

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 3840 Maple Grove Drive

Title: FRED - Maple Grove Residential

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested January 15, 2020 - Informational

- ☒ New development ☐ Alteration to an existing or previously-approved development
☒ Informational ☐ Initial approval ☐ Final approval

3. Project Type

- ☐ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
☐ General Development Plan (GDP)
☐ Specific Implementation Plan (SIP)
☒ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)

Other

- ☐ Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Paul Schmitter
Street address 789 N. Water Street
Telephone 414-442-3867

Project contact person Marc Ott
Street address 800 W. Broadway, Suite 200
Telephone 608-442-3687

Property owner (if not applicant) Schmitt Family Trust et. al. c/o Thomas Schmitt

Street address 113 S. Main Street
Telephone 608-845-7489

Company Fiduciary Real Estate Development
City/State/Zip Milwaukee, WI 53202
Email pschmitter@fred-inc.com

Company JLA aRCHITECTS
City/State/Zip Monona, WI 53713
Email mott@jla-ap.com

City/State/Zip Verona, WI 53593
Email _____

5. Required Submittal Materials

- ☒ **Application Form**
- ☒ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development plans** (Refer to checklist on Page 4 for plan details)
- ☒ **Filing fee**
- ☒ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on November 14, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Paul Schmitter

Relationship to property Contract Buyer

Authorizing signature of property owner Paul Schmitter

Date 12-18-2019

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- ☒ Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan
- ☒ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

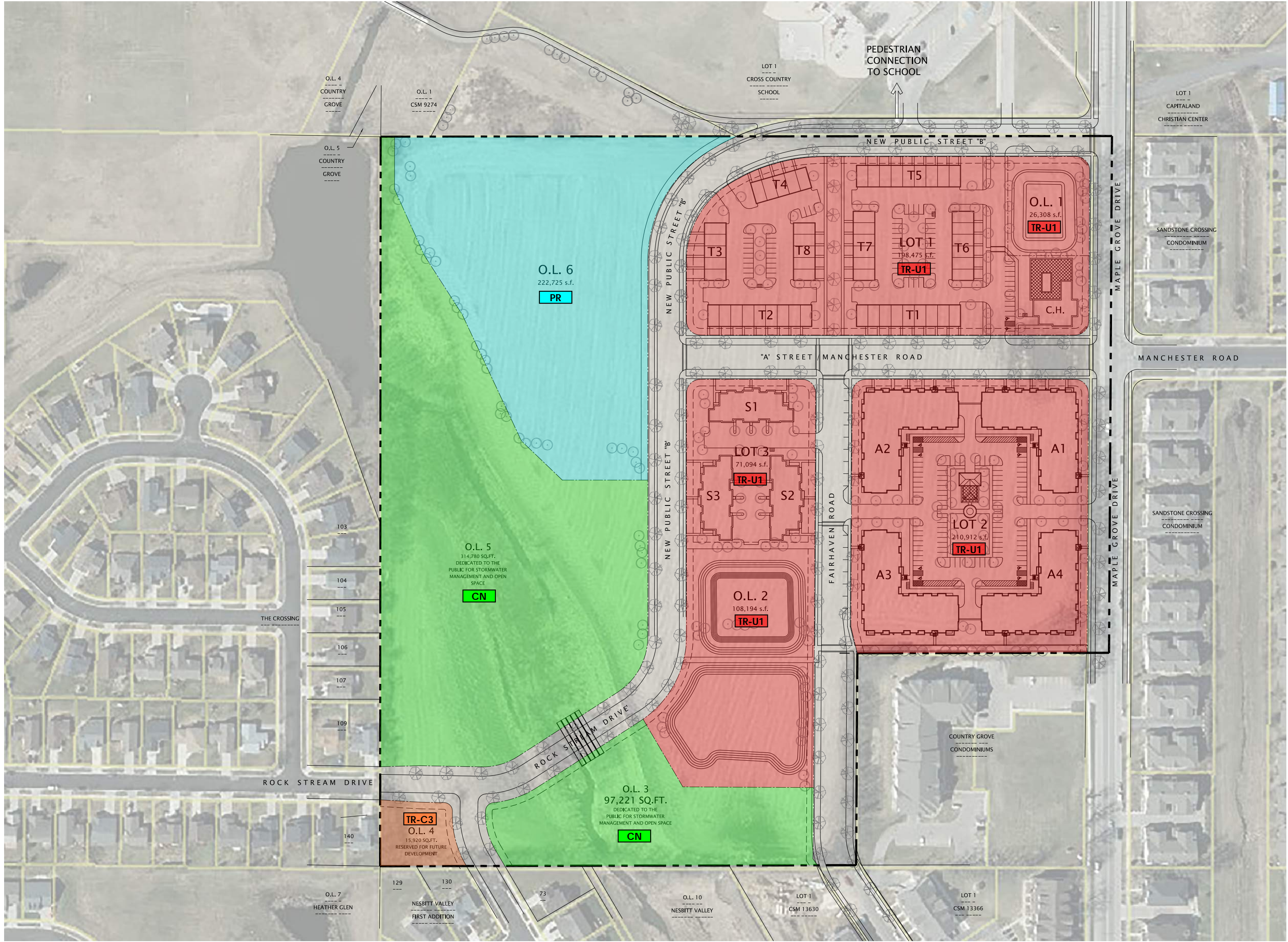
- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

MAPLE GROVE DRIVE RESIDENTIAL

MADISON, WISCONSIN



LAND USE APPLICATION SUBMITTAL

DECEMBER 18, 2019



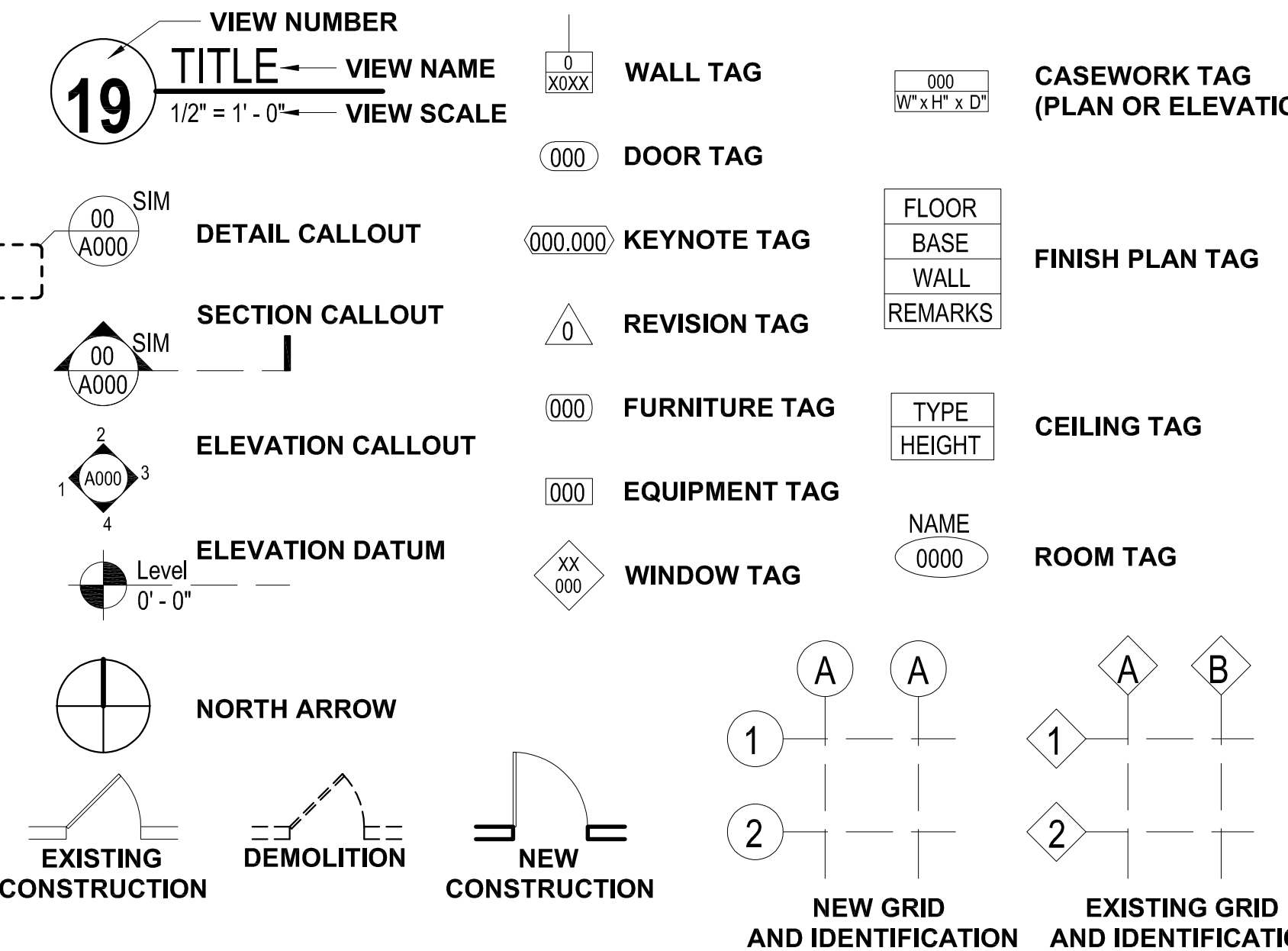
JLA
ARCHITECTS

JLA PROJECT NUMBER: 17-1018

ABBREVIATIONS

A air condition A/E Architect/Engineer ACI acoustical ceiling tile ADDL additional ADDM addendum AFC above finished counter AFF above finished floor AFG above finished grade AFS above finished slab ALT alternate ALUM aluminum APRD approved APT apartment ASC above suspended ceiling	D demolition DEPT department DF drinking fountain DFS Door and Frame Schedule DH double hung DIA diameter DR door frame DTL detail DW dishwasher DWG drawing	G gauge GALV galvanized GB grab bar GC general contractor GL glass GLT glass tile GLU LAM glued laminated wood GR grate, grading GRAN granite GT gROUT GWT glazed wall tile GYP BO gypsum board	N north NA not applicable NIC not in contract NO number NOM nominal NTS not to scale	T time & materials TEMP temperature TER terrace TERB terrace base TFF top of finish floor TK BO tackboard TO top of TOB top of beam TOC top of concrete TOJ top of joist TOPO topography TOS top of slab TOS top of steel TV television TYP typical
B baseboard BB bulletin board BLDG building BL blinds (window) BLT borrowed light BLW below BPL base plate BO bottom of BOS bottom of steel	E east EIFS exterior insulation & finish system ELEV elevator ELEC electric, electrical ELEV elevator EP epoxy EPS epoxy base EPB expanded polystyrene board EQ equal EXIST existing EXP expand, expansion EXT exterior	H hose bibb H hollow core HCP handscapped HMC hollow metal HORIZ horizontal HSCPG housekeeping HT height HVAC heating, ventilating HW hot water HWY hardwood floor HWY highway	O on center OD outside diameter OFICI owner furnished, contractor installed OFICI owner furnished, owner installed OH DR overhead (ceiling) door OPH opposite hand OPNG opening	U unless noted otherwise UNO unless otherwise note UON unless otherwise note
C catch basin CB construction bulletin CFICI contractor furnished, contractor installed CFIOI contractor furnished, owner installed CFVI contractor furnished, vendor installed CG corner guard CH BO chalkboard CIP cast-in-place CJ control joint CJ construction joint CL centrifuge CLG clear CM construction management CMU concrete masonry unit CO cleanout COL column CONC concrete CORR corridor CONT continuous CPT carpet CSWK casework CT ceramic tile CTB ceramic tile base	F female F filler FA fire alarm FAB fabric FAX facsimile FC file cabinet FD floor drain FEC fire extinguisher cabinet FHC fire hose cabinet FG floor grille FLR floor FM factory mutual FP fire protection FP fireproof FPL fire place FRP fiber reinforced panel FT feet FTG footing FWP fabric wrapped panel	I inside diameter INSUL insulation INT interior JSS janitor sink LAM laminate LAV lavatory LL live load	Q quarry tile QTBR quarry tile base R resilient base RCP reflected ceiling plan RD roof drain REBAR reinforcing steel bars RF resilient flooring RFS room finish schedule RO rough opening	V vinyl composition tile VFICI vendor furnished, contractor installed VFIOI vendor furnished, owner installed VFI vendor furnished, vendor installed VIF verify in field VWC vinyl wall covering
S sanitary SAN sanitary SC sealed concrete SC solid core SC square foot SH shades SIM similar SS solid surface SST stainless steel ST stain STN stair STNB stone base STRUC structure SV sheet vinyl	M maximum MC modular carpet tile MECH mechanical MFR manufacturer MIN minimum MIN minute MISC miscellaneous MO mop sink MS marble base MRF marble floor MTL metal	P plastic laminate PLYVD plywood PREFAB prefabricated PREFIN prefinished PSI pounds per square inch PT paint, painted PTN partition	W west W with WIO without WC wall closet WC wall covering WD wood WDB wood base WDV wood veneer WH water heater WP wall protection WP workpoint	X extruded polystyrene board (insul)
Y	Z			

SYMBOL LEGEND



PROJECT ADDRESS

MAPLE GROVE DRIVE RESIDENTIAL
MADISON, WISCONSIN

OWNER INFORMATION

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 NORTH WATER STREET - SUITE 200
MILWAUKEE, WISCONSIN 53202
CONTACT: MR. CRAIG RADDATZ
CRADDATZ@FRED-INC.COM
P 414.226.4535

PROJECT TEAM

ARCHITECTURAL



JLA ARCHITECTS & PLANNERS

2418 CROSSROADS DRIVE - SUITE 2300
MADISON, WISCONSIN 53718
CONTACT: MR. MARC OTT
MOTT@JLA-AP.COM
OFFICE: 608.241.9500 DIRECT: 608.442.3867

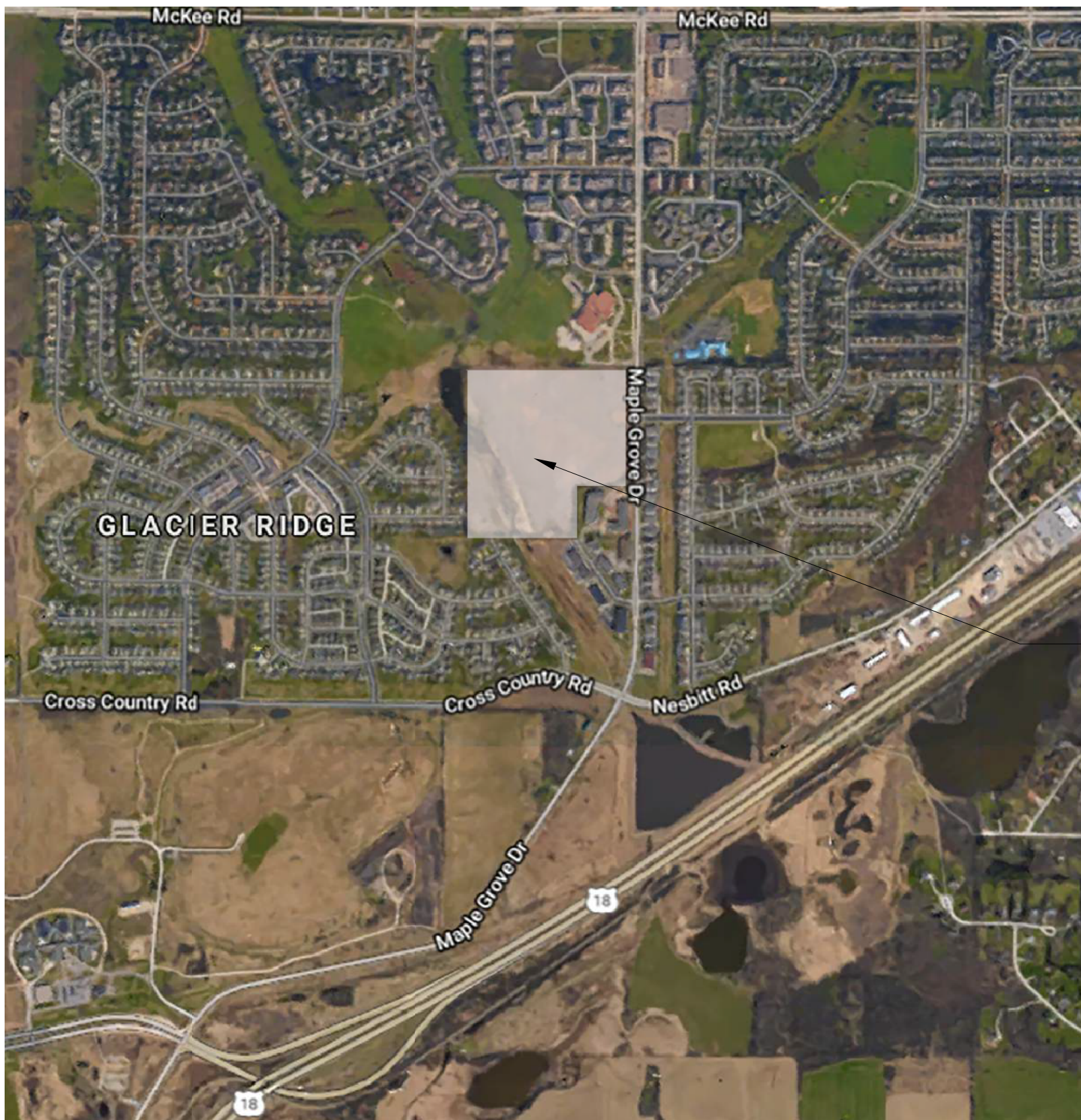
CIVIL ENGINEERING



D'ONOFRIO KOTTKE AND ASSOCIATES

7530 WESTWARD WAY
MADISON, WISCONSIN 53717
CONTACT: MR. BRUCE HOLLAR
BHOLLAR@DONOFRIO.CC
608.833.7530

VICINITY MAP



EXTENTS OF
DEVELOPMENT

SHEET INDEX

G000	COVER
G001	INDEX
C-001	EXISTING CONDITIONS
C-100	SITE PLAN
C-101	SITE PLAN
C-102	SITE PLAN
C-201	GRADING PLAN
C-202	GRADING PLAN
C-301	UTILITY PLAN
C-302	UTILITY PLAN
C-500	FIRE ACCESS PLAN
P-1.0	SITE LIGHTING PHOTOMETRIC
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	OVERALL EXISTING TREE INVENTORY
L-1.2	OVERALL LANDSCAPE PLAN: LOT 1
L-1.3	FOUNDATION LANDSCAPE PLAN: CLUBHOUSE & TOWNHOMES
L-1.4	ENLARGED LANDSCAPE FOUNDATION PLANS: LOT 1
L-1.5	OVERALL LANDSCAPE PLAN: LOT 2
L-1.6	ENLARGED APARTMENT FOUNDATION LANDSCAPE PLAN: OPTION A
L-1.7	ENLARGED APARTMENT FOUNDATION LANDSCAPE PLAN: OPTION B
L-1.8	OVERALL LANDSCAPE PLAN: LOT 3
L-1.9	ENLARGED LANDSCAPE FOUNDATION PLANS: OPTION A & B
L-1.10	OVERALL LANDSCAPE PLAN: OUTLOT 1 & 2
T-A101	FLOOR PLANS
T-A102	FLOOR PLANS
T-A200	EXTERIOR ELEVATIONS
T-A201	EXTERIOR ELEVATIONS
T-A202	EXTERIOR PERSPECTIVES
A-A100	LOWER LEVEL PLAN
A-A101	FIRST FLOOR PLAN
A-A102	SECOND FLOOR PLAN
A-A103	THIRD FLOOR PLAN
A-A104	ROOF PLAN
A-A200	EXTERIOR ELEVATIONS
A-A201	EXTERIOR ELEVATIONS
A-A202	EXTERIOR PERSPECTIVES
S-A101	FIRST FLOOR PLAN
S-A102	SECOND FLOOR PLAN
S-A103	ROOF PLAN
S-A200	EXTERIOR ELEVATIONS
S-A201	EXTERIOR ELEVATIONS
S-A202	EXTERIOR PERSPECTIVES
CH-A101	FIRST FLOOR PLANS
CH-A200	EXTERIOR ELEVATIONS
CH-A201	EXTERIOR ELEVATIONS
CH-A202	EXTERIOR PERSPECTIVES



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JLA PROJECT NUMBER:17-1018



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LAND USE SUBMITTAL

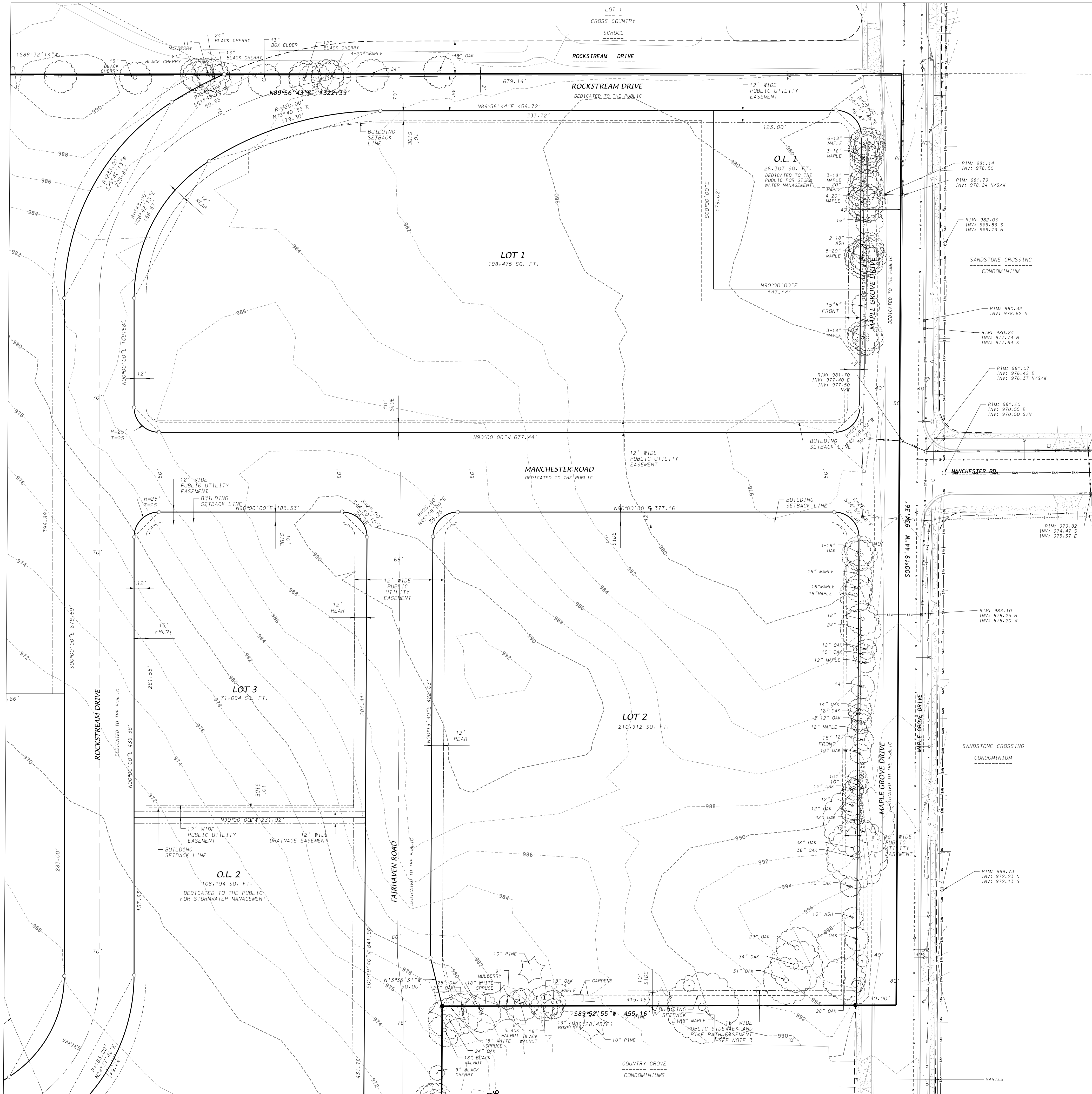
PROGRESS DOCUMENTS		
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DATE OF ISSUANCE		DECEMBER 18, 2019
REVISION SCHEDULE		
MARK	DESCRIPTION	DATE

SHEET TITLE
INDEX SHEET

SHEET NUMBER
G001

- LEGEND
- FOUND 3/4" REBAR
 - FOUND 1-1/4" REBAR
 - PLACED 3/4"x18" REBAR (WT=1.5 LBS/FT)
 - SAN SANITARY SEWER
 - W WATER MAIN
 - STM STORM SEWER
 - TV TELECOMMUNICATION
 - MANHOLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - CATCH BASIN/INLET
 - LIGHT POLE
 - VALVE
 - HYDRANT
 - SIGN
 - FENCE
 - CONCRETE CURB AND GUTTER
 - EXISTING CONTOUR



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7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DKA PROJECT NUMBER: 19-03-104

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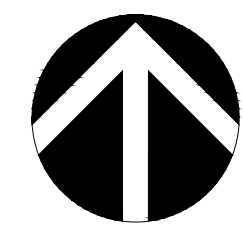
REVISION SCHEDULE		
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SHEET TITLE

**EXISTING
CONDITIONS**

SHEET NUMBER

C-001



SCALE: 1"= 50'

