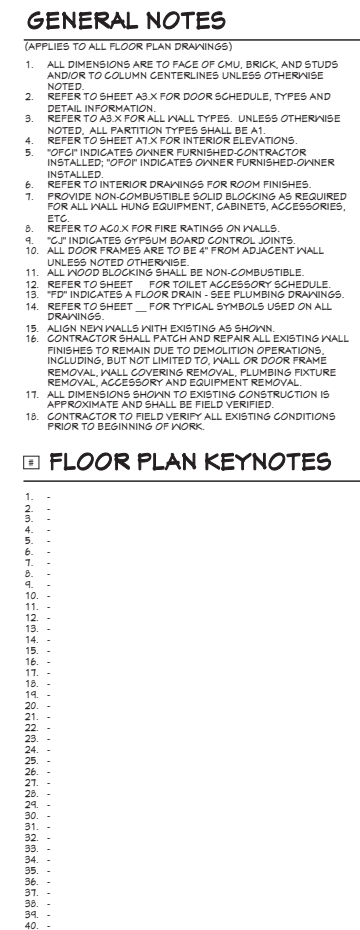


2  
A4.0

OVERALL PARKING LEVEL PLAN -  
BUILDING 1 (BUILDING 2 ROTATED 180°)

1  
A0.1

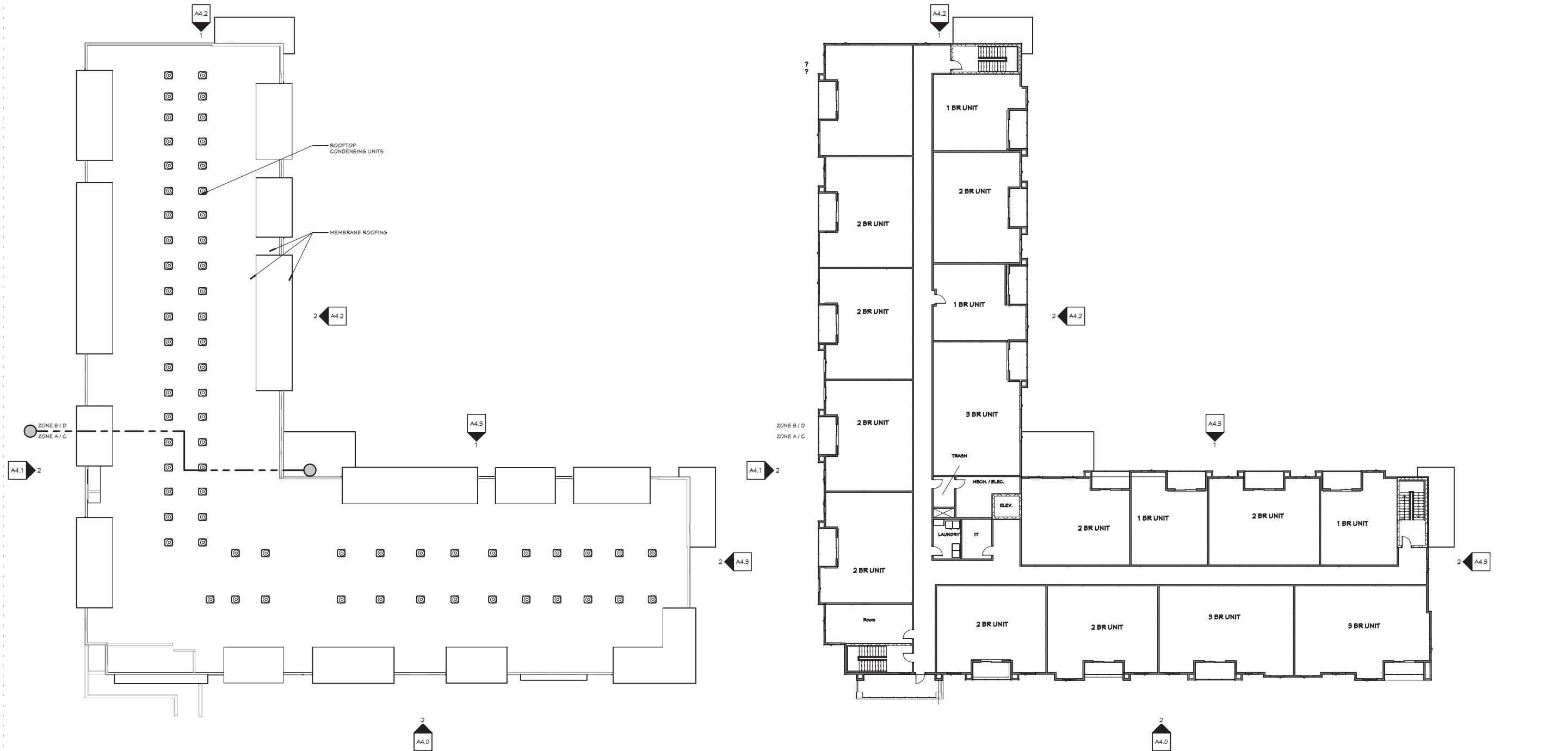
1/16" = 1'-0"



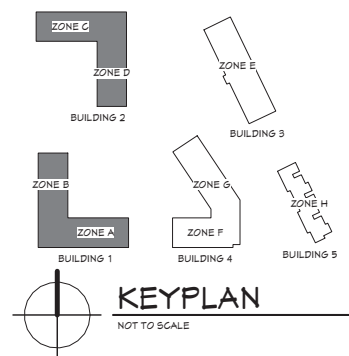
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**OVERALL PLANS -  
BUILDING 1 & 2**

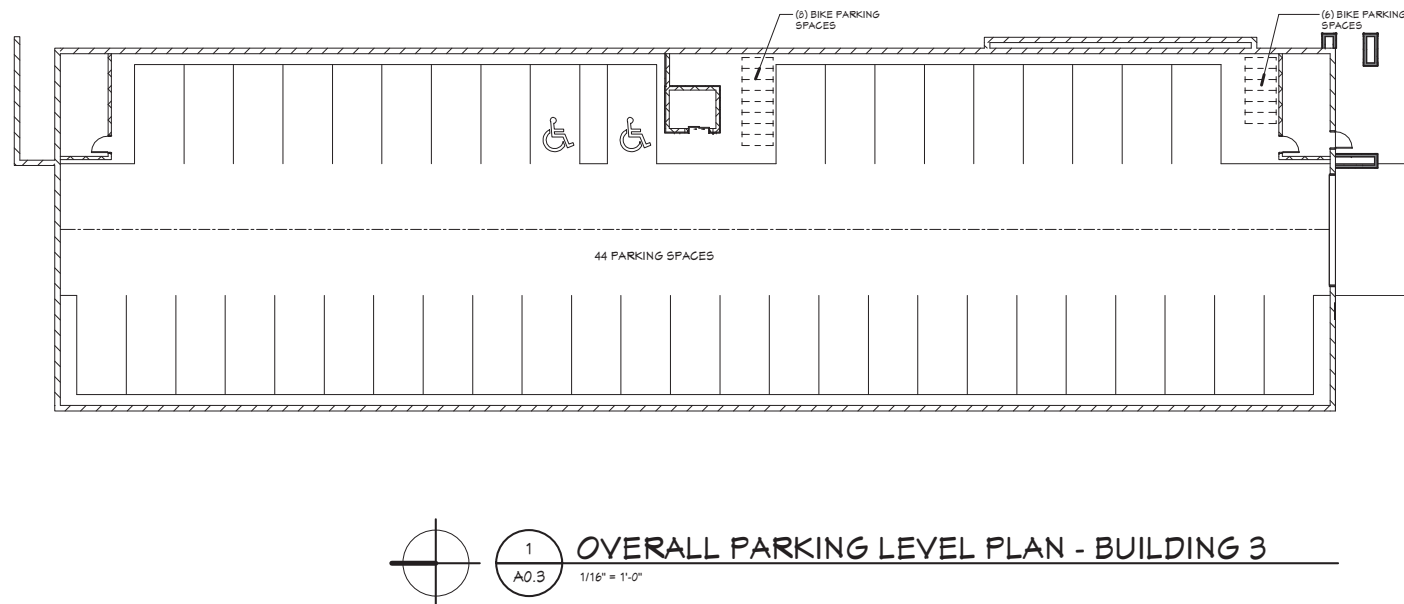
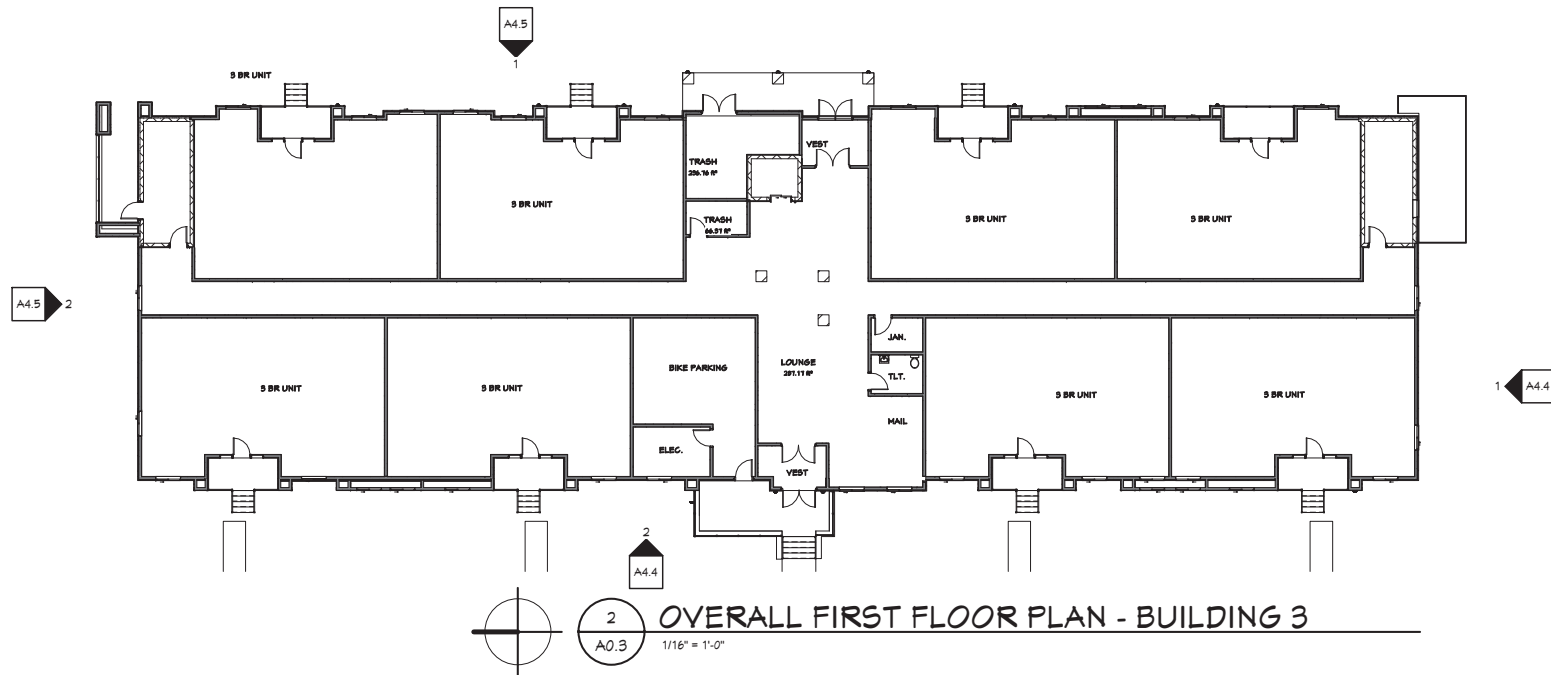
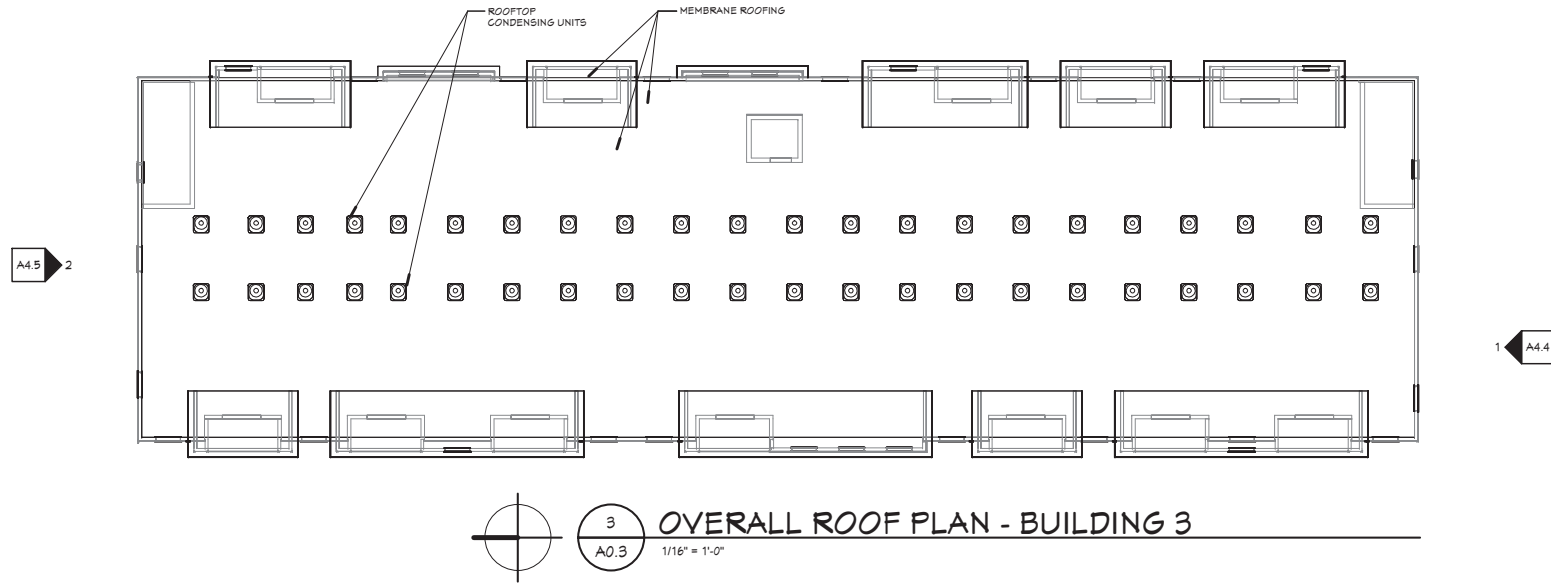
## A0.1



OVERALL SECOND FLOOR PLAN -  
BUILDING 1 (BUILDING 2 ROTATED 180°)  
1/16" = 1'-0"  
(THIRD AND FOURTH SIM)

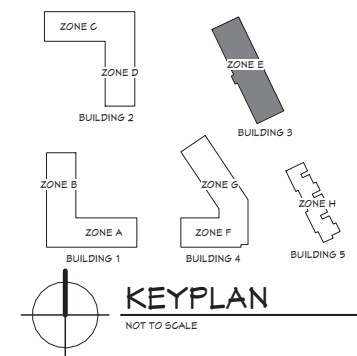

$$1/16'' = 1'-0''$$






**BUILDING 3 SUMMARY:**  
UNIT MIX:  
(15) ONE-BEDROOM UNITS  
(15) TWO-BEDROOM UNITS  
(14) THREE-BEDROOM UNITS  
(44) UNITS TOTAL  
(44) UNDER GROUND PARKING SPACES

**ENCLOSED BIKE PARKING**  
REQUIRED:  
(37) PARKING SPACES  
PROVIDED:  
(37) PARKING SPACES - (12) IN BASEMENT LEVEL AND (25) ON MAIN LEVEL



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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
MADISON, WI

KCG HOUSING DEVELOPMENT

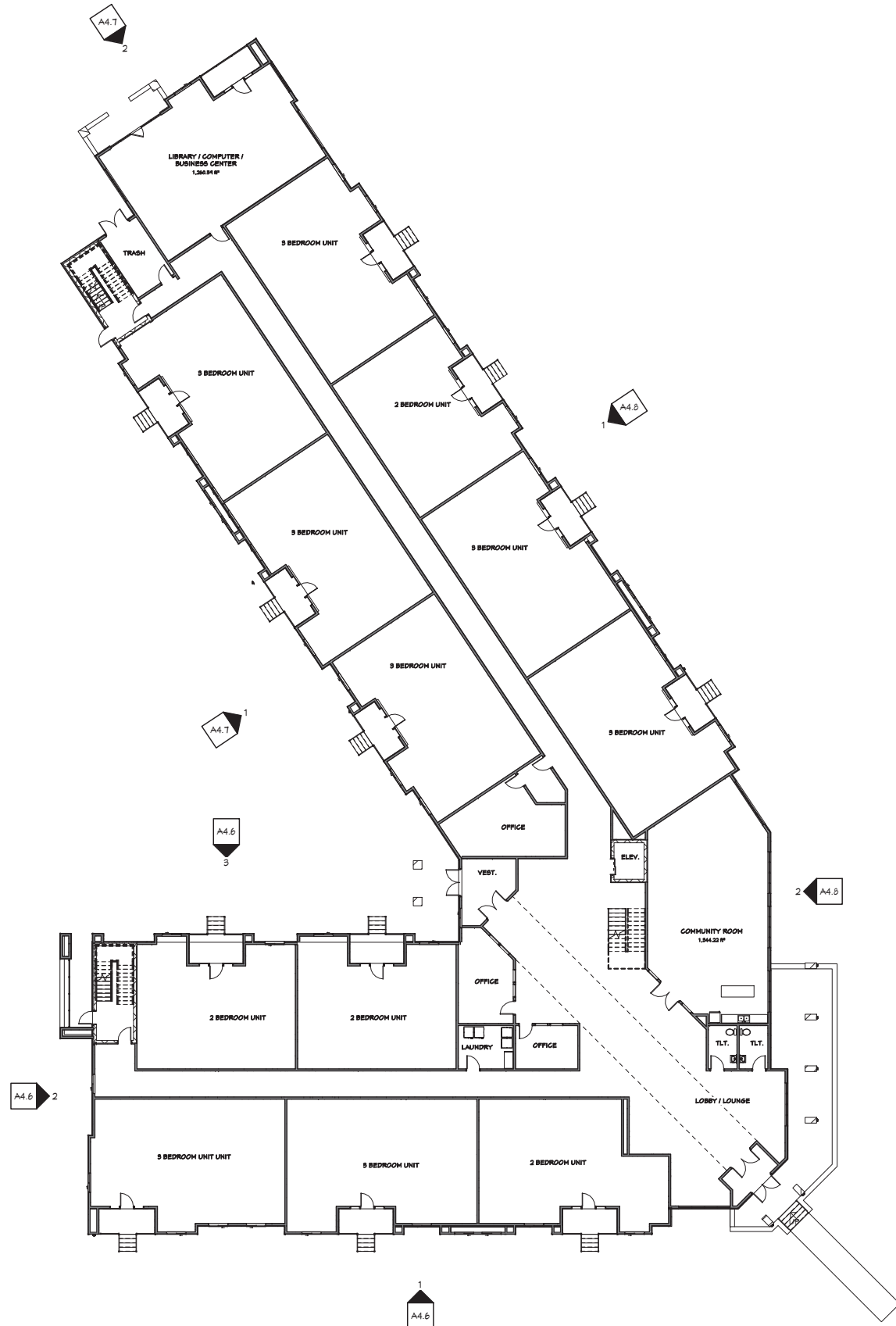
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OVERALL PLANS -  
BUILDING 3

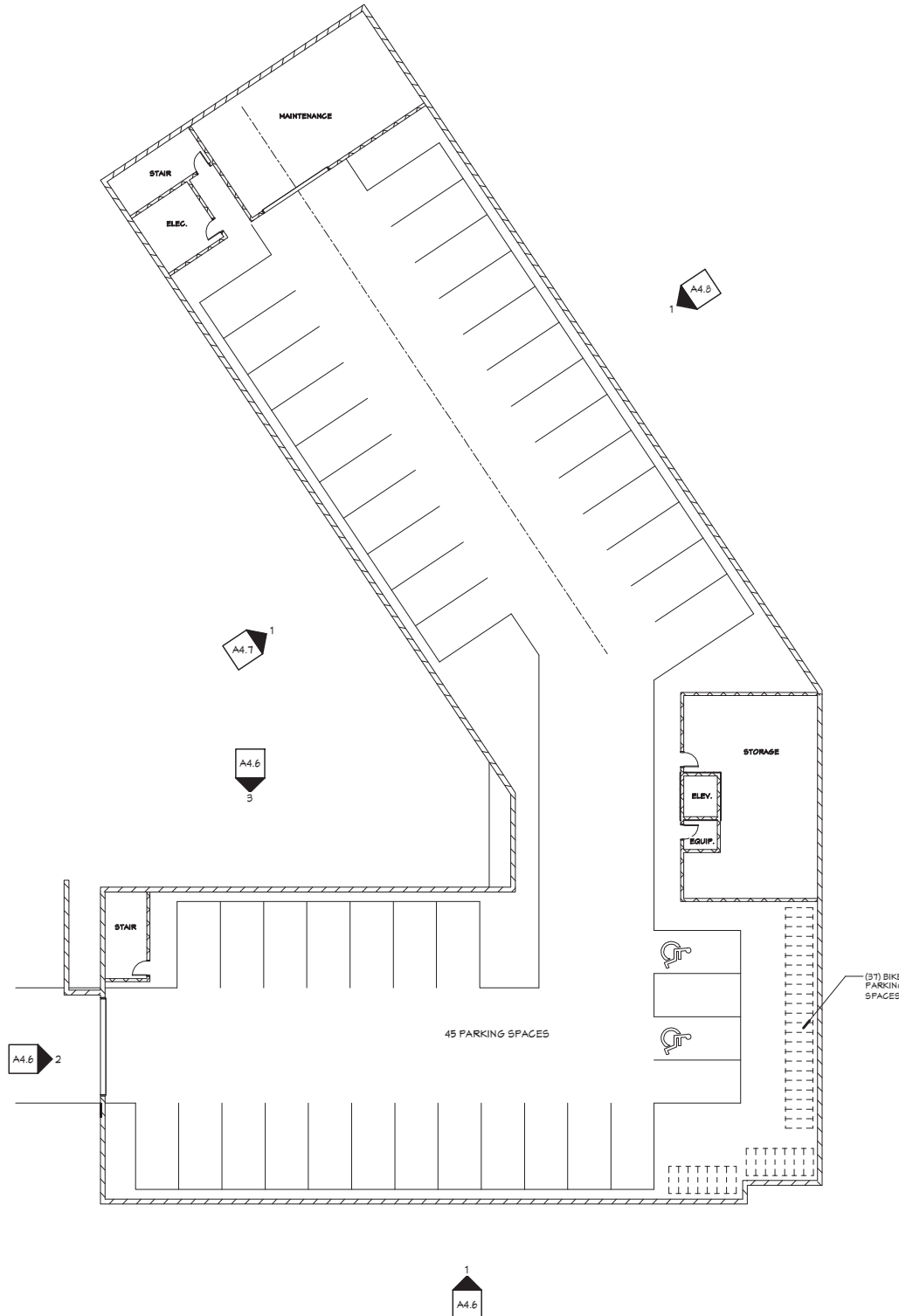
A0.3



1  
A0.4

OVERALL FIRST FLOOR PLAN  
- BUILDING 4

1/16" = 1'-0"



2  
A0.4

OVERALL PARKING LEVEL  
PLAN - BUILDING 4

1/16" = 1'-0"

**BUILDING 4 SUMMARY:**

**UNIT MIX:**

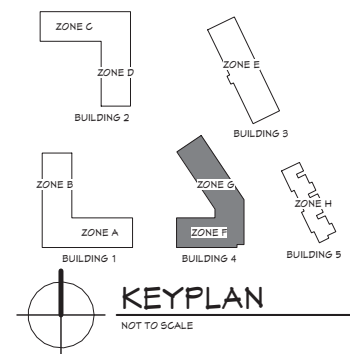
(12) ONE-BEDROOM UNITS  
(18) TWO-BEDROOM UNITS  
(14) THREE-BEDROOM UNITS  
(44) UNITS TOTAL

