

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____

Title: _____

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____

- | | |
|--|---|
| <input type="checkbox"/> New development | <input type="checkbox"/> Alteration to an existing or previously-approved development |
| <input type="checkbox"/> Informational | <input type="checkbox"/> Initial approval <input type="checkbox"/> Final approval |

3. Project Type

- ☐ Project in an Urban Design District
- ☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- ☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- ☐ Planned Development (PD)
 - ☐ General Development Plan (GDP)
 - ☐ Specific Implementation Plan (SIP)
- ☐ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
- ☐ Signage Variance (i.e. modification of signage height, area, and setback)

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name _____	Company _____
Street address _____	City/State/Zip _____
Telephone _____	Email _____

Project contact person _____	Company _____
Street address _____	City/State/Zip _____
Telephone _____	Email _____

Property owner (if not applicant) _____	
Street address _____	City/State/Zip _____
Telephone _____	Email _____

5. Required Submittal Materials

- ☐ **Application Form**
- ☐ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☐ **Development plans** (Refer to checklist on Page 4 for plan details)
- ☐ **Filing fee**
- ☐ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with _____ on _____.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant _____ Relationship to property _____

Authorizing signature of property owner _____ Date _____

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

Memorandum

To: City of Madison Planning and Zoning Staff; Urban Design Commission Members
From: Justin Frahm, Project Consultant, JSD Professional Services, Inc.
Re: Letter of Intent – 5133 & 5237 University Avenue Land Use and UDC Initial Application(s)
JSD Project #: 07-2912
Date: January 15, 2020
cc: Tom Degen, Degen & Associates, Dale Streitenberger, JLA

Intent

Degen & Associates, LLC is hereby providing a redevelopment proposal application for two existing parcels located at 5133 and 5237 University Avenue for review by City of Madison Staff and the Urban Design Commission. Redevelopment plans include demolition of an existing (vacant) restaurant and office building for three (3) proposed mixed-use buildings including site improvements.

The proposed first floor commercial space will feature opportunities for restaurant, service and commercial office uses as a vibrant mixed-use development. Proposed mixed-use buildings will feature a residential unit mix targeting a diverse tenant mix with professional on-site leasing and management. On-site amenities will feature underground / covered parking within buildings, outdoor balconies, resident outdoor open space, visitor parking and direct pedestrian connections to University Avenue.

Proposed Land Use

Redevelopment plans feature three (3) proposed buildings to include a total of 79 multi-family residential units and approximately 6,567 square feet for planned commercial, service and office use. Land Use is consistent with approved uses within the City of Madison Comprehensive and designated Neighborhood Plans.

The proposed site (3.482 acres overall) is planned on two existing parcels, 2.361 acres and 1.121 acres in size to be combined as one lot via a Land Division application and Certified Survey Map which has been submitted in conjunction with City of Madison Land Use and Urban Design Commission applications.

Summary of Proposed Development

Building A

- 4-story / 12,743 square feet (ground floor)
 - 25 Total Residential Units
 - Approx. 4,750 square feet of restaurant (40% support 60% Dining - 190 person capacity)
 - Approx. 3,500 square feet of commercial flex space (tenants to be determined)
 - 163 square feet for leasing office
 - 33 underground vehicular stalls

- 27 bicycle stalls (lower level)

Building B

- 4-story / 12,331 square feet (ground floor)
 - 30 Total Residential Units
 - Approx. 1,700 square feet of commercial flex space (tenants to be determined)
 - 35 lower level / 17 first floor vehicular stalls
 - 20 bicycle stalls (lower level) 16 (first floor)

Building C

- 4-story / 9,950 square feet (ground floor)
 - 24 Total Residential Units
 - Approx. 1,200 square feet of commercial flex space (tenants to be determined)
 - 19 lower level / 12 first floor vehicular stalls
 - 25 bicycle stalls (lower level) 8 (first floor)

Zoning

The site is bordered by University Avenue with single family residential neighborhoods to the north, medium density residential neighborhoods to the west and south, and existing commercial and service-oriented land uses to the east.

The subject site is currently zoned Suburban Employment (SE). Proposed land uses include:

- Residential Multi-Family (greater than 8 units) as a conditional use
- Commercial uses may include a combination of permitted uses and conditional uses (to be determined at a later date) as tenants are secured

Suburban Employment Zoning Requirements Table

Suburban Employment (SE) District			
Requirement	SE Zoning	Proposed Site	Conformance
Lot Area (sq. ft.)	20,000 min.	151,704 sq. ft.	Met
Lot Area (Exclusive for residential Use)	2,000 sq. ft./unit	Not Applicable - Proposed Mixed-Use	Not Applicable
Lot width	65'	Northwest – 234.2' South – 519.2'	Met
Front Yard Setback	If not at corner location Not Applicable / No Minimum	3' (front setback to patio wall)	Not Applicable
Side Yard Setback	15' or 20% Building Height	27.92' (west property line) 15' (east property line)	Met

Rear Yard Setback	30'	62.45' (rear minimum)	Met
Maximum Lot Coverage	75%	65%	Met
Minimum Height	22' measured to building cornice	36'	Met
Maximum Height	5 stories / 68' <u>Residential Uses:</u> 4 Stories/55'	4 stories / 50'	Met
Usable Open Space	400 sq. ft. / unit 79 units x 400 sq. ft. = 31,600 sq. ft.	34,050 sq. ft.	Met

Existing Conditions / Opportunities and Constraints

Infrastructure

An existing 19.5' reinforced concrete storm sewer structure runs central to the site from north to south and provides regional storm water conveyance through the subject site.

The location of the storm sewer poses a division of the overall site in which buildings or significant structures may not be placed over the easement area. The cost of relocating an infrastructure of this size is prohibitive relative to redevelopment of a single site.

In addition to the easement area, a reasonable setback must be maintained to the easement for proposed building or structure placement due to planned extents of foundations and excavations for protection of existing infrastructure during construction and future maintenance.

A 24" reinforced concrete storm sewer and associated easement runs along the south side of the property serving adjacent neighborhoods and the subject site.

Current sanitary sewer and water service is provided via laterals to existing buildings on site. These utility connections are to be capped and protected during construction with new connections established to proposed buildings. Plans do not anticipate any significant work for infrastructure improvements within the University Avenue (public) right-of-way.

Topography

The existing site features significant grade transitions including a 5 and 3 foot transition, at the westerly and easterly property lines, respectively. The aforementioned 27' wide storm sewer easement associated with subsurface regional storm sewer maintains an elevated ridge which features high points in elevation relative to east and west lands on site.

Low points of the site are located at the south westerly and south easterly corners of the subject parcels.

Stormwater Management and Wellhead Protection Zone

The City of Madison's Well #14 is located within the north easterly quadrant of University Avenue and Tomahawk Trail immediately north of the project site.

The wellhead protection zone has been a subject of neighborhood and City staff considerations in recent years relative to monitoring and maintaining water quality for residents. Consideration should be given to minimize potential increases of salt and point source pollutants to treat impervious areas associated with redevelopment opportunities and infrastructure improvements.

Development restrictions for the subject site include a 300' radius buffer extending from the wellhead which restricts storm water management facility placement on site. This impacts and restricts the north east corner of the site adjacent to the 27' storm sewer and restricts stormwater management facilities to the southern half of the project site. The proposed stormwater management design meets state and local redevelopment requirements on-site.

Additionally, shallow groundwater for this site restricts depth of foundations and underground parking.

Traffic and Access

Currently University Avenue features a median break serving University Avenue westbound access to the site. There are two commercial driveway access points serving University Avenue eastbound access which will be reduced to one in the current proposal. There is an existing fire lane at the easterly edge of the site to be maintained, east of Midas and an existing motorcycle service shop.

Degen & Associates has commissioned a preliminary traffic analysis study in coordination with City of Madison Traffic Engineering staff review and coordination. The report analyzes existing and proposed land use traffic demands, levels of service for existing and proposed access, and reviews the overall safety of the existing transportation infrastructure serving the site.

The report submitted to City Traffic Engineering determined the existing median break on University Avenue, associated queue lane capacity and turning movements sufficiently serve the existing land uses as well as the proposed redevelopment land uses (79 units of residential and approximately 6,567 square feet of Commercial).

Fire Protection

Fire protection requirements for the site include fire lane locations, width, turning radii, hydrant locations, foundation coverage for sprinklered buildings as well as aerial apparatus for buildings over 30' and existing fire lanes to be maintained.

Due to lot depth, the site requires circulation and multiple points for fire lane access in lieu of minimum dead-end lengths. This includes access for aerial apparatus for 25% of exterior building footprints based on the proposed three-story building height (greater than 30').

City Planning and Zoning Coordination

Degen & Associates and the project team have coordinated multiple City Planning and Zoning Staff meetings spanning fall of 2017 through fall 2019. Throughout the planning process, proposed plans have evolved to address the following:

- Consideration of frontage and building orientation
- Consideration of adjacent uses and flexibility for future redevelopment of those uses
- Site Plan consideration of quality open space, usable open space and residential unit design
- Consideration of setbacks, screening and grade transitions from existing residential properties to the west and south (Trillium neighborhood) to proposed site buildings
- Consideration of pedestrian circulation, internal to the development as well as connections to University Avenue and open spaces on site

Based on discussions with City staff, Degen & Associates have developed the preferred site plan based on the opportunities and constraints of the site. This includes an increase in open space and usable open space, integration of additional pedestrian connectivity internal to the site and to University Avenue.

Spring Harbor Neighborhood Association, Resident and Alder Coordination

Throughout project planning and in coordination with City of Madison Planning and Zoning Staff meetings, Degen & Associates has been in direct contact with District 17 Alder Keith Furman, the Spring Harbor Neighborhood Association Board (SHNA) as well as neighborhood residents. These efforts include a significant number of meetings and presentations of preliminary project plans to residents and stakeholders.

Input and considerations as communicated by neighborhood residents and stakeholders include the following:

- Reduce and manage light pollution to adjacent properties
- Importance of best stormwater management practices relative to City Well #14 and recent City flooding
- Consideration and minimization of salt use management relative to proximity of City Well #14
- Maintain and develop quality open space
- Maintain appropriate scale, screening and buffering to adjacent properties
- Consideration of appropriate amount of on-site parking to serve development
- Traffic impacts of proposed development and its uses
- Bicycle and pedestrian access and safety from development to University Avenue
- Integrate quality landscape opportunities, parking lot vegetation and street tree placement

Summary

The project team looks forward to coordination with City of Madison departmental staff and project stakeholders to implement a successful redevelopment plan for a project that has sat vacant for a considerable amount of time. We are confident the proposed project will contribute to a vibrant neighborhood on a significant City corridor and provide a strong sense of place for residents and visitors.

For questions or information please contact Tom Degen, Degen & Associates tdegen@tds.net or Justin Frahm, JSD Professional Service justin.frahm@jsdinc.com.

Park

Residential

Well

Median Break

Storm
Sewer

5 FT
GRADE
CHANGE

Dental

Auto

Cycle

City
of
Madison

BIKE
PATH

E

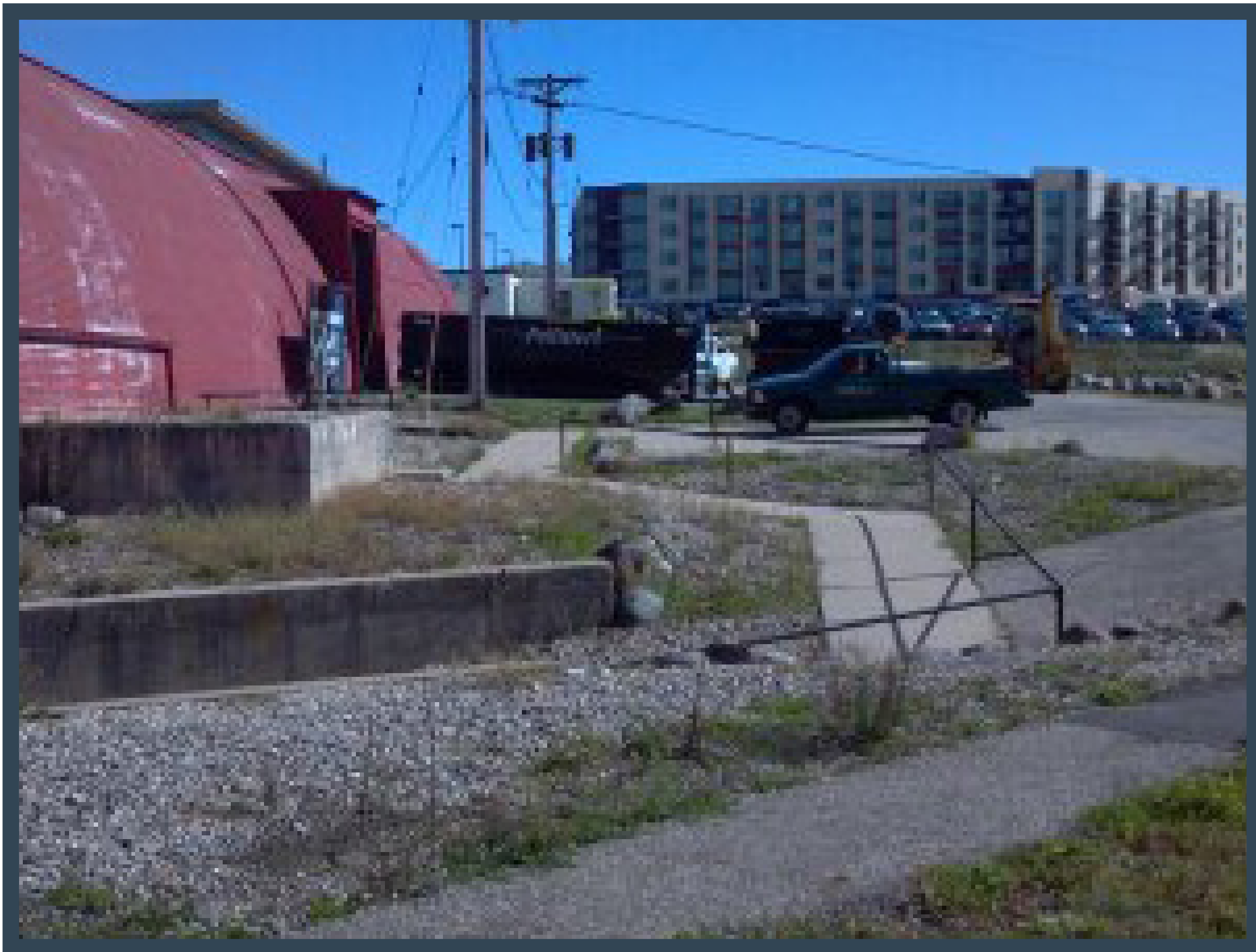
Residential



REFERENCE AERIAL



ENTRANCE TO PARCEL



EXISTING BUILDING ON PARCEL



VIEW TO SOUTHERN END OF PARCEL



EXISTING FIRE LANE ACCESS



EXISTING ACCESS TO ADJACENT PARCEL



REFERENCE AERIAL



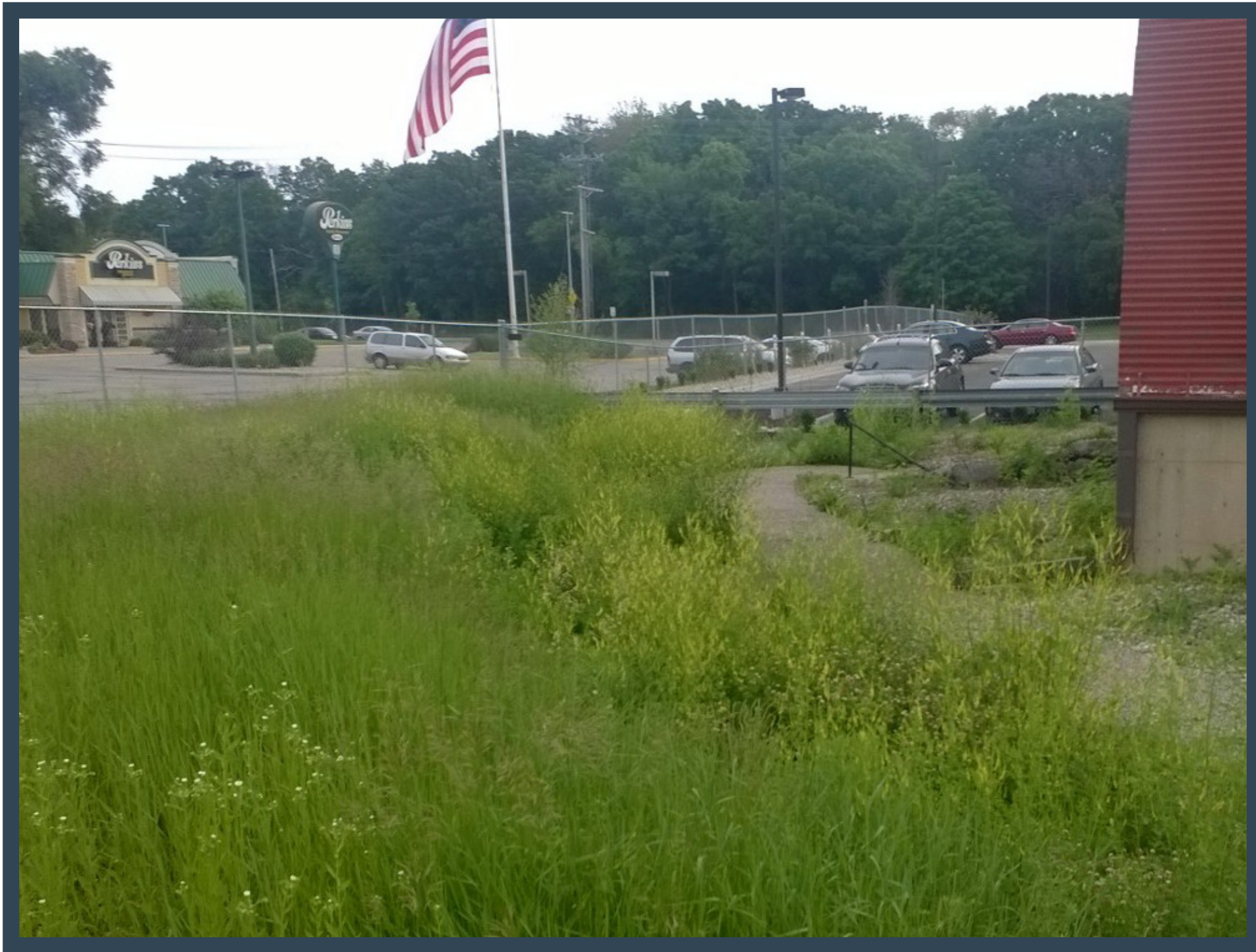
VIEW OF SOUTHEAST PROPERTY LINE



VIEW OF REAR YARD LOOKING
SOUTHWEST



VIEW OF REAR PROPERTY LINE EXISTING FENCE



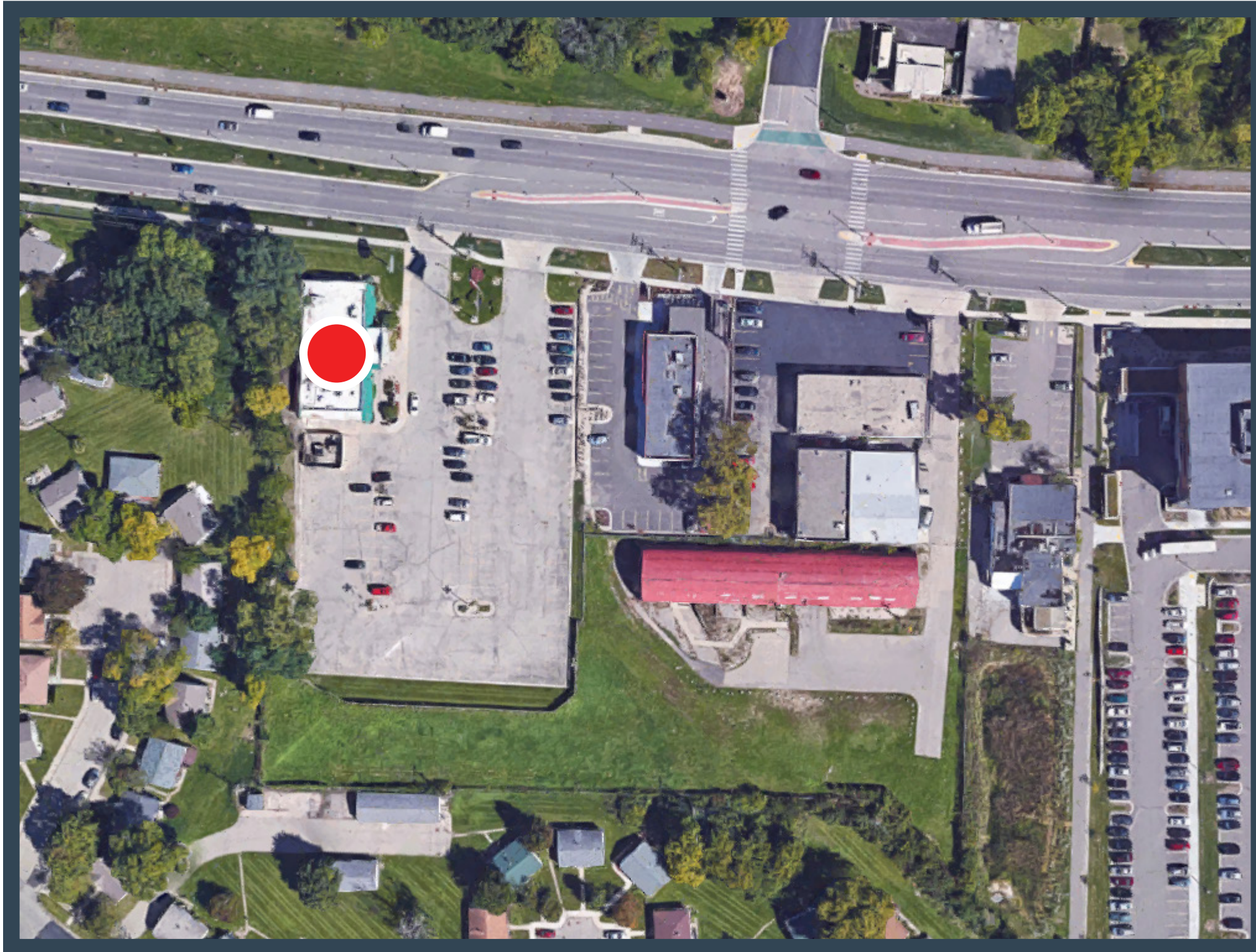
VIEW LOOKING FROM BACK OF LOT NORTHEAST
TOWARDS UNIVERSITY AVE.



