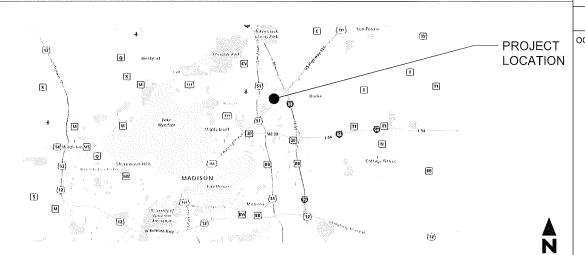
# Batteries + Bulbs

# INTERIOR BUILDOUT MADISON EAST 4706 E. WASHINGTON AVE MADISON, WI 53704

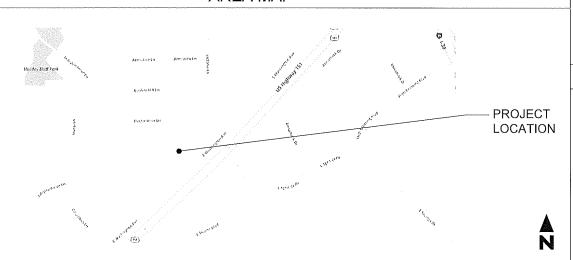
## **BUILDING CODES**

BUILDING	2015 INTERNATIONAL BUILDING CODE (IBC) W/ WISCONSIN AMENDMENTS
MECHANICAL	2015 INTERNATIONAL MECHANICAL CODE (IMC) W/ WISCONSIN AMENDMENTS
ELECTRICAL	2017 NATIONAL ELECTRICAL CODE (NEC)
PLUMBING	STATE OF WISCONSIN PLUMBING CODE
FIRE PREVENTION	2015 INTERNATIONAL FIRE CODE (IFC) W/ WISCONSIN AMENDMENTS
ENERGY	2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) W/ WISCONSIN AMENDMENTS
FUEL GAS	2015 INTERNATIONAL FUEL GAS CODE (IFGC)
ACCESSIBILITY	2015 IBC & 2003 ANSI A117.1

## VICINITY MAP



#### AREA MAP



#### SCOPE OF WORK

INTERIOR BUILD-OUT FOR A RETAIL IN EXISTING RETAIL SPACE. WORK INCLUDES CARPENTRY, ELECTRICAL, PLUMBING, AND HVAC DISCIPLINES.

### **CODE MATRIX**

SCOPE OF WORK: INTERIOR RENOVATION FOR NEW RETAIL CONSTRUCTION TYPE: V-B (SECTION 601) - EXISTING

OCCUPANCY CLASSIFICATION: M (SECTION 309) ALLOWABLE HEIGHT: EXISTING

ACTUAL HEIGHT: 1 STORY (EXISTING)

ALLOWABLE AREA: EXISTING

ACTUAL TENANT AREA: 2,372 S.F. USABLE

SEPARATION - USES: DEMISING: M (RETAIL)

EXISTING 2 HR SEPARATION

BUILDING ELEMENT FIRE RESISTANCE RATING REQUIREMENT (TABLE 601) STRUCTURAL FRAME: 0 HR BEARING WALLS, EXTERIOR: 2 HR **EXISTING** BEARING WALLS, INTERIOR: 0 HR N/A NON-BEARING WALLS, EXT.: N/A FXISTING NON-BEARING WALLS, INT.: 0 HR 0 HR FLOOR CONSTRUCTION: 0 HR EXISTING

ROOF CONSTRUCTION: 0 HR **EXISTING** INTERIOR FINISHES: ALL INTERIOR FINISHES/MATERIALS SHALL COMPLY WITH CHAPTER 8 OF THE 2015 IBC

PROJECT MUST FULLY COMPLY & MEET ALL ACCESSIBILITY REQUIREMENTS OF THE TEXAS ACCESSIBILITY STANDARDS

97'-4"

#### **EGRESS CALCULATIONS**

OCCUPANCY LOAD CALCULATIONS: (TABLE 1004.1.1) DESCRIPTION AREA AREA PER OCCUPANT TOTAL OCCUPANTS MERCANTILE RETAIL: 977 SF (GROSS)

60 SF (GROSS) BUSINESS
OFFICE/REPAIR: 698 SF (GROSS) 100 SE (GROSS)

S-1 STORAGE

GARAGE: 454 SF (GROSS) 300 SF (GROSS)

TOTAL OCCUPANT LOAD 25 EXIT ACCESS TRAVEL MAX. ALLOWED MAX. DISTANCE PROVIDED

DISTANCE: 75'-0" (M) 100'-0" (B & S) (TABLE 1006.3.2(2) & 1017.2) WITHOUT SPRINKLER

MINIMUM REQUIRED PROVIDED

EGRESS DOOR WIDTH 36" (1005.1): EGRESS AISLE WIDTH

(1020.2)

MINIMUM NUMBER OF EXITS: REQUIRED **PROVIDED** 

(TABLE 1006.3.2(2)) 1 1 PUBLIC & 1 PRIVATE

MAX DISTANCE LISTED TO PUBLIC EXIT

### PLUMBING SYSTEMS

MINIMUM NUMBER OF PLUMBING FACILITIES:		USE: MERCANTILE M PROVIDED
WATER CLOSETS:	1 PER 500	1
URINALS:	N/A	-
LAVATORIES:	1 PER 750	1
SERVICE SINK:	1	1

## INDEX OF DRAWINGS

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G1-01 PROJECT INFO, SYMBOLS & CODE ANALYSIS
G1-02 GENERAL NOTES & ABBREVIATIONS
G1-03 GENERAL NOTE AND REQUIREMENTS
G1-04 SPECIFICATIONS
G1-05 SPECIFICATIONS
G1-06 ACCESSIBILITY DETAILS

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A1-02 FLOOR PLAN
A1-03 REFLECTED CEILING PLAN
A2-01 INTERIOR ELEVATIONS
A2-02 INTERIOR ELEVATIONS
A2-03 INTERIOR ELEVATIONS
A2-04 INTERIOR ELEVATIONS
A2-05 INTERIOR ELEVATIONS
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A2-07 ELEVATIONS
A3-08 PARTITION SCHEDULES

M1-01 MECHANICAL PLAN
M1-02 MECHANICAL DETAILS AND SPECIFICATIONS

E1-01 LIGHTING PLAN E1-02 POWER PLAN

E1-03 ELECTRICAL SPECIFICATI E2-01 ELECTRICAL COMCHECK

#### PLUMBING

CLIENT BATTERIES PLUS BULBS 1325 WALNUT RIDGE DR.