(65) UNDER GROUND PARKING SPACES

**ENGLOSED BIKE PARKING**

REQUIRED:  
(37) PARKING SPACES

PROVIDED:  
(37) PARKING SPACES PROVIDED IN  
BASEMENT LEVEL



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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
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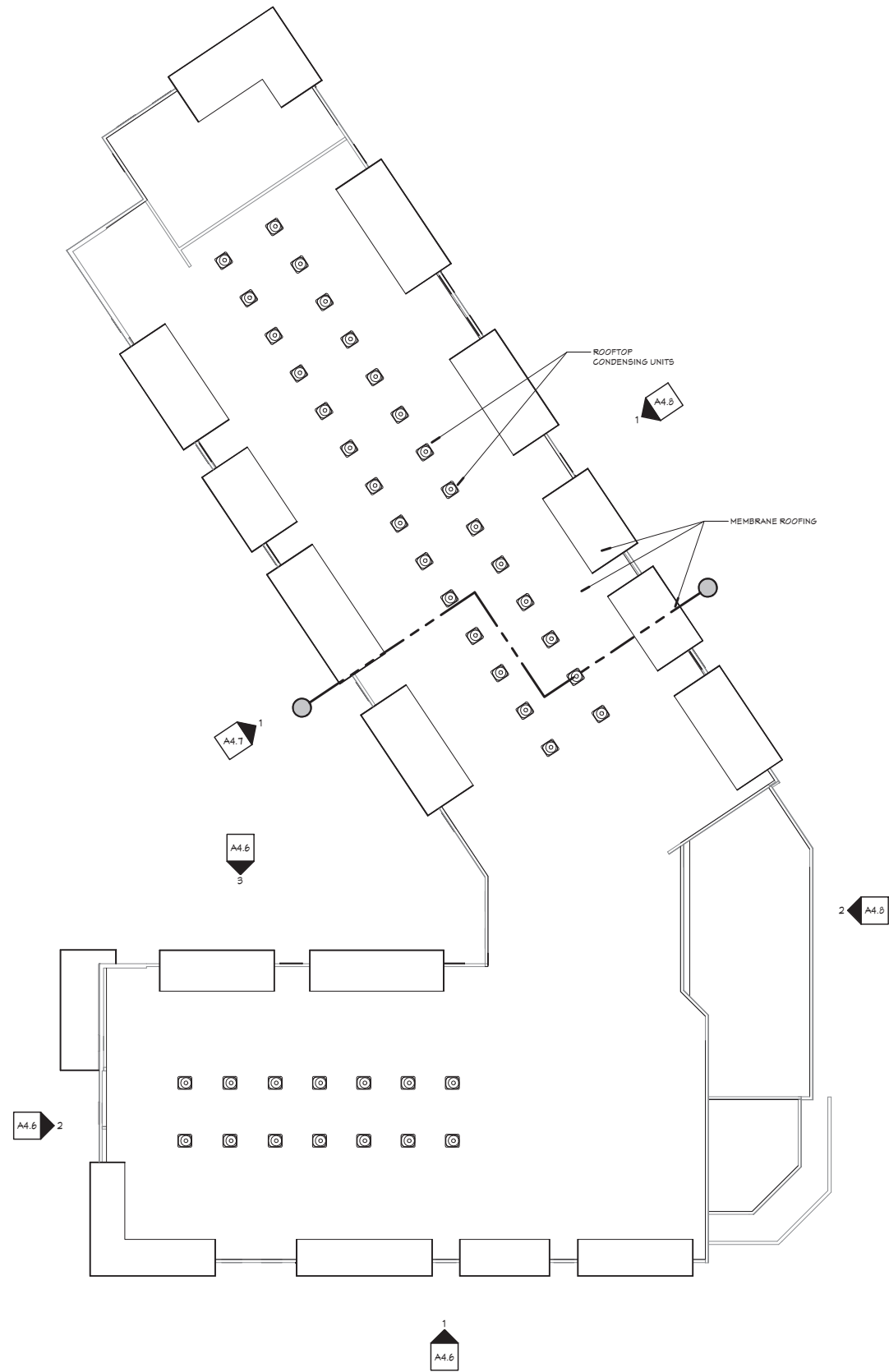
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OVERALL PLANS -  
BUILDING 4

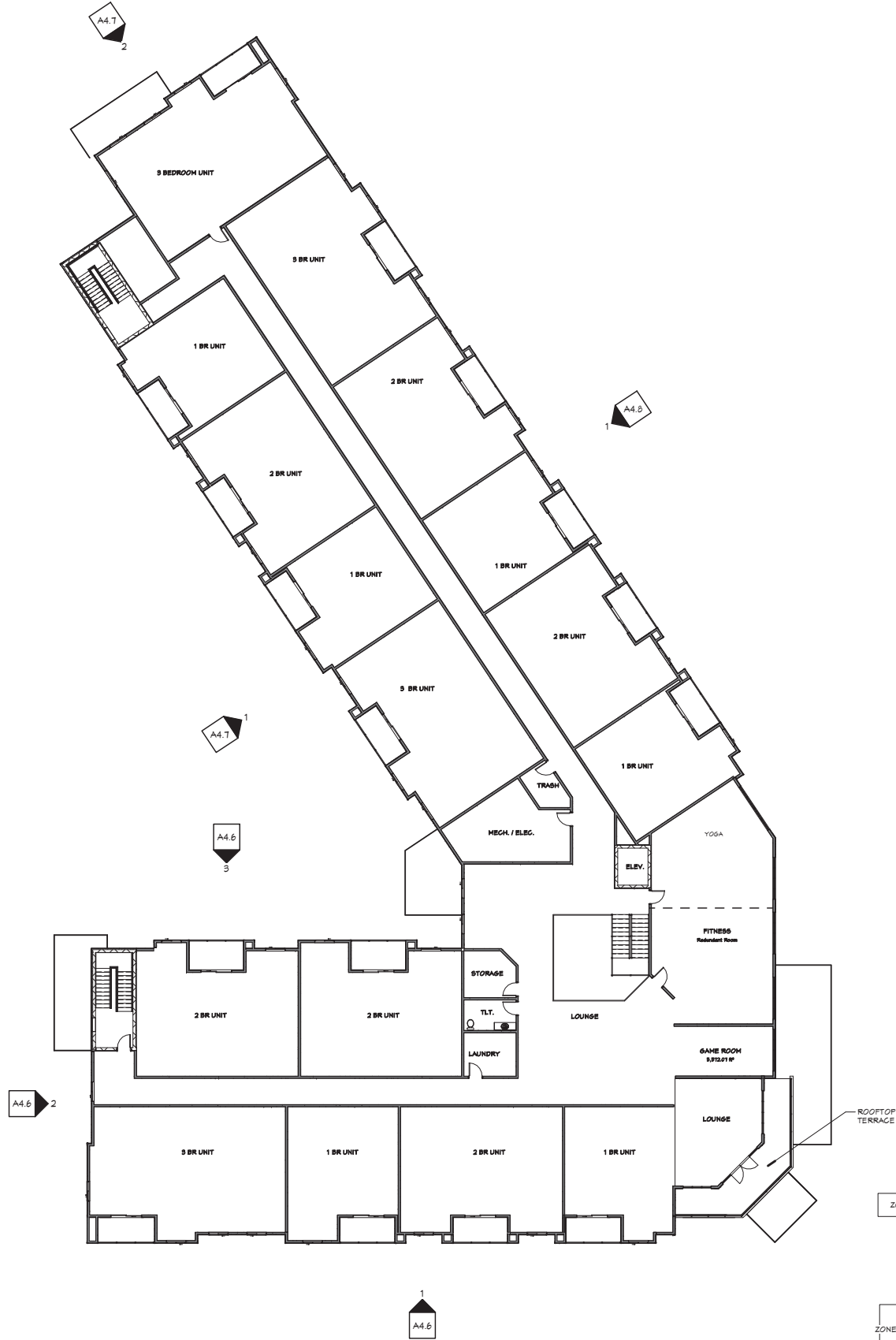
**A0.4**



2  
A0.5

OVERALL ROOF PLAN - BUILDING 4

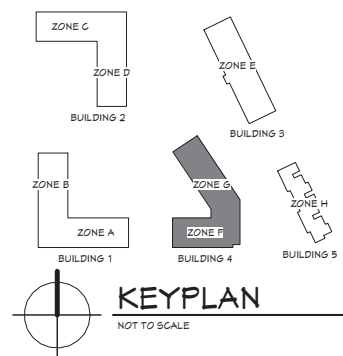
1/16" = 1'-0"



1  
A0.5

OVERALL SECOND FLOOR  
PLAN - BUILDING 4

1/16" = 1'-0"



KEYPLAN

NOT TO SCALE

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**THE MEADOWLANDS**  
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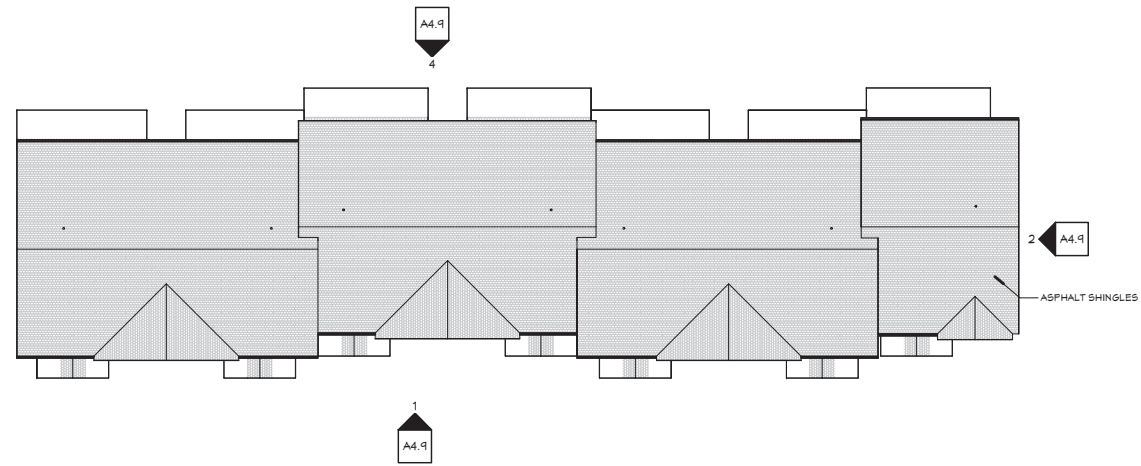
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1	2019.12.18	UDC REVIEW

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OVERALL PLANS -  
BUILDING 4

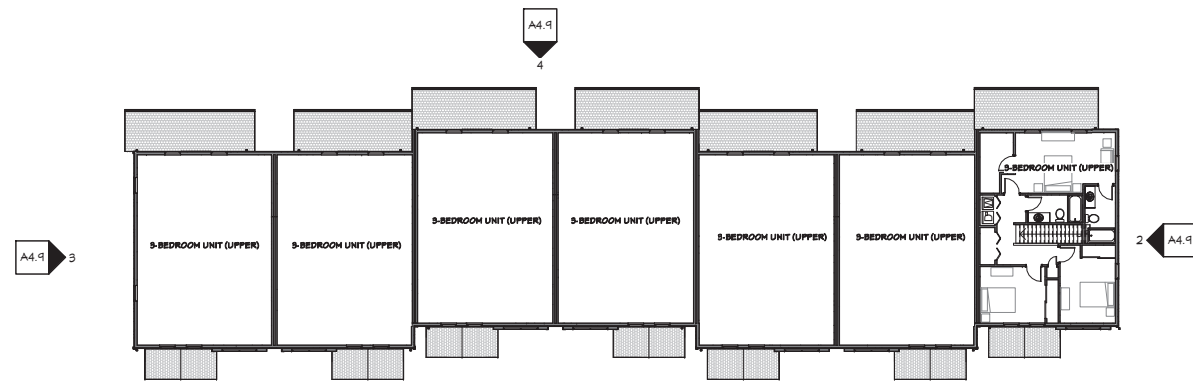
A0.5



OVERALL ROOF PLAN -  
BUILDING 5

3  
A0.6

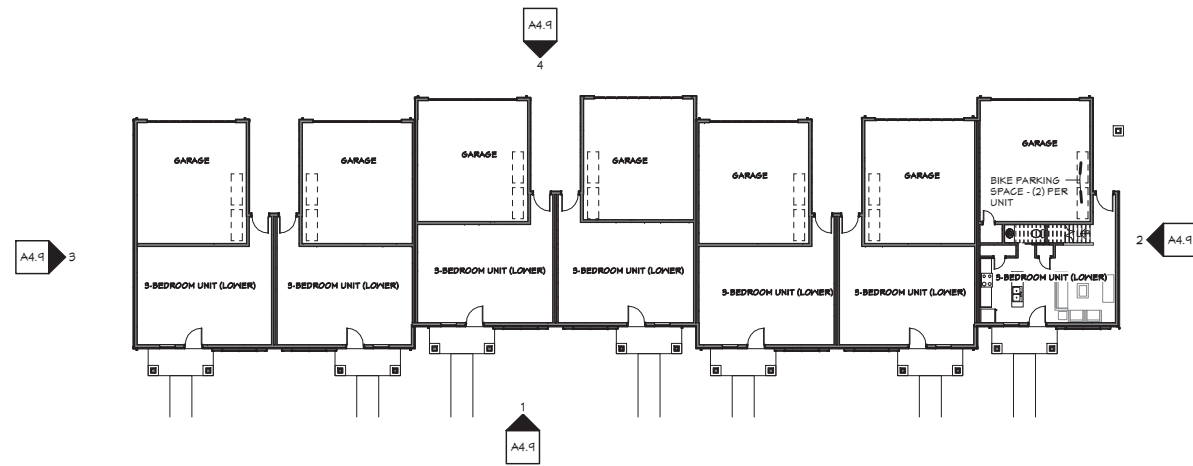
1/16" = 1'-0"



OVERALL SECOND FLOOR  
PLAN - BUILDING 5

2  
A0.6

1/16" = 1'-0"



OVERALL FIRST FLOOR PLAN  
- BUILDING 5

1  
A0.6

1/16" = 1'-0"

**BUILDING 5 SUMMARY:**

UNIT MIX:

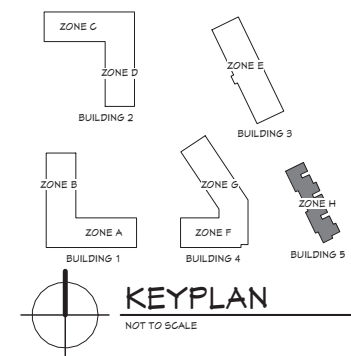
(7) THREE-BEDROOM UNITS  
(7) UNITS TOTAL

(14) GARAGE PARKING SPACES

**ENCLOSED BIKE PARKING:**

REQUIRED:  
(11) PARKING SPACES

PROVIDED:  
(14) PARKING SPACES - 2 SPACES PER UNIT IN  
GARAGE



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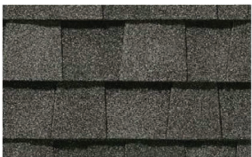
OVERALL PLANS -  
BUILDING 5

**A0.6**





EXTERIOR MATERIALS



ASPHALT SHINGLES  
(TOWNHOMES)  
"COLONIAL SLATE"



FIBER CEMENT SIDING  
ACCENT COLOR  
JAMES HARDIE  
"BOOTHBAY BLUE"



GUARDRAILS  
ALUMINUM  
"BLACK"

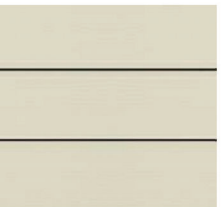


FIBER CEMENT SIDING  
FIELD COLOR  
JAMES HARDIE  
"AGED PEWTER"



Charcoal Grey

ROOF FASCIA /  
BALCONY TRIM  
ALUMINUM  
"CHARCOAL GRAY"



FIBER CEMENT SIDING  
FIELD COLOR  
JAMES HARDIE  
"COBBLE STONE"



VINYL WINDOW  
(APARTMENTS)  
"WHITE"  
DOORS AND TRIM TO  
MATCH



FIBER CEMENT SIDING  
FIELD COLOR  
JAMES HARDIE  
"MONTEREY TAUPE"



VINYL WINDOW  
(APARTMENTS)  
"CLAY"  
TRIM AND ALUMINUM  
STOREFRONT TO  
MATCH WINDOW COLOR



THIN VENEER STONE  
BORAL - COUNTRY  
LEDGESTONE  
"ASHFALL"



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MULTI-FAMILY HOUSING  
THE MEADOWLANDS  
MADISON, WI  
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EXTERIOR  
MATERIALS

A4.0



GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL. DRYER VENTS TO PENETRATE AT SIDEWALL.

ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR  
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE  
3. FIBER CEMENT PANEL  
4. FIBER CEMENT TRIM  
5. STONE VENEER  
6. STONE WATERTABLE  
7. VINYL WINDOW WITH FIBER CEMENT TRIM  
8. PAINTED STEEL DOOR  
9. VINYL SLIDING PATIO DOOR  
10. DRYER VENT TERMINATION - COLOR TO MATCH TRIM  
11. ALUMINUM FASCIA  
12. LOUVER  
13. DECORATIVE LIGHT FIXTURE  
14. ALUMINUM FASCIA AT BALCONY AND BEAM  
15. CONCRETE STEPS  
16. ALUMINUM GUARDRAIL  
17. ALUMINUM STOREFRONT SYSTEM  
18. BUILDING SIGNAGE  
19. ALUMINUM GUTTER AND DOWNSPOUTS  
20. MECHANICAL PENETRATION  
21. ASPHALT SHINGLES  
22. INSULATED OVERHEAD DOOR  
23. WOOD COLUMN WITH FIBER CEMENT WRAP



2 WEST ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.1 1/8" = 1'-0"



1 SOUTH ELEVATION - BUILDING 1 - (BUILDING 2 -SIM)  
A4.1 1/8" = 1'-0"

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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
MADISON, WI

KCG HOUSING DEVELOPMENT

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ISSUANCE  
No. Date Description  
1 2019.12.18 UDC REVIEW

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EXTERIOR  
ELEVATIONS -  
BUILDING 1 & 2

A4.1

GENERAL ELEVATION NOTES

1. MECHANICAL PENETRATIONS AT 3 AND 4 STORY BUILDINGS TO EXTEND THROUGH ROOF, BELOW PARAPET LEVEL. DRYER VENTS TO PENETRATE AT SIDEWALL.

ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR  
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE  
3. FIBER CEMENT PANEL  
4. FIBER CEMENT TRIM  
5. STONE VENEER  
6. STONE WATERTABLE  
7. VINYL WINDOW WITH FIBER CEMENT TRIM  
8. PAINTED STEEL DOOR  
9. VINYL SLIDING PATIO DOOR  
10. DRYER VENT TERMINATION - COLOR TO MATCH TRIM  
11. ALUMINUM FASCIA  
12. LOUVER  
13. DECORATIVE LIGHT FIXTURE  
14. ALUMINUM FASCIA AT BALCONY AND BEAM  
15. CONCRETE STEPS  
16. ALUMINUM GUARDRAIL  
17. ALUMINUM STOREFRONT SYSTEM  
18. BUILDING SIGNAGE  
19. ALUMINUM GUTTER AND DOWNSPOUTS  
20. MECHANICAL PENETRATION  
21. ASPHALT SHINGLES  
22. INSULATED OVERHEAD DOOR  
23. WOOD COLUMN WITH FIBER CEMENT WRAP



2 WEST ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.1 1/8" = 1'-0"



1 SOUTH ELEVATION - BUILDING 1 - (BUILDING 2 -SIM)  
A4.1 1/8" = 1'-0"

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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
MADISON, WI  
KCG HOUSING DEVELOPMENT

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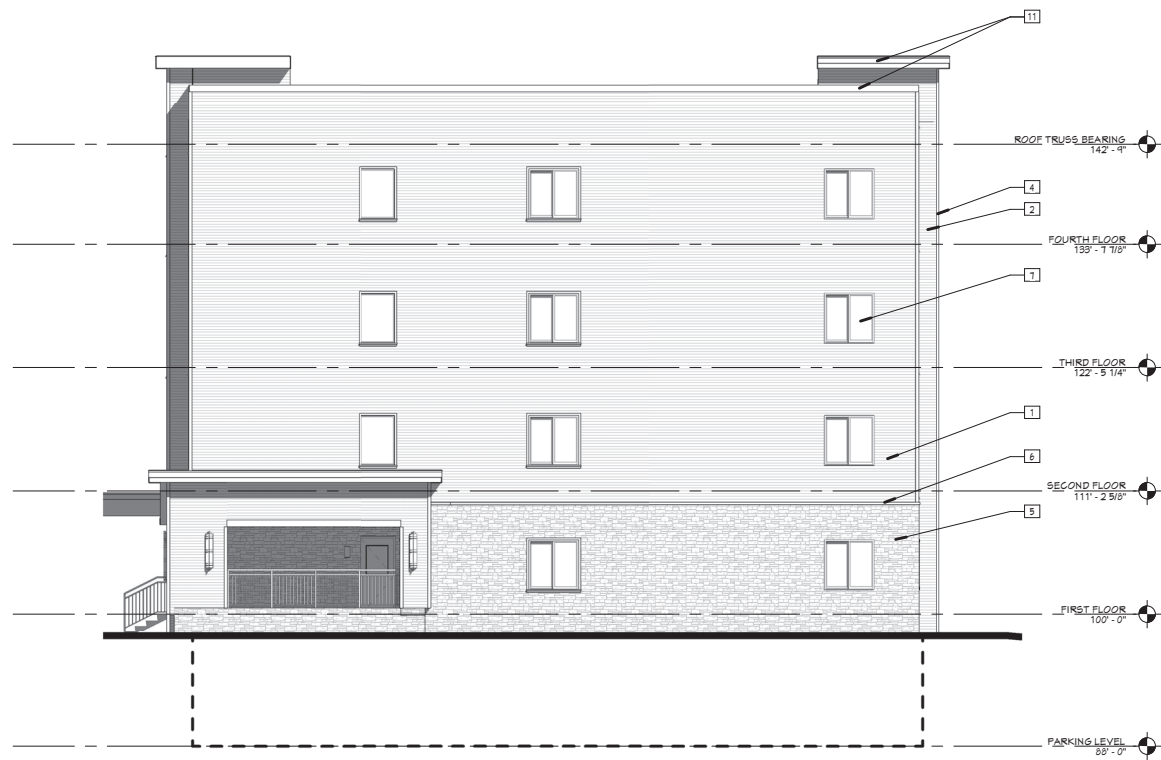
EXTERIOR  
ELEVATIONS -  
BUILDING 1 & 2

A4.1





2 EAST ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.2 1/8" = 1'-0"



1 NORTH ELEVATION - BUILDING 1 (BUILDING 2 SIM)  
A4.2 1/8" = 1'-0"

E ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
3. FIBER CEMENT PANEL
4. FIBER CEMENT TRIM
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. DRYER VENT TERMINATION - COLOR TO MATCH TRIM
11. ALUMINUM FASCIA
12. LOUVER
13. DECORATIVE LIGHT FIXTURE
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP

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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
MADISON, WI