VIEW OF REAR PROPERTY LINE EXISTING FENCE

UNIVERSITY AVE MIXED-USE
EXISTING CONDITIONS - IMAGE BOARD 2





EXISTING BUILDING A (PERKINS) : LOCATION



IMAGE 1 : ENTRY/FRONT COUNTER



IMAGE 2 : EAST DINING ROOM



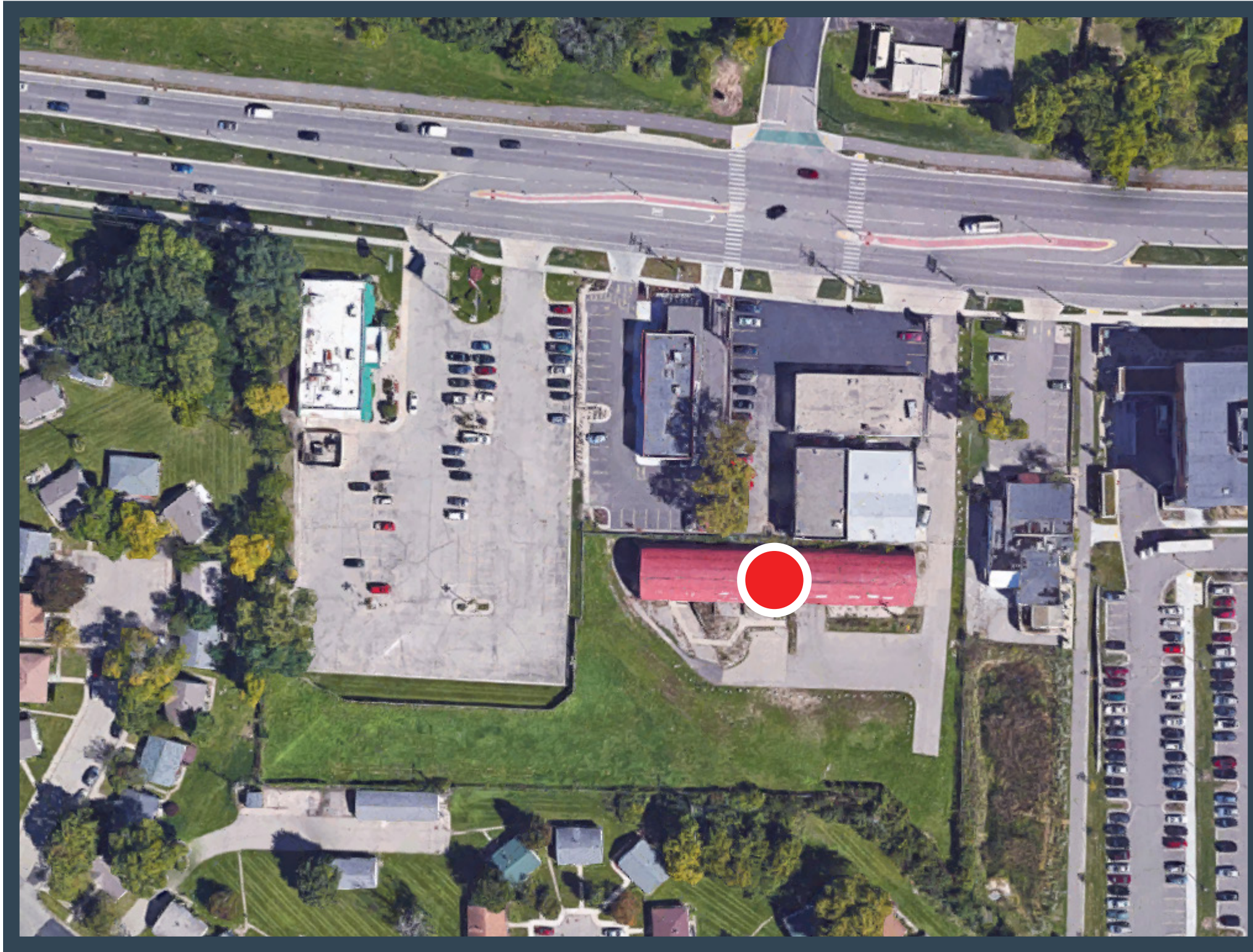
IMAGE 3 : WEST DINING ROOM



IMAGE 4 : PREP AREA



IMAGE 5 : KITCHEN AREA



EXISTING BUILDING B (WAREHOUSE) : LOCATION



IMAGE 1 : WAREHOUSE EAST END



IMAGE 2 : WAREHOUSE WEST END



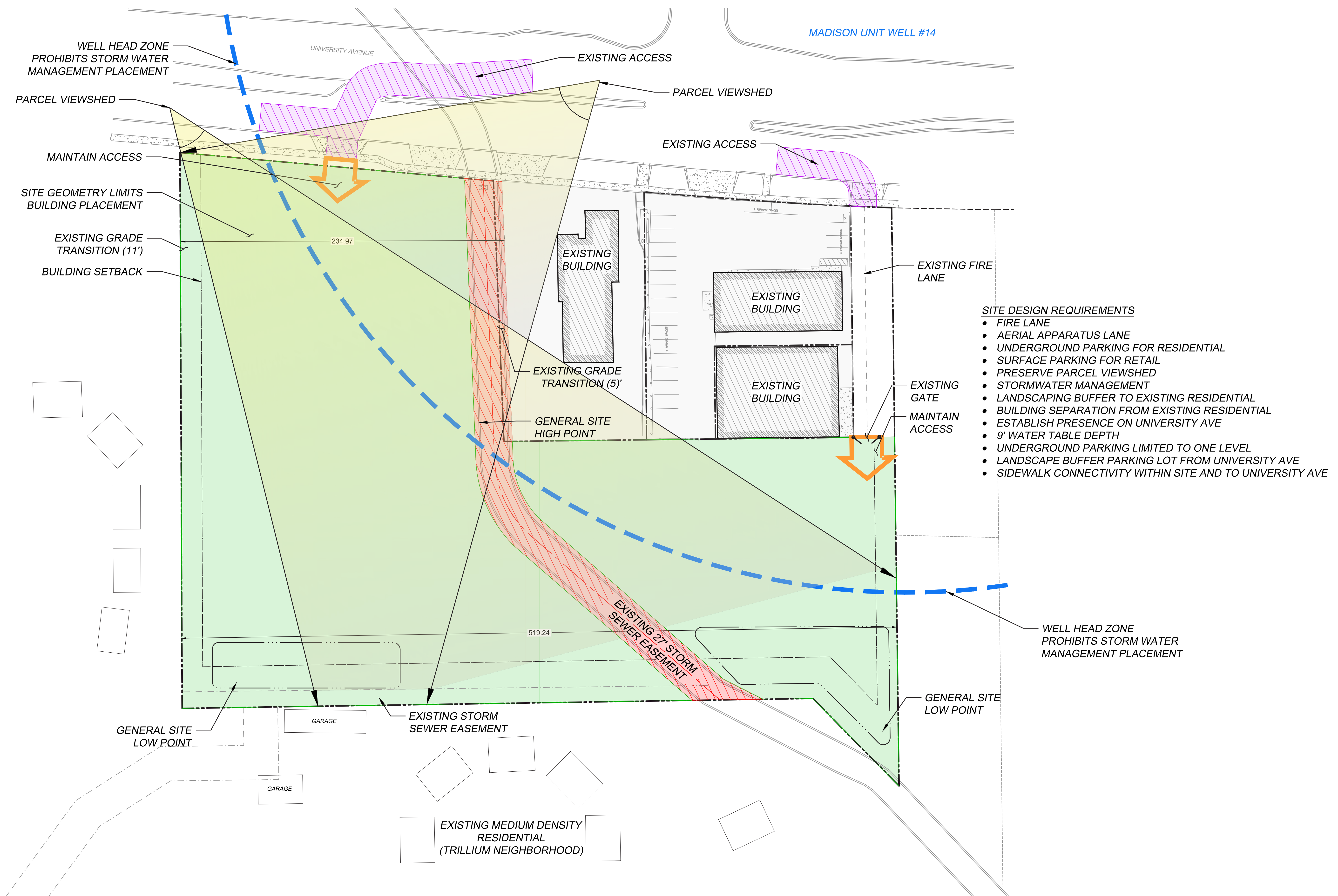
IMAGE 3 : LOWER LEVEL ENTRY



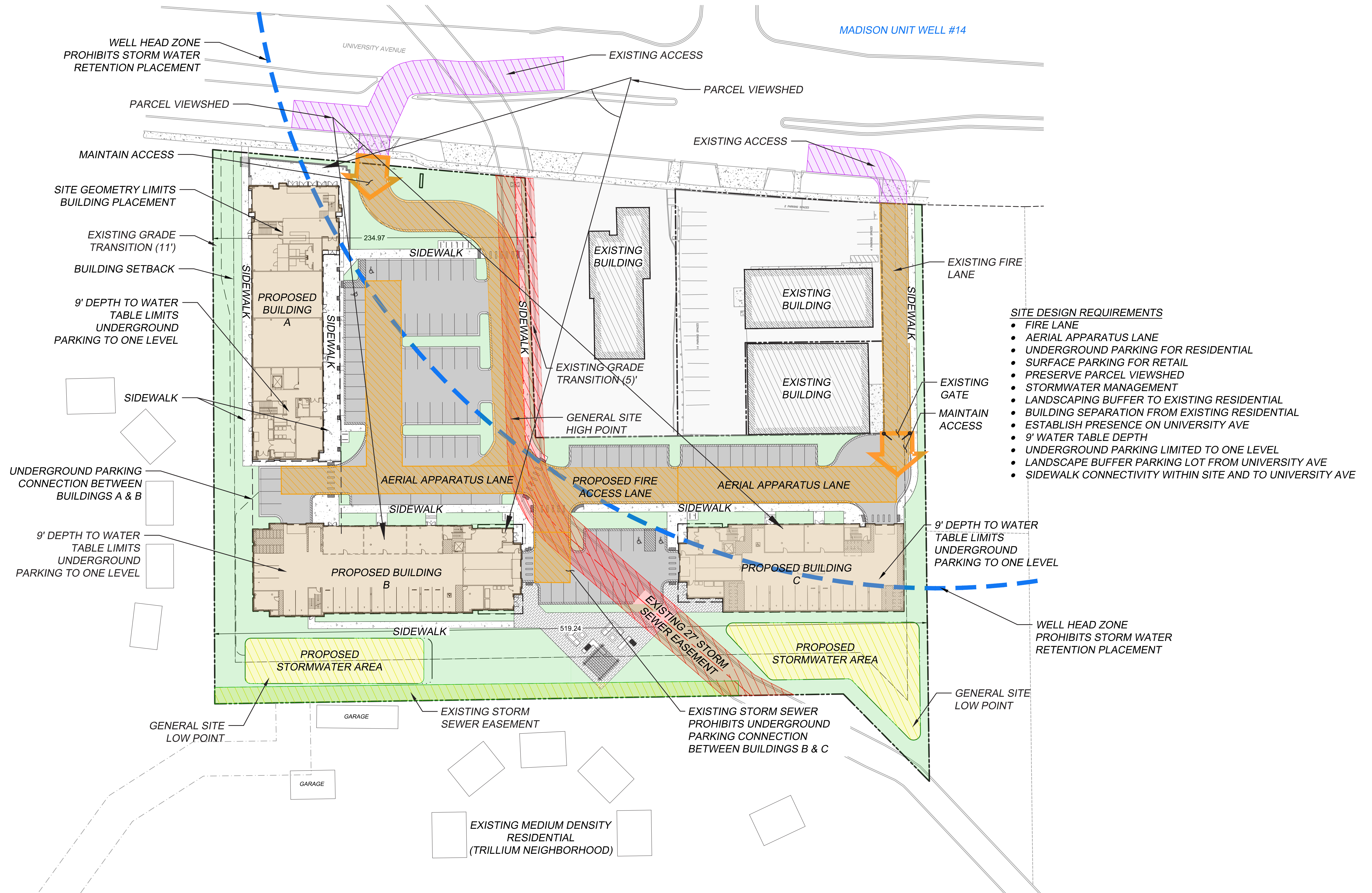
IMAGE 4 : LOWER LEVEL OFFICE



IMAGE 5 : LOWER LEVEL STORAGE

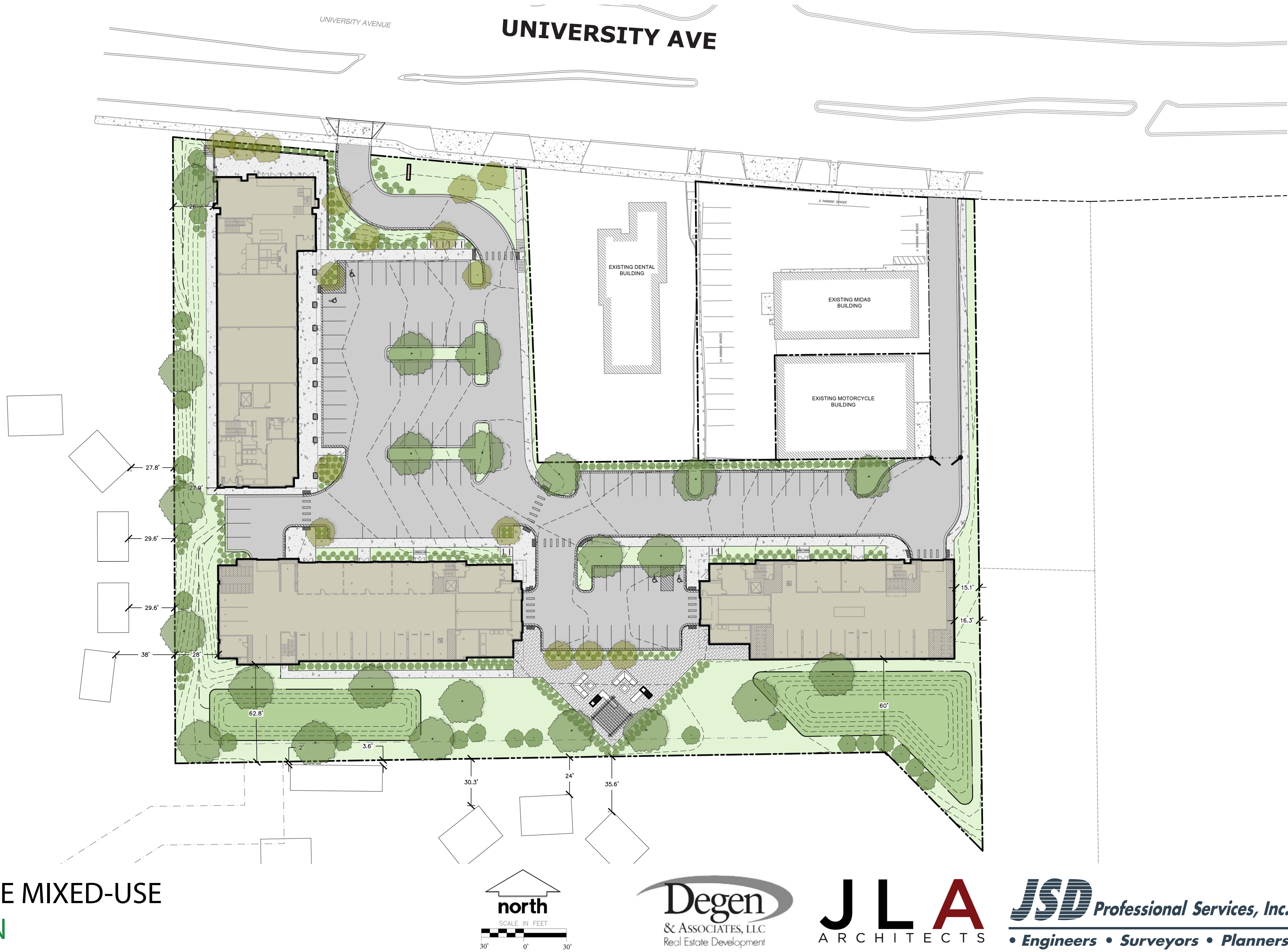


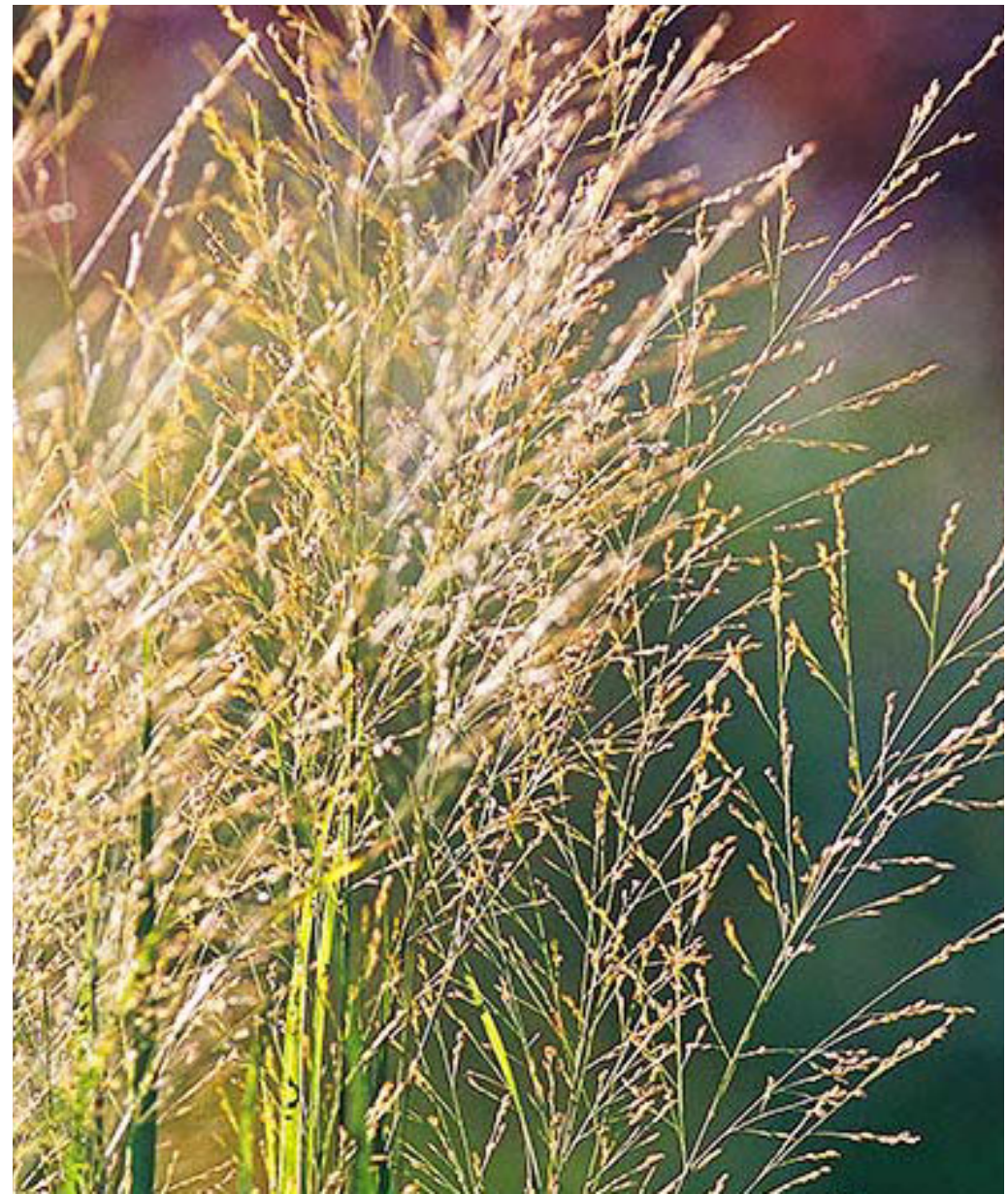
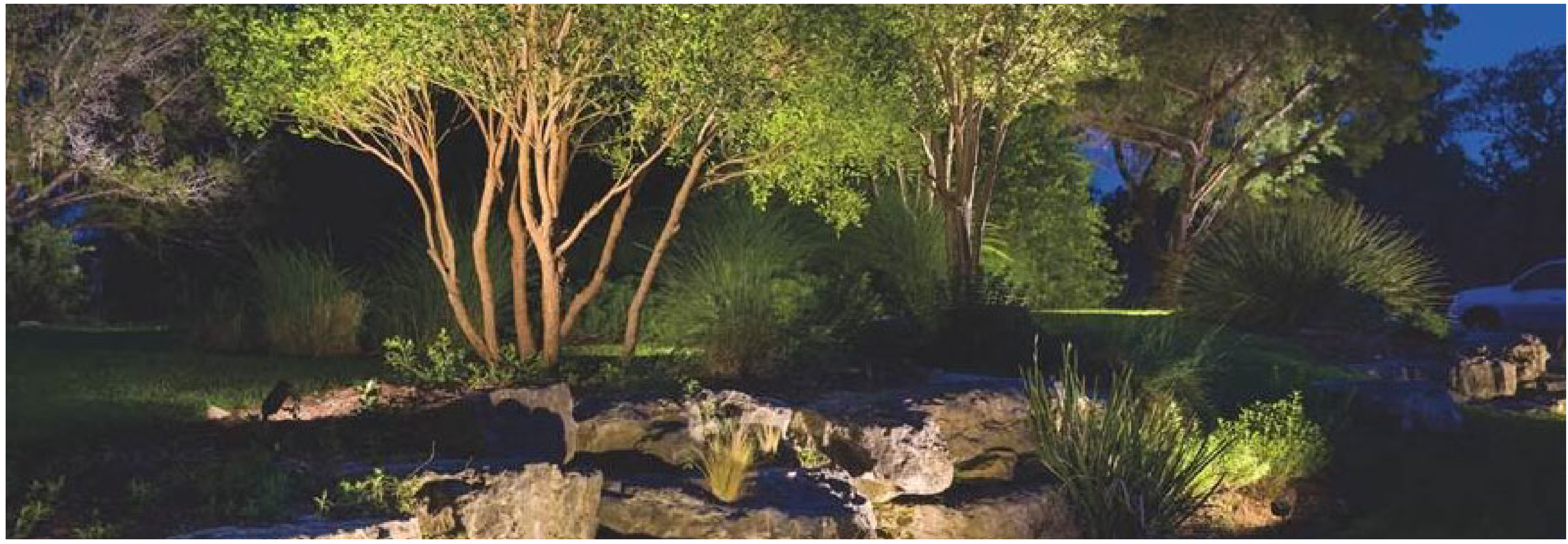
UNIVERSITY AVE MIXED-USE OPPORTUNITIES & CONSTRAINTS - EXISTING



UNIVERSITY AVE MIXED-USE OPPORTUNITIES & CONSTRAINTS - PROPOSED

UNIVERSITY AVE MIXED-USE CONCEPT PLAN

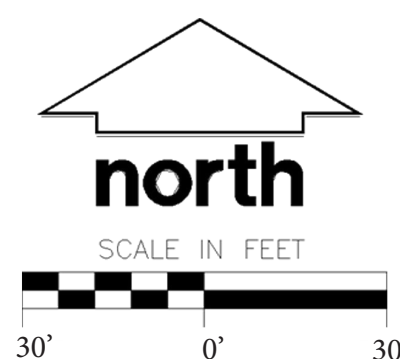
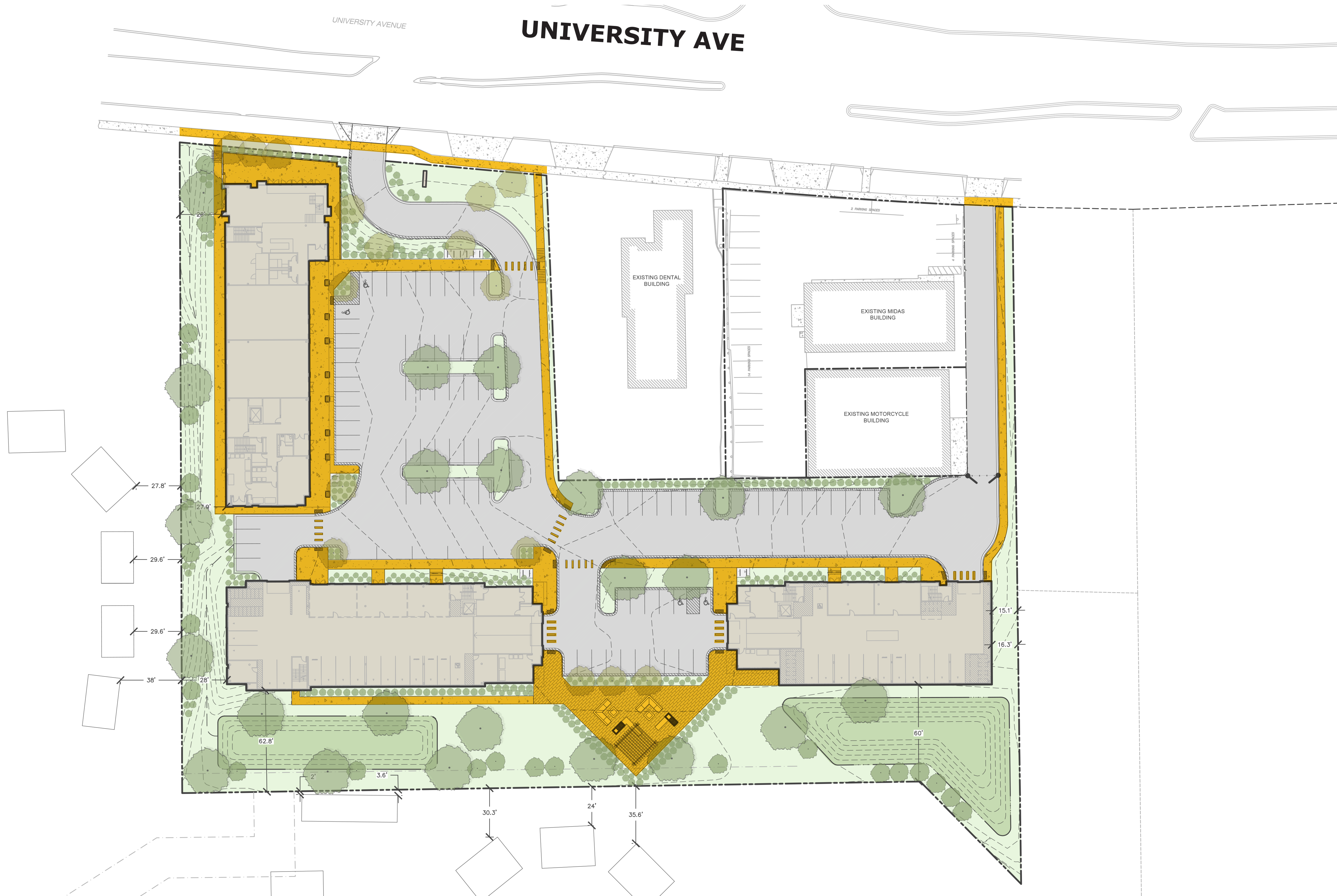