412 S. WELL STREET, 2ND FLOOR

HARTLAND, WI 53029 (P) 980-329-6029

CONTACT:

JOSH BROOKS

ARCHITECT

CHICAGO, IL 60607

ANTHONY VOLPE

MPE ENGINEER

CONTACT:

LUKE WILD

(P) 312 955 0334 x101 CONTACT:

CASE ENGINEERING

ST. LOUIS, MO 63026 (P) 636 349 1600

**BUILDING DEPARTMENT** 

COMMUNITY DEVELOPMENT INSPECTION DIVISION

DEPARTMENT OF PLANNING & ECONOMIC &

215 MARTIN LUTHER KING JR. BLVD., SUITE 17 P.O. BOX 2984 MADISON, WI 53701-2984

796 MERUS COURT

# Batteries

#### MADISON EAST, WI 4706 E. WASHINGTON AVE MADISON, WI 53704



## Consultant

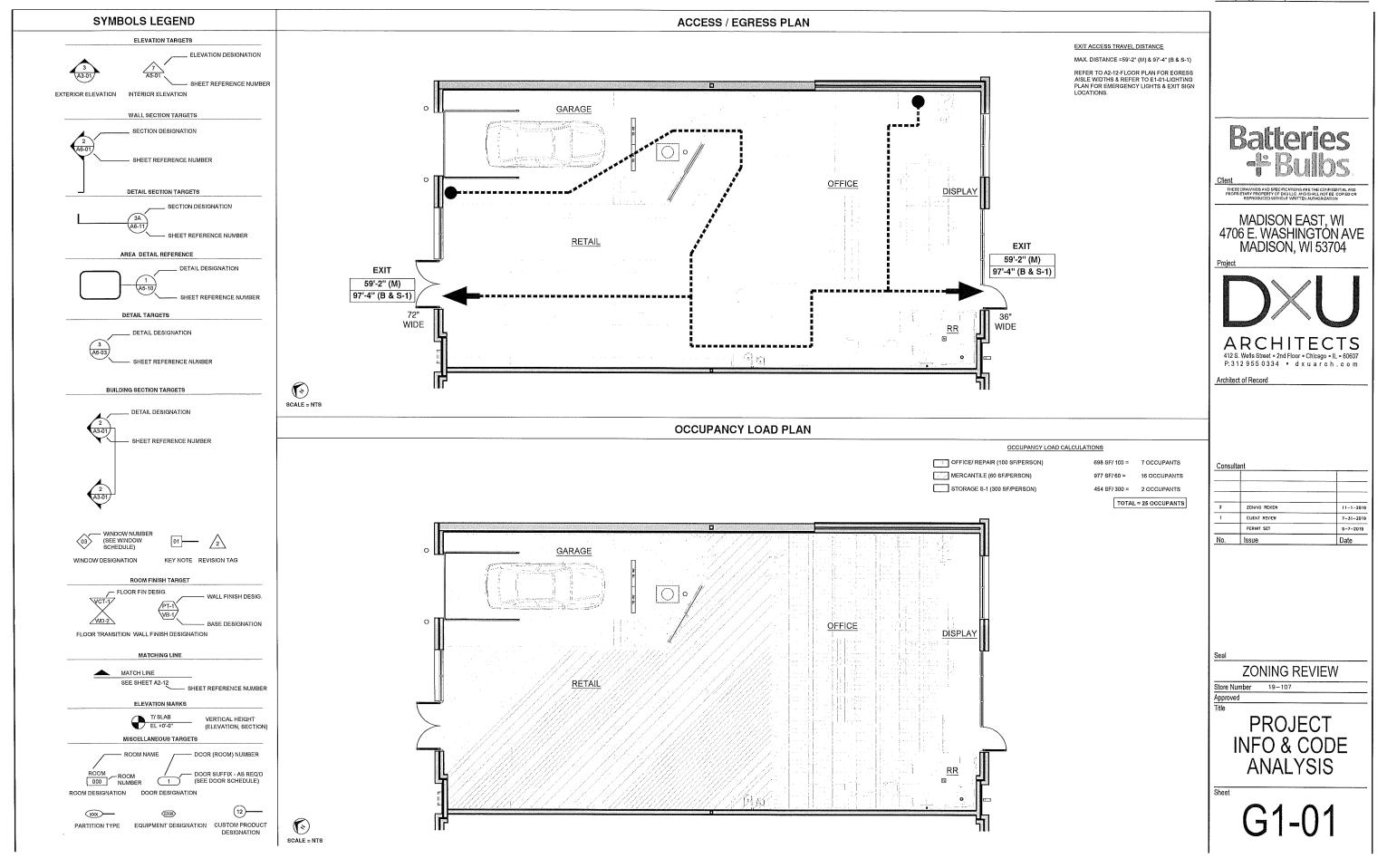
	·	
2	ZONING REVIEW	11-1-2019
ı	CLIENT REVIEW	7-31-2019
	PERMIT SET	6-7-2019
No.	Issue	Date