KCG HOUSING DEVELOPMENT

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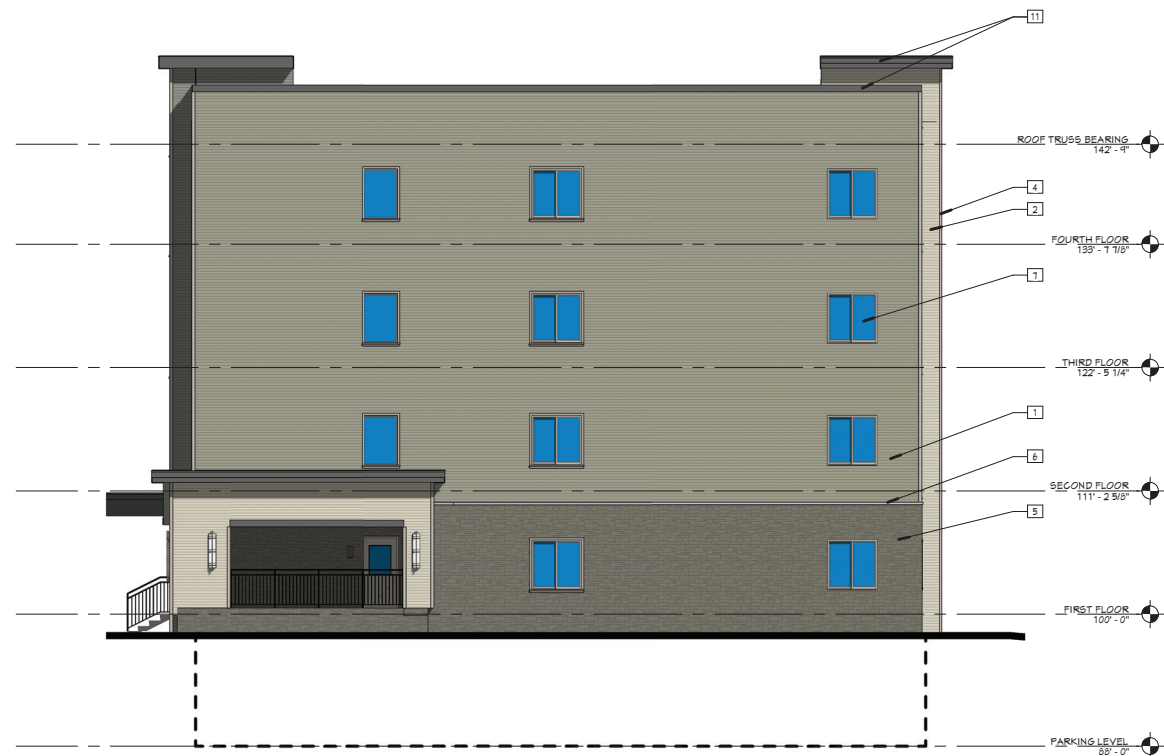
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EXTERIOR  
ELEVATIONS -  
BUILDING 1 & 2

A4.2



2 EAST ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.2 1/8" = 1'-0"



1 NORTH ELEVATION - BUILDING 1 (BUILDING 2 SIM)  
A4.2 1/8" = 1'-0"

E ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
3. FIBER CEMENT PANEL
4. FIBER CEMENT TRIM
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. DRYER VENT TERMINATION - COLOR TO MATCH TRIM
11. ALUMINUM FASCIA
12. LOUVER
13. DECORATIVE LIGHT FIXTURE
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP

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**THE MEADOWLANDS**  
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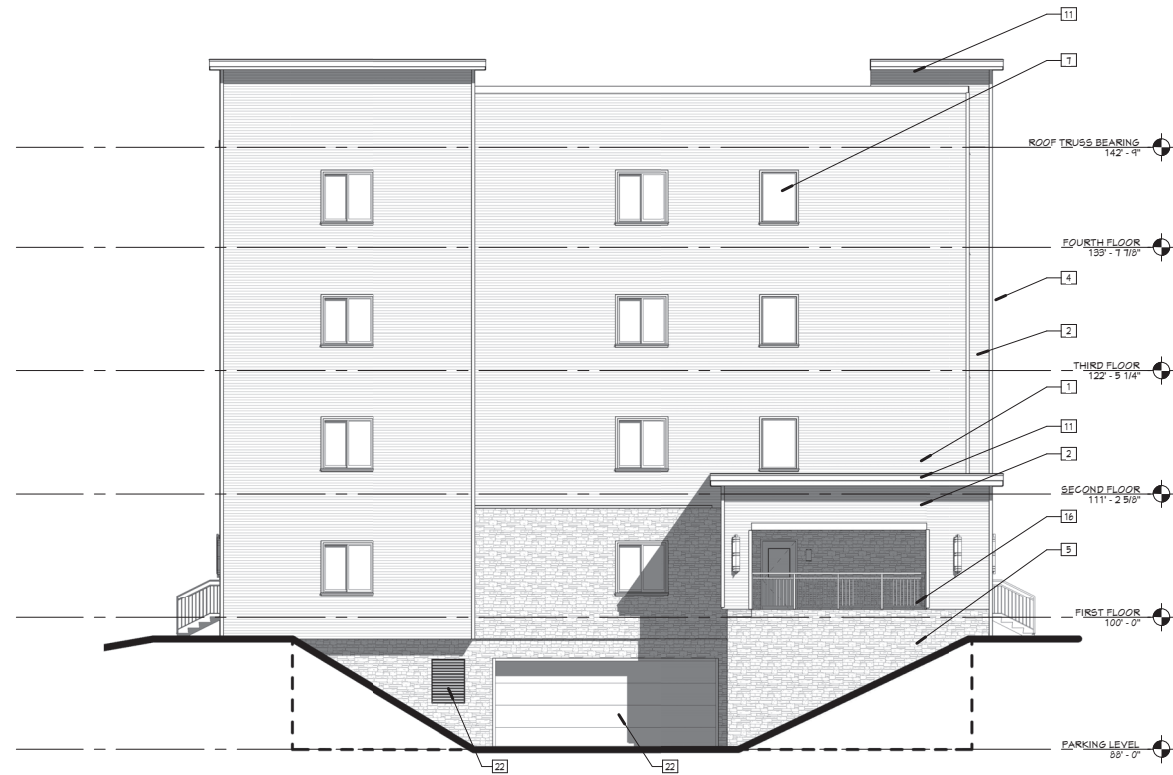
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EXTERIOR  
ELEVATIONS -  
BUILDING 1 & 2

A4.2



2 EAST ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.3 1/8" = 1'-0"



1 NORTH ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.3 1/8" = 1'-0"

#### ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
3. FIBER CEMENT PANEL
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17. ALUMINUM STOREFRONT SYSTEM
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19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP

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MULTI-FAMILY HOUSING  
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EXTERIOR  
ELEVATIONS -  
BUILDING 1 & 2

A4.3





2 EAST ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.3 1/8" = 1'-0"



1 NORTH ELEVATION - BUILDING 1 - (BUILDING 2 SIM)  
A4.3 1/8" = 1'-0"

ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
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15. CONCRETE STEPS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP

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**THE MEADOWLANDS**  
MADISON, WI

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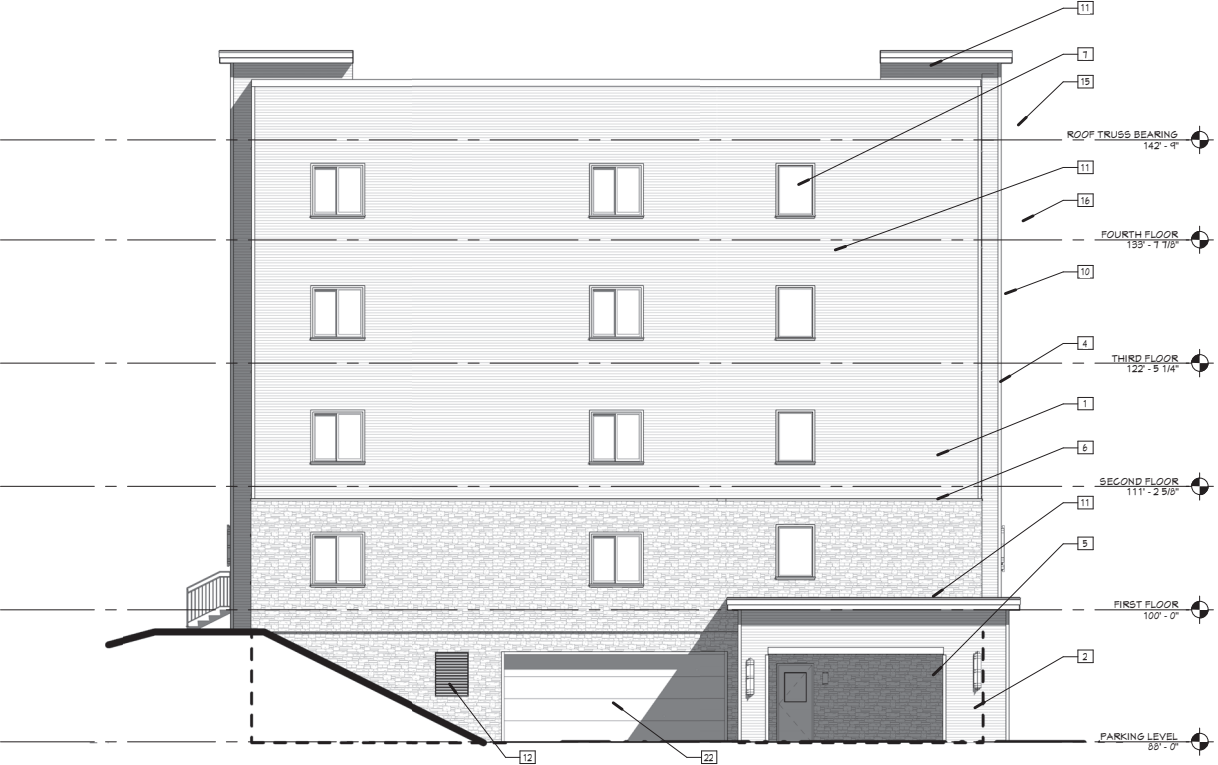
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EXTERIOR  
ELEVATIONS -  
BUILDING 1 & 2

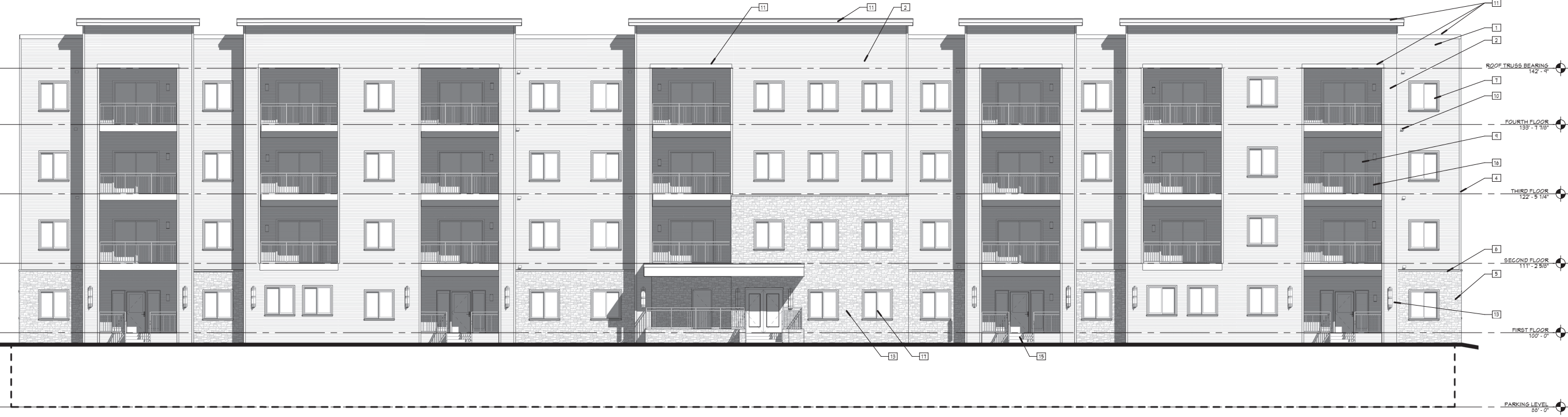
A4.3

ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
3. FIBER CEMENT PANEL
4. FIBER CEMENT TRIM
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. DRIVER VENT TERMINATION - COLOR TO MATCH TRIM
11. ALUMINUM FASCIA
12. LOUVER
13. DECORATIVE LIGHT FIXTURE
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP



1 SOUTH ELEVATION - BUILDING 3  
A4.4 1/8" = 1'-0"



2 WEST ELEVATION - BUILDING 3  
A4.4 1/8" = 1'-0"

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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
MADISON, WI  
KCG HOUSING DEVELOPMENT

Project Number 4-1125		
ISSUANCE		
No.	Date	Description
1	2019.12.18	UDC REVIEW

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CONSTRUCTION

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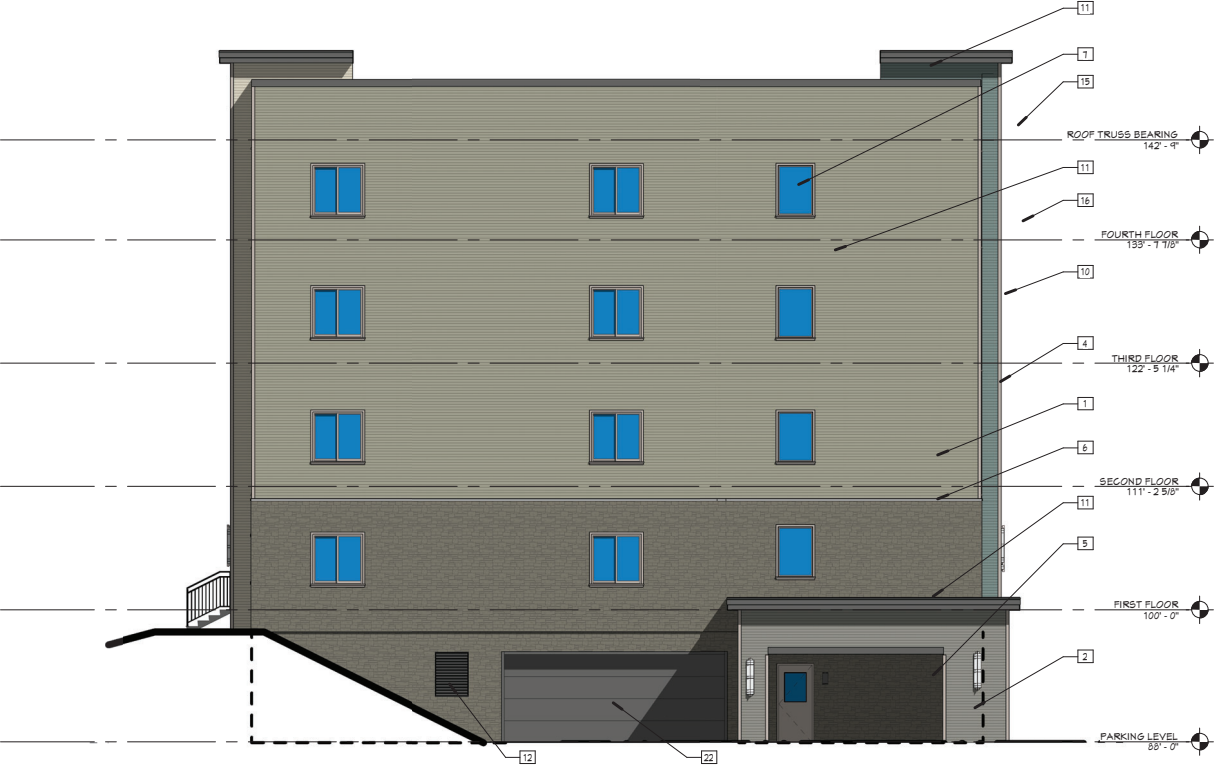
EXTERIOR  
ELEVATIONS -  
BUILDING 3

A4.4



ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
3. FIBER CEMENT PANEL
4. FIBER CEMENT TRIM
5. STONE VENEER
6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. DRYER VENT TERMINATION - COLOR TO MATCH TRIM
11. ALUMINUM FASCIA
12. LOUVER
13. DECORATIVE LIGHT FIXTURE
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP



1 SOUTH ELEVATION - BUILDING 3  
A4.4 1/8" = 1'-0"



2 WEST ELEVATION - BUILDING 3  
A4.4 1/8" = 1'-0"

H

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MULTI-FAMILY HOUSING  
THE MEADOWLANDS  
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EXTERIOR  
ELEVATIONS -  
BUILDING 3

A4.4

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EXTERIOR  
ELEVATIONS -  
BUILDING 3

A4.5

ELEVATION KEYNOTES

- HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
- HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
- FIBER CEMENT PANEL
- FIBER CEMENT TRIM
- STONE VENEER
- STONE WATERTABLE
- PAINTED STEEL DOOR
- VINYL WINDOW WITH FIBER CEMENT TRIM
- VINYL SLIDING PATIO DOOR
- DRYER VENT TERMINATION - COLOR TO MATCH TRIM
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- LOUVER
- DECORATIVE LIGHT FIXTURE
- ALUMINUM FASCIA AT BALCONY AND BEAM
- CONCRETE STEPS
- ALUMINUM GUARDRAIL
- ALUMINUM STOREFRONT SYSTEM
- BUILDING SIGNAGE
- ALUMINUM GUTTER AND DOWNSPOUTS
- MECHANICAL PENETRATION
- ASPHALT SHINGLES
- INSULATED OVERHEAD DOOR
- WOOD COLUMN WITH FIBER CEMENT WRAP



2 NORTH ELEVATION - BUILDING 3  
A4.5 1/8" = 1'-0"



1 EAST ELEVATION - BUILDING 3  
A4.5 1/8" = 1'-0"



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MULTI-FAMILY HOUSING

THE MEADOWLANDS

MADISON, WI

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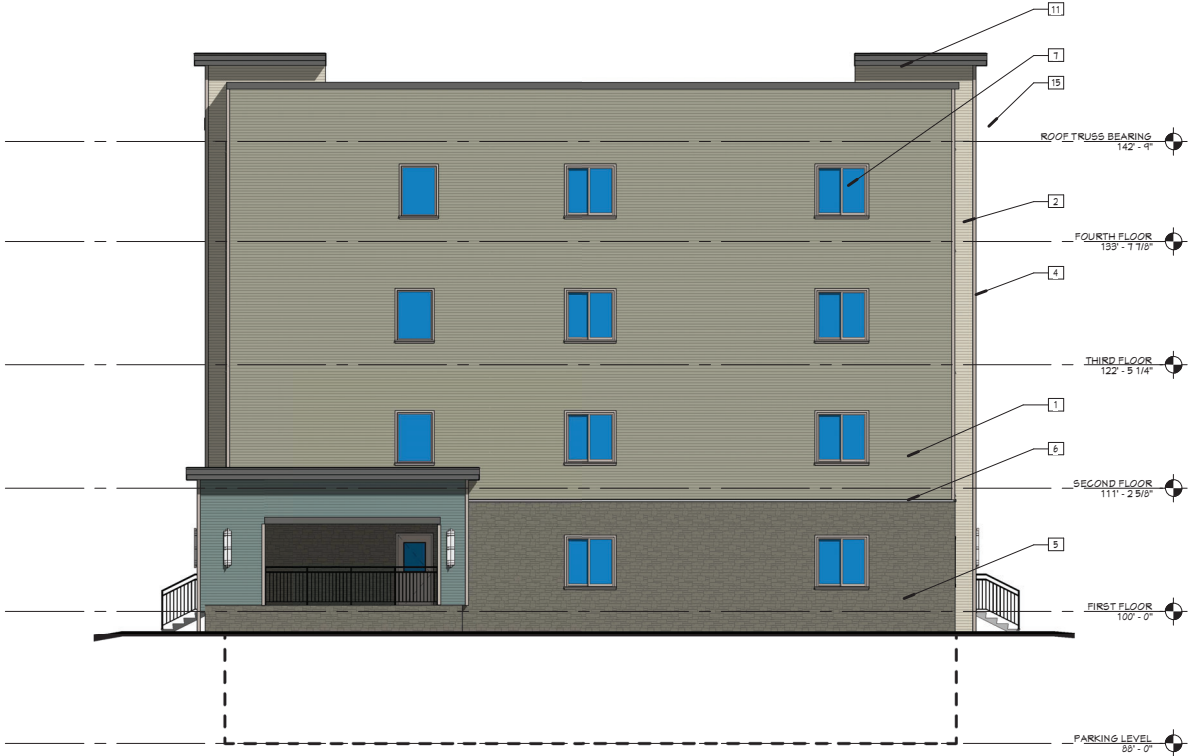
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EXTERIOR ELEVATIONS - BUILDING 3

A4.5

ELEVATION KEYNOTES

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18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP



2 NORTH ELEVATION - BUILDING 3  
A4.5 1/8" = 1'-0"



1 EAST ELEVATION - BUILDING 3  
A4.5 1/8" = 1'-0"

H

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MULTI-FAMILY HOUSING  
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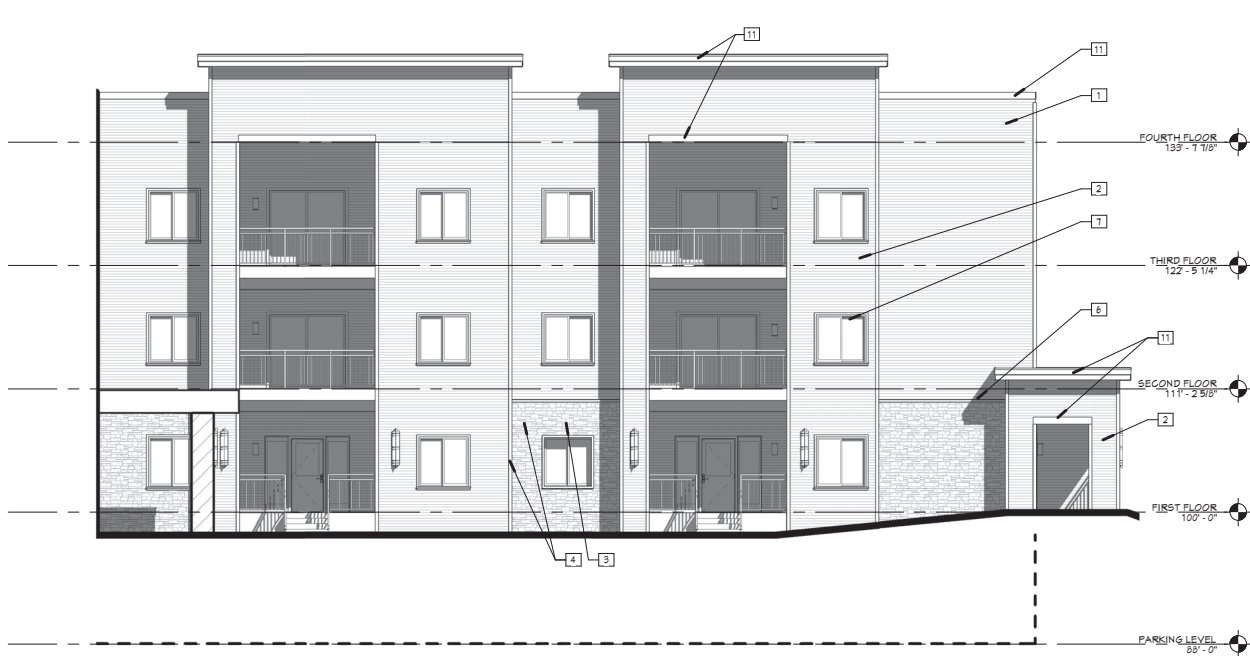
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EXTERIOR ELEVATIONS - BUILDING 4

A4.6

E ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
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18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP



3 NORTH ELEVATION - BUILDING 4  
A4.6 1/8" = 1'-0"



2 WEST ELEVATION - BUILDING 4  
A4.6 1/8" = 1'-0"



1 SOUTH ELEVATION - BUILDING 4  
A4.6 1/8" = 1'-0"



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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
MADISON, WI