UNIVERSITY AVE MIXED-USE
LANDSCAPE PLAN - IMAGE BOARD



UNIVERSITY AVE MIXED-USE
PEDESTRIAN ACCESS



Degen
& ASSOCIATES, LLC
Real Estate Development

J L A
ARCHITECTS

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners



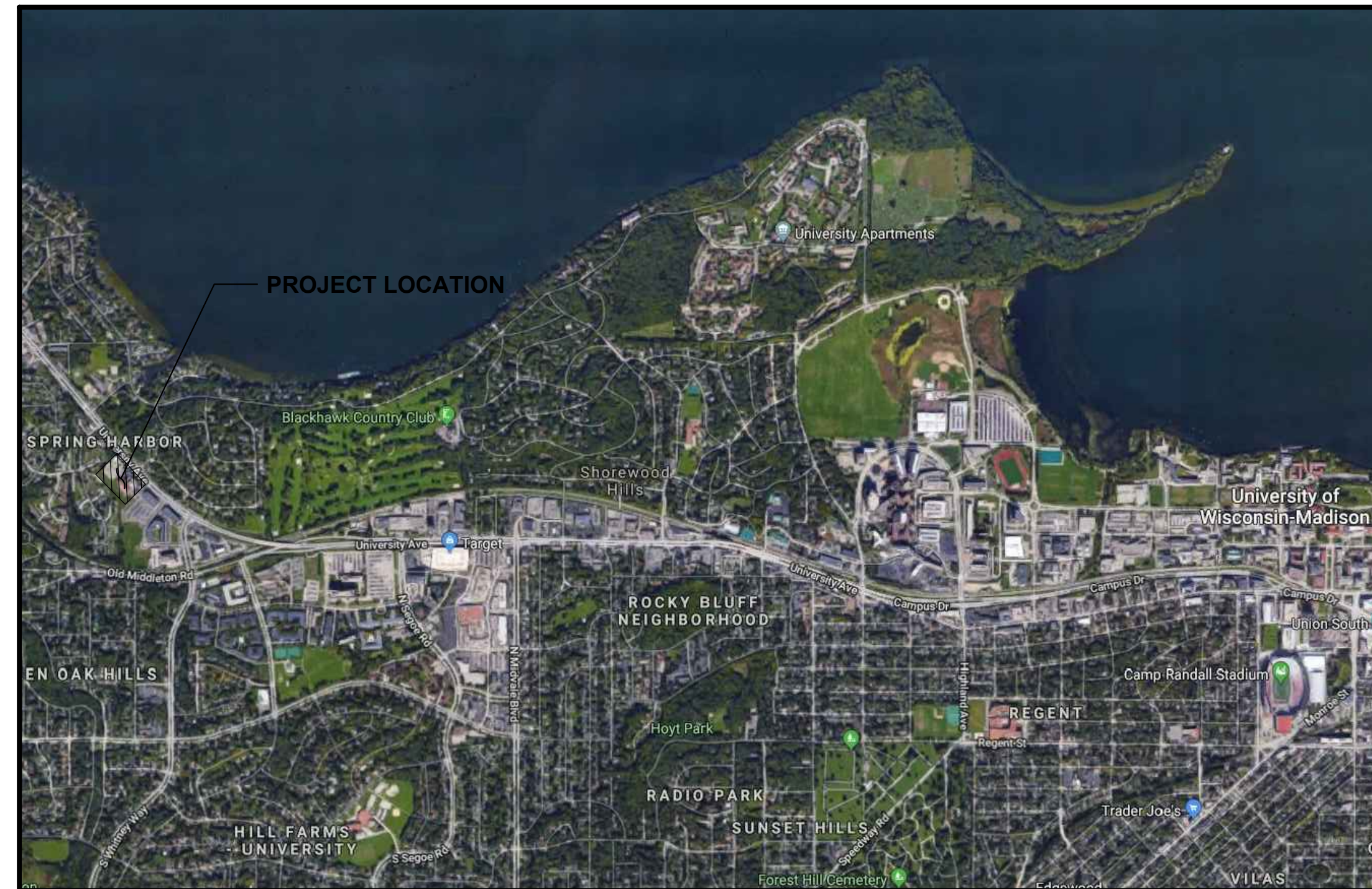
5133 & 5237 UNIVERSITY AVE

CITY OF MADISON, WISCONSIN

4 1/4, SW 1/4, SECTION 18, TOWNSHIP 07 (NORTH), RANGE 09 (EAST)

DRAWING INDEX

C0.0	TITLE SHEET
1 OF 1	EXISTING CONDITIONS
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	SITE PLAN - 20 SCALE
C4.0	EROSION CONTROL
C5.0	GRADING PLAN
C6.0	UTILITY PLAN
C7.0	FIRE ACCESS PLAN
C8.0	DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	DETAILED LANDSCAPE PLAN
L1.2	DETAILED LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES, DETAILS, AND SPECIFICATIONS



PROJECT AREA
NOT TO SCALE



PROJECT INFORMATION

OWNER
DEGEN & ASSOCIATES, LLC
TOM DEGEN
P.O. BOX 5567
MADISON, WI 53705
P: (608) 239-3142
tdegen@tds.net

CIVIL CONSULTANT
JSD PROFESSIONAL SERVICES, INC.
JUSTIN FRAHM
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
P: (715) 298-6330
justin.frahm@jsdinc.com

ARCHITECT
JLA ARCHITECTS & PLANNERS
DALE STREITENBRGER
311 E CHICAGO STREET, SUITE 240
MILWAUKEE, WI 53202
P: (414) 988-7520
dstreit@jla-ap.com

ELECTRICAL
CRESCENT ELECTRIC
TREVIS BAKER
1417 WRIGHT STREET
MADISON, WI 53708
P: (608) 216-6713
trevis.baker@cesco.com



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS:
**PO BOX 5567
MADISON, WI 53705-0567**

PROJECT:
**5133 & 5237
UNIVERSITY AVE**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:		
#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: CEJ, KJS
Approved: AJS, JLF

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
C0.0

JSD PROJECT NO: 07-2912





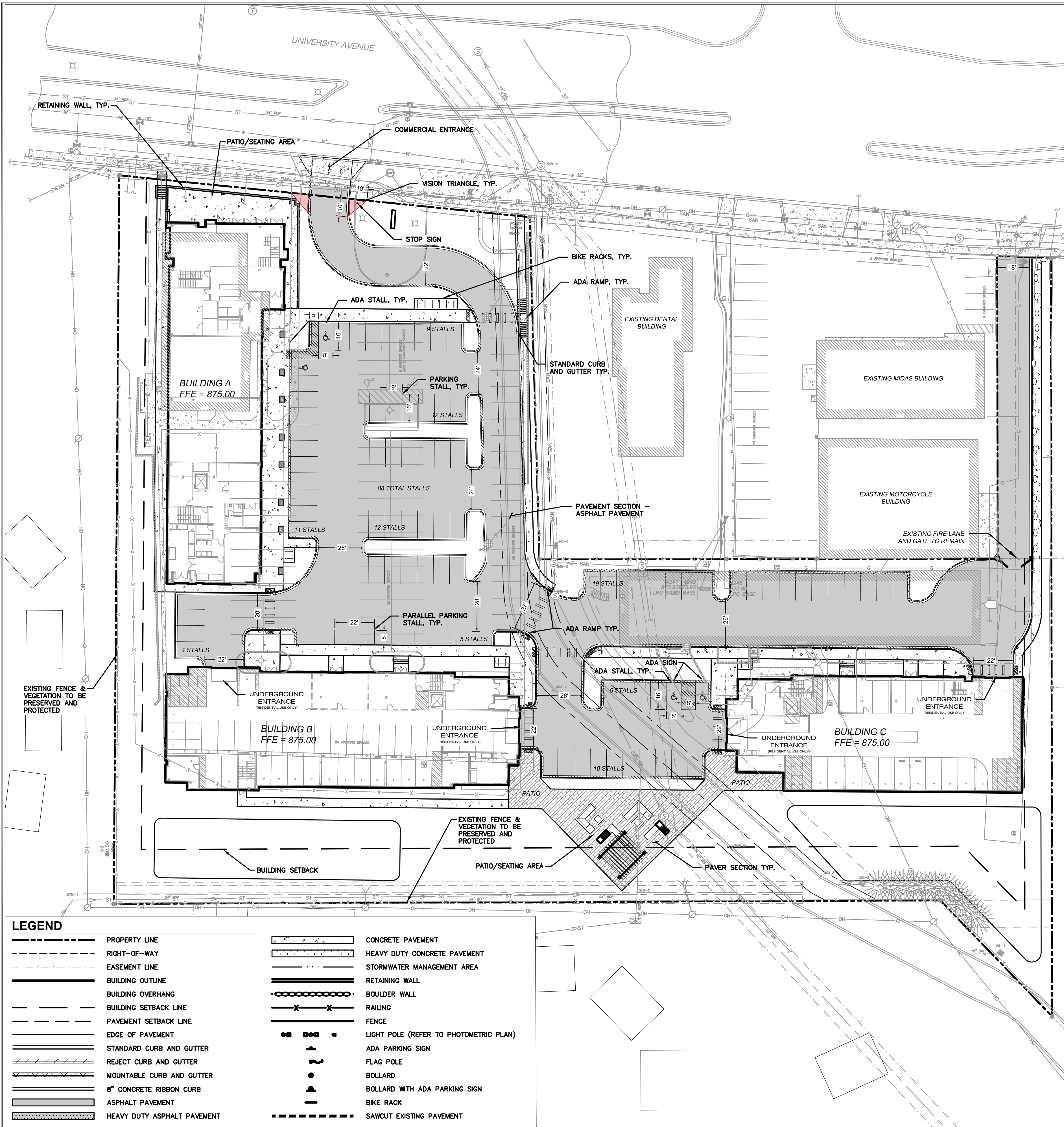
- ### DEMOLITION NOTES

- DIGGERS HOTLINE**
Toll Free (800) 242-8511



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C3.0 SITE PLAN User: c:\pnes Plotted: Jan 13, 2020 - 4:55pm Xref's:



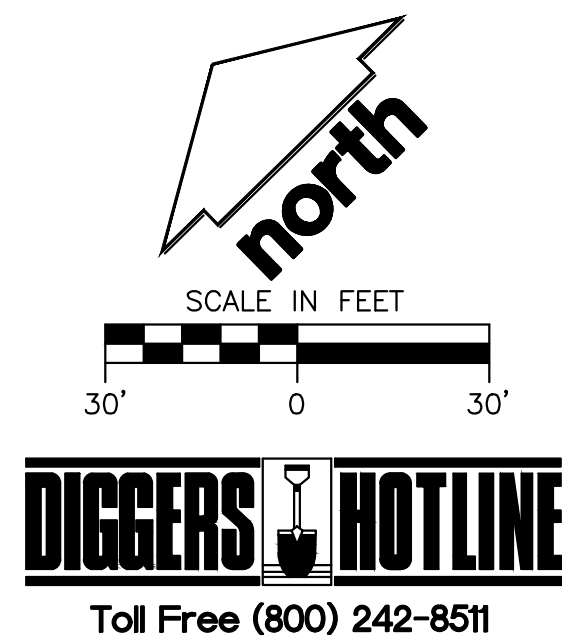
GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

PAVING NOTES

1. **GENERAL**
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC, INC. DATED 4/6/2018.
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. **ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. **CONCRETE PAVING SPECIFICATIONS**
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
4. **PAVEMENT MARKING SPECIFICATIONS**
 - 4.1. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - 4.2. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 4.4. 2' x 5' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

SITE INFORMATION BLOCK	
Site Address	5237 University Ave.
Site Acreage (total)	3.482 Acres
Number of Building Stories-- Building A, B,& C (above grade)	3-4
Total Building Square Footage--Building A	12,743 SF
Total Building Square Footage--Building B	12,331 SF
Total Building Square Footage--Building C	9,950 SF
Use of property	Mixed Use--Commercial/Residential
Number of parking stalls:	
Automobile Stall	84
Underground/In--Building Automobile Stall	111
Accessible	9 (4 SURFACE, 5 IN--BUILDING)
Total Automobile Stalls	204
Bicycle	96
Impervious vs. Pervious Areas:	
Existing Impervious	76,993 S.F.
Existing Pervious	74,684 S.F.
Existing Impervious/Pervious Ratio	0.51
Proposed Impervious	98,235 S.F.
Proposed Pervious	53,470 S.F.
Proposed Impervious/Pervious Ratio	0.65
Required Usable Open Space	31,600 S.F.
Proposed Usable Open Space	34,050 S.F.



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
**DEGEN &
ASSOCIATES, LLC**

CLIENT ADDRESS:
**PO BOX 5567
MADISON, WI 53705-0567**

PROJECT:
**5133 & 5237
UNIVERSITY AVE**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
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Design/Drawn: CEJ, KJS
Approved: AJS, JLF

SHEET TITLE:
SITE PLAN

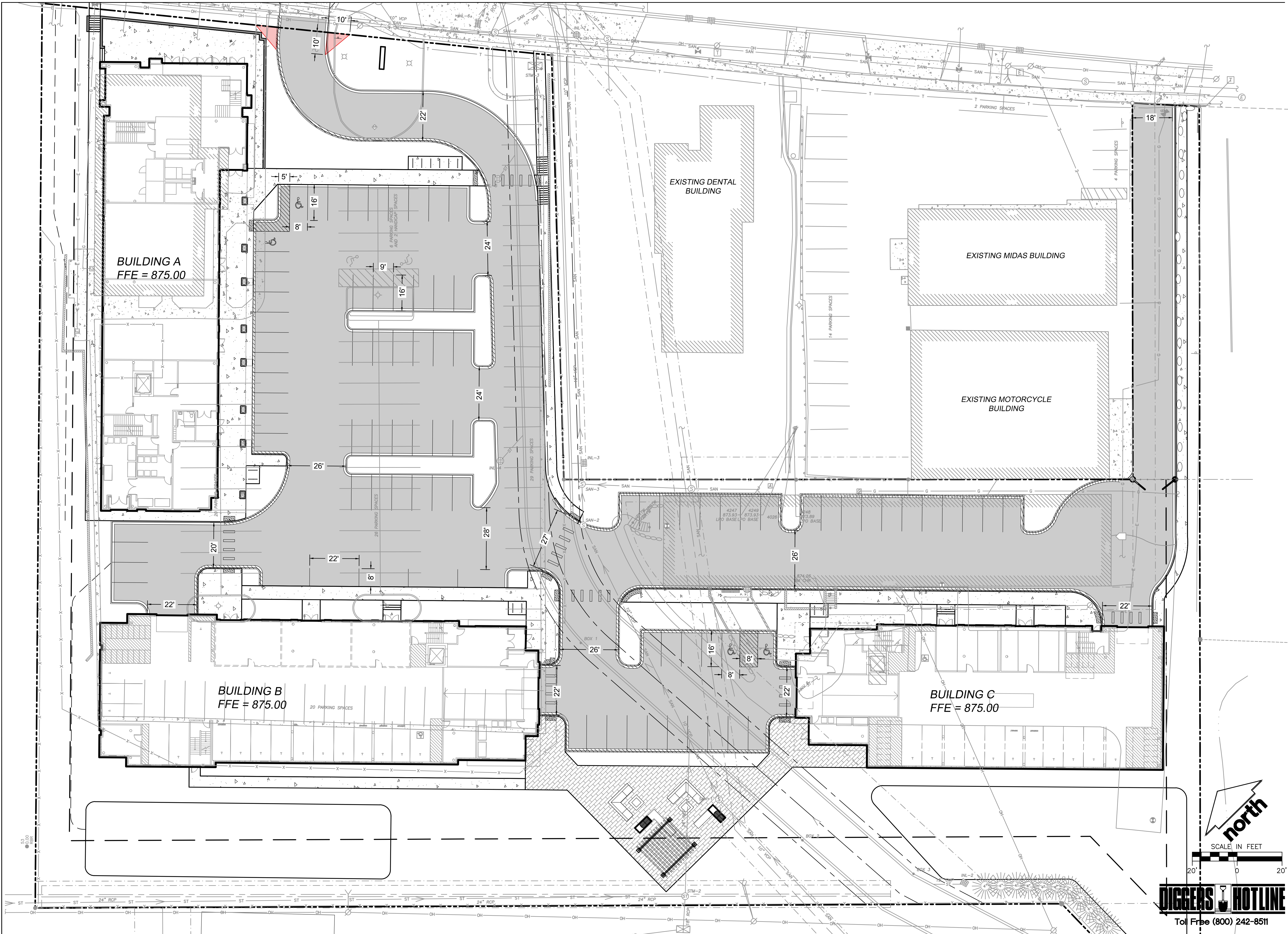
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JSD PROJECT NO:

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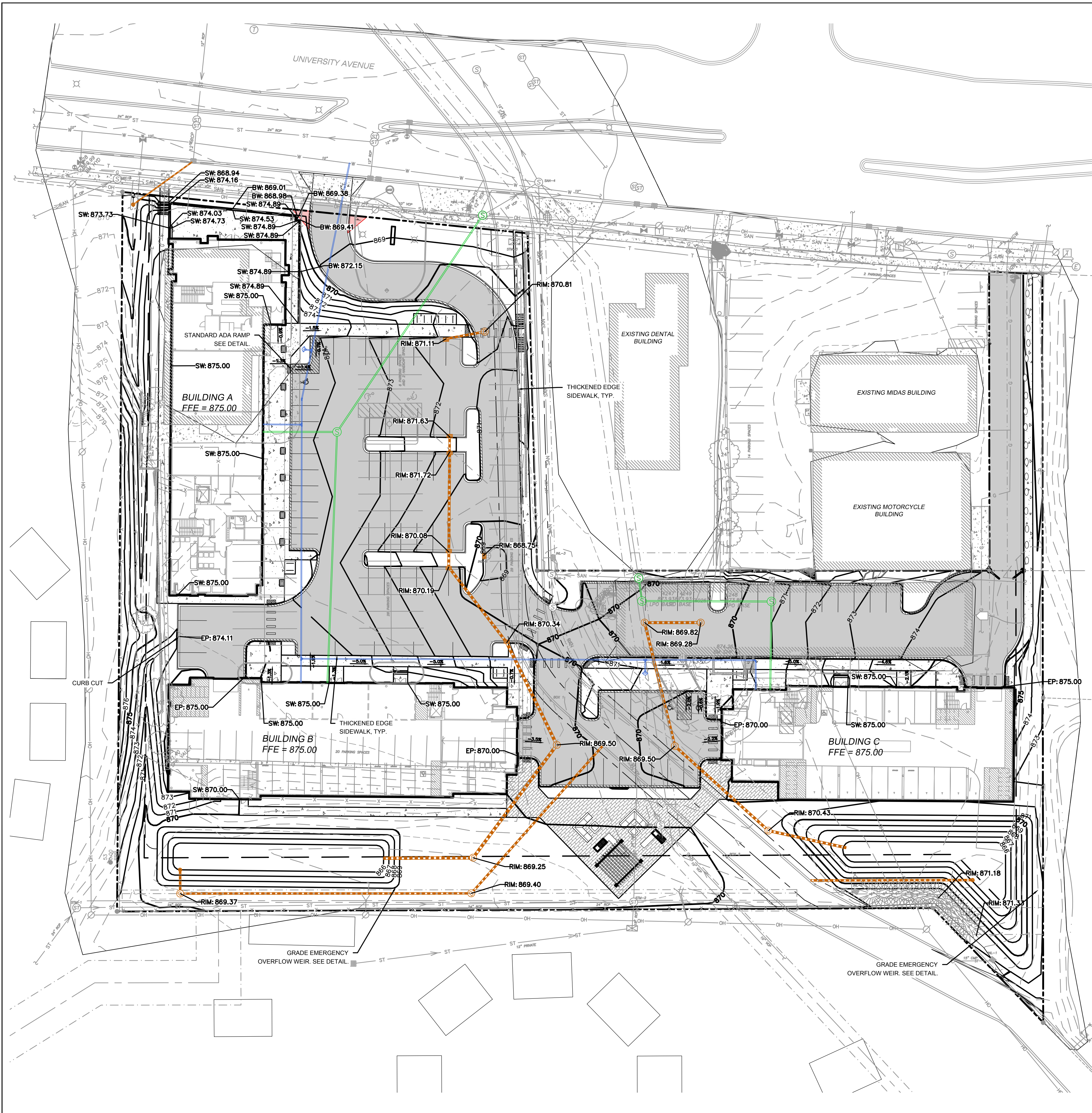
PLAN MODIFICATIONS:		
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Design/Drawn: CEJ, KJS
Approved: AJS, JLF

SHEET TITLE:
SITE PLAN - 20 SCALE

SHEET NUMBER:
C3.1
JSD PROJECT NO: 07-2912

File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C5.0 GRADING PLAN-NO SPOTS Plotted: Jan 13, 2020 - 4:43pm User: cjbnes



GENERAL NOTES

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
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- 3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- 4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

GRADING AND SEEDING NOTES

- 1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- 3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
- 4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
- 5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- 6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- 7. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- 8. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- 9. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
- 10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
- 11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

CONSTRUCTION SEQUENCING

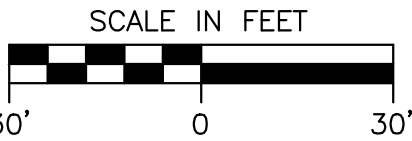
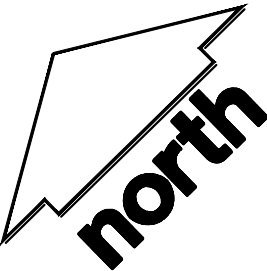
- 1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 - 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 - 3. ROUGH GRADE RETENTION PONDS AND INSTALL POND OUTLETS.
 - 4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
 - 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 - 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 - 7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
 - 8. RESTORE RETENTION POND (FINAL GRADE RETENTION POND PER PLAN REQUIREMENTS)
 - 9. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

STORMWATER FACILITIES CONSTRUCTION NOTES

- 1. ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
- 2. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
- 3. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
- 4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
- 5. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
- 6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
- 7. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.

LEGEND

---	PROPERTY LINE	---	PROPOSED 1 FOOT CONTOUR
- - -	RIGHT-OF-WAY	---	PROPOSED 5 FOOT CONTOUR
- - -	EASEMENT LINE	---	EXISTING 1 FOOT CONTOUR
---	BUILDING OUTLINE	---	EXISTING 5 FOOT CONTOUR
---	BUILDING OVERHANG	---	DRAINAGE DIRECTION
---	EDGE OF PAVEMENT	---	GRADE BREAK
---	STANDARD CURB AND GUTTER	---	STORMWATER MANAGEMENT AREA
---	REJECT CURB AND GUTTER	---	RETAINING WALL
---	MOUNTABLE CURB AND GUTTER	---	BOULDER WALL
---	8" CONCRETE RIBBON CURB	---	RAILING
---	ASPHALT PAVEMENT	---	FENCE
---	HEAVY DUTY ASPHALT PAVEMENT	---	SPOT ELEVATION
---	CONCRETE PAVEMENT	---	EP - EDGE OF PAVEMENT
---	HEAVY DUTY CONCRETE PAVEMENT	---	FG - FINISH GRADE
		---	EC - EDGE OF CONCRETE
		---	BOC - BACK OF CURB
		---	MATCH - MATCH EXISTING GRADE
		---	HP - HIGH POINT
		---	SW - SIDEWALK



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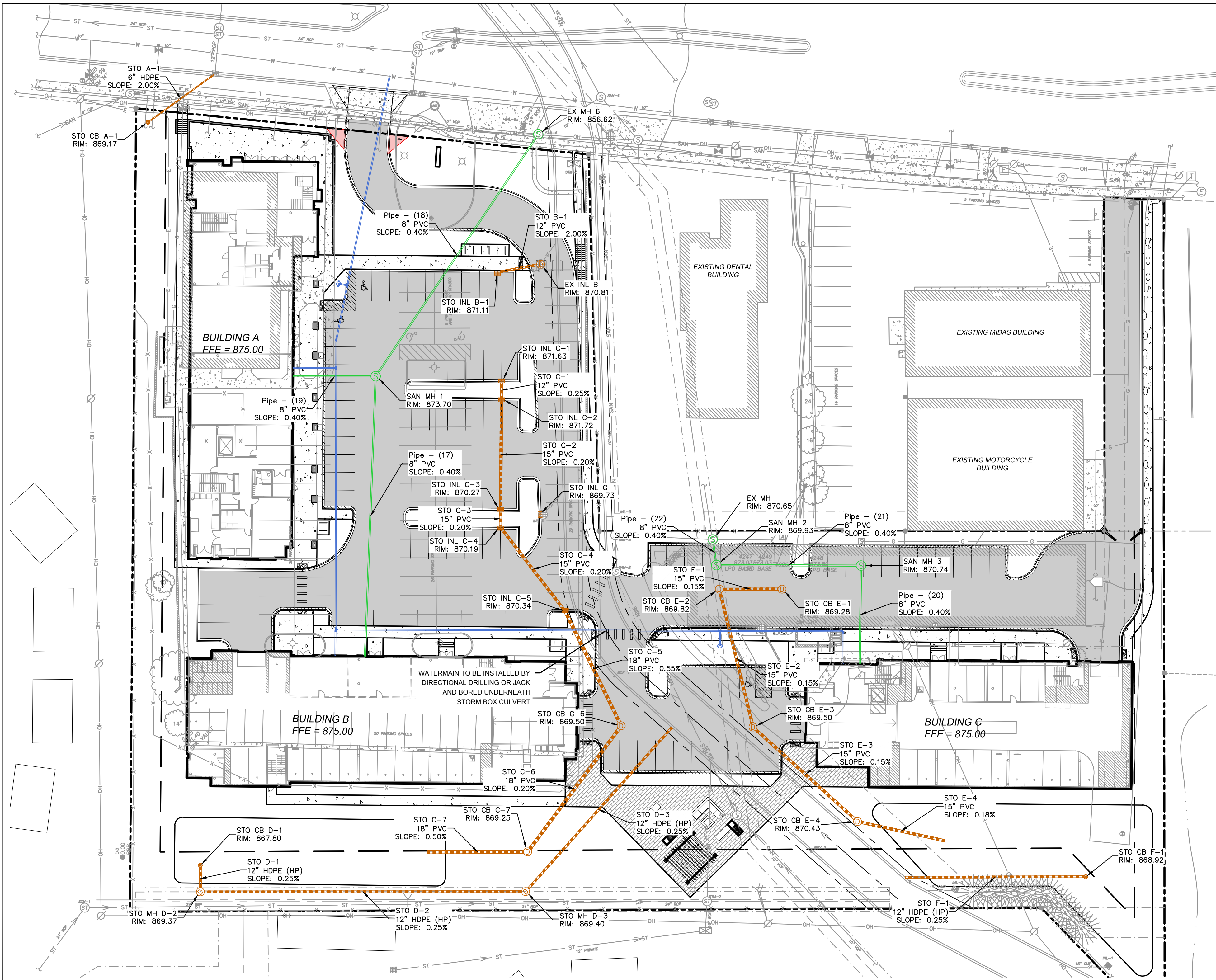
Design/Drawn: CEJ, KJS
Approved: AJS, JLF

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C5.0

JSD PROJECT NO: 07-2912

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GENERAL NOTES

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- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

LEGEND

	PROPERTY LINE		STORMWATER MANAGEMENT AREA
	RIGHT-OF-WAY		RETAINING WALL
	EASEMENT LINE		BOULDER WALL
	BUILDING OUTLINE		RAILING
	BUILDING OVERHANG		FENCE
	EDGE OF PAVEMENT		SANITARY SEWER
	STANDARD CURB AND GUTTER		WATERMAIN
	REJECT CURB AND GUTTER		STORM SEWER
	MOUNTABLE CURB AND GUTTER		8'x4'x2" INSULATION (PLAN VIEW)
	8" CONCRETE RIBBON CURB		8'x4'x2" INSULATION (PROFILE VIEW)
	ASPHALT PAVEMENT		
	HEAVY DUTY ASPHALT PAVEMENT		
	CONCRETE PAVEMENT		
	HEAVY DUTY CONCRETE PAVEMENT		

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- STORM SEWER SPECIFICATIONS -

PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S".