# **ZONING REVIEW**

Store Number 19-107 Approved

TITLE

T1-01



AT	ng uation fire batt insulatio sh ser (feet)
ADJ	ng uation fire batt insulatio sh ser (feet)
ADJ	ng uation fire batt insulatio sh ser (feet)
AGG	uation fire batt insulatio ish ser (feet)
ALL         aluminum         GT         grease frap         REFR         refigerator relinforced           ALT         alternate         GYP         gypsum         REDD         required religion           ANDZ         anderoad         HB         hose bibb         REV         revision           ANN         annunclator         HB         hose bibb         REV         revision           APP         ccess panel         HC         hollow core         RFG         rooff           APPROX         approximate         HDWD         hardware         RM         room           APPT apartment         HDWR         hardware         RM         room           ARCH         architectural         HM         hollow ore         RR           ARCH         architectural         HM         hollow ore         RR           AVE         avenue         HORIT         horizontal         S           AVIVO         American wire gauge         HP         hip point         SAP           BV         bottom of         HT         heapth         SAP           BB         baseboard         HTG         heatin         SAP           BILDG         buoliding         IAW	uation fire batt insulatio ish ser (feet)
AND	uation fire batt insulatio ish ser (feet)
ANID	uation fire batt insulatio ish ser (feet)
APP         access panel         HC         hollow core         RFG         roofing           APPT approximate         HDWD         hardwood         RM         room           APT         approximate         HDWD         hardwood         RM         room           APT         apstment         HBW         held word         RM         room           AVT         automatic         HO         hold open         NAVE         avenue         HOR         hold open           AWE         avenue         HOR         hold open         NAVE         sound attentive         NAVE         Sound attentive         NAVE         Sound attentive         NAVE         NAVE         Sound attentive         NAVE	uation fire batt insulatio ish ser (feet)
APPT	uation fire batt insulatio ish ser (feet)
ARCH   architectural   HM   bollow metal   RO   rough open	uation fire batt insulatio ish ser (feet)
AVE	uation fire batt insulatio ish ser (feet)
American wire gauge	ser (feet)
ACOUSTICAL   File   F	ser (feet)
BB	(feet)
BITUM   Sturmous	(feet)
BILDG   Building   BURG   Building   BURG   Building   BURG   Burlow   Bu	(feet)
BM	
B.M.         beach mark         ID         install outerliner         SHR         shower           BR         bedroom         INCAN         incadescent         SHT         sheet           BR         bearing         INCL         include(d(Ning))         SIM         similar           BBM         basement         INSUL         include(d(Ning))         SIM         similar           BBR         back to back         INTR         Interior         SMS         sheet metal           BIR         back to back         INTR         Interior         SMS         sheet metal           BIR         back to back         INTR         Interior         SMS         sheet metal           CC         cement         JC         Janitor's Closet         SPE         standplipe           CL         center line         C.         construction joint         JT         joint         SSK         sevrice sink           CLG         celling         KD         knockdown         STC         stallnless at           CLG         cleanut         KD         knockdown         STC         standard           CM         confreence         LAM         laminate(s)         STC         strandard	
BR         bedroom         INCAN         incandescent         SHI         sired           BRG         bearing         INCL         incude(d(Ing))         SIM         similar           BBM         basement         INSUL         incude(d(Ing))         SSM         sheet metal           BBN         basement         INVEL         invert elevation         SP         sMS         sheet metal           BUR         built up roofing         INVEL         invert elevation         SP         standplipe         <	
BBMT	
BTB   back to back   INTR   Interior   SMS   Street Rivers	
CEM	screw
CJ	ł
CLG         ceiling         KD         knockdown         STA         station           CM         centimeter         KO         knockout         STC         sound trans           CMU         concreted         KS         knee space         STER         sterilizer           CO         column         STC         stonder         STC         stonder           COL         column         Column         STC         storage         stream         stream         storage         stream         storage         structural         surgical         surgical <td< td=""><td></td></td<>	
CLO   Closet   ND   Knockout   STC   Sound trans   CM   Cm   centimeter   KIT   klichen   STB   standard   STD   standard   STD   Standard   STD   Standard   STD   Standard   STD   STD	el
CMU         Concrete masonry unit         KIT         kitchen         STD         standard           COU         concrete masonry unit         KS         knee space         STER         sterilizer           COU         column         STOR         STOR         storage           CONC         concrete         LAM         laminate(s)         STRUCT         structural           CONF         conference         LAV         lavatory         SURG         surgical           CONTR         construction         LB(s)         pound(s)         SUSP         suspended           CONTR         contractor         LL         landlord         cord         cord         cord         cord         LR         length         SWBO         switch boar         suspended         cord         cord         cord         LR         length         switch boar         cord         cord         cord         LR         length         switch boar         cord         cord         cord         LR         length         switch boar         cord         cord         cord         cord         LR         length         switch boar         cord         cord         cord         cord         tread         cord         cord <t< td=""><td>mission class</td></t<>	mission class
CO         cleanout         No         knee space         STL         steel           COL         column         LAM         laminate(s)         STOR         storage           CONE         conference         LAV         lavatory         SURG         surgical           CONSTR         construction         LB(S)         pound(s)         SUSP         suspended           CONTR         contractor         LL         landford         T         tread           CORR         condinate         LKR         locker         T         tread           CORR         corridor         LP         low point         T/         top Ø bottor           CRT         cathode ray tube         LT         light weight         TRB         top Ø bottor           CTI         control joint         LVT         light weight         TRB         top Ø bottor           CTR         center         TEMP         trempered         telephone           CTSK         countersunk         meter         TER         telephone           CU         cubic         MAN         masonry         TL         task light           CW         cold water         MAS         maximum         TOPO.	
CONIC COR COR COR COR COR COR COR COR COR CO	
CONF         conference         LAV         lavatory         SURG         surgical           CONTT         construction         LB(S)         pound(s)         SUSP         suspended           CONTD         continuous         LG         length         SWBO         switch boar           CONTD         contractor         LL         lanelord         T         tread           CORD         coordinate         LKR         locker         T         tread           CORR         corridor         LP         low point         TKB         top of           CRT         cathode ray tube         LT         light         T&B         top of         botton           CTR         center         ETCT         center         TEL         telephone         telephone         tempered         <	
CONTT         continuous         LG         length         SWBO         switch boar           CONTR         confactor         LL         landlord         T         tread           CORR         corridor         LP         low point         T/         top of           CRT         calbode ray tube         LT         light         T&B         top of bottor           CTQ         control ploint         LWT         light light         T&B         top of bottor           CTT         center         TEL         telephone         telephone         telephone           CTTX         countersunk         TEM         telephone         tempered         tempered           CTV         closed circuit television         M         meter         TER         terazzo           CW         cold water         MAS         masonry         TL         task light           CPT         carpet         MATL         material         TOIL         tollet           DEA         dowle         ME         metal corner bead         TV         television           DEMO         degree         ME         methal carlier         TRT-WD         tracted woo           DET         depatrment	
