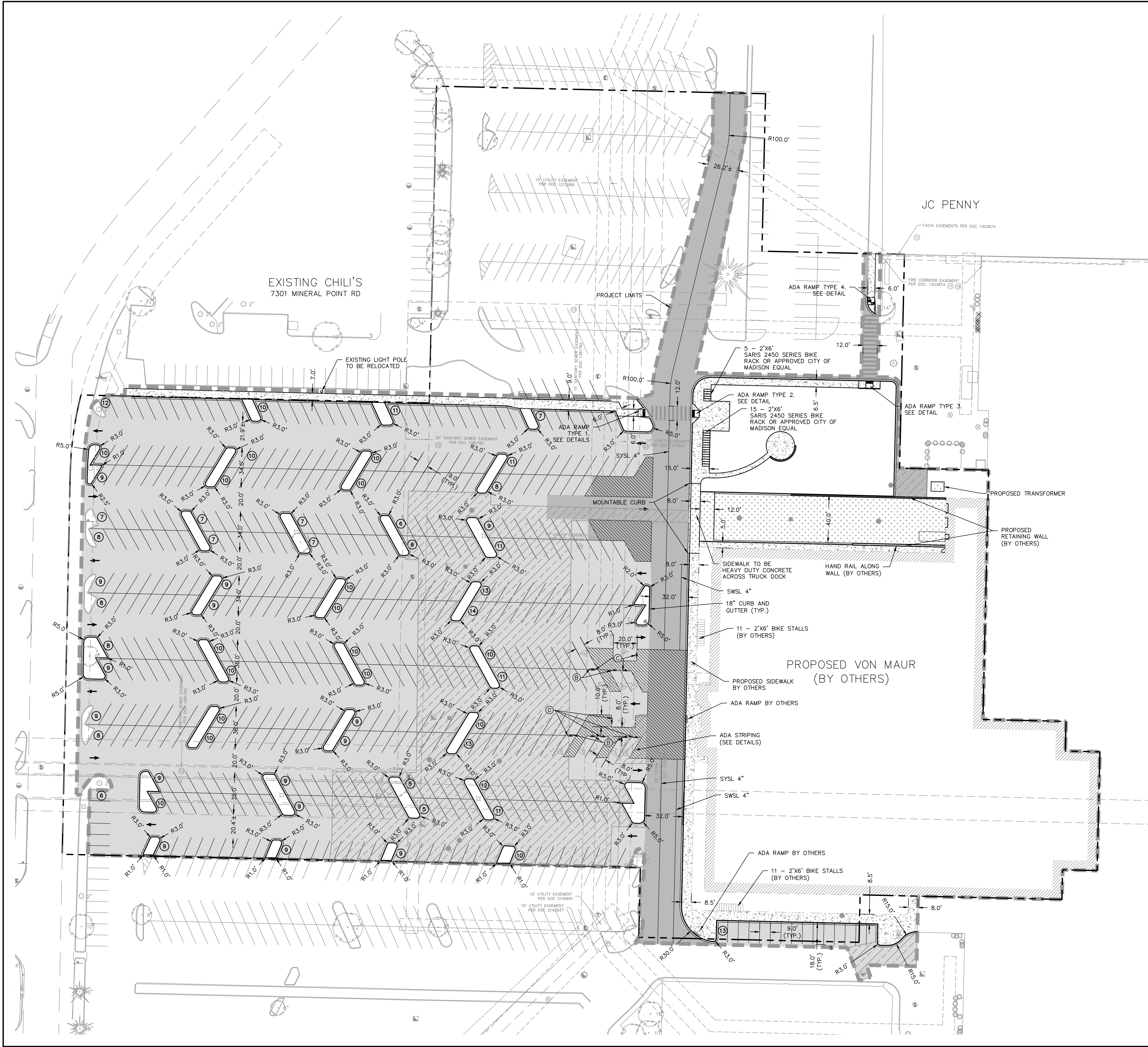




VON MAUR



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LEGEND

- SIGN
- PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
- HEAVY-DUTY CONCRETE PAVEMENT
- LIGHT-DUTY CONCRETE PAVEMENT
- HEAVY-DUTY ASPHALT PAVEMENT OVERLAY
- STANDARD-DUTY ASPHALT PAVEMENT OVERLAY
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- PROPOSED PAVEMENT MARKING (PARKING LOT)
- PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC (PARKING LOT)
- BUILDING OUTLINE
- PROJECT LIMITS

SIGN LEGEND

- STOP SIGN
- ADA
- ADA VAN

GENERAL NOTES:
EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC. DATED NOVEMBER 18, 2019.
CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.
ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.
SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH

SITE CALCULATIONS			
	AC	SF	% OF PROJECT AREA
TOTAL PARCEL AREA:	9.45	411,724	-
TOTAL PROJECT AREA:	7.77	338,449	-
EXISTING IMPERVIOUS AREA:	7.41	322,929	95.83%
PROPOSED IMPERVIOUS AREA:	7.08	308,567	91.12%
OVERALL SITE GREENSPACE:	0.69	29,882	8.88%
EXISTING BUILDING AREA	2.21	96,212	28.82%
PROPOSED BUILDING AREA	1.89	82,378	24.34%

SITE DATA	
EXISTING PARKING STALLS	623 (612 & 11 ADA)
PROPOSED PARKING	557 (545 & 12 ADA)
PROPOSED BIKE PARKING	42 (112,000 SF BUILDING AREA)

Know what's below.
Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION

DATE

01/28/2020 BID SET

02/04/2020 SIDEWALK REVISION

03/11/2020 CITY SUBMITTAL

03/25/2020 CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

SITE PLAN

© COPYRIGHT 2020
R.A. Smith, Inc.

DATE: 01/08/20

SCALE: 1" = 40'

JOB NO. 3190329

PROJECT MANAGER:
MATTHEW P. KOCIOUREK, P.E.

