

PD-SIP Zoning Text
6302, 6402, 6410, 6418 Driscoll Drive
October 18, 2019

Legal Description: Lot 1, 30, 31, & 32, Nelson's Addition to Rustic Acres

- A. **Statement of Purpose:** The purpose of this Planned Development district is to create a regulatory framework to for the construction of a compact residential neighborhood and to provide a diversity of housing uses within the Rustic Acres neighborhood.
- B. **Permitted Uses, as otherwise defined in §28.211:**
 - 1. Multi-family dwelling (4 dwelling units).
 - 2. Accessory Uses and Structures permitted in the SR-C1 zoning district, per M.G.O §28.032(1).
- C. **Lot Area, Yard Requirements, Landscaping, Lighting, Parking and Loading:** As shown on approved plans.
- E. **Family Definition:** The definition of family for this PD district shall coincide with the definition in M.G.O §28.211 for the SR-C1 zoning district.
- F. **Shared Driveway:** Lots 1&2, 29 & 30, 30 & 31, and 31 & 32 will require a shared connected driveway and thus joint driveway easements.
- G. **Stormwater Retention:** Stormwater will be filtered on site with the use of bioretention basins (rain gardens) and open swales before being discharged into the adjacent storm water management greenways. Lots may have or share a bioretention basin (rain garden).
- H. **Alterations and Revisions:** No alteration or revision of this planned unit development shall be permitted unless approved per M.G.O §28.098(6).

NELSON'S ADDITION TO RUSTIC ACRES

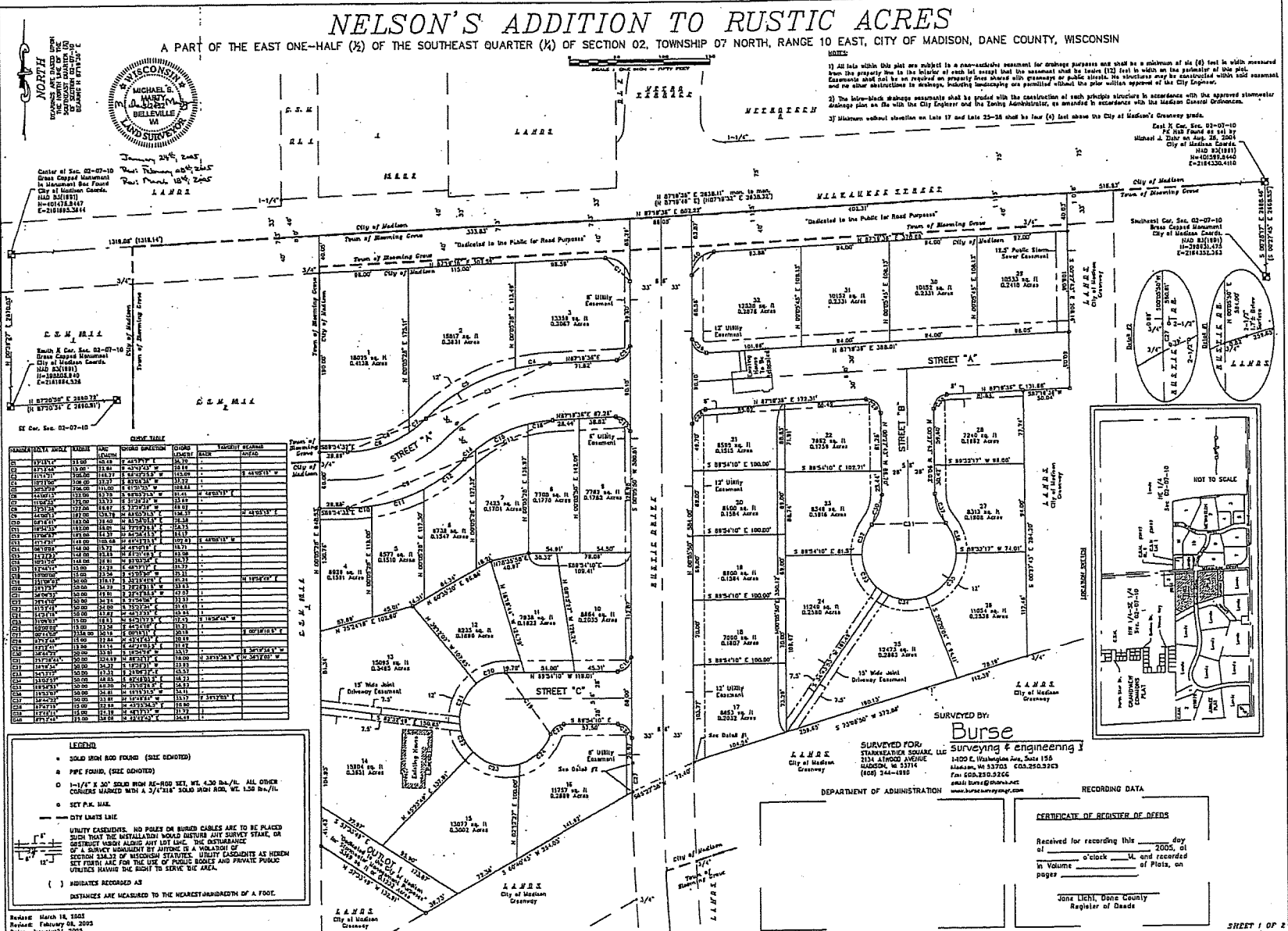
A PART OF THE EAST ONE-HALF (1/2) OF THE SOUTHEAST QUARTER (1/4) OF SECTION 02, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN



Center of Sec. 02-07-10
 brass capped monument
 in Monument Box Found
 City of Madison Council.
 MAD 0318191
 H=60171.8167
 E=218182.5316

January 24, 2005
 Part Nelson 08/21/2005
 Part Nelson 10/4/2005

- NOTES:
- 1) All lots within this plat are subject to a non-exclusive easement for drainage purposes and shall be a minimum of six (6) feet in width measured from the property line to the interior of such lot except that the easement shall be twelve (12) feet in width on the perimeter of the plat. Easements shall not be an impediment to property lines shown on plat, nor shall they be construed to be an encroachment on the easement, and no other obstructions to drainage, including encroachment, are permitted without the prior written approval of the City Engineer.
 - 2) The lot-to-lot drainage easements shall be graded with the construction of such principal structures in accordance with the approved stormwater drainage plan on file with the City Engineer and the zoning administrator, as amended in accordance with the Madison General Ordinances.
 - 3) Minimum setback on lots 17 and lots 25-28 shall be four (4) feet above the City of Madison's Greenway grade.



SECTION	LOT	AREA	BEARING	DISTANCE	AREA	BEARING	DISTANCE	AREA	BEARING	DISTANCE	AREA
02	01	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	02	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	03	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	04	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	05	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	06	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	07	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	08	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	09	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	10	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	11	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	12	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	13	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	14	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	15	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	16	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	17	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	18	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	19	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	20	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	21	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	22	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	23	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	24	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	25	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	26	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	27	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	28	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	29	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21
02	30	11.21	N 89°54'10" E	100.00'	11.21	S 89°54'10" W	100.00'	11.21	N 89°54'10" E	100.00'	11.21

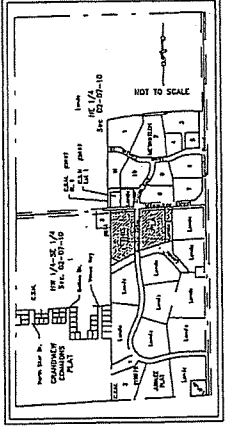
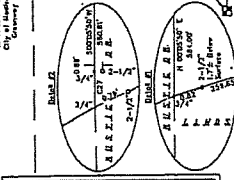
LEGEND

- SOLID HIGH ROD FOUND (SIZE INDICATED)
- P.P.C. FOUND, (SIZE INDICATED)
- 1-1/4" x 30" SOLID HIGH AL-ROD SET, WT. 4.30 lbs./ft. ALL OTHER CORNERS MARKED WITH A 3/4" x 3/4" SOLID HIGH AL-ROD, WT. 1.58 lbs./ft.
- SET P.M. MARK
- CITY LIMITS LINE

UTILITY EASEMENTS. NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD INTERFERE WITH SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE. THE DISTURBANCE CAUSED BY ANY EASEMENT IS A VIOLATION OF SECTION 234.32 OF WISCONSIN STATUTES. UTILITY EASEMENTS AS SHOWN SET FORTH FOR THE USE OF PUBLIC ROADS AND PRIVATE PUBLIC UTILITIES HAVE THE RIGHT TO SERVE THE AREA.

() INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

Revised: March 18, 2003
 Recheck: February 03, 2005
 Date: January 24, 2005
 Project Name: Part Nelson
 Draft: Michael J. Nelson
 Michael.J.Nelson@CityofMadison.com



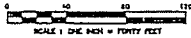
SURVEYED BY:
Burse
 Surveying & Engineering I
 1400 E. Washington Ave., Suite 150
 Madison, WI 53703 608.259.3163
 Fax: 608.259.3266
 www.burse-surveying.com

CERTIFICATE OF REGISTER DEEDS



Received for recording this _____ day of _____ 2005, at _____ o'clock _____ M. and recorded in Volume _____ of Plots, on _____ pages.

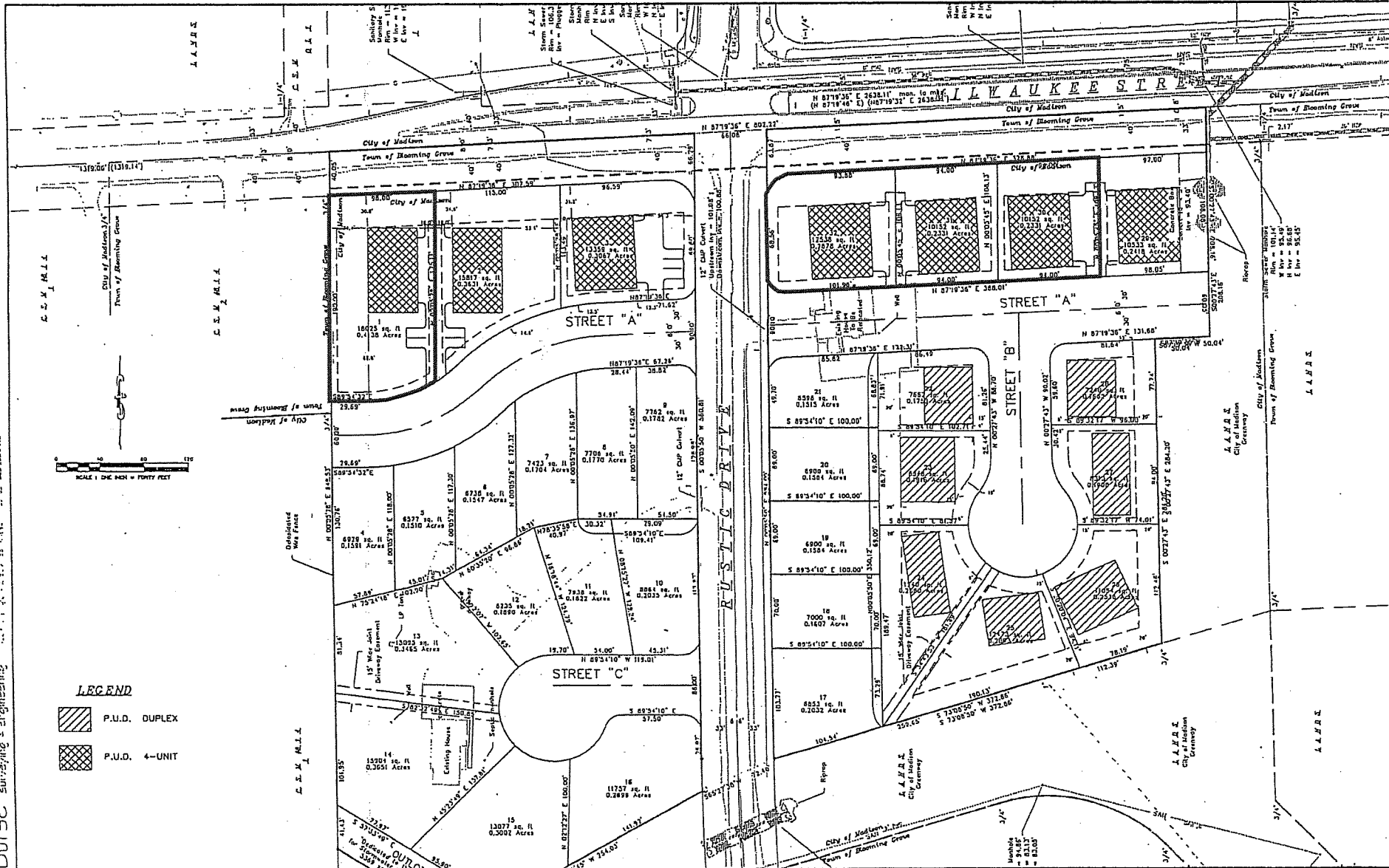
Gene Licht, Dane County Register of Deeds

Burse Surveying & Engineering

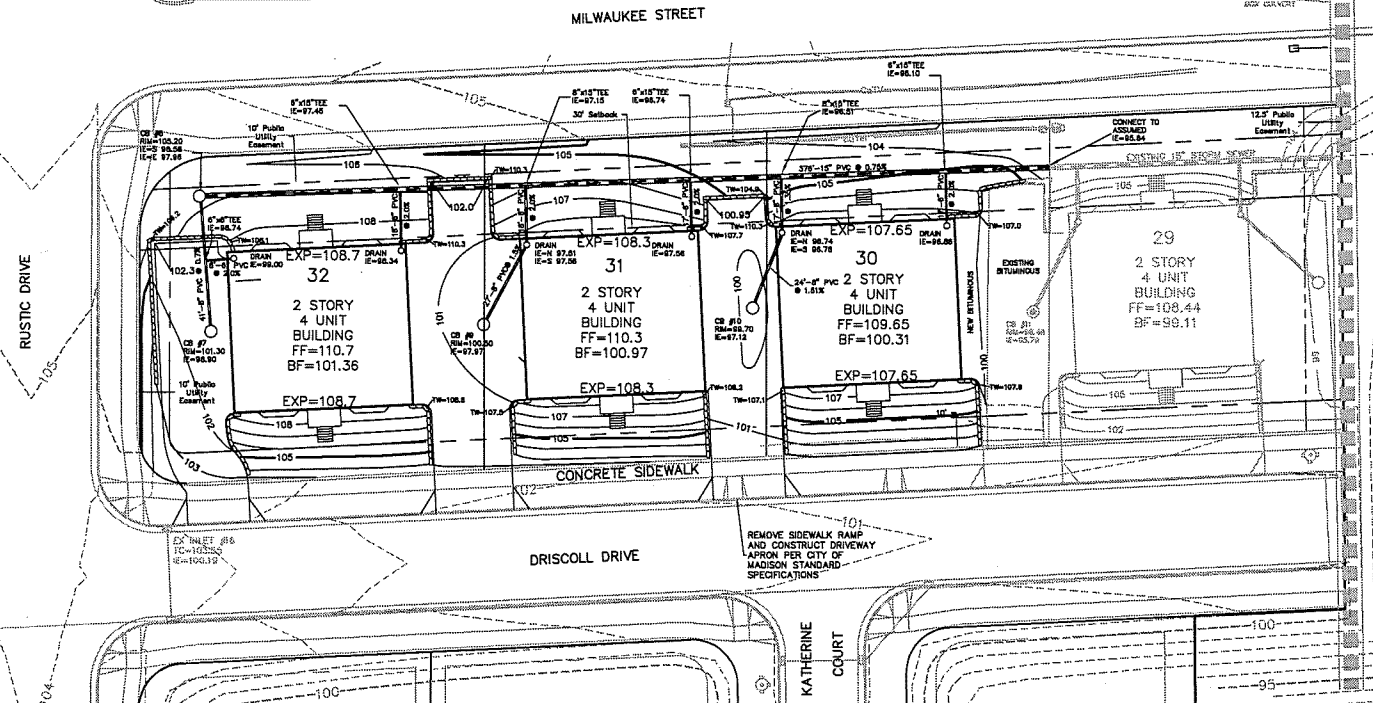
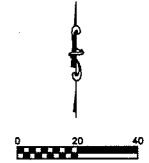


LEGEND

-  P.U.D. DUPLEX
-  P.U.D. 4-UNIT



BENCHMARK
HYDRANT TAG
BOLT
ELEVATION: 107.50



- Notes:
1. ALL GRADES ARE FINISH ELEVATION.
 2. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE ON LOT 30 ONLY, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
 4. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
 5. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.
 6. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 7. ENCROACHING ON UTILITY EASEMENTS WITH NEW CONSTRUCTION IS PERFORMED AT THE RISK OF THE OWNER. REMOVALS REQUIRED BY THE UTILITY COMPANY MAY BE DEMANDED WITHOUT COMPENSATION.
 8. EXISTING UTILITIES ONLY SURVEYED FOR LOT 30.