CONTR COORD         confractor COORD         LL         landlord coordinate         LKR locker         T         tread           CORR COORD         coordinate         LKR locker         T         top of         top of           CRT         cathode ray tube         LT         light         T&B         top of bottor           CTJ         control joint         LWT         lightweight         T&G         top of bottor           CTR         center         LWT         lightweight         T&G         top of bottor           CTSK         countersunk         TEM         telephone         TEL         telephone           CTV         closed circuit television         M         meter         TEM         terrazzo           CW         cold water         MAS         masonry         TL         task light           CPT         carpet         MATL         material         TOIL         toleget           DBH         double         MCB         metal corner bead         TV         television           DEMO         deepree         M.E.         mechanical         TRT-WD         treated woo           DEM         department         MEZA         meetal         UNEX         unexcavate <td>i</td>	i
CORR         Corridor         LP         low point         T/         top of candod ray tube           CTI         cantrol joint         LT         light         T&B         top & bottor           CTR         center         LWT         lightweight         T&G         tongue & gr           CTR         countersunk         TEMP         tempered         telephone           CTV         closed circuit television         M         meter         TEMP         tempered           CU         cubis         MAINT         maintenance         THK         tick           CW         cold water         MAS         masonry         TL         task light           CPT         carpet         MATL         maximum         TOPO.         topograph           DBR         double         MCB         metal corner bead         TV         television           DBB         double         M.E.         match existing         TYP         typical           DEM         demoilsh         MECH         membrane         TRT-WD         treated woo           DEPT         department         MEZ         mezzanine         UNEX         unexcavate           DIA         diameter         MFR	
CTJ   centrel plant   LWT   lightweight   T&G   tongue & TEL   telephone   TEL   telephone   TEL   telephone   TEL   telephone   TEMP   telephone   teleph	
CTR         center         TEL         telephone           CTSK         countersunk         TEMP         tempered           CCTV         closed circuit television         M         meter         TER         tempered           CW         cold water         MAS         masonny         TL         task light           CPT         carpet         MATL         material         TOIL         toilet           DAR         davit anchor         MAX         maximum         TOPO.         poggraphy           DBL         double         M.E.         match existing         TY         television           DEMO         demolish         MEMB         methal corner bead         TX         television           DEPT         department         MEMB         methal corner bead         TRT-WD         treated woo           DET         detail         MTL         methal corner bead         TX         television           DIAG         diagonal         MFZZ         mezzanine         UNEX         unexcavate           DIM         dimension         MIS         manufacturer         UNO         unless note           DIM         dimension         MIS         miscellaneous         UR	
CCTV         closed circuit television         M         meter         TER         terrazzo           CU         cold vater         MAINT         maintenance         THK         thick           CW         cold vater         MAS         masonny         TL         task light           CPT         carpet         MATL         material         TOIL         toilet           DAR         davit anchor         MAX.         maximum         TOPO.         tojegraphy           DBL         double         M.E.         match existing         TY         television           DEMO         demolish         MEMB         mechanical         TRT-WD         treated woo           DET         detail         MTL         metal corner beat         TY         typical           DIA         diagonal         MEMB         membrane         UNEX         unexcavate           DIA         diagonal         MFR         manufacturer         UNF         unfinished           DIM         dimension         MISC         miscellaneous         UR         urinal           DISP         dispenser         M.         M.         metal lath         UTL         utility           DIV         dv	
CU         cuble CW         MAINT CW         maintenance MAS         THK         thick thick           CPT         carpet         MATL         masonry         TL         task light           CPT         carpet         MATL         material         TOIL         toilet           DBR         double         ME         maximum         TOPO.         topography           DEG         degree         ME         match existing         TY         topography           DEMO         demolish         MECH         mechanical         TRT-WD         treated woo           DET         department         MEMB         membrane         membrane         treated woo           DET         detail         MTL         metal         UNEX         unexcavate           DIAG         diagenal         MFR         manufacturer         UNF         unfinished           DIF         diffuser         MI         minimum         UO         unless note           DISP         dispenser         ML         matel lath         UTL         utility           DIV         dvision         MP         metal lath a plaster         VAC         vacuum           DO         dorn         MM	
CPT         carpet         MATL         material         TOIL         toilet           DAR         davit anchor         MAX         maximum         TOPO.         topography           DBL         double         MCB         metal corner bead         TV         television           DEMO         degree         M.E.         match existing         TY         typical           DEMO         demolish         MECH         mechanical         TRT-WD         treated woo           DEPT         department         MEMB         membrane         membrane         treated woo           DET         defail         MTL         metal         UNEX         unexcavate           DIAG         diagonal         MFR         manufacturer         UNF         unfinished           DIF         diffuser         MIN         minimum         UON         unless ofte           DISP         dispenser         M.E.         metal lath         UTL         utility           DIV         dvision         ML         metal lath         UTL         vacuum           DN         down         ML         metal lath         processories         V.E.         vent thru ro           DPFG         da	
DAR         davit anchor         MAX.         maximum         TOPO.         topography           DBI         double         M.E.         match existing         TY         television           DEG         degree         M.E.         match existing         TYP         typical           DEMO         demolish         MECH         mechanical         TRT-WD         treated woo           DEPT         detail         MEZZ         membrane         UNEX         unexcavate           DIA         diameter         MFZ         manufacturer         UNF         unfinished           DIAF         diffuser         MH         manufacturer         UNO         unless onte           DIF         diffuser         MIN         minimum         UN         urinal           DISP         dispenser         MISC         miscellaneous         UR         urinal           DIV         division         ML         metal lath         urinal         vacuum           DO         ditto         MM         millimeter         VR         vacuum           DPFG         damp-proofing         MO         masonry opening         VERT         veritical           DR         door         Movers	
DEG   Gegree	
DEMO	
DET	d
DIA   diameter   DIA   diagonal   MIEZA   meZanime   UNF   unfinished   UNF   unfinished   UNF   unfinished   UNF   unfinished   UNF   unless note   UNF   unless ofte   UNF   UNF   unless ofte   UNF   unl	1
DIFF   diffuser   MFI   Infantiole   UON   unless other	
DIM	
DIV   division   MIL	
DO   ditto	
DPFG damp-proofing MO masonly opening VERT vertical DR door MOV movable VEST vestibule DS downsnout MS machine screw V.I.F. verify in fiel	of
DR door MS machine screw V.I.F. verify in field	
	I
DW distilled water MTD mounted VOL volume	
DWG drawing MTG robuning V1 vinyi tile DWT dumbwaiter MUL mullion	
F Fast N North W West	
EA each NC nurse call W/O	
EL elevation N.I.C. not in contract WC water close ELAS elastomeric NO. number WD wood	
ELECTR electrical NOM nominal WF wide flange	
EMER emergency WH wire glass	,
ENCL enclosure  OA overall WHC wheelchair	'
EPNL electrical panel OC on center Will White	1
EXT exterior OFF office WIN. window	
OH overhead WMO window  F/ face of OPNG opening WM wire mesh	
FA fire alarm OPP opposite WP work point	
FC foot control WSCT wainscot	ıg
FCO floor clean out PA public address WT weight	fahrio
FD floor drain PC portland cement ***** Welded wire FDN foundation PHS phillips head screw	labile
FE fire extinguisher PL plate YD yard	
FFL finish floor PLAS plaster	
FGO Five Guys Operations PLBG plumbing FH fire hydrant PLUMB plumbing	
FHMS flat head machine screw PLWD plywood	
FHR fire hose rack PMF premolded filler FHWS flat head wood screw PNL panel	
FIN finish POL pollshed	
FLR floor PR pair FLUOR fluorescent PREP prepare	
FRTW fire resistive treated wood PROP, property	
FRPRF fireproof PT paint FT foot (feet) PTN partition	
FTF face to face PTS pneumatic tube station FTG footing	
FTR fin tube radiation QT quarry tile	
FURN furnish FURR furring	
FUT future	