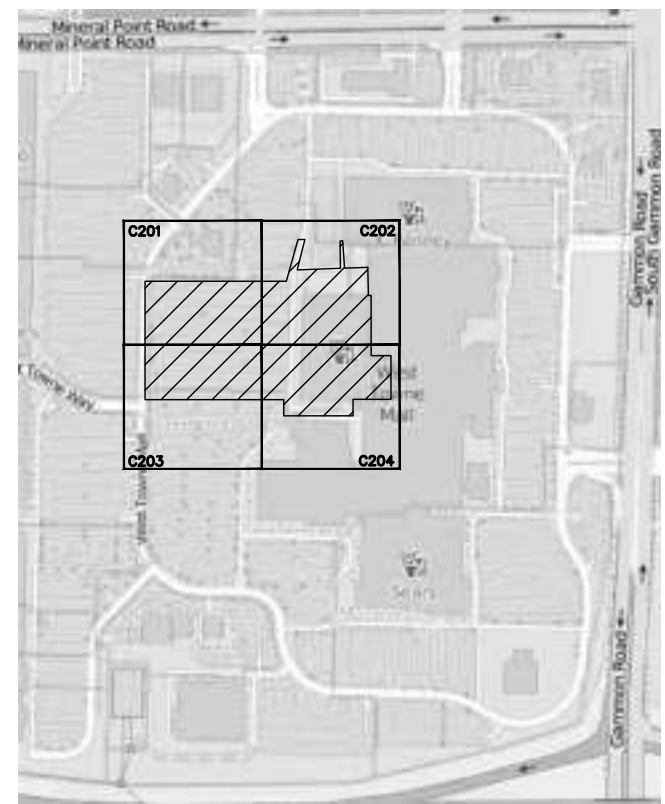
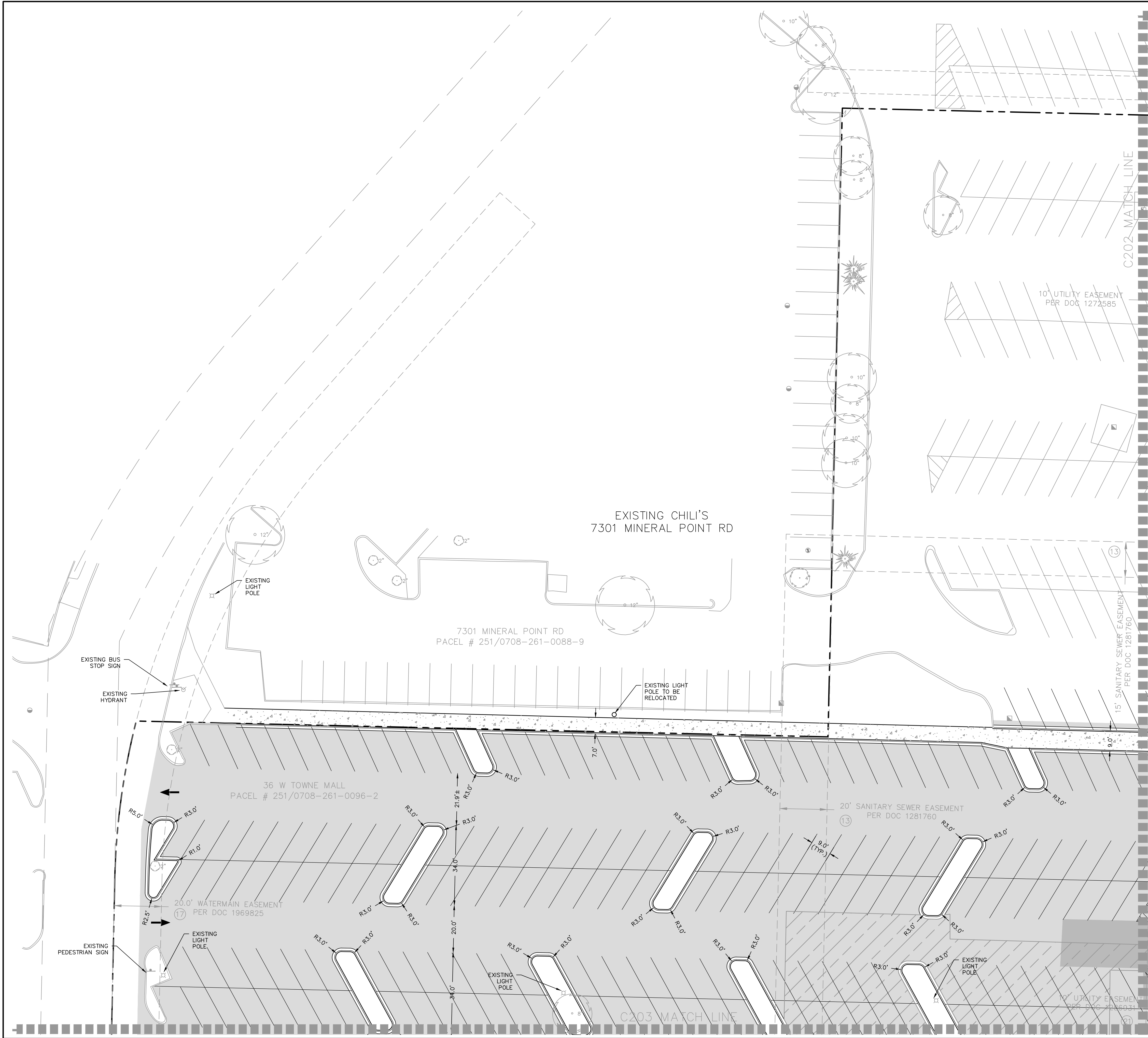
DESIGNED BY: DVW

CHECKED BY: RJY

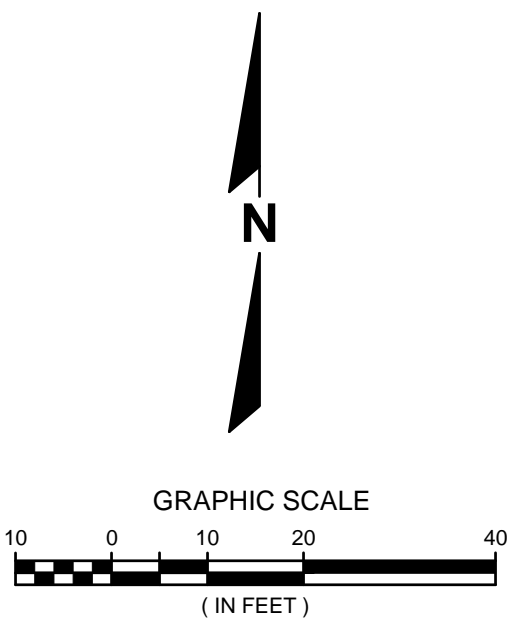
SHEET NUMBER

C200

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KEY MAP
NTS



LEGEND

- SIGN
- PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
- HEAVY-DUTY CONCRETE PAVEMENT
- LIGHT-DUTY CONCRETE PAVEMENT
- HEAVY-DUTY ASPHALT PAVEMENT OVERLAY
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- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
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- PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC (PARKING LOT)
- BUILDING OUTLINE
- SHEET MATCH LINE

SIGN LEGEND

- STOP SIGN
- ADA
- ADA VAN

GENERAL NOTES:

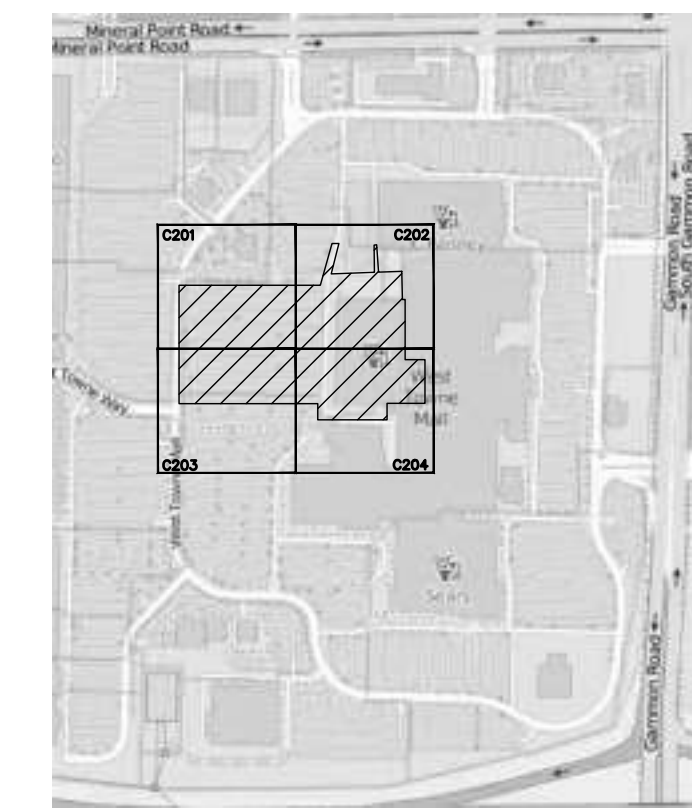
EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC, DATED NOVEMBER 18, 2019.
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SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.
SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH



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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



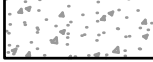


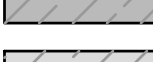





DESCRIPTION	
DATE	03/11/2020 CITY SUBMITTAL
	03/25/2020 CITY COMMENTS
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA	
WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI	
SITE PLAN NW	
© COPYRIGHT 2020 R.A. Smith, Inc.	
DATE: 01/08/20	
SCALE: 1" = 20'	
JOB NO. 3190329	
PROJECT MANAGER: MATTHEW P. KOCOUREK, P.E.	
DESIGNED BY: DVW	
CHECKED BY: RJY	
SHEET NUMBER	
C201	



KEY MAP
NTS

NTS

LEGEND

- | | |
|--|--|
| | SIGN |
|  | PROPOSED 18" CONCRETE
HIGH SIDE CURB & GUTTER |
|  | HEAVY-DUTY CONCRETE
PAVEMENT |
|  | LIGHT-DUTY CONCRETE PAVEMENT |
|  | HEAVY-DUTY ASPHALT PAVEMENT
OVERLAY |
|  | STANDARD-DUTY ASPHALT PAVEMENT
OVERLAY |
|  | HEAVY-DUTY ASPHALT PAVEMENT |
|  | STANDARD-DUTY ASPHALT PAVEMENT |
|  | PROPOSED PAVEMENT MARKING
(PARKING LOT) |
|  | PAVEMENT MARKING - ISLANDS,
CROSSWALKS, ETC (PARKING LOT) |
|  | BUILDING OUTLINE |
|  | SHEET MATCH LINE |

SIGN LEGEND

- (A) STOP SIGN
- (B) ADA
- (C) ADA VAN

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC, DATED NOVEMBER 18, 2019.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON
EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.

SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH

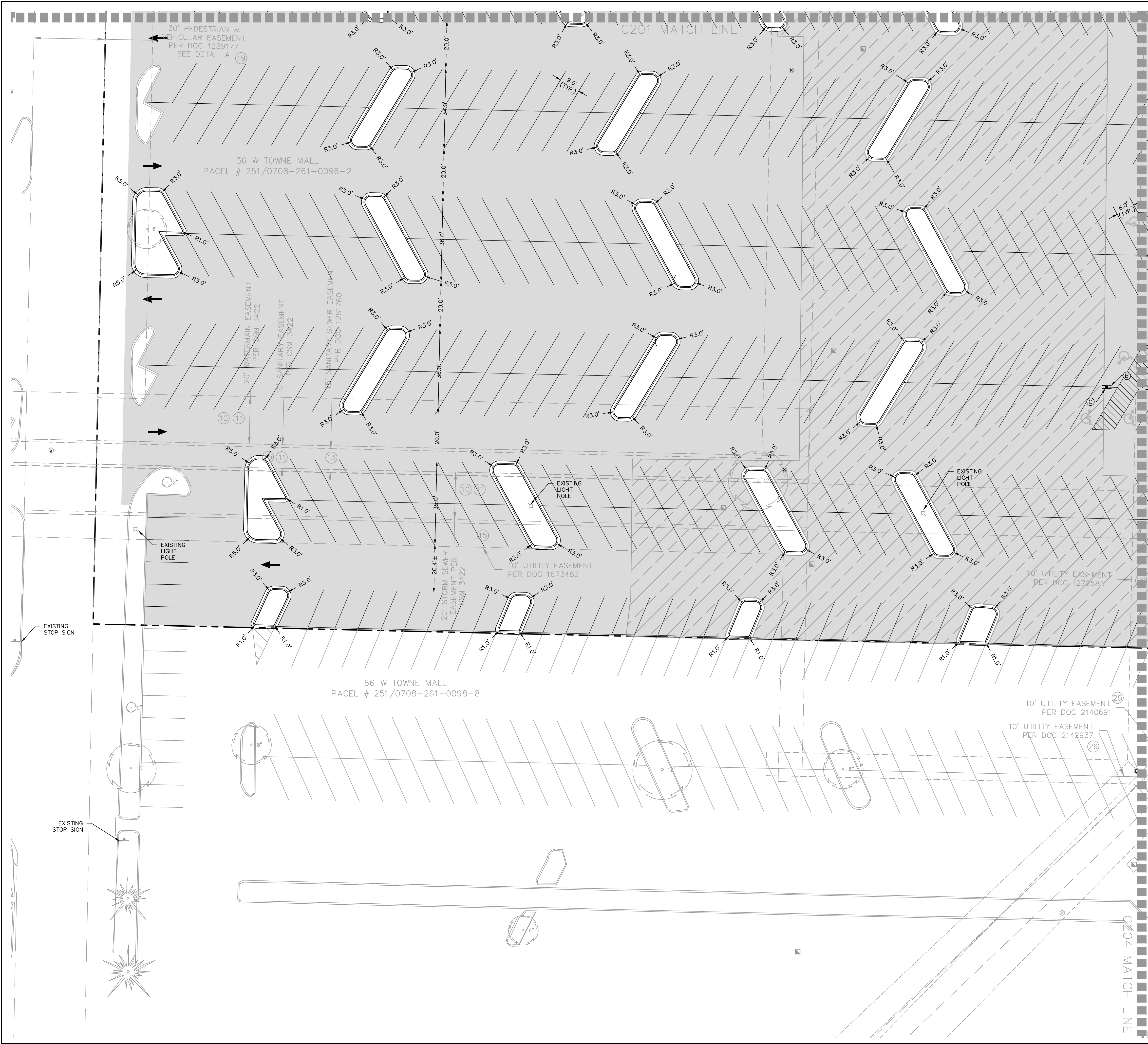


Know what's **below**.
Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

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KEY MAP
NTS

N

GRAPHIC SCALE
(IN FEET)