DIGGER'S HOTLINE
Dial or (800) 242-8511
www.DiggersHotline.com

Burse
Surveying and Engineering, Inc.
2301 International Lane, Suite 101
Madison, WI 53704
Phone: 608-251-1000
Fax: 608-250-9306
email: MURPHY@BSEI.COM
www.burseeng.com




















PROJECT NO.	DATE	BY	CHKD	APP'D

RUSTIC ACRES
LOTS 29-32
MADISON, WISCONSIN
FLAT FEE HOME BUILDERS, LLC.
1810 HERRIDGE RD.
EDGEMONT, WISCONSIN

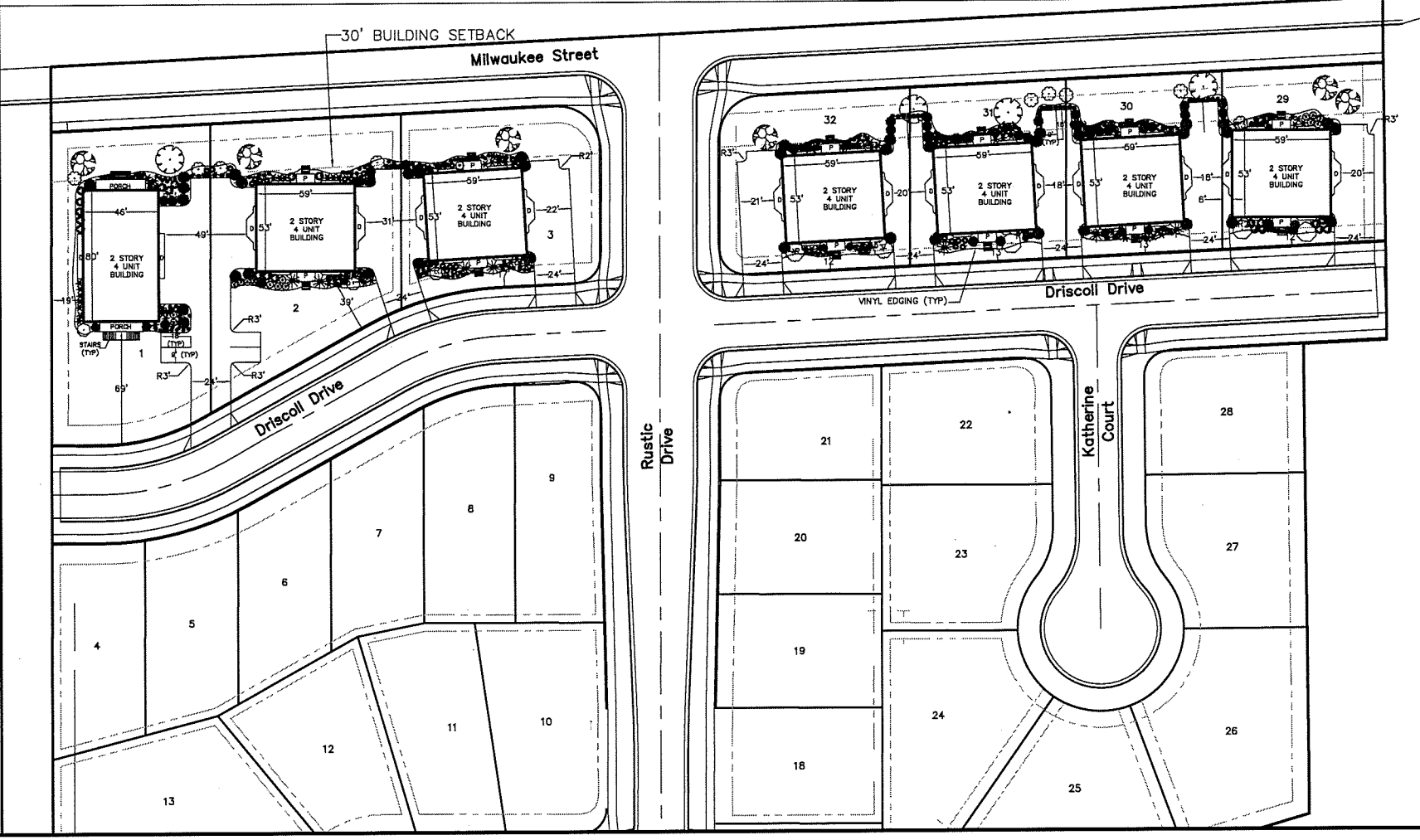
PROJECT #	BSE71377
PLOT DATE	5/21/2018
REVISION DATES:	
ISSUE DATES:	5/21/2018

GSP-SP
LOTS 29-32
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Surveying and Engineering, Inc.
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DRAWING NUMBER
G2

- | | | | |
|--|---|---|---|
|  ROSE GLOW BARBERRY |  CHANTICLEER PEAR |  DWARF FOUNTAIN GRASS |  RUSSIAN CYPRESS |
|  DWARF BURNING BUSH |  PINK SPIRE CRAB |  ANTHONY WATERER SPIREA |  MISS KIM LILAC |
|  RED JEWEL CRAB |  RED SUNSET MAPLE |  AUTUM JOY SEDUM |  SNOWDRIFT CRAB |
|  SUMMIT ASH |  GLOSSY BLACK CHOKEBERRY |  GOLDSOUND SPIREA |  ANNABELLE HYDRANGEA |
| |  PURPLE CONEFLOWER |  PURPLE LEAF SAND CHERRY |  ALPINE CURRANT |

SCALE: 1" = 60'



Burse
Surveying and Engineering, Inc.
1400 E. Washington Ave. Suite 150
Madison, WI 53705
Phone: 608-255-8025
Fax: 608-255-8550
e-mail: burse@burse-eng.com
www.burse-engineering.com

DATE	DESCRIPTION

RUSTIC ACRES
MADISON, WISCONSIN
STARKWEATHER SQUARE, LLC.
2194 ATWOOD AVENUE
MADISON, WI 53704

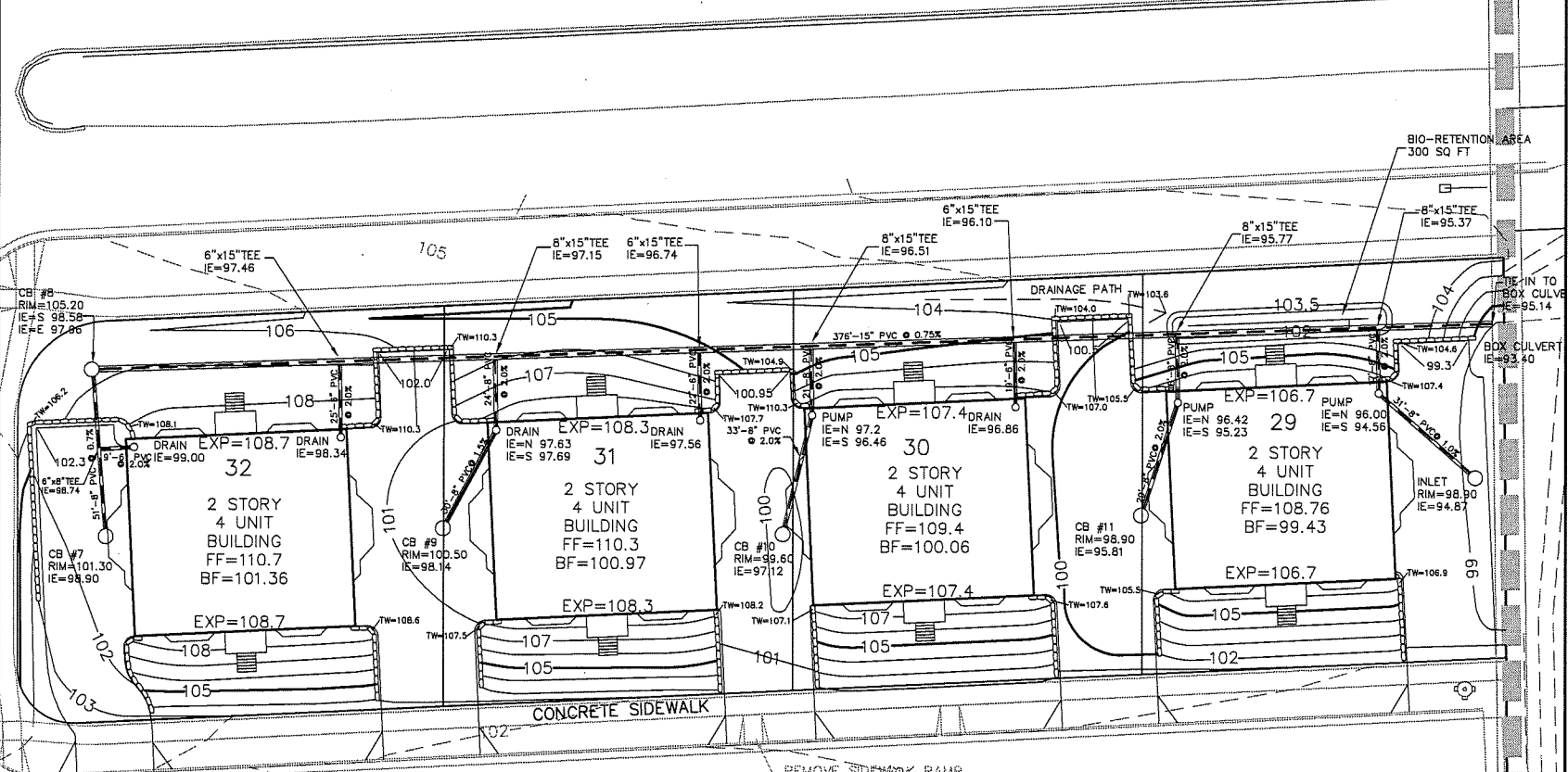
PROJECT #	BSE71304
PLOT DATE	09-20-2006
REVISION DATES:	
ISSUE DATES:	

OVERALL
LANDSCAPE PLAN

Burse
Surveying and Engineering, Inc.
The enclosed plans were prepared in accordance with the Wisconsin Professional Land Surveyor and Professional Engineer laws. Before the enclosed plans are used, the user must verify that the enclosed plans were prepared by Burse Engineering and Surveying, Inc.

DRAWING NUMBER
L1

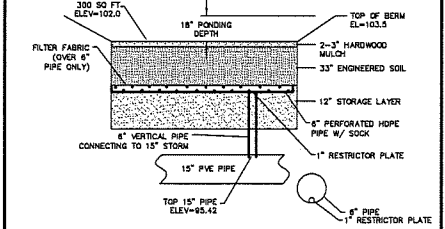
Milwaukee Street



BIO-RETENTION AREA
300 SQ FT

Driscoll Drive

REMOVE SIDEWALK RAMP



SCALE: 1" = 30'

ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:
40% SILICA SAND; 20% - 30% TOPSOIL; 30% - 40% COMPOST W/ PH 5.5-6.5
COMPOST SHALL MEET NURS SPECIFICATION STD.
STORAGE/INTERFACE LAYER SHALL CONSIST OF SAND AS FOLLOWS:
SAND: MORTAR SAND

BIORETENTION DEVICE
TYPICAL CROSS SECTION



100 E. Washington Ave., Suite 100
Madison, WI 53703
Phone: 608-250-2883
Fax: 608-250-2826
E-mail: burse@burseinc.com
www.burseinc.com

APPROVAL	DATE
DESIGNED	
CHECKED	
IN CHARGE	
PROJECT	

RUSTIC ACRES
MADISON, WISCONSIN
STARKWEATHER SQUARE, LLC.
2154 ATWOOD AVENUE
MADISON, WISCONSIN

PROJECT # BSE713-04

PLOT DATE: 7-14-2008

REVISION DATES:

ISSUE DATES:

GOP/SP
LOTS 29-32



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DRAWING NUMBER

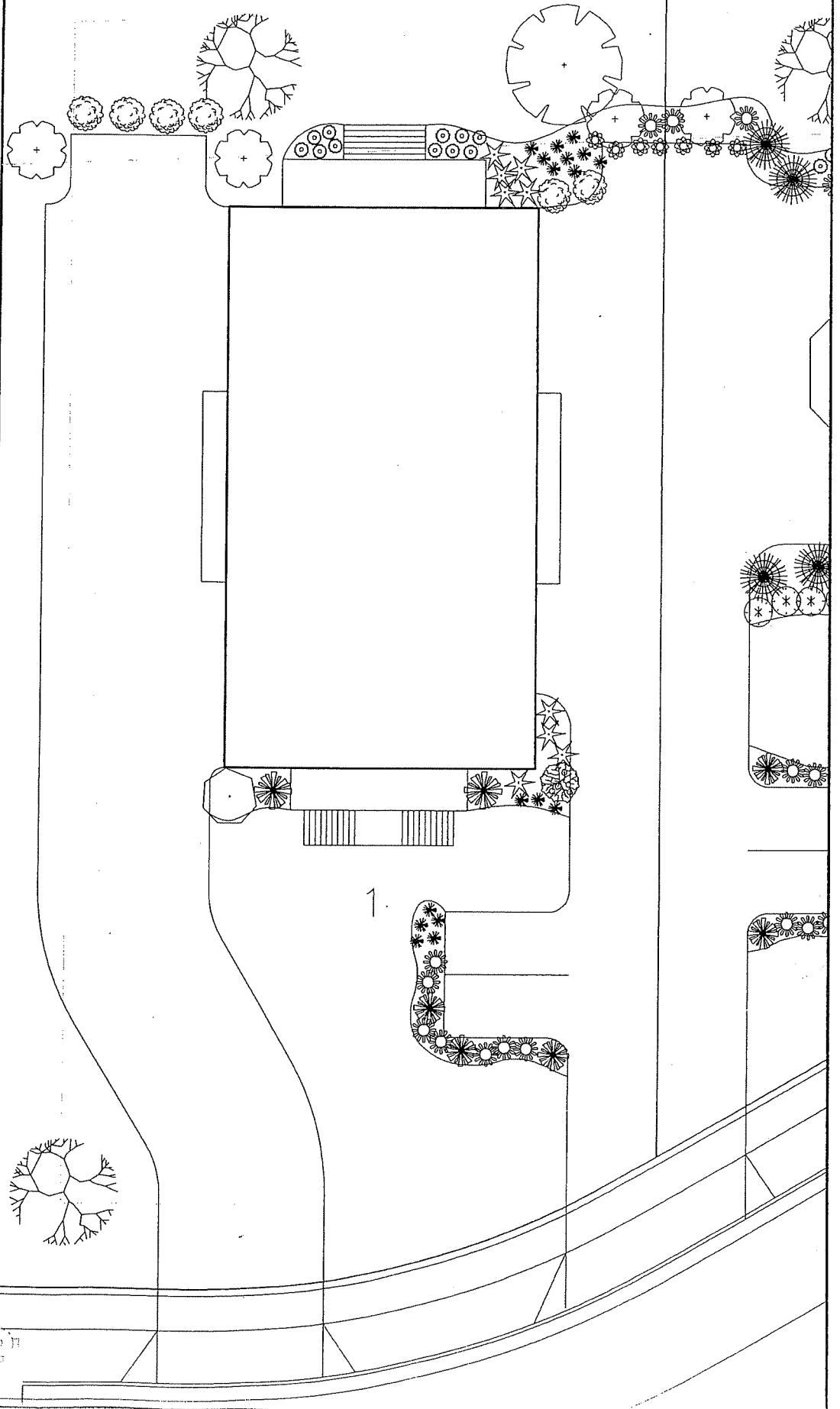
G2

Lot 1

LANDSCAPE PLAN^{N1}



SCALE: 1" = 20'



ISTHMUS
ARCHITECTURE, INC.

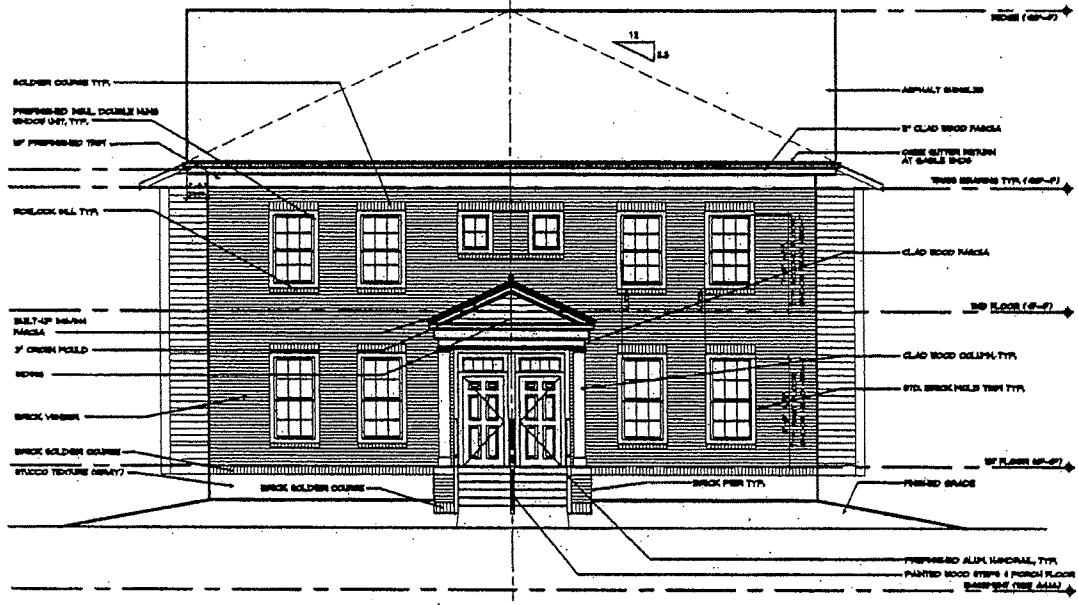
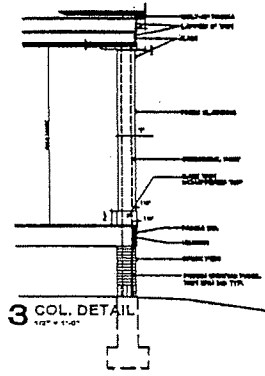
613 Williamson Street
Suite 203
Madison, WI 53703
Phone: 608.294.0206
Fax: 608.294.0207



NOTES:

1. PROVIDE AND INSTALL ALUM. PREPARED CORR. GUTTERS AND DOWNSPUTS IN COLOR TO MATCH PAINTS.
2. GUTTER AND PANDA NOT INDICATED FOR DRAWING CLARITY.
3. SHUTTER ROOF SLOPE TO MATCH PORCH ROOF SLOPE.
4. PROVIDE PREPARED PLAY GRILLS IN ALL PORCHES.

EXTERIOR FINISHES:
BRICK: BOWEN, WALTON TRIM
STONE: CORTLANDT QUARRY 20" (4" LAP) LIGHT WHITE
WOOD: WHITE VINYL
TRIM: PINE WHITE STAINED BY SHEPHERD WILKINS
DOOR: FINISH BY SHEPHERD WILKINS
ROOF: ELK BARWOOD
CONCRETE: COARSE & TIGHT BOWEN / BOFFER WHITE
FASCIA: WHITE
COLLARS & TRIMS: WHITE



1 FRONT ELEVATION - BACK SIM.



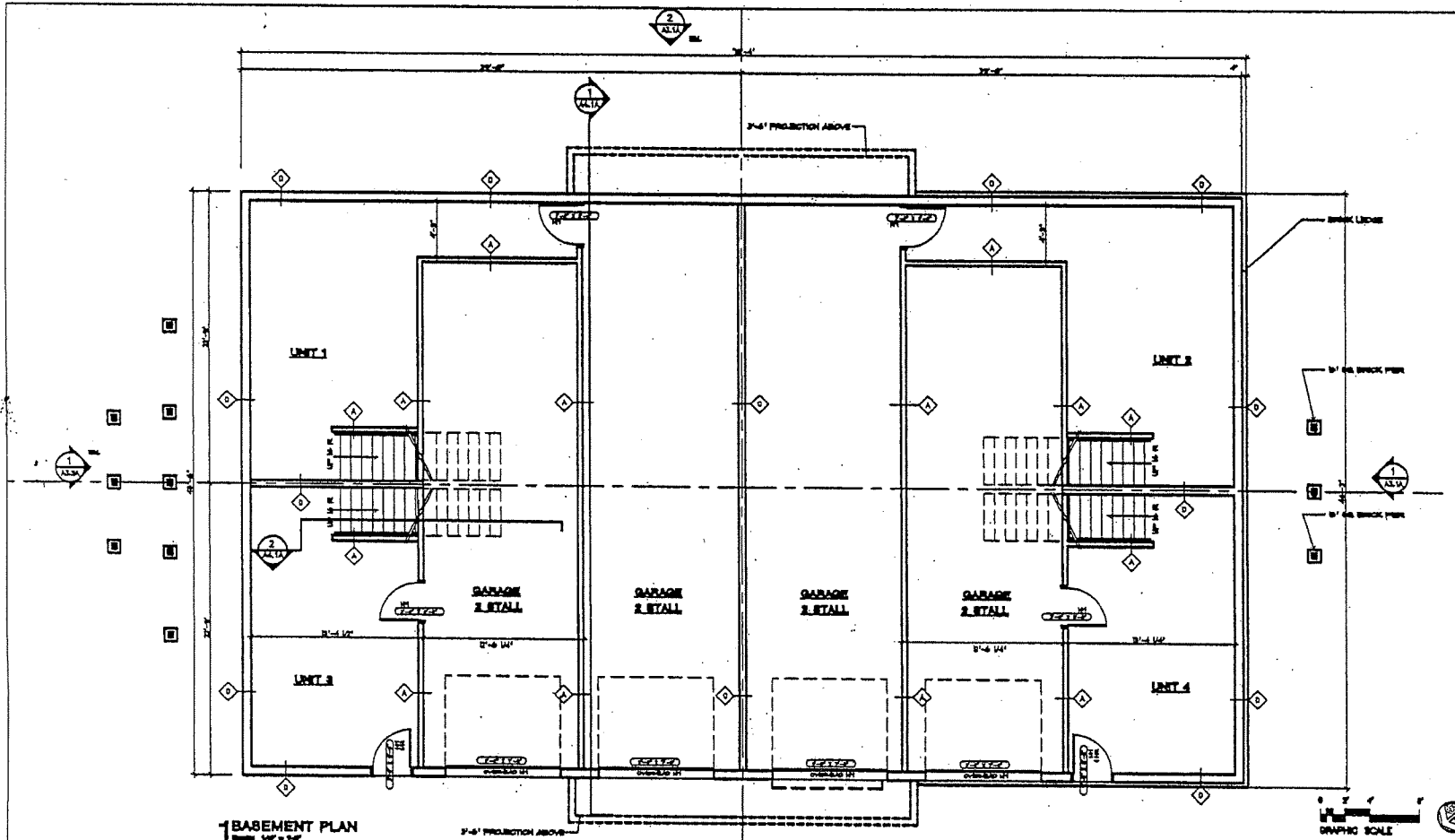
2 EAST ELEVATION - WEST SIM.

ISTHMUS ARCHITECTURE, INC.
613 WILLIAMSON STREET
SUITE 203
MADISON, WI 53703
PH: 608.294.0206
FX: 608.294.0207

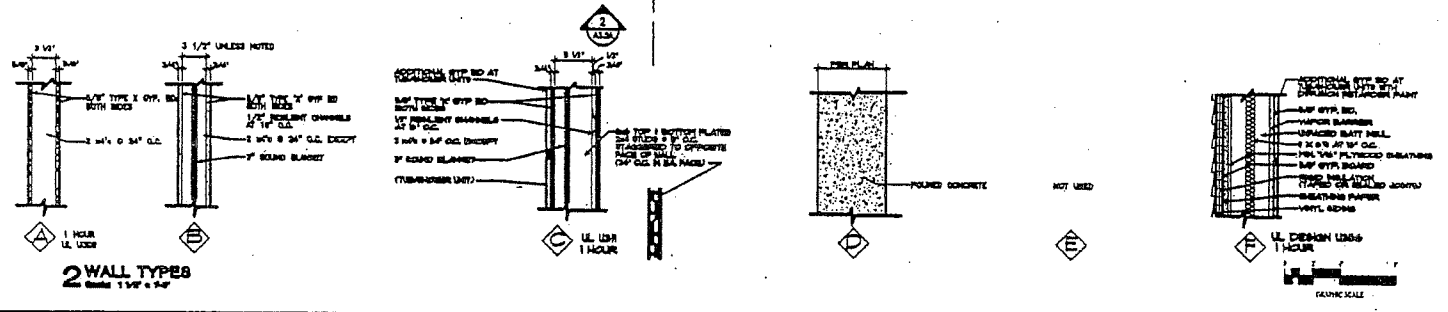
**RUSTIC ACRES
GOP/SIP**

Project	
Proj. No.	0512.01
LOT 1 ELEVATIONS	
Sheet Title	
Scale:	1/4" = 1'-0"
Drawn By:	
Date:	04/18/06
Rev. Date:	
Rev. Date:	
Rev. Date:	
Rev. Date:	
Rev. Date:	

Sheet No:
A3.1
Sheet of



1 BASEMENT PLAN
Scale: 1/4" = 1'-0"



2 WALL TYPES
Scale: 1/4" = 1'-0"

ISTHMUS
ARCHITECTURE, INC.
613 Williamson Street
Suite 203
Madison, WI 53703
Phone: 608.294.0206
Fax: 608.294.0207



Project: Rustic Acres
GDP/SIP

Project: Rustic Acres
GDP/SIP

Project No.: 0512.01

BASEMENT PLAN
LOT 1

Sheet Title

Scale: 1/4" = 1'-0"
Drawn By:
Date: 04/15/05
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No.
A1.2
Sheet of

ISTHMUS
ARCHITECTURE, INC.