KCG HOUSING DEVELOPMENT

Project Number **4-1125**

ISSUANCE

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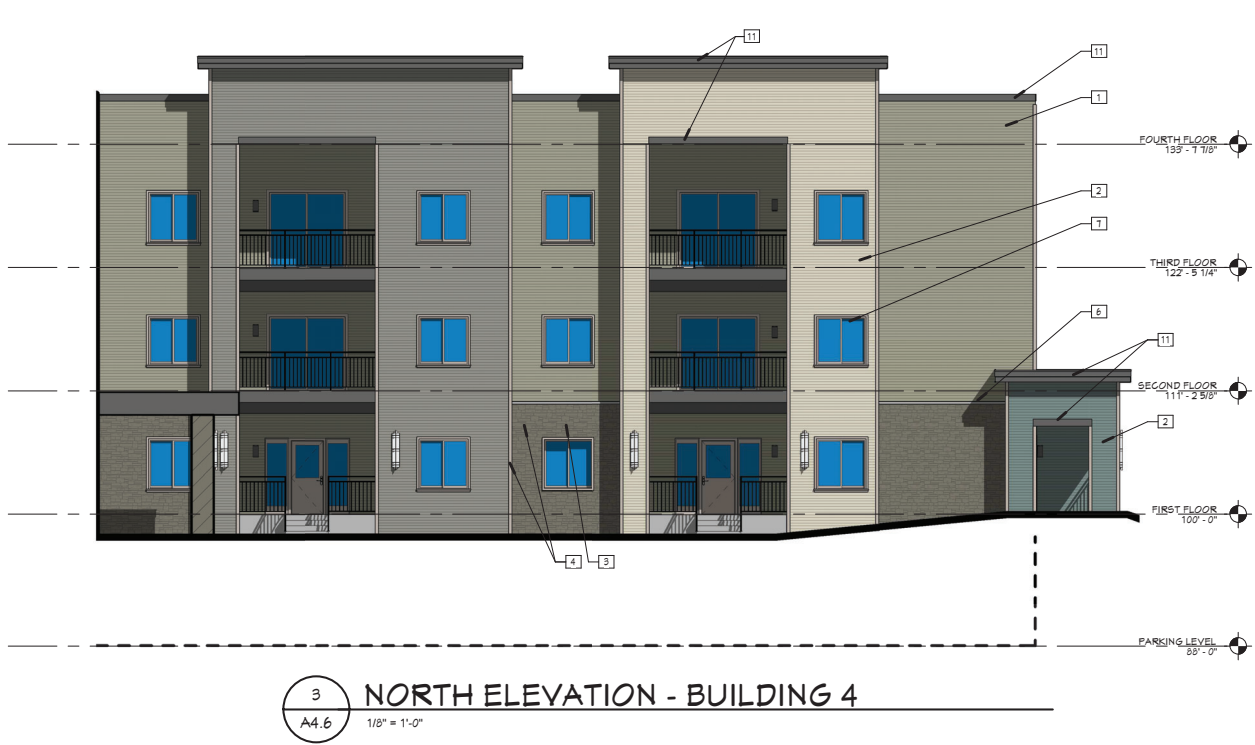
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EXTERIOR ELEVATIONS - BUILDING 4

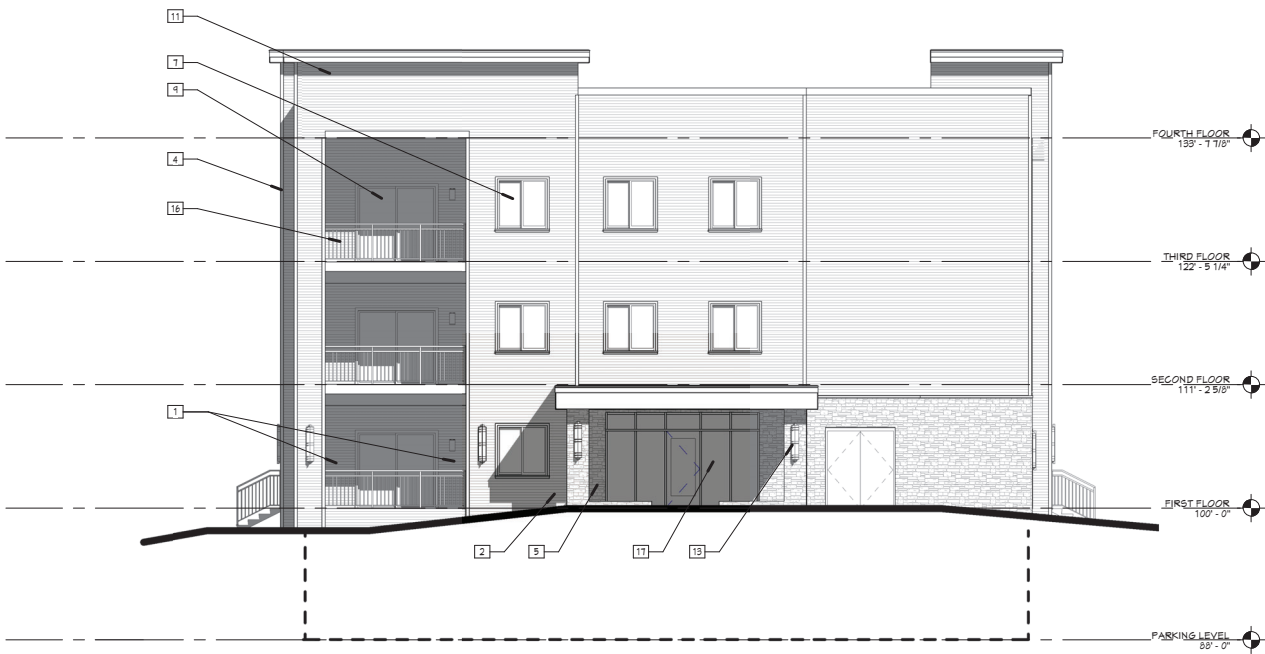
A4.6

E ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
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20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP



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2 NORTHWEST ELEVATION - BUILDING 4  
A4.7 1/8" = 1'-0"



1 SOUTHWEST ELEVATION - BUILDING 4  
A4.7 1/8" = 1'-0"

ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
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17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP

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MULTI-FAMILY HOUSING  
**THE MEADOWLANDS**  
MADISON, WI

KCG HOUSING DEVELOPMENT

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EXTERIOR  
ELEVATIONS -  
BUILDING 4

A4.7

ELEVATION KEYNOTES

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16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. KNOCK COLUMN WITH FIBER CEMENT WRAP



2 NORTHWEST ELEVATION - BUILDING 4  
A4.7 1/8" = 1'-0"



1 SOUTHWEST ELEVATION - BUILDING 4  
A4.7 1/8" = 1'-0"

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MULTI-FAMILY HOUSING  
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MADISON, WI

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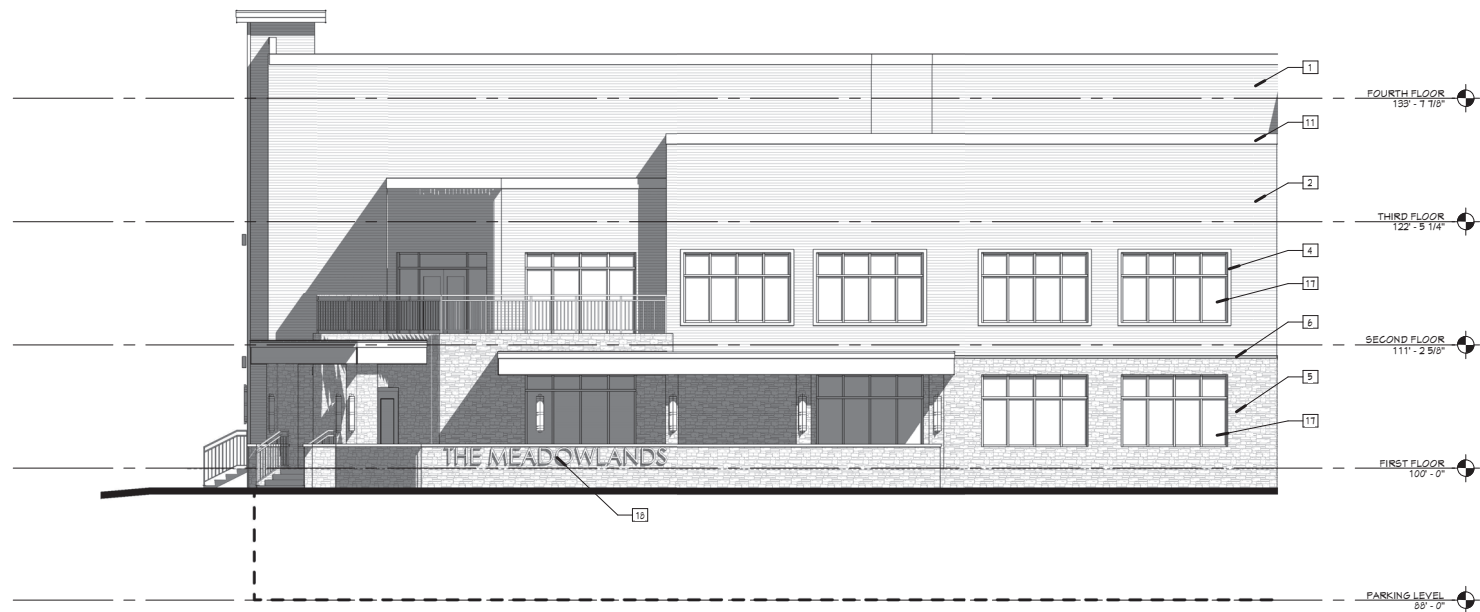
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EXTERIOR  
ELEVATIONS -  
BUILDING 4

A4.7





2  
A4.8  
EAST ELEVATION - BUILDING 4  
1/8" = 1'-0"



1  
A4.8  
NORTHEAST ELEVATION - BUILDING 4  
1/8" = 1'-0"

## ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE OF THREE
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6. STONE WATERTABLE
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8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
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12. LOUVER
13. DECORATIVE LIGHT FIXTURE
14. ALUMINUM FASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. ROOD COLUMN WITH FIBER CEMENT WRAP

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**THE MEADOWLANDS**  
MADISON, WI

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EXTERIOR  
ELEVATIONS -  
BUILDING 4

A4.8

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
2. HORIZONTAL FIBER CEMENT SIDING - ACCENT COLOR, ONE
3. OF THREE
4. FIBER CEMENT PANEL
5. FIBER CEMENT TRIM
6. STONE VENEER
7. STONE WATERTABLE
8. VINYL WINDOW WITH FIBER CEMENT TRIM
9. PAINTED STEEL DOOR
10. VINYL SLIDING PATIO DOOR
11. DRYER VENT TERMINATION - COLOR TO MATCH TRIM
12. ALUMINUM FASCIA
13. LOUVER
14. DECORATIVE LIGHT FIXTURE
15. ALUMINUM FASCIA AT BALCONY AND BEAM
16. CONCRETE STEPS
17. ALUMINUM GUARDRAIL
18. ALUMINUM STOREFRONT SYSTEM
19. BUILDING SIGNAGE
20. ALUMINUM GUTTER AND DOWNSPOUTS
21. MECHANICAL PENETRATION
22. ASPHALT SHINGLES
23. INSULATED OVERHEAD DOOR
24. POOL COLUMN WITH FIBER CEMENT WRAP

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**EXTERIOR  
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BUILDING 4**

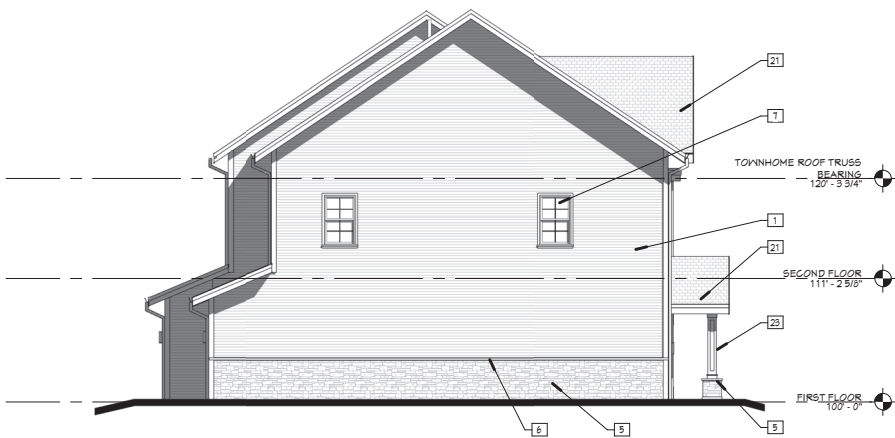
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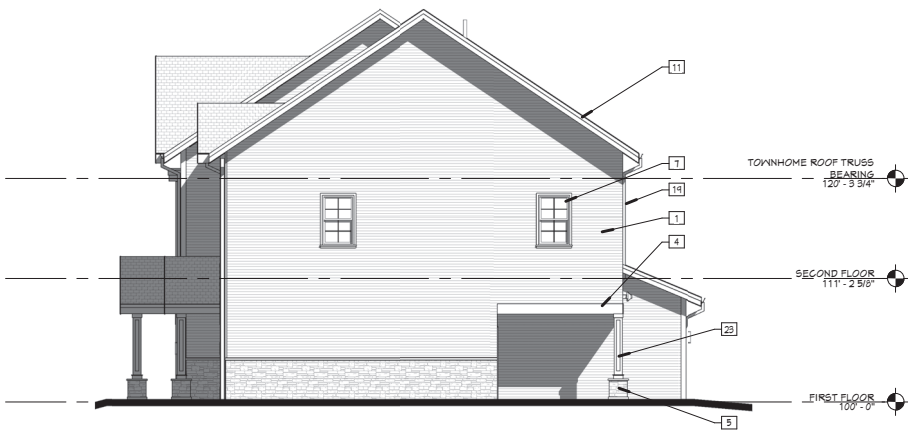




4 EAST ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"



3 NORTH ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"



2 SOUTH ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"



1 WEST ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"

ELEVATION KEYNOTES

1. HORIZONTAL FIBER CEMENT SIDING - FIELD COLOR
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6. STONE WATERTABLE
7. VINYL WINDOW WITH FIBER CEMENT TRIM
8. PAINTED STEEL DOOR
9. VINYL SLIDING PATIO DOOR
10. DRYER VENT TERMINATION - COLOR TO MATCH TRIM
11. ALUMINUM PASCIA
12. LOUVER
13. DECORATIVE LIGHT FIXTURE
14. ALUMINUM PASCIA AT BALCONY AND BEAM
15. CONCRETE STEPS
16. ALUMINUM GUARDRAIL
17. ALUMINUM STOREFRONT SYSTEM
18. BUILDING SIGNAGE
19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP

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EXTERIOR  
ELEVATIONS -  
BUILDING 5

A4.9

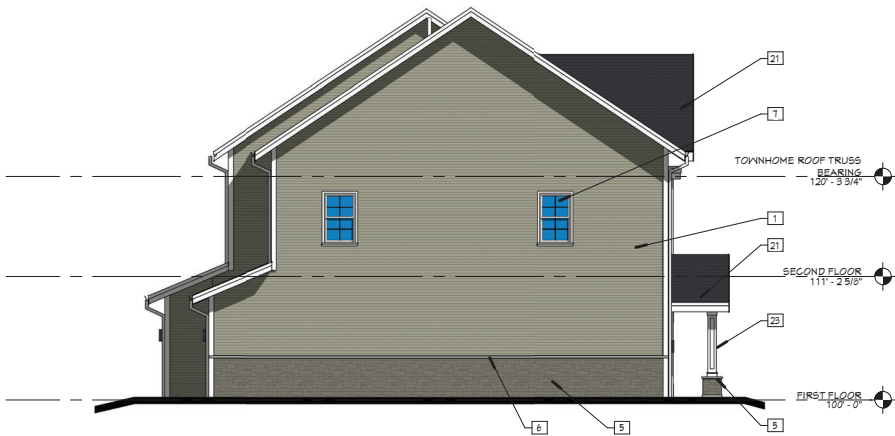




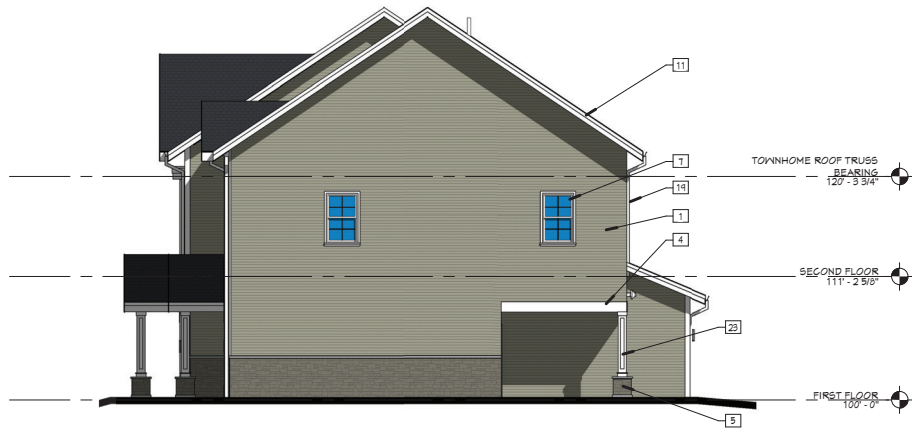
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19. ALUMINUM GUTTER AND DOWNSPOUTS
20. MECHANICAL PENETRATION
21. ASPHALT SHINGLES
22. INSULATED OVERHEAD DOOR
23. WOOD COLUMN WITH FIBER CEMENT WRAP

4 EAST ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"



3 NORTH ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"



2 SOUTH ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"



1 WEST ELEVATION - BUILDING 5  
A4.9 1/8" = 1'-0"

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EXTERIOR  
ELEVATIONS -  
BUILDING 5

A4.9





VIEW DOWN WIND STONE DRIVE



VIEW ALONG MILWAUKEE AVE





VIEW FROM MILWAUKEE AVE





VIEW ALONG WIND STONE





VIEW FROM MILWAUKEE AVE



VIEW FROM CORNER OF MILWAUKEE AND WIND STONE



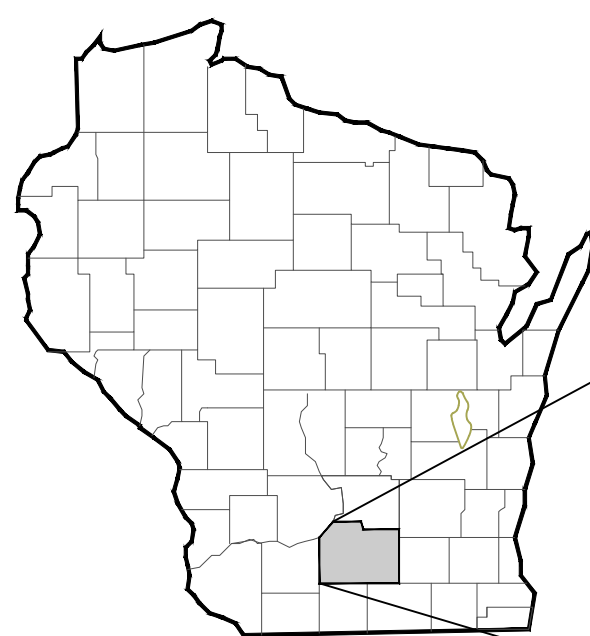


VIEW ALONG WIND STONE

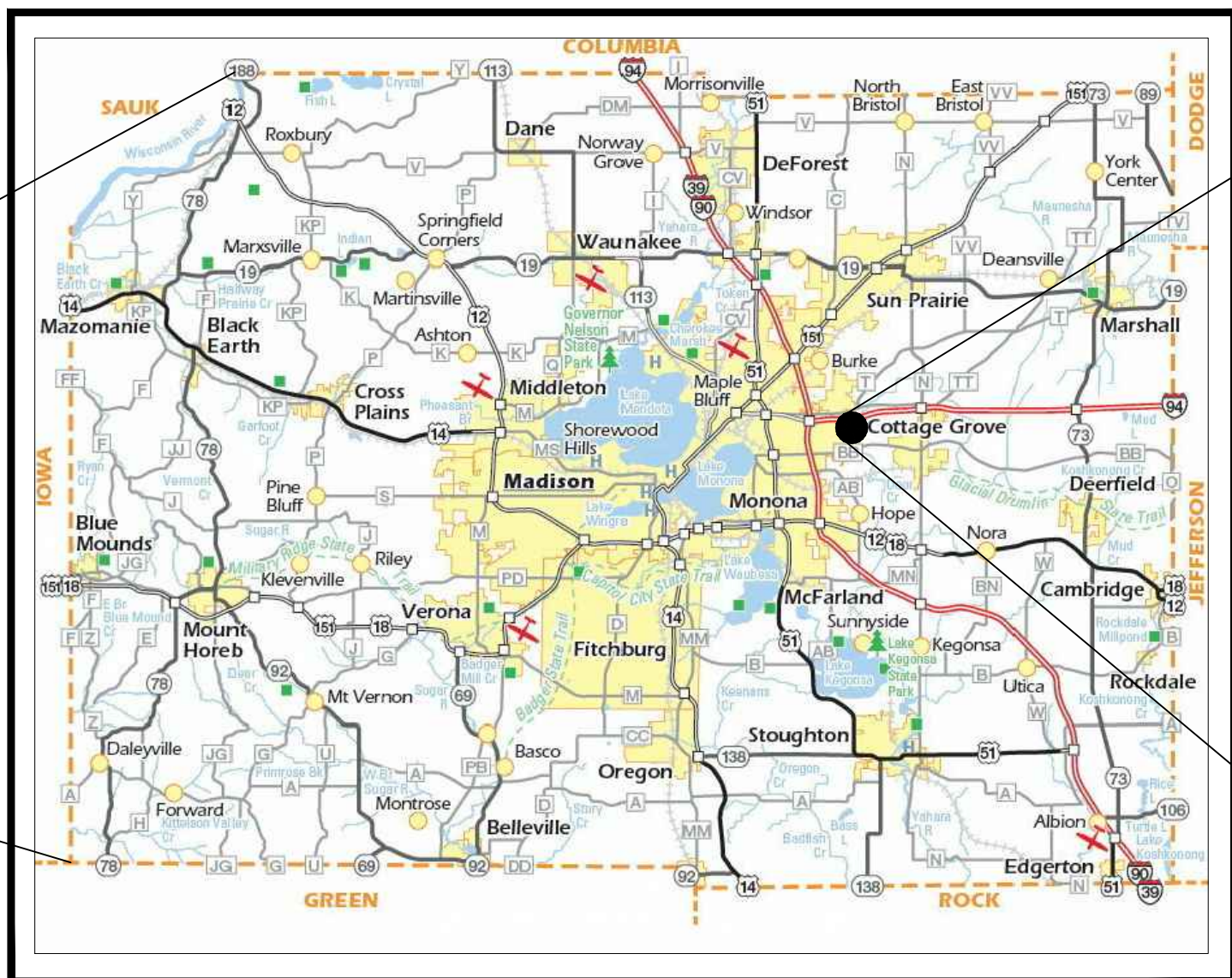


# THE MEADOWLANDS - PHASE 11 CONSTRUCTION PLANS

SECTION 1, TOWNSHIP 7N, RANGE 10E

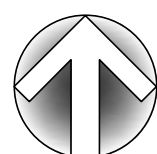


REGIONAL MAP



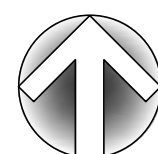
DANE COUNTY

DANE COUNTY, WISCONSIN



SITE LOCATION MAP

CITY OF MADISON,  
DANE COUNTY, WISCONSIN



SHEET #	SHEET TITLE
T 1.0	TITLE SHEET
C 1.0	EX. SITE PLAN
C 1.1	SITE PLAN
C 2.0	GRADING PLAN
C 3.0	UTILITY PLAN
C 4.0	EROSION DETAILS
C 4.1	SITE DETAILS
C 4.2	UTILITY DETAILS
L 1.0	LANDSCAPE NOTES
L 2.0 - L 2.3	LANDSCAPE PLANS
L 4.0 - L 4.1	LANDSCAPE DETAILS
E 1.0	LIGHTING PLAN

## BENCHMARK # 1

TOP NUT OF HYDRANT ON THE NORTH SIDE OF  
MAIN STREET WEST OF LEGACY WAY  
ELEVATION = 973.97'

## BENCHMARK # 3

TOP NUT OF HYDRANT ON THE SOUTH SIDE  
OF MAIN STREET  
ELEVATION = 976.38

## CAUTION:

CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS, THESE LOCATIONS SHALL  
NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF  
ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS  
A CONDITION OF THE CONTRACT. FOR EXACT LOCATION CONTACT DIGGERS HOTLINE  
1-800-242-8511