LEGEND

- SIGN
- PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
- HEAVY-DUTY CONCRETE PAVEMENT
- LIGHT-DUTY CONCRETE PAVEMENT
- HEAVY-DUTY ASPHALT PAVEMENT OVERLAY
- STANDARD-DUTY ASPHALT PAVEMENT OVERLAY
- HEAVY-DUTY ASPHALT PAVEMENT
- STANDARD-DUTY ASPHALT PAVEMENT
- PROPOSED PAVEMENT MARKING (PARKING LOT)
- PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC (PARKING LOT)
- BUILDING OUTLINE
- SHEET MATCH LINE

SIGN LEGEND

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- (B) ADA
- (C) ADA VAN

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SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH

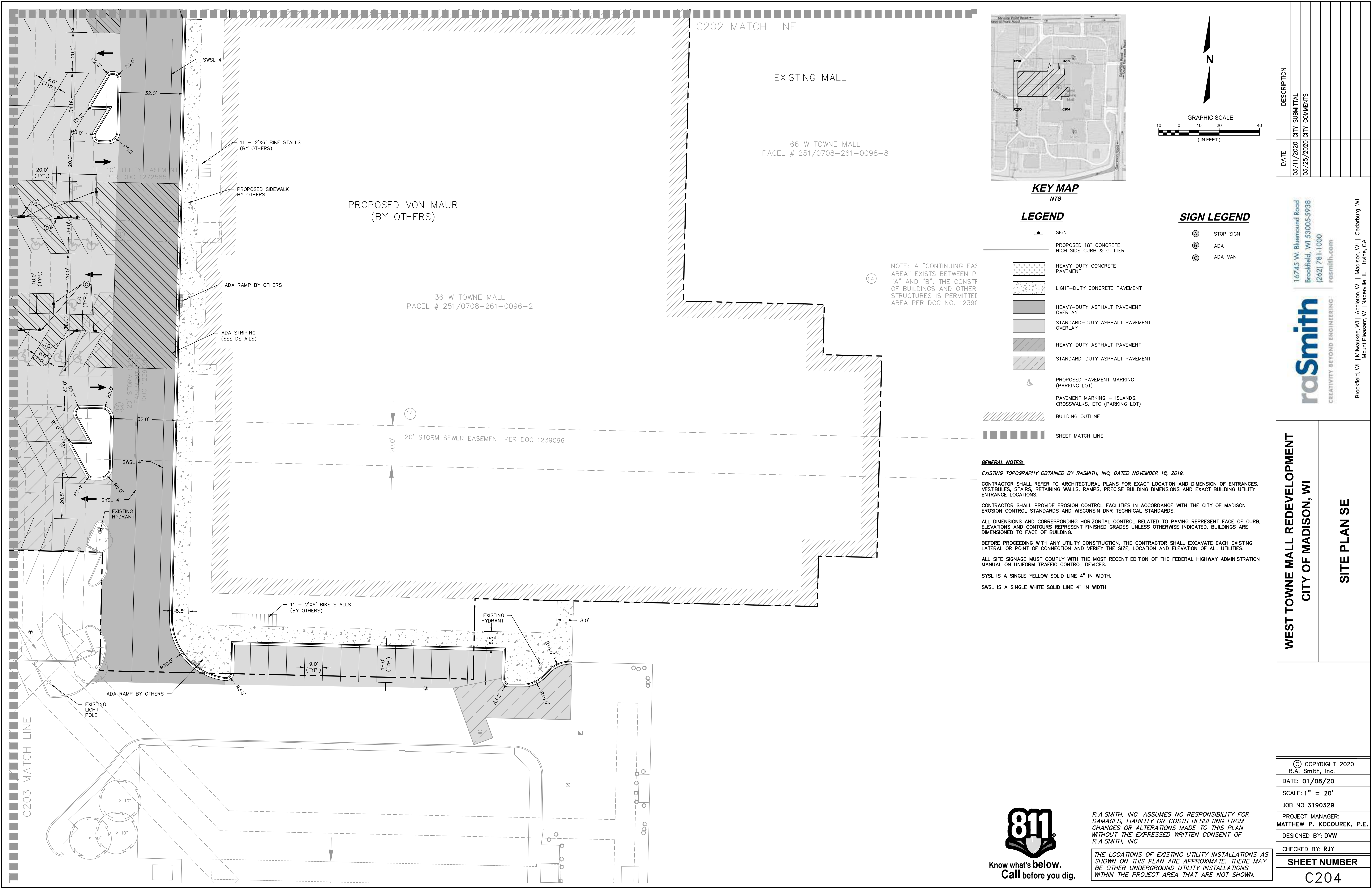
811
Know what's below.
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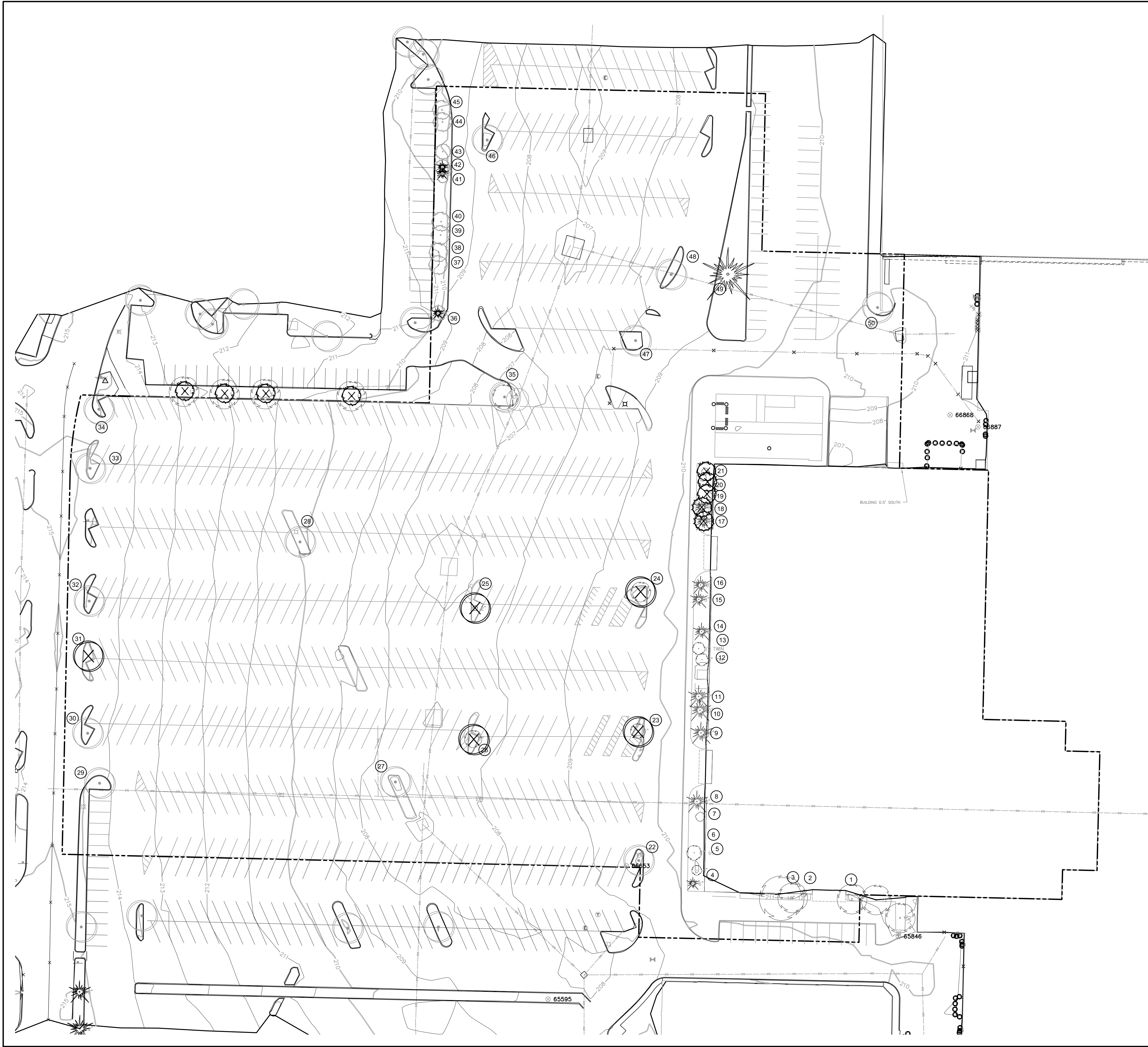
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DESCRIPTION	
DATE	03/11/2020 CITY SUBMITTAL
	03/25/2020 CITY COMMENTS
<div><div>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</div><div>raSmith CREATIVITY BEYOND ENGINEERING</div><div>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Irvine, CA</div></div>	
<div><div>WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI</div><div>SITE PLAN SW</div></div>	
<div><div>© COPYRIGHT 2020 R.A. Smith, Inc.</div><div>DATE: 01/08/20</div><div>SCALE: 1" = 20'</div><div>JOB NO. 3190329</div><div>PROJECT MANAGER: MATTHEW P. KOCOUREK, P.E.</div><div>DESIGNED BY: DVW</div><div>CHECKED BY: RJY</div><div>SHEET NUMBER</div><div>C203</div></div>	