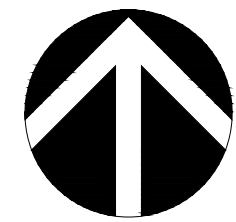
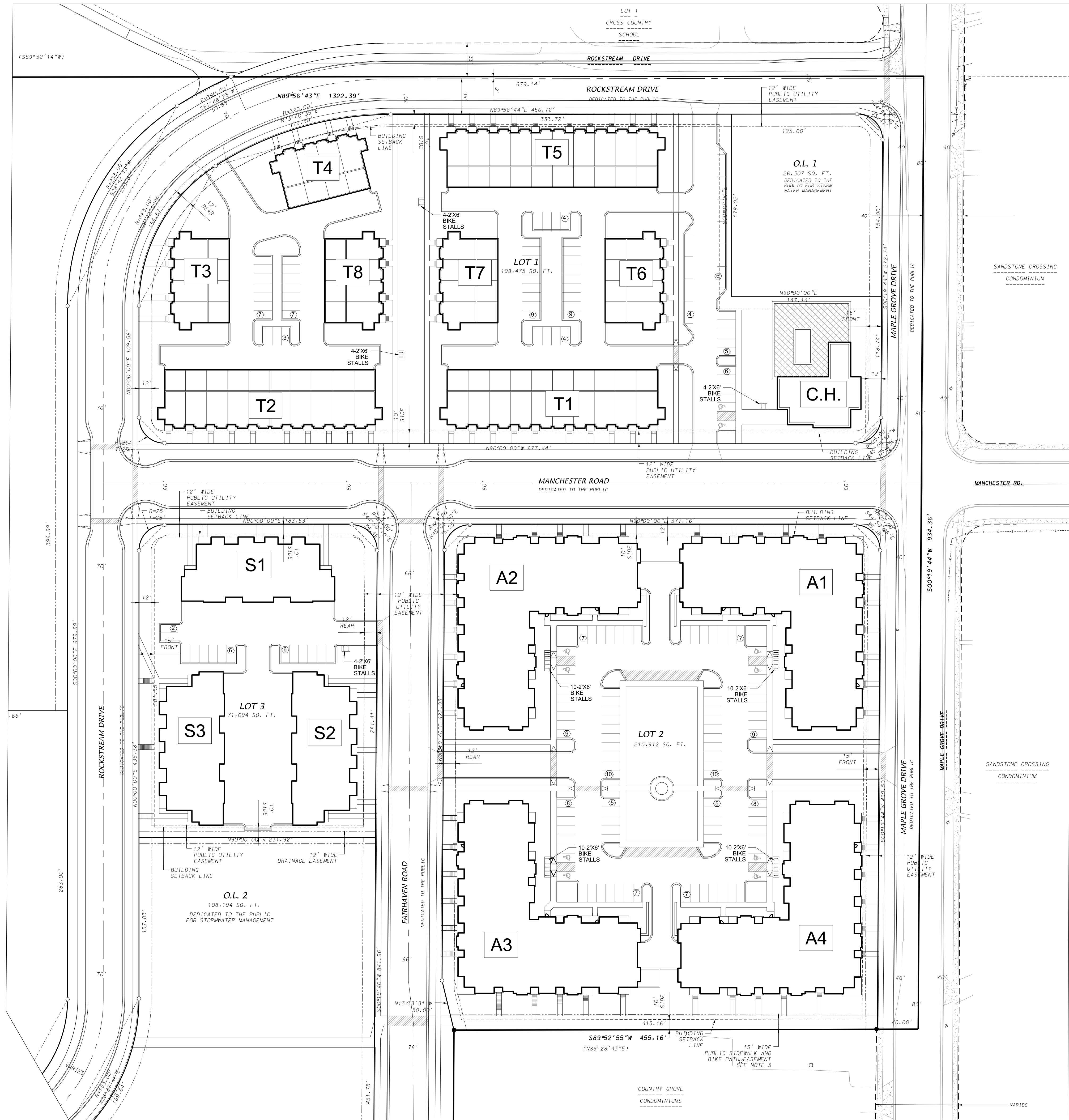
LEGEND

- FOUND 3/4" REBAR
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- DECIDUOUS TREE
- CONIFEROUS TREE
- CATCH BASIN/INLET
- LIGHT POLE
- VALVE
- HYDRANT
- SIGN
- ACCESSIBLE PARKING SPACE
- NO. PARKING SPACES
- FENCE
- CONCRETE CURB AND GUTTER

SITE PLAN INFORMATION BLOCK LOT 1	
Existing Lot Area	198,475 sf
Building Area	66,361 sf
Total Covered Parking Stalls	100
Total Surface Parking Stalls	64
Total Parking Stalls	164
Total Covered Bike Parking Stalls	100
Total Surface Bike Parking Stalls	12
Total Bike Parking Stalls	112

SITE PLAN INFORMATION BLOCK LOT 2	
Existing Lot Area	210,912 sf
Building Area	87,280 sf
Total Covered Parking Stalls	204
Total Surface Parking Stalls	92
Total Parking Stalls	296
Total Covered Bike Parking Stalls	176
Total Surface Bike Parking Stalls	40
Total Bike Parking Stalls	216

SITE PLAN INFORMATION BLOCK LOT 3	
Existing Lot Area	71,094 sf
Building Area	24,903 sf
Total Covered Parking Stalls	36
Total Surface Parking Stalls	36
Total Guest Parking Stalls	14
Total Parking Stalls	86
Total Covered Bike Parking Stalls	48
Total Surface Bike Parking Stalls	4
Total Bike Parking Stalls	52



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MAPLE GROVE DRIVE RESIDENTIAL

LAND USE SUBMITTAL

PROGRESS DOCUMENTS

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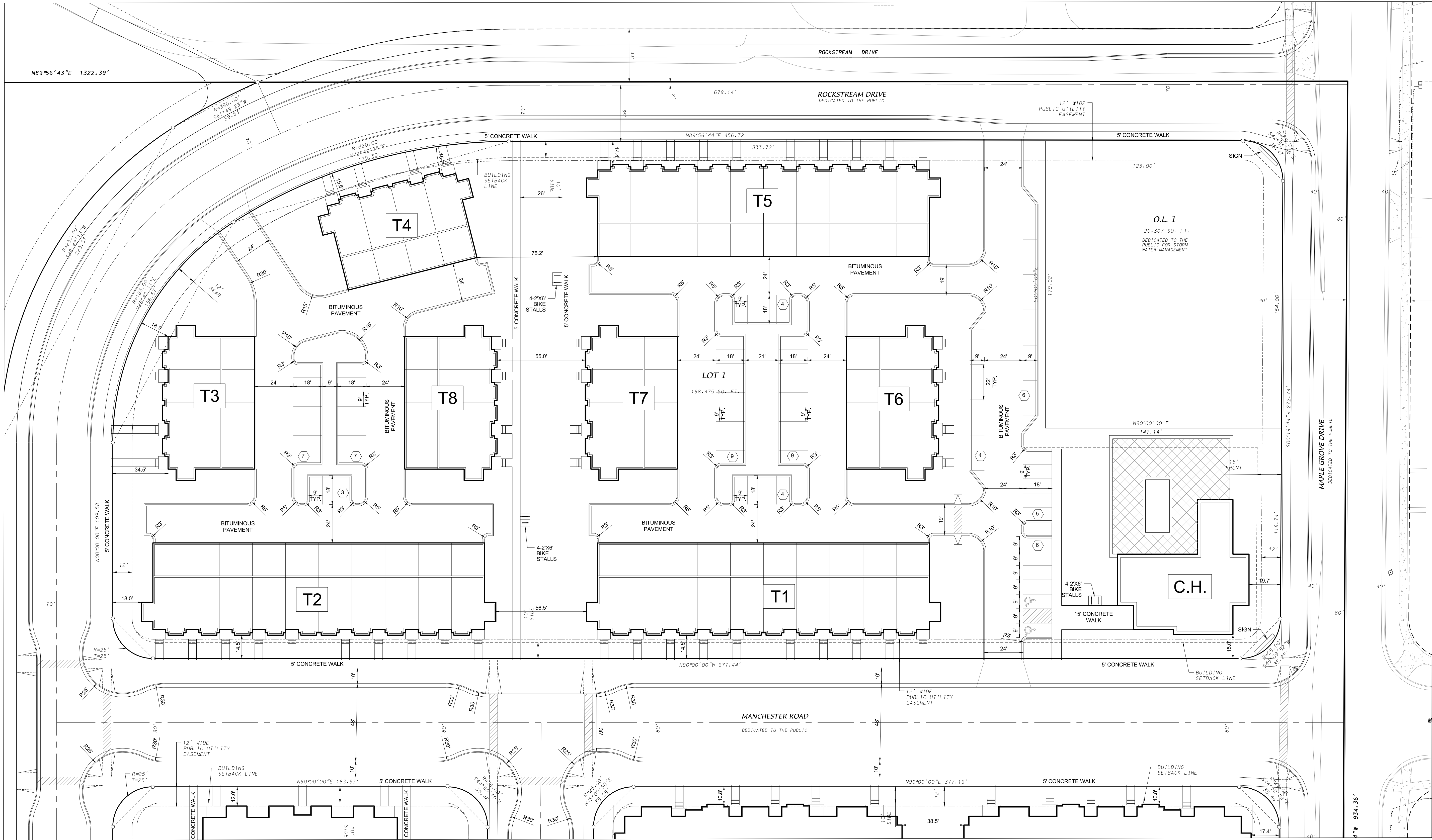
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SHEET TITLE

SITE PLAN

SHEET NUMBER

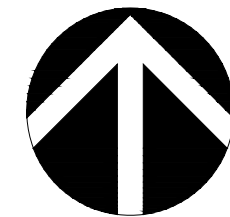
C-100



GENERAL NOTES

- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
- IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT. IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
- CURB RADII DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
- CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY AND IS DAMAGED BY CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION / PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



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**MAPLE GROVE DRIVE
RESIDENTIAL**

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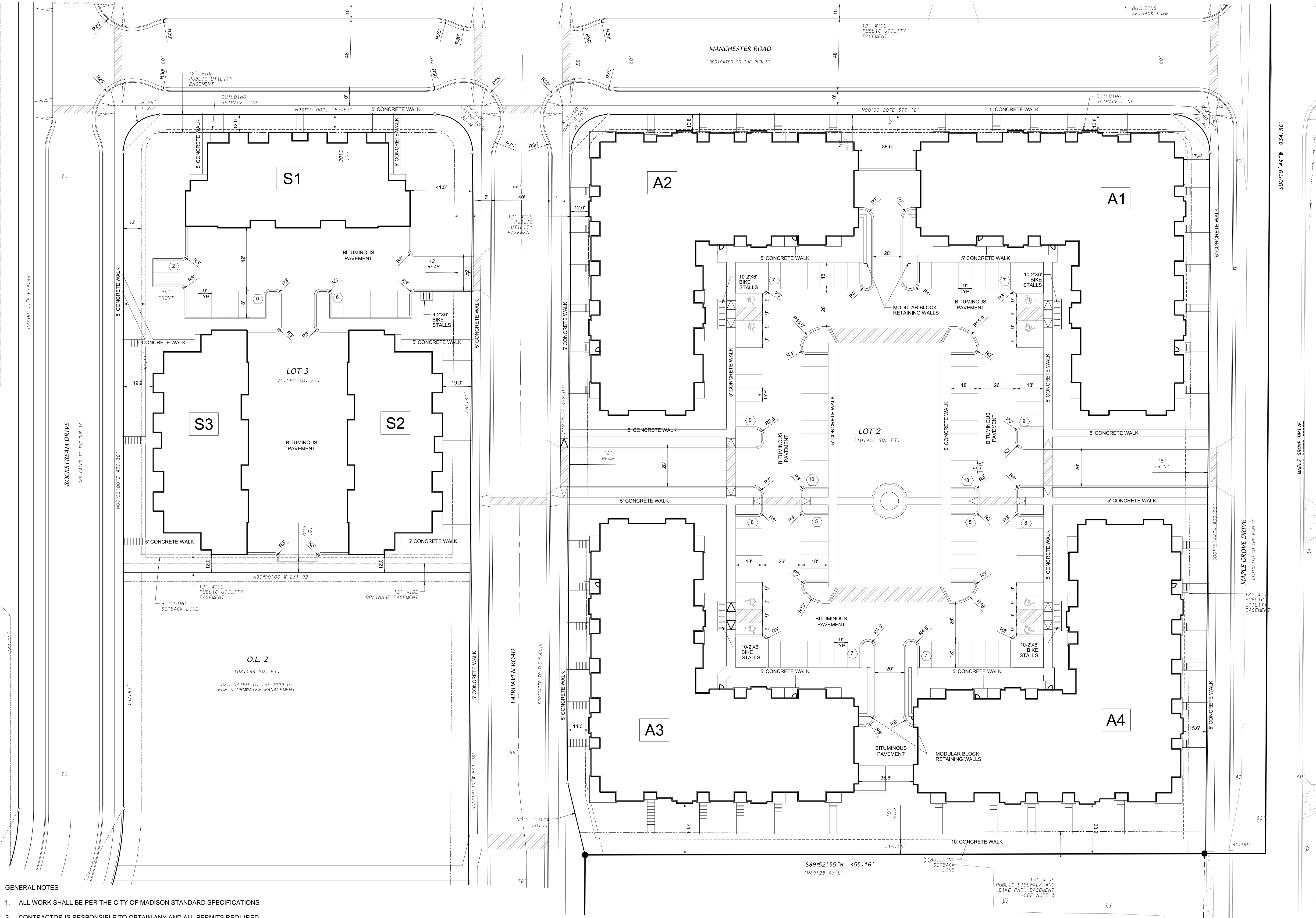
SHEET TITLE

SITE PLAN

SHEET NUMBER

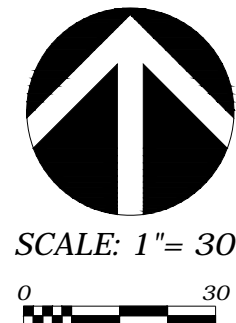
C-101

Dec 17, 2019 - 3:14 pm U:\User\19031014 Drawings\19031014 10 Site Plan.dwg C-102



- GENERAL NOTES
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
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7530 Westward Way, Madison, WI 53717
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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DKA PROJECT NUMBER: 19-03-104

MAPLE GROVE DRIVE RESIDENTIAL

LAND USE SUBMITTAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE December-18-2019

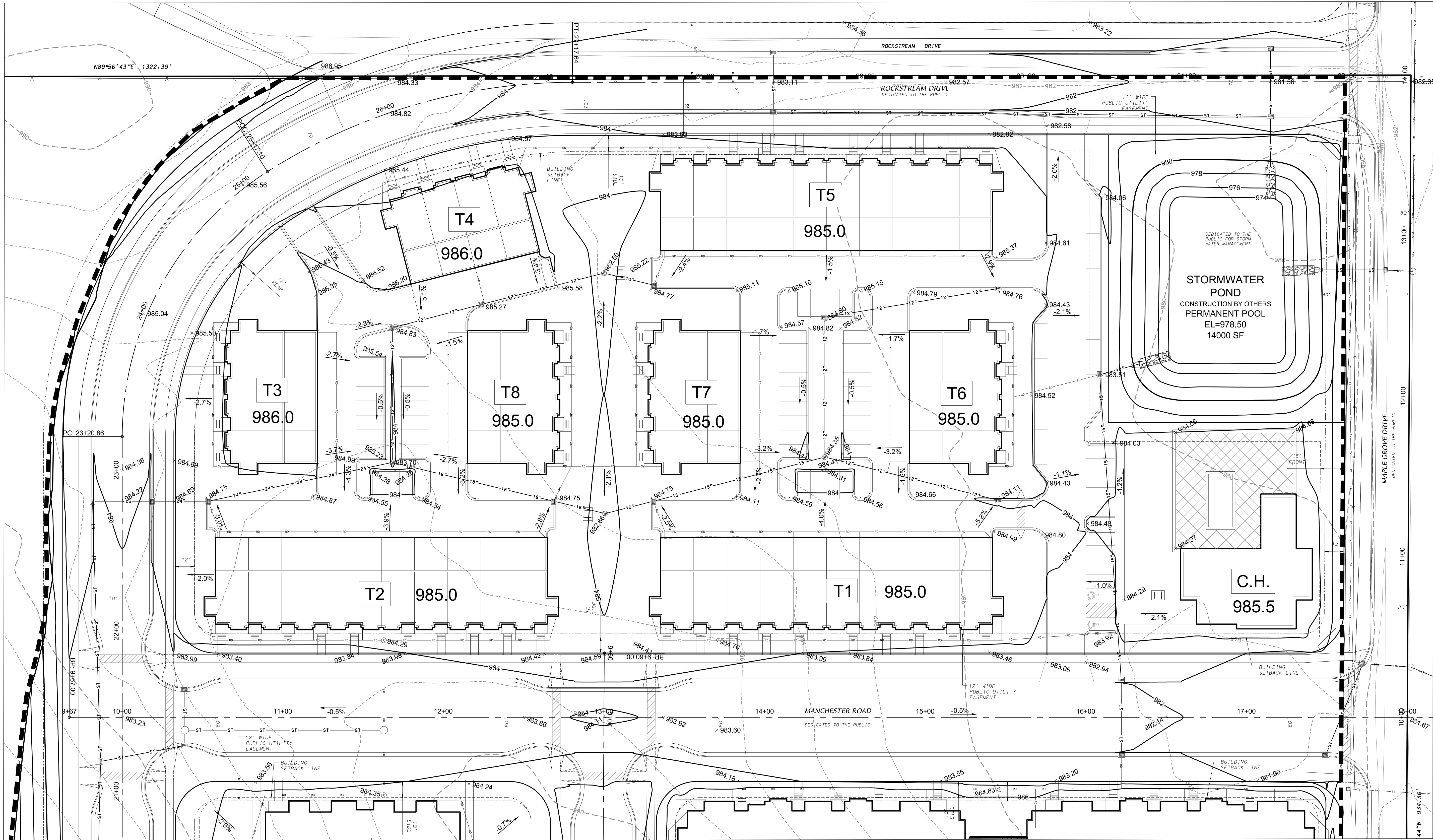
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SITE PLAN

SHEET NUMBER

C-102



Dec 17, 2019 3:54 pm U:\User\1903104 Drawings\1903104 2.0 Grading.dwg C-201

LEGEND

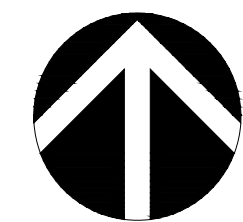
- PROPOSED CONTOUR
- EXISTING CONTOUR
- GRADING LIMITS

GENERAL NOTES

- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
- CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
- IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION

GRADING AND EROSION CONTROL NOTES

- NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
- CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
- DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.



SCALE: 1" = 30'



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-1018



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

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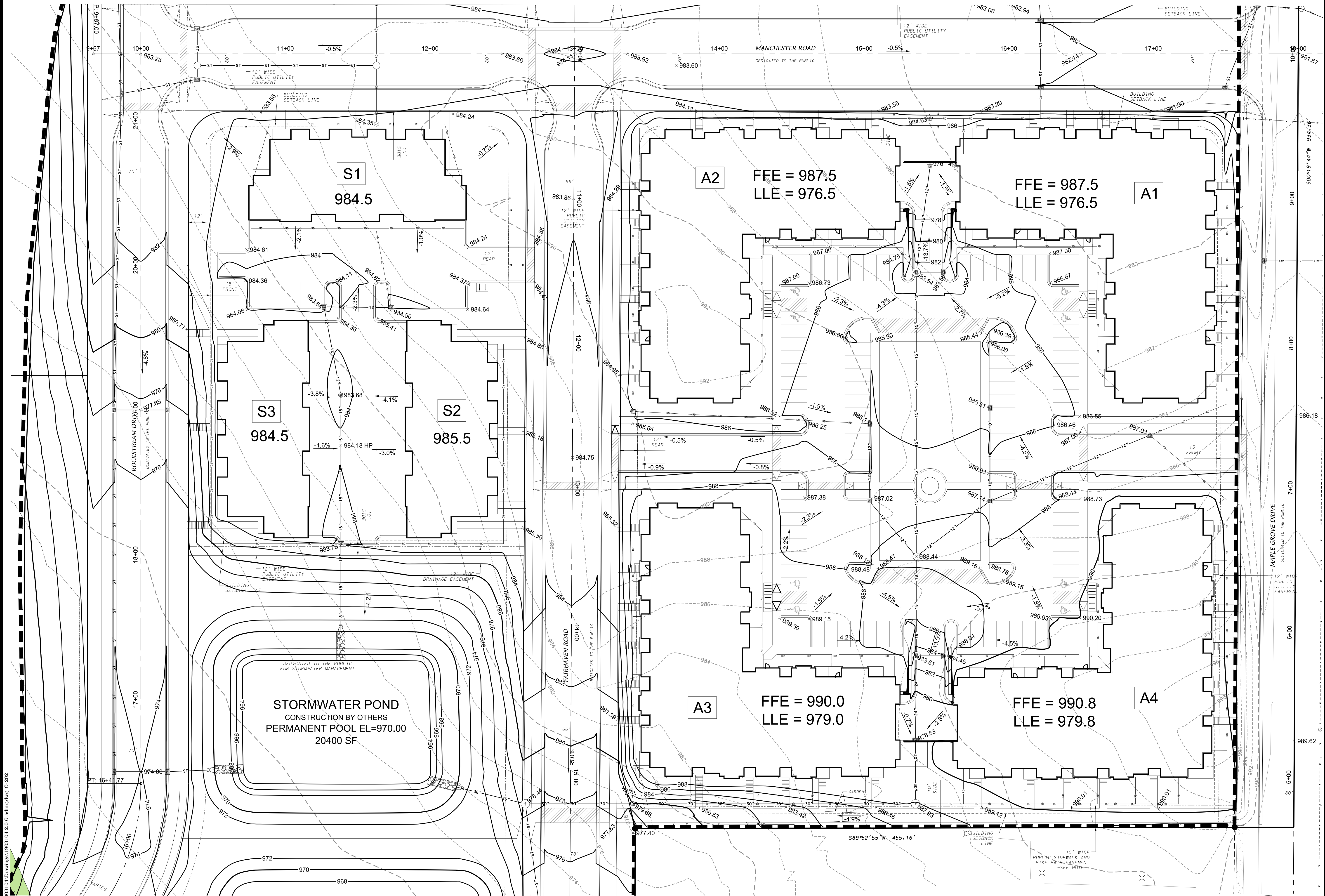
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

GRADING PLAN

SHEET NUMBER

C-201



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LEGEND

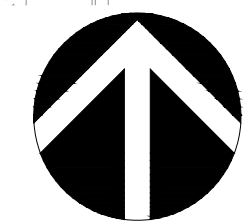
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SCALE: 1"= 30'



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MAPLE GROVE DRIVE
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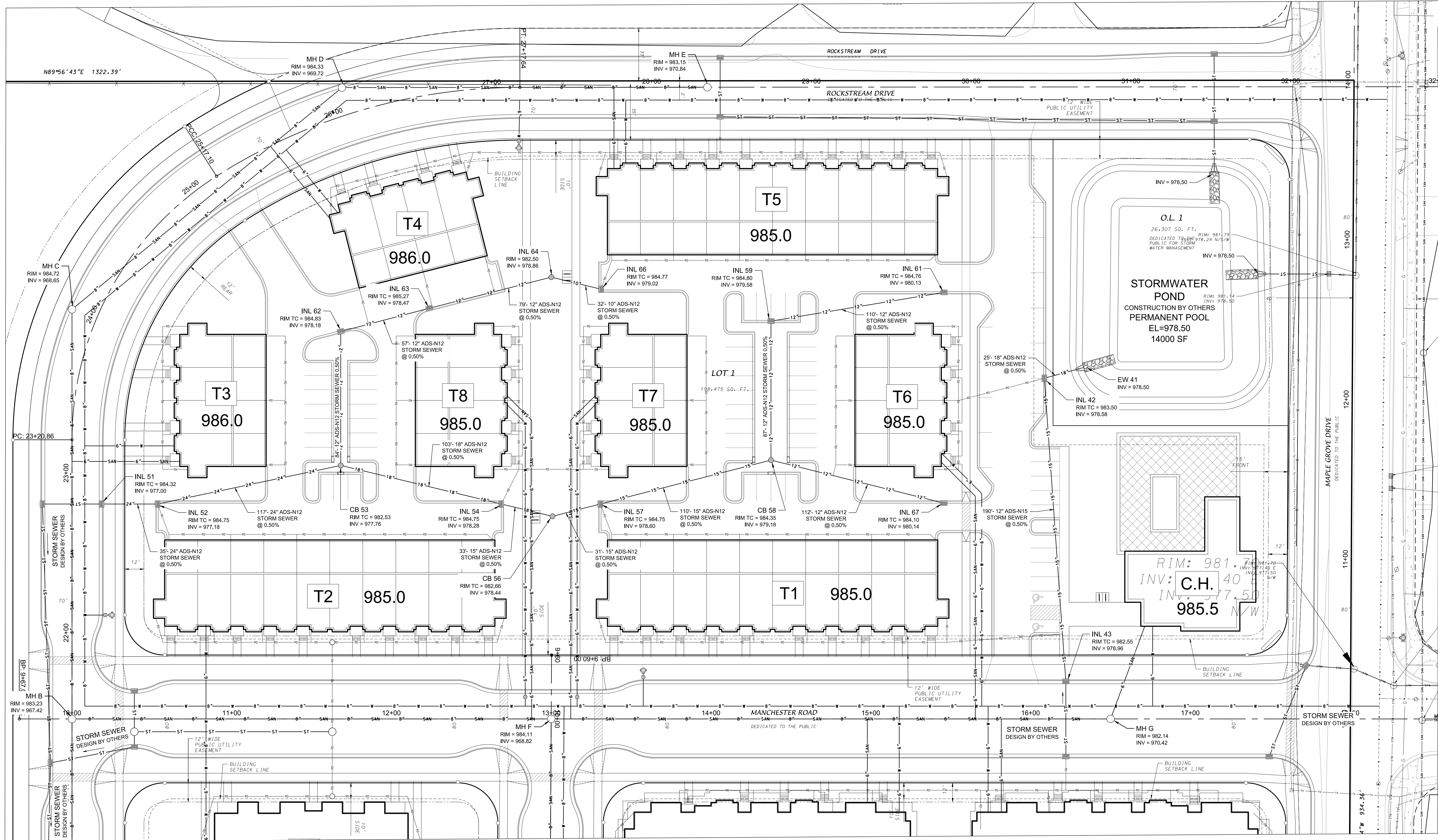
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

GRADING PLAN

SHEET NUMBER

C-202

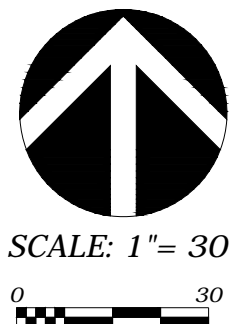


SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
5. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
6. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
7. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE.
8. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID.
9. ALL STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12.
10. ALL ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.