INLETS - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 28 OF THE "STANDARD SPECIFICATIONS", OR APPROVED EQUAL WITH A 1'-8" X 2'-6" MAXIMUM OPENING. CURB FRAME & GRATE SHALL BE NEENAH R-3067 WITH TYPE R GRATE, OR EQUAL.

BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

13. WATER MAIN SPECIFICATIONS -

PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(n).

VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.

HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF MADISON. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

14. SANITARY SEWER SPECIFICATIONS -

PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

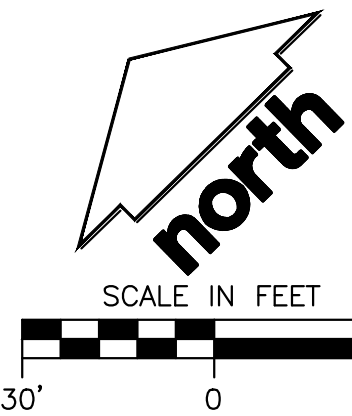
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF MADISON.

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.

15. WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).



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MADISON, WI 53705-0567**

PROJECT:
**5133 & 5237
UNIVERSITY AVE**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
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Design/Drawn: CEJ, KJS
Approved: AJS, JLF

SHEET TITLE:
UTILITY PLAN

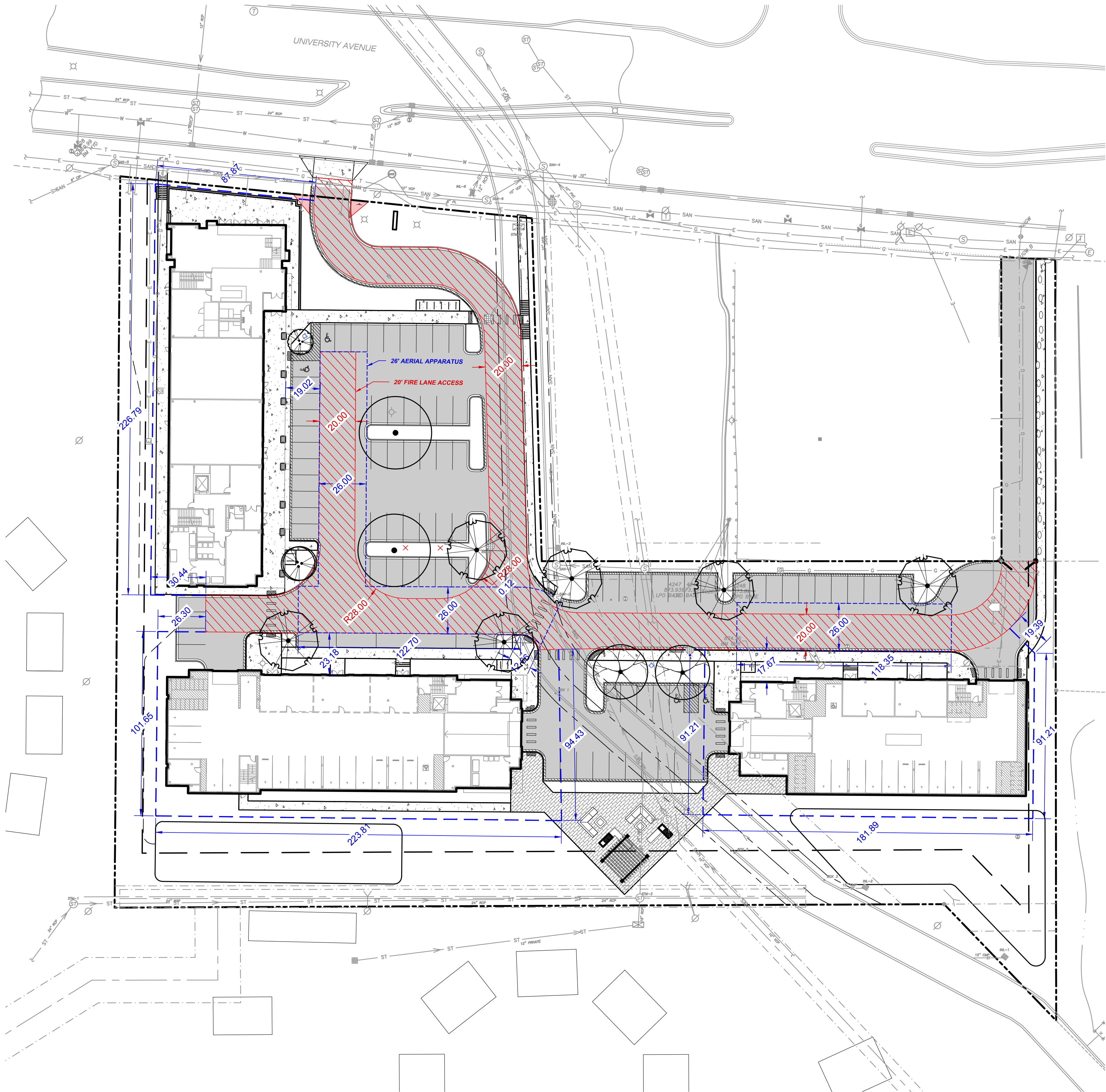
SHEET NUMBER:

C6.0

JSD PROJECT NO:

07-2912

File: I:\2007\072912\dwg\07-2912 Construction Documents.dwg Layout: C7.0 FIRE ACCESS PLAN User: clones Plotted: Jan 13, 2020 - 4:53pm Xref's:



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 5237 UNIVERSITY AVENUE
Contact Name & Phone #: JUSTIN FRAHM, (715) 298-6330

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

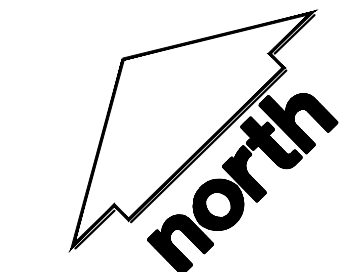
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the grade plane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 1/21/2016



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Toll Free (800) 242-8511



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1	01.15.2020	LAND USE UDC INITIAL
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Design/Drawn: CEJ, KJS
Approved: AJS, JLF

SHEET TITLE:
FIRE ACCESS PLAN

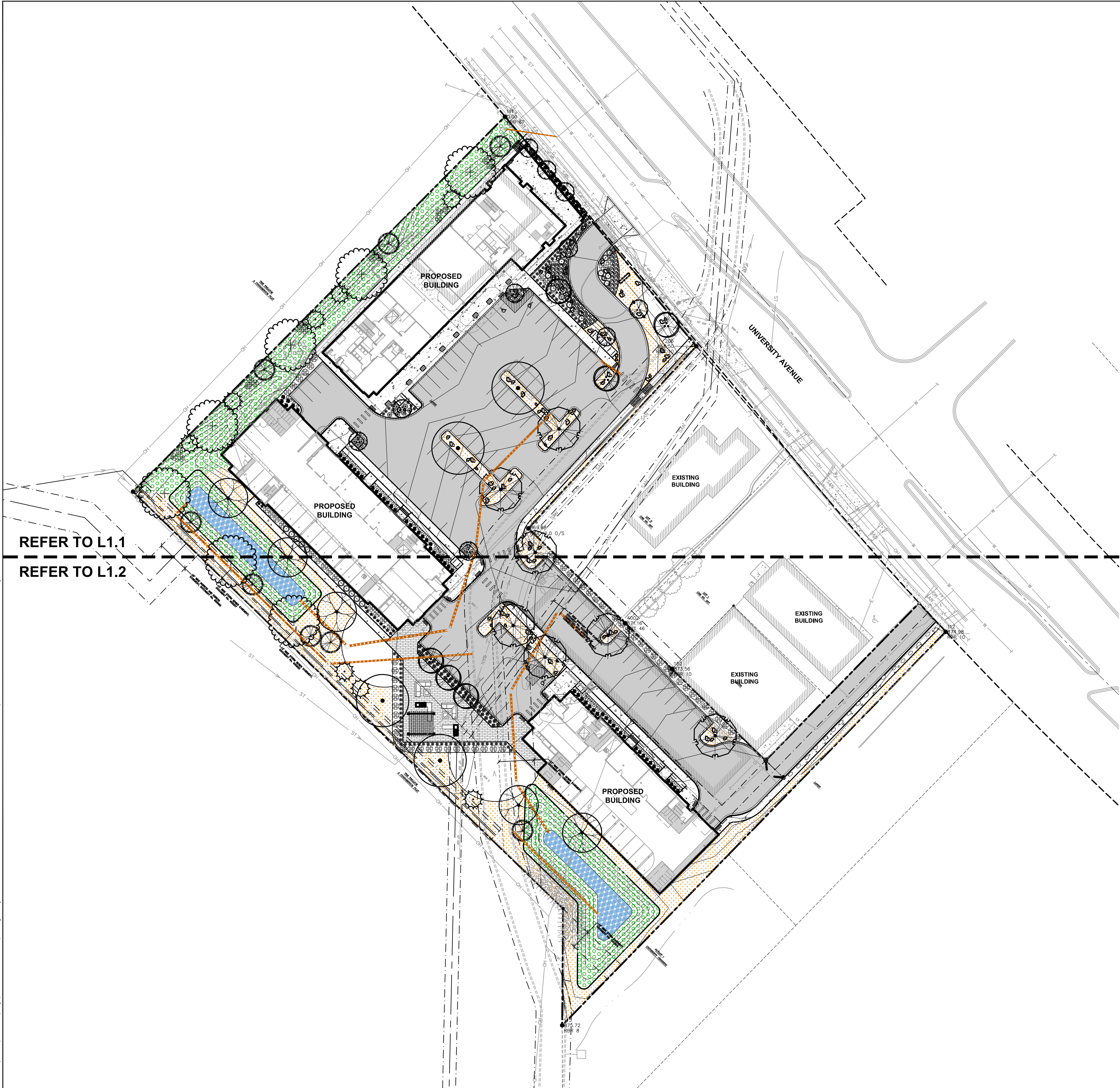
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LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB AND GUTTER
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- CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
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- EXISTING WATERMAIN
- EXISTING STORM SEWER
- EXISTING FENCE
- RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BIKE RACK
- LANDSCAPE EDGING
- BIORETENTION PLANTINGS (REFER TO L2.0)
- PRAIRIE SEED MIX 1 (REFER TO L2.0)
- PRAIRIE SEED MIX 2 (REFER TO L2.0)
- GRANITE RIP RAP

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE

PLANT SCHEDULE						
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	6	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	B & B	1.5" Cal (Multi-Stem)	15
	10	Eastern Redbud	Cercis canadensis	B & B	1.5" Cal (Multi-Stem)	15
OVERSTORY DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	4	Sugar Maple	Acer saccharum	B & B	2.5" Cal	35
	7	Swamp White Oak	Quercus bicolor	B & B	2.5" Cal	35
	5	Northern Pin Oak	Quercus ellipsoidalis	B & B	2.5" Cal	35
	7	Northern Red Oak	Quercus rubra	B & B	2.5" Cal	35
	8	Shawnee Brave Bald Cypress	Taxodium distichum 'Mickelson'	B & B	2.5" Cal	35
TALL EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	8	Black Hills Spruce	Picea glauca 'Densata'	B & B	6" Tall	35
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	86	Arctic Fire Red Twig Dogwood	Cornus sericea 'Farrow'	3 gal	36" Min. Ht.	3
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	23	Sea Green Juniper	Juniperus chinensis 'Sea Green'	3 gal	24" Tall/Wide	4
	18	Mini Arcadia Juniper	Juniperus sabina 'Mini Arcadia'	3 gal	18" Tall/Wide	4
ORNAMENTAL GRASSES/PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	74	Robust Male Fern	Dryopteris x complexa 'Robust'	1 gal	Cont.	2
	84	Northwind Switch Grass	Panicum virgatum 'North Wind'	1 gal	Cont.	2
	44	Shenandoah Red Switch Grass	Panicum virgatum 'Shenandoah'	1 gal	Cont.	2
	89	Little Spire Russian Sage	Pieris x atropurpurea 'Little Spire'	1 gal	Cont.	2
	12	Wrinkleleaf Goldenrod	Solidago rugosa 'Fireworks'	1 gal	Cont.	2



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Design/Drawn: KJS
Approved: MAS

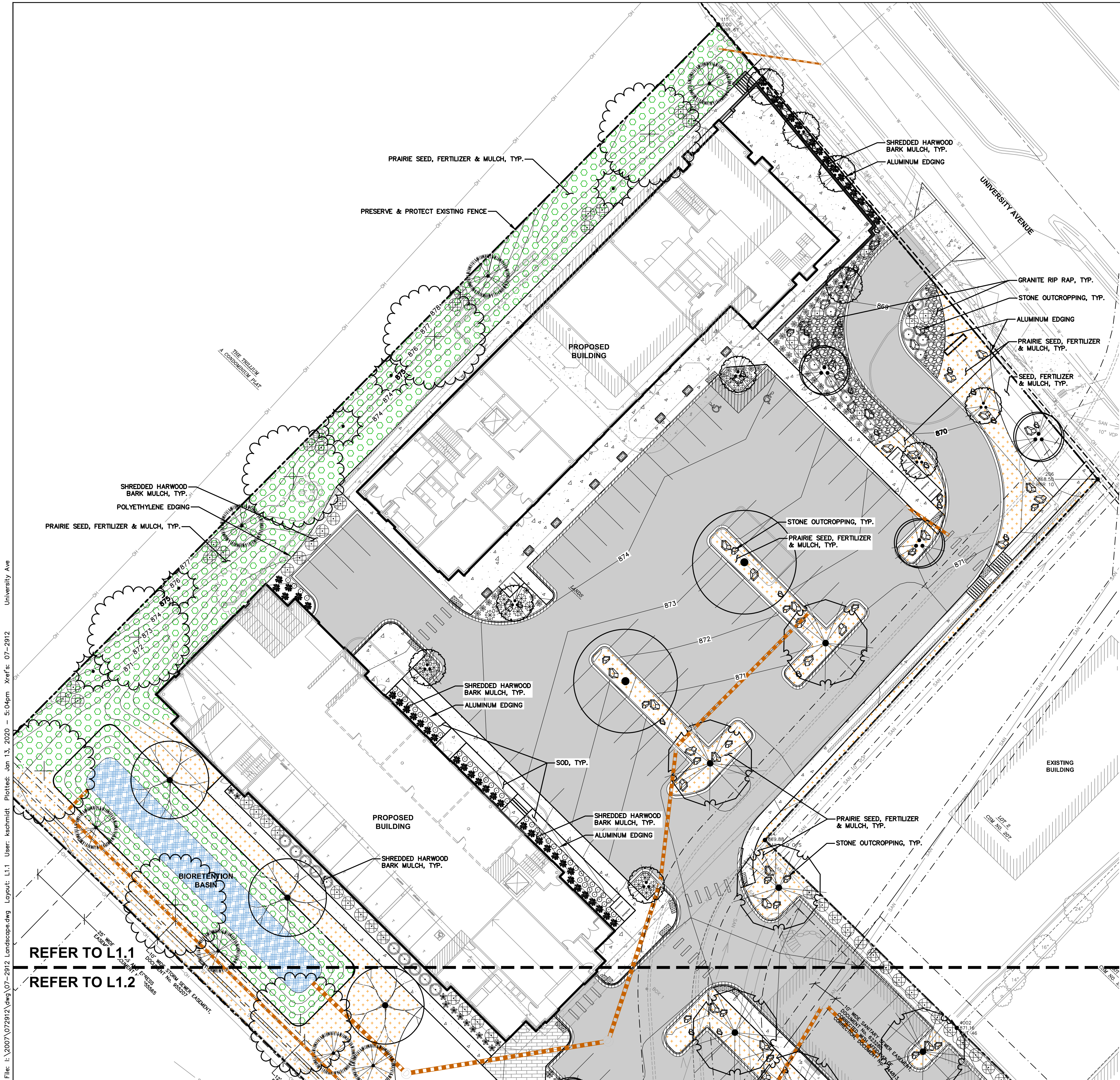
SHEET TITLE:
**OVERALL
LANDSCAPE PLAN**

SHEET NUMBER:
L1.0

JSD PROJECT NO: 07-2912

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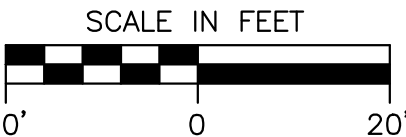


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PLANT SCHEDULE

ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	6	Autumn Brilliance Serviceberry	Ambelanchier's grandiflora 'Autumn Brilliance'	B & B	1.5" Cal (Multi-Stem)	15
	10	Eastern Redbud	Cercis canadensis	B & B	1.5" Cal (Multi-Stem)	15
OVERSTORY DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	4	Sugar Maple	Acer saccharum	B & B	2.5" Cal	35
	7	Swamp White Oak	Quercus bicolor	B & B	2.5" Cal	35
	5	Northern Pin Oak	Quercus ellipsoidalis	B & B	2.5" Cal	35
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Design/Drawn: KJS
Approved: MAS

SHEET TITLE:

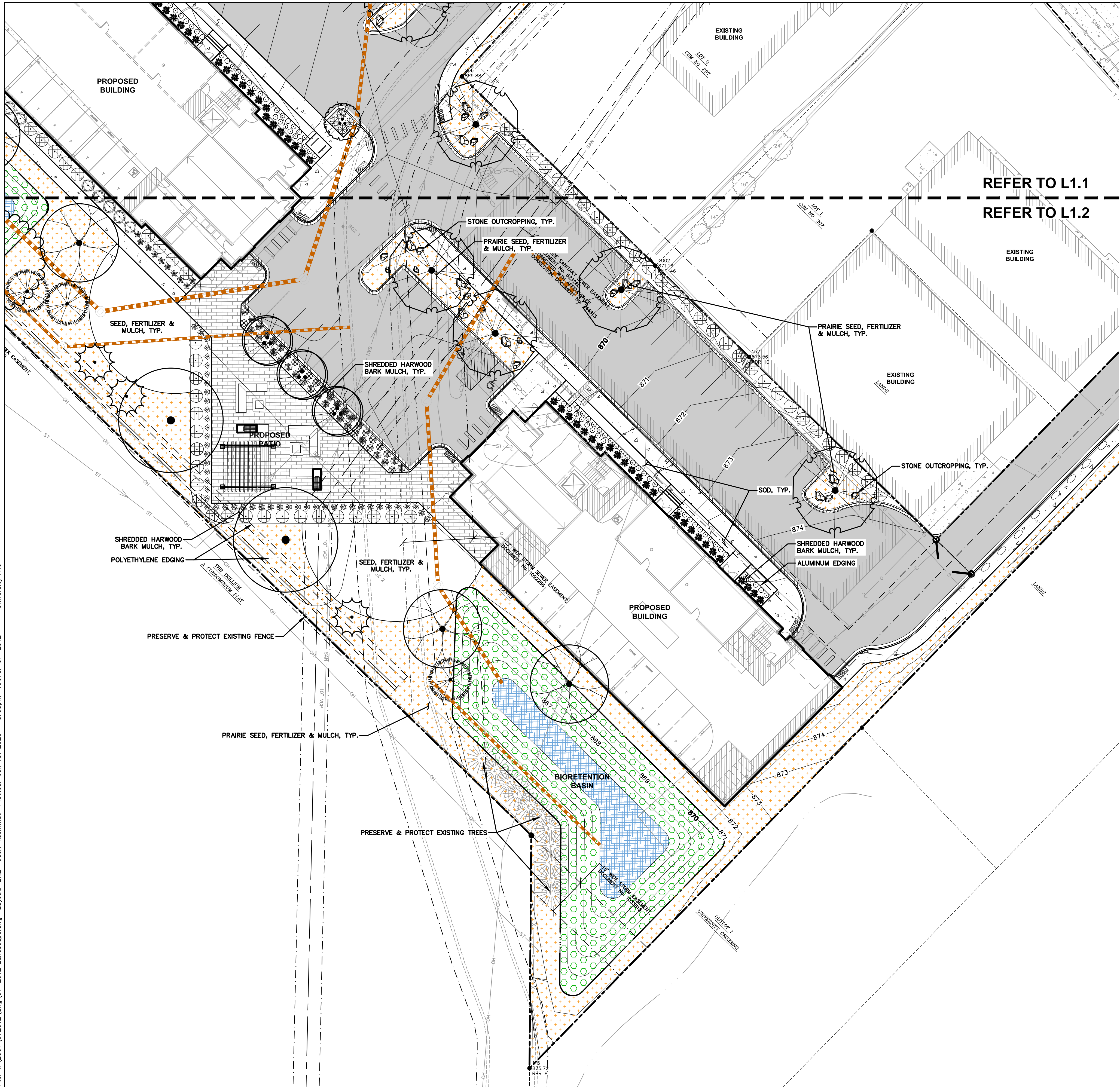
DETAILED
LANDSCAPE PLAN

SHEET NUMBER:

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	4	Sugar Maple	Acer saccharum	B & B	2.5" Cal	35
	7	Swamp White Oak	Quercus bicolor	B & B	2.5" Cal	35
	5	Northern Pin Oak	Quercus ellipsoidalis	B & B	2.5" Cal	35
	7	Northern Red Oak	Quercus rubra	B & B	2.5" Cal	35
	8	Shawnee Brave Bald Cypress	Taxodium distichum 'Mickelson'	B & B	2.5" Cal	35
TALL EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	8	Black Hills Spruce	Picea glauca 'Densata'	B & B	6" Tall	35
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	85	Arctic Fire Red Twig Dogwood	Cornus sericea 'Farrow'	3 gal	36" Min. Ht.	3
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	23	Sea Green Juniper	Juniperus chinensis 'Sea Green'	3 gal	24" Tall/Wide	4
	18	Mini Arcadia Juniper	Juniperus sabina 'Mini Arcadia'	3 gal	18" Tall/Wide	4
ORNAMENTAL GRASSES/PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	LS POINTS
	74	Robust Male Fern	Dryopteris - complexa 'Robust'	1 gal	Cont.	2
	84	Northwind Switch Grass	Panicum virgatum 'North Wind'	1 gal	Cont.	2
	44	Shenandoah Red Switch Grass	Panicum virgatum 'Shenandoah'	1 gal	Cont.	2
	89	Little Spire Russian Sage	Pierisaea atriplicifolia 'Little Spire'	1 gal	Cont.	2
	12	Wrinkleleaf Goldenrod	Solidago rugosa 'Fireworks'	1 gal	Cont.	2



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
DEGEN & ASSOCIATES, LLC

CLIENT ADDRESS:
**PO BOX 5567
MADISON, WI 53705-0567**

PROJECT:
**5133 & 5237
UNIVERSITY AVE**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