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Madison, WI 53703
Phone: 608.294.0206
Fax: 608.294.0207



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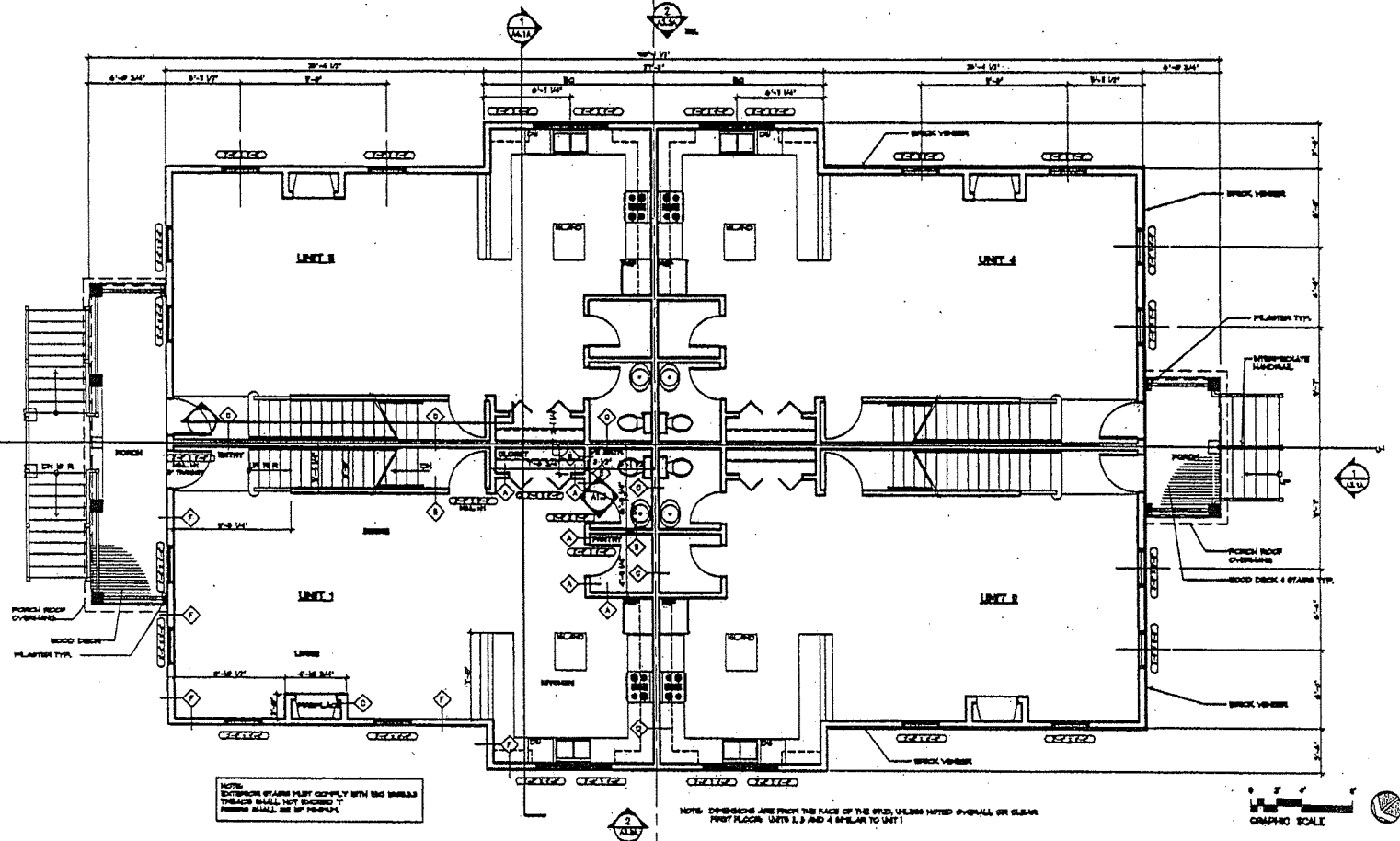
RUSTIC ACRES
GDP/SIP

Project:
Proj. No.: 0312.01

FIRST FLOOR PLAN
LOT 1

Sheet Title:
Scale: 1/4" = 1'-0"
Drawn By:
Date: 04/18/05
Rev. Date:
Rev. Date:
Rev. Date:
Rev. Date:

Sheet No:
A1.3
Sheet of

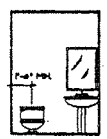


NOTE: OUTSIDE SPACES MUST COMPLY WITH SIG BARBELL TRACKS SHALL BE EXPOSED TO FINISH SHALL BE 3/4" x 3/4"

NOTE: DIMENSIONS ARE FROM THE FACE OF THE STUD UNLESS NOTED OTHERWISE OR CLEAR FROM FLOOR. UNITS 2, 3 AND 4 SIMILAR TO UNIT 1

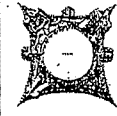


1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 UNIT 1 TOILET ROOM INTERIOR ELEVATION
Scale: 1/4" = 1'-0"

ISTHMUS
 ARCHITECTURE, INC.
 613 Williamson Street
 Suite 203
 Madison, WI 53703
 Phone: 608.294.0206
 Fax: 608.294.0207



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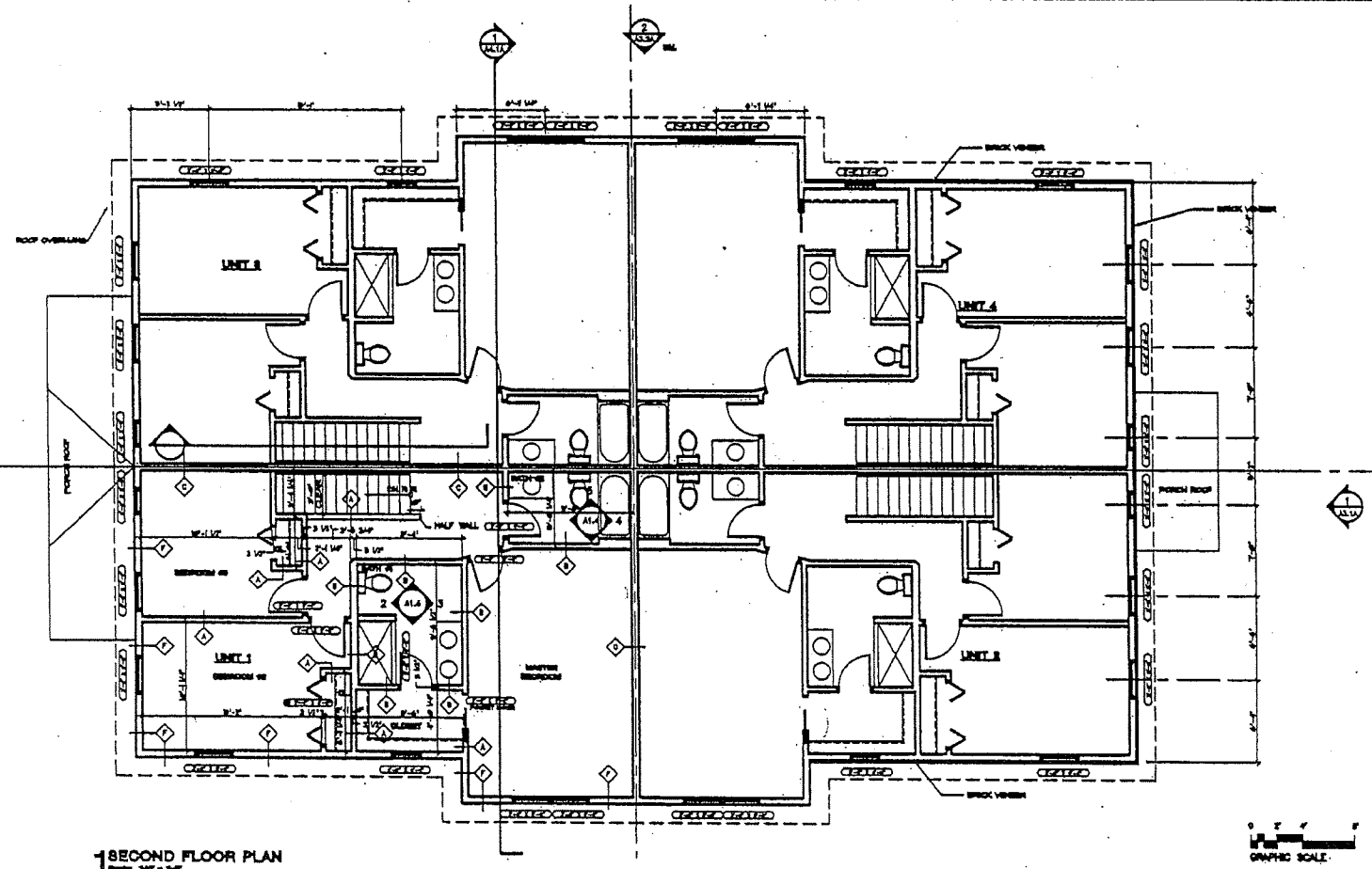
RUSTIC ACRES
 GDP/SIP

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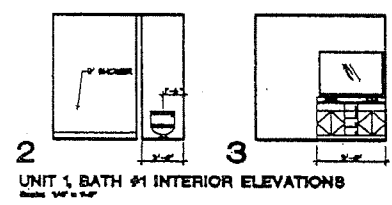
SECOND FLOOR PLAN
 LOT 1

Sheet Title
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 Date: 04/08/03
 Rev. Date:
 Rev. Date:
 Rev. Date:
 Rev. Date:
 Rev. Date:

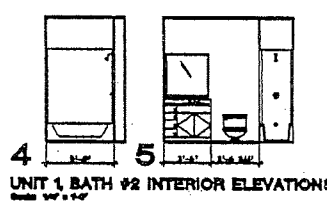
Sheet No:
A1.4
 Sheet of



1 SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"



2
UNIT 1 BATH #1 INTERIOR ELEVATIONS
 Scale: 1/4" = 1'-0"



4 **5**
UNIT 1 BATH #2 INTERIOR ELEVATIONS
 Scale: 1/4" = 1'-0"



Lot 30



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

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ALL TALL WALLS GREATER THAN 10'-0" TO BE ENGINEERED BY MATERIAL SUPPLIER

ELEVATIONS
SCALE: 1/4" = 1'-0"

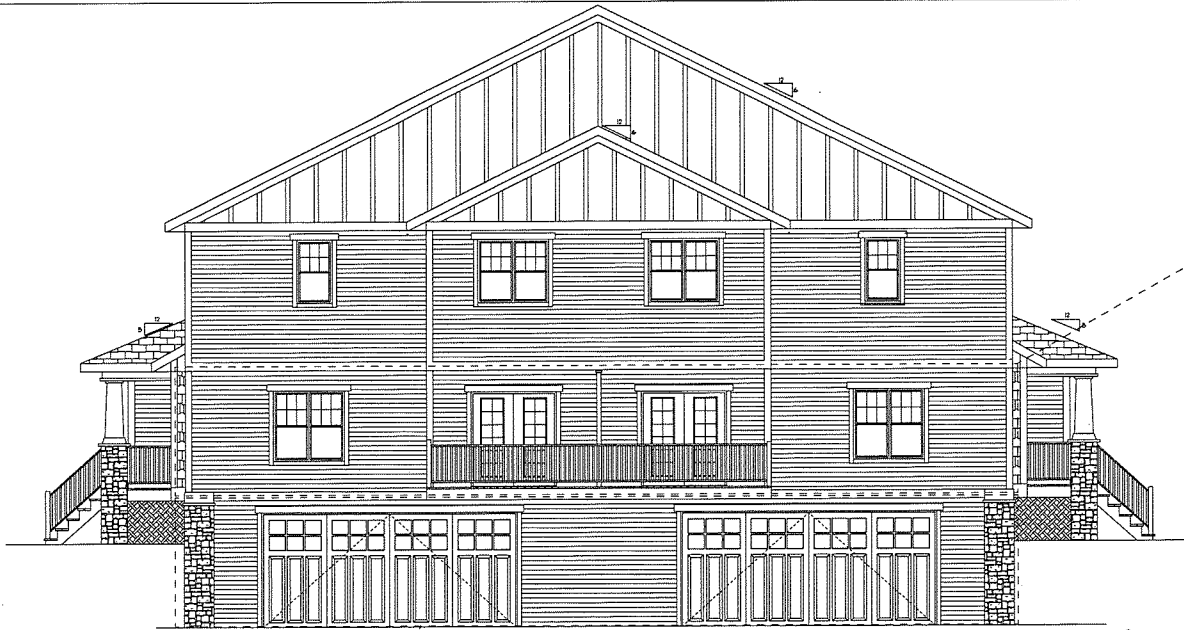
PLAN SHEET DATE: 03/19/16

AMERICAN DESIGN CONCEPTS

FLAT FEE CONSTRUCTION 4-JUNIT

A1

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DESIGNED BY: 03/19/16 DATE
HARDY
1620 JTB-010
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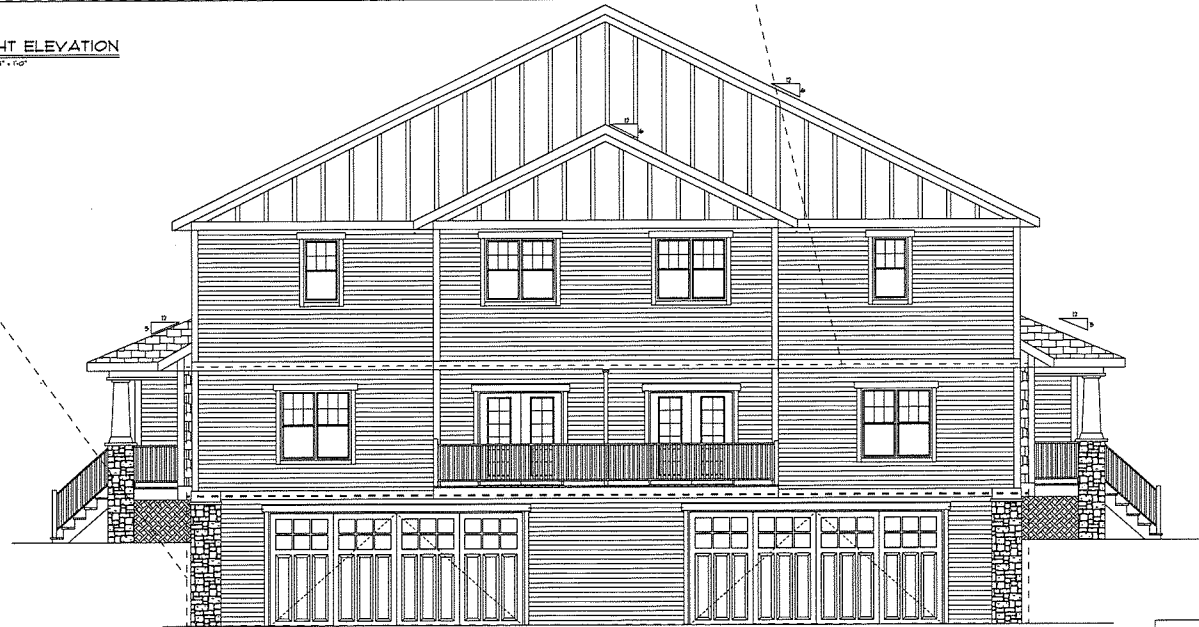


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR SHEATHING 1/16" OSB
NAILED USING 16G X1-1/2" STAPLES
@6" O.C. @ PANEL EDGES 12" O.C.
@ INTERIOR U.N.O.

EXTERIOR SHEATHING 1/16" OSB
NAILED USING 16G X1-1/2" STAPLES
@3" O.C. @ PANEL EDGES 12" O.C.
@ INTERIOR U.N.O.

EXTERIOR SHEATHING 1/16" OSB
NAILED USING 16G X1-1/2" STAPLES
@2" O.C. @ PANEL EDGES 12" O.C.
@ INTERIOR U.N.O.