LEGEND

- 12" STORM SEWER (SIZE)
- ROOF DRAIN
- 8" SANITARY SEWER
- 6" WATER MAIN
- HYDRANT - WATER VALVE
- CURB INLET
- CURB CUT - YARD DRAIN



JLA
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MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 17-1018



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DKA PROJECT NUMBER: 19-03-104

**MAPLE GROVE DRIVE
RESIDENTIAL**

LAND USE SUBMITTAL

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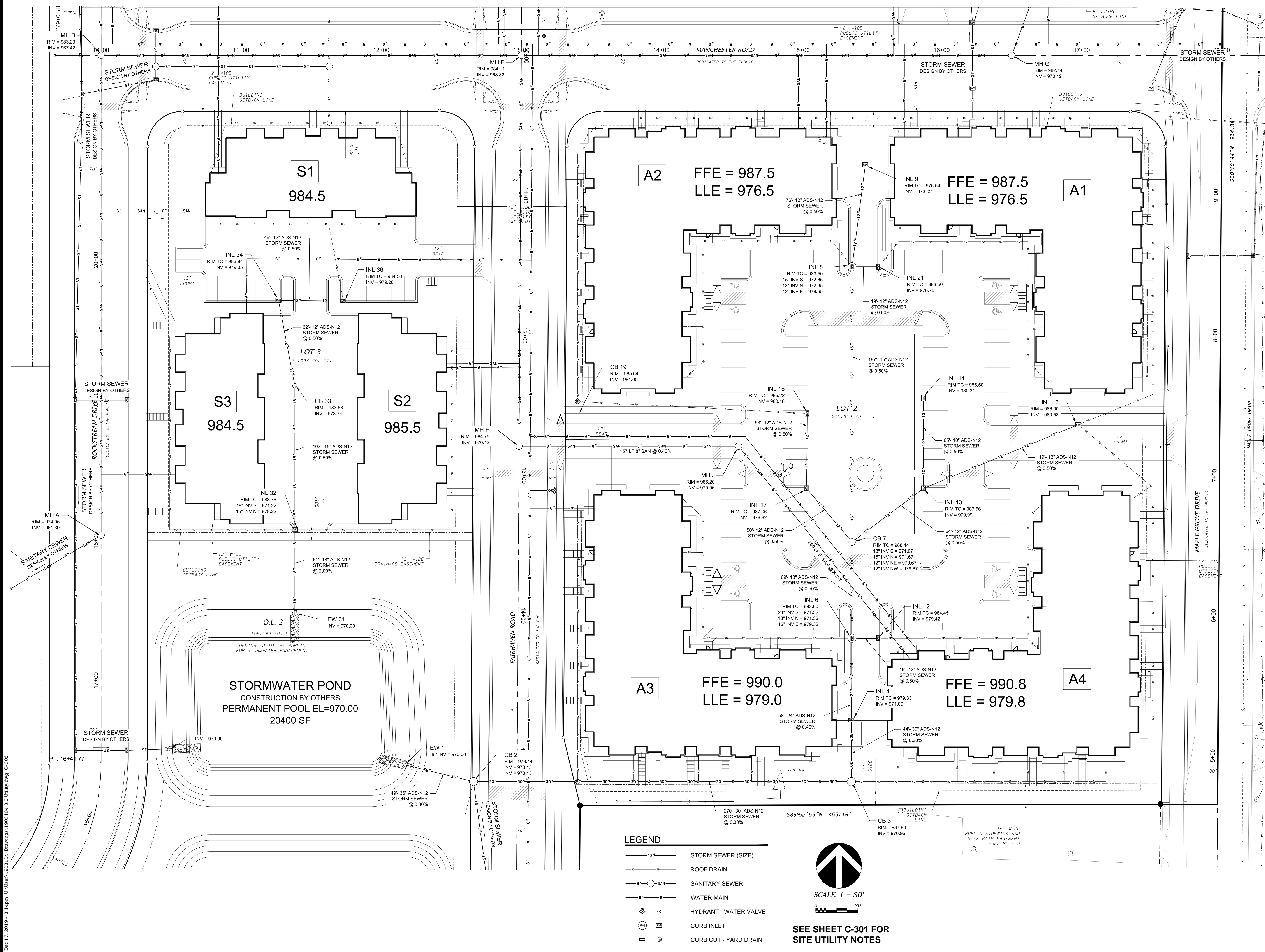
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C-301



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-1018



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YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DKA PROJECT NUMBER: 19-03-104

MAPLE GROVE DRIVE RESIDENTIAL

LAND USE SUBMITTAL

PROGRESS DOCUMENTS

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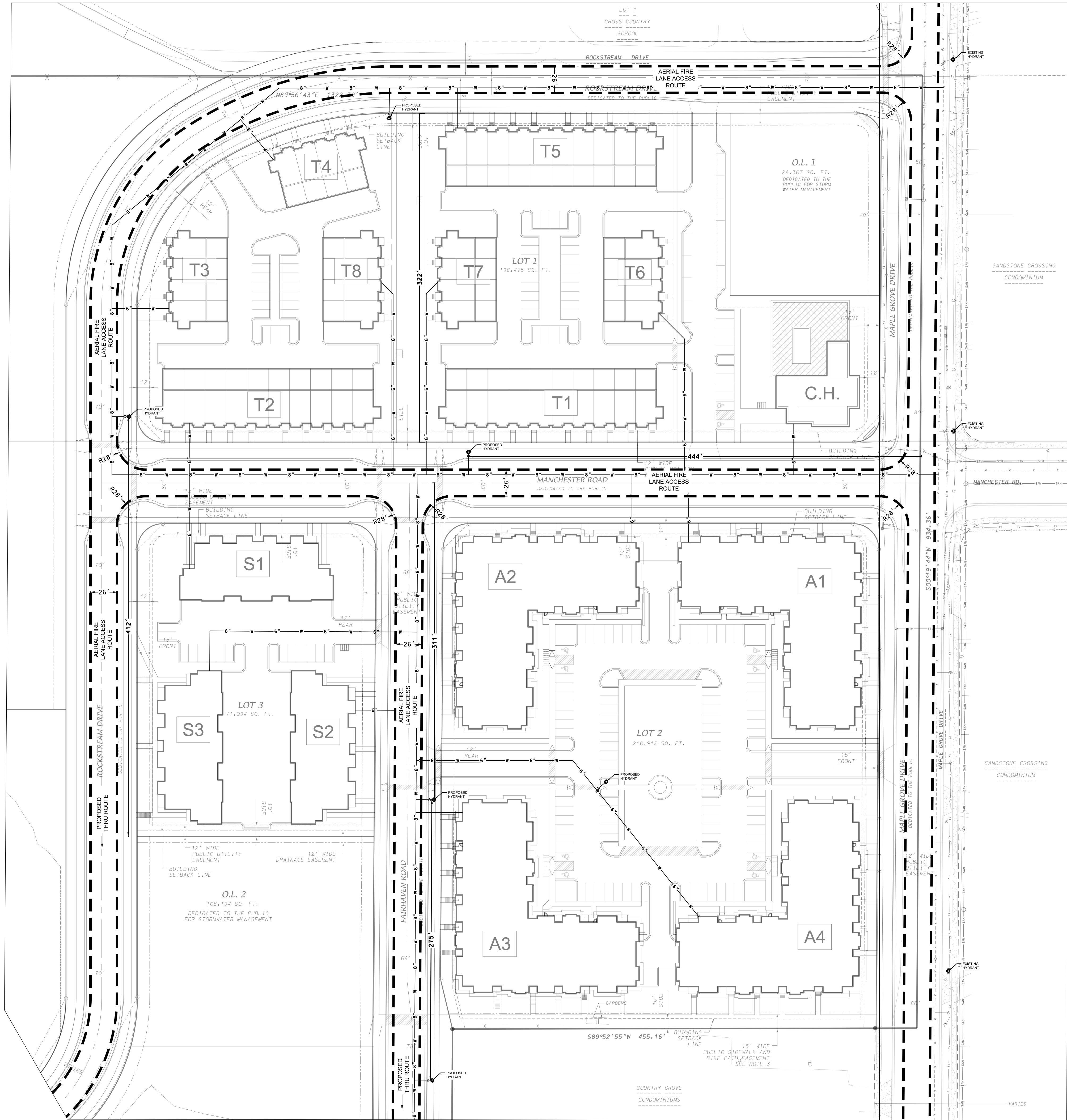
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C-302



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: 17-1018



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MAPLE GROVE DRIVE RESIDENTIAL

LAND USE SUBMITTAL

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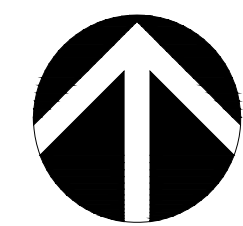
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRE ACCESS PLAN

SHEET NUMBER

C-500

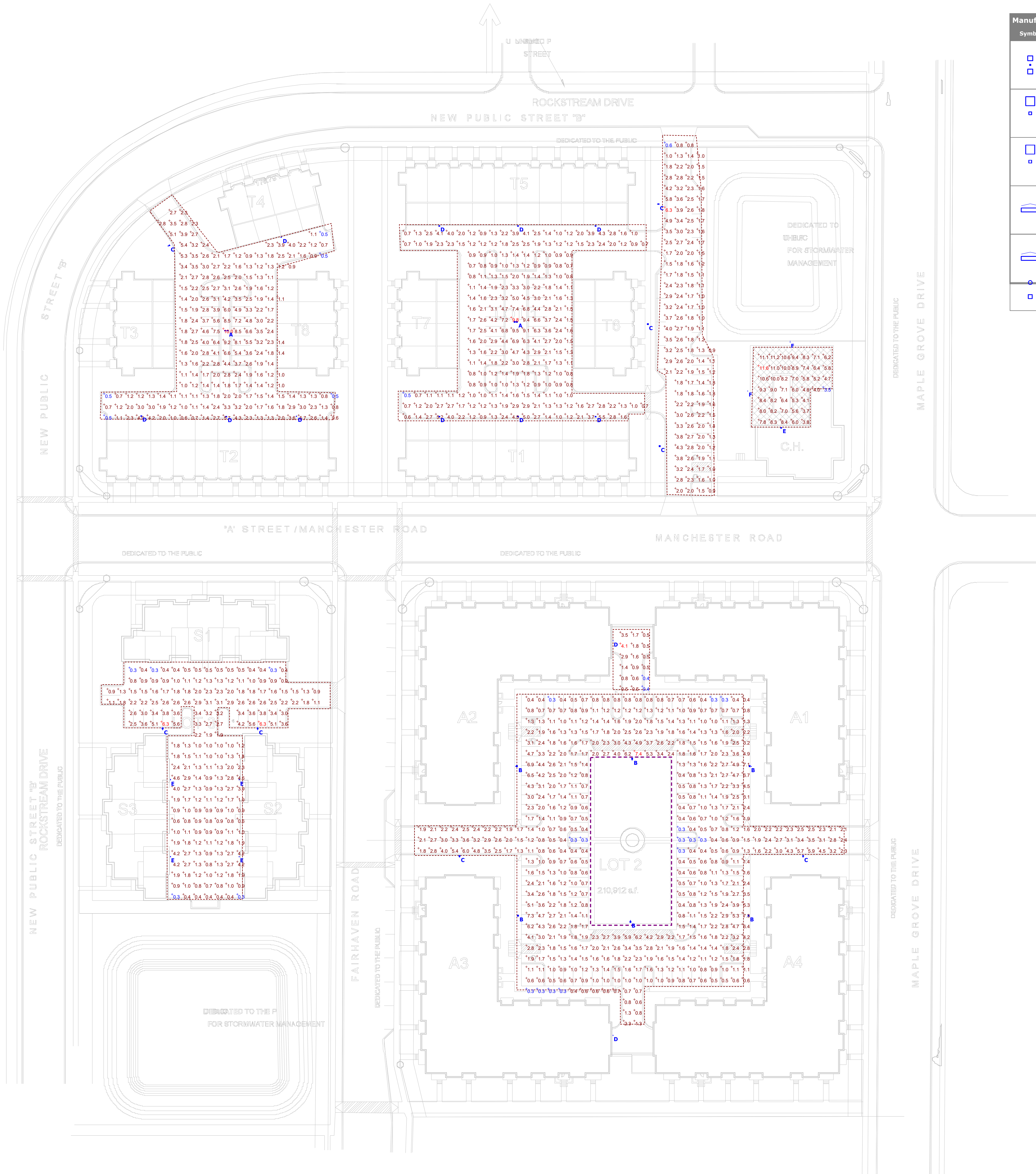


SCALE: 1" = 50'



LEGEND

--- UNOBSTRUCTED FIRE LANE



Plan View
Scale - 1" = 50ft

Manufacturer													
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height			
	A		2	Lithonia Lighting	RSX2 LED P2 40K R4	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R4 Distribution	17427	1	228.14	22FT AFG 20FT POLE + 2FT BASE			
	B		6	Lithonia Lighting	RSX2 LED P2 40K R4	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R4 Distribution	17427	1	114.07	22FT AFG 20FT POLE + 2FT BASE			
	C		8	Lithonia Lighting	RSX2 LED P2 40K R3	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R3 Distribution	17202	1	114.07	22FT AFG 20FT POLE + 2FT BASE			
	D		12	Lithonia Lighting	DSXW1 LED 20C 530 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 530mA.	4287	1	34.9	10FT AFG			
	E		5	Lithonia Lighting	DSXW1 LED 20C 530 40K T4M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 530mA.	4201	1	34.9	10FT AFG			
	F		2	HUBBELL OUTDOOR	RAR2-480L-240-4K7-4W		31850	1	226.9				

Note
FC Measured at 0' AFG

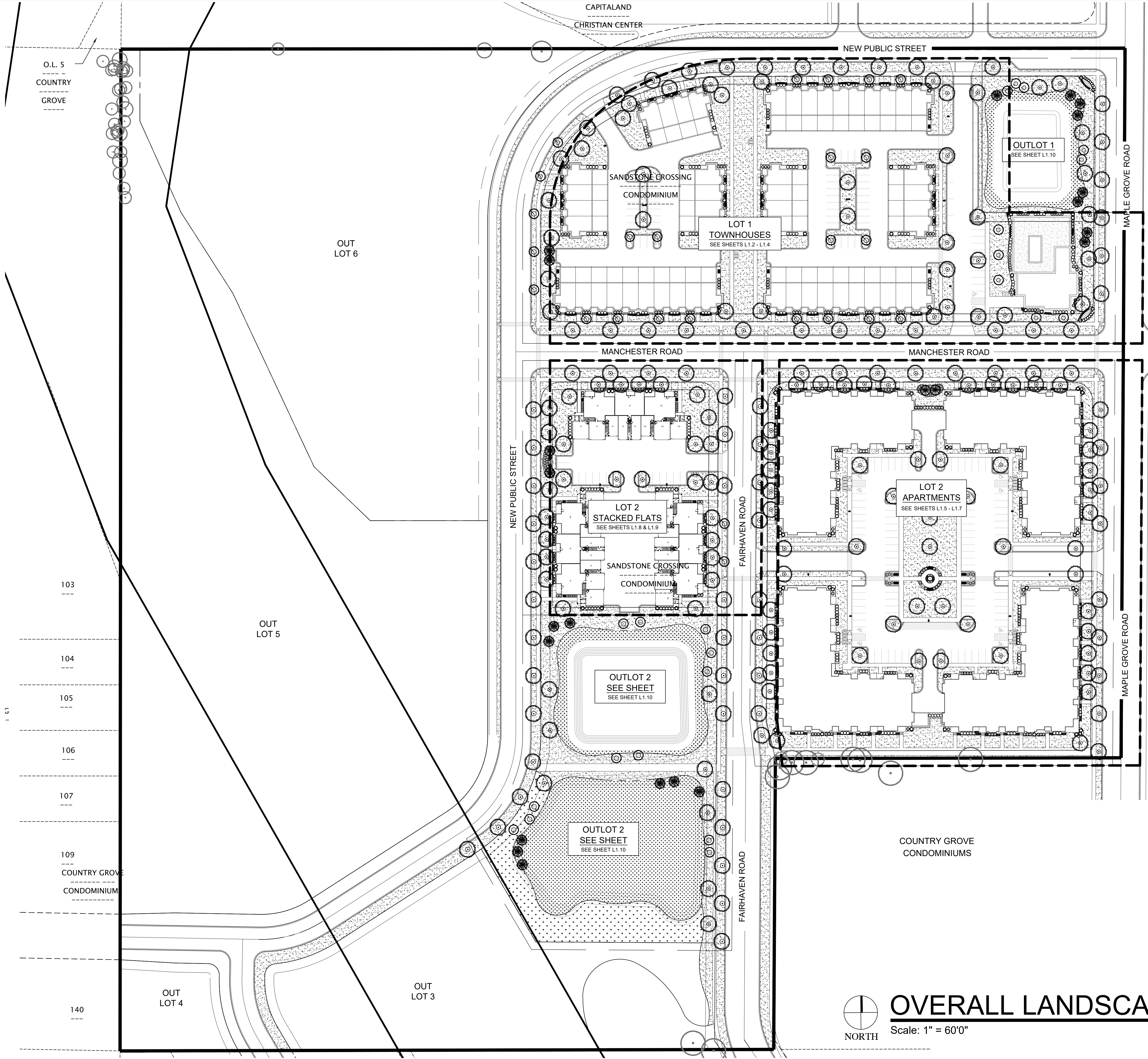
Per Wisconsin Administrative Code
SPS 390.16 (3) (d) pool will have an
underwater light.

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
BETWEEN T6 & C.H.	+	2.1 fc	6.3 fc	0.6 fc	10.5:1	3.5:1	
LOT 1	+	2.2 fc	9.8 fc	0.5 fc	19.6:1	4.4:1	
LOT 2		1.8 fc	7.4 fc	0.3 fc	24.7:1	5.9:1	
LOT 3	+	1.8 fc	6.3 fc	0.3 fc	21.0:1	6.0:1	
POOL	+	7.4 fc	11.6 fc	3.5 fc	3.3:1	2.1:1	
T2/T3/T4/T8	+	2.5 fc	10.0 fc	0.5 fc	20.0:1	5.0:1	

TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

CALL DIGGERS' HOTLINE
811 or 1-800-242-8511
MILW. AREA 259-1181
WS STATUTE 182.075(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



103

104

105

106

107

109

COUNTRY GROVE
CONDOMINIUM

140

OUT
LOT 5

OUT
LOT 4

OUT
LOT 3

OUT
LOT 6

CAPITALAND
CHRISTIAN CENTER

NEW PUBLIC STREET

SANDSTONE CROSSING
CONDOMINIUM

LOT 1
TOWNHOUSES
SEE SHEETS L1.2 - L1.4

OUTLOT 1
SEE SHEET L1.10

MANCHESTER ROAD

MANCHESTER ROAD

NEW PUBLIC STREET

LOT 2
STACKED FLATS
SEE SHEETS L1.8 & L1.9

SANDSTONE CROSSING
CONDOMINIUM

OUTLOT 2
SEE SHEET
SEE SHEET L1.10

OUTLOT 2
SEE SHEET
SEE SHEET L1.10

FAIRHAVEN ROAD

FAIRHAVEN ROAD

MAPLE GROVE ROAD

MAPLE GROVE ROAD

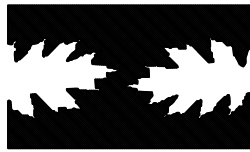
COUNTRY GROVE
CONDOMINIUMS



OVERALL LANDSCAPE PLAN

Scale: 1" = 60'0"

HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com



PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
12.17.19	SUBMITTAL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN

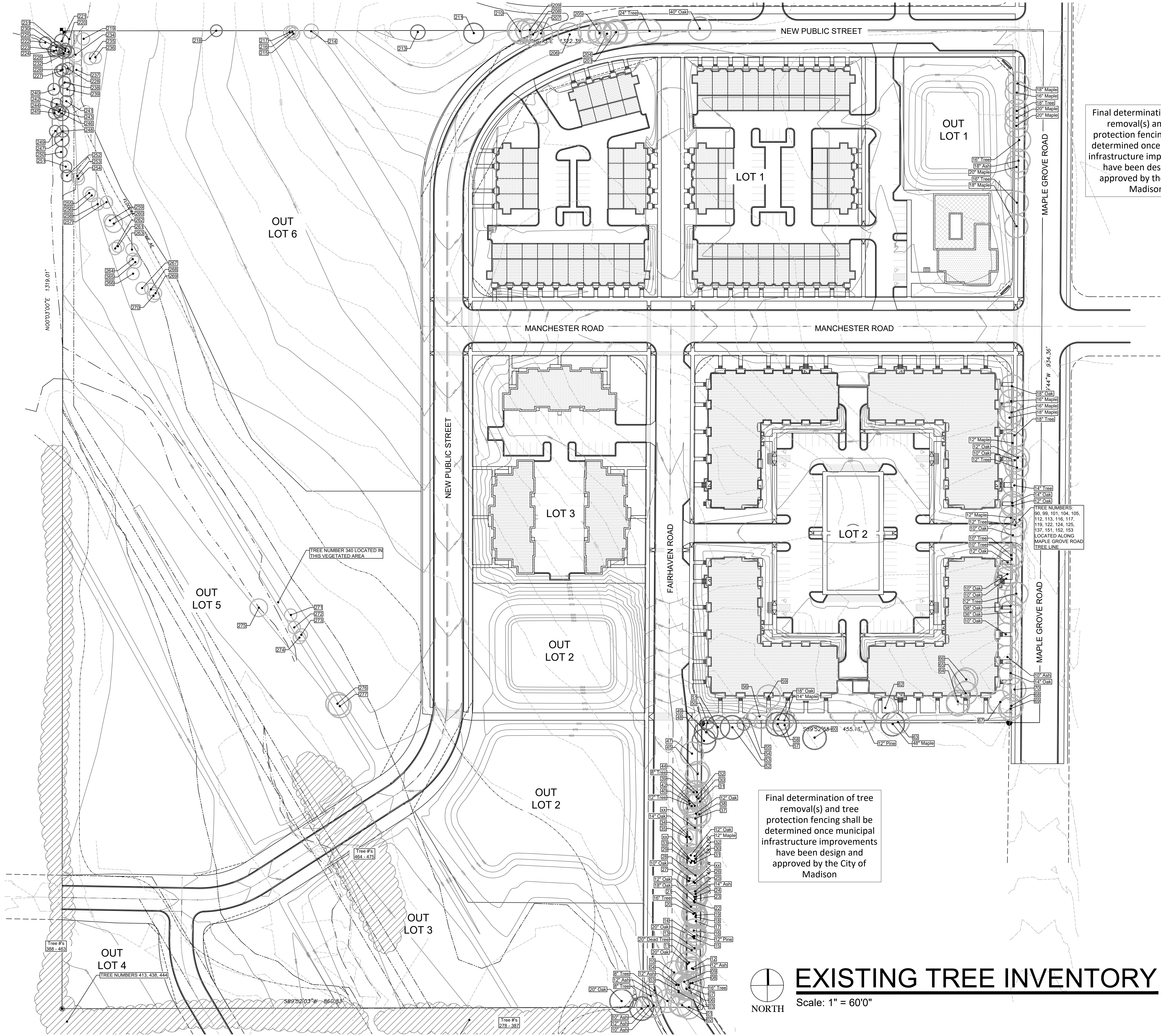
PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.19

SHEET NUMBER

L 1.0



Final determination of tree removal(s) and tree protection fencing shall be determined once municipal infrastructure improvements have been design and approved by the City of Madison

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EXISTING TREE INVENTORY

Scale: 1" = 60'0"

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OVERALL EXISTING TREE INVENTORY

PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.19

SHEET NUMBER

L 1.1



CALL DIGGERS HOTLINE
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MILW. AREA 259-7761

NOTICE BEFORE YOU EXCAVATE

CAPITALAND

CHRISTIAN CENTER

NEW PUBLIC STREET

NEW PUBLIC STREET "B"

SHADE TREES (DECIDUOUS)

AFM Autumn Fantasy Maple
PPH Prairie Pride Hackberry
SHL Skyline Honeylocust
SWO Swamp White Oak
AE Accolade Elm

ORNAMENTAL TREES (DECIDUOUS)

ABS Autumn Brilliance Serviceberry
RJFC Red Jewel Flowering Crabapple
JTL-s Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

BHS Black Hills Spruce

EVERGREEN SHRUBS

GVB Green Velvet Boxwood
KCPJ Kallay Compact Pfritzer Juniper
Bul Buffalo Juniper
TTY Taunton Intermediate Yew

DECIDUOUS SHRUBS

IHD Ivory Halo Tatarian Dogwood
CRD Cardinal Redtwig Dogwood
HC Peking (Hedge) Cotoneaster
IH Incredible Hydrangea
UH Unique Hydrangea
DKOSR Double Pink Knock Out Rose
PPSR Pink Pavement Series Rose
GMS Goldmound Spirea
NFS Neon Flash Spirea
MKL Miss Kim Dwarf Lilac
KSV Fragrant Koreanspice Viburnum
MV Mohican Viburnum
WRW Wine & Roses Compact Wiegela

ORNAMENTAL GRASSES

KFRG Karl Foerster Feather Reed Grass
PDS Prairie Drospseed

DA Deutschland Astilbe (White)
PBA Peach Blossom Astilbe
HRD Happy Returns Daylilly
RRD Rosy Returns Daylilly
MRCB Midnight Rose Coralbells
PPCB Palace Purple Coralbells
FH Frances Hista
BES Black-eyed Susan

PLANT ABBREVIATIONS

Site Landscape Calculations

Five (5) landscape points per 300 SF of total developed area

Gross Area of Lot:
LOT 1
198,473 SF
4.6 Acres

Less Building Footprints (at grade): (63,716) SF
Less Structure (pool deck): (4,960) SF
Less designated Open Space: - SF
Less Undeveloped Area: - SF
Total Developed Area: 129,797 SF

Required Landscape Points: 2,163 Points

Existing Plant Credits

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	0	0
Evergreen Tree	5'-6" Tall	35	0	0
Ornamental Tree	1.5" Cal.	15	0	0
Specimen Tree	14"/inch		0	0
Total Existing Credits				0