#### GENERAL REQUIREMENTS

#### PURPOSE

THE FOLLOWING IS A LIST OF SOME OF THE LANDLORD'S INSTRUCTIONS TO GENERAL CONTRACTORS AND HISHER SUBCONTRACTORS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO GETAIN LANDLORD'S COMPLETE REQUIREMENTS AND MAKE SURE THAT THE LANDLORD'S POLICIES ARE MET.

#### ROOF PENETRATIONS:

INSTRUCT ALL SUB-CONTRACTORS THAT ANYTHING THAT NEEDS TO BE ATTACHED ABOVE THE CELLING SHOULD BE ATTACHED TO THE ROOF STRUCTURE, NOT THE DECKING, ALL ROOF PENETRATIONS SHALL BE DONE BY LANDLORDS ROOFING CONTRACTOR TO MAINTAIN WARRANTY.

#### STRUCTURAL ELEMENTS:

DO NOT MAKE ANY CUTS TO ANY OF THE BUILDING ELEMENTS WITHOUT VERIFYING WHETHER OR NOT IT IS A STRUCTURAL ELEMENT. THIS INCLUDES ROOF BEAMS, ROOF DECK, MASONRY WALLS AND THE CONCRETE SLAB.

IF YOU HAVE ANY QUESTIONS REGARDING THE ABOVE INFORMATION, PLEASE CONTACT THE LANDLORD. LANDLORD CONTACT INFORMATION IS FOUND ON CONSTRUCTION WORK LETTER.

#### A/C STARTUP:

CONTACT THE LANDLORD FOR ANY REQUIREMENTS ON THE START-UP OF LANDLORD PROVIDED ROOFTOP UNITS.

#### FIRE SYSTEM MONITORING: (IF REQUIRED)

LANDLORD'S INSTRUCTIONS

VERIFY IF THE LANDLORD IS MONITORING THE FLOW AND TAMPER SWITCHES FOR THE SHELL BUILDING. IF THE GYSTEM IS OPERATIONAL, YOU MUST CONTACT THE LANDLORD PRIOR TO TAKING DOWN THE SYSTEM.

ANY FINES CHARGED BY THE FIRE DEPARTMENT FOR FALSE ALARMS WILL BE CHARGED BACK TO THE TENANT'S GENERAL CONTRACTOR.

#### **ARCHITECT'S INSTRUCTIONS**

#### SUBMITTALS:

IF ALTERNATE EQUIPMENT IS PROPOSED DUE TO LEAD TIME, THE ARCHITECT OR ENGINEER MAY REQUEST PAYMENT FROM G.C. FOR REVIEW OF THE SUBMITTAL. GENERAL CONTRACTOR MUST VERIFY LONG LEAD ITEMS AT START OF PROJECT TO AVOID DELAYS & ALTERNATES.

#### AS BUILTS:

THE GENERAL CONTRACTOR SHALL RED LINE ALL FIELD CHANGES ON A SET OF PRINTS TO REMAIN ON SITE THROUGHOUT THE CONSTRUCTION OF THE PROJECT. IT IS THE GC'S RESPONSIBILITY TO RECORD ALL FIELD CHANGES AND SUBMIT THE 'AS BUILTS' TO BATTERIES + BULBS AT TURNOVER.

#### SPECIAL INSPECTIONS (IF REQUIRED)

- 1. SPECIAL INSPECTIONS SHALL BE REQUIRED FOR THE FOLLOWING: CONCRETE, BULT IN CONCRETE, REINFORCING STEEL, WELDING, SPECIAL GRADING, EXCAVATION & FILLING, & LEFS SYSTEMS. SPECIAL INSPECTIONS OF SPECIFIC ITEMS ARE TO BE PROVIDED ONLY IF REQUIRED BY LOCAL CODE OR CITY INSPECTORS. SPECIAL INSPECTIONS ARE IN ADDITION TO ALL STANDARD BUILDING INSPECTIONS REQUIRED & ARE NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTOR. ALL WORK REQUIRING SPECIAL INSPECTION WHICH IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE CITY INSPECTOR IS SUBJECT TO REMOVAL AT THE CONTRACTORS EXPENSE.
- 2. CONTINUOUS INSPECTION IS REQUIRED DURING THE PERFORMANCE OF THE WORK UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS.
- 3. SPECIAL INSPECTORS MUST BE CERTIFIED BY CITY OF MADISON TO PERFORM THE TYPES OF INSPECTIONS REQUIRED.
- 4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION.
- 5. LICENSED FABRICATOR REQUIRED FOR STEEL SHAPES.
- WELDING TO BE DONE BY WELDERS CERTIFIED BY CITY OF MADISON (STRUCTURAL STEEL, REINFORCING STEEL & LIGHT GAUGE STEEL.)

#### **GENERAL INSTRUCTIONS**

## G.C. COMPLIANCE

OWNER'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANTS ARCHITECT. TENANTS GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORO. GO TO VERIFY THE EXACT LOCATION OF ALL EXISTING LANDLORD REATURES I.E. METAL BRACE FRAME, STOREFRONT OPENINGS, CORRIDOR ACCESS DOOR, DEMISING WALLS, UTILITY P.O.C., ETC.