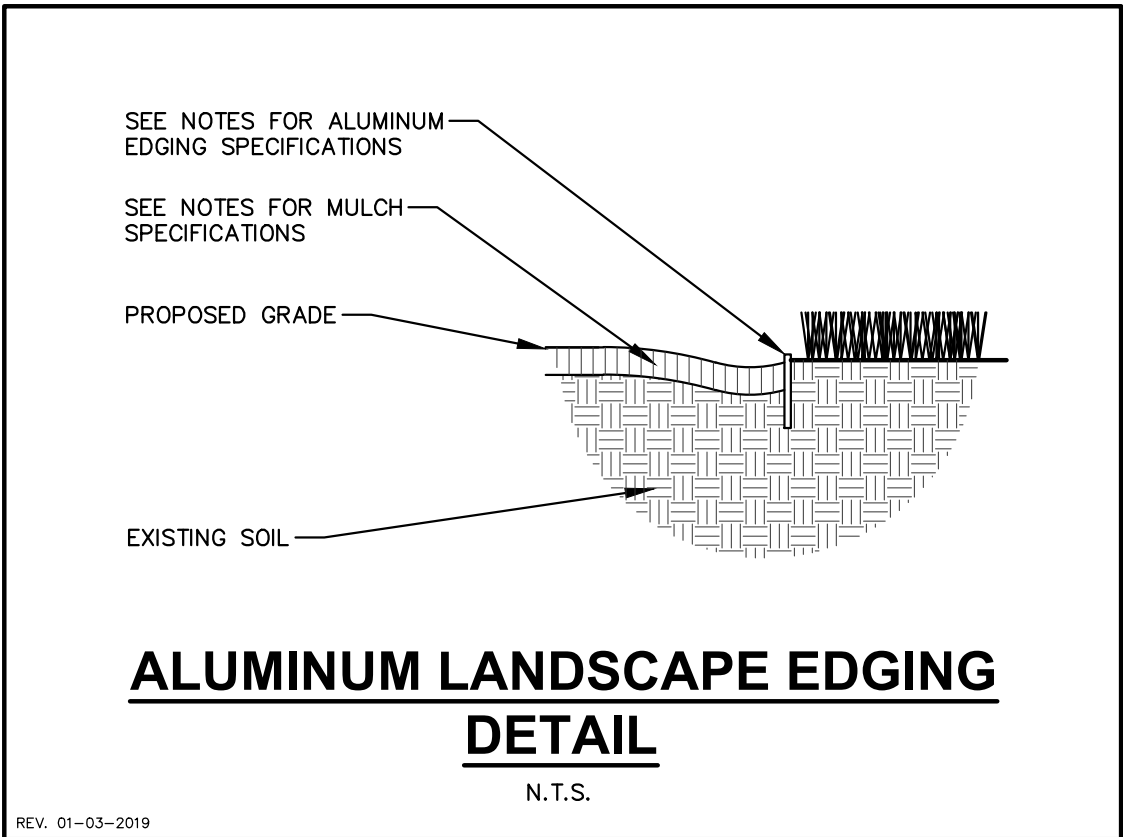
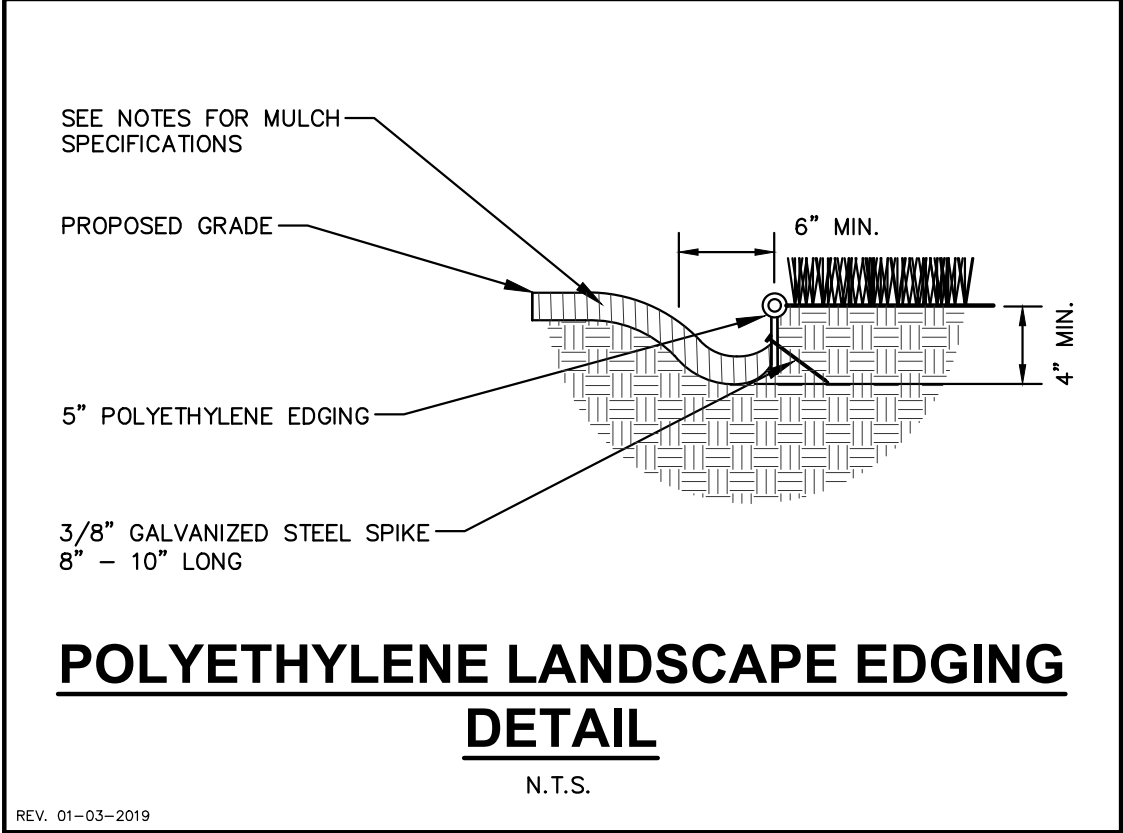
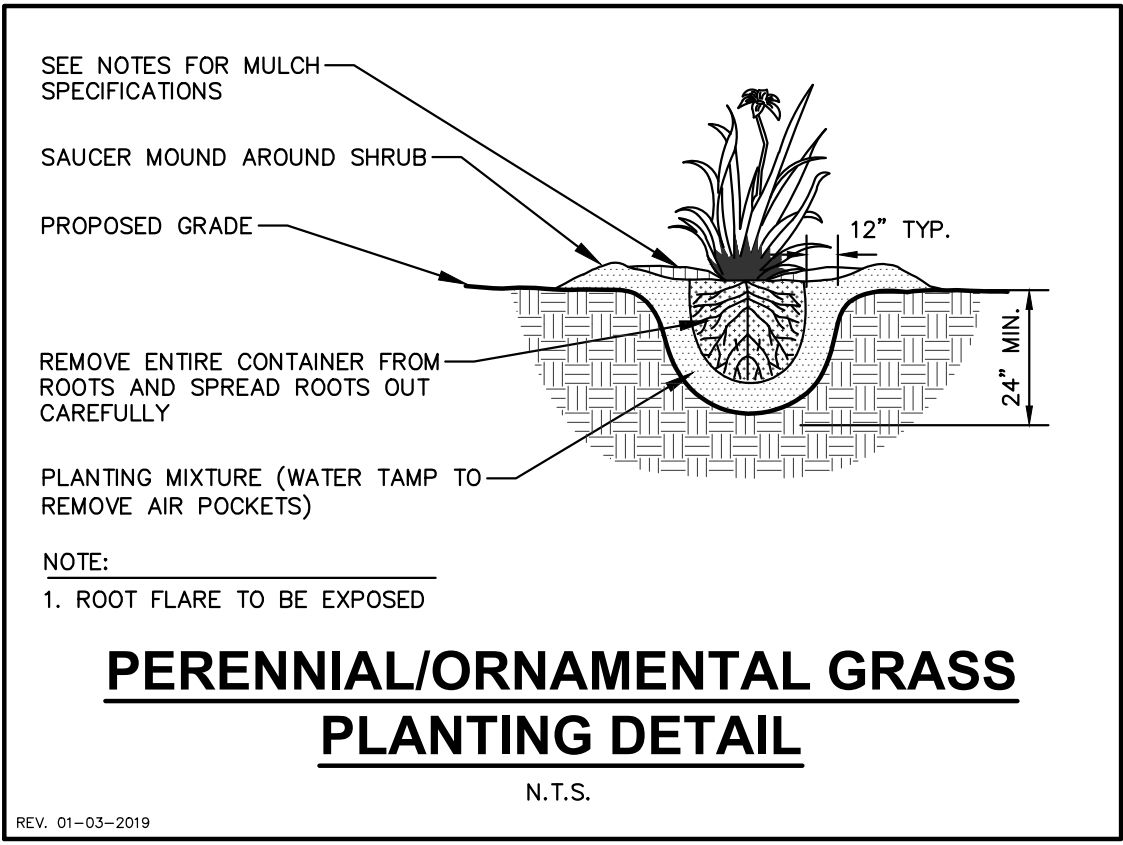
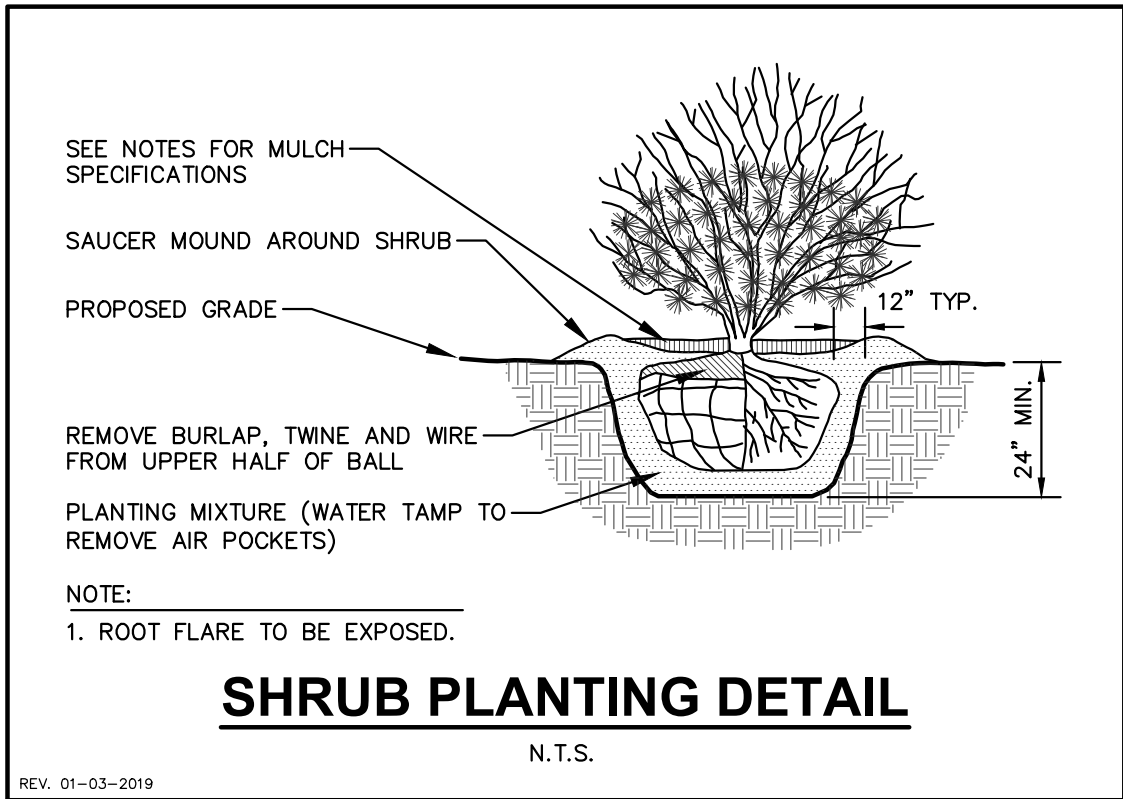
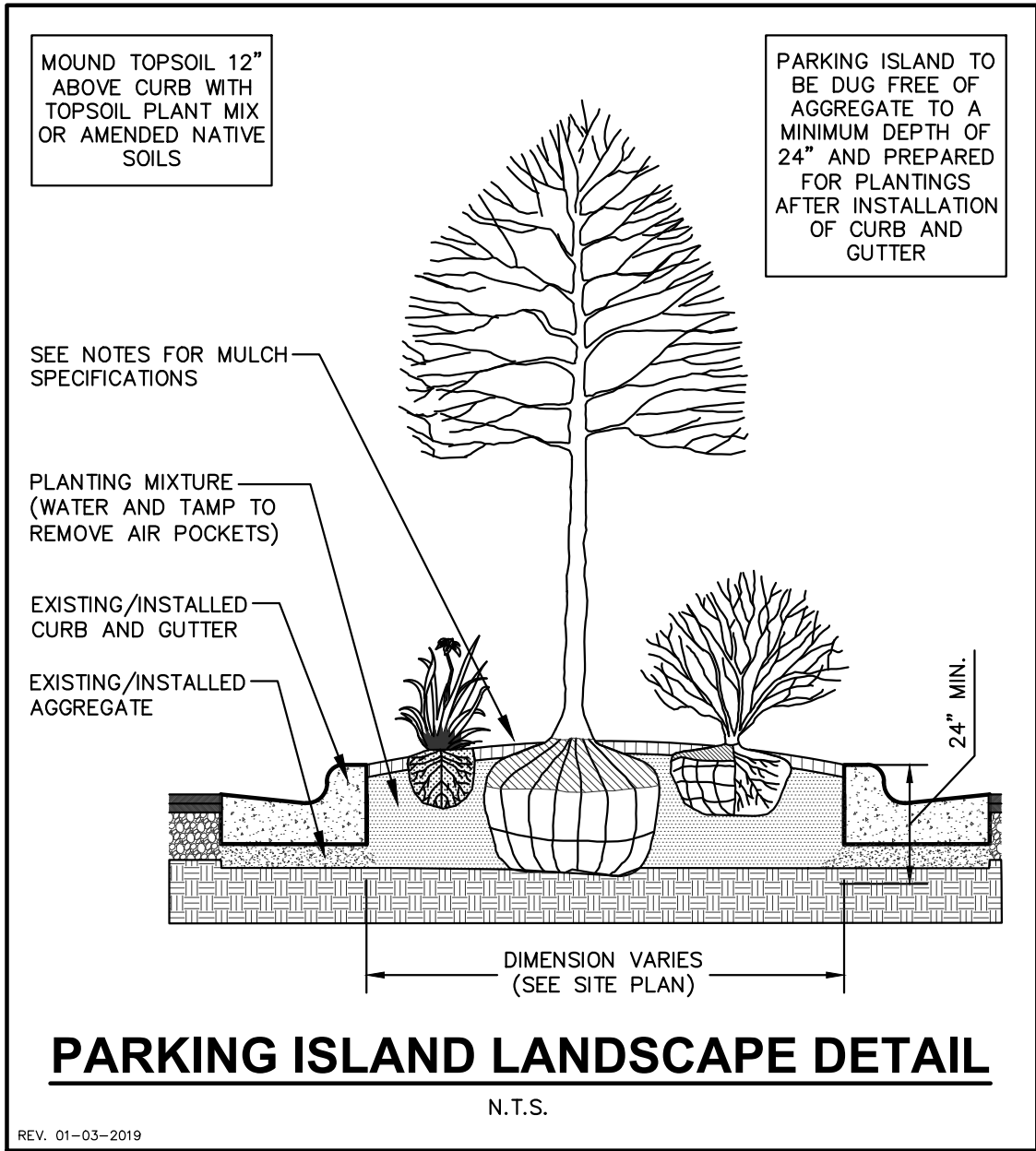
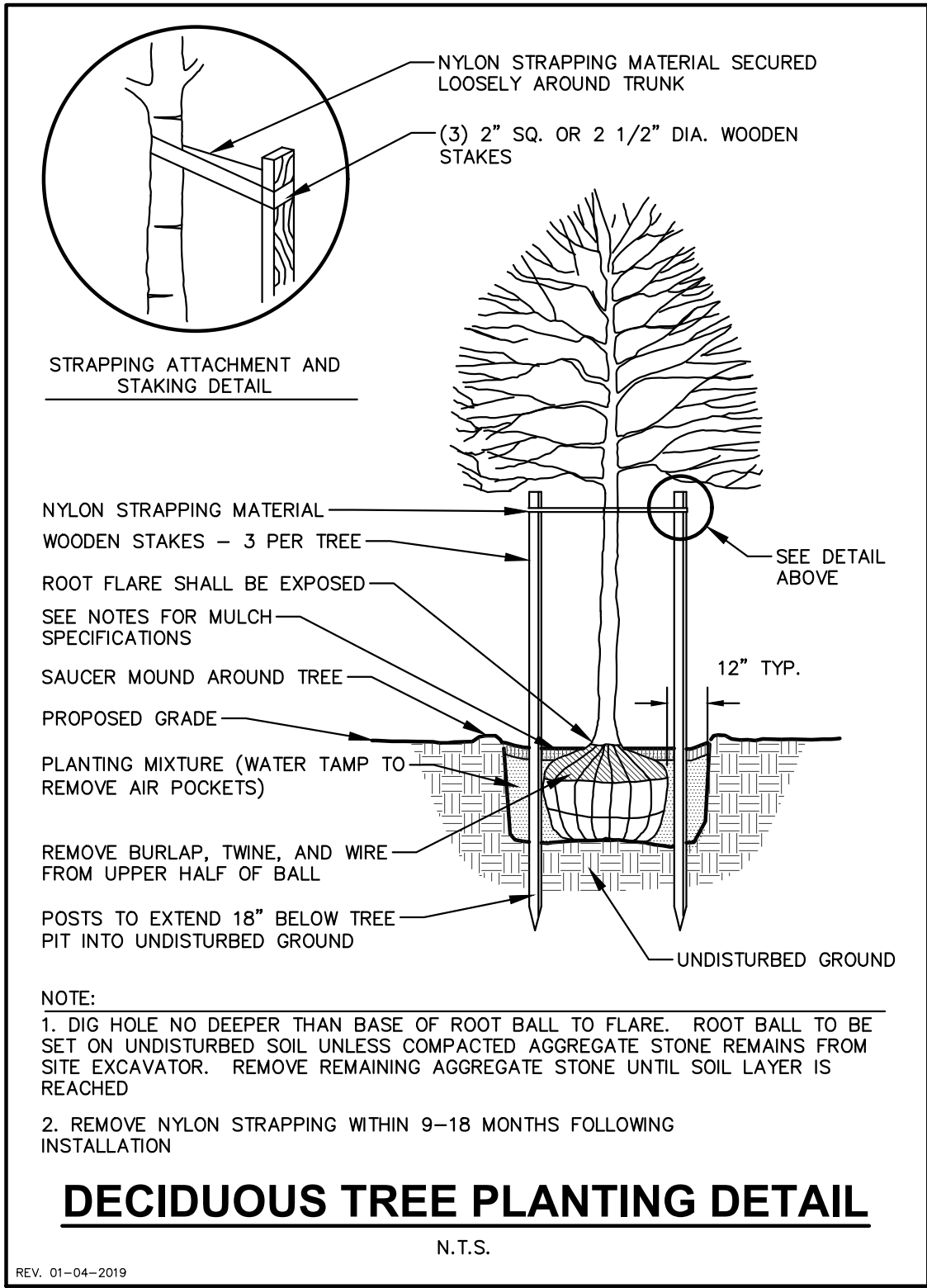
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1	01.15.2020	LAND USE UDC INITIAL
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Design/Drawn: **KJS**
Approved: **MAS**

SHEET TITLE:
**DETAILED
LANDSCAPE PLAN**

SHEET NUMBER:
L1.2

JSD PROJECT NO: 07-2912



CONTRACTOR & OWNER RESPONSIBILITY NOTES

1. **GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.

2. **CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**

3. **MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.

4. **MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

GENERAL NOTES

1. **GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.

2. **DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.

3. **MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.

4. **PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.

5. **CLEANUP:** THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

1. **MATERIALS - PLANTING MIXTURE:** ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.

2. **MATERIALS - TOPSOIL:** TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.

3. **MATERIALS - SHREDDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.

4. **MATERIALS - TREE & SHRUB RINGS:** ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.

5. **MATERIALS - ALUMINUM EDGING:** EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

6. **MATERIALS - POLYETHYLENE EDGING:** EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

7. **MATERIALS - TREE PROTECTION:** ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.

8. **MATERIALS - TREE WATERING BAGS:** ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SEEDING, SODDING, & POND VEGETATION NOTES

1. **MATERIALS - TURFGRASS SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND "LANDMARK TURF AND NATIVE SEED" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.

2. **MATERIALS - TURF HIGHLAND ROUGH MIX SEED:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND "TURF HIGHLAND ROUGH MIX" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

3. **MATERIALS - SOD:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

4. **MATERIALS - PRAIRIE SEED MIX 1:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.

5. **MATERIALS - PRAIRIE SEED MIX 2:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "SHORT PRAIRIE FOR DRY SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.

6. **MATERIALS - BIORETENTION BASIN PLUG PLANTINGS:** PLUG PLANTINGS TO BE INSTALLED 1'-0" ON CENTER, MIXING SPECIES INTEGRALLY IN FLATS OF 20 AT A TIME. REFER TO WDNR PLUG PLANTING TECHNICAL STANDARDS FOR ROOTSTOCK AND INSTALLATION SPECIFICATIONS.

OR

7. **MATERIALS - BIORETENTION BASIN NATIVE VEGETATIVE MAT (NVM):** AREAS SPECIFIED ON PLANS SHALL RECEIVE AGRECOL "RAINWATER RENEWAL" NATIVE VEGETATIVE MAT - DEGRADABLE CORE. CONTRACTOR SHALL CONTACT AGRECOL NATIVE NURSERY 16 WEEKS IN ADVANCE OF INSTALLATION FOR PROPER GROWING LEAD TIME. CONTRACTOR SHALL ASSUME AVAILABLE DELIVERY DATE TO BE BETWEEN MID-JUNE THROUGH THE END OF OCTOBER DUE TO THE NNV GROWING SEASON. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION PROCEDURES.

CITY OF MADISON LANDSCAPE WORKSHEET
Section 28.142 Madison General Ordinance

Project Location / Address 5237 UNIVERSITY AVE. MADISON, WI 53705

Name of Project **DEGEN & ASSOCIATES, LLC**

Owner / Contact **JUSTIN FRAHM**

Contact Phone (715) 298-6330 Contact Email justin.frahm@jadic.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 71,600

Total landscape points required 1,194

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area

Total landscape points required

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area

Total landscape points required

10/2013 1

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			31	1085
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35			8	280
Ornamental tree	1 1/2 inch caliper	15			16	240
Upright evergreen shrub (i.e. arboresc)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			96	288
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			42	168
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			322	644
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						2705

Total Number of Points Provided 2705

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

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MADISON, WI 53705-0567**

PROJECT:
**5133 & 5237
UNIVERSITY AVE**

PROJECT LOCATION:
**MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.15.2020	LAND USE UDC INITIAL
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Design/Drawn: **KJS**

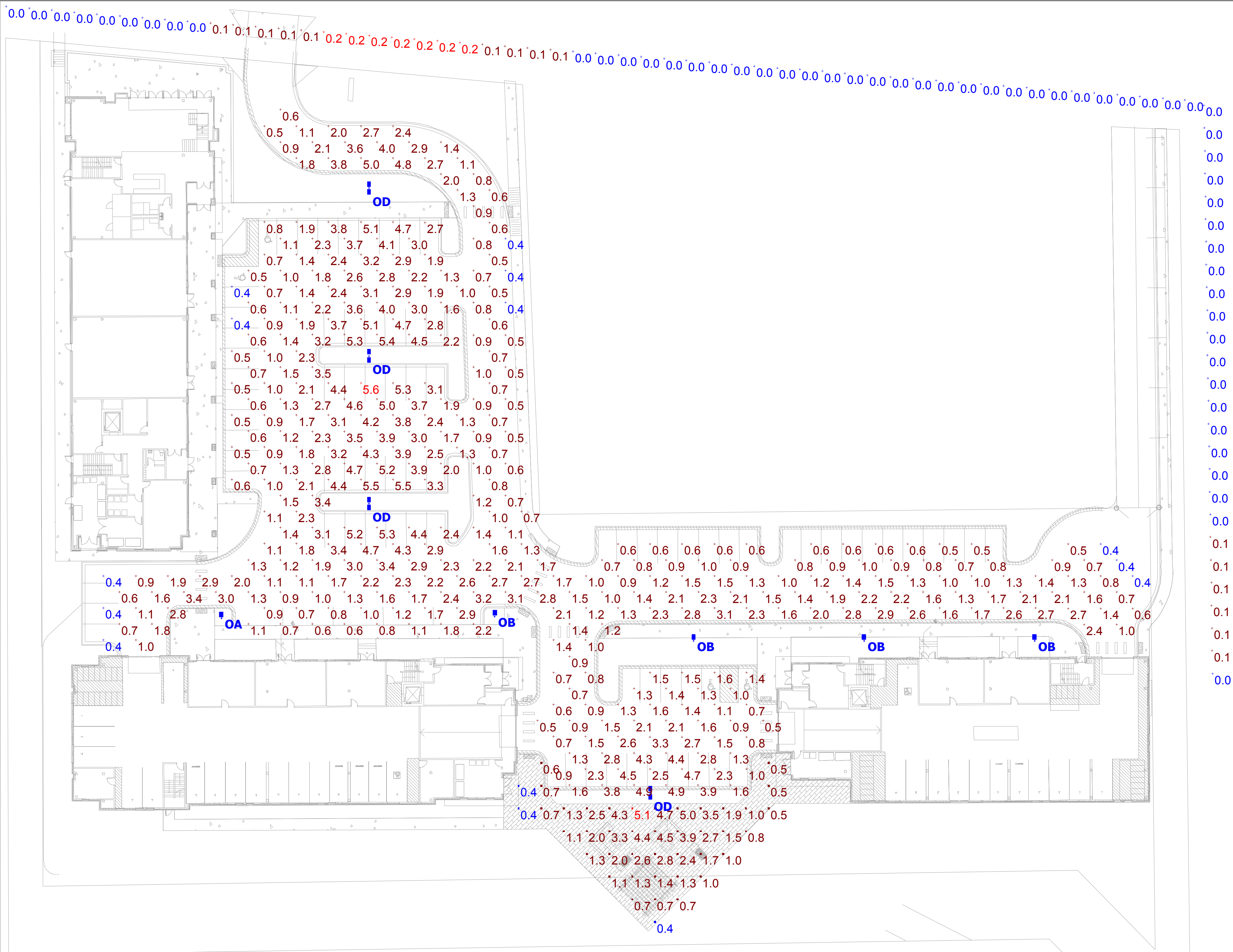
Approved: **MAS**

SHEET TITLE:
**LANDSCAPE NOTES,
DETAILS &
SPECIFICATIONS**

SHEET NUMBER:
L2.0

JSD PROJECT NO: 07-2912

DIGGERS HOTLINE
Toll Free (800) 242-8511



Plan View
Scale - 1" = 25ft

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number
	OA	1	RAB LIGHTING	IVELOT
	OB	4	RAB LIGHTING	IVELOT
	OD	4	RAB LIGHTING	IVELOT