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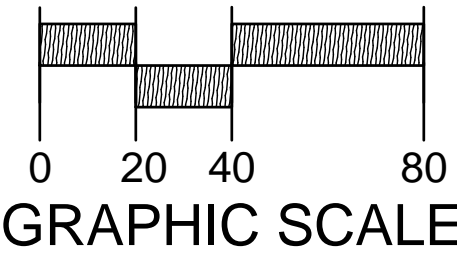


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West Towne Mall - von Maur
Tree Inventory 10-22-2019
Existing Trees and Shrubs

Key	QTY	Size DBH	Tree	Condition
1	1	12" Cal.	Maple	Good
2	1	14" Cal.	Maple	Good
3	1	18" Cal.	Maple	Good
4	1	25'-30' HT	Spruce	Good
5	1	3" CAL	Crabapple	Poor
6	1	5" & 7" Cal.	Birch - Twin	Good
7	1	25' HT	Magnolia - Multistem	Good
8	1	25'-30' HT	Concolor Fir	Good
9	1	25'-30' HT	Concolor Fir	Good
10	1	25'-30' HT	Spruce	Fair
11	1	25'-30' HT	Spruce	Fair
12	1	4", 4" & 4" Cal	Birch - Multistem	Good
13	1	5" & 3" Cal.	Birch - Twin	Good
14	1	25'-30' HT	Austrian Pine	Good
15	1	25'-30' HT	Spruce	Fair
16	1	25'-30' HT	Spruce	Good
17	1	25'-30' HT	Spruce	Good
18	1	25'-30' HT	Spruce	Good
19	1	20" HT	Crabapple	Fair
20	1	15" HT	Amelanchier	Good
21	1	15" HT	Amelanchier	Good
22	1	7" Cal.	Locust	Good
23	1	5" Cal.	Linden	Good
24	1	8" Cal.	Ash	Good
25	1	2" Cal.	Locust	Good
26	1	6" Cal.	Locust	Poor
27	1	12" Cal.	Locust	Good
28	1	8" Cal.	Locust	Good
29	1	2" Cal.	Maple	Good
30	1	2" Cal.	Maple	Good
31	1	8" Cal.	Locust	Good
32	1	8" Cal.	Locust	Good
33	1	2" Cal.	Maple	Good
34	1	2" Cal.	Maple	Good
35	1	12" Cal.	Locust	Good
36	1	15'-20' HT	Upright Juniper	Good
37	1	20" HT	Crabapple	Good
38	1	20" HT.	Crabapple - Multistem	Good
39	1	20" HT.	Crabapple - Multistem	Good
40	1	20" HT.	Crabapple - Multistem	Good
41	1	5' HT.	Dwarf Lilac	Good
42	1	15'-20' HT	Upright Juniper	Good
43	1	15'-20' HT	Upright Juniper	Good
44	1	20" HT	Crabapple - Multistem	Good
45	1	20" HT	Crabapple - Multistem	Good
46	1	8" CAL	Locust	Good
47	1	11" CAL	Maple	Good
48	1	8" CAL	Hackberry	Good
49	1	25'-30' HT	Austrian Pine (20" CAL	Good
50	1	14" CAL	Linden	Good



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DAMAGES, LIABILITY OR COSTS RESULTING FROM
CHANGES OR ALTERATIONS MADE TO THIS PLAN
WITHOUT THE EXPRESSED WRITTEN CONSENT OF
R.A.SMITH, INC.

DATE
01/28/2020 BID SET
03/11/2020 CITY SUBMITTAL
03/25/2020 CITY COMMENTS

DESCRIPTION

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

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CREATIVITY BEYOND ENGINEERING