#### FIRE SPRINKLERS (IF REQUIRED)

- 1. IF AN AUTOMATIC FIRE SPRINKLER SYSTEM EXISTS WITHIN THE SPACE. THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORDS, OR ANOTHER LICENSED FIRE SPRINKLER CONTRACTOR TO DESIGN AND INSTALL THE NEW SYSTEM TO CONFORM WITH THE NEW ROOM AND CEILING HEIGHTS AS SHOWN IN THESE DRAWINGS, THE SPRINKLER CONTRACTOR SHALL DESIGN AND PREPARE SHOP DRAWINGS FOR THE PROPOSED SYSTEM MODIFICATIONS & SUBMIT THESE DRAWINGS TO THE BLOG FIRE DEPT. AT HEA ROHLETOT TO GAIN APPROVALS PRICOR TO COMMENCING ANY WORK PUBLIC AREA HEADS TO BE CONCEALED TYPE WI BLACK COVERS AT DARK CEILINGS, WHITE AT LIGHT CEILINGS & CHROME IN TOLIETS. HEADS IN NON-PUBLIC AREAS ARE TO BE SEMI-RECESSED. INSTALLATION IS TO INCLUDE ALL SITE WORK.
- 2. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY STANDPIPES; HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS; BASEMENT PIPE INLETS; AND OTHER FIRE PROTECTION SYSTEMS AND APPURTEMANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 3. FIRE EXTINGUISHING SYSTEM SHALL BE IN ACCORDANCE WITH CFC SECTION 903.

## FIRE ALARM (IF REQUIRED)

1. EXISTING FIRE PANEL TO REMAIN IF PRESENT. FIRE CONTRACTOR TO TIE INTO BUILDING SYSTEM OR PROVIDE NEW SYSTEM AS REQ'D BY CITY OF MADISON, F.C. TO

#### UEMOIUEIMIEM 19

PROVIDE DRAWINGS AND SPECIFICATIONS FOR CITY APPROVAL

 THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORD'S, OR ANOTHER LICENSED PIRE ALARM CONTRACTOR TO DESIGN AND INSTALL NEW SYSTEM WALL REQUIRED DEVICES.

#### SIGNAGE

OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEGAPATE DEPUT

#### **BID NOTES**

- 1. BID FORMS TO BE PROVIDED BY CLIENT TO G.C.
- 2. ALL ITEMS NOTED AS (N.I.C.) TO BE BID SEPARATELY FROM THE BASE BID.
- G.C. RESPONSIBLE FOR COORD, W. ALL UTILITY CO. INCLUDING BUT NOT LIMITED TO: ELECTRICAL, WATER, WASTE, STORM, PHONEDATA TO PROVIDE SERVICES AS CALLED FOR ON THE ORAWING, LOAD LETTERS & SERVICE APPLICATIONS TO BE COMPLETED & SUBMITTED BY G.C.
- IF SPRINKLER SYSTEM IS REQ'D, G.C. TO PROVIDE SPRINKLER SYSTEM DESIGN & PERMIT. SEE FIRE DEPT. NOTES
- 5. IF FIRE ALARM SYSTEM IS REQ'D, G.C. TO PROVIDE FIRE SYSTEM DESIGN & PERMIT. SEE FIRE DEPT. NOTES

#### SPRINKLER NOTES

- 1. EXISTING SPRINKLER SYSTEM TO REMAIN IF PRESENT,
- 2. SPRINKLER CONTRACTOR TO ADJUST AND/OR ADD HEADS AS REQ'D FOR NEW LAYOUT.
- 3. S.C. TO PROVIDE DRAWINGS AND CALCS FOR CITY APPROVAL.



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MADISON EAST, WI 4706 E. WASHINGTON AVE MADISON, WI 53704

Project

Architect of Record



| 2 | ZONING REVIEW | 11-1-2019 | 1 | CUENT REVIEW | 7-31-2019 | PERMIT SET | 6-7-2019

Date

Seal

No.

Issue

ZONING REVIEW

Store Number 19-107

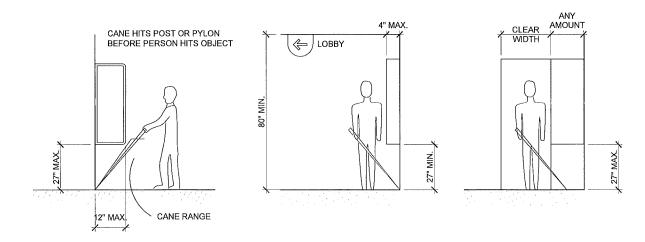
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GENERAL NOTES & ABBREVIATIONS

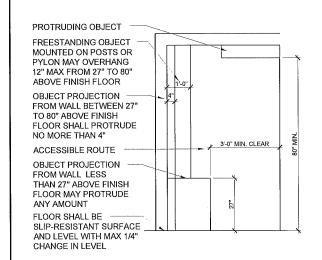
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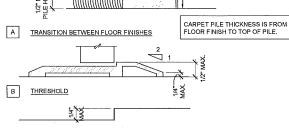
FRONT APPROACH PUSH SIDE DOOR PROVIDED WITH BOTH CLOSER AND LATCH



PROTRUDING OBJECTS
N.T.S.



1. 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE. 2. 1:2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERITCAL LEVEL CHANGE. 3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE. COMPRESSED CARPET 1/4" MAX. BELOW THRESHOLD —FIN. FLOOR LEVEL