## BENCHMARK # 2

TOP NUT OF HYDRANT AT THE NORTH EAST CORNER  
OF THE PROPOSED INTERSECTION OF  
MAIN STREET & LEGACY WAY  
ELEVATION = 973.50

## BENCHMARK # 4

TOP NUT OF HYDRANT ON THE SOUTH SIDE  
OF MAIN STREET  
ELEVATION = 979.98

LEGEND	PROPOSED	EXISTING
PROPERTY LINE	---	---
PHASING LIMIT LINE	---	---
INDEX CONTOUR	---	---
INTERMEDIATE CONTOUR	---	---
WATER MAIN	W	---
SANITARY SEWER	---	---
STORM SEWER	---	---
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
STORM INLET	⊙	⊙
FIRE HYDRANT	⊙	⊙

THE MEADOWLANDS - PHASE 11

TITLE SHEET

MADISON, WI

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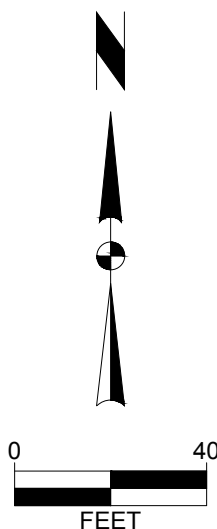
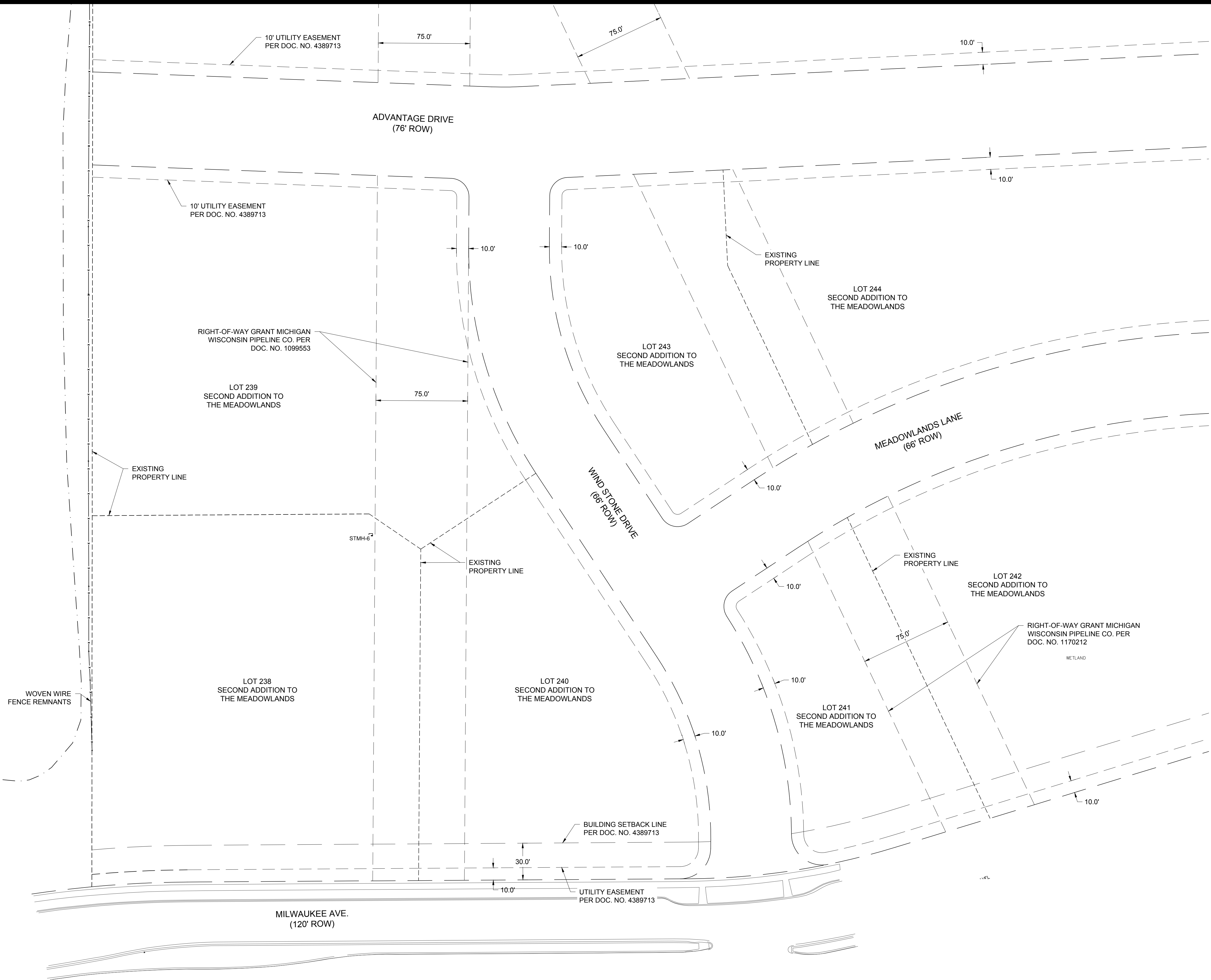


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REVISION	DATE	BY	NOTED
REMOVE UNDERGROUND STORMWATER	12/17/19	BCA	
Engineer: BCA	Checked By: MLC	Scale: 1"=	Field Bk:
Technician: BCA	Date: 01-07-2019		
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THE MEADOWLANDS - PHASE 11

EXISTING SITE PLAN



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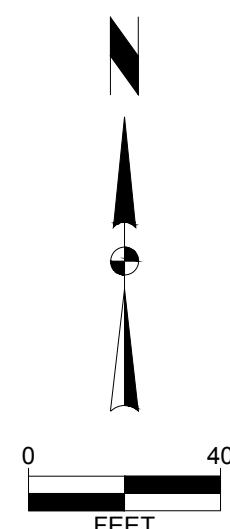
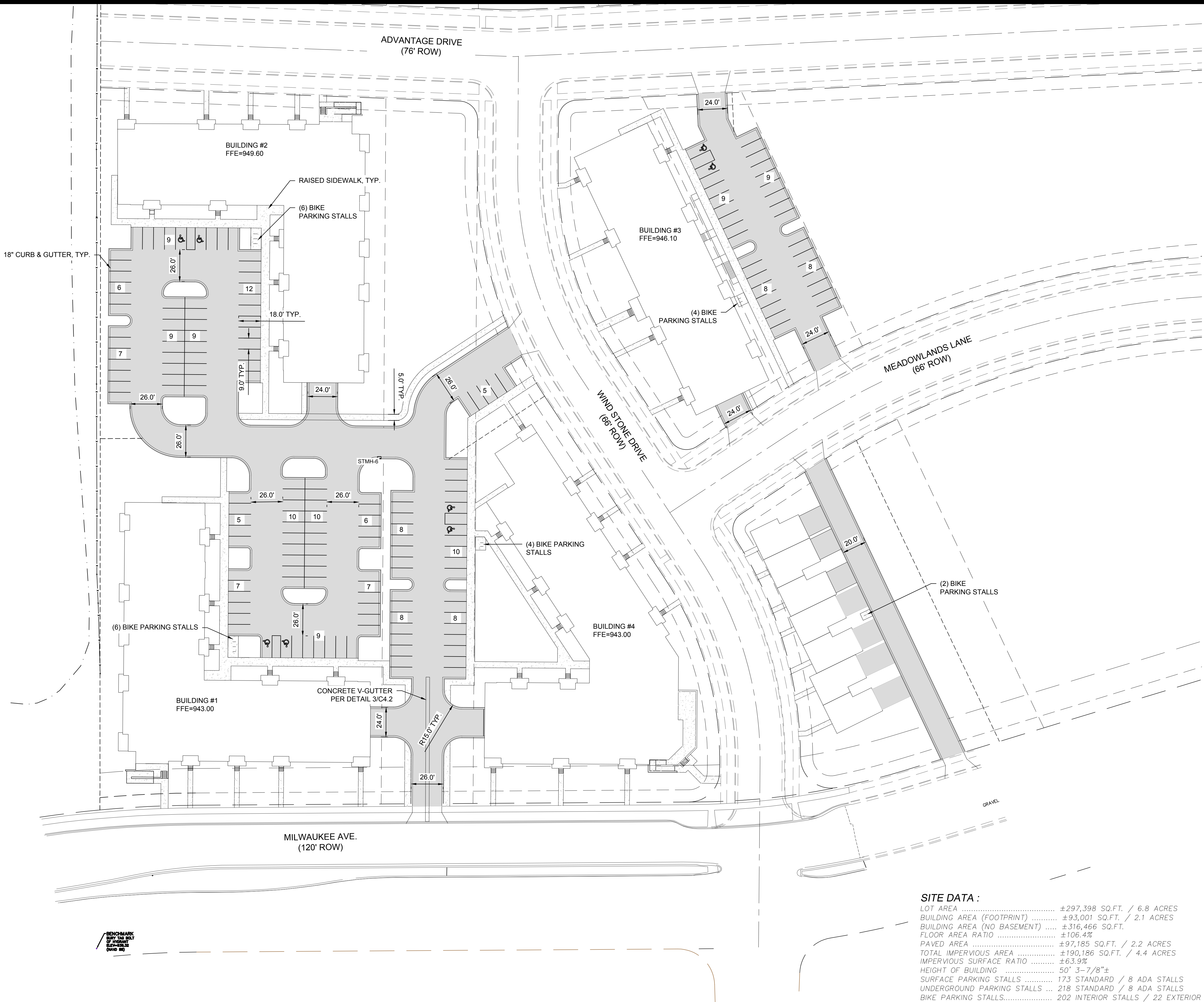
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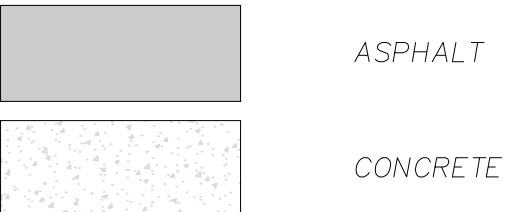
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LEGEND



NOTES

1. STORMWATER MANAGEMENT REQUIREMENTS WILL BE MET UNDERGROUND.
2. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OF ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
3. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
4. ALL DAMAGE TO THE PAVEMENT ON UNIVERSITY AVENUE AND CAPITOL DRIVE, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
5. THE CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.

GENERAL CONDITIONS

1. THE CONTRACTOR SHALL NOTIFY THE OWNER TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD LOCATING OF EXISTING UTILITIES.
8. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
10. REMOVE SIDEWALKS TO THE NEAREST JOINT.
11. SAW CUTS SHALL BE FULL DEPTH PRIOR TO REMOVAL.
12. CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR A 2" DIAMETER HORSECHESNUT TREE DUE TO CONFLICT WITH PROPOSED DRIVEWAY LOCATED AT 3RD TREE ON UNIVERSITY AVE. FROM CAPITAL AVE. PLEASE CONTACT BRAD HOFMANN - BHOFMANN@CITYOFMADISON.COM OR 266-4816 TO OBTAIN STREET TREE REMOVAL PERMIT.

SITE DATA :

LOT AREA .....	±297,398 SQ.FT. / 6.8 ACRES
BUILDING AREA (FOOTPRINT) .....	±93,001 SQ.FT. / 2.1 ACRES
BUILDING AREA (NO BASEMENT) .....	±316,466 SQ.FT.
FLOOR AREA RATIO .....	±106.4%
PAVED AREA .....	±97,185 SQ.FT. / 2.2 ACRES
TOTAL IMPERVIOUS AREA .....	±190,186 SQ.FT. / 4.4 ACRES
IMPERVIOUS SURFACE RATIO .....	±63.9%
HEIGHT OF BUILDING .....	50' 3-7/8"±
SURFACE PARKING STALLS .....	173 STANDARD / 8 ADA STALLS
UNDERGROUND PARKING STALLS ...	218 STANDARD / 8 ADA STALLS
BIKE PARKING STALLS.....	202 INTERIOR STALLS / 22 EXTERIOR STALLS

THE MEADOWLANDS - PHASE 11

SITE PLAN

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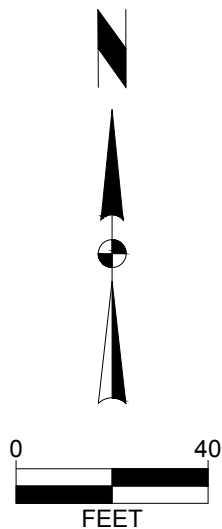
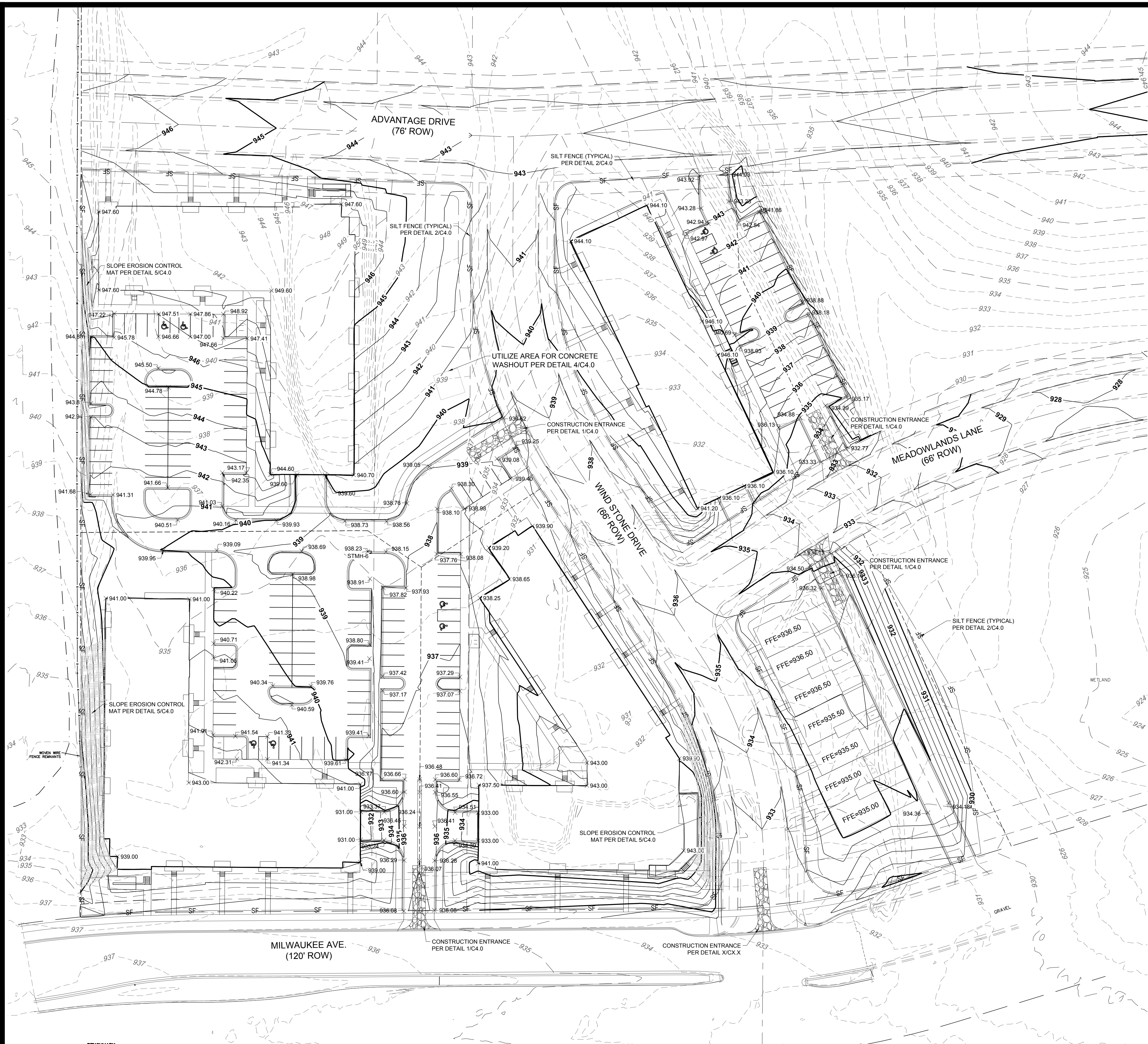


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Technician: BCA	Date: 01-07-2019	Field Bk:	Pg:
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EROSION CONTROL

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE). CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
3. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD.
4. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR THIRTY DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
6. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING EROSION MAT IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
7. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
8. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
9. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
10. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
11. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES.
12. REFER TO SPECIFICATION SECTIONS 31 20 00, 31 25 00, 32 91 19, AND 32 92 00.

GRADING

1. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
2. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH VEGETATION AND THE APPROVAL OF THE GOVERNING AGENCY.
3. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
4. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
5. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE ENGINEER BEFORE ANY MATERIAL IS PLACED.
6. REFER TO SPECIFICATION SECTIONS 31 20 00, 31 25 00, 32 91 19, AND 32 92 00.

THE MEADOWLANDS - PHASE 11

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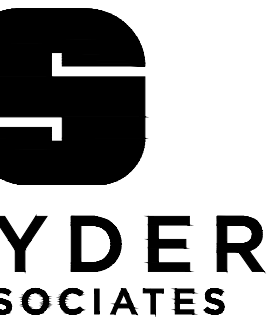
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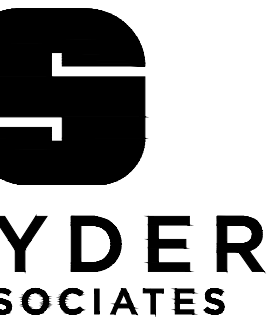
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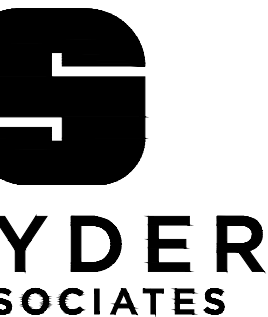
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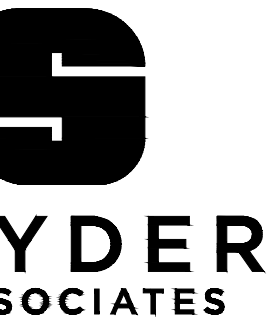
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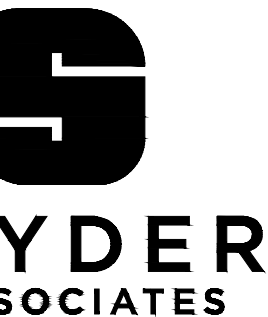
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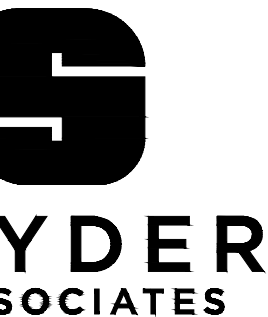
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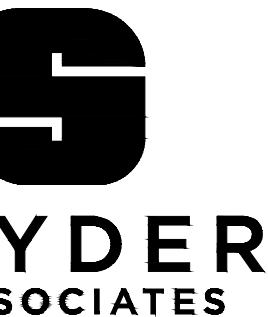
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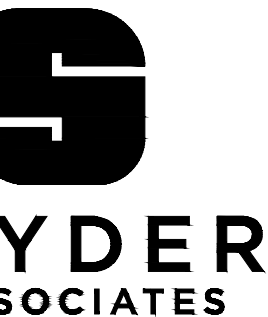
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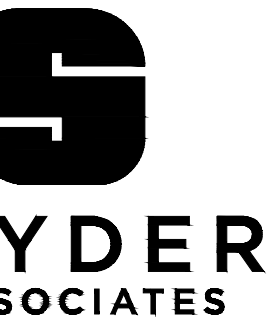
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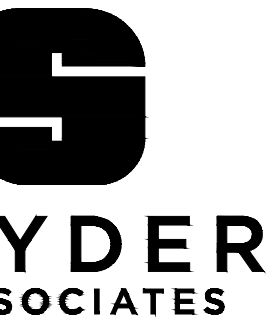
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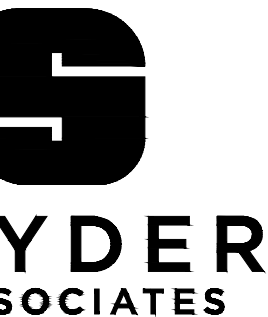
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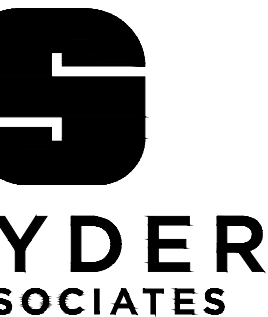
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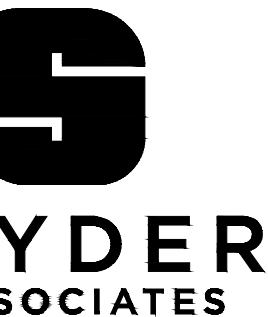
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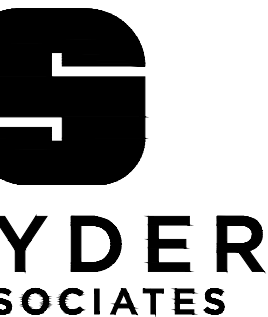
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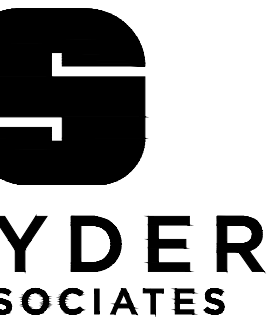
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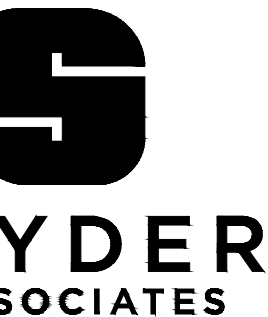
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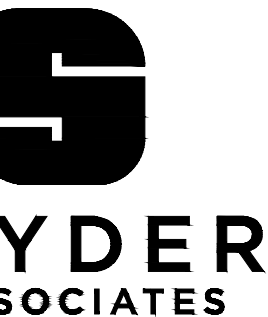
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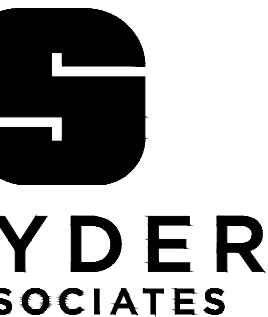
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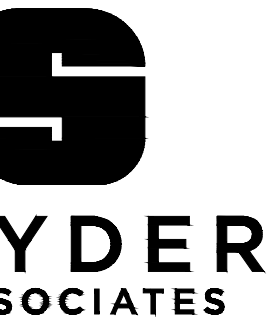
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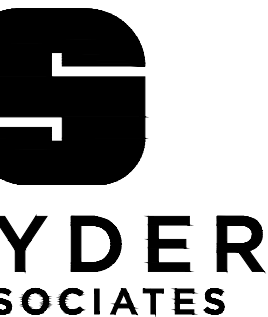
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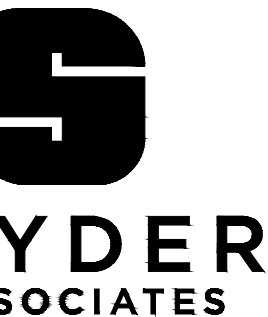
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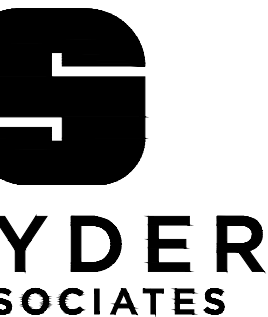
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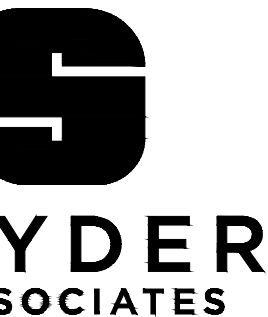
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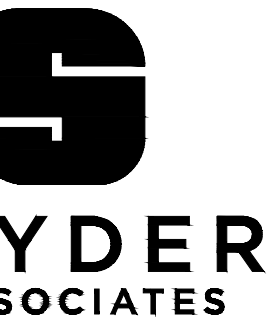
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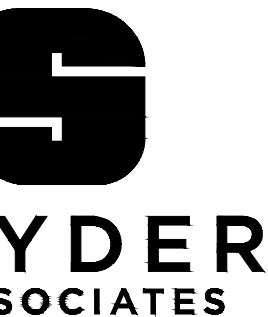
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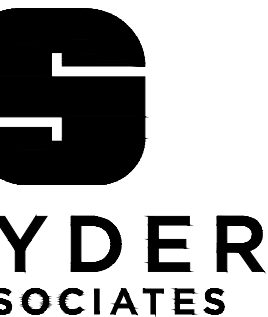
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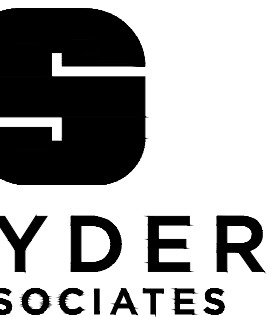
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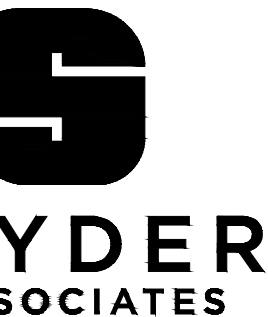
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MADISON, WI