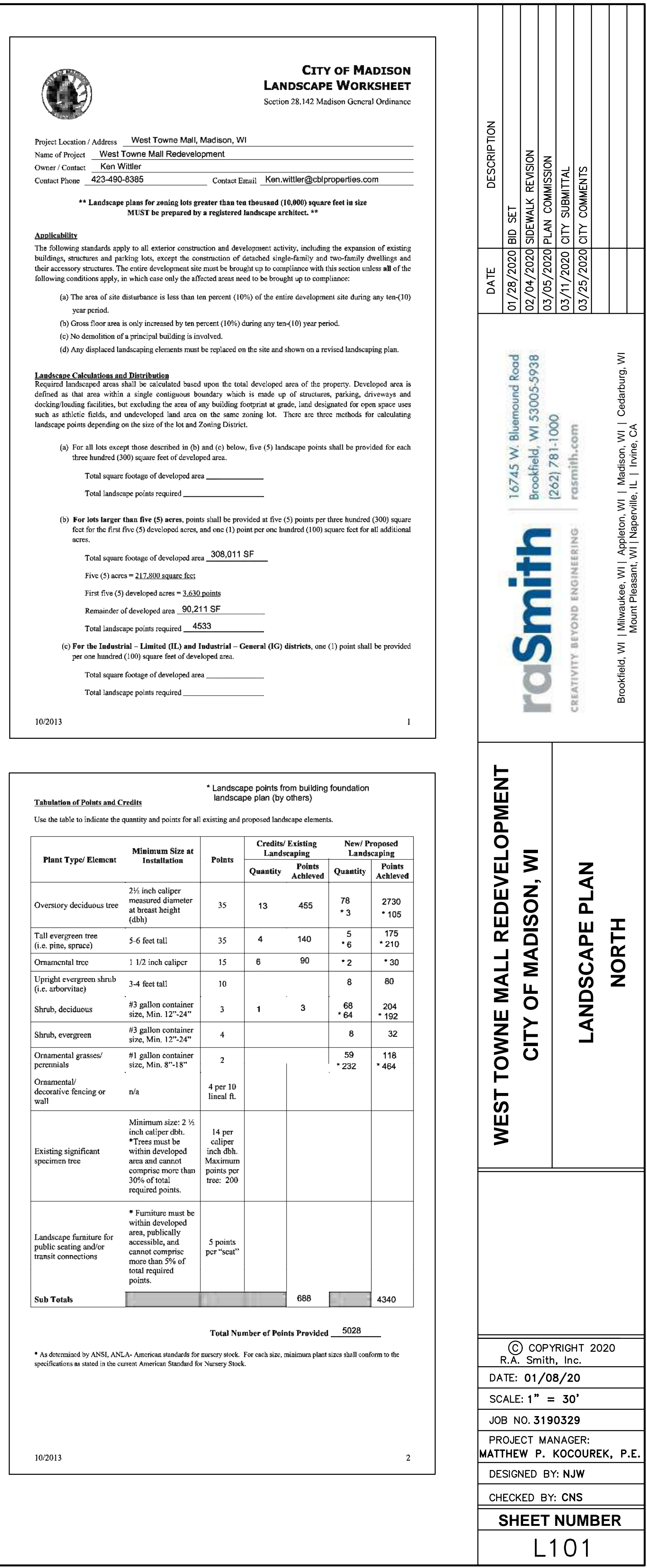
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

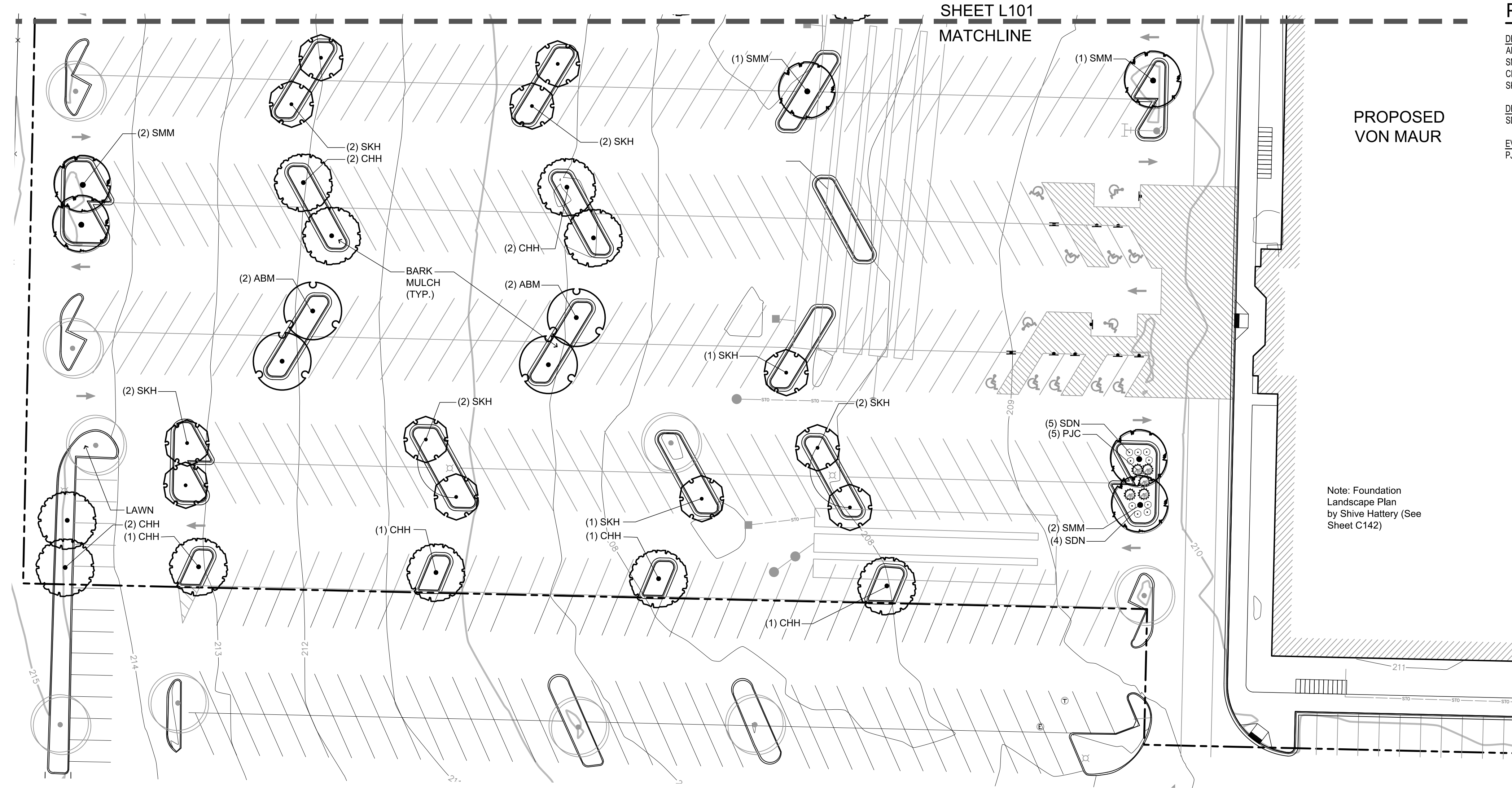
EXISTING TREE INVENTORY

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R.A. Smith, Inc.
DATE: 01/08/20
SCALE: 1" = 40'
JOB NO. 3190329
PROJECT MANAGER:
MATTHEW P. KOCOUREK, P.E.
DESIGNED BY: NJW/CNS
CHECKED BY: CNS