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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IN ANY FORM.
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BE ENGINEERED BY MATERIAL SUPPLIER

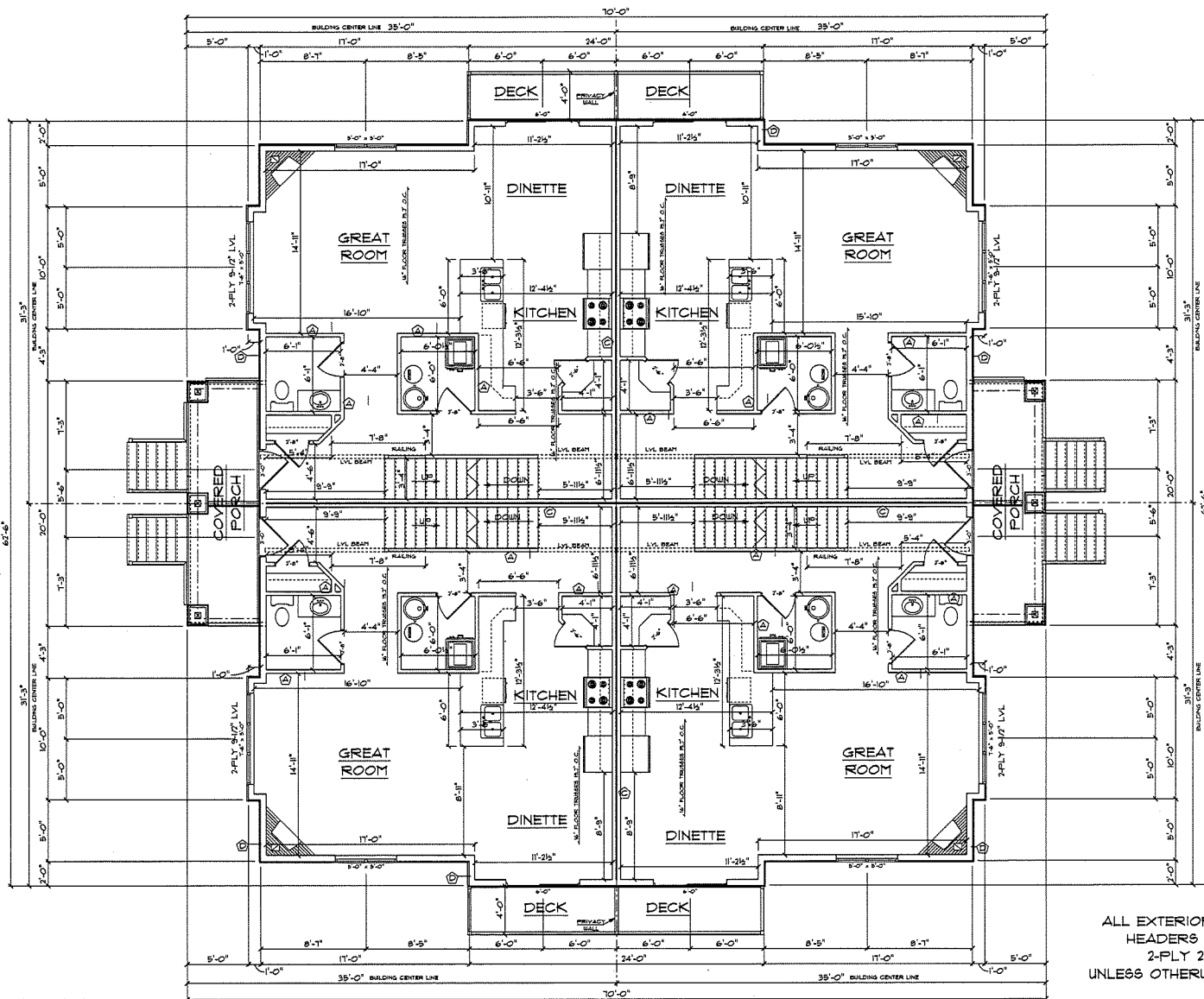
SIDE ELEVATIONS
SCALE: 1/4" = 1'

PLAN SHEET DATE: 03/19/18

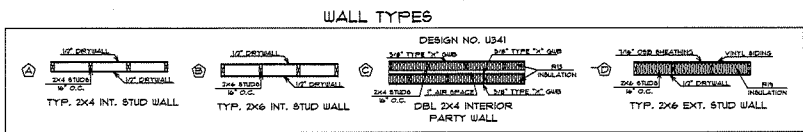
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FLAT FEE 4-UNIT

AMERICAN DESIGN CONCEPTS, LLC
1334 APPLIGATE
WABASH
60090
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1ST FLOOR PLAN
SCALE 1/4" = 1'-0"
874 SQFT FINISHED AREA PER UNIT

ALL EXTERIOR WINDOW HEADERS TO BE 2-FLY 2X10 UNLESS OTHERWISE NOTED

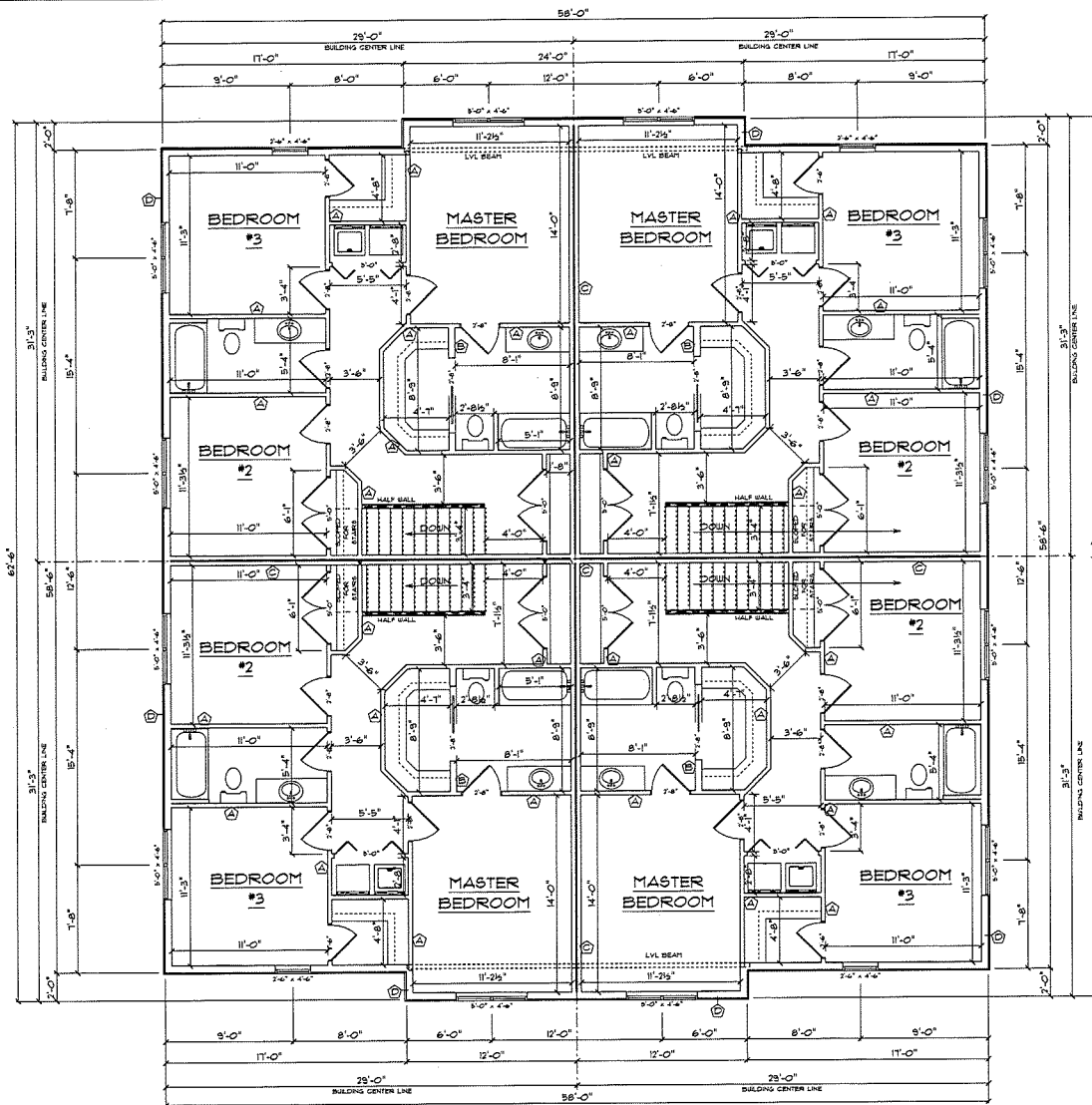
A3

FIRST FLOOR PLAN
888 TOTAL SQFT
SCALE 1/4" = 1'-0"
PLAN START DATE 01/18

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FLAT FEE CONSTRUCTION 4-UNIT

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13300 W. 10TH AVE
HAYDEN, CO 80801
(303) 773-0100
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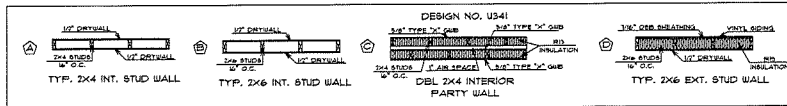


ALL EXTERIOR WINDOW
HEADERS TO BE
2-PLY 2X10

2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"
874 SQFT FINISHED AREA PER UNIT

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ALL TALL WALLS GREATER THAN 10'-0" TO BE ENGINEERED BY MATERIAL SUPPLIER

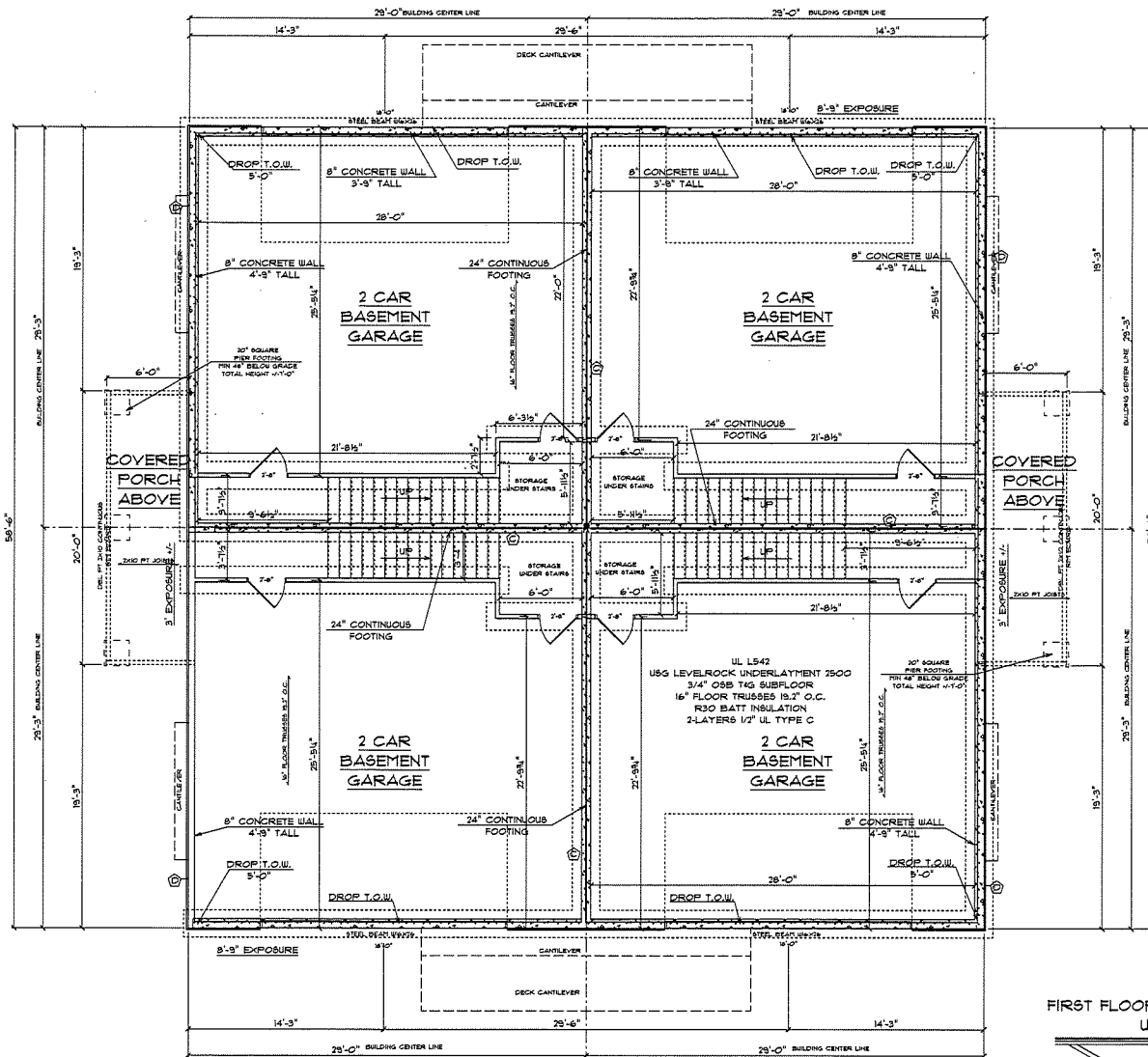
WALL TYPES



SECOND FLOOR FLOOR PLAN
3448 TOTAL SQFT
SCALE: 1/4" = 1'
PLAN PART DATE: 01/18

AMERICAN DESIGN CONCEPTS

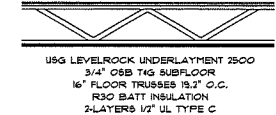
FLAT FEE CONSTRUCTION 4-UNIT



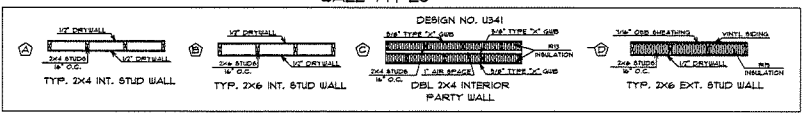
FOUNDATION PLAN
SCALE: 1/4" = 1'

AMERICAN DESIGN CONCEPTS
FLAT FEE CONSTRUCTION 4-UNIT

FIRST FLOOR FLOOR SYSTEM
UL L542



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
WALL TYPES



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MADISON
6/20/20
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TYPICAL TRUSS ROOF:
ARCHITECTURAL SHINGLES
1/2" OSB ROOF SHEATHING c/w
1" CLIPS
FIRE-ENGINEERED TRUSSES @ 24" o.c.
2x4 TRUSS BRACING
R40 BLOWN INSULATION
6 mil POLY V.B.
5/8" CEILING BOARD
TAPED & SANDED

TYPICAL 2x6 SIDING EXT. WALL:
VINYL SIDING
TYVEK HOUSE WRAP
1/16" OSB SHEATHING
2x6 STUDS @ 16" o.c.
R3 BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL

TYPICAL SILL ASSEMBLY:
1/2" DIA. ANCHOR BOLT @ 12" o.c.
2x6 PRESSURE TREATED SILL PLATE
1/4" SILL GASKET

8" FOURED CONCRETE
FOUNDATION WALL
24" WIDE x 12" DEEP
CONCRETE FOOTING c/w
2 - RUNS 15M REBAR
4" DRAIN TILE
w/ CRUSHED STONE