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT		1.9 fc	5.6 fc	0.4 fc	14.0:1	4.8:1
PATIO		1.9 fc	5.1 fc	0.4 fc	12.8:1	4.8:1
PROPERTY LINE		0.0 fc	0.2 fc	0.0 fc	N/A	N/A

DEGEN UNIVERSITY AVENUE MIXED-USE

MADISON, WISCONSIN



LAND USE UDC INITIAL

JANUARY 15, 2020



PROGRESS DOCUMENTS

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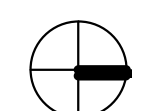
LAND USE UDC INITIAL

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REVISION SCHEDULE

LOWER LEVEL PLAN - BUILDING 'A'

A 100-A



/13/2020 12:10:18 PM



JLA
ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 18-1112



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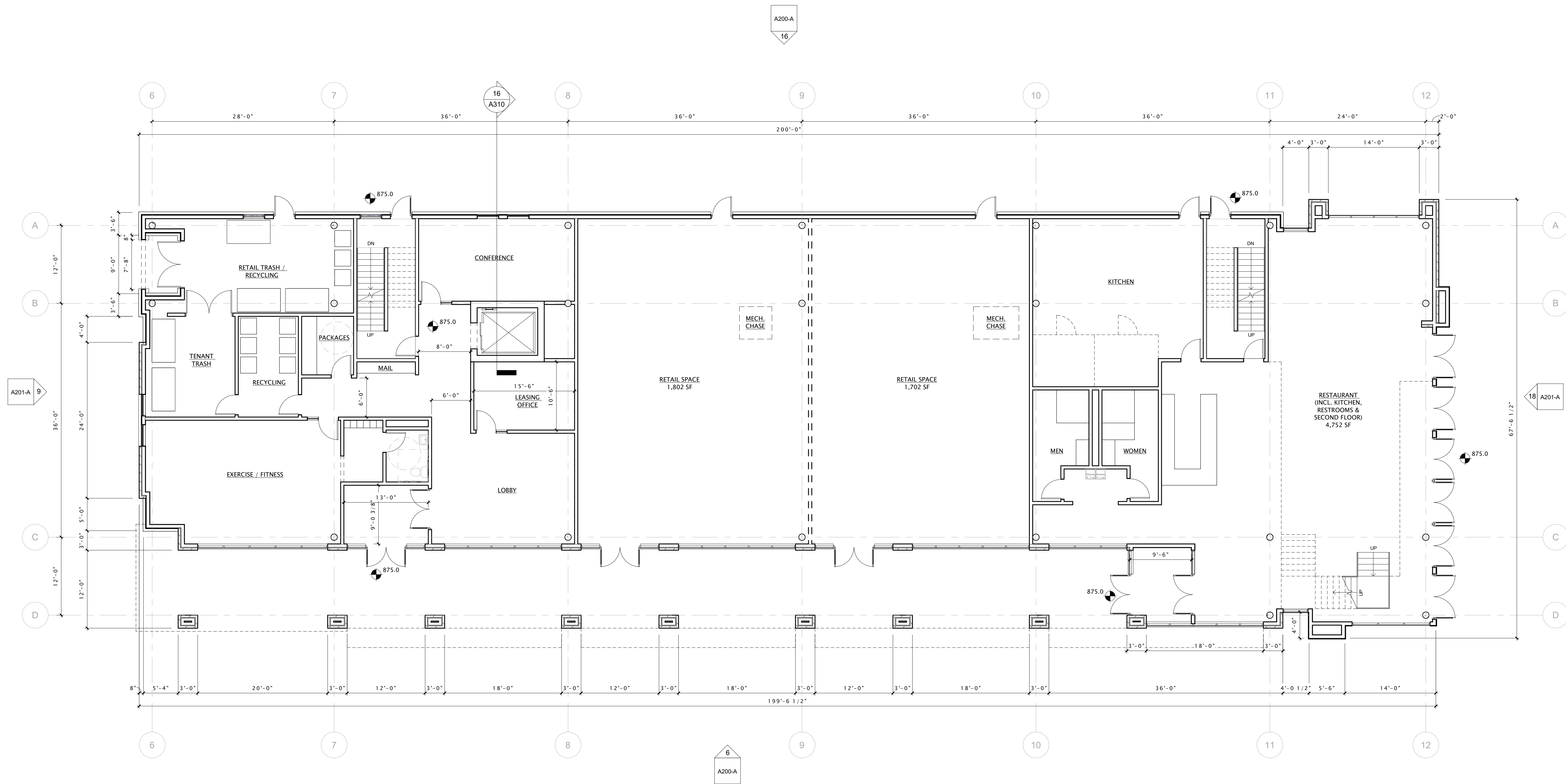
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

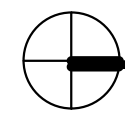
FIRST FLOOR PLAN -
BUILDING 'A'

SHEET NUMBER

A101-A



16 FIRST FLOOR PLAN - BUILDING 'A'
1/8" = 1'-0"





JLA
ARCHITECTS

MADISON : MILWAUKEE
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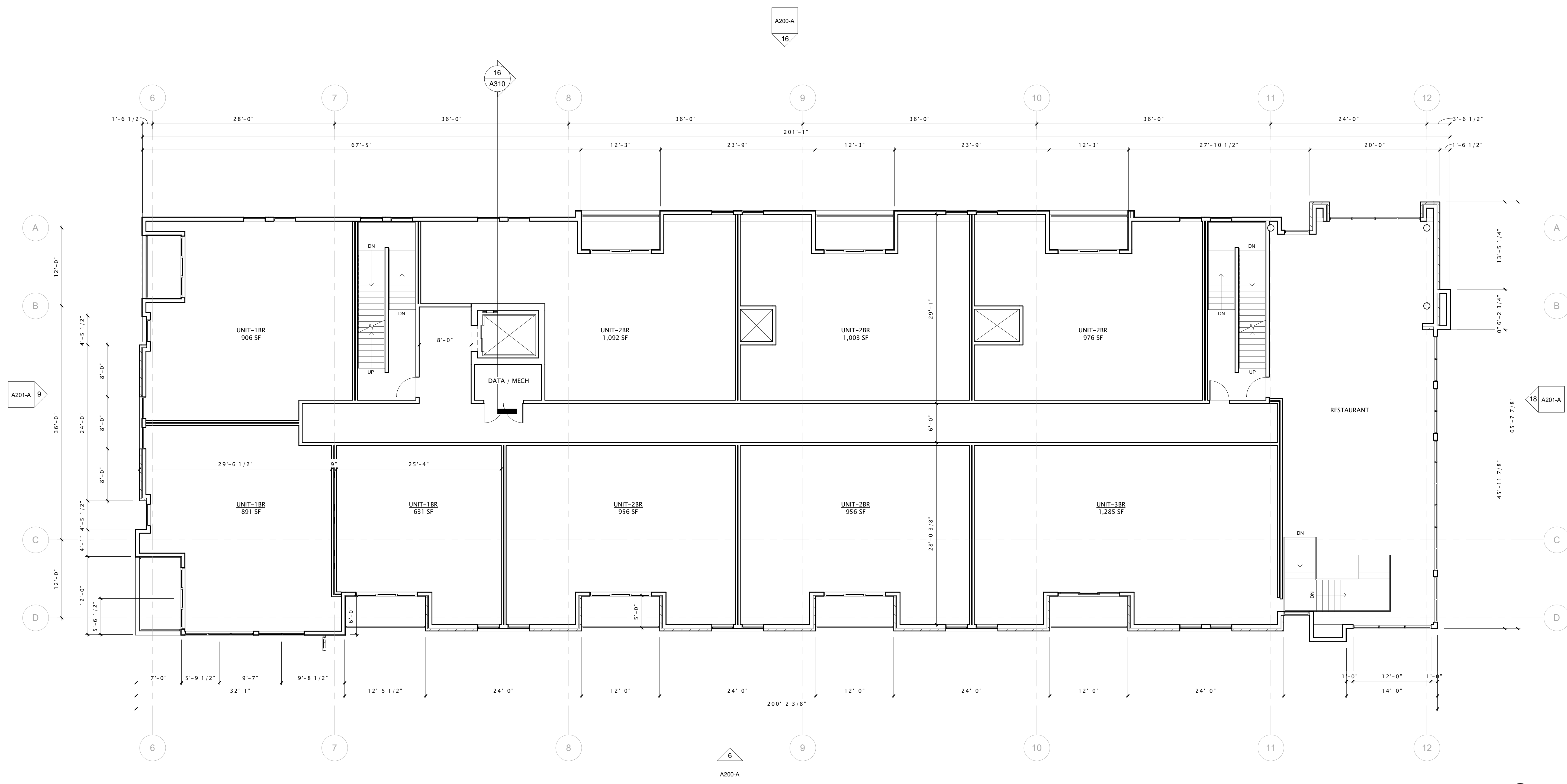
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**SECOND FLOOR PLAN
- BUILDING 'A'**

SHEET NUMBER

A102-A



16 SECOND FLOOR PLAN - BUILDING 'A'
1/8" = 1'-0"



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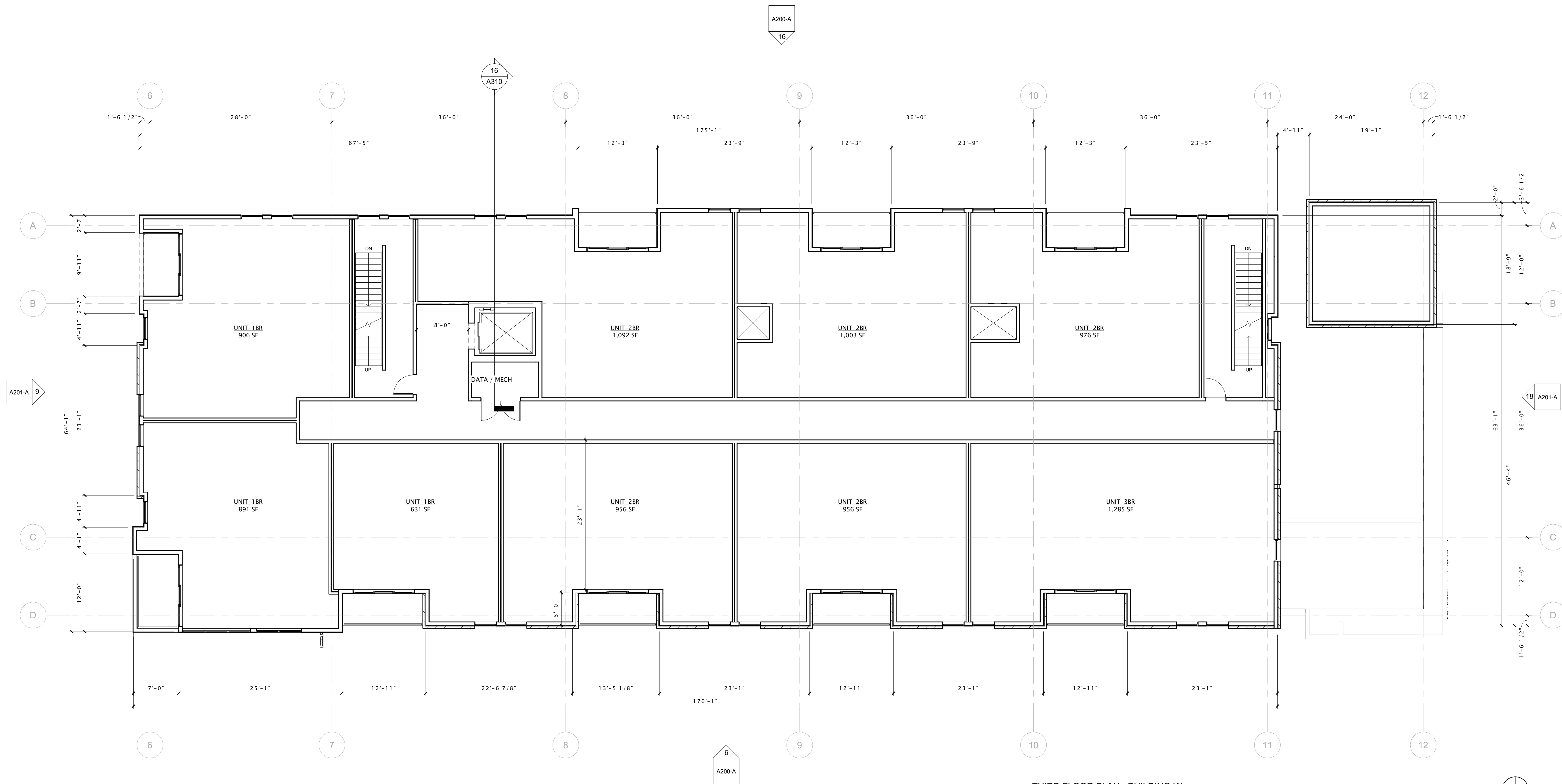
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN -
BUILDING 'A'

SHEET NUMBER

A103-A





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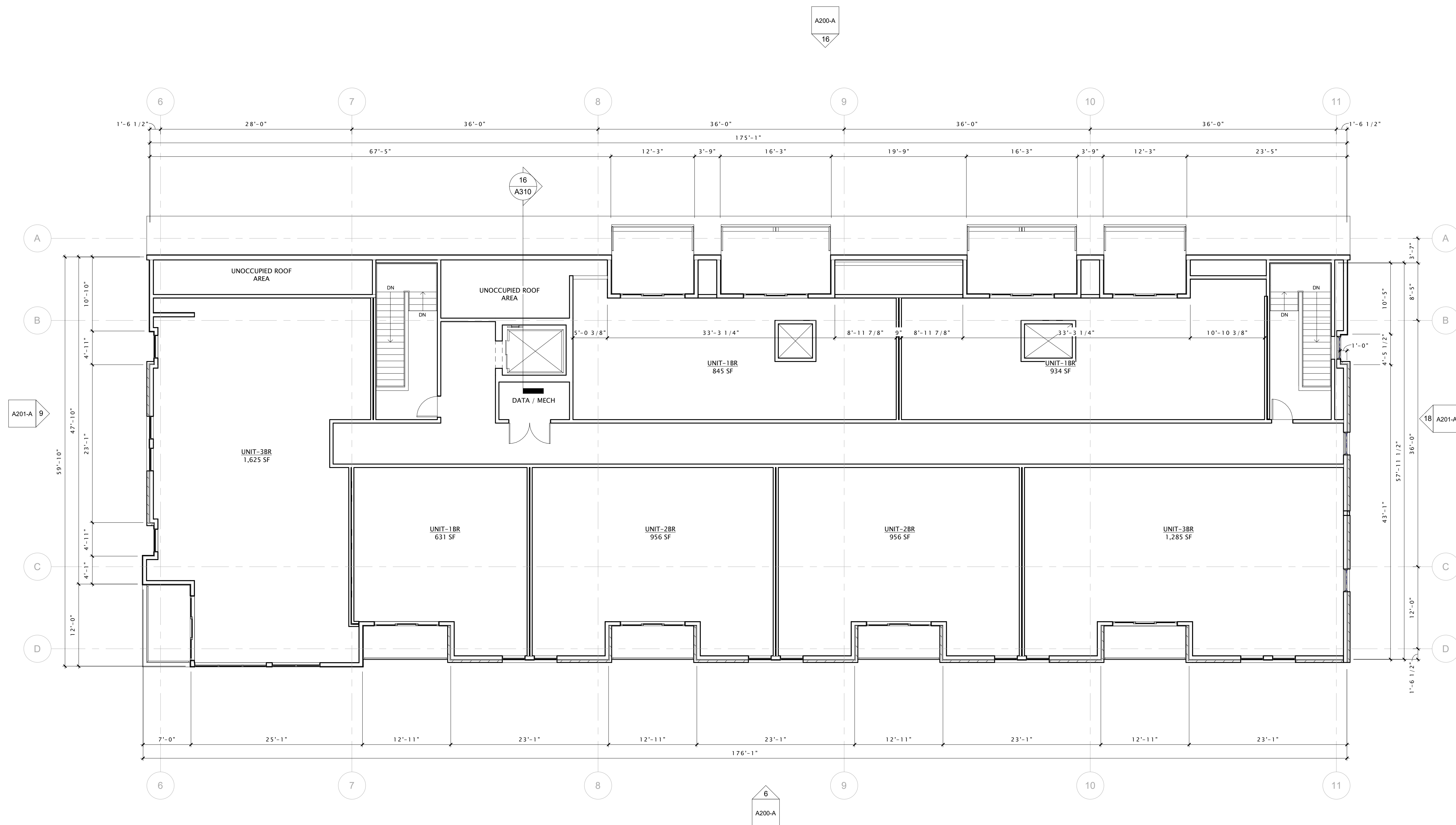
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SHEET TITLE

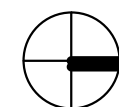
FOURTH FLOOR PLAN -
BUILDING 'A'

SHEET NUMBER

A104-A



FOURTH FLOOR PLAN - BUILDING 'A'
1/8" = 1'-0"





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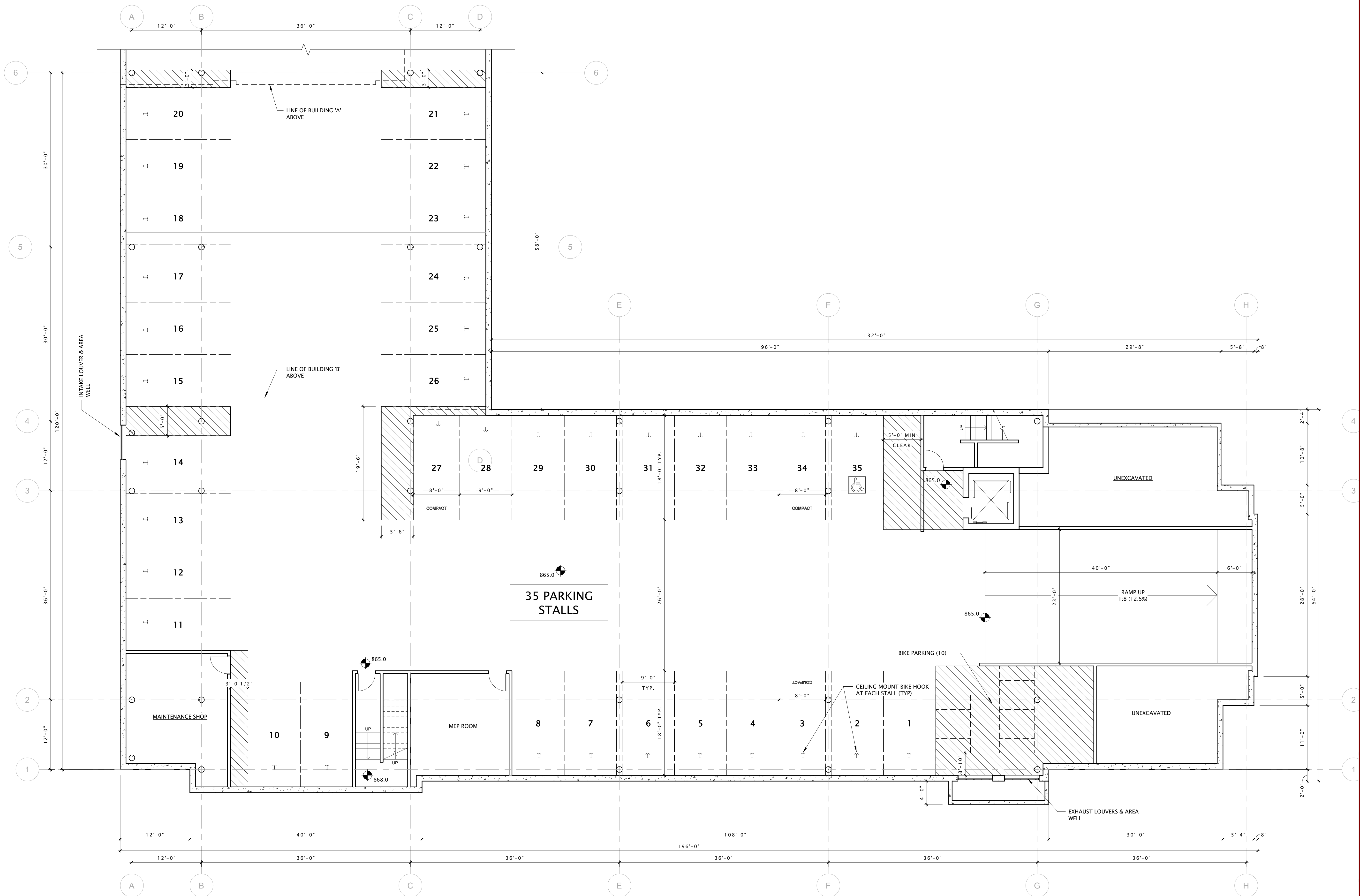
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

LOWER LEVEL PLAN -
BUILDING 'B'

SHEET NUMBER

A100-B



16 LOWER LEVEL PLAN - 'B' BUILDING
1/8" = 1'-0"





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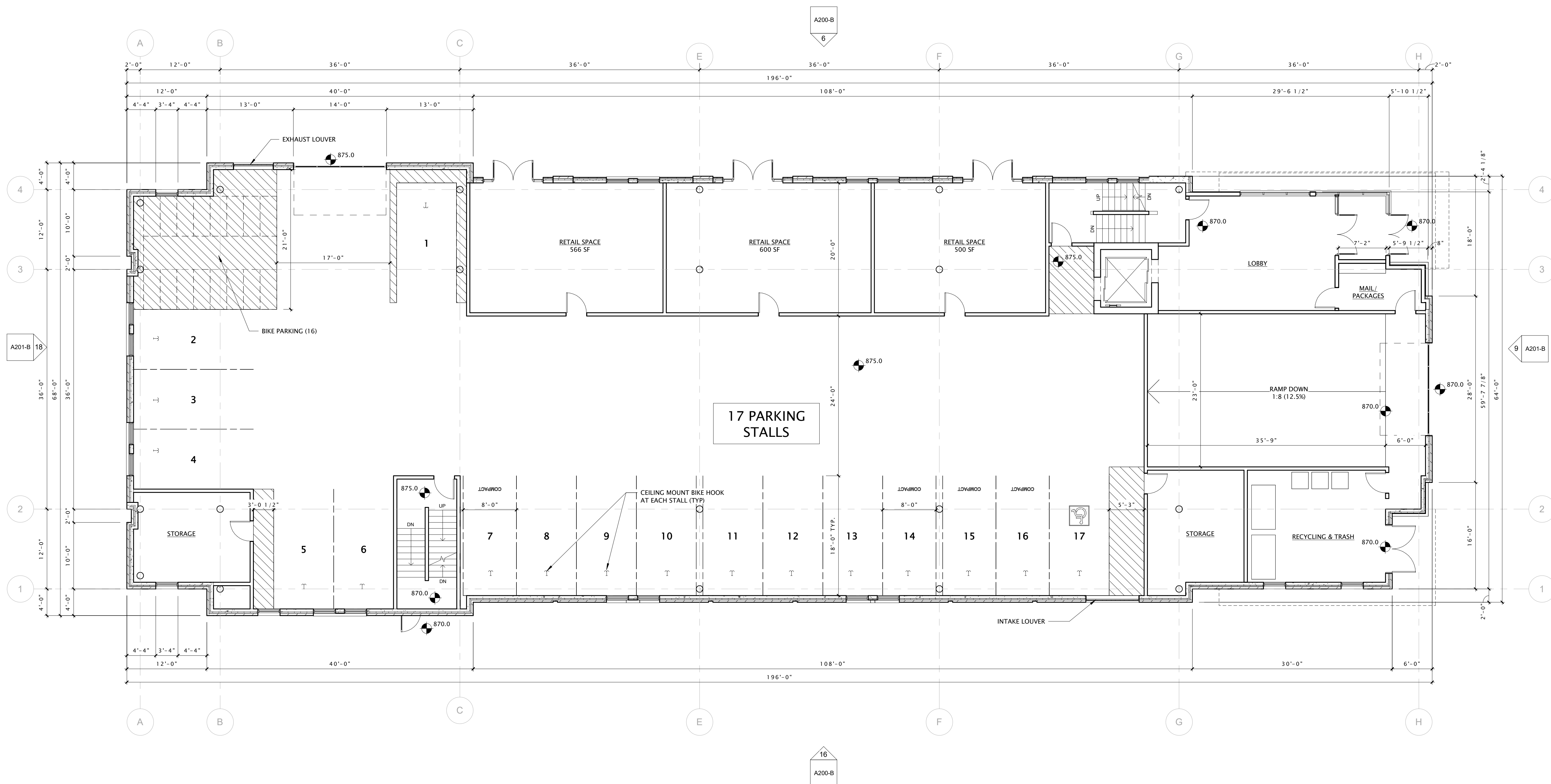
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN -
BUILDING 'B'