Proposed Landscape Points

Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35	34	1,190
Evergreen Tree	5'-6" Tall	35	4	140
Ornamental Tree	1.5" Cal.	15	22	330
Upright EG Shrub	3'-4" Tall	10	0	0
Deciduous Shrub	12-24" (#3)	3	210	630
Evergreen Shrub	12-24" (#3)	4	160	640
Grass/Perennial	8-18" (#1)	2	380	760
Total Landscape Points Provided				3,690

Development Frontage Landscaping

Located between the buildings or parking lot and the adjacent street
1 shade tree & 5 shrubs for every 30 linear feet
2 ornamental or evergreen trees may be used to replace 1 shade tree

	LOT 1
Length of Frontage:	1,030 LF
Required Number of Trees:	34.3 Trees
Number of Trees Shown:	34 Trees
Required Number of Shrubs:	171.7 Shrubs
Number of Shrubs Shown:	197 Shrubs

Interior Parking Lot Landscaping

8% of parking area shall be devoted to interior landscape area
One (1) shade tree for every 160 SF of interior landscape area
2 ornamental trees may be used to replace 1 shade tree, max. 25%

Area of Parking Area:	23,940 SF
Required Landscape Area:	1,915.2 SF
Landscape Area Shown:	4,843 SF
Required Number of Trees:	12.0 Trees
Number of Trees Shown:	12 Trees

CODE REQUIREMENTS



OVERALL LANDSCAPE PLAN - LOT 1

Scale: 1" = 30'0"

Final determination of location, quantity, size and species of all proposed Street Trees located in the public right-of-way shall be determined by the City of Madison Department of Forestry



PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at Manchester Road
Madison, WI

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OVERALL LANDSCAPE PLAN: LOT 1

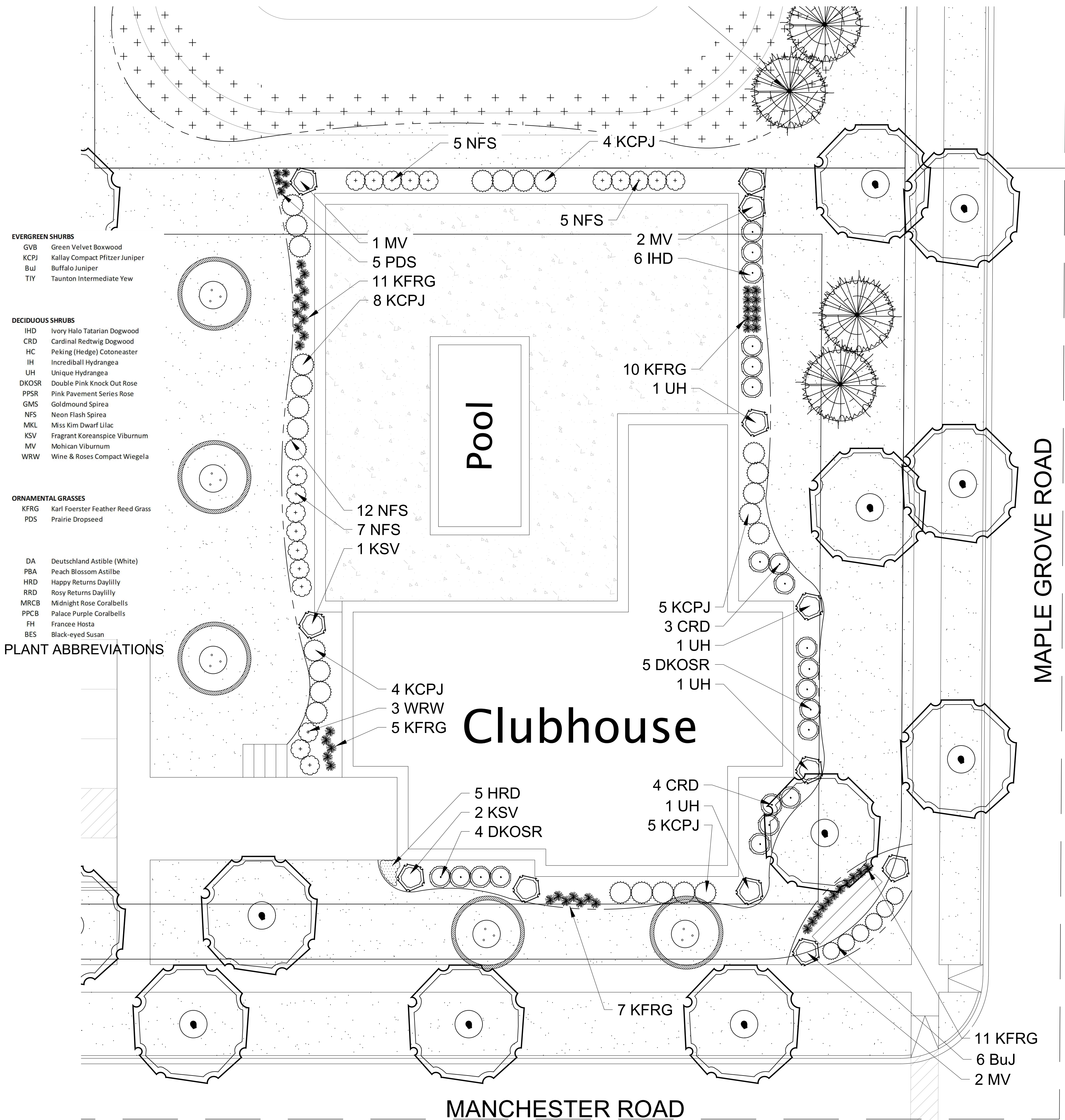
PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.19

SHEET NUMBER

L 1.2



- EVERGREEN SHRUBS
- GVB Green Velvet Boxwood
 - KCPJ Kallay Compact Pfitzer Juniper
 - BuJ Buffalo Juniper
 - TIY Taunton Intermediate Yew

- DECIDUOUS SHRUBS
- IHD Ivory Halo Tatarian Dogwood
 - CRD Cardinal Redtwig Dogwood
 - HC Peking (Hedge) Cotoneaster
 - IH Incredibleball Hydrangea
 - UH Unique Hydrangea
 - DKOSR Double Pink Knock Out Rose
 - PPSR Pink Pavement Series Rose
 - GMS Goldmound Spirea
 - NFS Neon Flash Spirea
 - MKL Miss Kim Dwarf Lilac
 - KSV Fragrant Koreanspice Viburnum
 - MV Mohican Viburnum
 - WRW Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES
- KFRG Karl Foerster Feather Reed Grass
 - PDS Prairie Dropseed

- PLANT ABBREVIATIONS
- DA Deutschland Astilbe (White)
 - PBA Peach Blossom Astilbe
 - HRD Happy Returns Daylily
 - RRD Rosy Returns Daylily
 - MRCB Midnight Rose Coralbells
 - PPCB Palace Purple Coralbells
 - FH Francee Hosta
 - BES Black-eyed Susan

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN.

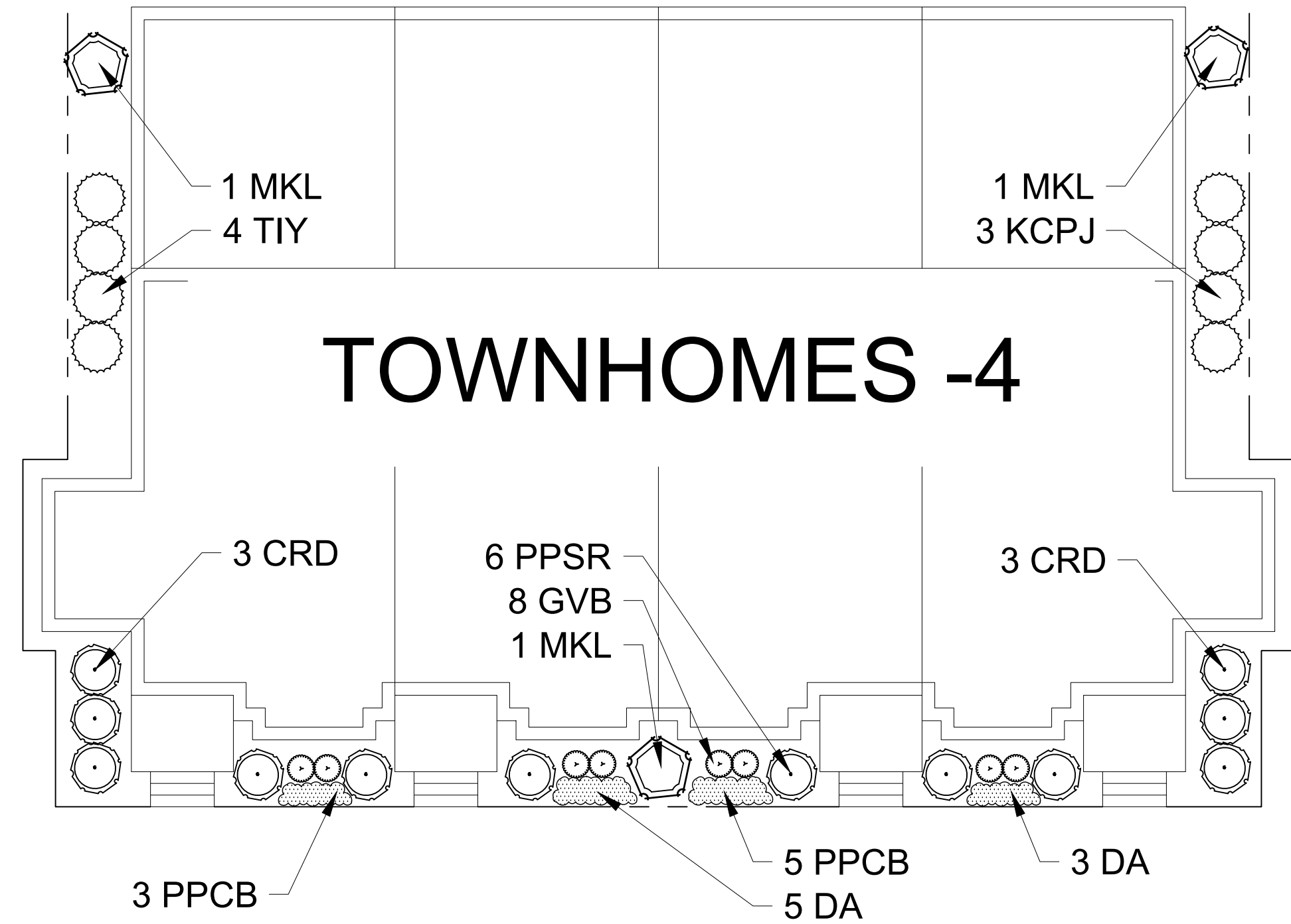
DIGGERS HOTLINE

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811 or 1-800-242-8511
M.W. AREA 259-1181
WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



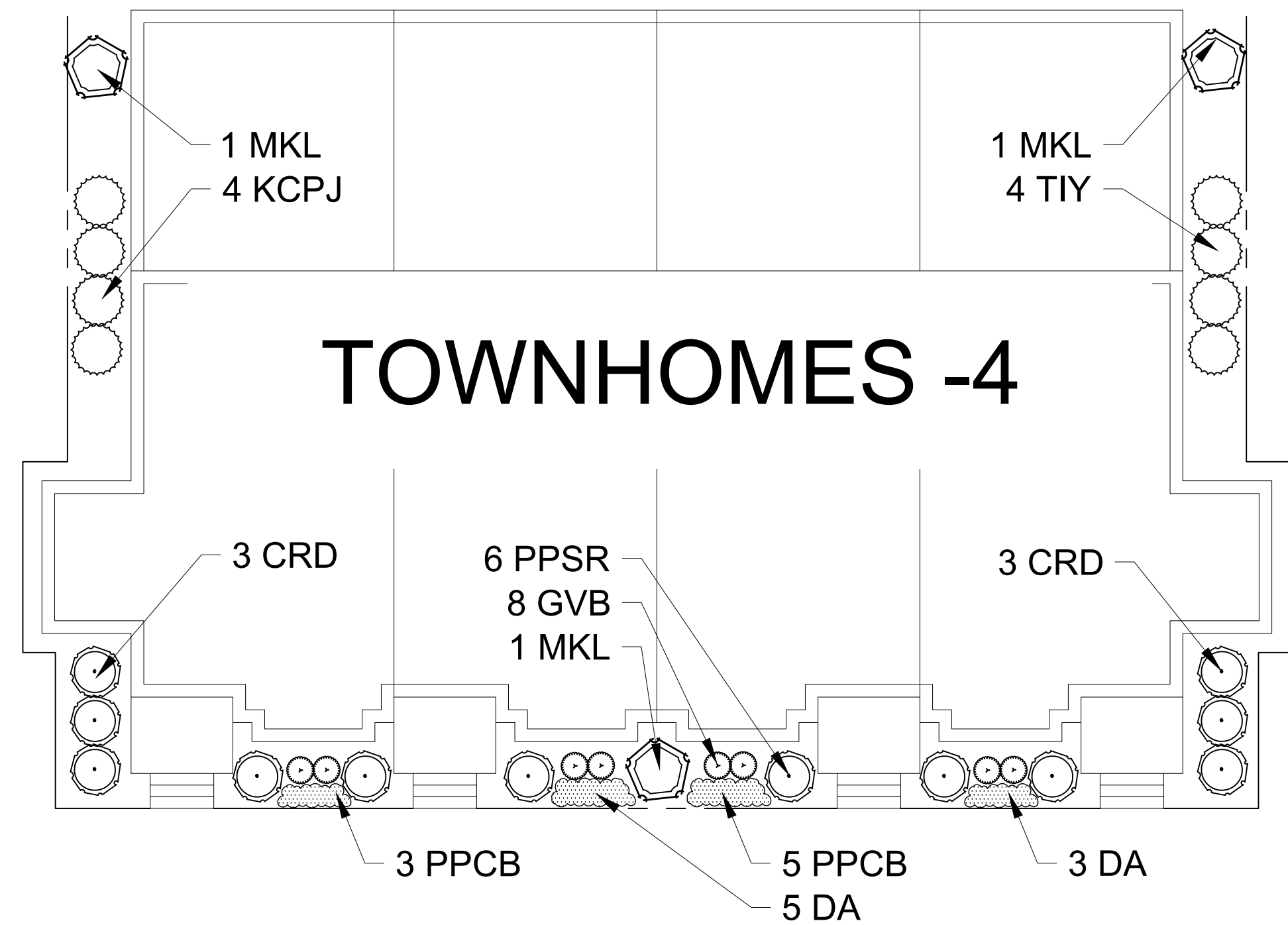
FOUNDATION LANDSCAPE PLAN - CLUBHOUSE

Scale: 1" = 10'0"



FOUNDATION LANDSCAPE PLAN - OPTION "A"

Scale: 1" = 10'0"



FOUNDATION LANDSCAPE PLAN - OPTION "B"

Scale: 1" = 10'0"



PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

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SHEET TITLE

FOUNDATION LANDSCAPE PLANS : CLUBHOUSE & TOWNHOUSE

PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.17

SHEET NUMBER

L 1.3

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS

HOTLINE

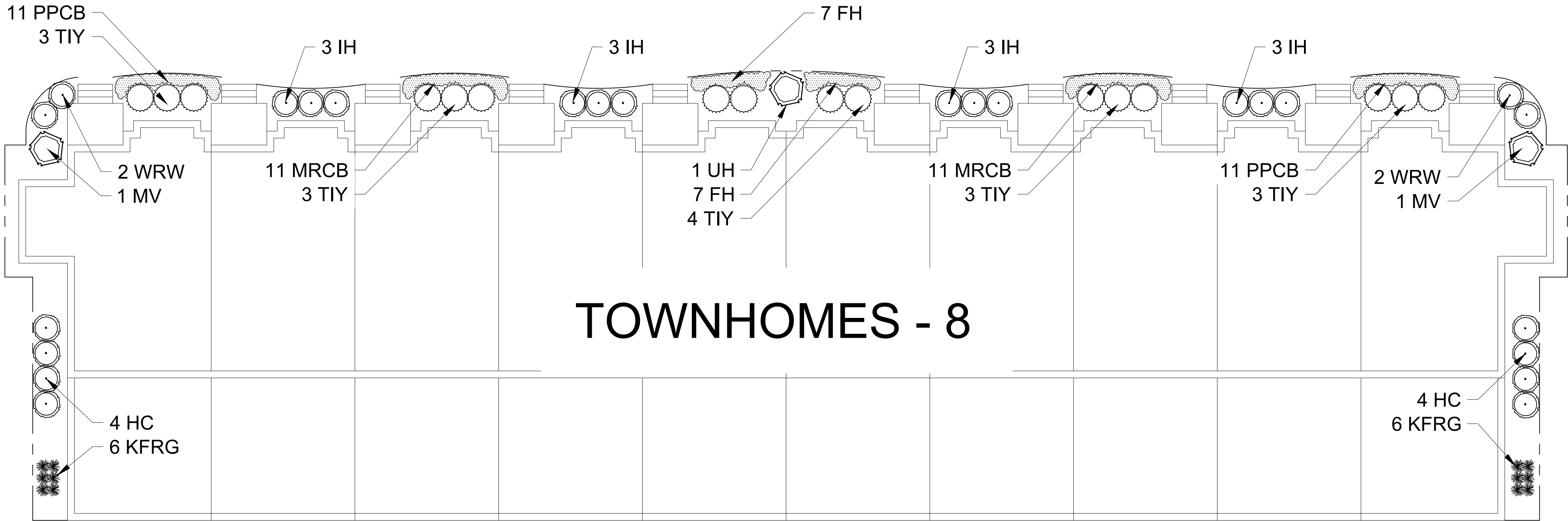
CALL DIGGERS HOTLINE

811 or 1-800-242-8511

MLW AREA 259-1181

WS STATUTE 182.0175(1874)

REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



FOUNDATION LANDSCAPE PLAN -OPTION "C"

Scale: 1" = 10'0"

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER	SIZE	ROOT	SPECIFICATION / NOTES
Proposed Street Trees							
	24	Shade Trees					The City of Madison shall Define the final locations, sizes & species of proposed street trees located in the City right-of-way
	5	Ornamental Trees					
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CAULIPER or HEIGHT		ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
AFM	9	Acer xfreemantii 'Autumn Fantasy'	Autumn Fantasy Maple	2.5"		B&B	Straight central leader, full and even crown. Prune only after planting
PPH	6	Cornus occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5"		B&B	Straight central leader, full and even crown. Prune only after planting
SHL	8	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"		B&B	Straight central leader, full and even crown. Prune only after planting
SWD	5	Quercus bicolor	Swamp White Oak	2.5"		B&B	Straight central leader, full and even crown. Prune only after planting
AE	6	Ulmus 'Morton' Accolade	Accolade Elm	2.5"		B&B	Straight central leader, full and even crown. Prune only after planting
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CAULIPER or HEIGHT		ROOT	SPECIFICATION / NOTES
ORNAMENTAL TREES (DECIDUOUS)							
ABS	4	Aamelachier xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8' H		B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
RJFC	10	Malus x 'Jewelcole'	Red Jewel Flowering Crabapple	2.5"		B&B	Straight central leader, full and even crown. Prune only after planting
JTL-4	8	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5"		B&B	Straight central leader, full and even crown. Prune only after planting
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		HEIGHT	SIZE	ROOT	SPECIFICATION / NOTES
EVERGREEN TREES							
BHS	4	Picea glauca 'Sensata'	Black Hills Spruce	8' H		B&B	Evenly shaped tree with branching to the ground
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB	ROOT/ CONT.	SPECIFICATION / NOTES	
EVERGREEN SHRUBS							
GVB	40	Buxus 'Green Velvet'	Green Velvet Boxwood	24"	Cont.	Full rounded well branched shrub	
KCPJ	78	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	24"w	Cont.	Full rounded well branched shrub	
BuJ	6	Juniperus sabina 'Buffalo'	Buffalo Juniper	18"w	Cont.	Full rounded well branched shrub	
TV	36	Taxus xmedia 'Fastax'	Taxus xmedia 'Fastax'	24"w	B&B	Full rounded well branched shrub	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB	ROOT/ CONT.	SPECIFICATION / NOTES	
DECIDUOUS SHRUBS							
IHD	6	Cornus alba 'Ivory Halo'	Ivory Halo Tatarian Dogwood	42"	Cont.	Full, well rooted plant, evenly shaped	
CRD	37	Cornus sericea 'Cardinal'	Cardinal Redwing Dogwood	42"	Cont.	Full, well rooted plant, evenly shaped	
HC	24	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	
IH	12	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	45"	Cont.	Full, well rooted plant, evenly shaped	
UH	5	Hydrangea paniculata 'Unique'	Unique Hydrangea	48"	Cont.	Full, well rooted plant, evenly shaped	
DQSR	9	Rosa 'Double Knock Out' (Pink)	Double Pink Knock Out Rose	18"	Cont.	Full, well rooted plant, evenly shaped	
PPSR	54	Rosa rugosa 'Pink Pavement'	Pink Pavement Series Rose	18"	Cont.	Full, well rooted plant, evenly shaped	
NFS	17	Spiraea xumalda 'Neon Flash'	Neon Flash Spiraea	24"	Cont.	Full, well rooted plant, evenly shaped	
MEL	15	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	30"	Cont.	Full, well rooted plant, evenly shaped	
KSV	7	Viburnum carlesii	Fragrant Koreanopice Viburnum	36"	Cont.	Full, well rooted plant, evenly shaped	
MV	9	Viburnum lentana 'Molican'	Molican Viburnum	48"	B&B	Full, well rounded plant with moist rootball and healthy appearance	
WVW	15	Wingera Florida 'Wine & Roses'	Wine & Roses Compact Wingera	24"	Cont.	Full, well rooted plant, evenly shaped	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER	SIZE		SPECIFICATION / NOTES
ORNAMENTAL GRASSES							
KFRG	80	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	
PDS	5	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER	SIZE		SPECIFICATION / NOTES
DA	58	Astilbe arundinifolia 'Deutschland'	Deutschland Astilbe (White)	#1	Cont.	Full, well rooted plant, evenly shaped	
HRD	49	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped	
RSD	44	Hemerocallis 'Rory Returns'	Rory Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped	
MRCB	22	Heuchera 'Midnight Rose'	Midnight Rose Coralbells	#1	Cont.	Full, well rooted plant, evenly shaped	
PPCB	80	Heuchera micrantha 'Palace Purple'	Palace Purple Coralbells	#1	Cont.	Full, well rooted plant, evenly shaped	
FH	14	Hosta fortunei 'Frances'	Frances Hosta	#1	Cont.	Full, well rooted plant, evenly shaped	
BES	28	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	#1	Cont.	Full, well rooted plant, evenly shaped	
PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER	SIZE		SPECIFICATION / NOTES
LAWN	70900	Lawn Establishment Area / Grading Area				SF	Reinder's Deluxe 50 Seed Mix (800-785-3301)
	70900	Erosion Matting for sloped seeded areas		see plan for area delineation		SF	EroTex D575 Erosion Control Blanket (or approved equal)
Hardscape Materials							
303		Shredded Hardwood Mulch (1" depth)	11,150 SF of Bed Area			CY	Bark Mulch; apply Preemergent after installation of mulch
69		Soil Amendments (2" depth)	11,150 SF of Bed Area			CY	
218		Pulverized Topsoil (Lawn Area)	70,900 SF			CY	
69		Pulverized Topsoil (2" over bed areas)	11,150 SF of Bed Area			CY	
* Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined in this Landscape Master Plan. In the event that a discrepancy arises between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.							