TYPICAL BASEMENT FLOOR:
3" CONCRETE SLAB c/w
FIBRE MESH REINFORCEMENT
6 mil POLY VAPOR BARRIER
2" RIGID INSULATION
COMPACTED GRANULAR FILL

TYPICAL
WALL SECTION
NO SCALE

TRUSS FIRE SEPARATION
2-LAYERS 1/2" DRYWALL
STAGGERED JOINTS

DBL PARTITION WALL:
5/8" DRYWALL TAPED & SANDED
TYP. 2x4 STUD WALL
5/8" TYP X GUB
SOUND DEADING INSULATION
1/2" AIR SPACE
TYP. 2x4 STUD WALL (STAGGERED
FROM OPPOSITE WALL)
SOUND DEADING INSULATION
5/8" DRYWALL

DBL PARTITION WALL:
5/8" DRYWALL TAPED & SANDED
TYP. 2x4 STUD WALL
5/8" TYP X GUB
SOUND DEADING INSULATION
1/2" SOUND BOARD
1/2" AIR SPACE
TYP. 2x4 STUD WALL (STAGGERED
FROM OPPOSITE WALL)
SOUND DEADING INSULATION
5/8" DRYWALL

DBL PARTITION WALL:
5/8" DRYWALL TAPED & SANDED
TYP. 2x4 STUD WALL
SOUND DEADING INSULATION
5/8" TYP X GUB
1/2" AIR SPACE
TYP. 2x4 STUD WALL (STAGGERED
FROM OPPOSITE WALL)
SOUND DEADING INSULATION
5/8" DRYWALL

TYPICAL SPREAD FOOTING

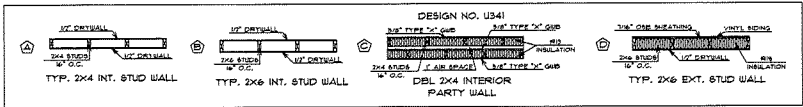
DESIGN NO. U341
3/8" TYPE "C" GUB
3/8" TYPE "C" GUB
INSULATION
2x4 STUDS / 12" AIR SPACE
1/2" TYPE "C" GUB
12" o.c. DBL 2x4 INTERIOR
PARTY WALL

DESIGN NO. U341
3/8" TYPE "C" GUB
3/8" TYPE "C" GUB
INSULATION
2x4 STUDS / 12" AIR SPACE
1/2" TYPE "C" GUB
12" o.c. DBL 2x4 INTERIOR
PARTY WALL

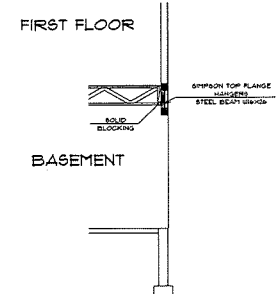
DESIGN NO. U341
3/8" TYPE "C" GUB
3/8" TYPE "C" GUB
INSULATION
2x4 STUDS / 12" AIR SPACE
1/2" TYPE "C" GUB
12" o.c. DBL 2x4 INTERIOR
PARTY WALL

NOTE:
G.C. TO ENSURE COMMON WALLS MEET
OR EXCEED MINIMUM STANDARDS SET IN
WISCONSIN CONSTRUCTION STANDARDS COMM. 2108.
AS WELL AS ALL APPLICABLE LOCAL CODES
OWNER TO BE CONSULTED ON ANY CHANGES

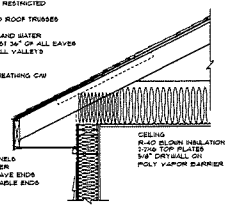
WALL TYPES



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ACCURACY OR COMPLIANCE OF THESE PLANS
IN ANY FORM
ALL TALL WALLS GREATER THAN 10'-0" TO
BE ENGINEERED BY MATERIAL SUPPLIER



ASPHALT SHINGLES
CONTINUOUS AIR VENT BATTLES @ 24" O.C.
ENDS AT RIDGE - TO BE INSTALLED SO THAT
AIR FLOW IS NOT RESTRICTED
FIRE-ENGINEERED ROOF TRUSSES
CONTINUOUS ICE AND WATER
PROTECTION FIRST 36" OF ALL EAVES
CONTINUOUS IN ALL VALLEYS
1/2" PLYWOOD SHEATHING c/w
1" CLIPS



TYPICAL EAVE

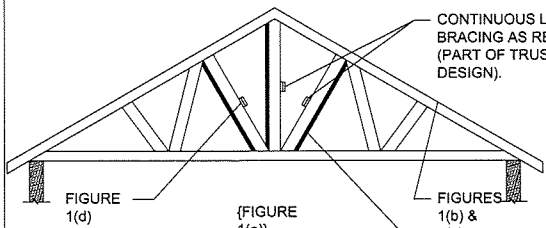
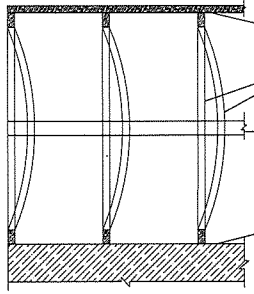


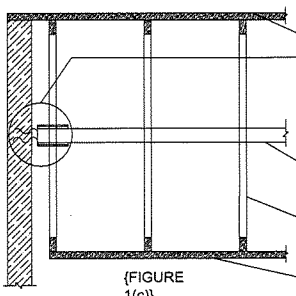
FIGURE 1(a)

CONTINUOUS LATERAL BRACING AS REQUIRED (PART OF TRUSS DESIGN).

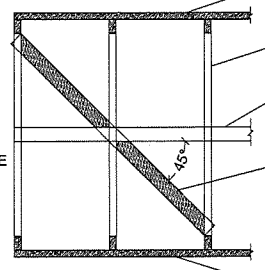
FIGURES 1(b) & 1(c) DIAGONAL BRACING



SHEATHING
COMPRESSION WEBS BEFORE & AFTER BUCKLING
CONTINUOUS LATERAL BRACING MAINTAINS SPACING, BUT PERMITS LATERAL BUCKLING OF ALL WEB MEMBERS @ THE SAME TIME
BEARING FOR ALL TRUSSES

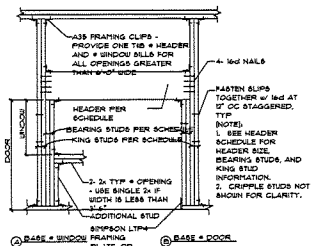


SHEATHING
ANCHORAGE (BY BUILDING DESIGNER) INTO SOLID END WALL - RESTRAINS LATERAL BRACING, THEREBY PREVENTING WEB BUCKLING.
CONTINUOUS LATERAL BRACING
COMPRESSION WEB

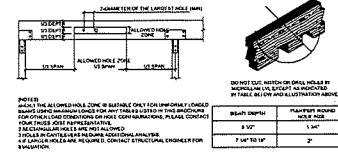


CEILING SHEATHING
COMPRESSION WEB - SLOPING OR VERTICAL
CONTINUOUS LATERAL BRACE
DIAGONAL BRACE NAILED TO OPPOSITE SIDE OF WEB - PREVENTS LATERAL MOVEMENT & SHOULD BE REPEATED @ APPROXIMATELY 20'-0" INTERVALS.
CEILING

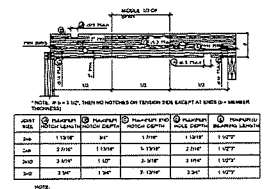
G
10 BRACING DETAILS
SCALE: 1/4"=1'-0"



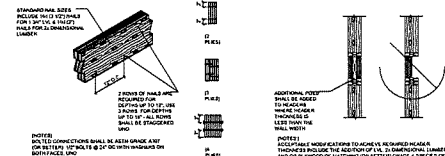
TYP ELEVATION DETAIL @ OPENING IN WOOD FRAMED WALL
SCALE: 1/8"



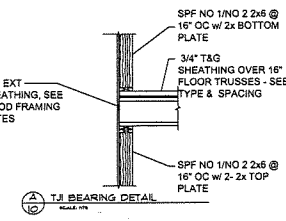
TYP ALLOWABLE JOIST HOLES & NOTCHES
SCALE: 1/8"



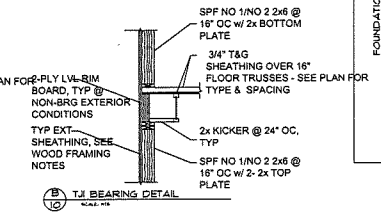
TYP BEAM/HEADER CONNECTION ASSEMBLIES
SCALE: 1/8"



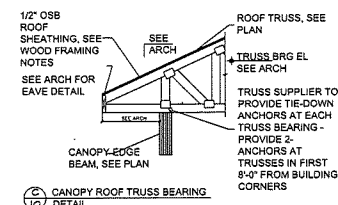
TYP HEADER FRAMING DETAIL
SCALE: 1/8"



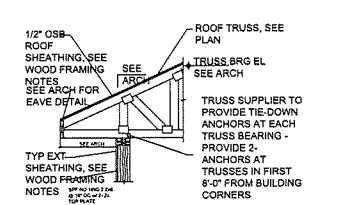
TJ BEARING DETAIL
SCALE: 1/8"



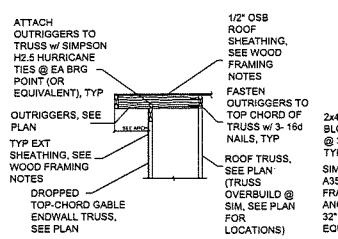
TJ BEARING DETAIL
SCALE: 1/8"



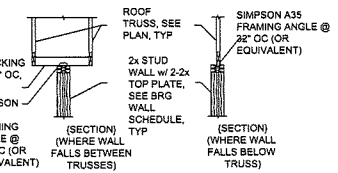
CANOPY ROOF TRUSS BEARING DETAIL
SCALE: 1/8"



ROOF TRUSS BEARING DETAIL
SCALE: 1/8"



DROPPED TOP-CHORD ENDWALL TRUSS DETAIL
SCALE: 1/8"



ROOF TRUSS CONNECTION @ DEMISING WALLS
SCALE: 1/8"

FOUNDATION PLAN
SCALE: 1/4" = 1'
PLAN DATE: 06/10/10

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FLAT FEE CONSTRUCTION 4-JUNIT

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MADISON
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A1

Lots 31 & 32

BUILDING DESIGN LOADS AND CODE DISCRPTION

BUILDING CODE / YEAR	2009 WI IBC
BUILDING CATEGORY OR USE GROUP	R-2 OCCUPANCY GROUP SPRINKLER NFPA 13R CONSTRUCTION CLASS VB
LIVE LOADS	
ROOF LIVE	30 PSF
RESIDENTIAL LIVE	40 PSF
LIVE LOAD REDUCTION	NO
DEAD LOADS	
ROOF TOP CORD	10 PSF
ROOF BOTTOM CORD	5 PSF
OFFICE FLOOR DEAD	15 PSF
RESIDENTIAL FLOOR DEAD	15 PSF
SNOW LOAD	
GROUND SNOW LOAD	30 PSF (COMB. 62.16.08)
GROUND / ROOF CONVERSION	0.7
SNOW IMPORTANCE FACTOR	1.00
SNOW EXPOSURE FACTOR	1.00
THERMAL CATEGORY FACTOR	1.10 (VENTED ATTIC SPACE)
ROOF SNOW LOAD - F - FLAT	23.1 PSF
SLOPE + THERMAL FACTOR - C4	N/A
DESIGN SNOW LOAD - FLAT	23.1 PSF (USE 30 PSF)
DESIGN SNOW LOAD - SLOPED	23.1 PSF (USE 30 PSF)
SNOW LOADS (UNBALANCED)	
DESIGN UNBALANCED SNOW LOAD (SEE DESIGN CALCULATIONS)	21.2 PSF (USE 30 PSF)
SNOW LOADS (DRIFTING)	LOAD DIST. PER EVALUATION * 20026.4.4
SNOW LOADS (DRIFTING)	
DESIGN DRIFT SURCHARGE LOAD (INCLUDING SLIDING) (SEE DESIGN CALCULATIONS)	70 PSF UNIFORM DRIFT LOAD (CONSERVATIVE) TOTAL ROOF SNOW = 100 PSF
WIND LOAD	
WIND SPEED	30MPH
WIND IMPORTANCE FACTOR	1.00
WIND EXPOSURE CATEGORY	B (URBAN / SUBURBAN)
WIND ENCLOSURE	ENCLOSED
MAIN BUILDING	OPEN
PORCH	AT GRADE
BUILDING BASE ELEVATION	PER TABLE 1609.6.2.1 (1) AND FIGURES 1609.6 (1) + (2)
MAIN WINDFORCE-RESISTING SYSTEM	PER TABLE 1609.6.2.1 (1) AND FIGURE 1609.6.2.1 (2) AND FIGURE 1609.6.2.1 (3) AND FIGURE 1609.6 (2)
LOADS AND APPLICATION	
COMPONENT + CLADDING LOADS (OTHER THAN ROOF OVERHANGS)	
COMPONENT + CLADDING LOADS (ROOF OVERHANGS)	
SEISMIC LOAD	
MAPPED RESPONSE Sa	12.5%g + .125g
UNMAPPED RESPONSE S1	5.0%g + 0.05g
SEISMIC IMPORTANCE FACTOR	1.00
SITE CLASS (or Soil Profile Type)	D
ACCELERATION COEFFICIENT Spa	0.033
ACCELERATION COEFFICIENT S1	0.08
SEISMIC DESIGN CATEGORY	B

MATERIAL DESIGN STRESSES

SOIL SELLW.	2500 SFF
CONCRETE Fc	
FOOTINGS + WALLS	3000 PSI
INTERIOR FLATWORK	3000 PSI
EXTERIOR FLATWORK	3500 PSI
STEEL Fy	
BEAMS (in sections)	30 KSI
COLUMNS (in sections)	36 KSI
COLUMNS (in sections)	46 KSI
LIGHT GAUGE STEEL FRAMING	
20, 22, + 18 ga.	33 KSI
16, 14, + 12 ga.	50 KSI
MISC. PLATES, ANGLES	36 KSI
REINFORCING STEEL Fy	
#3 + #4 BARS	40 KSI
#5 BARS AND LARGER	60 KSI
H.B. BOLTED CONNECTIONS	A325-N
MISC. BOLTED CONNECTIONS	A307
ANCHOR BOLTS	A36
WELDING ELECTRODES	E70XX

PREMIER BUILDERS 4-UNIT PROJECT CITY OF MADISON 6402 Driscoll Dr. NELSON'S ADDITION TO RUSTIC ACRES, LOT 32

BUILDER:
PREMIER BUILDERS
102 NORTH HOLIDAY DRIVE
WAUNAKEE WI 53597

DRAFTED BY:
AMERICAN DESIGN CONCEPTS
1334 APPLEGATE RD
MADISON, WI 53705
(608) 213-0710

ENGINEER:
CONOR NELAN
COLD SPRING DESIGN
222 S MAIN ST
FORT ATKINSON WI 53538



SHEET INDEX	
A1	ELEVATIONS
A2	SIDE ELEVATIONS
A3	FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	FOUNDATION PLAN
A6	FRAMING DETAILS
A7	DETAILS
A8	FRAMING DETAILS
S1	SITE PLAN

AMERICAN DESIGN CONCEPTS

DRISCOLL 4-UNIT

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MADISON, WI 53705
(608) 213-0710
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PLAN START DATE: 04/10/14
REVISED DATE: N/A
REVISED DATE: N/A
REVISED DATE: N/A



FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

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ALL TALL WALLS GREATER THAN 10'-0" TO BE ENGINEERED BY MATERIAL SUPPLIER

ELEVATIONS
SCALE 1/4" = 1'

PLANT DATE 04/20/24	REVISED DATE/NO	REVISED DATE/NO
REVISED DRAWING	REVISED DRAWING	REVISED DRAWING
REVISED DRAWING	REVISED DRAWING	REVISED DRAWING

Cold Spring Design

AMERICAN DESIGN CONCEPTS

DRISCOLL 4-JUNIT

A1

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DESIGNED BY
134 HANCOCK BLVD
HADDONFIELD, NJ 08033
(609) 713-0770
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RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR SHEATHING 1/16" OSB
NAILED USING 16G X1-1/2" STAPLES
@2" O.C. @ PANEL EDGES 12" O.C.
@ INTERIOR U.N.O.