SHEET NUMBER

A101-B



16 FIRST FLOOR PLAN - BUILDING 'B'
1/8" = 1'-0"





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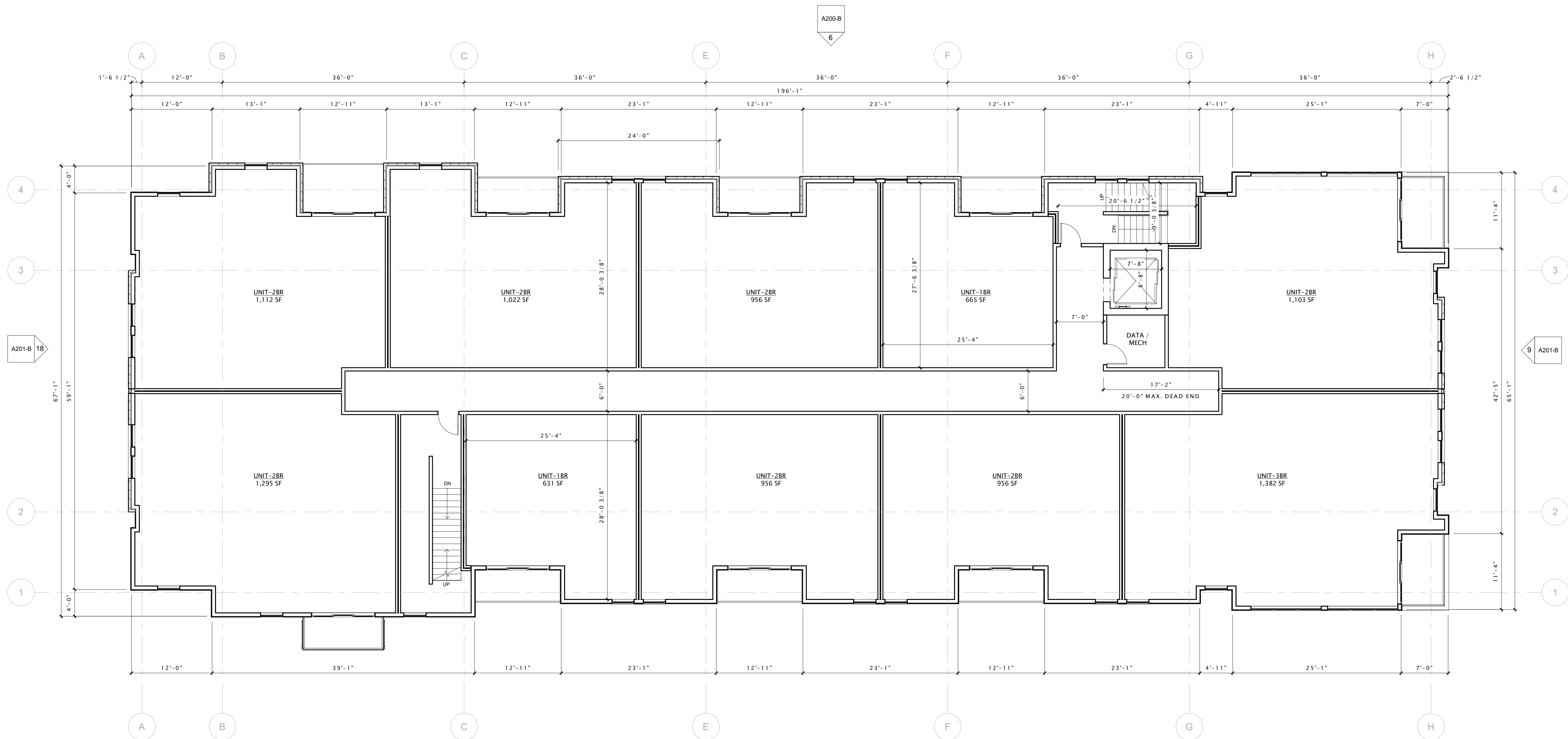
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN
- BUILDING 'B'

SHEET NUMBER

A102-B



16 SECOND FLOOR PLAN - BUILDING 'B'

1/8" = 1'-0"



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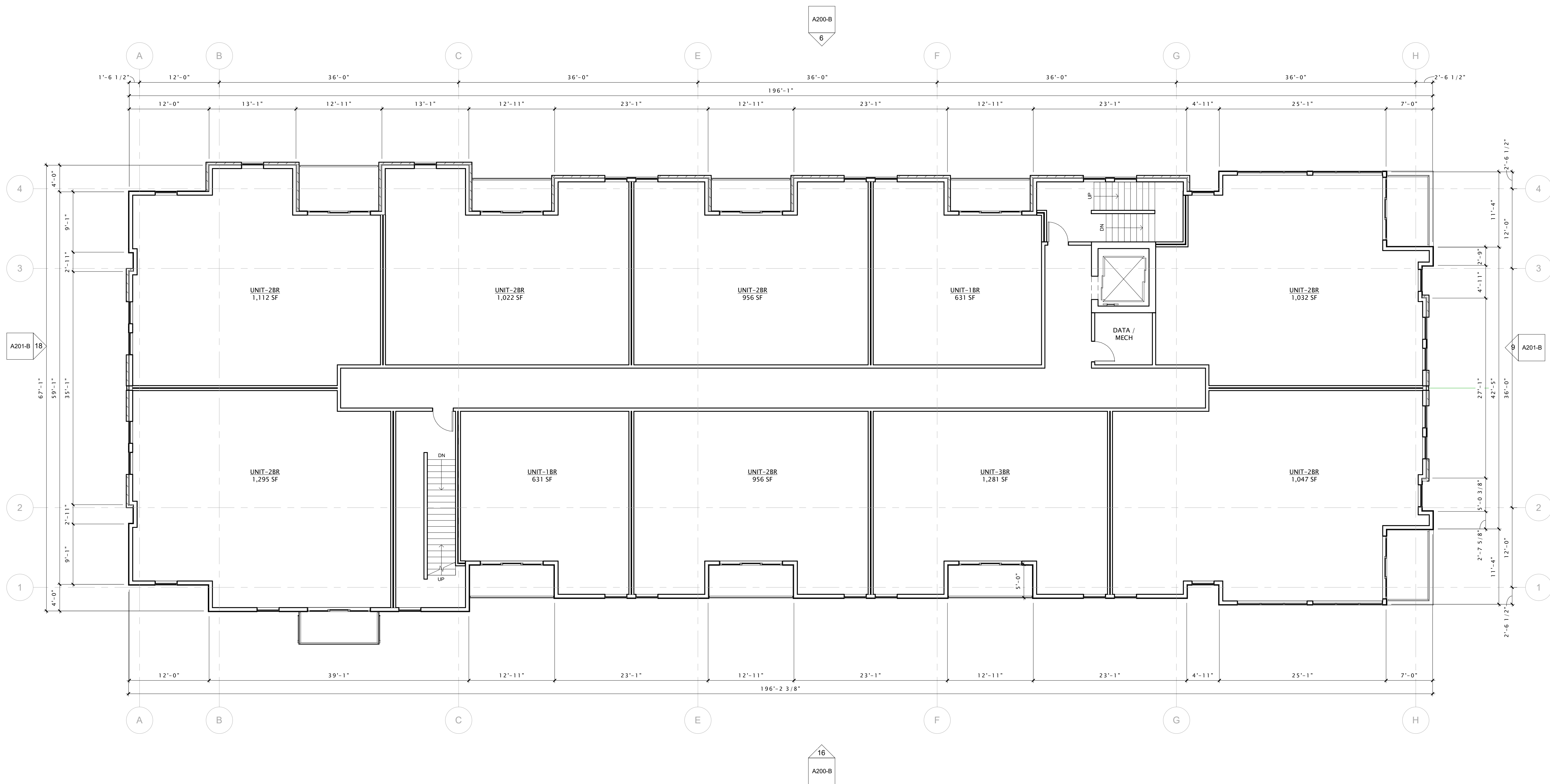
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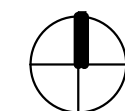
THIRD FLOOR PLAN -
BUILDING 'B'

SHEET NUMBER

A103-B



16 THIRD FLOOR PLAN - BUILDING 'B'
1/8" = 1'-0"





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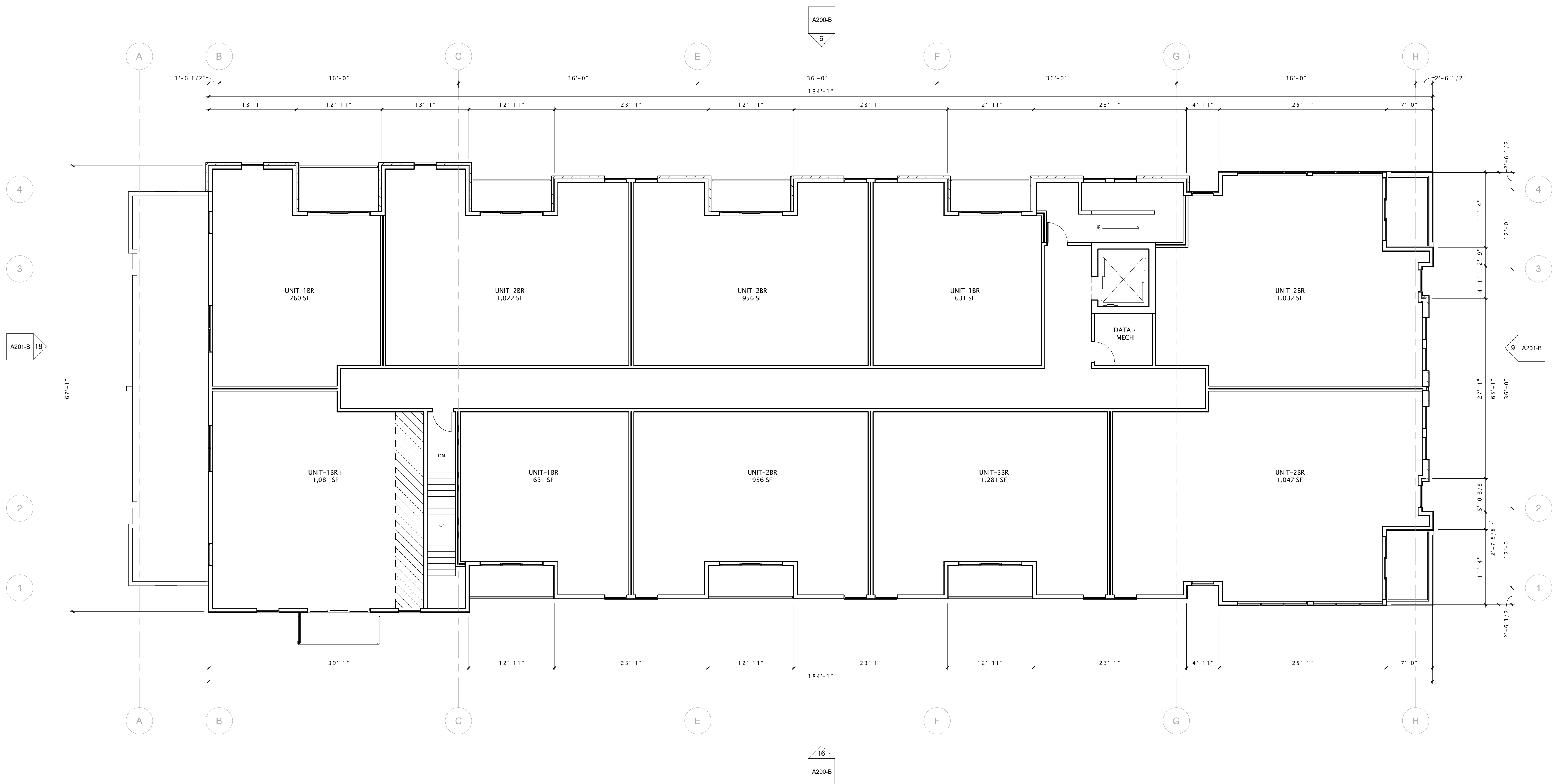
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FOURTH FLOOR PLAN -
BUILDING 'B'

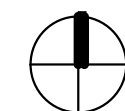
SHEET NUMBER

A104-B



16 FOURTH FLOOR PLAN - BUILDING 'B'

1/8" = 1'-0"





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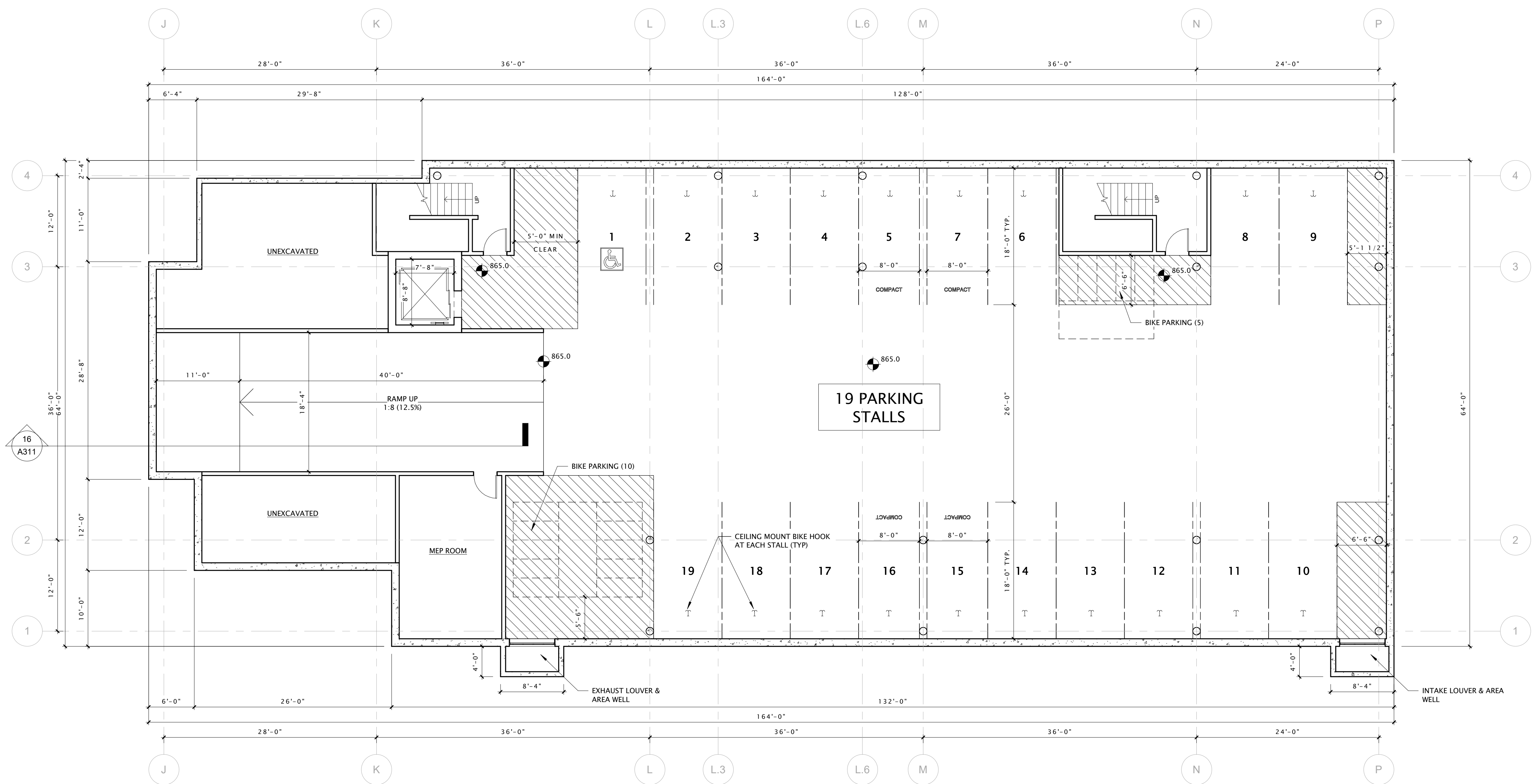
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SHEET TITLE

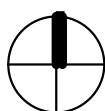
LOWER LEVEL PLAN -
BUILDING 'C'

SHEET NUMBER

A100-C



16 LOWER LEVEL PLAN - 'C' BUILDING
1/8" = 1'-0"





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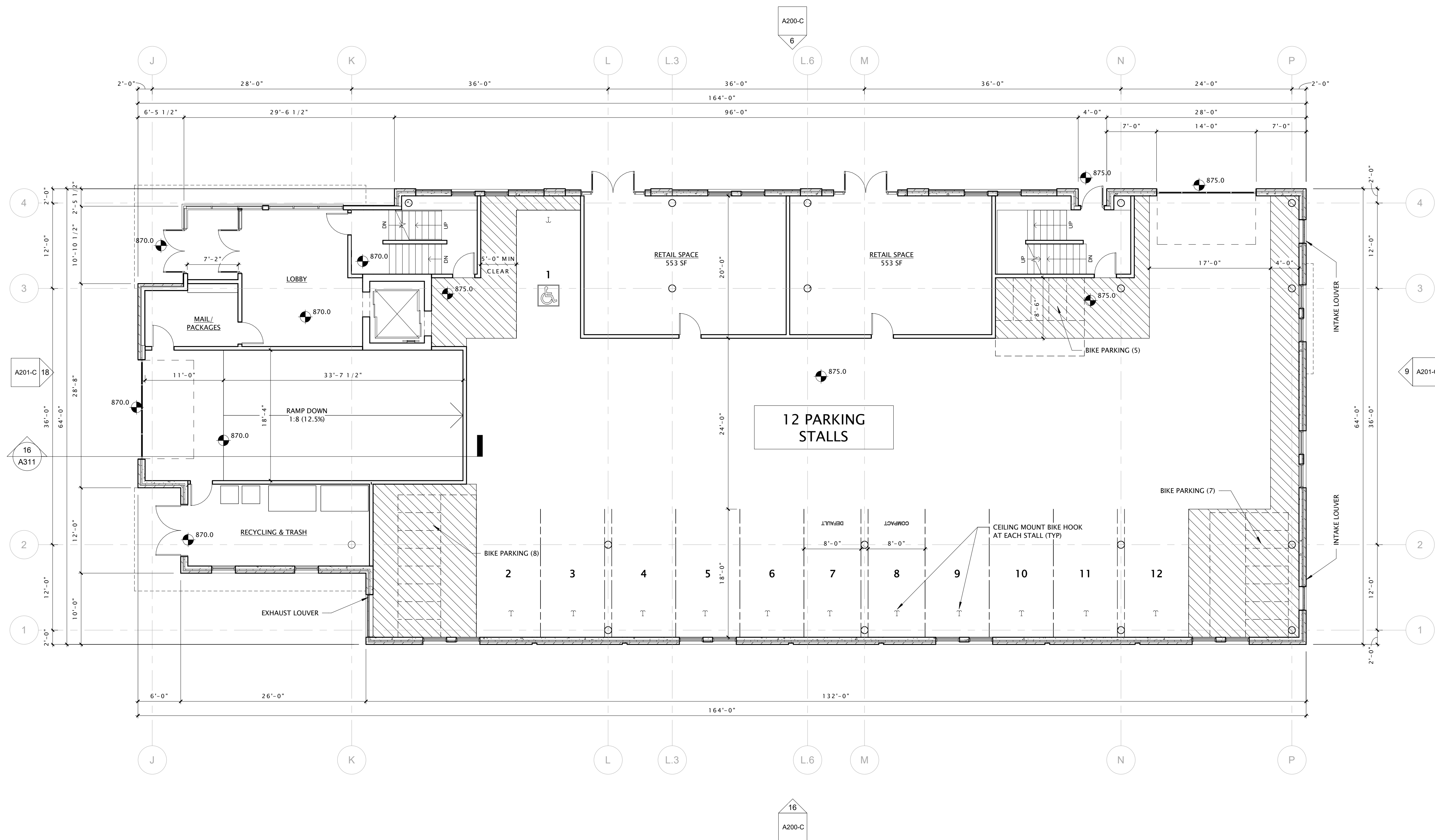
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SHEET TITLE

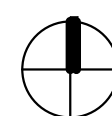
FIRST FLOOR PLAN -
BUILDING 'C'

SHEET NUMBER

A101-C



16 FIRST FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"





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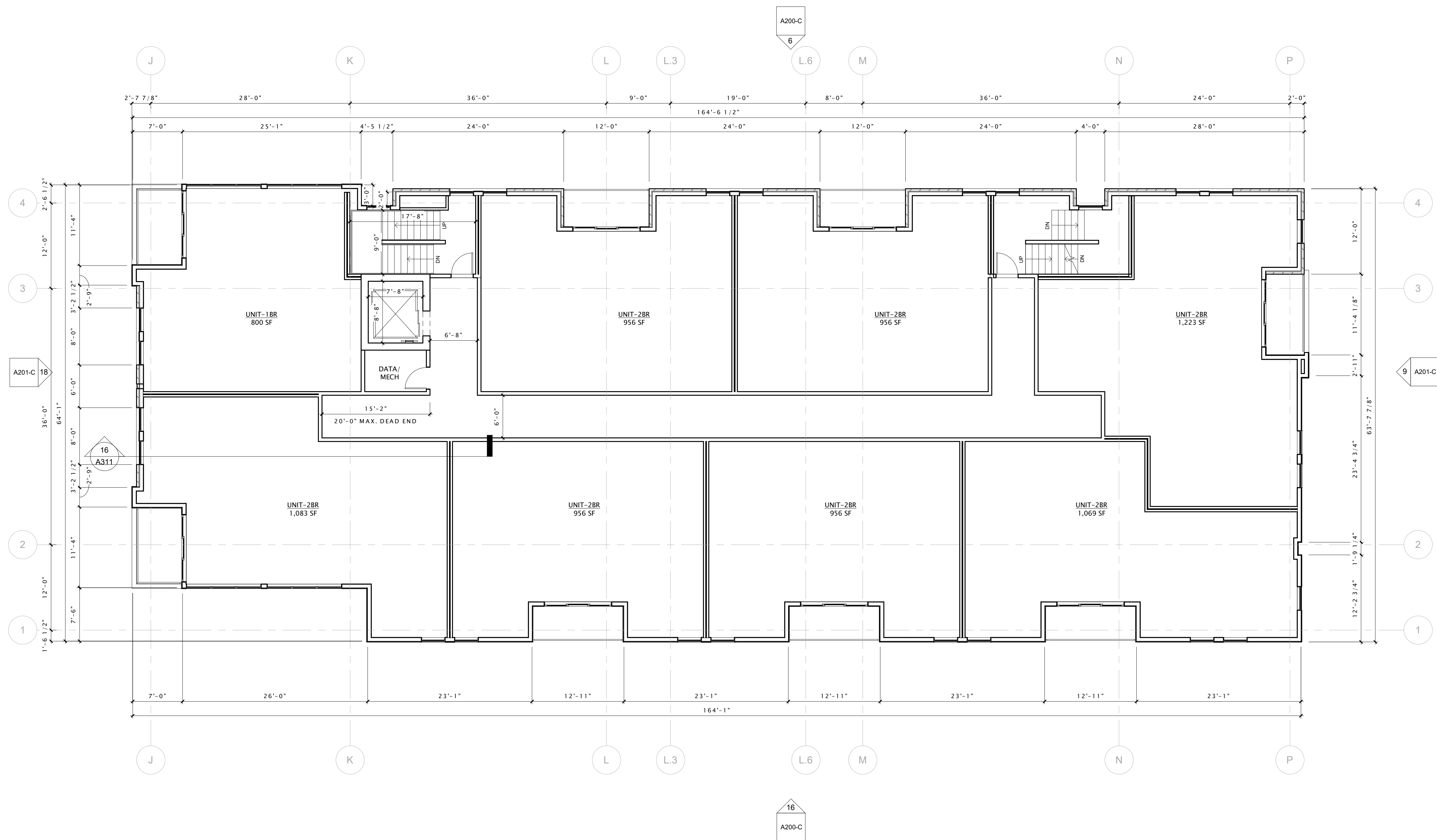
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR PLAN
- BUILDING 'C'