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Seed Compositions:
Reinder's Deluxe 50 Seed Mix (800-785-3301)
20% Kentucky Bluegrass (Seed Quality)
15% Newport Kentucky Bluegrass
15% Ken Blue Kentucky Bluegrass
25% Creeping Red Fescue
15% Quebec Perennial Ryegrass
10% Fiesta III Perennial Ryegrass
Seed at rate of 150-200# per acre

PLANT & MATERIAL SCHEDULE: LOT 1



P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com

PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

ENLARGED LANDSCAPE FOUNDATION PLANS: LOT 1

PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.17

SHEET NUMBER

L 1.4

CALL DIGGERS HOTLINE
811 or 1-800-242-8511
MILW. AREA 259-1181
WS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

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- EVERGREEN SHRUBS
- GVB

Green Velvet Boxwood
- KCPJ

Kallay Compact Pfitzer Juniper
- TIY

Taunton Intermediate Yew
- DECIDUOUS SHRUBS
- CRD

Cardinal Redtwig Dogwood
- AROS

Aphrodite Rose of Sharon
- IH

Incrediball Hydrangea
- UH

Unique Hydrangea
- GLS

Gro Low Fragrant Sumac
- PPSR

Pink Pavement Series Rose
- AWS

Anthony Waterer Spirea
- GMS

Goldmound Spirea
- MKL

Miss Kim Dwarf Lilac
- MV

Mohican Viburnum
- WRW

Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES
- KFRG

Karl Foerster Feather Reed Grass

- HERBACEOUS PERENNIALS
- HRD

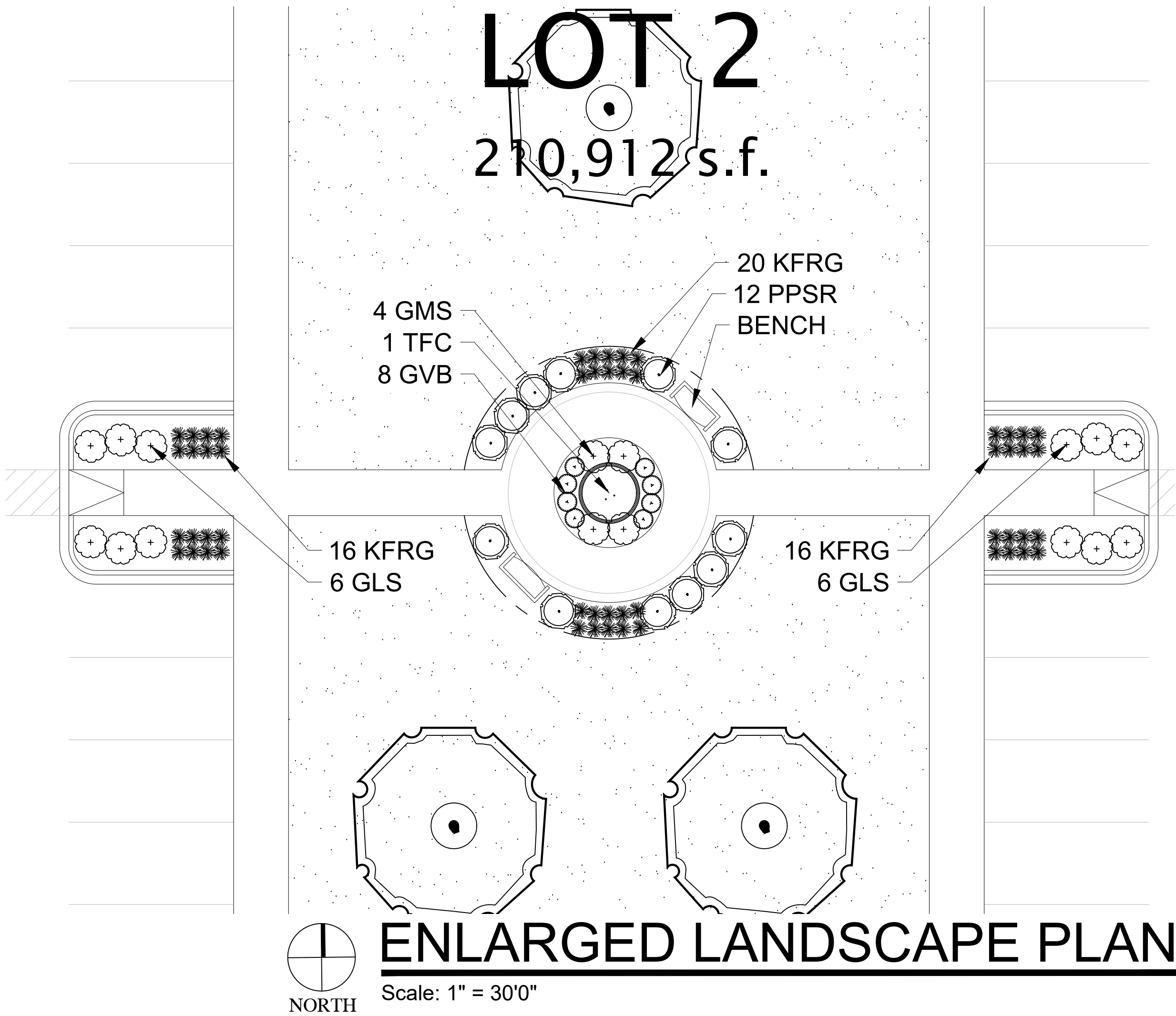
Happy Returns Daylilly
- RRD

Rosy Returns Daylilly
- PPCB

Palace Purple Coralbells
- FH

Francee Hosta

PLANT ABBREVIATIONS



HELLER & ASSOCIATES, LLC

LANDSCAPE ARCHITECTURE

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Lake Geneva, Wisconsin 53147-1359
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PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

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SHEET TITLE

ENLARGED APARTMENT FOUNDATION LANDSCAPE PLAN: OPTION "A"

PROJECT MANAGER

WDH

PROJECT NUMBER

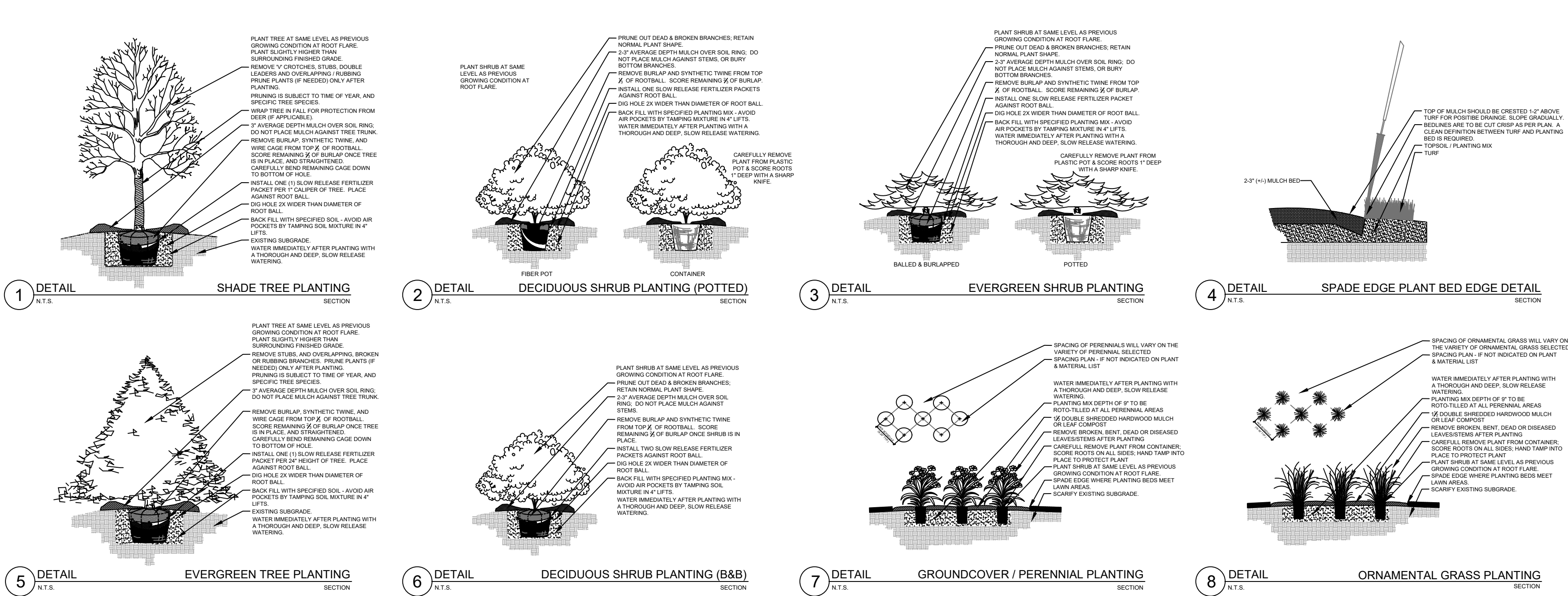
19-090

DATE

12.17.19

SHEET NUMBER

L 1.6



PLANTING & HARDSCAPE DETAILS

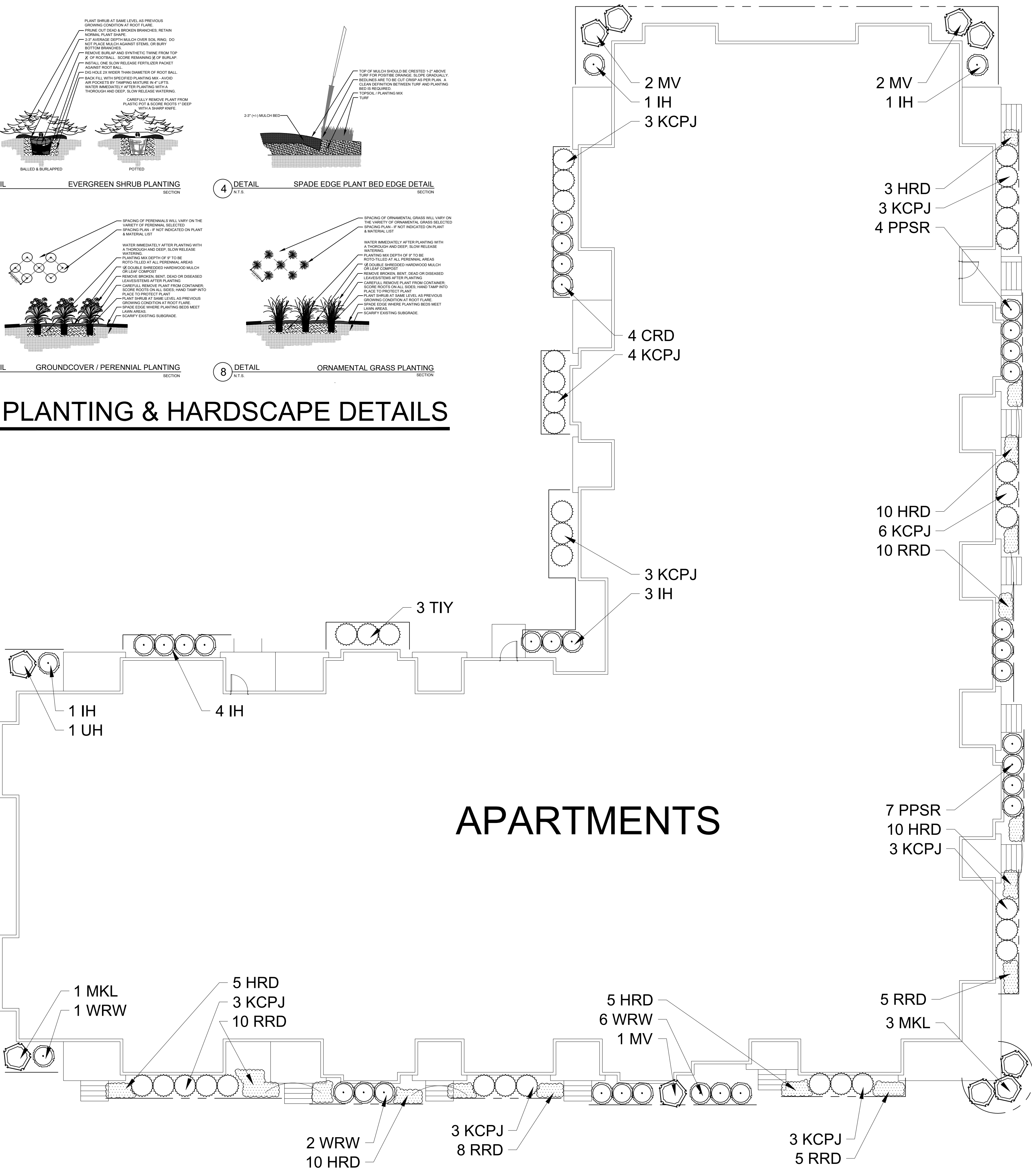
- EVERGREEN SHRUBS**
- GVB Green Velvet Boxwood
 - KCPJ Kallay Compact Pfitzer Juniper
 - TIY Taunton Intermediate Yew

- DECIDUOUS SHRUBS**
- CRD Cardinal Redtwig Dogwood
 - AROS Aphrodite Rose of Sharon
 - IH Incrediball Hydrangea
 - UH Unique Hydrangea
 - GLS Gro Low Fragrant Sumac
 - PPSR Pink Pavement Series Rose
 - AWS Anthony Waterer Spirea
 - GMS Goldmound Spirea
 - MKL Miss Kim Dwarf Lilac
 - MV Mohican Viburnum
 - WRW Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass

- HERBACEOUS PERENNIALS**
- HRD Happy Returns Daylilly
 - RRD Rosy Returns Daylilly
 - PPCB Palace Purple Coralbells
 - FH Francee Hosta

PLANT ABBREVIATIONS



APARTMENTS



LANDSCAPE FOUNDATION PLAN -OPTION "B"

Scale: 1" = 10'0"

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PROJECT
MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

ISSUANCE AND REVISIONS	
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SHEET TITLE
ENLARGED APARTMENT FOUNDATION LANDSCAPE PLAN: OPTION "B"

PROJECT MANAGER	WDH
PROJECT NUMBER	19-090
DATE	12.17.19
SHEET NUMBER	

L 1.7

Hardscape Materials				
46	Shredded Hardwood Mulch (3" depth)	5,150SF of Bed Area	CY	Bark Mulch; apply Preeemergent after installation of mulch
30	Soil Amendments (2" depth)	5,150SF of Bed Area	CY	
86	Pulverized Topsoil (Lawn Area)	27,800 SF	CY	
30	Pulverized Topsoil (2" over bed areas)	5,150SF of Bed Area	CY	

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PLANT & MATERIAL SCHEDULE: LOT 3

Existing Plant Credits				
Type	Min. Size	Points	Quantity	Points
Shade Tree	2.5" DBH	35		0
Evergreen Tree	5-6' Tall	35		0
Ornamental Tree	1.5" Cal.	15		0
Specimen Tree		14/inch		
Total Existing Credits				0

Development Frontage Landscaping
Located between the buildings or parking lot and the adjacent street
 1 shade tree & 5 shrubs for every 30 linear feet
 2 ornamental or evergreen trees may be used to replace 1 shade tree

	LOT 3
Length of Frontage:	785 LF
Required Number of Trees:	26.2 Trees
Number of Trees Shown:	26 Trees
Required Number of Shrubs:	130.9 Shrubs
Number of Shrubs Shown:	131 Shrubs

CODE REQUIREMENTS



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SHEET TITLE

OVERALL
LANDSCAPE
PLAN: LOT 3

L 1.8

TO OBTAIN LOCATIONS OF
PARTICIPANTS UNDERGROUND
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LANDSCAPE ARCHITECTURE

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PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

SUANCE AND REVISIONS

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SHEET TITLE

OVERALL
LANDSCAPE
PLAN: LOT 3

PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.19

SHEET NUMBER

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MLW AREA 259-1181

WS STATUTE 182.0175 (1974)

REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- EVERGREEN SHRUBS
- KCPJ

Kallay Compact Pfitzer Juniper
- TIY

Taunton Intermediate Yew

- DECIDUOUS SHRUBS
- IH

Incrediball Hydrangea
- UH

Unique Hydrangea
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Pink Pavement Series Rose
- AWS

Anthony Waterer Spirea
- MKL

Miss Kim Dwarf Lilac
- KSV

Fragrant Koreanspice Viburnum
- WRW

Wine & Roses Compact Wiegela

- ORNAMENTAL GRASSES
- KFRG

Karl Foerster Feather Reed Grass
- PDS

Prairie Dropseed

PLANT ABBREVIATIONS

1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
5. Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top $\frac{1}{2}$ of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining $\frac{1}{2}$ of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.
7. Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{2}{3}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of plant starter with topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are $\frac{2}{3}$ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rater of 1 per 24" height/diamter of shrub at planting.
9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-til the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):

$\frac{3}{4}$ CY Peat Moss or Mushroom Compost

$\frac{1}{4}$ CY blended/pulverized Topsoil

$\frac{1}{4}$ CY composted manure

In roto-tilled beds only, also include in above mixture:

2 lbs Starter Fertilizer

12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones $\frac{1}{2}$ " and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1995) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.
13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:

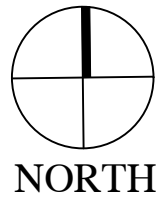
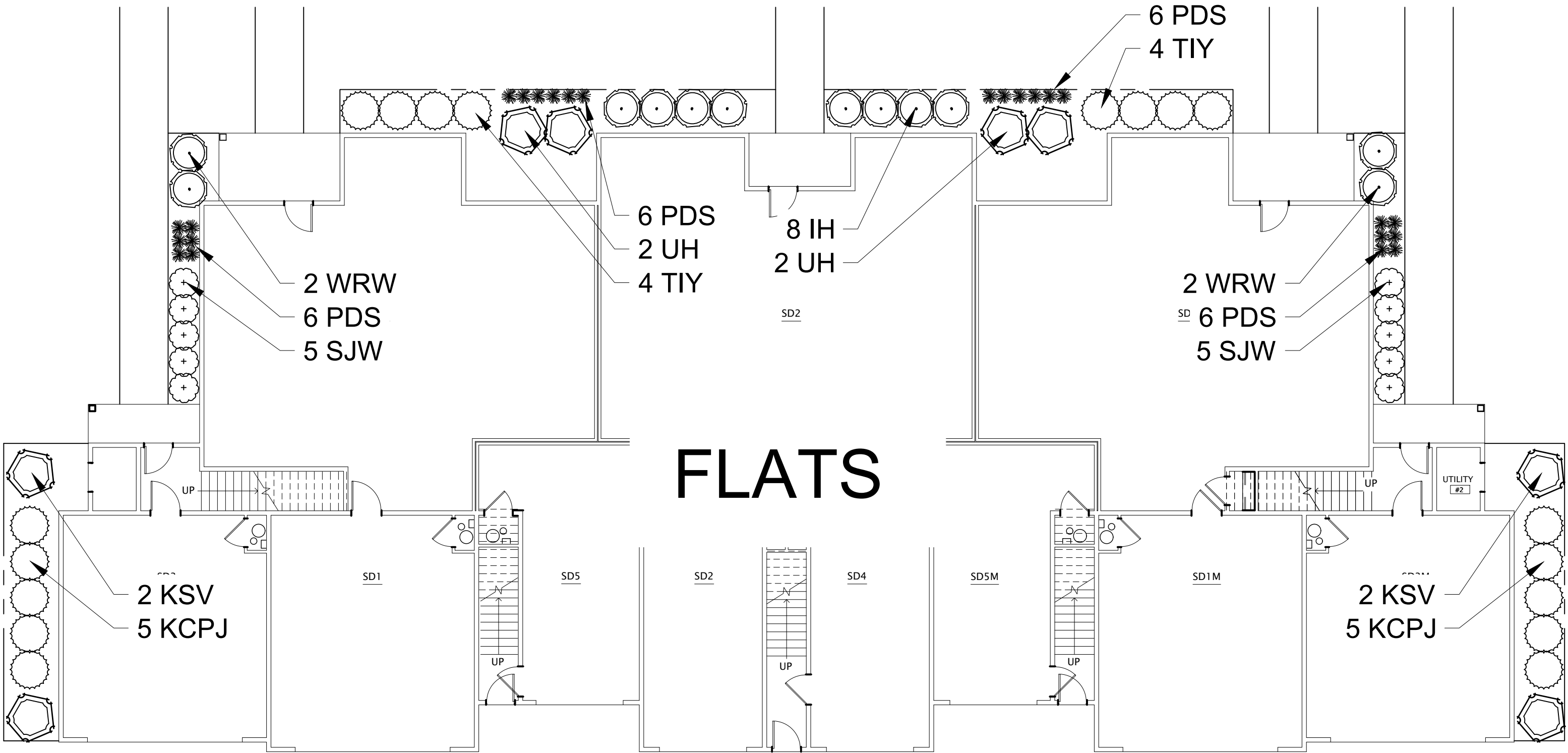
No bare spots larger than one (1) square foot.

No more than 10% of the total area with bare areas larger than one (1) square foot

A uniform coverage through all turf areas

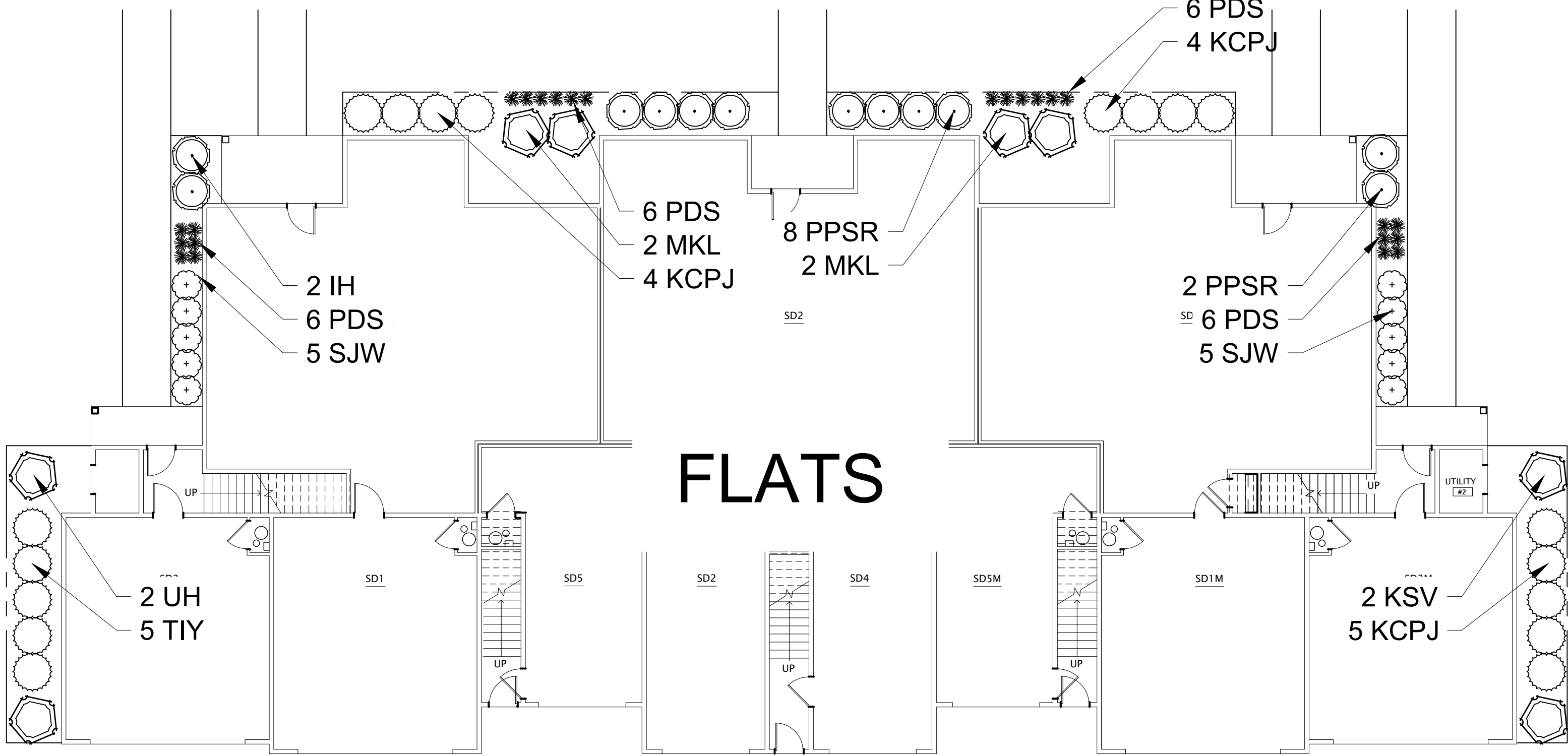
14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807; or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and soil as specified in item #13 above.
15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-948-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.
16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES



LANDSCAPE FOUNDTION - OPTION "A"

Scale: 1" = 10'0"



LANDSCAPE FOUNDTION - OPTION "B"

Scale: 1" = 10'0"

HELLER & ASSOCIATES, LLC

LANDSCAPE ARCHITECTURE

P.O. Box 1359

Lake Geneva, Wisconsin 53147-1359

ph 262.639.9733

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PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at
Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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SHEET TITLE