EXTERIOR SHEATHING 1/16" OSB
NAILED USING 16G X1-1/2" STAPLES
@3" O.C. @ PANEL EDGES 12" O.C.
@ INTERIOR U.N.O.

EXTERIOR SHEATHING 1/16" OSB
NAILED USING 16G X1-1/2" STAPLES
@3" O.C. @ PANEL EDGES 12" O.C.
@ INTERIOR U.N.O.



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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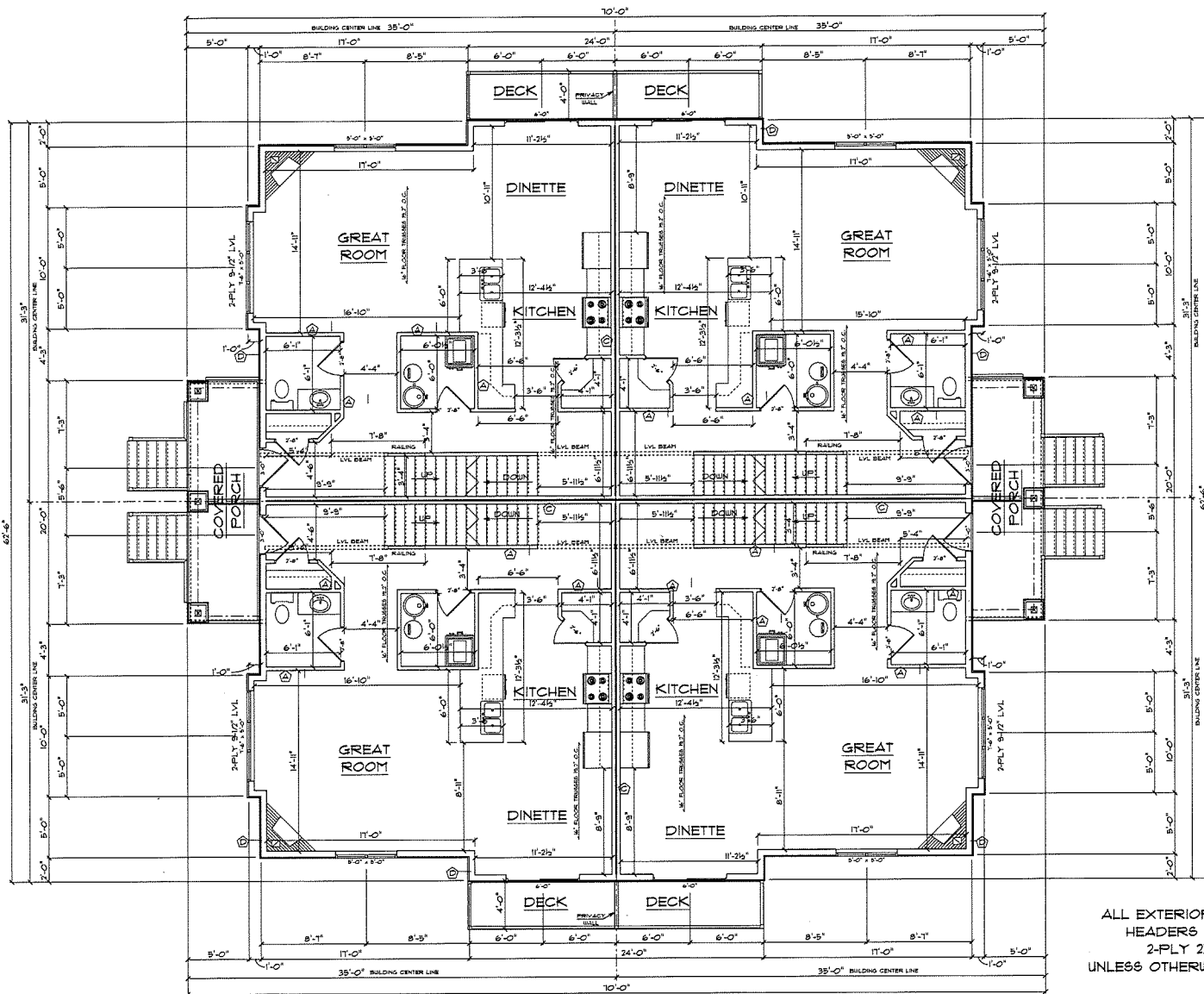
SIDE ELEVATIONS
SCALE: 1/4" = 1'
PLAN START DATE 04/10/16
REVISED DATE
REVISED BY
REVISED DATE
REVISED BY
REVISED DATE
REVISED BY

Cold Spring Design

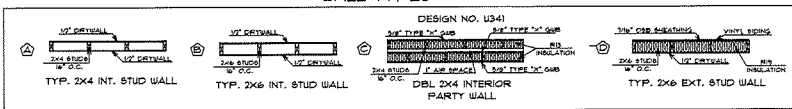
AMERICAN DESIGN CONCEPTS

DRISCOLL 4-UNIT

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DESIGNED BY 1334 APPLICABLE
DATE 04/10/16
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ALL EXTERIOR WINDOW HEADERS TO BE 2-PLY 2X10 UNLESS OTHERWISE NOTED

1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"
874 SQFT FINISHED AREA PER UNIT

Cold Spring Design

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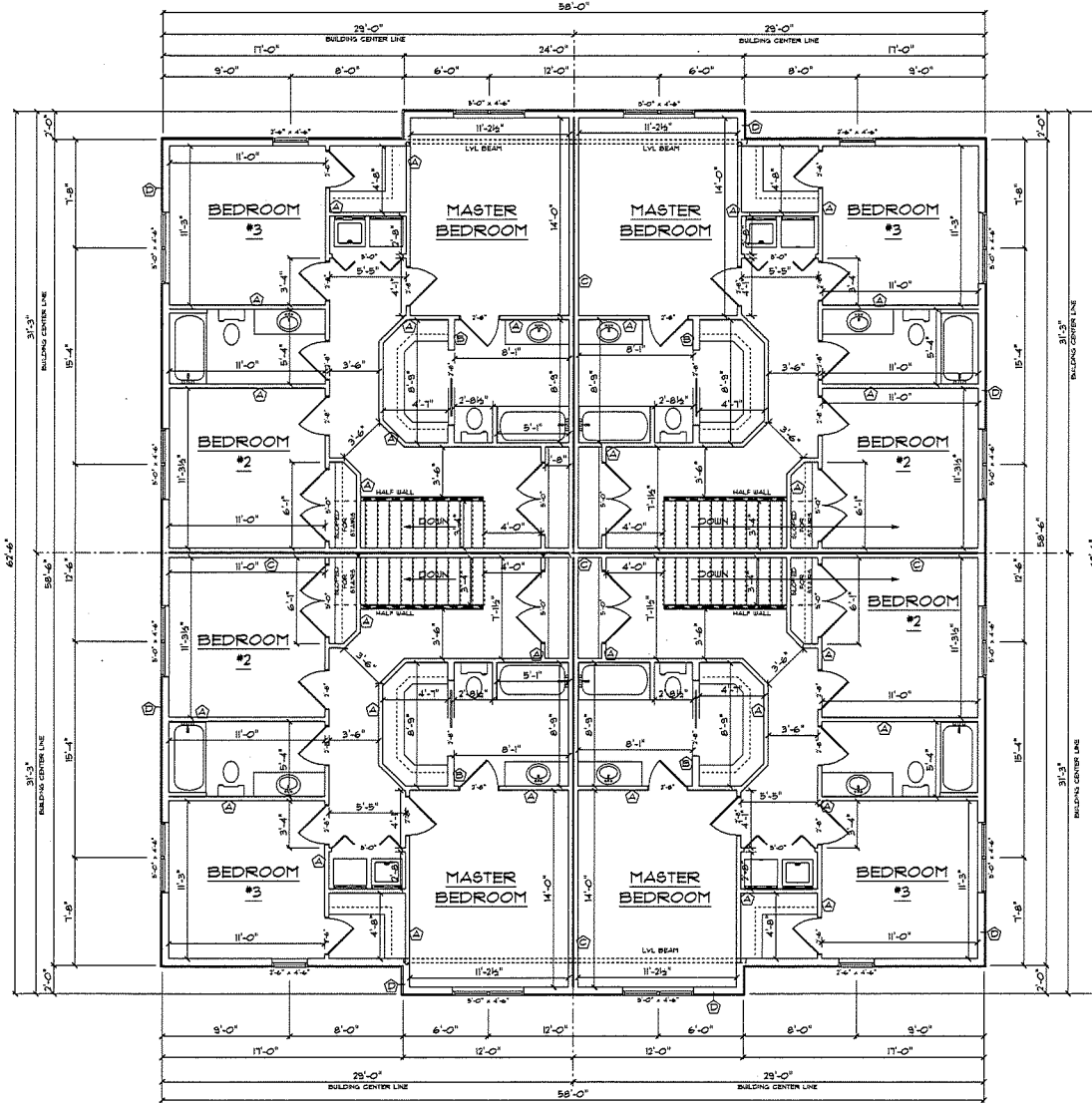
DRISCOLL 4-UNIT

FIRST FLOOR E-003 PLAN
8488 TOTAL SQFT
SCALE: 1/4" = 1'

PLAN DATE: 04/20/24	REVISED DATE: 04/20/24
REVISED BY: [Signature]	REVISED BY: [Signature]
REVISED DATE: 04/20/24	REVISED DATE: 04/20/24
REVISED BY: [Signature]	REVISED BY: [Signature]

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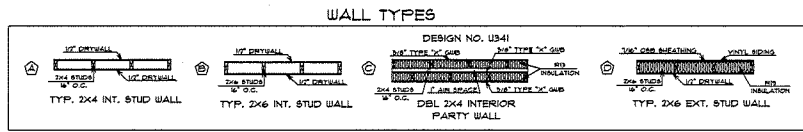
A3



ALL EXTERIOR WINDOW
HEADERS TO BE
2-PLY 2X10

2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"
874 SQFT FINISHED AREA PER UNIT

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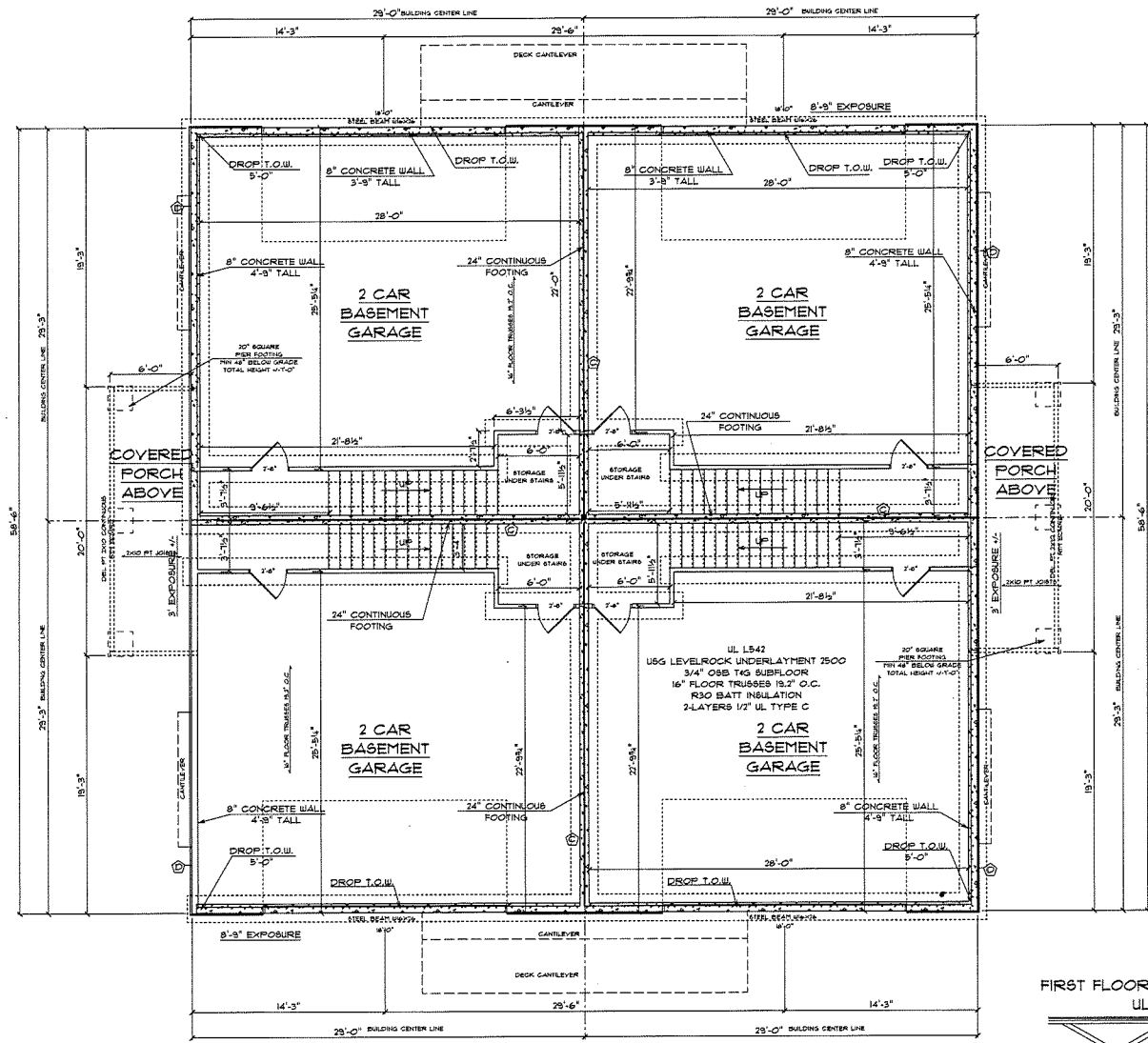
DRISCOLL 4-UNIT