GRADING PLAN

THE MEADOWLANDS - PHASE 11



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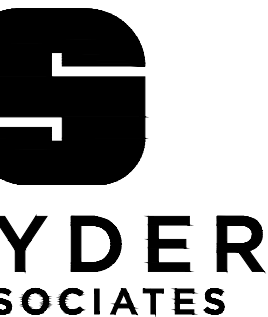
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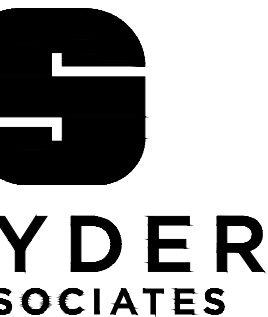
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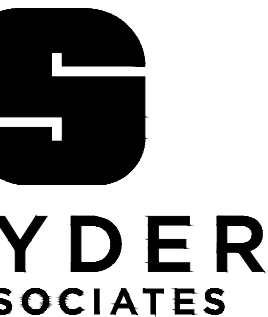
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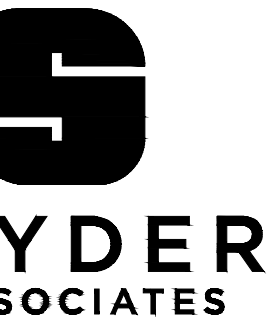
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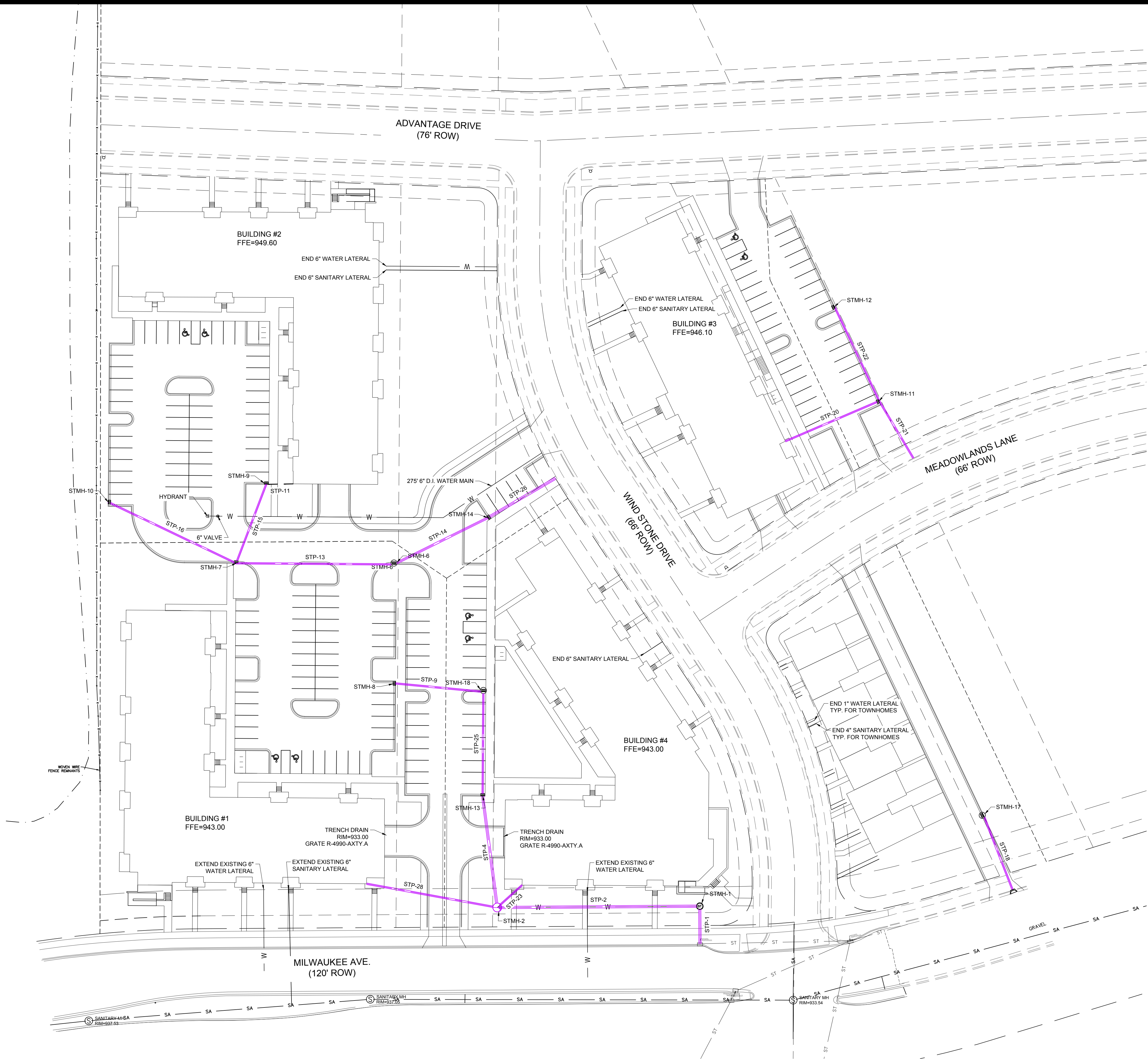
GRADING PLAN

THE MEADOWLANDS - PHASE 11



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STRUCTURE TABLE					
STRUCT #	RIM EL	STRUCT TYPE	FRAME/GRATE	INVERTS IN	INVERTS OUT
STMH-1	937.86	48" CONC MH	R-1550	INV W = 928.81	INV S = 929.16
STMH-2	937.75	72" CONC MH	R-1550	INV W = 931.58 INV N = 931.08 INV NE = 931.58	INV E = 929.16
STMH-6	938.66	2' X 3' CI	R-3067	INV W = 934.88	INV NE = 934.63
STMH-7	939.57	48" CONC MH W/ INLET	R-3067	INV NW = 935.97 INV N = 935.97	INV E = 935.97
STMH-8	939.56	2' X 3' CI	R-3067		INV E = 935.96
STMH-9	943.03	2' X 3' CI	R-3067	INV E = 939.03	INV S = 939.03
STMH-10	942.19	2' X 3' CI	R-3067		INV SE = 938.19
STMH-11	936.97	2' X 3' CI	R-3067	INV NW = 933.37 INV SW = 933.37	INV SE = 933.37
STMH-12	942.86	2' X 3' CI	R-3067		INV SE = 939.26
STMH-13	936.70	2' X 3' CI	R-3067		INV N = 933.63 INV S = 932.14
STMH-14	938.90	2' X 3' CI	R-3067	INV SW = 933.90	INV NE = 933.65
STMH-16	927.10	AE	N/A	INV N = 926.00	
STMH-17	934.65	2' X 3' CI	R-3067		INV S = 931.05
STMH-18	937.22	2' X 3' CI	R-3067	INV W = 933.63 INV S = 932.64	

STORM PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
STP-1	CORRUGATED HDPE	18	STMH-1	EX INLET	29	929.16	928.81	1.20%
STP-2	CORRUGATED HDPE	18	STMH-2	STMH-1	157	929.16	928.81	0.22%
STP-4	CORRUGATED HDPE	18	STMH-13	STMH-2	87	932.14	931.08	1.22%
STP-9	CORRUGATED HDPE	12	STMH-8	STMH-18	68	935.96	933.63	3.41%
STP-11	CORRUGATED HDPE	12	BUILDING #2	STMH-9	21	939.66	939.03	3.00%
STP-13	CORRUGATED HDPE	12	STMH-7	STMH-6	122	935.97	934.88	0.89%
STP-14	CORRUGATED HDPE	15	STMH-6	STMH-14	81	934.63	933.90	0.90%
STP-15	CORRUGATED HDPE	12	STMH-9	STMH-7	66	939.03	935.97	4.67%
STP-16	CORRUGATED HDPE	12	STMH-10	STMH-7	110	938.19	935.97	2.02%
STP-18	CORRUGATED HDPE	12	STMH-17	STMH-16	65	931.05	926.00	7.78%
STP-20	CORRUGATED HDPE	12	BUILDING #3	STMH-11	79	935.75	933.37	3.00%
STP-21	CORRUGATED HDPE	12	STMH-11	EX INLET	52	933.37	927.50	11.36%
STP-22	CORRUGATED HDPE	12	STMH-12	STMH-11	81	939.26	933.37	7.27%
STP-23	CORRUGATED HDPE	12	BUILDING #4	STMH-2	26	932.36	931.58	3.00%
STP-25	CORRUGATED HDPE	12	STMH-13	STMH-18	81	933.63	932.64	1.22%
STP-26	CORRUGATED HDPE	18	STMH-14	EX INLET	61	933.65	933.10	0.90%
STP-28	CORRUGATED HDPE	12	BUILDING #1	STMH-2	103	934.67	931.58	3.00%

THE MEADOWLANDS - PHASE 11

UTILITY PLAN



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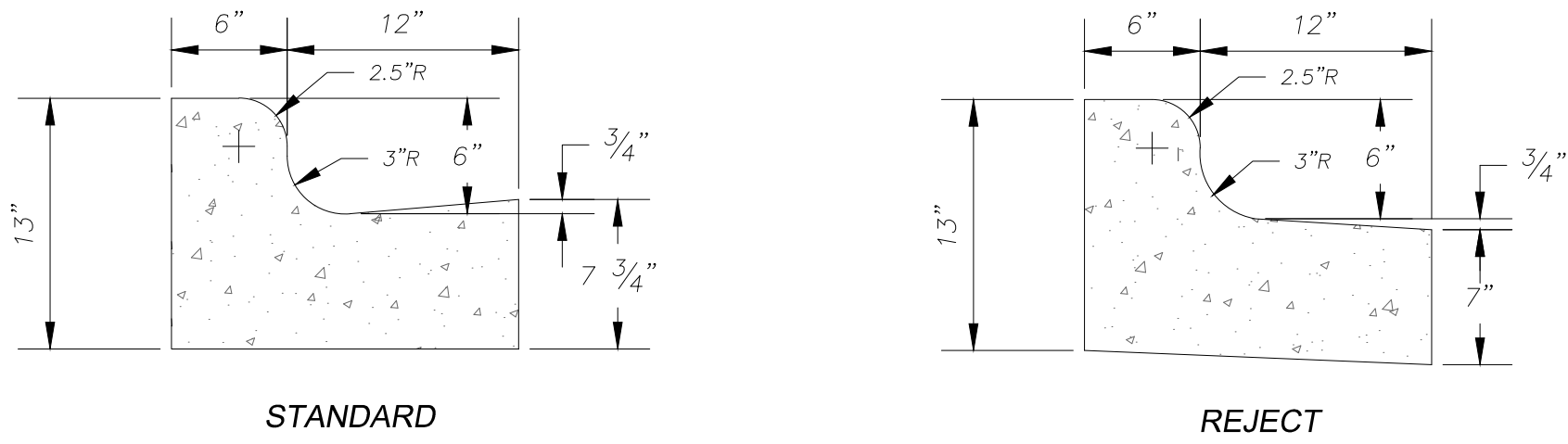
SNYDER & ASSOCIATES, INC.

MARK	REVISION	DATE	BY
Engineer: BCA	Checked By: MLC	Scale: 1"=	NOTED
Technician: BCA	Date: 01-07-2019	Field Bk:	Pg:
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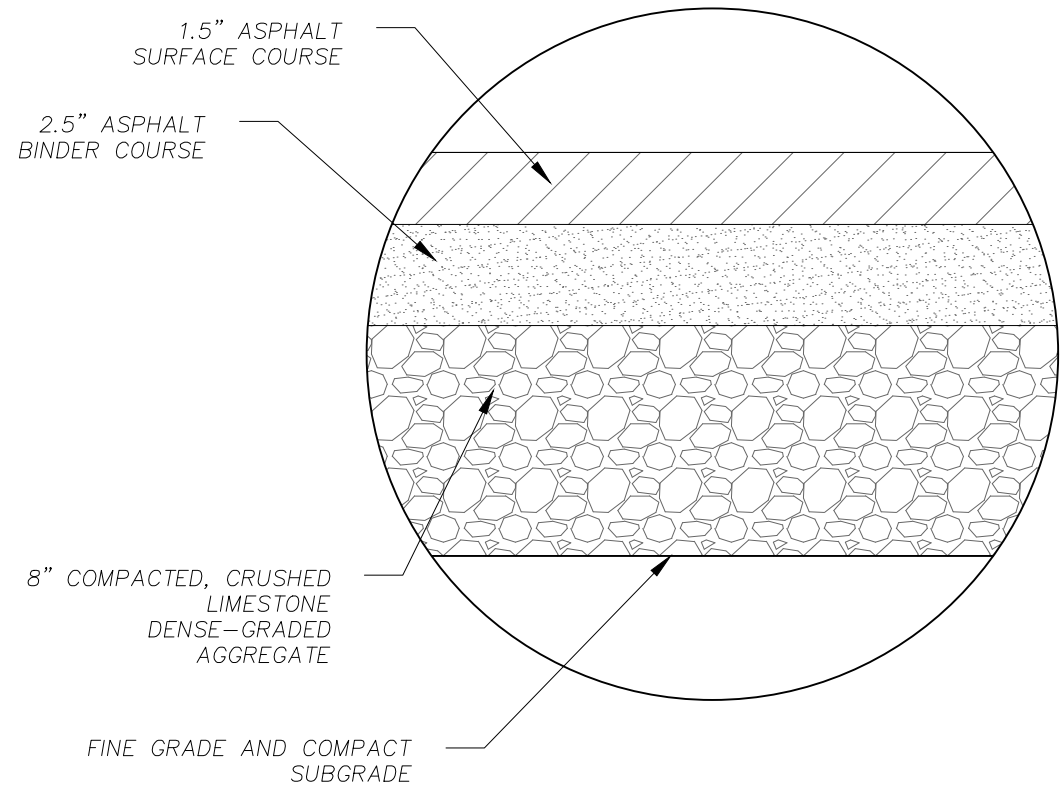




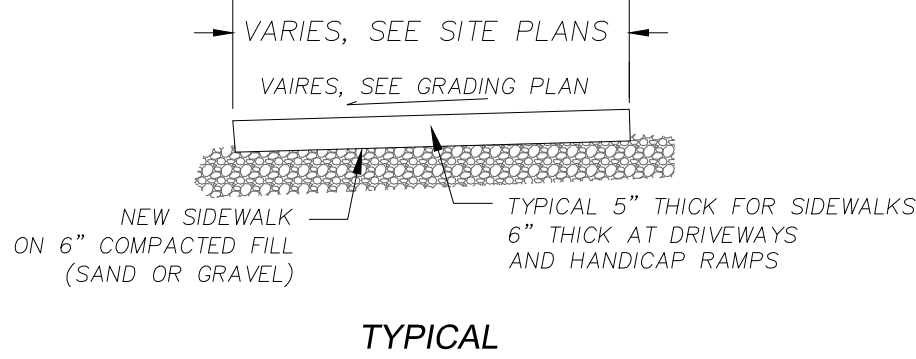
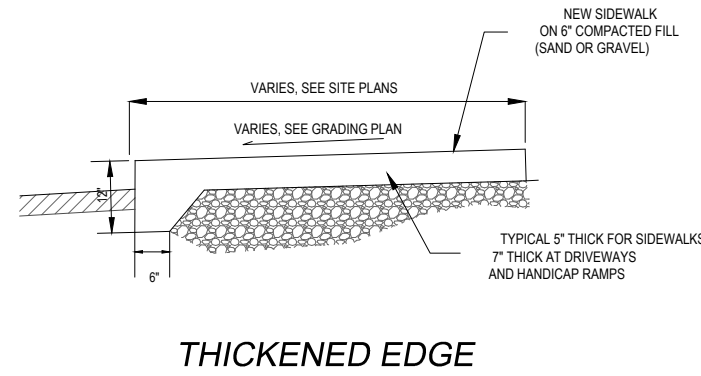
NOTES:

1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
2. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

1 CONCRETE CURB & GUTTER  
C4.1 SCALE: NTS



2 LIGHT DUTY ASPHALT PAVING DETAIL  
C4.1 SCALE: NTS



4 CONCRETE SIDEWALK DETAILS  
C4.1 SCALE: NTS

PAVEMENT AND CURB NOTES

1. THE IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O. T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
3. AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (\*-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
4. HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE SUPERPAVE (E-\*\*) IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
5. ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE PG(\*\*\*), AND LOWER LAYERS SHALL BE PG(\*\*\*)
6. AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (\*\*\*\*), AND THE LOWER LAYER PAVEMENT SHALL BE (\*\*\*\*).
7. TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
8. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DA Y COMPRESSIVE STRENGTH OF 3,500 PSI.
9. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:  
SECTION 415 FOR CONCRETE PAVEMENT  
SECTION 601 FOR CONCRETE CURB AND GUTTER  
SECTION 602 FOR CONCRETE SIDEWALKS.
10. ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
11. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:  
PARKING STALLS: WHITE  
PEDESTRIAN CROSSWALKS: WHITE  
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW  
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE  
ADA SYMBOLS: BLUE OR PER LOCAL CODE  
FIRE LANES: PER LOCAL CODE  
EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW

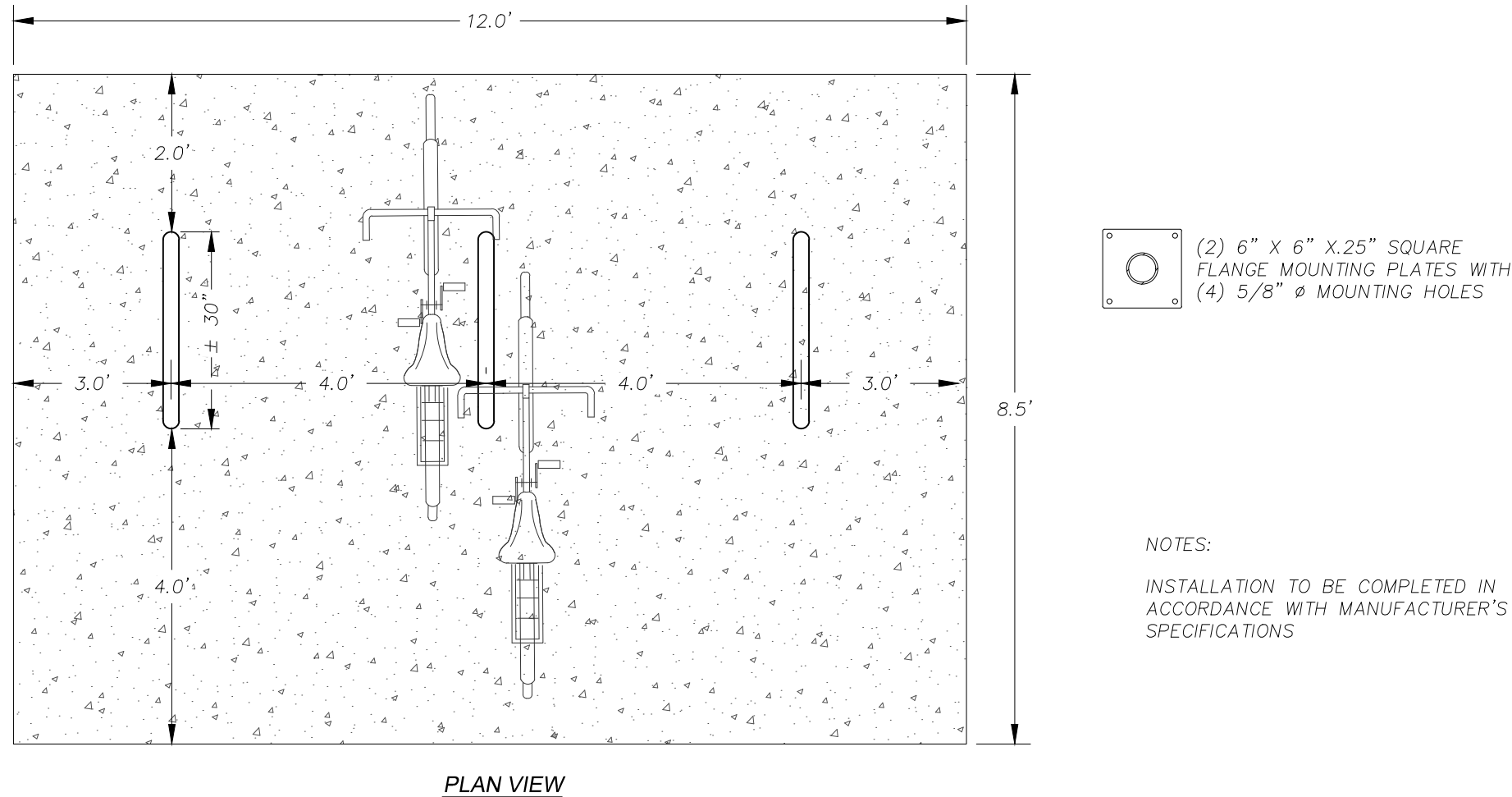
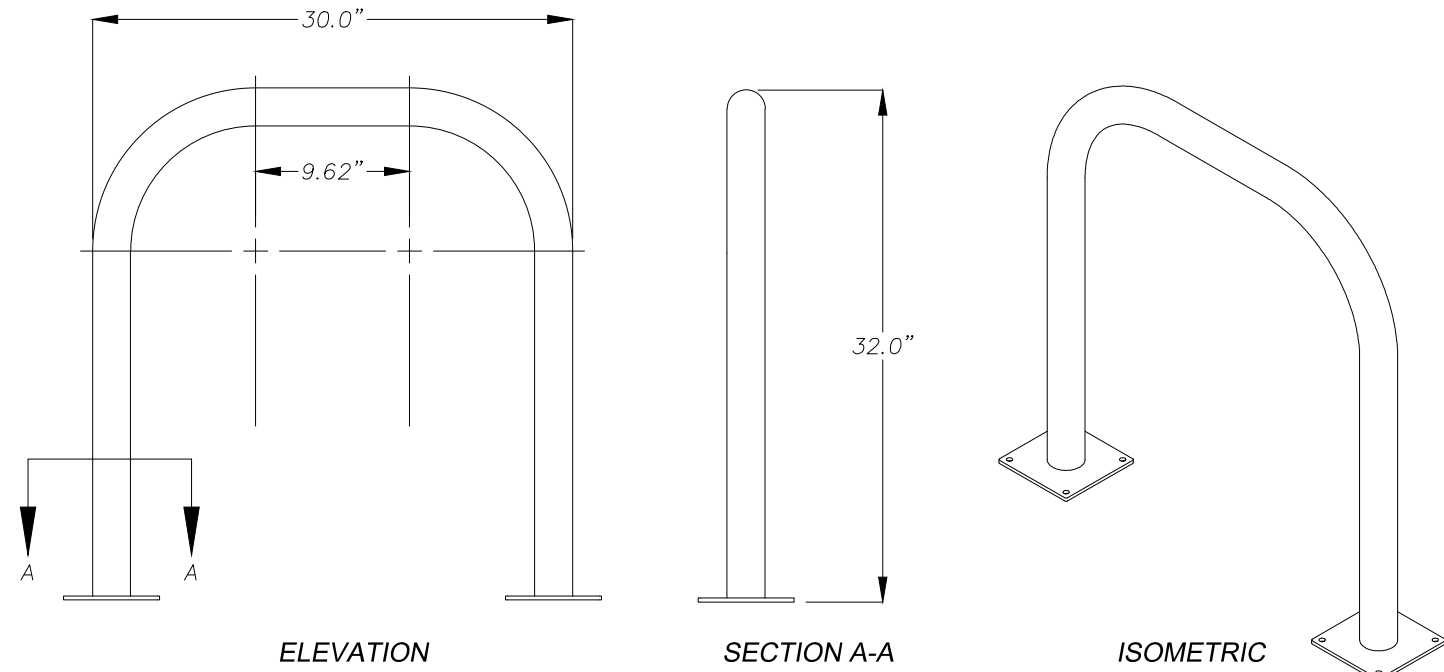
NOTE: PAVEMENT SHALL BE DESIGNED BY GEOTECHNICAL ENGINEER. MISSING INFORMATION ABOVE, DESIGNATED WITH (\*), SHALL BE FILLED IN PER GEOTECHNICAL REPORT. CAUTION: INFORMATION BELOW SHALL BE USED ONLY AS A GUIDE.