OVERALL LANDSCAPE PLAN: LOT 3

PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.19

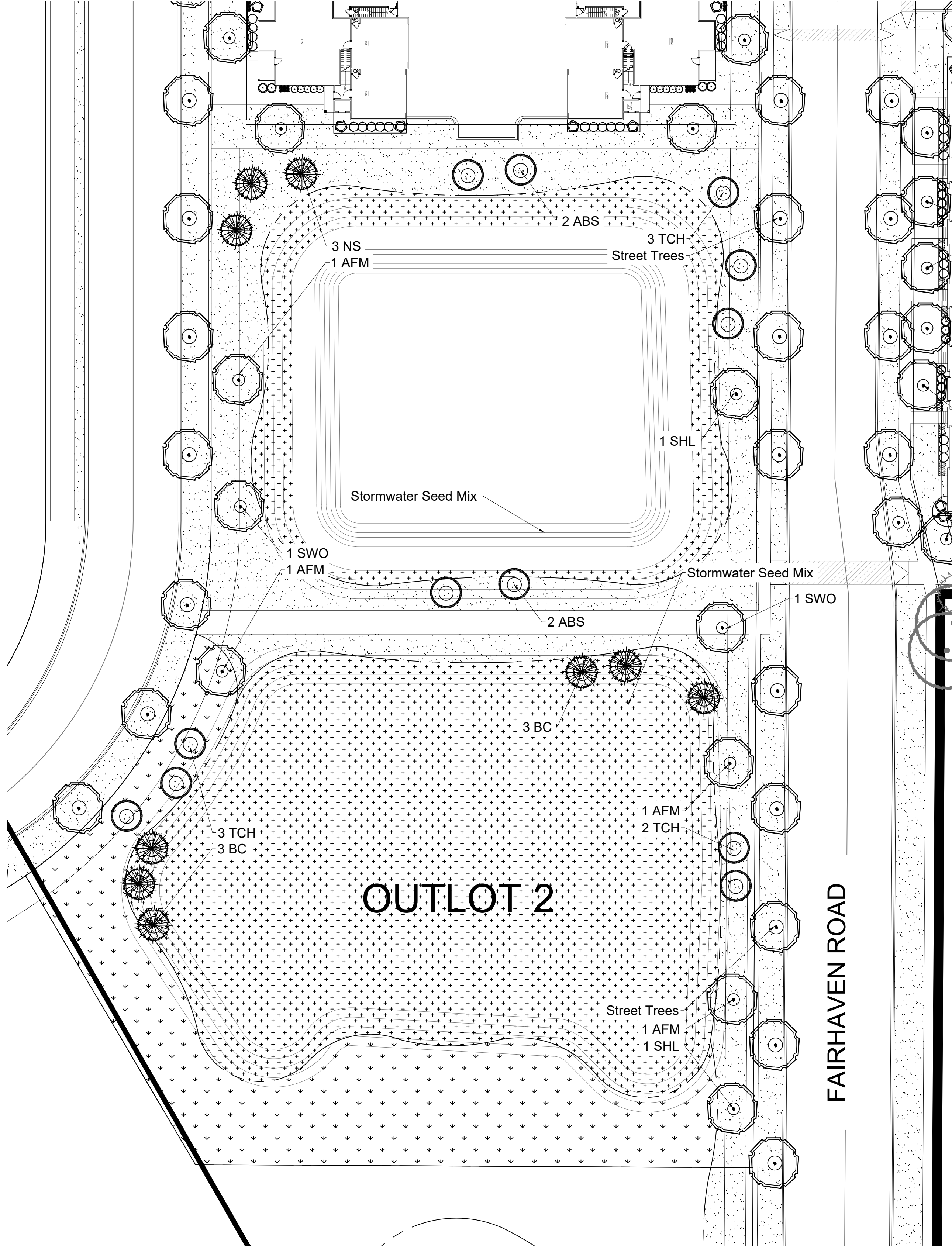
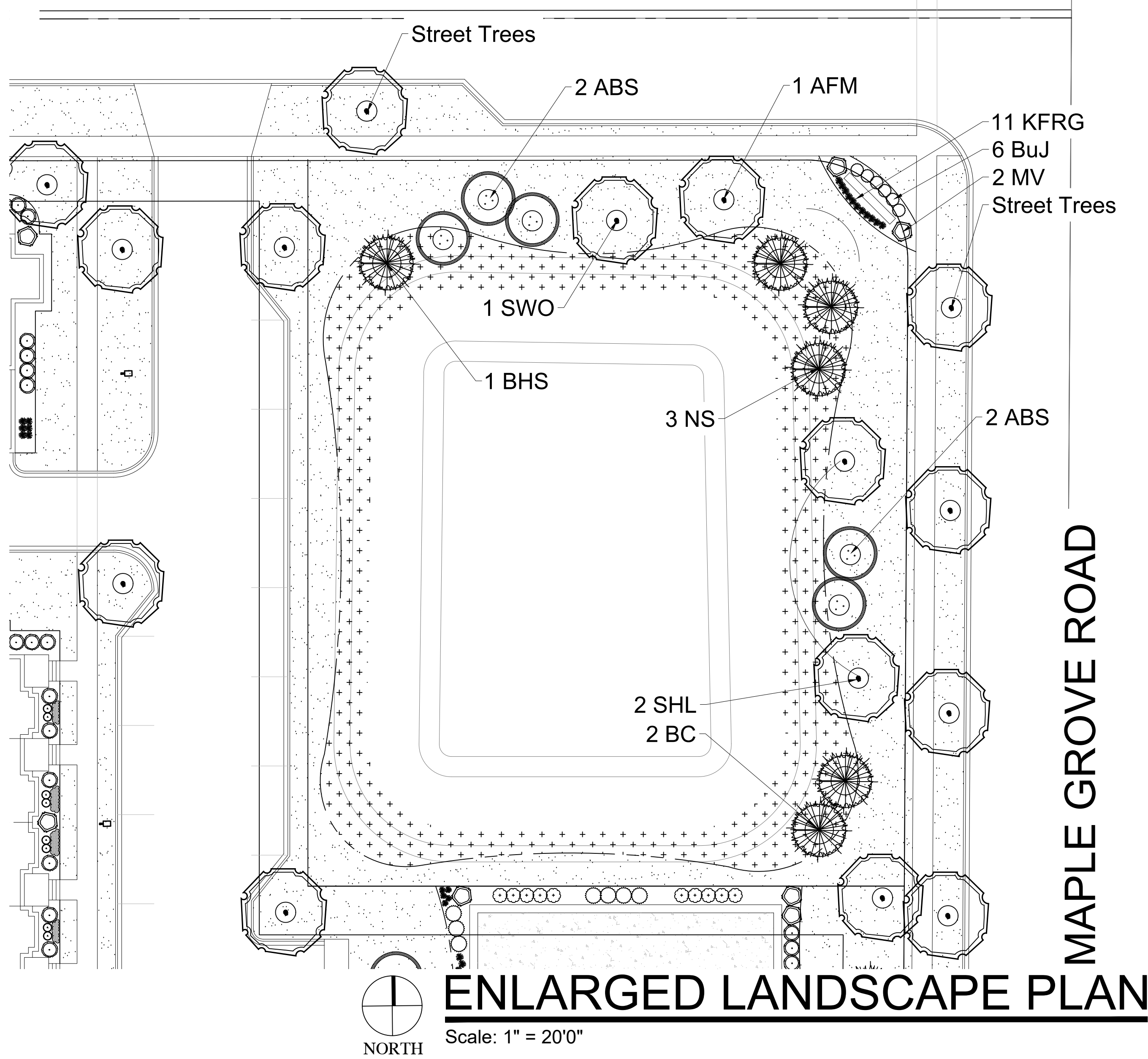
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DIGGERS HOTLINE

CALL DIGGERS' HOTLINE 811 or 1-800-242-8511 MILW. AREA 259-1181 WS. STATUTE 182.075(1874) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



Cardno Native Plant Nursery
www.cardnonativeplantnursery
128 Sunset Drive
Walkerton, Indiana 46574
Ph: 574-586-2412

Stormwater Seed Mix
For Use on Stormwater Management Ponds (SMP) side slopes to High Water Line (HWL)

Botanical Name	Common Name	PLS Ounces/Acre
Permanent Grasses/Sedges/Rushes:		
<i>Carex cristatella</i>	Crested Oval Sedge	1.00
<i>Carex frankii</i>	Bristly Cattail Sedge	1.00
<i>Carex lurida</i>	Bottlebrush Sedge	2.00
<i>Carex sparganioides</i> v. <i>cephaloides</i>	Rough-Clustered Sedge	2.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6.00
<i>Eriochloris ovata</i>	Blunt Spike Rush	0.50
<i>Elymus virginicus</i>	Virginia Wild Rye	12.00
<i>Glyceria striata</i>	Fowl Manna Grass	1.25
<i>Juncus effusus</i>	Common Rush	1.00
<i>Juncus torreyi</i>	Torrey's Rush	0.25
<i>Leersia oryzoides</i>	Rice Cut Grass	1.00
<i>Panicum virgatum</i>	Switch Grass	2.00
<i>Scirpus atrovirens</i>	Dark Green Rush	1.00
<i>Scirpus cyperinus</i>	Wool Grass	0.50
<i>Scirpus fluviatilis</i>	River Bulrush	0.25
<i>Scirpus validus</i>	Great Bulrush	6.00
Total		45.75

Temporary Cover:		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	116.00
Total		476.00

Forbs:		
<i>Alisma</i> spp.	Water Plantain (Various Mix)	4.25
<i>Asclepias incarnata</i>	Swamp Milkweed	1.50
<i>Bidens</i> spp.	Bidens (Various Mix)	2.00
<i>Helenium autumnale</i>	Sneezeweed	3.00
<i>Impatiens</i> spp.	Monkey Flower	1.00
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50
<i>Polygonum pennsylvanicum</i>	Pinkweed	4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Sagittaria latifolia</i>	Broad-Leaf Arrowhead	1.00
<i>Senna hebecarpa</i>	Wild Senna	1.00
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00
Total		21.25

STORMWATER SEED MIX

PLANT & MATERIAL SCHEDULE: OUTLOTS 1 & 2

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED				ROOT	SPECIFICATION / NOTES
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME				
Proposed Street Trees	19	Shade Trees		2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALEIPER or HEIGHT	ROOT	SPECIFICATION / NOTES	
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME				
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ATM	5	Acer xfreemantli 'Autumn Fantasy'	Autumn Fantasy Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
SHL	4	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
SWO	3	Quercus bicolor	Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
BC	8	Taxodium distichum	Bald Cypress	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALEIPER or HEIGHT	ROOT	SPECIFICATION / NOTES	
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME				
ORNAMENTAL TREES (DECIDUOUS)							
ABS	8	Amenlaecher xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8'H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
TCH	8	Crataegus crus-galli 'Tremis'	Thornless Cockspur Hawthorn	7-8'H	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	
EVERGREEN TREES							
NS	6	Picea abies	Norway Spruce	8'H	B&B	Evenly shaped tree with branching to the ground	
BHS	1	Picea glauca 'densata'	Black Hills Spruce	8'H	B&B	Evenly shaped tree with branching to the ground	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/ CONT.	SPECIFICATION / NOTES	
EVERGREEN SHRUBS							
Bul	6	Juniperus sabina 'Buffalo'	Buffalo Juniper	18" w	Cont.	Full rounded well branched shrub	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/ CONT.	SPECIFICATION / NOTES	
DECIDUOUS SHRUBS							
MV	2	Viburnum lantana 'Mohican'	Mohican Viburnum	48"	B&B	Full, well rounded plant with moist rootball and healthy appearance	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE		SPECIFICATION / NOTES	
ORNAMENTAL GRASSES							
KFRG	11	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	
PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE		SPECIFICATION / NOTES	
LAWN	43050	Lawn Establishment Area/ Grading Area		SF		Reinder's Deluxe 50 Seed Mix (800-785-3301)	
SWSM	1.2	Stormwater Seed Mix		Acres		Cardno Native Plant Nursery (574-586-2412)	
Handmade Materials							
	13	Shredded Hardwood Mulch (3" depth)	1,400 SF Bed Areas	CY		Bark Mulch; apply Preenemrgent after installation of mulch	
	9	Soil Amendments (2" depth)	1,400 SF Bed Areas	CY			
	291	Pulverized Topsoil (Lawn Area)	43,050 SF Bed Areas	CY			
	9	Pulverized Topsoil (2" over bed areas)	1,400 SF Bed Areas	CY			
* Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy exists between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.							

*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.

Seed Compositions:
Reinder's Deluxe 50 Seed Mix (800-785-3301):
20% Kentucky Bluegrass (Seed Quality)
15% Kentucky Bluegrass
15% Newport Kentucky Bluegrass
15% Ken Blue Kentucky Bluegrass
25% Creeping Red Fescue

Seed at rate of 150-200# per acre

ENLARGED LANDSCAPE PLAN
Scale: 1" = 30'0"

Final determination of location, quantity, size and species of all proposed Street Trees located in the public right-of-way shall be determined by the City of Madison Department of Forestry

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com

PROJECT

MAPLE GROVE MULTI-FAMILY

Maple Grove Road at Manchester Road
Madison, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
12.13.19	ISSUE TO OWNER
12.17.19	SUBMITTAL

Information contained herein is based on survey information, field inspection, and believed to be accurate.

SHEET TITLE

OVERALL LANDSCAPE PLAN: OUTLOTS 1 & 2

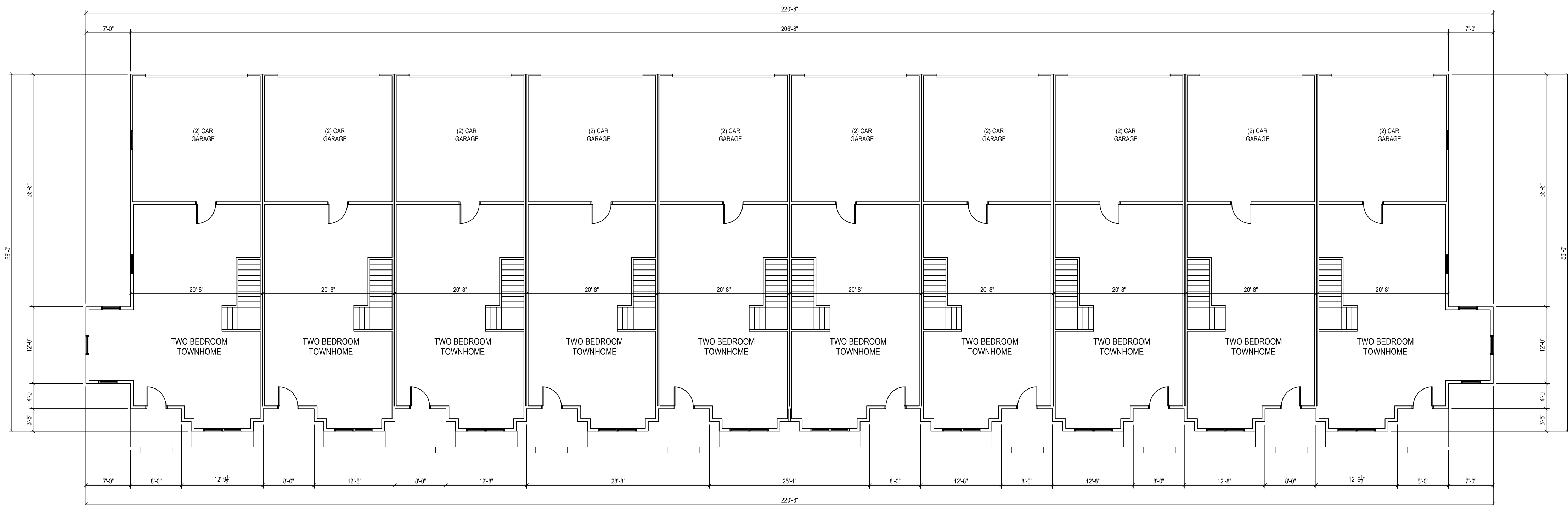
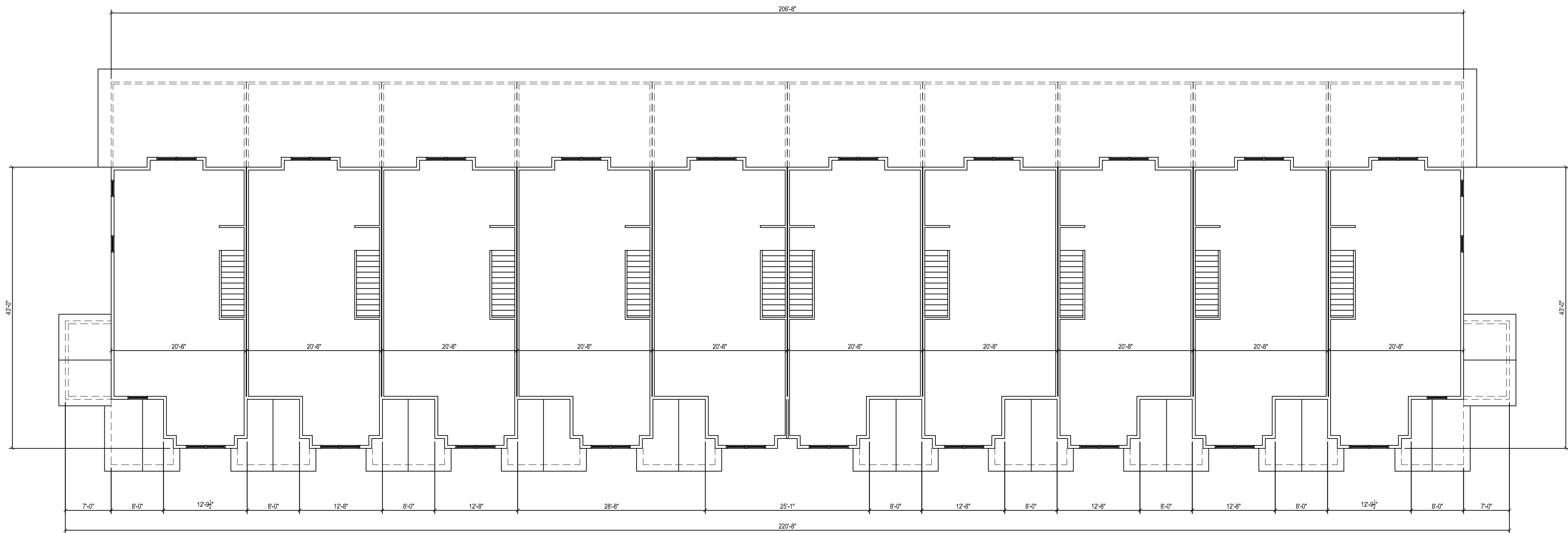
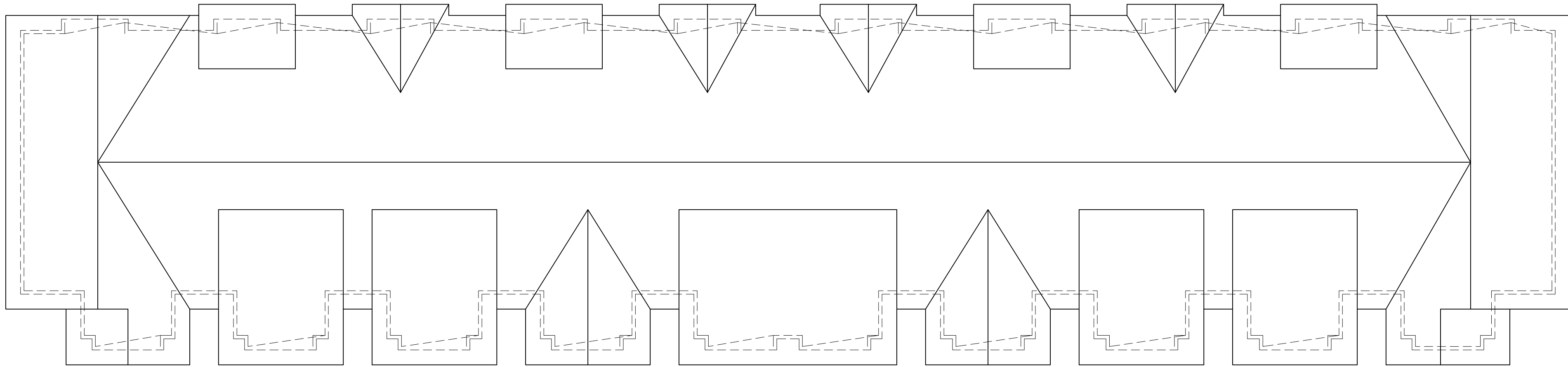
PROJECT MANAGER WDH

PROJECT NUMBER 19-090

DATE 12.17.19

SHEET NUMBER

L 1.10



JLA
ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 17-1018



MAPLE GROVE DRIVE RESIDENTIAL TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE

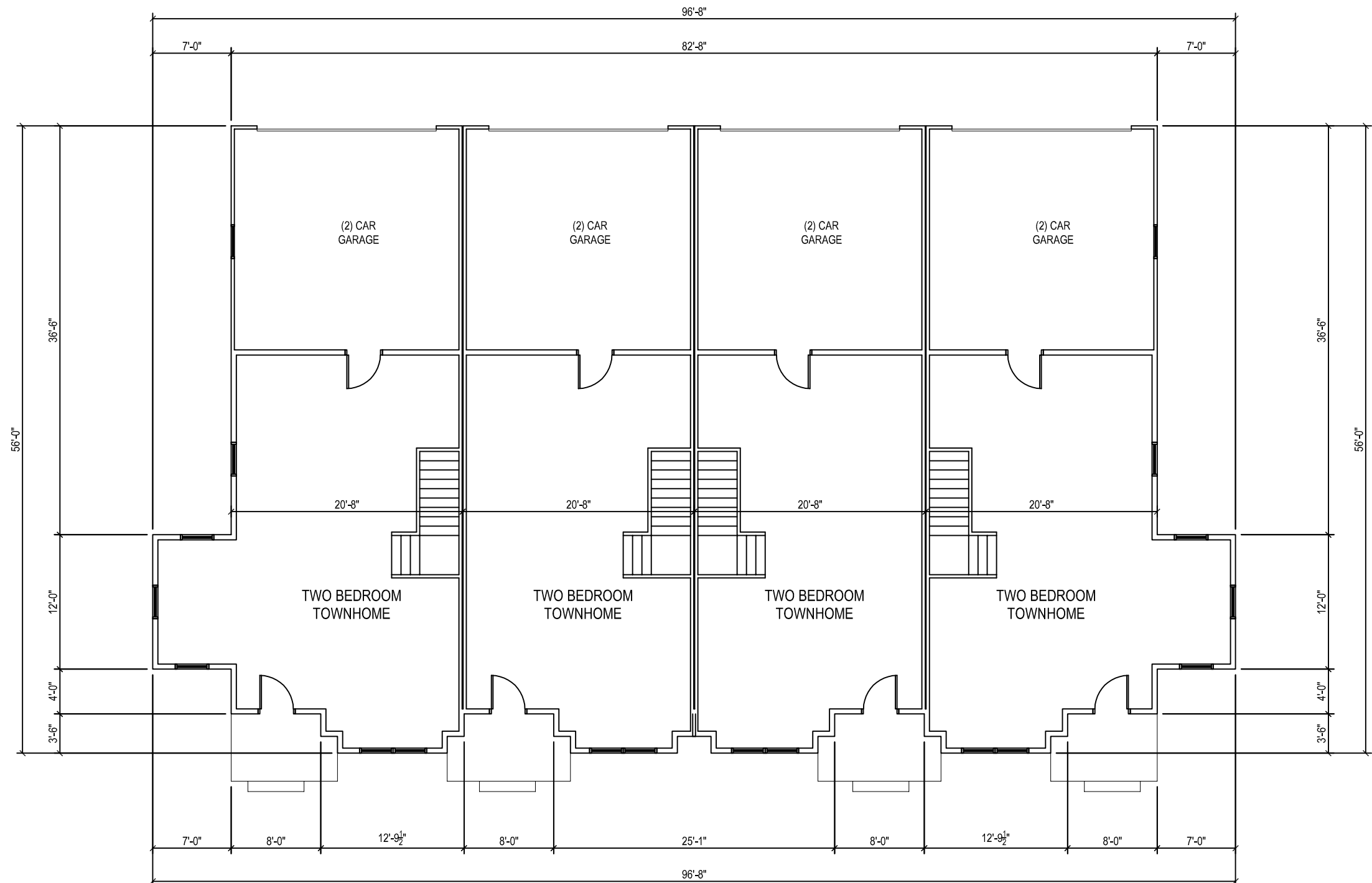
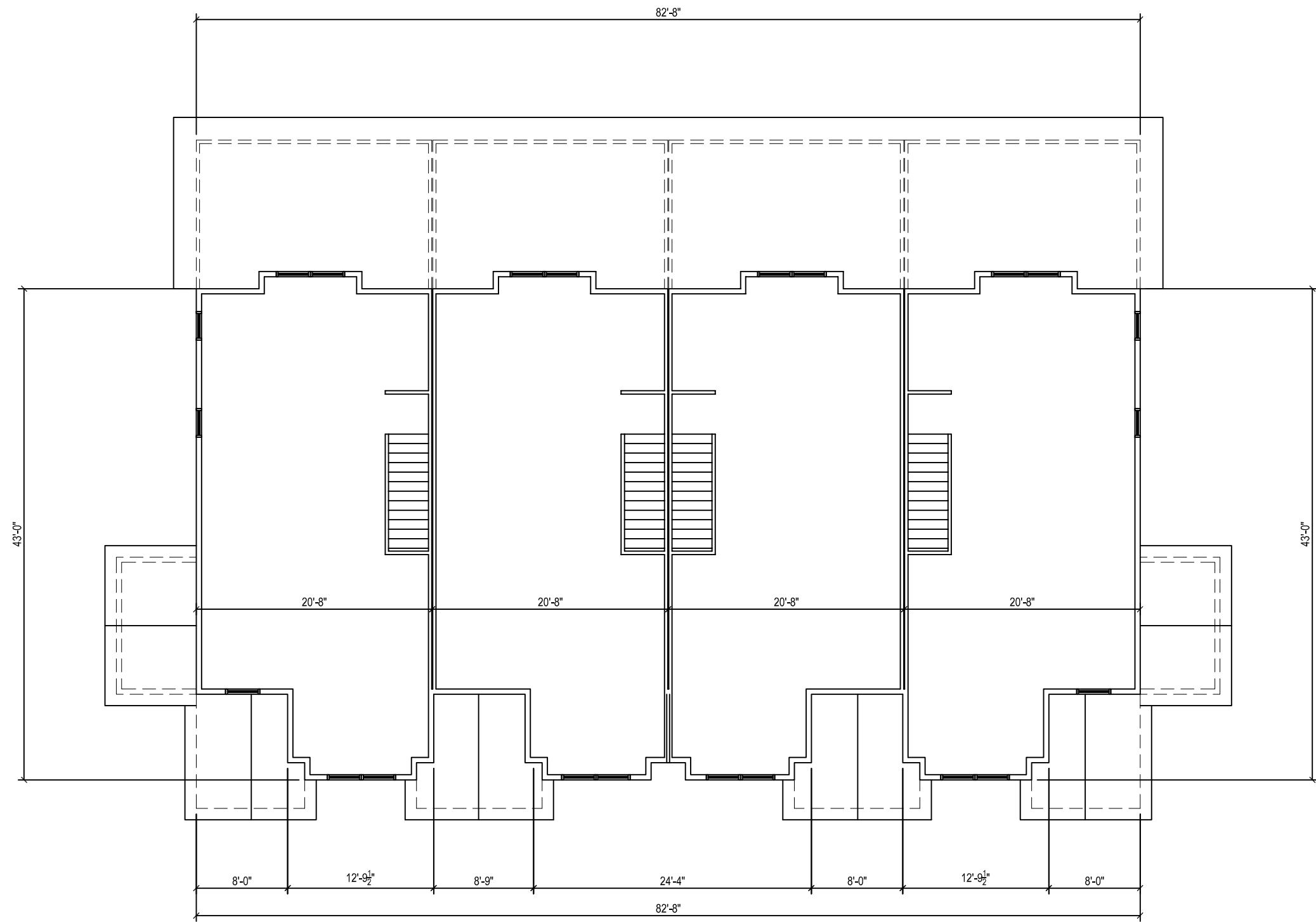
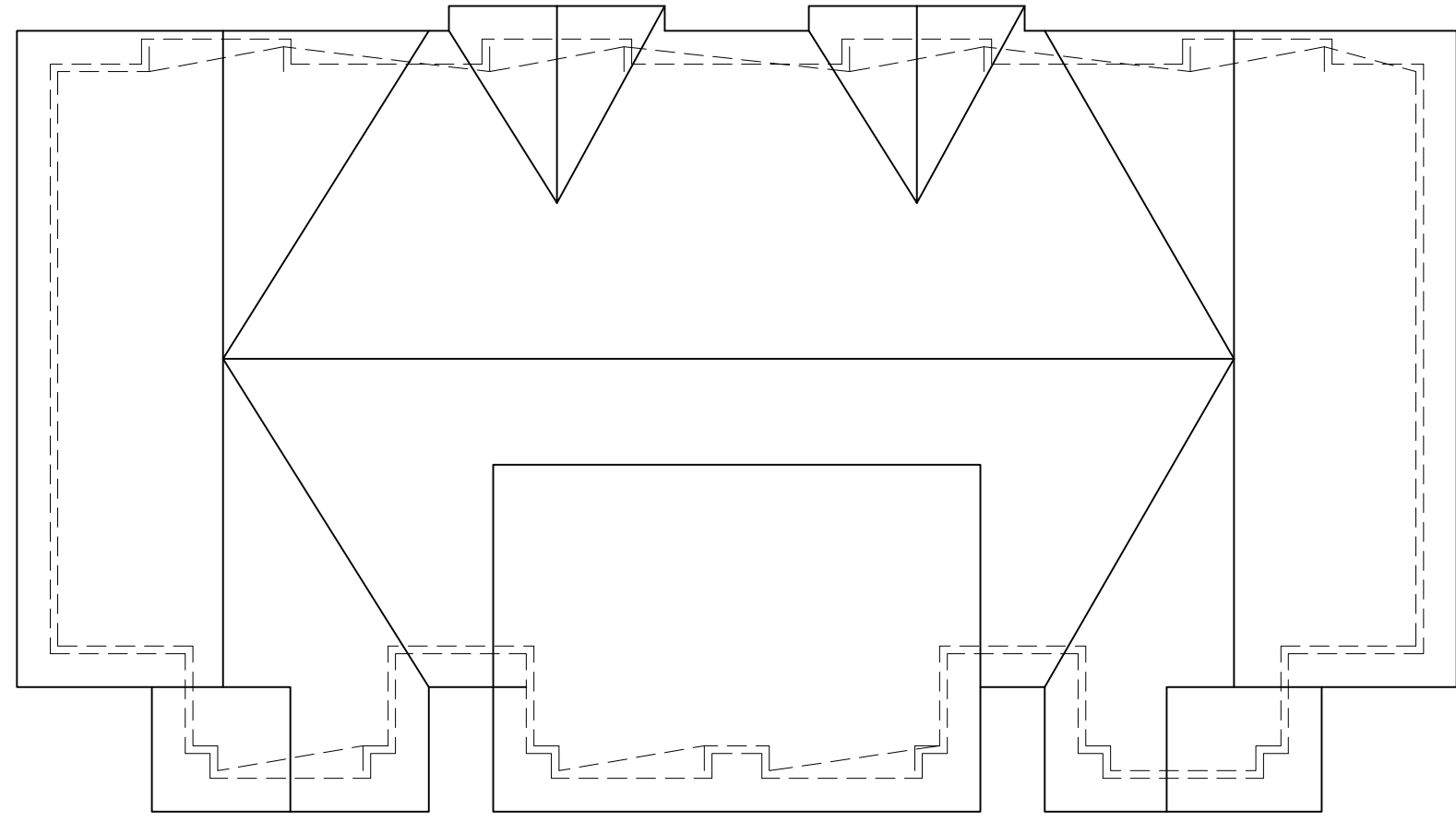
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SHEET TITLE