SECOND FLOOR FLOOR PLAN
3488 TOTAL SQFT
SCALE: 1/4" = 1'

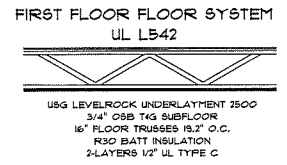
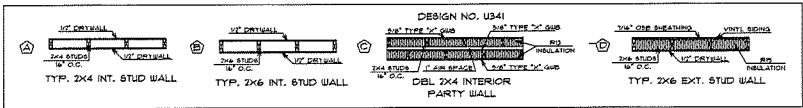
PLANNING DATE: 04/05	REVISIONS:
DESIGNED BY: DRISCOLL	REVISIONS:
CHECKED BY: DRISCOLL	REVISIONS:
APPROVED BY: DRISCOLL	REVISIONS:

AMERICAN DESIGN CONCEPTS, L.L.C.
DESIGNED BY: DRISCOLL
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MADISON, WI 53711
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A4



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



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ALL TALL WALLS GREATER THAN 10'-0" TO BE ENGINEERED BY MATERIAL SUPPLIER

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DRISCOLL 4-UNIT

FOUNDATION PLAN
SCALE 1/4" = 1'-0"

PLANNING	REVISION 01/19/19
DESIGN	REVISION 02/19/19
CHECKING	REVISION 03/19/19
PERMITTING	REVISION 04/19/19
CONSTRUCTION	REVISION 05/19/19

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ALL BLUE LINES CONCEPTS
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A5

TYPICAL TRUSS ROOF:
 ARCHITECTURAL SHINGLES
 1/2" OSB ROOF SHEATHING c/w
 1" CLIPS
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 2x4 TRUSS BRACING
 R40 BLOWN INSULATION
 6 mil POLY V.B.
 5/8" CEILING BOARD
 TAPED & SANDED

TYPICAL 2x6 SIDING EXT. WALL:
 VINYL SIDING
 TYVEK HOUSE WRAP
 1/16" OSB SHEATHING
 2x6 STUDS @ 16" o.c.
 R19 BATT INSULATION
 6 mil POLY V.B.
 1/2" DRYWALL

TYPICAL SILL ASSEMBLY:
 1/2" DIA. ANCHOR BOLT @ 12" o.c.
 2x6 PRESSURE TREATED SILL PLATE
 1/4" SILL GASKET

8" Poured concrete
 FOUNDATION WALL
 3/4" WIDE x 12" DEEP
 CONCRETE FOOTING c/w
 2 - RUNS 18M REBAR
 4" DRAIN TILE
 W/ CRUSHED STONE

TYPICAL BASEMENT FLOOR:
 3" CONCRETE SLAB c/w
 FIBRE MESH REINFORCEMENT
 6 mil POLY VAPOR BARRIER
 2" RIGID INSULATION
 COMPACTED GRANULAR FILL

TYPICAL
 WALL SECTION
 NO SCALE

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 IN ANY FORM
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TRUSS FIRE SEPARATION
 2-LAYERS 1/2" DRYWALL
 STAGGERED JOINTS

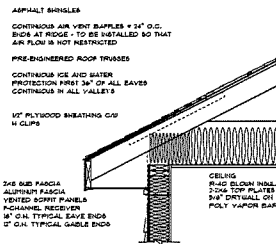
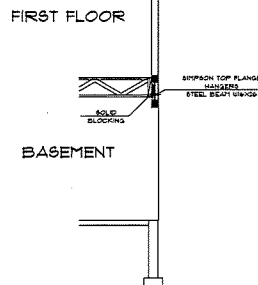
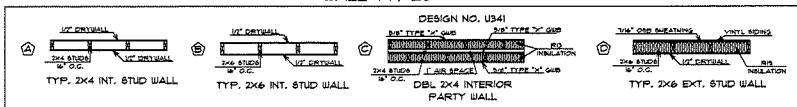
DBL PARTITION WALL:
 5/8" DRYWALL TAPED & SANDED
 TYP. 2X4 STUD WALL
 5/8" TYP X GWB
 SOUND DEADING INSULATION
 1/2" AIR SPACE
 TYP. 2X4 STUD WALL (STAGGERED
 FROM OPPOSITE WALL)
 SOUND DEADING INSULATION
 5/8" DRYWALL

DBL PARTITION WALL:
 5/8" DRYWALL TAPED & SANDED
 TYP. 2X4 STUD WALL
 5/8" TYP X GWB
 SOUND DEADING INSULATION
 1/2" SOUND BOARD
 1/2" AIR SPACE
 TYP. 2X4 STUD WALL (STAGGERED
 FROM OPPOSITE WALL)
 SOUND DEADING INSULATION
 5/8" DRYWALL

DBL PARTITION WALL:
 5/8" DRYWALL TAPED & SANDED
 TYP. 2X4 STUD WALL
 5/8" TYP X GWB
 1/2" AIR SPACE
 TYP. 2X4 STUD WALL (STAGGERED
 FROM OPPOSITE WALL)
 SOUND DEADING INSULATION
 5/8" DRYWALL

NOTE:
 G.C. TO ENSURE COMMON WALLS MEET
 OR EXCEED MINIMUM STANDARDS SET IN
 WISCONSIN CONSTRUCTION STANDARDS COMM. 21.09,
 AS WELL AS ALL APPLICABLE LOCAL CODES
 OWNER TO BE CONSULTED ON ANY CHANGES

WALL TYPES



TYPICAL EAVE

FOUNDATION PLAN
 SCALE: 1/4" = 1'

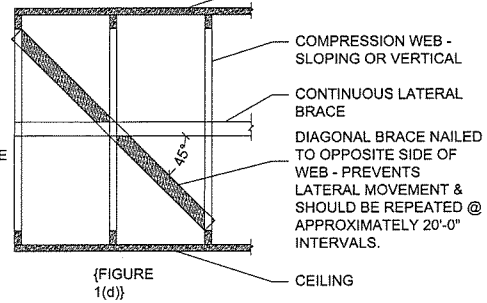
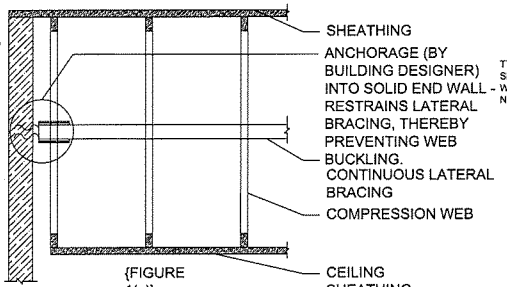
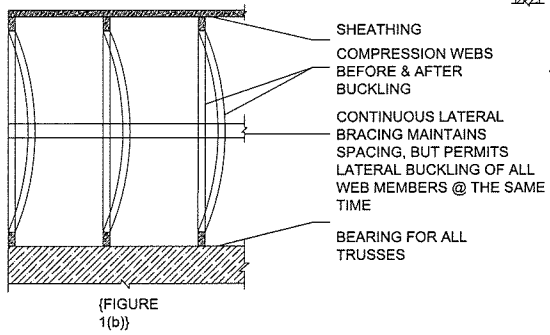
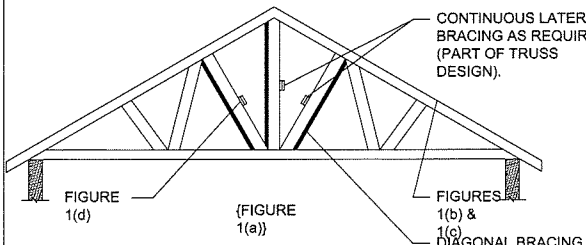
PLANNING DATE: 04/18/2018	REVISED DATE: 05/01/2018
REVISED BY: [Signature]	REVISED BY: [Signature]
REVISED DATE: 05/01/2018	REVISED DATE: 05/01/2018

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BRACING DETAILS
SCALE: 1/4"=1'-0"

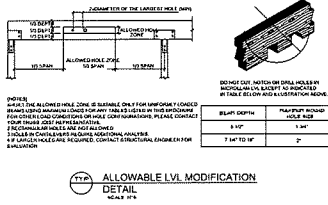
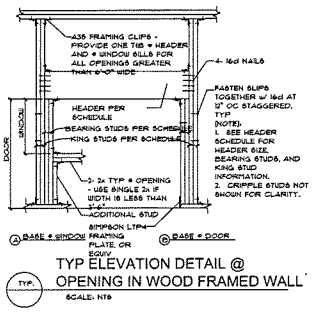
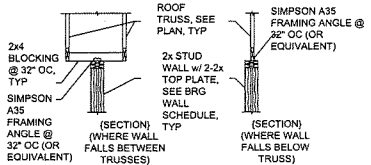
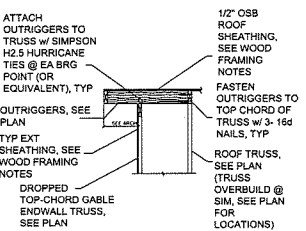
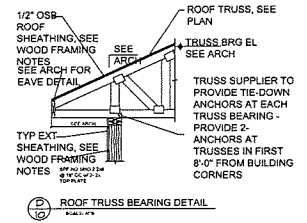
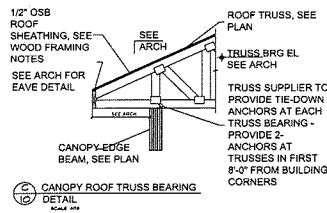
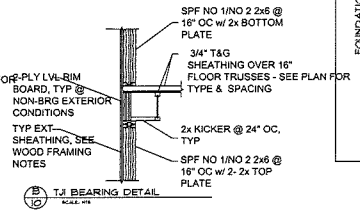
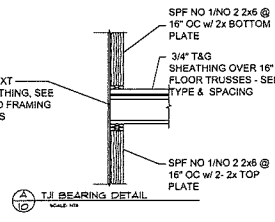
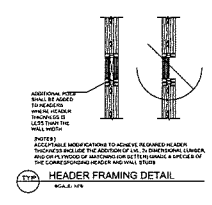
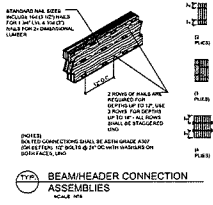


TABLE 1: ALLOWABLE JOIST HOLES & NOTCHES (SCALE: 1/8")

JOIST SIZE	MAXIMUM JOIST SPACING	MAXIMUM JOIST NOTCH DEPTH	MAXIMUM JOIST NOTCH WIDTH	MAXIMUM JOIST NOTCH LENGTH
2x4	19 1/2"	1 1/2"	1 1/2"	11 1/2"
2x6	19 1/2"	1 1/2"	1 1/2"	11 1/2"
2x8	19 1/2"	1 1/2"	1 1/2"	11 1/2"
2x10	19 1/2"	1 1/2"	1 1/2"	11 1/2"
2x12	19 1/2"	1 1/2"	1 1/2"	11 1/2"



FOUNDATION PLAN
SCALE: 1/4" = 1'
REVISIONS
DATE
BY
CHECKED
DATE
BY
DESIGNED
DATE
BY

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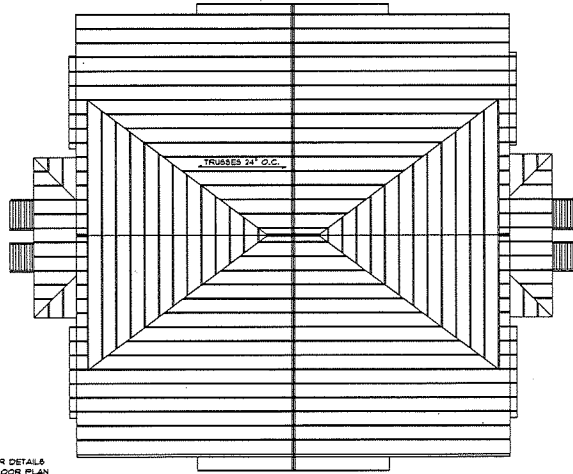
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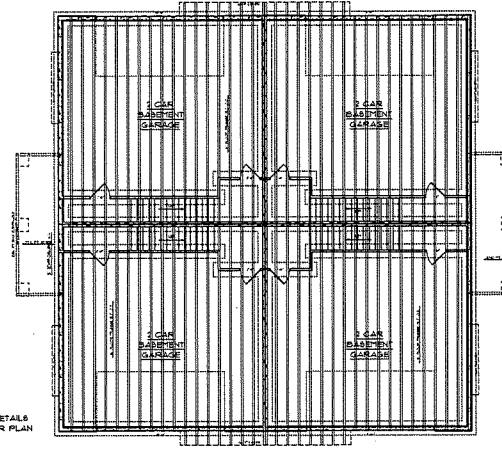
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HEADER DETAILS
PER FLOOR PLAN



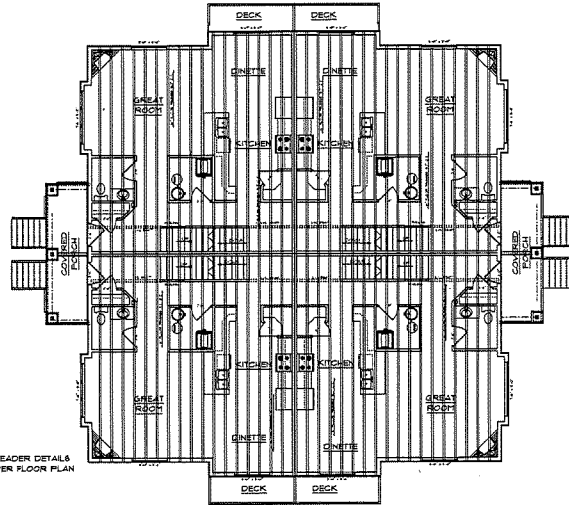
ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

HEADER DETAILS
PER FLOOR PLAN



FIRST FLOOR JOIST FRAMING PLAN
SCALE 1/4" = 1'-0"

HEADER DETAILS
PER FLOOR PLAN



SECOND FLOOR JOIST FRAMING PLAN
SCALE 1/4" = 1'-0"

FRAMING PLANS
SCALE: 1/8" = 1'

PLAN START DATE 04/07/16	REVISION 04/11/16
REVISION 04/16/16	REVISION 07/19/16
REVISION 04/16/16	REVISION 04/21/16
REVISION 04/16/16	REVISION 04/21/16

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AS