SHEET NUMBER

A102-C



16 SECOND FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"





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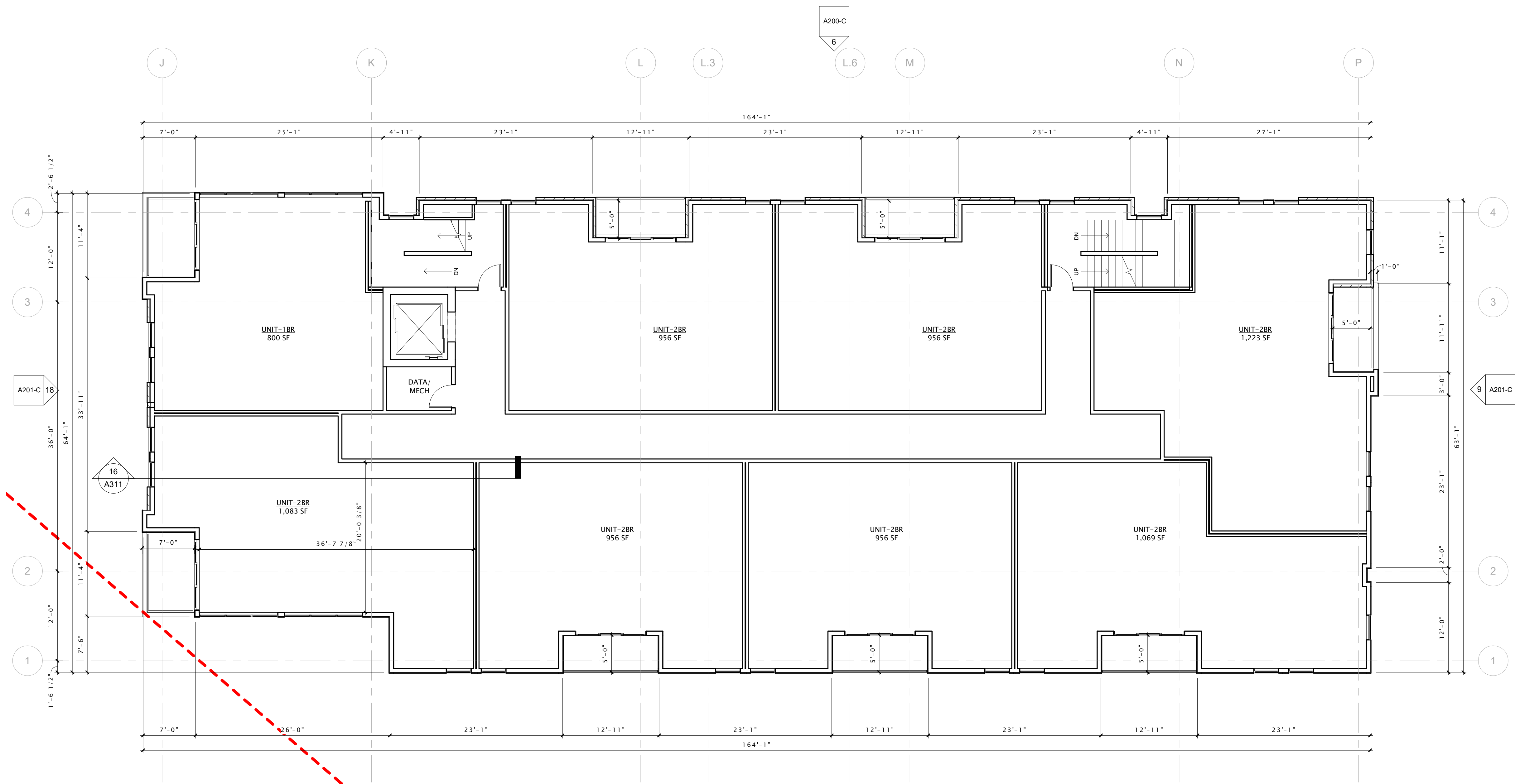
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SHEET TITLE

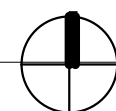
THIRD FLOOR PLAN -
BUILDING 'C'

SHEET NUMBER

A103-C



① THIRD FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"





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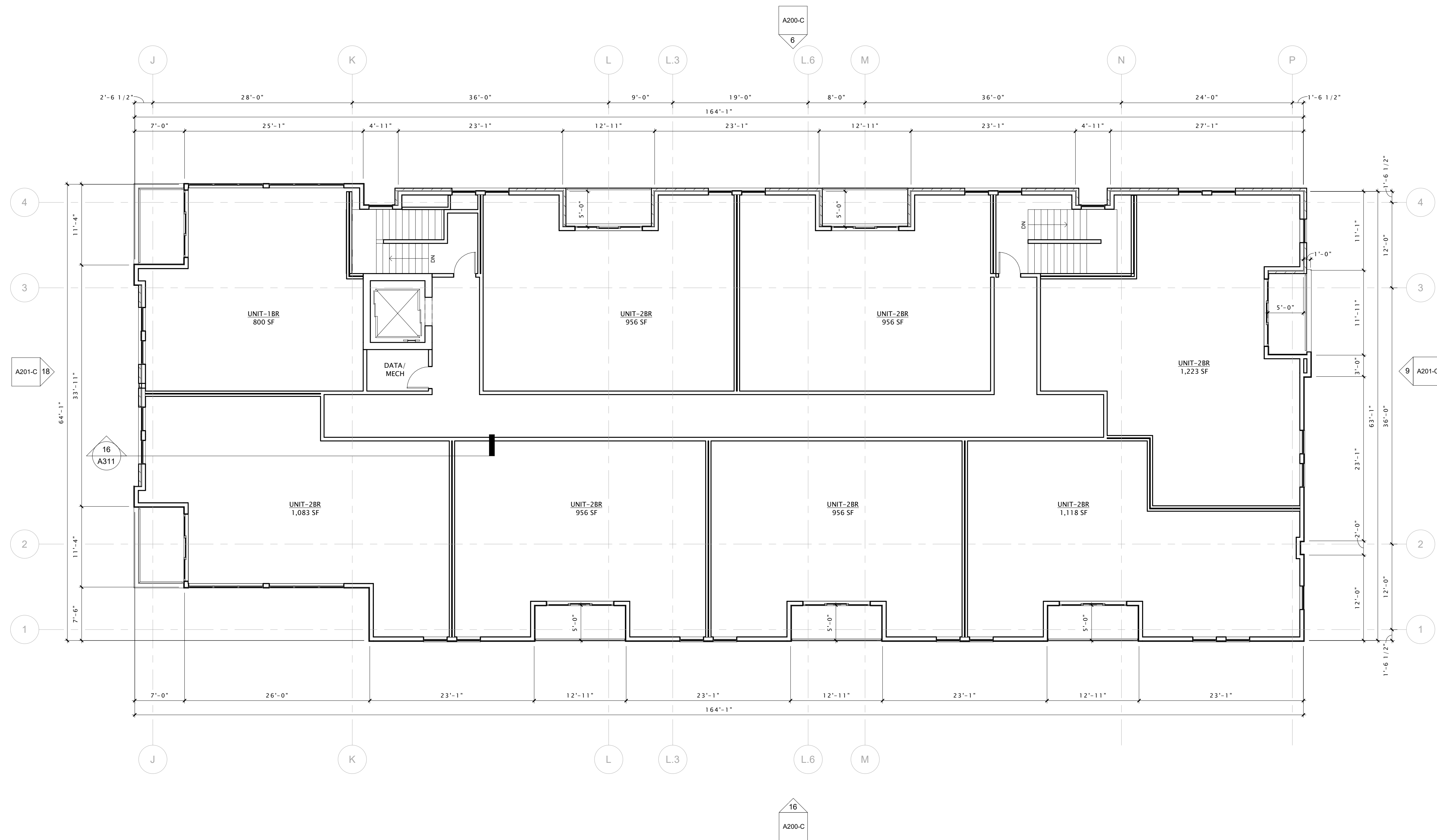
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FOURTH FLOOR PLAN -
BUILDING 'C'

SHEET NUMBER

A104-C



16 FOURTH FLOOR PLAN - BUILDING 'C'
1/8" = 1'-0"





6 BUILDING 'A' - EAST ELEVATION
1/8" = 1'-0"



16 BUILDING 'A' - WEST ELEVATION
1/8" = 1'-0"



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-
BUILDING 'A'

SHEET NUMBER

A200-A



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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-
BUILDING 'A'

SHEET NUMBER

A201-A



9 BUILDING 'A' - SOUTH ELEVATION
1/8" = 1'-0"



18 BUILDING 'A' - NORTH ELEVATION
1/8" = 1'-0"



6 BUILDING 'B' - NORTH ELEVATION
1/8" = 1'-0"



16 BUILDING 'B' - SOUTH ELEVATION
1/8" = 1'-0"



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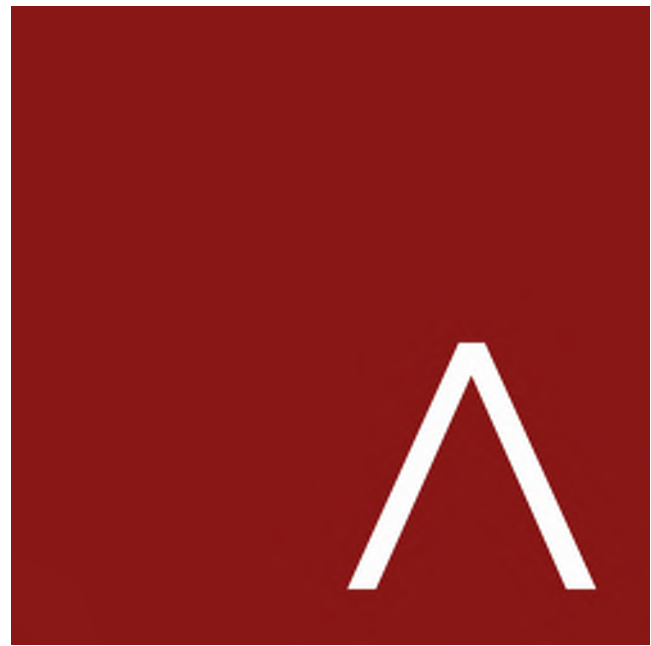
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS-
BUILDING 'B'

SHEET NUMBER

A200-B



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SHEET TITLE

EXTERIOR ELEVATIONS-
BUILDING 'B'

SHEET NUMBER

A201-B



9 BUILDING 'B' - EAST ELEVATION

1/8" = 1'-0"



18 BUILDING 'B' - WEST ELEVATION

1/8" = 1'-0"



6 BUILDING 'C' - NORTH ELEVATION
1/8" = 1'-0"



16 BUILDING 'C' - SOUTH ELEVATION
1/8" = 1'-0"



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BUILDING 'C'

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A200-C



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EXTERIOR ELEVATIONS-
BUILDING 'C'

SHEET NUMBER


A201-C



9 BUILDING 'C' - EAST ELEVATION
1/8" = 1'-0"



10 BUILDING 'C' - WEST ELEVATION
1/8" = 1'-0"



Low profile, low glare.
Edge-lit technology unlike any other.

IVELOT™

RAB

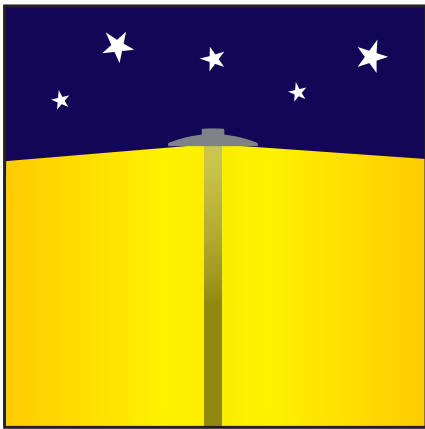
| Outdoor

IVELOT™



- Available in 4,500lm (38W), 7,500lm (67W), 10,000lm (94W) and 13,000lm (117W) models
- Offered with 3 mounting options: universal pole adapter, wall or slipfitter
- Type II, III, IV, VS and Forward Throw distributions
- 0-10V Dimming, standard
- Motion sensor, photocell and Lightcloud® Controller options available
- 100,000-Hour LED lifespan

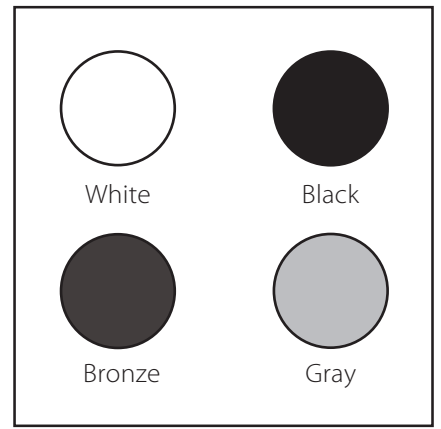
RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.



The IVELOT is a complete cutoff, fully shielded area light that minimizes glare, while reducing light trespass.



IVELOT offers several mounting options to support a variety of applications. *(Universal Pole Adapter shown)*



Available in four color finishes: bronze, black, white and gray. *(gray has no texture)*



Available with Lightcloud Controller.



Lightweight, low-profile design, and a low EPA help reduce the load on a pole.



Available with an optional, integrated motion sensor or photocell.

Specifications

UL:

Suitable for wet locations

LEDs:

Long-life, high-efficiency, micro-power, surface-mount LEDs

Drivers(s):

Class 2, 50/60Hz. 120 - 277V, 347-480V, 4kV standard, 10kV optional surge protection

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims as low as 10%.

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results & TM-21 calculations at 25°C

IP Rating:

Ingress Protection rating of IP66 for dust and water

Color Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F) temperatures

Housing:

Die-cast aluminum housing

Mounting:

Universal pole adapter, slipfitter or wall mount options available

Lens:

Diffused Polymethyl Methacrylate (PMMA)

Vibration Rating:

3G vibration tested per ANSI C136.31

Effective Projected Area:

EPA = 0.61

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5-year period

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Title 24 Compliant:

An IVELOT edge-lit area light can be used with a motion sensor or photocell control option to comply with 2016 Title 24 Part 6 Section 130.2 (a,b,c).

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components

IESNA LM-79 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79

Type II

	IVAT2 - 100L			IVAT2 - 75L			IVAT2 - 45L		
Color Temperature	5000K	4000K	3000K	5000K	4000K	3000K	5000K	4000K	3000K
Input Watts	92	93	93	66	67	67	37	38	38
Output Lumens	10,739	10,095	10,167	7,961	7,484	7,537	4,340	4,080	4,109
Efficacy (lm/W)	117	109	110	120	112	112	117	109	110
Color Accuracy (CRI)	75	73	80	75	73	80	75	73	81
	(Replaces 400W PSMH)			(Replaces 320W PSMH)			(Replaces 175W PSMH)		

Type III

	IVAT3 - 100L			IVAT3 - 75L			IVAT3 - 45L		
Color Temperature	5000K	4000K	3000K	5000K	4000K	3000K	5000K	4000K	3000K
Input Watts	96	96	91	70	70	66	40	40	38
Output Lumens	11,359	9,939	9,588	7,608	6,657	6,422	4,963	4,342	4,189
Efficacy (lm/W)	118	103	105	110	96	98	124	109	111
Color Accuracy (CRI)	75	73	81	75	73	80	75	73	80
	(Replaces 400W PSMH)			(Replaces 320W PSMH)			(Replaces 175W PSMH)		

Type IV

	IVAT4 - 130L			IVAT4 - 100L			IVAT4 - 75L			IVAT4 - 45L		
Color Temperature	5000K	4000K	3000K	5000K	4000K	3000K	5000K	4000K	3000K	5000K	4000K	3000K
Input Watts	117	116	117	95	95	93	66	66	66	37	37	37
Output Lumens	14,322	14,174	13,232	11,361	10,832	10,207	7,429	7,353	6,864	4,906	4,856	4,533
Efficacy (lm/W)	123	122	113	120	115	109	113	112	104	132	131	121
Color Accuracy (CRI)	75	72	80	90	90	90	75	72	80	75	72	80
	(Replaces 450W PSMH)			(Replaces 400W PSMH)			(Replaces 320W PSMH)			(Replaces 175W PSMH)		

Type VS

	IVAT5S - 130L			IVAT5S - 100L			IVAT5S - 75L			IVAT5S - 45L		
Color Temperature	5000K	4000K	3000K	5000K	4000K	3000K	5000K	4000K	3000K	5000K	4000K	3000K
Input Watts	118	115	116	97	95	95	66	64	65	38	37	38
Output Lumens	14,494	13,357	12,659	11,577	11,508	10,032	8,434	7,772	7,366	5,210	4,801	4,550
Efficacy (lm/W)	123	116	109	119	122	106	129	122	114	136	128	120
Color Accuracy (CRI)	74	72	80	90	90	90	74	72	80	74	72	80
	(Replaces 450W PSMH)			(Replaces 400W PSMH)			(Replaces 300W PSMH)			(Replaces 320W PSMH)		

Type FT (Forward Throw)

	IVAFT - 100L			IVAFT - 75L			Type FT - 45L		
Color Temperature	5000K	4000K	3000K	5000K	4000K	3000K	5000K	4000K	3000K
Input Watts	95	91	93	68	65	67	39	37	38
Output Lumens	10,594	9,999	9,970	7,927	7,482	7,460	4,928	4,651	4,638
Efficacy (lm/W)	111	110	108	116	115	112	127	125	122
Color Accuracy (CRI)	75	73	80	74	72	80	74	72	80
	(Replaces 400W PSMH)			(Replaces 320W PSMH)			(Replaces 175W PSMH)		

Photometrics

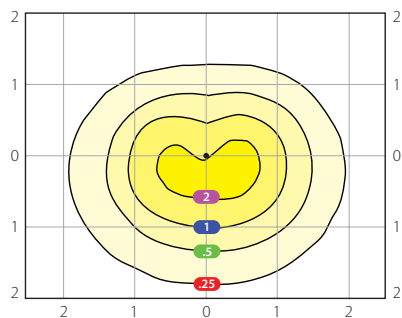
IVAT2-100L

(Type II)

25' Mounting Ht.

Photometric Report

#DLF1810114-11A.IES



Mounting Height	15	20	25	30	35
Multiplier	2.8	1.6	1.0	0.7	0.5

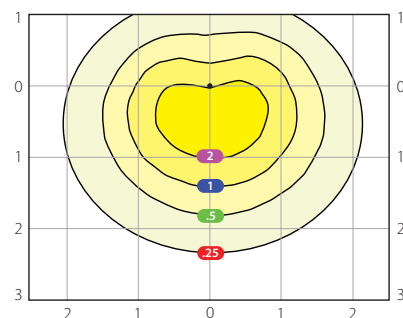
IVAT3-100L

(Type III)

25' Mounting Ht.

Photometric Report

#DLF1810114-14A.IES



Mounting Height	15	20	25	30	35
Multiplier	2.8	1.6	1.0	0.7	0.5

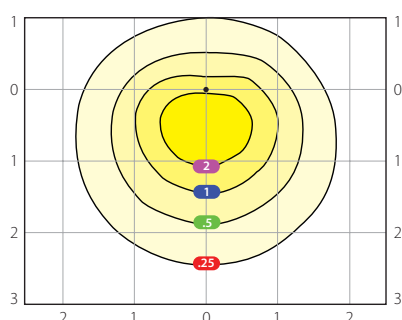
IVAT4-100L

(Forward Throw)

25' Mounting Ht.

Photometric Report

#DLF1810114-17A.IES



Mounting Height	15	20	25	30	35
Multiplier	2.8	1.6	1.0	0.7	0.5

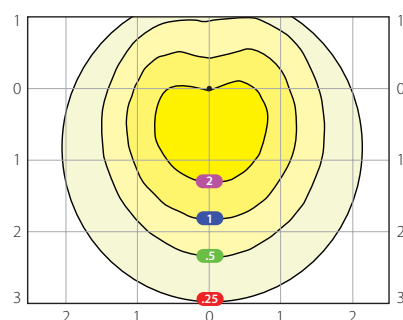
IVAT4-130L

(Type IV)

25' Mounting Ht.

Photometric Report

#DLF1810114-20A.IES



Mounting Height	15	20	25	30	35
Multiplier	2.8	1.6	1.0	0.5	0.7

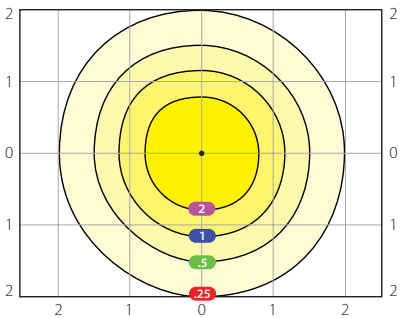
IVAT5S-130L

(Type V Square)

25' Mounting Ht.

Photometric Report

#DLF1810114-23A.IES



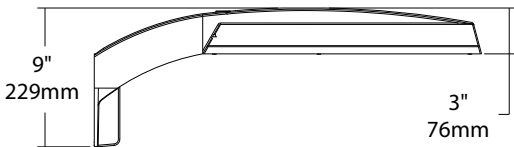
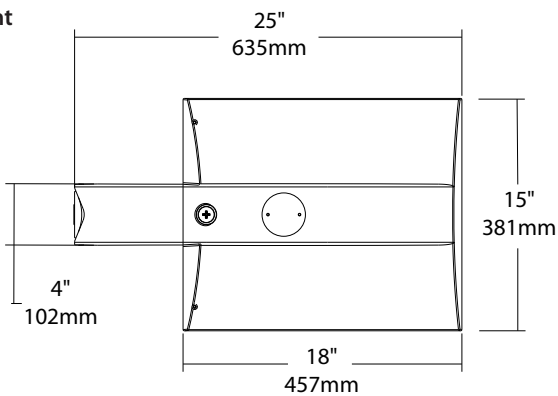
Mounting Height	15	20	25	30	35
Multiplier	2.8	1.6	1.0	0.5	0.7

Grid Scales: Multiples of Mounting Height Values Shown in Footcandles

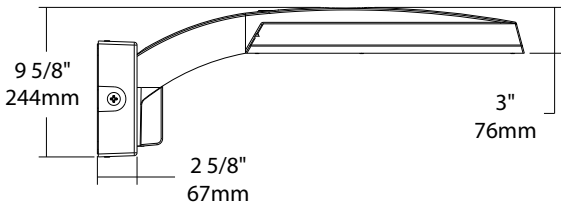
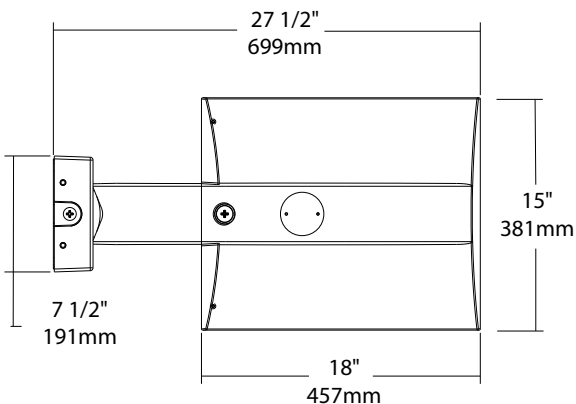
Watts	Lumens Based on 5000K CCT @ 120Vac					Avg Lumens Across All Dist Types
	Type II	Type III	Type IV	Type VS	Forward Throw	
38W	4,340	4,963	4,906	5,210	4,928	4,869
67W	7,961	7,608	7,429	8,434	7,927	7,872
94W	10,739	11,359	10,832	11,577	10,594	10,897
117W	n/a	n/a	14,322	14,494	n/a	14,408

Mountings, Dimensions & Weights

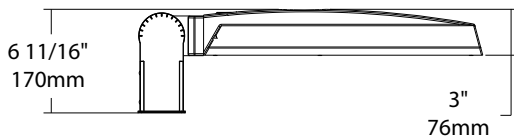
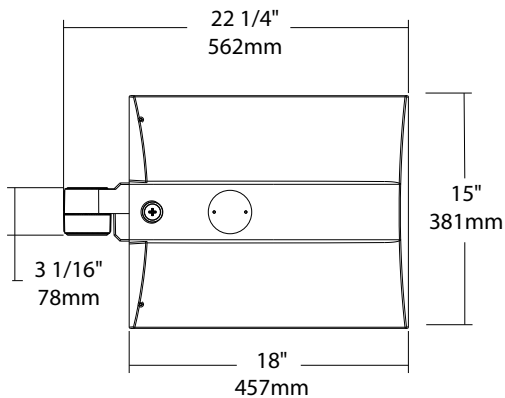
PA - Universal Pole Mount
Weight: 15.0 lbs (7kg)



WM - Wall Mount
Weight: 20.0 lbs (9kg)



SF - Slipfitter Mount
Weight: 13.5 lbs (6kg)



Ordering information

Product Family	Optics /Distribution	Lumen Output	Mounting	CCT/CRI	Finish	Voltage/Driver	Sensor Options	Lightcloud Option							
IVA															
T2	Type II	45L	4500 lumens (38W)	PA	Universal Pole Adapter	750	5000K (Cool), 70 CRI	Z	Bronze	U	120-277V, 0-10V Dimming	Blank	No Sensor	Blank	No Lightcloud
T3	Type III	75L	7500 lumens (67W)	WM	Wall Mount	740	4000K (Neutral), 70 CRI	W	White	H	347-480V, 0-10V Dimming	/WS	Multi-Level Motion Sensor, 8ft mounting	/LC	Lightcloud Controller ²
T4	Type IV	130L	13000 lumens (117W)	SF	Slipfitter	730	3000K (Warm), 70 CRI	G	Roadway Gray			/WS2	Multi-Level Motion Sensor, 20ft mounting		
T5S	Type V Sq							K	Black			/WS4	Multi-Level Motion Sensor, 40ft mounting		
FT	Forward Throw											/7PR	7-Pin Receptacle		

ACCESSORIES (SOLD SEPARATELY)
IVA-SF Single Fuse (120V, 277V)
IVA-DF Double Fuse (208V, 240V, 480V)
RSP10GI-277 10kV Surge Protector (120V & 277V)
RSP10GI-480 10kV Surge Protector (480V)

1. Applies to TYPE IV, V Square | 2.Applies to 120-277V