FLOOR PLANS

SHEET NUMBER

T-101



MADISON : MILWAUKEE
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JLA PROJECT NUMBER: 17-1018



MAPLE GROVE DRIVE RESIDENTIAL TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FLOOR PLANS

SHEET NUMBER

T-102



6 WEST ELEVATION
1/8" = 1'-0"



8 4 UNIT SOUTH ELEVATION
1/8" = 1'-0"



16 10 UNIT SOUTH ELEVATION
1/8" = 1'-0"



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JLA PROJECT NUMBER: XX-XXXX-XX

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PROGRESS OF PROJECT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MONTH DATE, YEAR

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

T-A200



6 EAST ELEVATION
1/8" = 1'-0"



8 4 UNIT NORTH ELEVATION
1/8" = 1'-0"



16 10 UNIT NORTH ELEVATION
1/8" = 1'-0"



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MAPLE GROVE DRIVE
RESIDENTIAL
TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

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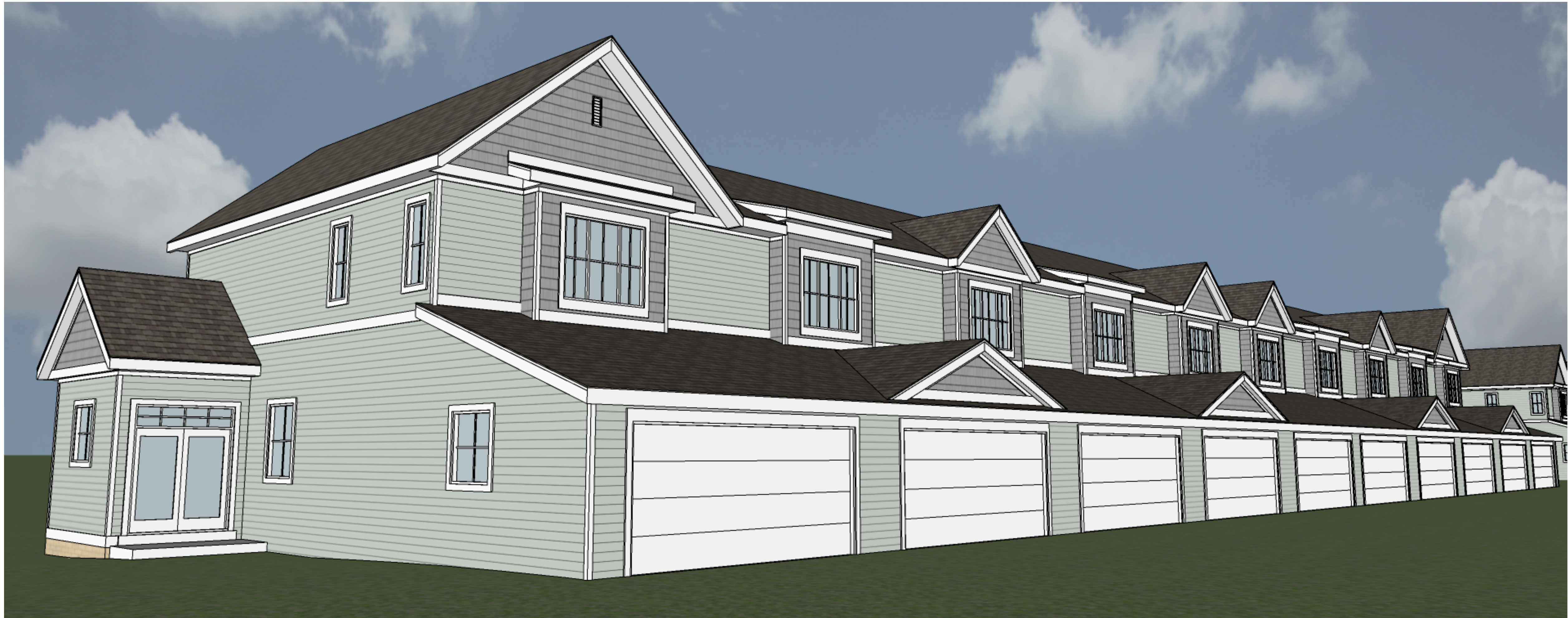
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SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

T-A201



6 PERSPECTIVE NE
1/8" = 1'-0"



16 PERSPECTIVE SW
1/8" = 1'-0"



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MAPLE GROVE DRIVE
RESIDENTIAL
TOWNHOMES

LAND USE APPLICATION

PROGRESS DOCUMENTS

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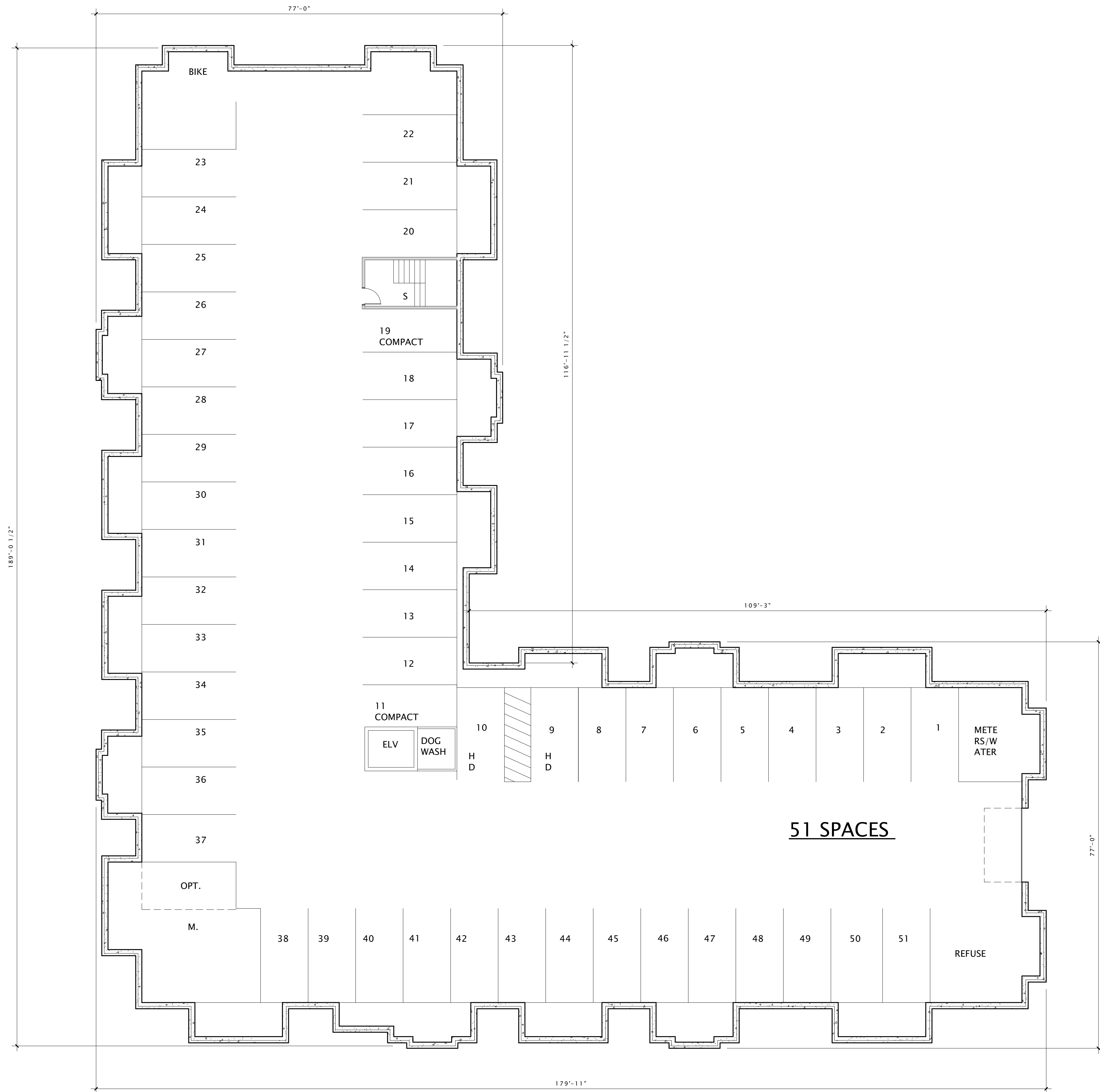
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
PERSPECTIVES

SHEET NUMBER

T-A201



1 LOWER LEVEL Single Lines
3/32" = 1'-0"



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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE RESIDENTIAL APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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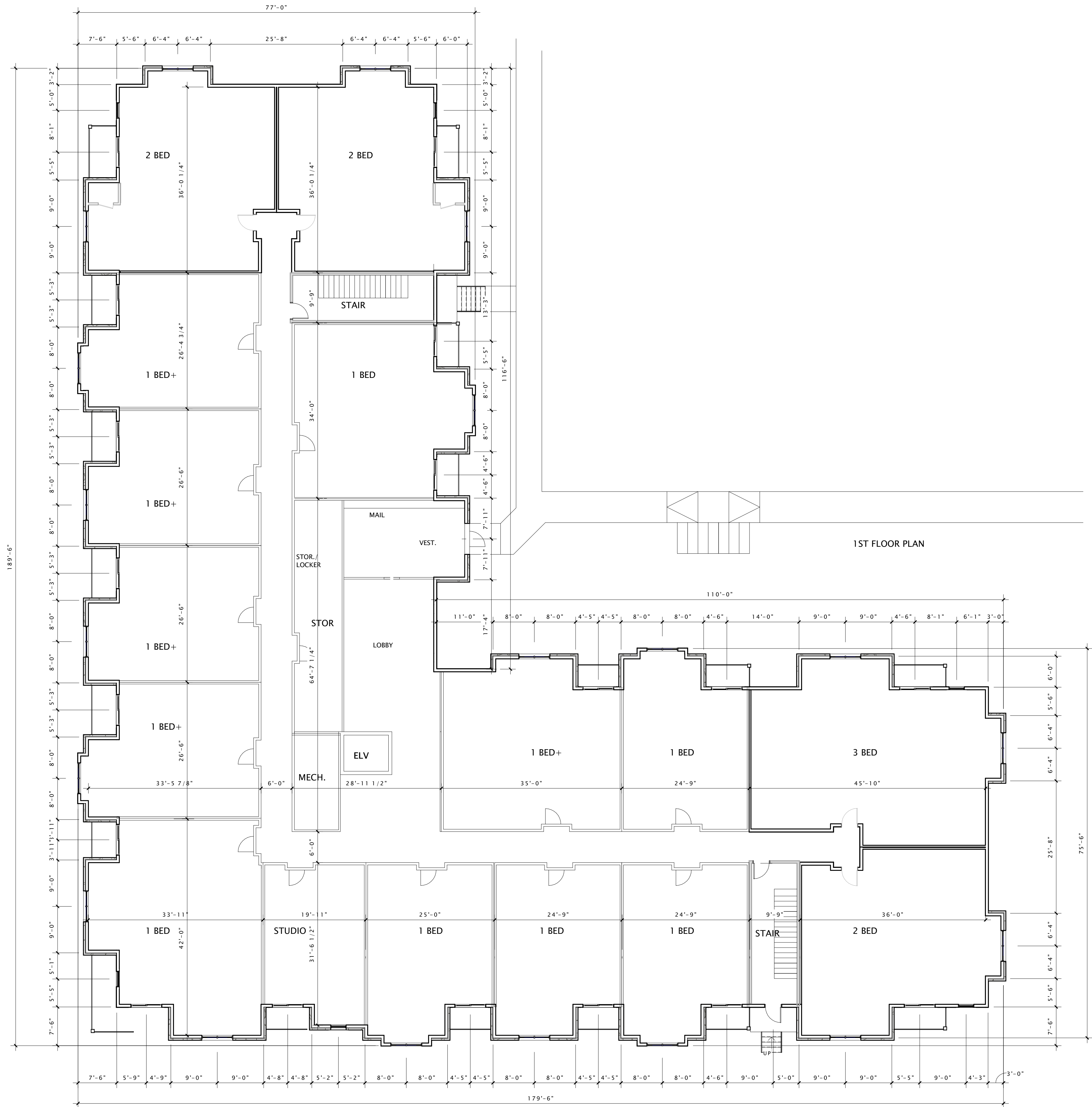
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SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A-A100



UNIT METRIX				
	1	2	3	TOTAL
STUDIO	1	1	1	3
1 BED	4	7	7	18
1 BED +	4	4	4	12
1 BED/DEN	2	1	3	4
2 BED	4	4	4	12
3 BED	1	1	1	3
	16	18	18	52



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MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A-A101

1 FIRST FLOOR, Single Lines
3/32" = 1'-0"



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MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

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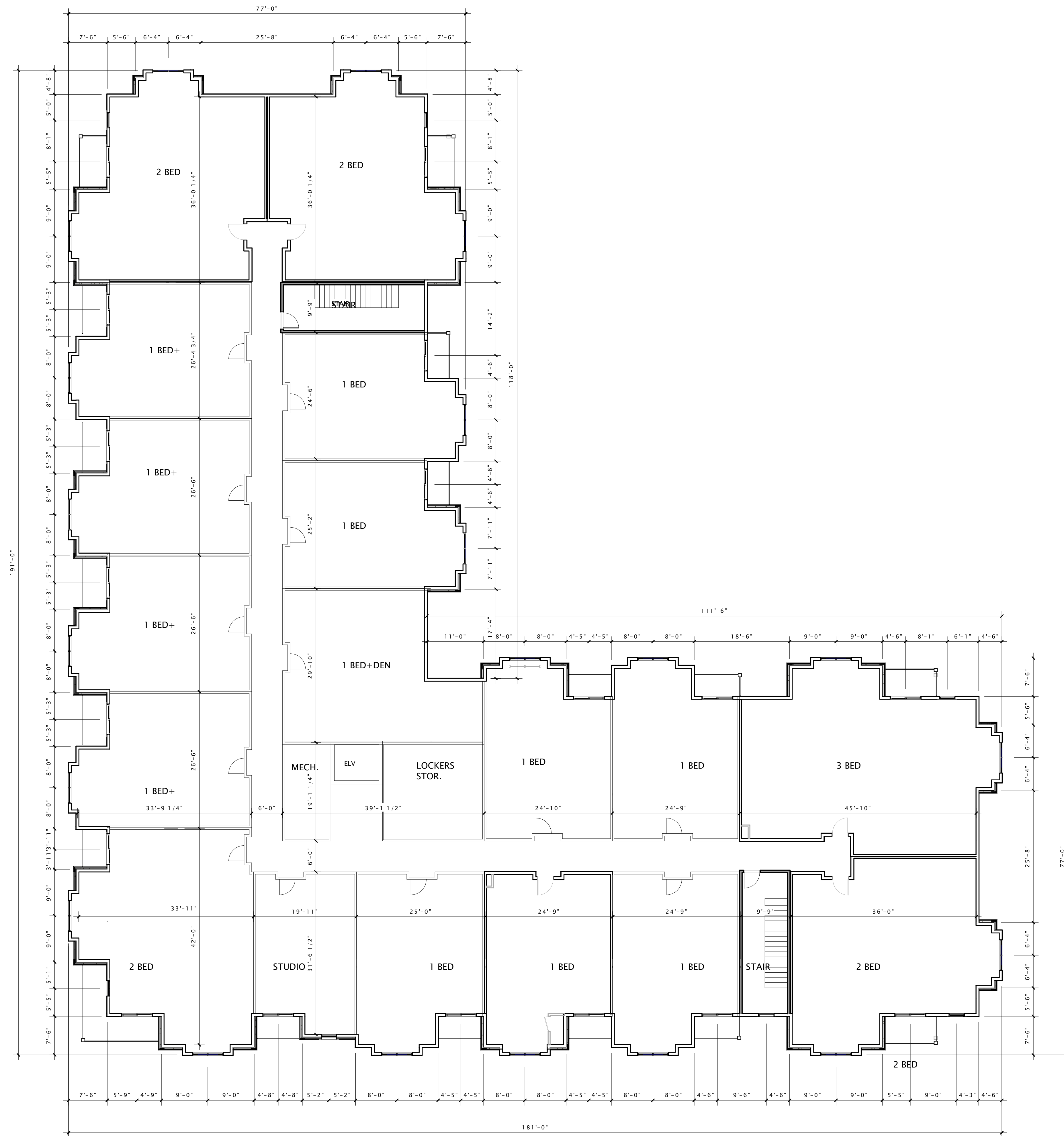
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND FLOOR
PLAN

SHEET NUMBER

A-A102



1 SECOND FLOOR Single Lines
3/32" = 1'-0"



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MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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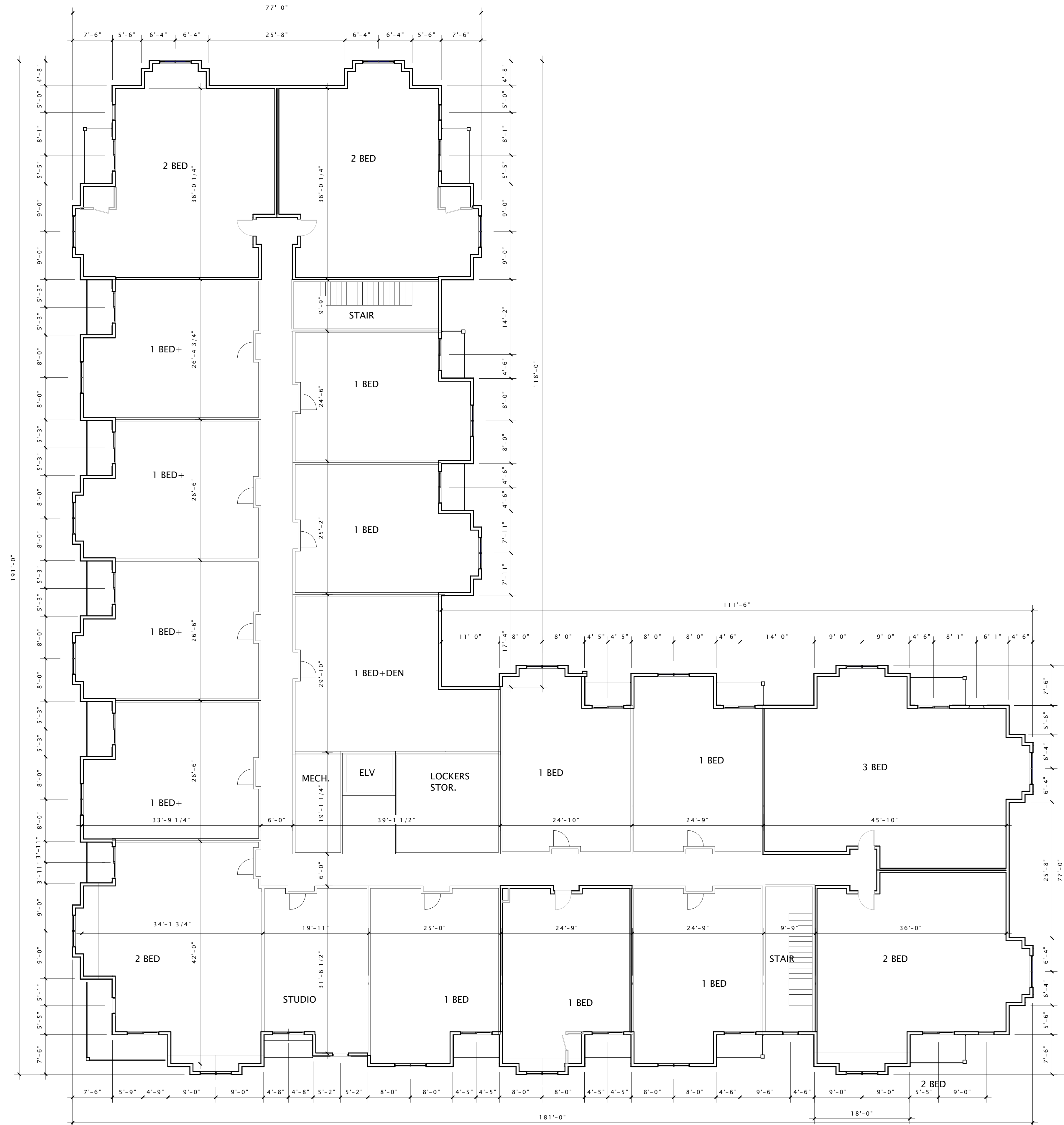
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A-A103





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MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

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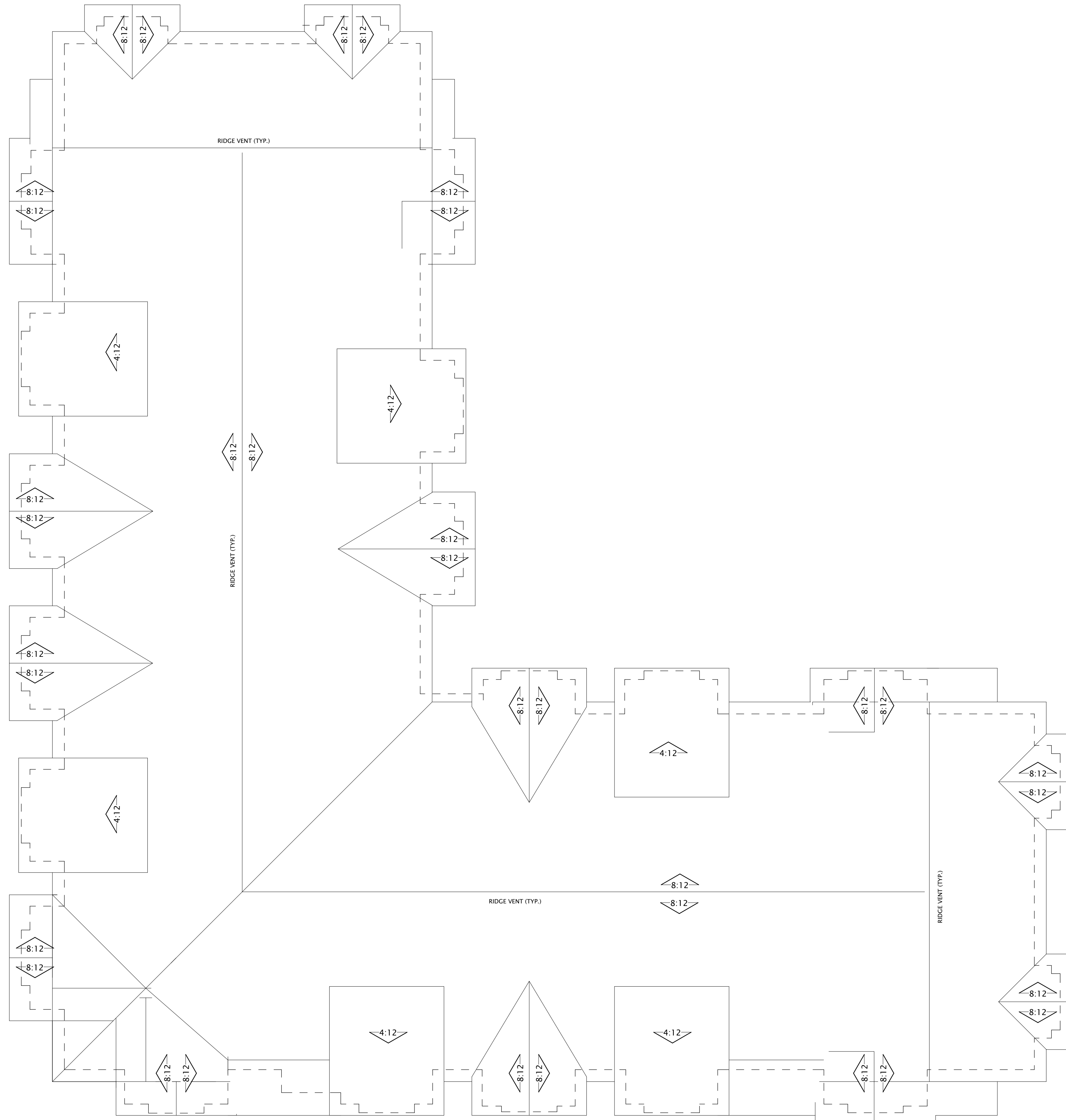
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A-A104