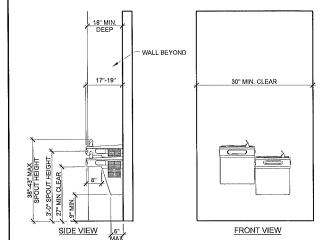


C LEVEL CHANGES

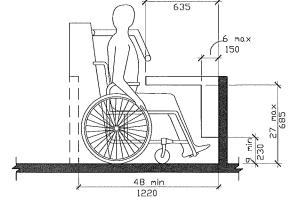




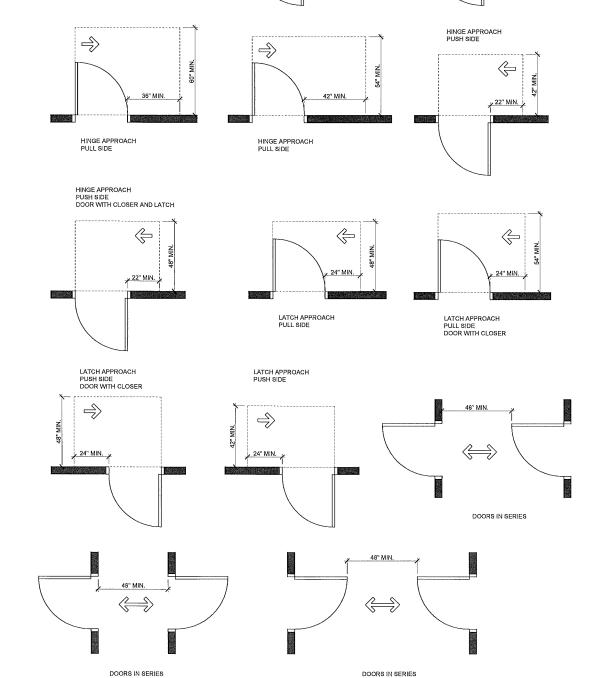
3 CHANGES IN LEVEL



4 ADA DRINKING FOUNTAIN



ADA REACH RANGES



FRONT APPROACH PUSH SIDE

\$

FRONT APPROACH PULL SIDE

ADA DOOR CLEARANCES

**Batteries** MADISON EAST, WI

4706 E. WASHINGTON AVE MADISON, WI 53704



Architect of Record

Consultant ZONING REVIEW 11-1-2019 CLIENT REVIEW 7-31-2019 PERMIT SET No. Issue Date

**ZONING REVIEW** 

Store Number 19-107

Approved

**ACCESSIBILITY DETAILS** 

G1-03

- GENERAL NOTES
  1. CONTRACTOR SHALL FIELD VERIFY TYPE OF SOILS, IF CORROSIVE SOILS ARE ENCOUNTERED, TAKE NECESSARY PRECAUTIONS FOR ALL UNDER GROUND WORK
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON DRAWINGS FOR CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, DO <u>NOT</u> SCALE DRAWINGS.
- BIDDERS ARE INSTRUCTED TO CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS & SITE.
- NO STRUCTURE OF ANY KIND TO BE CONSTRUCTED ON, OVER OR PLACED WITHIN THE PUBLIC UTILITY EASEMENTS EXCEPT WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING AND/OR PAVING.
- 5. CONTRACTOR TO COORDINATE STAGING AREAS AS REQUIRED WITH LANDLORD &
- ANY DAMAGE BY G.C. OR SUBCONTRACTOR TO EXISTING ASPHALT PAVEMENT AND/OR EXISTING LANDSCAPING OUTSIDE OF CONSTRUCTION LIMIT LINE SHALL BE REPAIRED AT NO COST TO OWNER.
- SIDEWALK ELEVATIONS TO BE COORDINATED WITH SITE AS-BUILT CONDITIONS. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
- G.C. TO COORDINATE LOCATION & PLACEMENT OF GREASE REMOVAL SYSTEM WITH PLUMBING CONTRACTOR, FIELD VERIEY ANY (E) SITE CONDITIONS THAT MAY IMPEDE INSTALLATION AND/OR OPERATION OF SUCH.
- APPROVED NUMBERS OR ADDRESSES SHALL BE MAINTAINED & AS CURRENTLY PLACED ON BUILDING.
- NO MAYERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- 11. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD AT FRAMED WALLS & SOFFITS TYPICAL UNLESS OTHERWISE NOTED. AT MILLWORK LOW WALLS, DIMENSIONS ARE TO FACE OF FINISHED WALL, TYPICAL
- 12. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCE FOR PEDESTRIAN PROTECTION ACCORDING TO LOCAL REGULATIONS & BUILDING CODE.
- 13. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE SECURITY & SAFETY OF THE SITE WHILE THE JOB IS IN PROGRESS & UNTIL THE JOB IS COMPLETE.
- 15. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS & WORKERS AT ALL TIMES
- ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES DAILY & WORK AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
- 17. CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER.
- CONCERNING LICENSING WHICH THE APPLICABLE GOVERNING AUTHORITY MAY HAVE ADOPTED. 18. CONTRACTOR SHALL COMPLY WITH ALL STATE & LOCAL RULES & REGULATIONS
- ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING, EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANER AS TO MAKE THEM WATERPROOF.
- 20. GENERAL CONTRACTOR SHALL PLACE ORDERS FOR ALL FINISHES, ALL MATERIALS, EQUIPMENT; ETC. AT THE START OF THE PROJECT, SUBSTITUTIONS ARE NOT ACCEPTED FOR ANY ITEMS, UNLESS NOTED OTHERWISE, OWNER & ARCHITECT MUST BE INFORMED OF LEAD TIME PROBLEMS WITHIN THE FIRST TWO WEEKS OF THE
- 21. PROVIDE VENTILATION FOR KITCHEN & FOOD PREPARATION AREAS PER MECHANICAL
- 22. SIGNS ARE REQUIRED FOR ALL MP&E ROOMS & SPRINKLER CONTROL VALVE ROOMS.
- 23 PRIOR TO THE ISSUANCE OF A BUILDING PERMIT THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH THE LOCAL LABOR CODE.
- 24. AFTER OBTAINING BUILDING PERMIT AND BEFORE COMMENCING WITH THE WORK, THE GENERAL CONTRACTOR SHALL SHOW EVIDENCE OF ALL THE INSURANCE REQUIREMENTS.
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND OBTAIN ALL PERMITS AND LICENSES AND PAY REQUIRED FEES
- 26. CONTRACTOR SHALL BE FAMILIAR WITH ALL LANDLORD REQUIREMENTS AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SAME. CONTRACTOR SHALL INVESTIGATE LOCAL, CODES AND PROCEDURES AND SHALL COMPLY WITH ALL REQUIREMENTS.
- 27. A COPY OF LANDLORD'S FINAL APPROVED PLANS MUST BE ON SITE DURING
- 28. REMOVE ALL ABANDONED IMPROVEMENTS, INCLUDING ELECTRICAL AND MECHANICAL IF ANY
- 29. INSPECT SITE: VERIFY FIELD DIMENSIONS BEFORE COMMENCING CONSTRUCTION NOTIFY TENANT AND LANDLORD IMMEDIATELY IF THERE ARE ANY SIGNIFICANT DISCREPANCIES.
- 30. WHERE FACTORY FINISHED OR FACTORY PRIMED ITEMS OCCUR, SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES, ETC. THEY SHALL BE FAINTED TO MATCH THE ADJACENT SUFFACE AND AS DIRECTED BY THE OWNER.
- 31. CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND TO RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL CONDITION TO THE SATIS-ACTION OF THE COWNER.