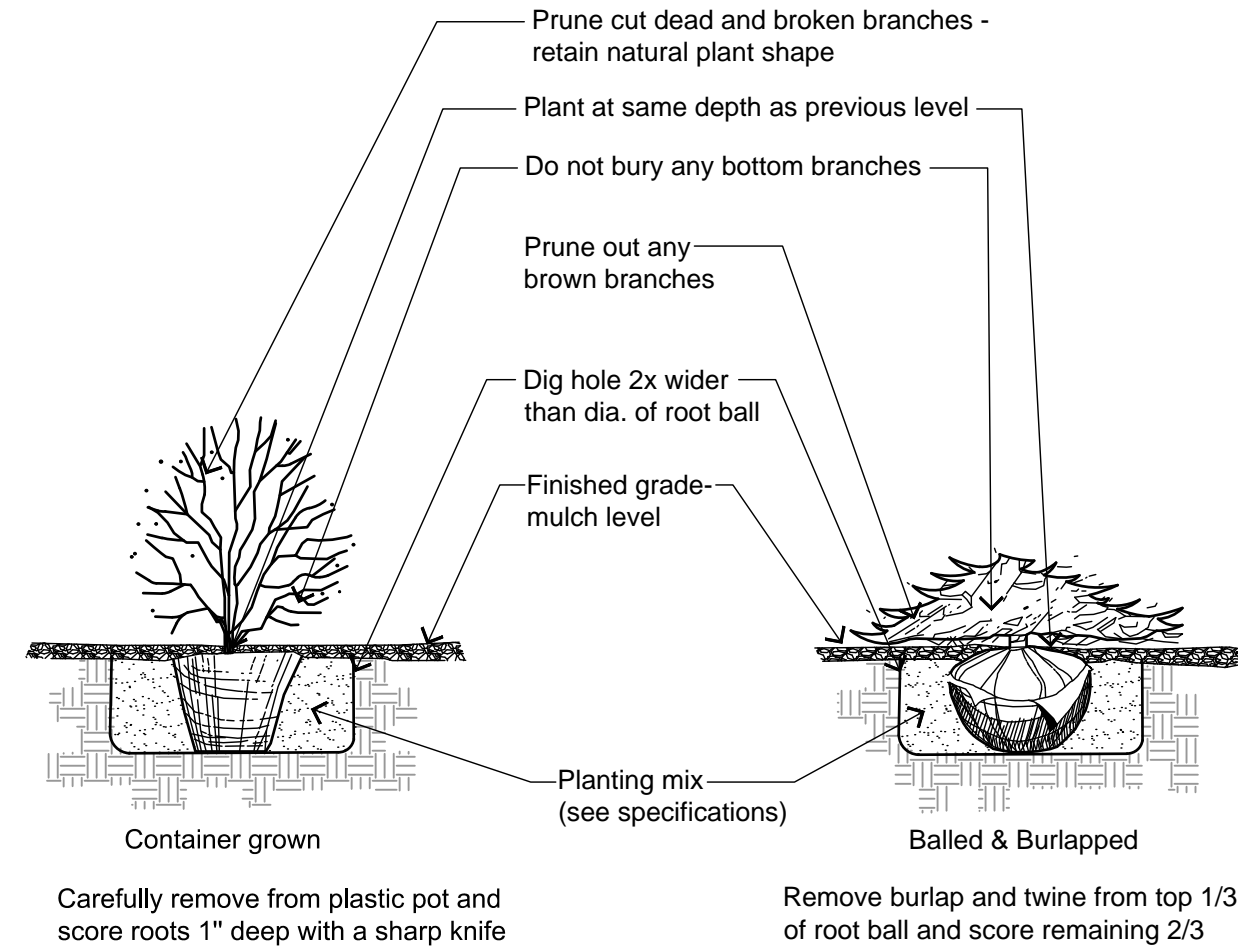
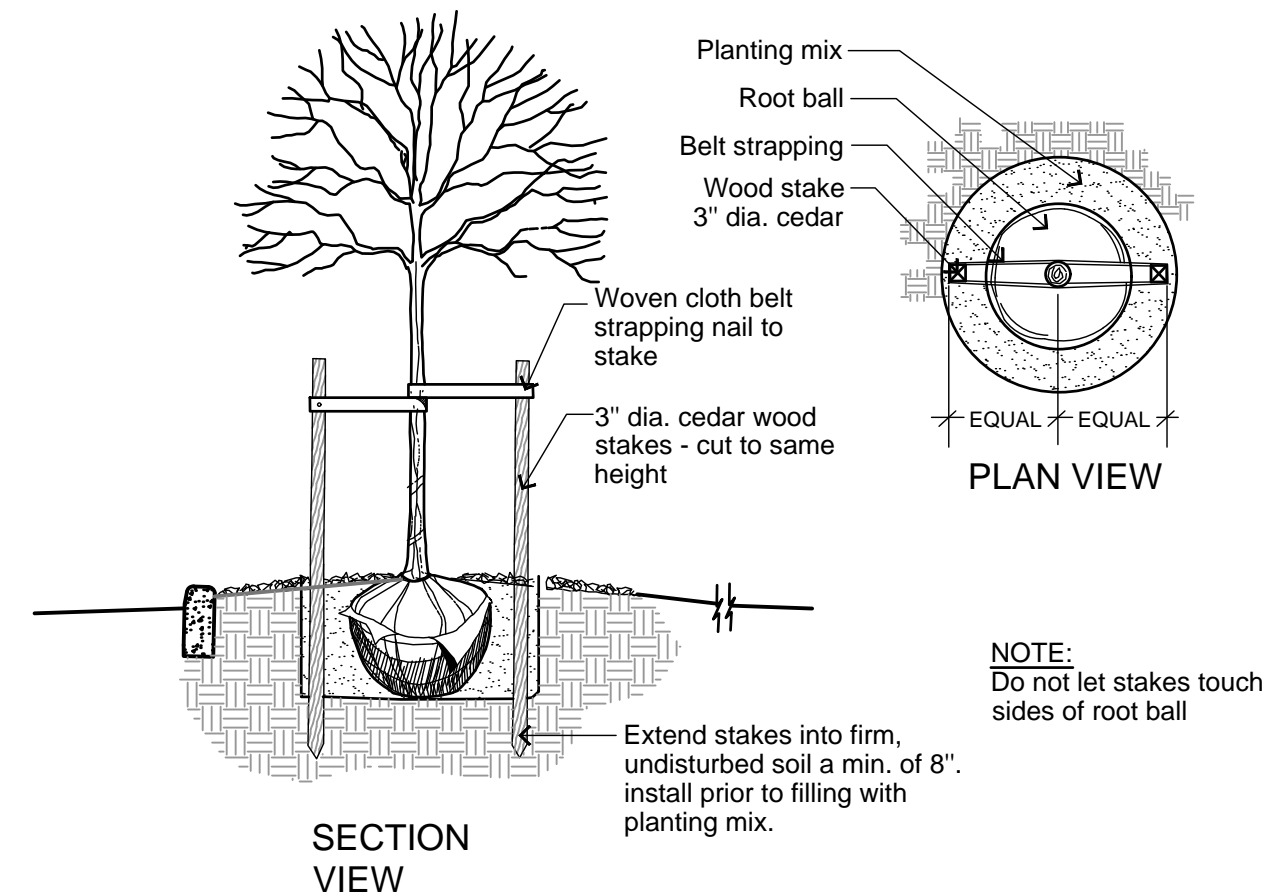
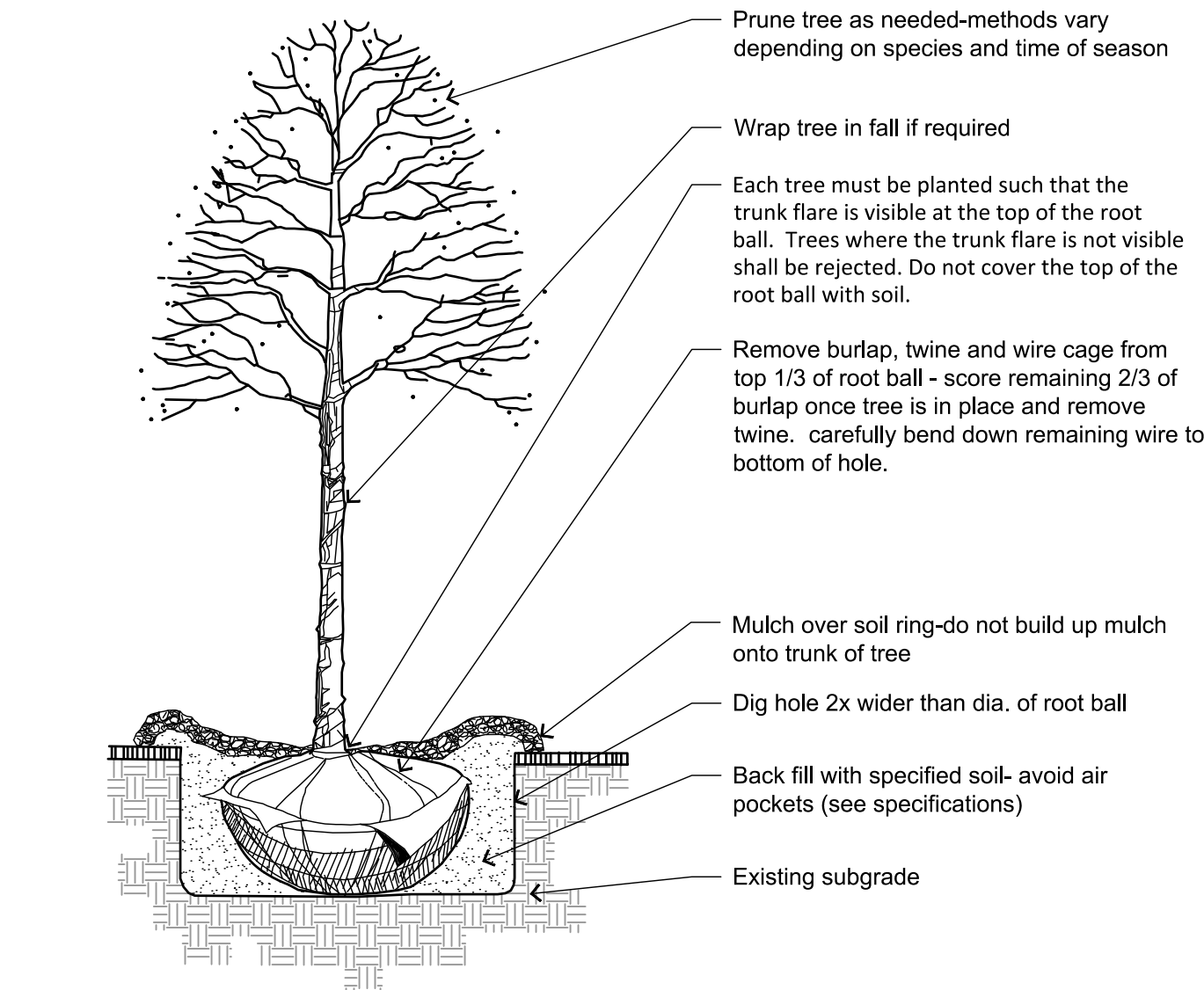
SHEET NUMBER
L100