\* DENSE GRADED BASE GRADATIONS: 3-INCH, 1 1/4-INCH, OR 3/4-INCH (TYPICALLY 1 1/4-INCH)

\*\* HMA SUPERPAVE TYPES: E-0.3, E-1, E-3, E-10, E-30 (TYPICALLY E-0.3 OR E-1 FOR MOST RESIDENTIAL AND COMMERCIAL PROJECTS)

\*\*\* PG BINDERS:  
64-22 BASIC ASPHALT, TYPICALLY USED FOR PARKING LOTS  
58-28 RECOMMENDED FOR OVERLAY PROJECTS  
64-28 POLYMER ADDED, HIGH COST ASPHALT, LARGEST RANGE OF TEMP.  
UPPER LAYER PG64-28, PG64-22, OR PG58-28  
LOWER LAYER PG64-22 (IF UPPER LAYER IS PG64-xx OR HIGHER), OR PG58-28

\*\*\*\* HMA AGGREGATE GRADATIONS: 37.5 MM, 25.0 MM, 19.0 MM, 12.5 MM, 9.5 MM (TYPICALL Y: 12.5 MM FOR UPPER LAYER, 19.0 MM FOR LOWER LAYER)



NOTES:  
INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

5 BIKE RACK DETAIL  
C4.1 SCALE: NTS

THE MEADOWLANDS - PHASE 11

SITE DETAILS

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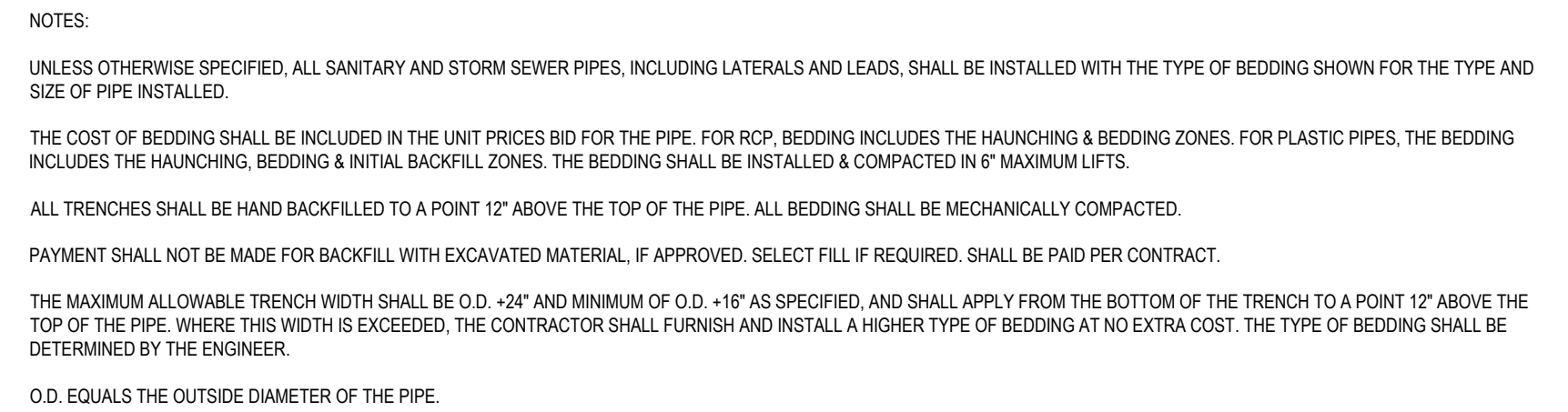


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2 STORM PIPE BEDDING AND BACKFILL  
C4.2 SCALE: NTS



GENERAL NOTES

1.

DRAWINGS ARE INTENDED TO BE PRINTED ON 22" X 34" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
2.

VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
3.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4.

GEOTECHNICAL SOILS REPORT RECOMMENDATIONS SHALL BE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID.
5.

CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
6.

THE CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
8.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNERS REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
9.

UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
10.

ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
11.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
12.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNERS REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
13.

SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
14.

NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
15.

COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
16.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
17.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
18.

THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
19.

MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
20.

THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
21.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.

GENERAL NOTES CONTINUED

22.

THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
23.

THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
24.

THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
25.

LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

GENERAL LANDSCAPE NOTES

1.

UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
2.

NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3.

THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
4.

ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
5.

MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
6.

ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
7.

TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
8.

LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY LANDSCAPE ARCHITECT. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW, ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
9.

PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE-MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR LANDSCAPE ARCHITECT WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
10.

ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
11.

ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
12.

CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY AND THEFT.
13.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
14.

THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNERS REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
15.

THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING. SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
16.

THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
17.

LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.

GENERAL LANDSCAPE NOTES CONTINUED

18.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
19.

PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" -12" AND AMENDED PER SPECIFICATIONS.
20.

ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
21.

TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
22.

THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
23.

ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
24.

ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNERS REPRESENTATIVE. OBTAIN APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO REMOVAL.
25.

ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
26.

ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
27.

EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
28.

WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
29.

WHEN PLANTER POTS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVEING PRIOR TO PLACEMENT OF PAVEMENT.
30.

PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
31.

THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
32.

ALL TREES PLANTED WITHIN RIGHT-OF-WAY WILL INCLUDE CITY APPROVED ROOT BARRIERS.
33.

REFER TO SHEET IR101-IR104 FOR THE IRRIGATION PLAN AND POINT OF CONNECTION INFORMATION.

PLANT SCHEDULE						
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE	COMMENTS
CANOPY TREES						
4	AG	Ginkgo biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	2 1/2" Cal.	50'h x 40'w	B&B (MALE ONLY)
2	RO	Quercus rubra	NORTHERN RED OAK	2 1/2" Cal.	60'h x 60'w	B&B
9	SH	Gleditsia tricanthos var. inermis 'Skycole'	SKYLINE HONEYLOCUST	2 1/2" Cal.	50'h x 20'w	B&B
3	TE	Ulmus "Morton Glossy"	TRIUMPH ELM	2 1/2" Cal.	55'h x 45'w	B&B
7	ST	Acer miyabei 'Morton'	STATE STREET MAPLE	2 1/2" Cal.	50'h x 40'w	B&B
11	LG	Tilia cordata	GREENSPIRE LINDEN	2 1/2" Cal.	40'h x 30'w	B&B
EVERGREEN TREES						
13	SJ	Juniperus scopulorum 'Baligh'	SKYHIGH JUNIPER	4"	12'h x 5'w	B&B
10	AP	Pinus nigra	AUSTRIAN PINE	8"	50'h x 20'w	B&B
7	SP	Pinus Sylvestris	SCOTCH PINE	8"	50'h x 20'w	B&B
ORNAMENTAL TREES						
20	PC	Malus x 'Pralfire'	PRAIRIFIRE CRABAPPLE	1 1/2" Cal.	20'h x 20'w	B&B
15	FD	Cornus Florida	WHITE FLOWERING DOGWOOD	1 1/2" Cal.	25'h x 25'w	B&B
9	AC	Prunus maackii	AMUR CHOCKCHERRY	1 1/2" Cal.	25'h x 20'w	B&B
7	BW	Betula populifolia 'Whitespire'	WHITESPIRE BIRCH TWIN	1 1/2" Cal.	40'h x 20'w	B&B
DECIDUOUS SHRUBS						
2'-4' SPREAD						
9	GM	Spiraea japonica 'Gold Mound'	JAPANESE SPIREA 'GOLD MOUND'	18" Ht.	3'h x 4'w	#5 CONT. (4' O.C.)
0	GS	Spiraea betulifolia 'TorGold'	GLOW GIRL SPIREA	18" Ht.	2'h x 4'w	#5 CONT. (4' O.C.)
10	AF	Cornus stolonifera 'Farrow'	ARCTIC FIRE DOGWOOD	18" Ht.	3'h x 3'w	#5 CONT. (3' O.C.)
5'-7' SPREAD						
18	RC	Cotoneaster horizontalis var. perpusillus	ROCK COTONEASTER	6" Ht.	1.5'h x 5'w	#5 CONT. (6' O.C.)
27	SF	Forsythia x intermedia 'Mindor'	SHOW OFF FORSYTHIA	24" Ht.	6'h x 6'w	#5 CONT. (6' O.C.)
61	UC	Aronia 'Erecta'	UPRIGHT RED CHOKEBERRY	18" Ht.	5'h x 5'w	#5 CONT. (6' O.C.)
61	SN	Nipponica 'Snowmound'	SNOWMOUND SPIREA	24" Ht.	3'h x 5'w	#5 CONT. (6' O.C.)
7' + SPREAD						
18	AS	Amelanchier x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	36" Ht.	15'h x 10'	CLUMP #15 CONT.
56	HC	Viburnum opulus var. americanum	AMERICAN CRANBERRY BUSH	36" Ht.	8'h x 8'w	#5 CONT. (6' O.C.)
53	HY	Hydrangea paniculata 'Quick Fire'	QUICK FIRE HARDY HYDRANGEA	36" Ht.	7'h x 7'w	#5 CONT. (7' O.C.)
68	FS	Rhus aromatica	FRAGRANT SUMAC	24" Ht.	5'h x 8'w	#5 CONT. (7' O.C.)
56	BV	Viburnum prunifolium	BLACKHAW VIBURNUM	24" Ht.	12'h x 12'w	#5 CONT. (10' O.C.)
EVERGREEN SHRUBS						
2'-4' SPREAD						
8	JJ	Juniperus procumbens 'Nana'	DWARF JAPANESE GARDEN JUNIPER	12" Ht.	1.5'h x 4'w	#5 CONT. (4' O.C.)
5'-7' SPREAD						
126	JA	Juniperus horizontalis 'Plumosa'	ANDORRA JUNIPER	6" Ht.	18'h x 5'w	#5 CONT. (6' O.C.)
43	DY	T. Cuspidata 'Nana'	DWARF YEW (BREVIFOLIA)	18" Ht.	3'h x 6'w	#5 CONT. (6' O.C.)
7' + SPREAD						
17	MP	Pinus mugo var. pumilio	DWARF MUGO PINE	24" Ht.	4'h x 10'w	#5 CONT. (6' O.C.)
21	RW	Rhododendron catawbiense 'Album'	WHITE CATAWBA RHODODENDRON	24" Ht.	6'h x 7'w	#5 CONT. (6' O.C.)
15	TY	T. x media 'tauntoni'	TAUNTON YEW	24" Ht.	4'h x 7'w	#5 CONT. (6' O.C.)
ORNAMENTAL GRASSES						
59	BA	Bouteloua gracilis 'blonde ambition'	BLONDE AMBITION BLUE GRAMA GRASS	8" Ht.	36" Ht.	#1 CONT. (3' O.C.)
129	SS	Panicum virgatum 'shenandoah'	SHENANDOAH SWITCH GRASS	8" Ht.	48" Ht.	#1 CONT. (6' O.C.)
81	PD	Sporobolus heterolepis	PRAIRIE DROPSEED	8" Ht.	36" Ht.	#1 CONT. (3' O.C.)
0	BB	Andropogon gerardii	BIG BLUESTEM	8" Ht.	62" Ht.	#1 CONT. (4' O.C.)
86	LB	Schizachyrium scoparium	LITTLE BLUESTEM	8" Ht.	36" Ht.	#1 CONT. (3' O.C.)

LANDSCAPE CALCULATIONS AND DISTRIBUTION

STREET FRONTAGE REQUIREMENTS:  
REQUIREMENT: 1 OVERSTORY TREE AND 5 SHRUBS PER 30 LF OF FRONTAGE

ADVANTAGE DRIVE: 269 LF/30 LF  
REQUIRED: 8.96 OVERSTORY TREES AND 44.8 SHRUBS  
PROPOSED\*: 6 TREES (12 ORNAMENTAL/EVERGREEN TREES COUNTED AS 6) AND 127 SHRUBS  
\*EASEMENTS RESTRICT THE ADDITION OF 3 CANOPY TREES.

WIND STONE DRIVE (WEST SIDE OF STREET): 525 LF/30LF  
REQUIRED: 17.5 OVERSTORY TREES AND 87.5 SHRUBS  
PROPOSED\*: 8 TREES (3 OVERSTORY AND 10 ORNAMENTAL COUNTED AS 5) AND 90 SHRUBS  
\*EASEMENTS RESTRICT THE ADDITION OF 10 CANOPY TREES.

WIND STONE DRIVE (EAST SIDE OF STREET): 487 LF/30LF  
REQUIRED 16.2 OVERSTORY TREES AND 81.6 SHRUBS  
PROPOSED\*: 11 (8 OVERSTORY TREES AND 7 ORNAMENTAL/EVERGREEN TREES COUNTED AS 3) AND 82 SHRUBS  
\*EASEMENTS RESTRICT THE ADDITION OF 6 CANOPY TREES

MILWAUKEE STREET: 390 LF/30LF  
REQUIRED: 13 OVERSTORY TREES AND 65 SHRUBS  
PROPOSED: 13 TREES (8 OVERSTORY TREES AND 10 ORNAMENTAL TREES COUNTED AS 5) AND 144 SHRUBS

MEADOWS LAND DRIVE (NORTH SIDE OF STREET): 70 LF/30LF  
REQUIRED: 2.3 OVERSTORY TREES AND 11.6 SHRUBS  
PROPOSED\*: 1 TREES (3 EVERGREEN/ORNAMENTAL TREES COUNTED AS 1) AND 7 SHRUBS  
\*EASEMENTS RESTRICT THE ADDITION OF 2 CANOPY TREES.

MEADOWS LAND DRIVE (SOUTH SIDE OF STREET) 70 LF/30LF  
REQUIRED: 2.3 OVERSTORY TREES AND 11.6 SHRUBS  
PROPOSED: 1 TREES (3 EVERGREEN/ORNAMENTAL TREES COUNTED AS 1) AND 8 SHRUBS  
\*EASEMENTS RESTRICT THE ADDITION OF 2 CANOPY TREES

INTERIOR PARKING LOT REQUIREMENTS:  
REQUIREMENT: 8% OF PAVEMENT AREA TO BE USED AS LANDSCAPED AREAS  
1 DECIDUOUS TREE FOR EVERY 160 SF OF LANDSCAPE AREA  
42,820 SF X 8% = 3,427 REQUIRED (5,970 SF PROVIDED)

REQUIREMENT: 1 SHADE TREE PER 160 SF OF REQUIRED LANDSCAPED AREA  
3,426 SF /160 SF = 21 TREES REQUIRED (17 PROVIDED - EXISTING GAS EASEMENTS RESTRICT THE AVAILABLE SPACE FOR REQUIRED TREES)

DEVELOPED LOT REQUIREMENTS:  
REQUIREMENT: 5 POINTS PER 300 SF OF DEVELOPED AREA FOR 5 ACRES AND 1 POINT PER 100 SF FOR ADDITIONAL ACRES  
TOTAL DEVELOPED AREA: 87,102 SF  
FIRST 5 ACRES = 3,630 POINTS  
REMAINING 2 ACRES = 871.20 POINTS  
TOTAL POINTS = 4,202  
TOTAL PROPOSED = 5,626



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE

1-800-242-8511  
TOLL FREE

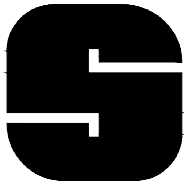
WS: STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

THE MEADOWLANDS - PHASE 11

LANDSCAPE NOTES

MADISON, WI

SNYDER & ASSOCIATES, INC.



SNYDER  
& ASSOCIATES

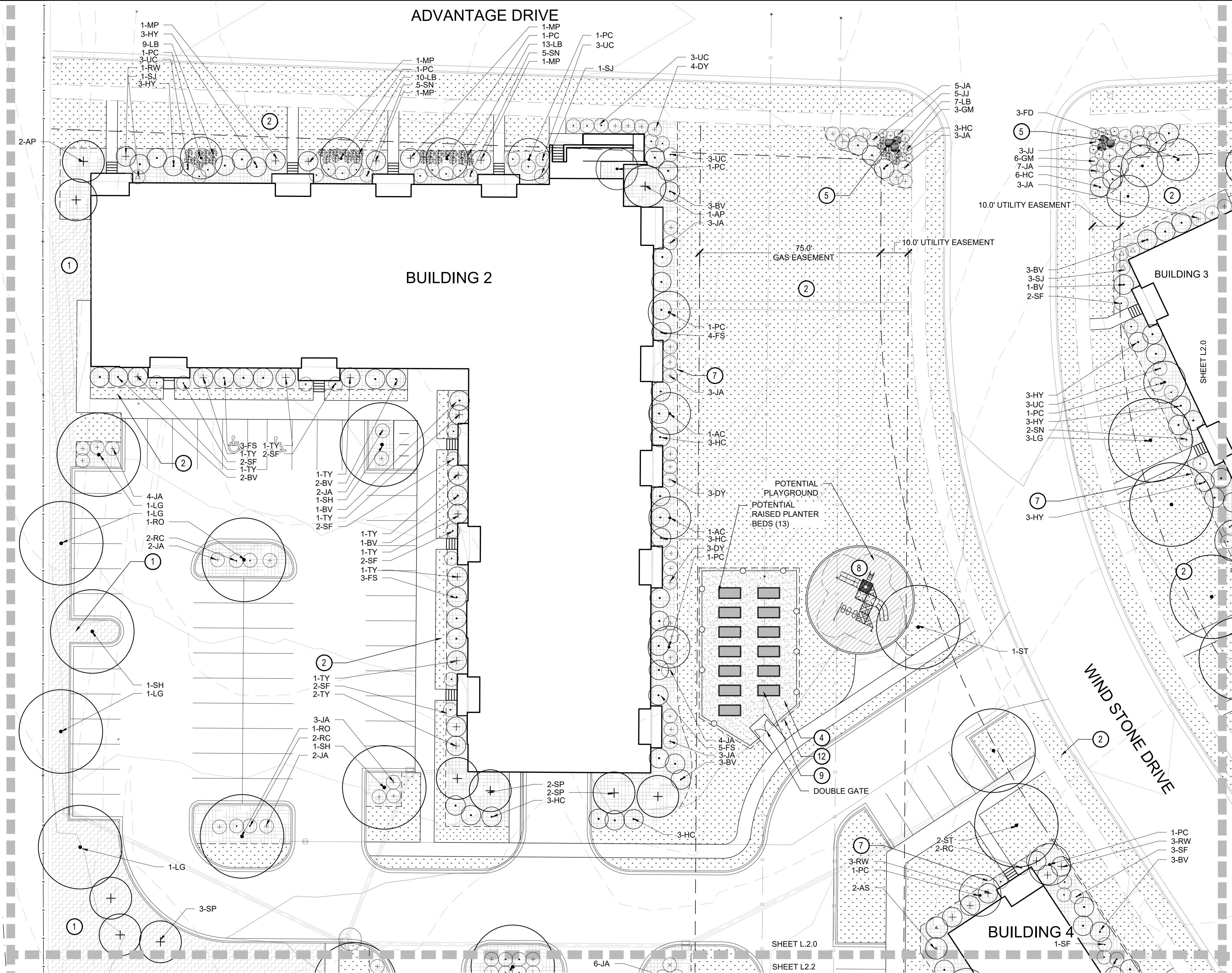
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6010 VOICES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444 | www.snyder-associates.com





PLANTING PLAN

LANDSCAPE PLAN CONSTRUCTION NOTES

- TURF SEED MIX SHALL BE VELVET GREEN TURF MIX BY HERITAGE SEED COMPANY OR APPROVED EQUAL. MIX SHALL INCLUDE 40% KENTUCKY BLUEGRASS, 40% PERENNIAL RYEGRASS, 20% FINE FESCUE.
- BLACK BEAUTY TALL FESCUE KENTUCKY BLUEGRASS (TFBK SOD) PROVIDED BY PAUL'S TURF & TREE NURSERY (608.655.3600) OR APPROVED EQUAL.
- 2-6" COBBLE MULCH PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
- SUGAR AND SPICE STABILIZED DECOMPOSED GRANITE MIX PROVIDED BY KAFKA GRANITE (715-997-7636) OR APPROVED EQUAL.
- AQUA BLUE BOULDERS APPROXIMATELY 3' X 3' X 3' PROVIDED BY MIDWEST DECORATIVE STONE & LANDSCAPE SUPPLY (608.273.9787) OR APPROVE EQUAL. SUBMIT PHOTO SAMPLES PRIOR TO PURCHASE.
- PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
- MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
- ENGINEERED WOOD FIBER PLAYGROUND MULCH (EWF) PROVIDED BY PRO PLAYGROUNDS (1-800-573-7529) OR APPROVED EQUAL.
- RAISED WOOD PLANTER BED, REFER TO DETAIL 4/L4.0
- 3-RAIL FENCE WITH WIRE MESH, REFER TO DETAIL 5/L4.0
- DECOMPOSED GRANITE WITH CURB, REFER TO DETAIL 3/L4.0
- DECOMPOSED GRANITE AT BEDS, REFER TO DETAIL 1/L4.1
- REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION.