⑥ Elevation South
1/8" = 1'-0"



①⑥ Elevation West
1/8" = 1'-0"



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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE RESIDENTIAL APARTMENTS

PROGRESS OF PROJECT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MONTH DATE, YEAR

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

A-A200



6 Elevation North
1/8" = 1'-0"



16 Elevation East
1/8" = 1'-0"



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MAPLE GROVE DRIVE
RESIDENTIAL
APARTMENTS

LAND USE APPLICATION

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

A-A201



6 PERSPECTIVE NE
1/8" = 1'-0"



16 PERSPECTIVE SW
1/8" = 1'-0"



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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE RESIDENTIAL APARTMENTS

LAND USE APPLICATION

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE

Mark	Description	Date
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SHEET TITLE

SKETCHUP
PERSPECTIVES

SHEET NUMBER

A-A202



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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE ROAD
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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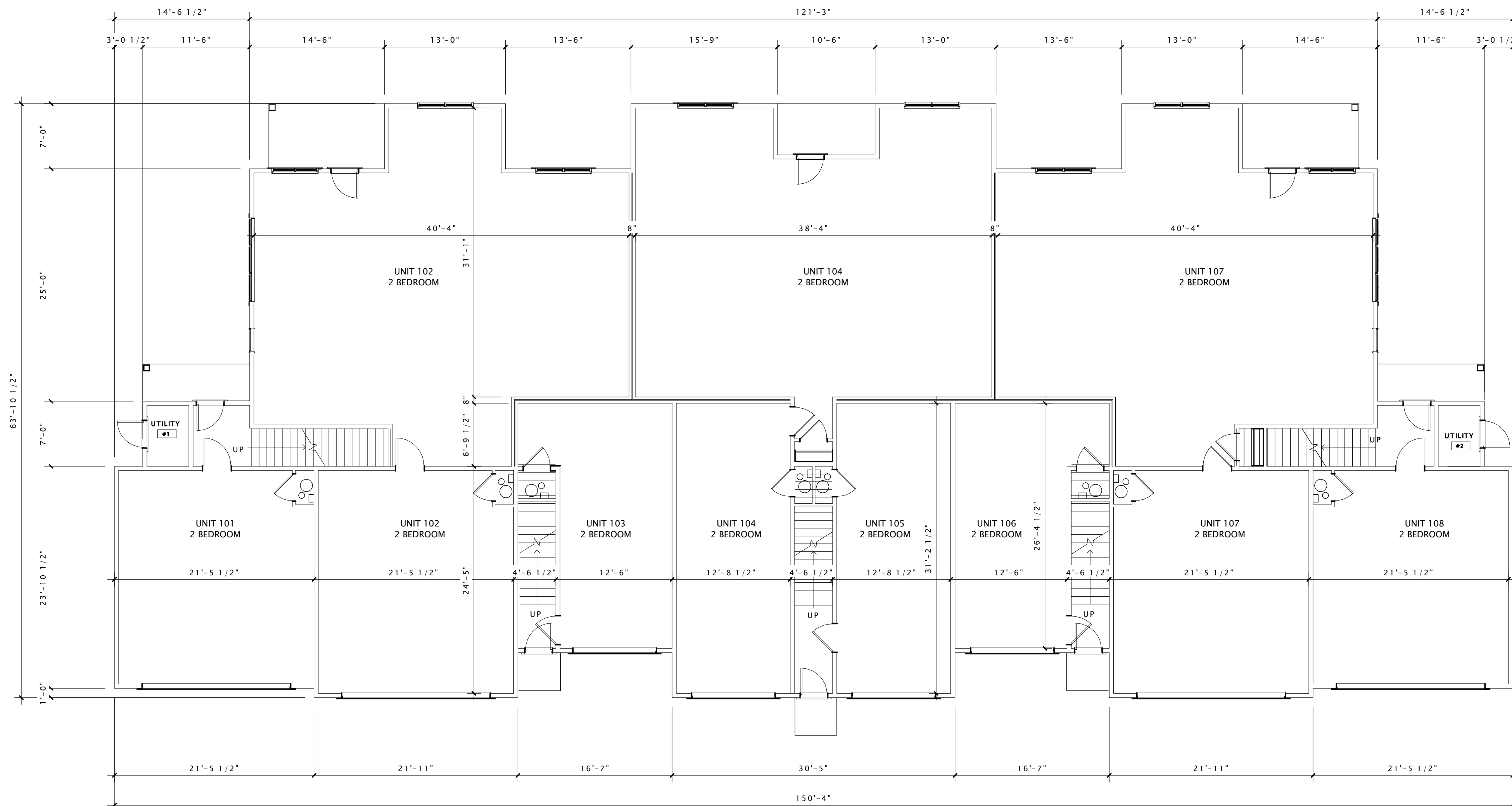
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Mark	Description	Date

SHEET TITLE

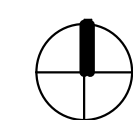
FIRST FLOOR PLAN

SHEET NUMBER

S-A101



1 FIRST FLOOR PLAN
1/8" = 1'-0"





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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE ROAD
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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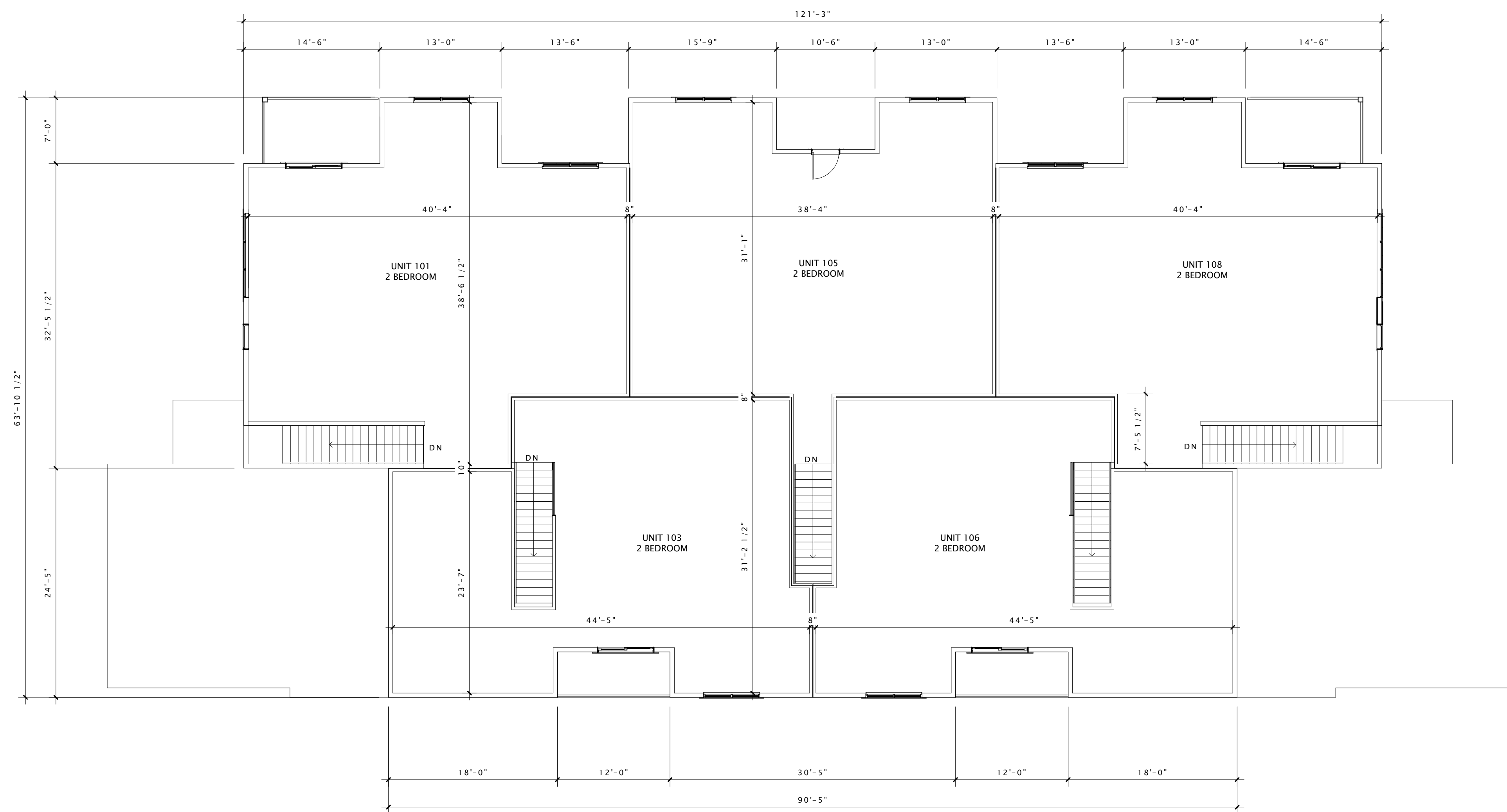
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Mark	Description	Date

SHEET TITLE

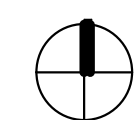
SECOND FLOOR
PLAN

SHEET NUMBER

S-A102



1 SECOND FLOOR PLAN
1/8" = 1'-0"





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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE ROAD
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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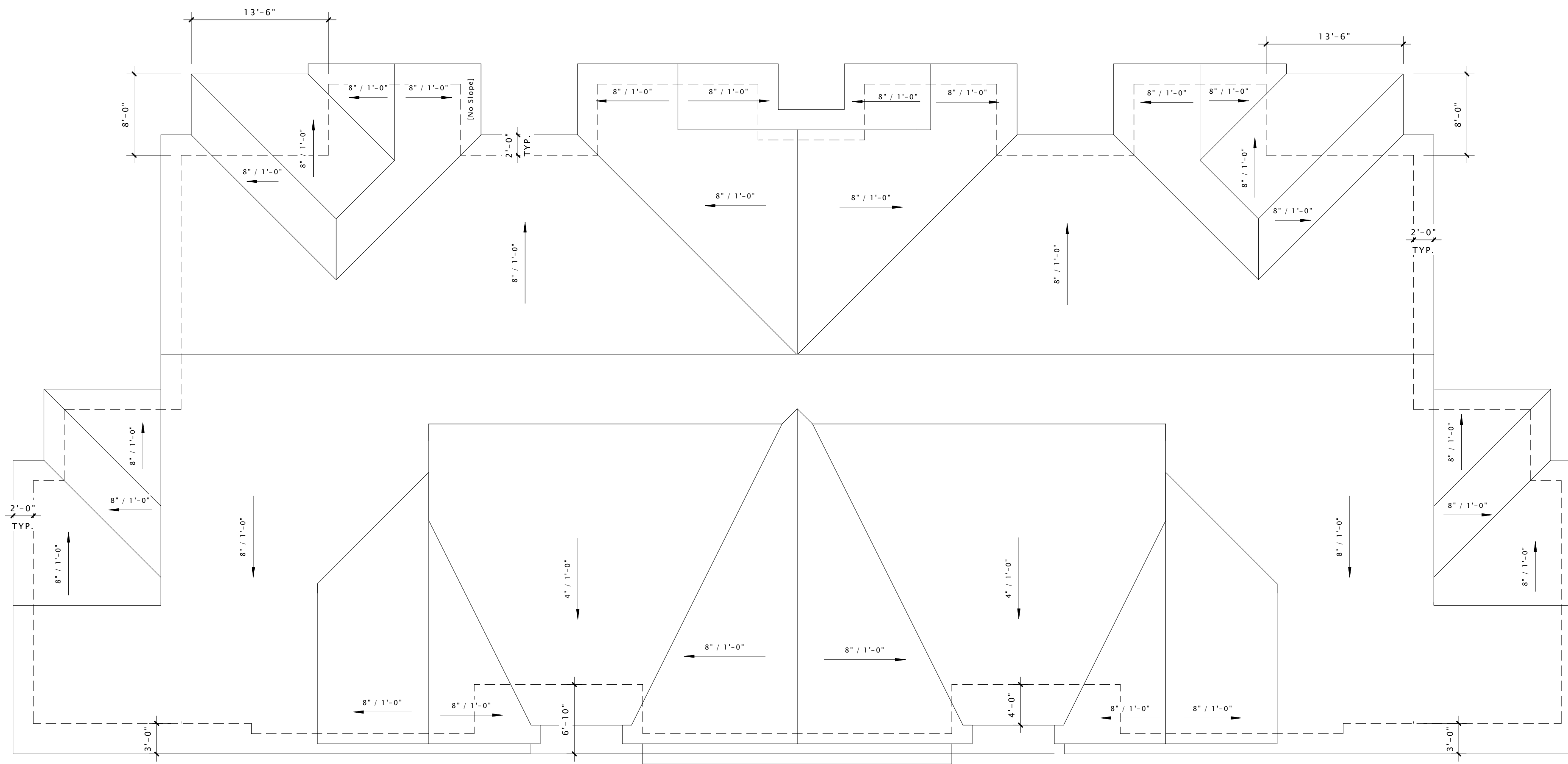
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Mark	Description	Date

SHEET TITLE

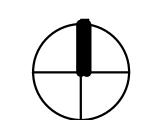
ROOF PLAN

SHEET NUMBER

S-A103



① ROOF PLAN
1/8" = 1'-0"





6 SOUTH ELEVATION
3/16" = 1'-0"



16 WEST ELEVATION
3/16" = 1'-0"



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MADISON : MILWAUKEE
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JLA PROJECT NUMBER: XX-XXXX-XX

XXX

PROGRESS OF PROJECT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MONTH DATE, YEAR

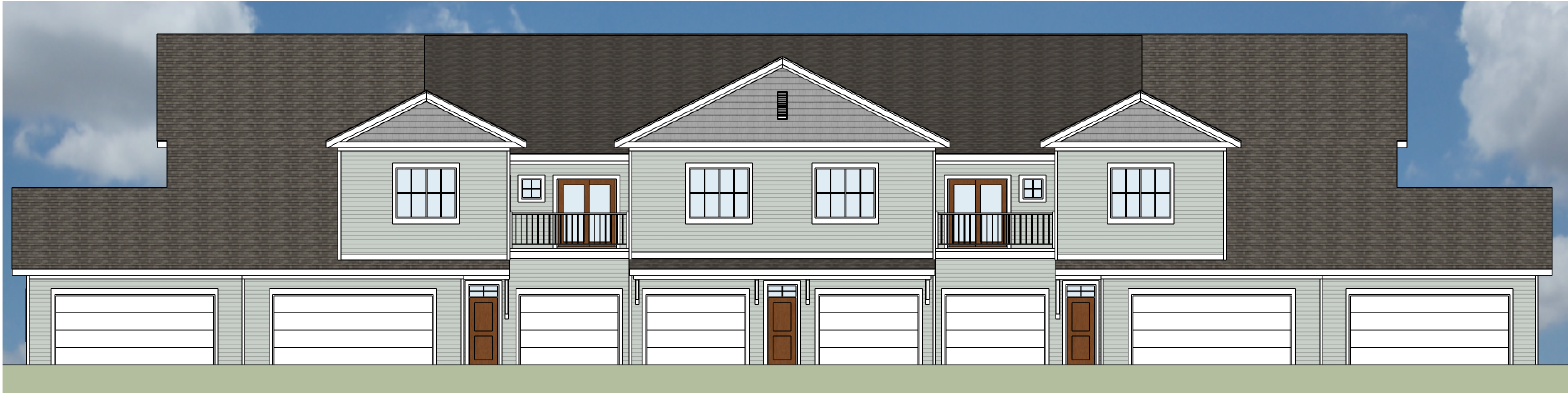
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

S-A200



6 NORTH ELEVATION
3/16" = 1'-0"



16 EAST ELEVATION
3/16" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
RESIDENTIAL
STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

SF-A201



6 PERSPECTIVE NE
1/8" = 1'-0"



16 PERSPECTIVE SW
1/8" = 1'-0"



JLA
ARCHITECTS

MADISON : MILWAUKEE
jla-ap.com

JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE RESIDENTIAL STACKED FLATS

LAND USE APPLICATION

PROGRESS DOCUMENTS

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DATE OF ISSUANCE DECEMBER 18, 2019

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
PERSPECTIVE

SHEET NUMBER

SF-A202



JLA
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MADISON : MILWAUKEE
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JLA PROJECT NUMBER: XX-XXXX-XX

MAPLE GROVE DRIVE
CLUBHOUSE

PROGRESS OF PROJECT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE MONTH DATE, YEAR

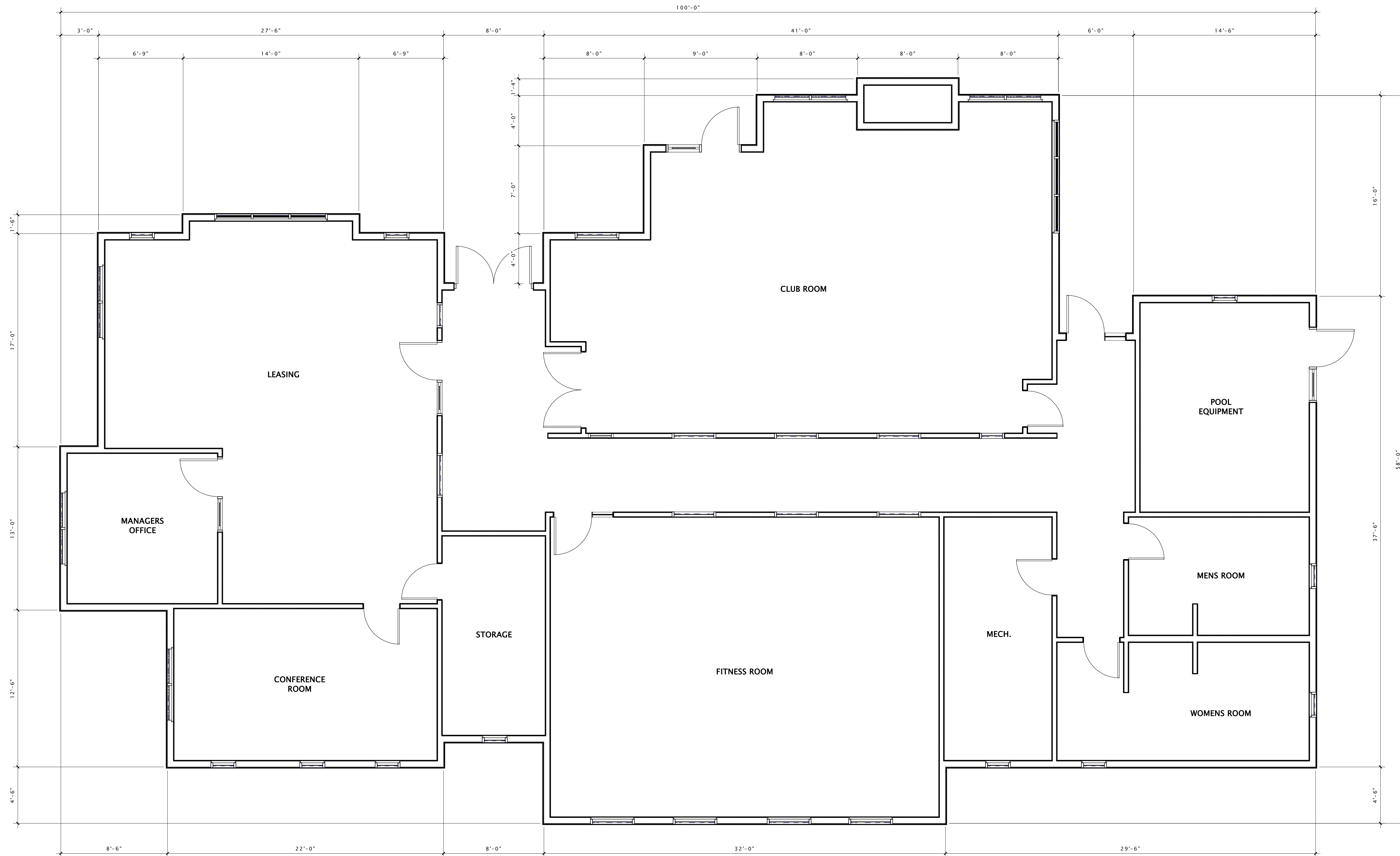
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101



16 FIRST FLOOR PLAN
1/4" = 1'-0"

1/23/2020, 2:42:08 PM



JLA
ARCHITECTS

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MAPLE GROVE DRIVE
CLUBHOUSE

LAND USE APPLICATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE DECEMBER 18, 2019

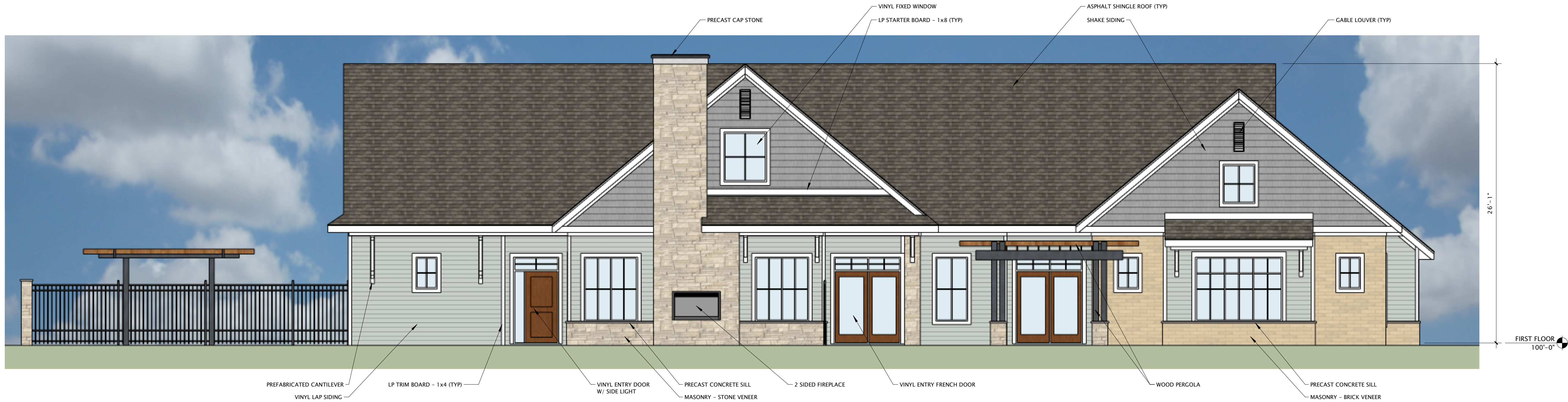
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

CH-A200



⑥ Elevation South Club House
3/16" = 1'-0"



①⑥ Elevation West Club House
3/16" = 1'-0"



⑥ Elevation North Club House
3/16" = 1'-0"



①⑥ Elevation East Club House
3/16" = 1'-0"



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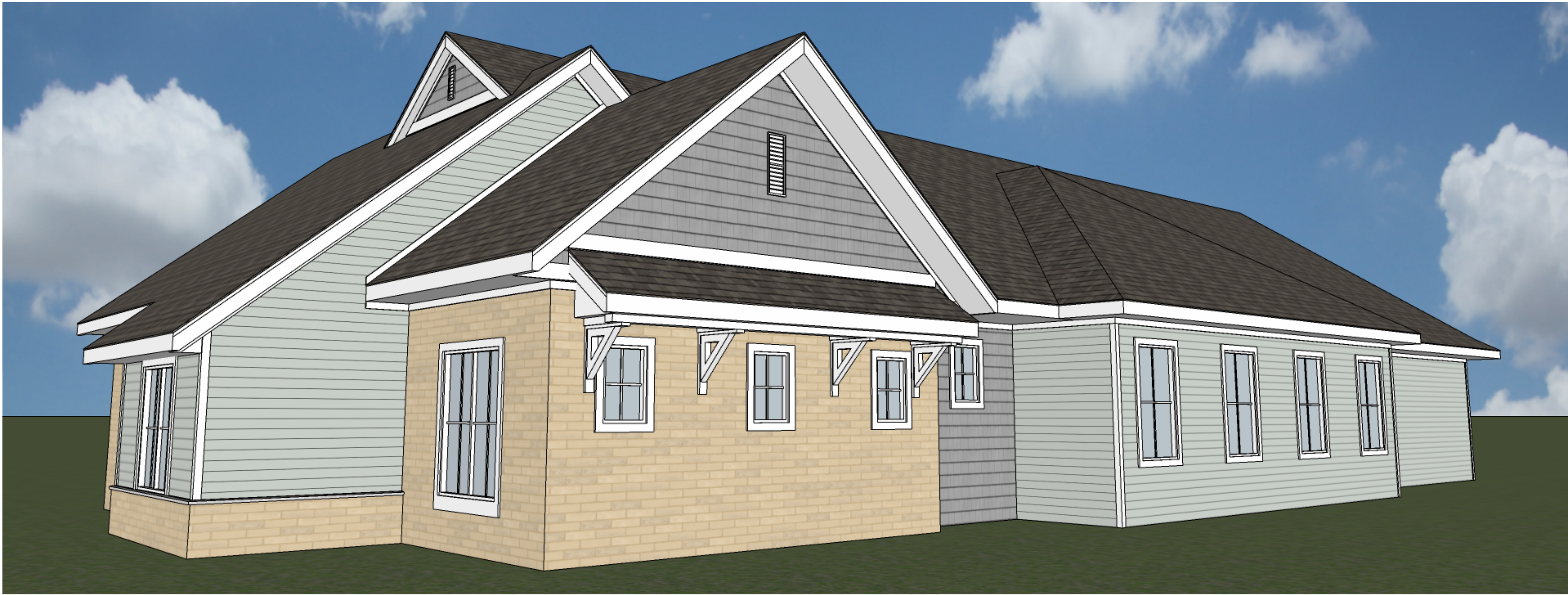
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
ELEVATIONS

SHEET NUMBER

CH-A201



6 PERSPECTIVE Club House NE
1/8" = 1'-0"



16 PERSPECTIVE Club House SW
1/8" = 1'-0"



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ARCHITECTS

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MAPLE GROVE DRIVE CLUBHOUSE

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SKETCHUP
PERSPECTIVES

SHEET NUMBER

CH-A202