A north arrow pointing upwards, labeled "NORTH". Below it is a graphic scale bar with markings at 0, 15, 30, and 60, labeled "GRAPHIC SCALE".



GENERAL LANDSCAPE DETAILS



GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative prior to installation. All plants must be installed as per sizes shown on plant material schedule, unless approved by general contractor or owner's representative.
- All seeded areas and planting beds require topsoil to be placed within 3" of finish grade during rough grading operations. All parking lot islands require topsoil placed to a minimum depth of 18" to insure long term plant health. These requirements should be coordinated between the general contractor, grading contractor and landscape contractor.
- Tree planting (see planting detail):
Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. Scarify side walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 80% existing soil removed from excavation and 20% plant starter mix blended prior to backfilling holes. Discard any gravel, heavy clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before proceeding.
Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Stake trees according to the staking detail.
- Shrub planting: all shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as needed to achieve proper grade and replace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not enviromitch). All perennial planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: all perennial, ornamental grass, annual and groundcover areas are required to receive a blend of organic soil amendments prior to installation. Rototill the following materials, at the ratio given, into the required 18" of topsoil to a depth of approx. 6":
Per every 100 square feet of bed area add:
2 cu. ft. bale of peat moss
2 lbs. of 5-10-5 slow release fertilizer
1/4 cu. yard of composted manure
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a burlap may be necessary to avoid wind damage. Mesh hay containing weed canary grass is not acceptable as a mulch covering.
An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot and uniform coverage throughout all turf areas.
- Seed mix for lawn areas - use only a premium quality seed mix installed at recommended rates. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial ryegrass applied at 5 lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- Warranty and replacements: Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one (1) year from the date of substantial project completion. Perennials, groundcovers, and ornamental grasses to be guaranteed for a minimum of one growing season from the date of substantial project completion. Perennials, groundcovers, and ornamental grasses planted after September 1st shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses and turf grass. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and insure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

WEST TOWNE MALL REDEVELOPMENT

CITY OF MADISON, WI

LANDSCAPE PLAN
SOUTH

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R.A. Smith, Inc.

DATE: 01/08/20

SCALE: 1" = 30'

JOB NO. 3190329

PROJECT MANAGER:
MATTHEW P. KOCOUREK, P.E.

DESIGNED BY: NJW

CHECKED BY: CNS

SHEET NUMBER

L102

DESCRIPTION

DATE

01/28/2020 BID SET
02/04/2020 SIDEWALK REVISION
03/05/2020 PLAN COMMISSION
03/11/2020 CITY SUBMITTAL
03/25/2020 CITY COMMENTS

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
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