PLANT SCHEDULE

KEY	COMMON NAME
CANOPY TREES	
AG	AUTUMN GOLD GINKGO
RO	NORTHERN RED OAK
SH	SKYLINE HONEYLOCUST
TE	TRIUMPH ELM
ST	STATE STREET MAPLE
LG	GREENSPIRE LINDEN
EVERGREEN TREES	
SJ	SKYHIGH JUNIPER
AP	AUSTRIAN PINE
SP	SCOTCH PINE
ORNAMENTAL TREES	
PC	PRAIRIFIRE CRABAPPLE
FD	WHITE FLOWERING DOGWOOD
AC	AMUR CHOCKCHERRY
BW	WHITESPIRE BIRCH TWIN
DECIDUOUS SHRUBS	
2'-4" SPREAD	
GM	JAPANESE SPIREA 'GOLD MOUND'
GS	GLOW GIRL SPIREA
AF	ARCTIC FIRE DOGWOOD
5'-7" SPREAD	
RC	ROCK COTONEASTER
SF	SHOW OFF FORSYTHIA
UC	UPRIGHT RED CHOKEBERRY
SN	SNOWMOUND SPIREA
7' + SPREAD	
AS	AUTUMN BRILLIANCE SERVICEBERRY
HC	AMERICAN CRANBERRY BUSH
HY	QUICK FIRE HARDY HYDRANGEA
FS	FRAGRANT SUMAC
BV	BLACKHAW VIBURNUM
EVERGREEN SHRUBS	
2'-4" SPREAD	
JJ	DWARF JAPANESE GARDEN JUNIPER
5'-7" SPREAD	
JA	ANDORRA JUNIPER
DY	DWARF YEW (BREVIFOLIA)
7' + SPREAD	
MP	DWARF MUGO PINE
RW	WHITE CATAWBA RHODODENDRON
TY	TAUNTON YEW
ORNAMENTAL GRASSES	
BA	BLONDE AMBITION BLUE GRAMA GRASS
SS	SHENANDOAH SWITCH GRASS
PD	PRAIRIE DROPSSEED
BB	BIG BLUESTEM
LB	LITTLE BLUESTEM

LANDSCAPE LEGEND

	SOD, REFER TO CONSTRUCTION NOTES FOR TYPE
	SHRUB BED WITH HARDWOOD MULCH, REFER TO CONSTRUCTION NOTES FOR TYPE
	TURF SEED, REFER TO CONSTRUCTION NOTES FOR TYPE
	DECOMPOSED GRANITE, REFER TO CONSTRUCTION NOTES FOR TYPE
	COBBLE, REFER TO CONSTRUCTION NOTES FOR TYPE
	ENGINEERED WOOD FIBER, REFER TO CONSTRUCTION NOTES FOR TYPE
	SPADE CUT EDGER AT 4" DEPTH
	3-RAIL FENCE WITH WIRE MESH, REFER TO CONSTRUCTION NOTES FOR TYPE
	DECIDUOUS CANOPY TREE
	LARGE DECIDUOUS ORNAMENTAL TREE
	EVERGREEN
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	UPRIGHT EVERGREEN
	ORNAMENTAL GRASSES
	LANDSCAPE BOULDERS



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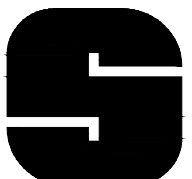
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LANDSCAPE PLAN

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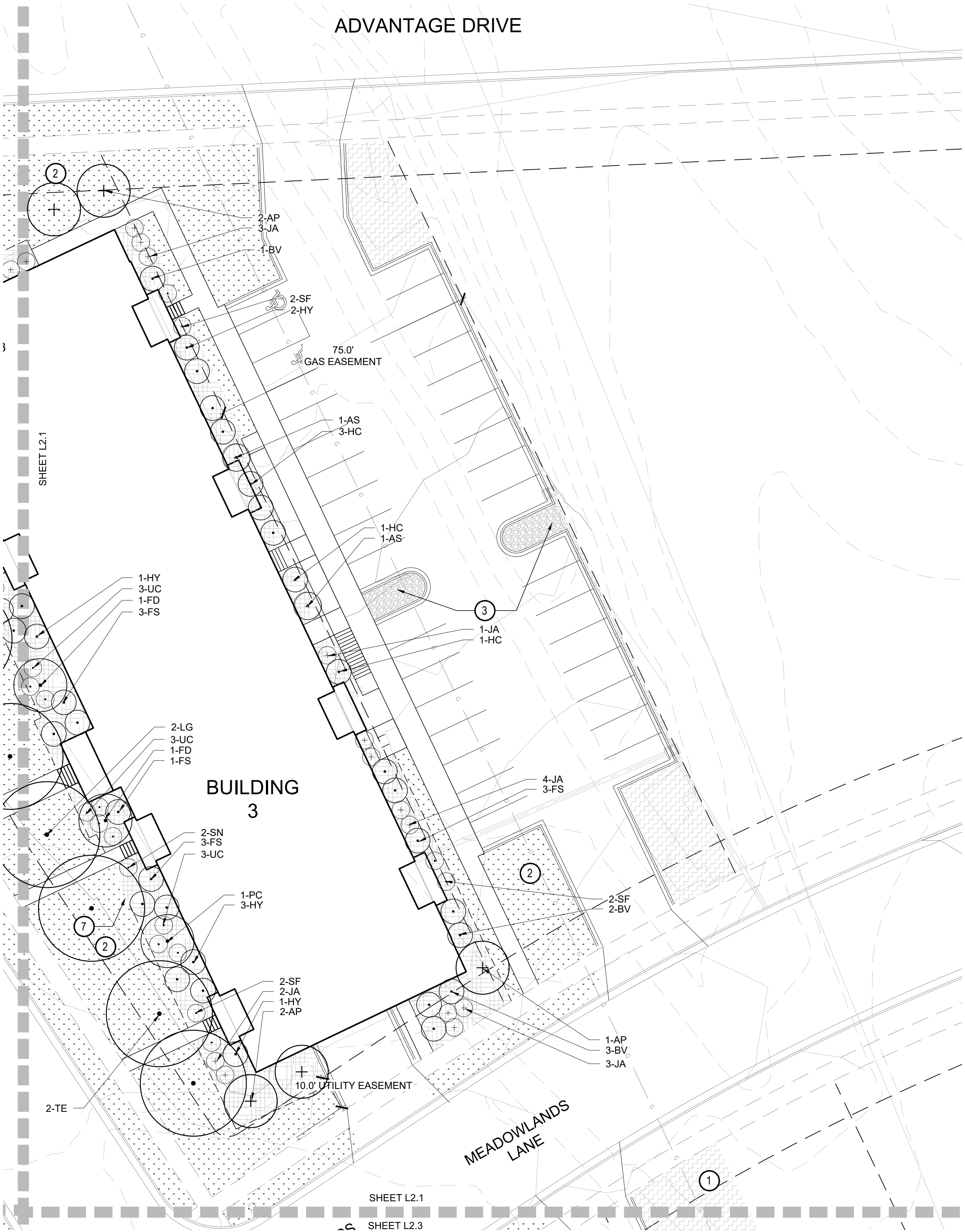


SNYDER  
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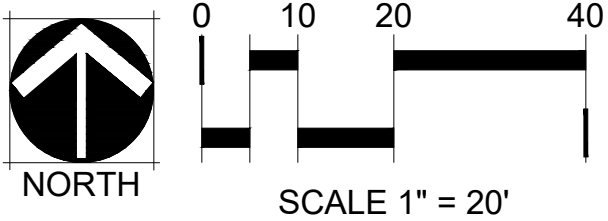
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SH	SKYLINE HONEYLOCUST
TE	TRIUMPH ELM
ST	STATE STREET MAPLE
LG	GREENSPIRE LINDEN
EVERGREEN TREES	
SJ	SKYHIGH JUNIPER
AP	AUSTRIAN PINE
SP	SCOTCH PINE
ORNAMENTAL TREES	
PC	PRAIRIFIRE CRABAPPLE
FD	WHITE FLOWERING DOGWOOD
AC	AMUR CHOCKCHERRY
BW	WHITESPIRE BIRCH TWIN
DECIDUOUS SHRUBS	
2'-4' SPREAD	
GM	JAPANESE SPIREA 'GOLD MOUND'
GS	GLOW GIRL SPIREA
AF	ARCTIC FIRE DOGWOOD
5'-7' SPREAD	
RC	ROCK COTONEASTER
SF	SHOW OFF FORSYTHIA
UC	UPRIGHT RED CHOKEBERRY
SN	SNOWMOUND SPIREA
7' + SPREAD	
AS	AUTUMN BRILLIANCE SERVICEBERRY
HC	AMERICAN CRANBERRY BUSH
HY	QUICK FIRE HARDY HYDRANGEA
FS	FRAGRANT SUMAC
BV	BLACKHAW VIBURNUM
EVERGREEN SHRUBS	
2'-4' SPREAD	
JJ	DWARF JAPANESE GARDEN JUNIPER
5'-7' SPREAD	
JA	ANDORRA JUNIPER
DY	DWARF YEW (BREVIFOLIA)
7' + SPREAD	
MP	DWARF MUGO PINE
RW	WHITE CATAWBA RHODODENDRON
TY	TAUNTON YEW
ORNAMENTAL GRASSES	
BA	BLONDE AMBITION BLUE GRAMA GRASS
SS	SHENANDOAH SWITCH GRASS
PD	PRAIRIE DROPSEED
BB	BIG BLUESTEM
LB	LITTLE BLUESTEM

LANDSCAPE LEGEND

- 2 SOD, REFER TO CONSTRUCTION NOTES FOR TYPE
- 6 SHRUB BED WITH HARDWOOD MULCH, REFER TO CONSTRUCTION NOTES FOR TYPE
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- 3 COBBLE, REFER TO CONSTRUCTION NOTES FOR TYPE
- 8 ENGINEERED WOOD FIBER, REFER TO CONSTRUCTION NOTES FOR TYPE
- SPADE CUT EDGER AT 4" DEPTH
- 3-RAIL FENCE WITH WIRE MESH, REFER TO CONSTRUCTION NOTES FOR TYPE
- DECIDUOUS CANOPY TREE
- LARGE DECIDUOUS ORNAMENTAL TREE
- EVERGREEN
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- UPRIGHT EVERGREEN
- ORNAMENTAL GRASSES
- LANDSCAPE BOULDERS



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

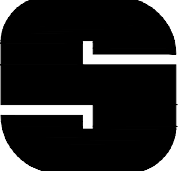
THE MEADOWLANDS - PHASE 11

LANDSCAPE PLAN

MADISON, WI

5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444 | www.snyder-associates.com

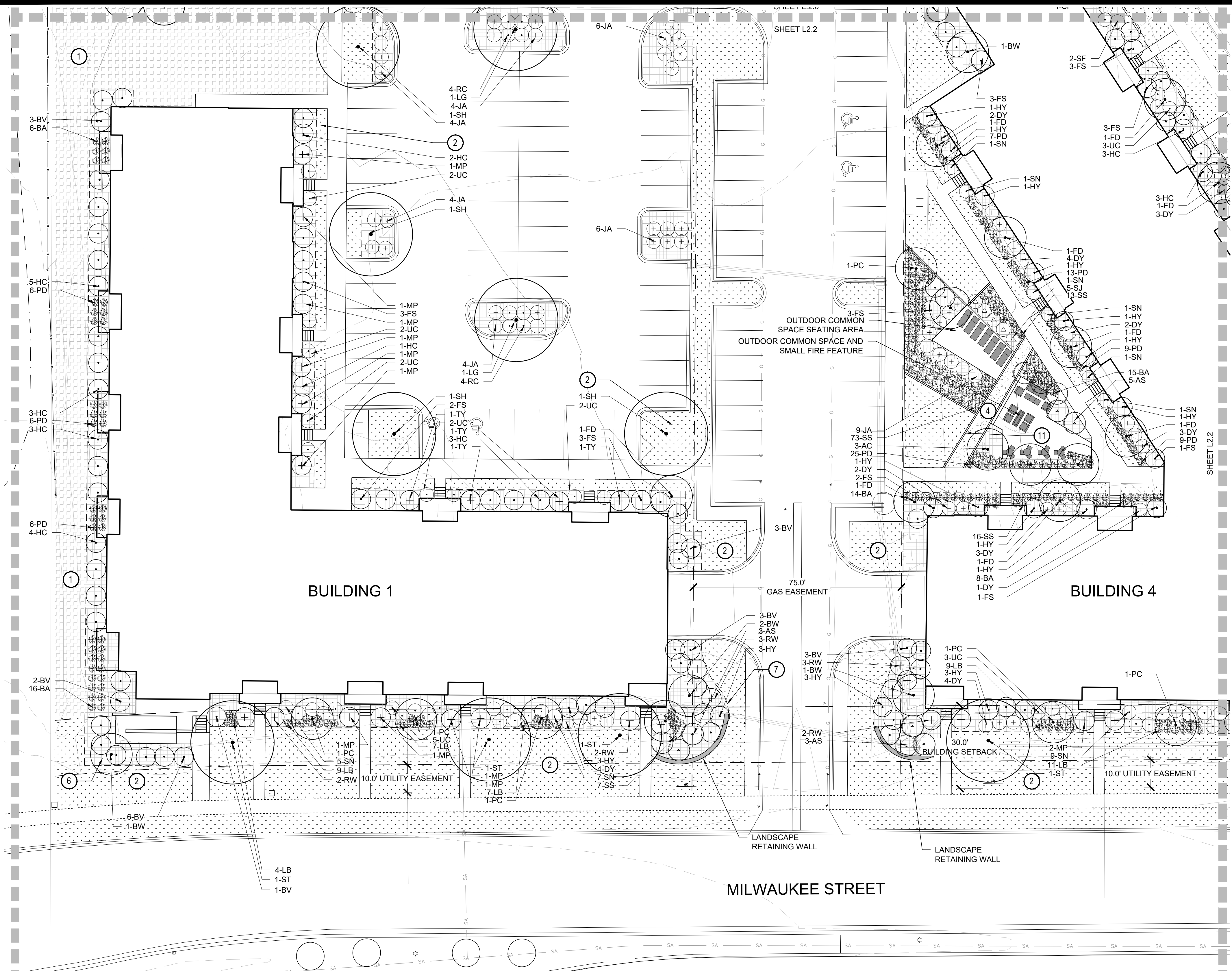
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PLANTING PLAN

LANDSCAPE PLAN CONSTRUCTION NOTES

- TURF SEED MIX SHALL BE VELVET GREEN TURF MIX BY HERITAGE SEED COMPANY OR APPROVED EQUAL. MIX SHALL INCLUDE 40% KENTUCKY BLUEGRASS, 40% PERENNIAL RYEGRASS, 20% FINE FESCUE.
- BLACK BEAUTY TALL FESCUE KENTUCKY BLUEGRASS (TFKB SOD) PROVIDED BY PAUL'S TURF & TREE NURSERY (608.655.3600) OR APPROVED EQUAL.
- 2-6" COBBLE MULCH PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
- SUGAR AND SPICE STABILIZED DECOMPOSED GRANITE MIX PROVIDED BY KAFKA GRANITE (715-997-7636) OR APPROVED EQUAL.
- AQUA BLUE BOULDERS APPROXIMATELY 3' X 3' X 3' PROVIDED BY MIDWEST DECORATIVE STONE & LANDSCAPE SUPPLY (608.273.9787) OR APPROVE EQUAL. SUBMIT PHOTO SAMPLES PRIOR TO PURCHASE.
- PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
- MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
- ENGINEERED WOOD FIBER PLAYGROUND MULCH (EWF) PROVIDED BY PRO PLAYGROUNDS (1-800-573-7529) OR APPROVED EQUAL.
- RAISED WOOD PLANTER BED, REFER TO DETAIL 4/L4.0
- 3-RAIL FENCE WITH WIRE MESH, REFER TO DETAIL 5/L4.0
- DECOMPOSED GRANITE WITH CURB, REFER TO DETAIL 3/L4.0
- DECOMPOSED GRANITE AT BEDS, REFER TO DETAIL 1/L4.1
- REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION.

PLANT SCHEDULE

KEY	COMMON NAME
CANOPY TREES	
AG	AUTUMN GOLD GINKGO
RO	NORTHERN RED OAK
SH	SKYLINE HONEYLOCUST
TE	TRIUMPH ELM
ST	STATE STREET MAPLE
LG	GREENSPIRE LINDEN
EVERGREEN TREES	
SJ	SKYHIGH JUNIPER
AP	AUSTRIAN PINE
SP	SCOTCH PINE
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THE MEADOWLANDS - PHASE 11

LANDSCAPE PLAN

MADISON, WI

SNYDER & ASSOCIATES, INC.

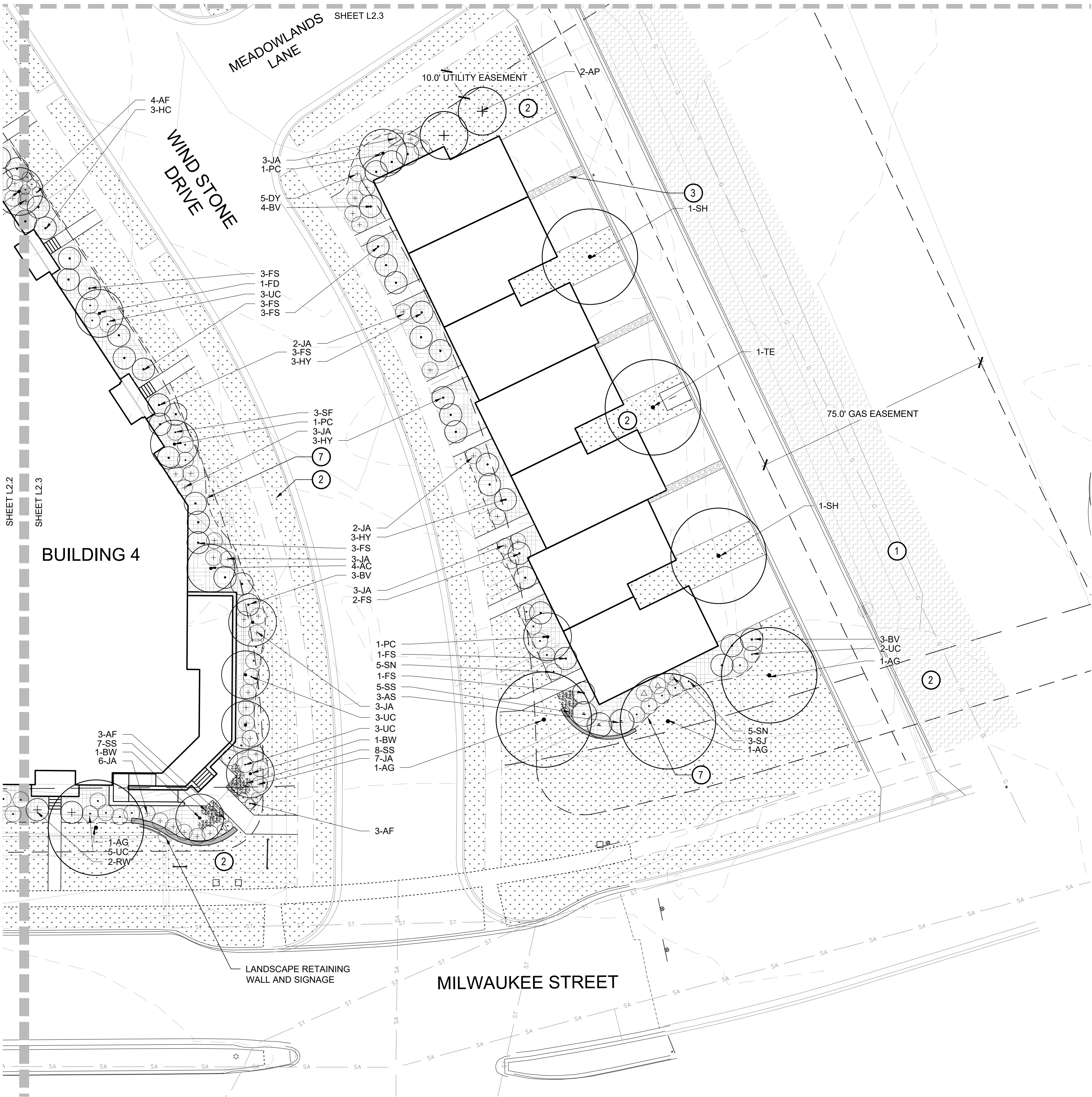
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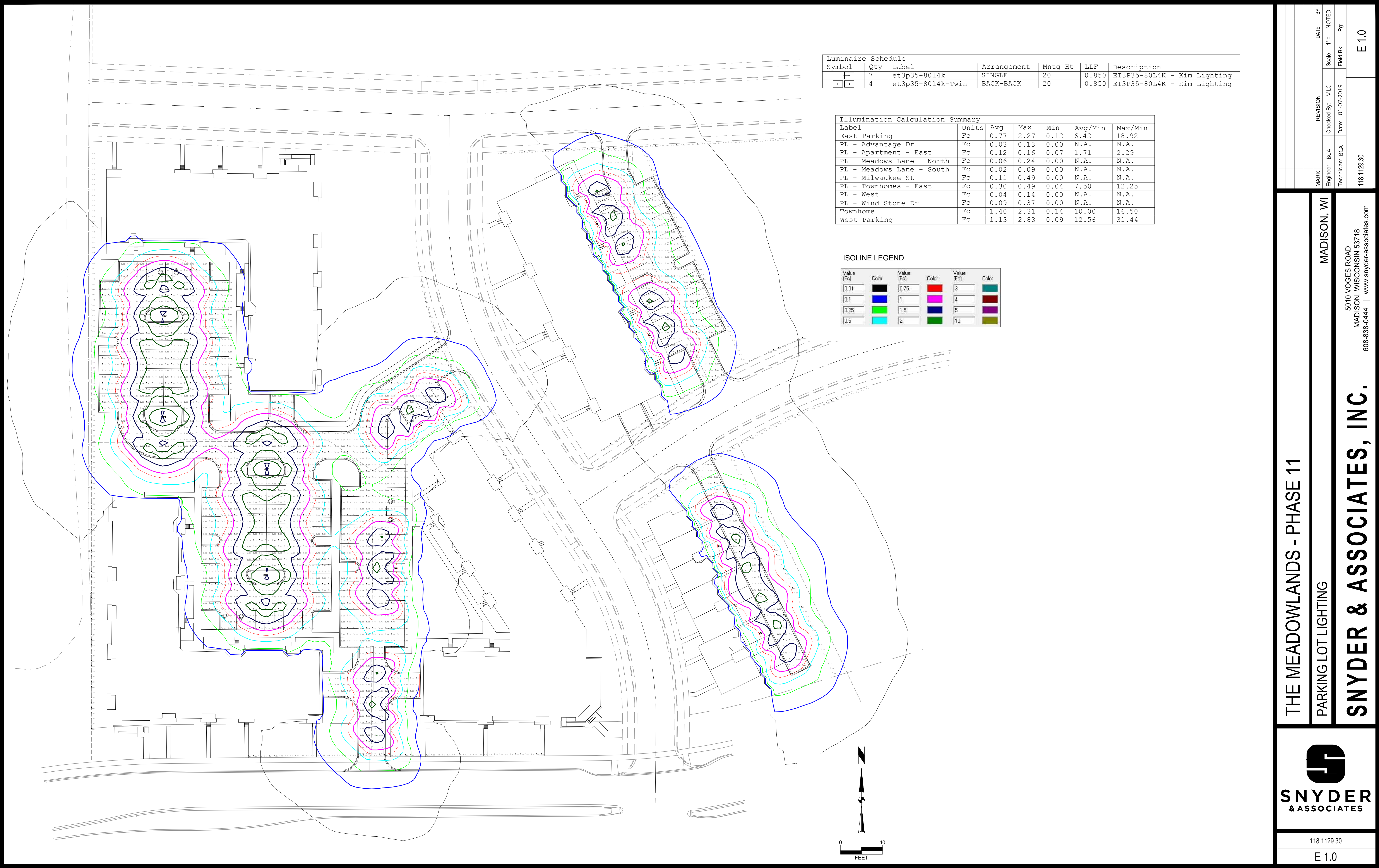












Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Mntg Ht	LLF	Description
	7	et3p35-80l4k	SINGLE	20	0.850	ET3P35-80L4K - Kim Lighting
	4	et3p35-80l4k-Twin	BACK-BACK	20	0.850	ET3P35-80L4K - Kim Lighting

Illumination Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
East Parking	Fc	0.77	2.27	0.12	6.42	18.92
PL - Advantage Dr	Fc	0.03	0.13	0.00	N.A.	N.A.
PL - Apartment - East	Fc	0.12	0.16	0.07	1.71	2.29
PL - Meadows Lane - North	Fc	0.06	0.24	0.00	N.A.	N.A.
PL - Meadows Lane - South	Fc	0.02	0.09	0.00	N.A.	N.A.
PL - Milwaukee St	Fc	0.11	0.49	0.00	N.A.	N.A.
PL - Townhomes - East	Fc	0.30	0.49	0.04	7.50	12.25
PL - West	Fc	0.04	0.14	0.00	N.A.	N.A.
PL - Wind Stone Dr	Fc	0.09	0.37	0.00	N.A.	N.A.
Townhome	Fc	1.40	2.31	0.14	10.00	16.50
West Parking	Fc	1.13	2.83	0.09	12.56	31.44

ISOLINE LEGEND					
Value (Fc)	Color	Value (Fc)	Color	Value (Fc)	Color
0.01		0.75		3	
0.1		1		4	
0.25		1.5		5	
0.5		2		10	

THE MEADOWLANDS - PHASE 11

PARKING LOT LIGHTING



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MADISON, WI

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SNYDER & ASSOCIATES, INC.

MADISON, WI

Engineer: BCA

Checked By: MLC

REVISION

DATE

BY

NOTED

Scale: 1"=

Field Bk:

Pg:

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E 1.0