  THERE SHALL BE NO EXPOSED PIPE, CONDUITS, ETC, IN PUBLIC AREAS, UNO. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED.
- 33. GENERAL CONTRACTOR SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. DISCREPANCIES IF ANY, SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE PROCEDING WITH THE WORK.
- 34. SHOULD THE DRAWINGS DISAGREE WITH THEMSELVES OR WITH THE SPECIFICATIONS OR SHOULD THE SPECIFICATIONS DISAGREE WITH THEMSELVES, THE BETTER QUALITY AND/OR GREATER QUANTITY OF WORK OR MATERIAL SHALL BE ESTIMATED UPON AND UNLESS OTHERWISE ORDERED IN WRITING SHALL BE TANKISHED AND
- INSTALLED.
  NO SUBSTITUTIONS ARE PERMITTED UNLESS PRIOR APPROVAL BY THE OWNER.
- 36. IF ANY DISCREPANCIES APPEAR IN CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF SUCH DISCREPANCIES PRIOR TO BID
- 37. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS EQUIPMENT, LIGHT FIXTURES AND ANY OTHER SUCH MATERIAL (S) TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING WITHIN 10 DAYS OF THE DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE. IF NOTIFICATION OF THOSE SPECIFIED TIEMS INAI MAY NOT BE READLY AVAILABLE. IF NO INICIATION IS NOT RECEIVED BY THE OWNER THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW-UP OF SPECIFIED ITEMS AND WILL PURSUS WHATEVER MEANS NECESSARY AT NO ADDITIONAL COST TO THE OWNER, NISURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER AND NOT DELAY PROPESSO OF THE WORK. NO EXTENSION OF TIME TO THE CONTRACT WILL BE ALLOWED.

- 38. MECHANICAL CONTRACTORS SHALL VERIFY EXACT DIMENSIONS WITH EQUIPMENT MANUFACTURERS, MECHANICAL CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF DUCT OPENINGS BEFORE INSTALLATION AND VERIFY DISCREPANCIES, IF ANY.
- ALL EXTERIOR WALL OPENINGS, FLASHING, COUNTER FLASHING, COPING AND EXPANSION JOINTS SHALL BE WEATHERPROOF.
- 40. CAULKING AND SEALANTS: ALL OPEN JOINTS PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER STRIPPED TO LIMIT AIR AND WATER LEAKAGE.
- 41. USE ACOUSTICAL SEALANT AROUND ALL PIPES, DUCTS CONDUITS, OUTLETS, SWITCHES, ETC, ON BOTH SIDES OF CROSSING/PENETRATING WALLS WITH T AND ACOUSTIC INSULATION.
- 42. ALL NOISE BARRIER BATTS (SOUND INSULATION) SHALL BE NON-COMBUSTIBLE,
- 43. EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN AND ORDERLY CONDITION ON A DAILY MASSIS AND UPON CONCLUSION OF HIS WORK. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH GENERATED BY OWNERS CONTRACTORS FOR THE DURATION OF THE
- SAFETY: ALL CONDUIT, WORK EQUIPMENT AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST SAFETY RULES AND REGULATIONS OF ALL AUTHORITIES AND AGENCIES HAVING JURISDICTION OVER THE WORK.
- 45. CONSULT PROPERTY UTILITY PLANS BEFORE SAW CUTTING CONCRETE SLAB, IF ANY
- 46. THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECALITIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.

#### FIRE DEPARTMENT NOTES

- CONTRACTOR TO PROVIDE A SUFFICIENT NUMBER OF 2A10BC RATED FIRE EXTINGUISHERS DURING CONSTRUCTION SO THAT ALL PORTIONS OF THE BUILDING ARE WITHIN 1971. TRAVEL DISTANCE OF SAND EXTINGUISHER & SO THAT AT LEAST ONE 2A10BC RATED FIRE EXTINGUISHER IS PROVIDED FOR EACH 3,000 SQ. FT. OF FLOOR SPACE OR PORTION THEREOF.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 40-B FOR KITCHEN. LOCATE EXTINGUISHERS PER LOCAL FIRE DEPARTMENT INSPECTOR.
- PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR DURING CONSTRUCTION & FOR COMPLETED PROJECT.
- 4 ALL EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL
- ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT (NO DEAD BOLTS, NO SLIDING BOLTS, ETC.).
- 6. AN OCCUPANT LOAD SIGN SHALL BE POSTED IN EACH ASSEMBLY ROOM HAVING AN OCCUPANT CONTENT OF 50 OR MORE. SIGN IS TO BE POSTED NEAR ENTRANCE. COORDINATE LOCATION OF SUCH SIGN WITH FIRE MARSHAL, SIGN TO BE PROVIDED & INSTALLED BY OWNER VENDOR.
- PROVIDE EXIT SIGNS ABOVE EXITS WITH MIN. 3/4"x6" LETTERS LIGHTED ON
- 8. EXIT SIGNS MUST BE INTERNALLY ILLUMINATED.
- PROVIDE TWO (2) SEPARATE POWER SUPPLIES FOR EXIT SIGNS CONFORMING TO CODE SECTION.
- PROVIDE EMERGENCY EXIT LIGHTING PROVIDING A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL
- 11. ADDITIONAL EXIT SIGNS WILL BE PROVIDED AS/IF DIRECTED BY THE CITY INSPECTOR.
- 12. SEE "ROOM FINISH SCHEDULE" FOR SMOKE DENSITY RATING & FLAME SPREAD RATING OF MATERIALS USED,
- 13. INTERIOR WALL & CEILING FINISHES FOR ASSEMBLY AREAS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING OF 20.
- 14. ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME PROOFED IN AN
- DRAPES & OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT.
  CERTIFICATION THEREOF SHALL BE PROVIDED, EXITS, EXIT SIGNS, FIRE ALARM
  STATIONS, HOSE CABINETS & EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED
- 16. FINISHES SHALL NOT EXCEED CLASS A, B OR C AS INDICATED IN THE BUILDING CODE.
- 17. PROVIDE OUTSIDE GAS SHUT OFF VALVE CONSPICUOUSLY MARKED.
- 18. UNLESS ALREADY EXISTING, AN APPROVED SET OF NUMERALS, MINIMUM 4" HIGH UNLESS ALREADY EXISTING, AN APPROVED SET OF NUMERALS, MINIMUM 4" HIGH WITH A STROKE WIDTH OF NOT LESS THAN 12 INCH, SHALL BE PLACED ON THE BUILDING. THE NUMBERING SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMERALS SHALL CONTRAST W/ THEIR BACKGROUND. IF THE ADDRESS THAT IS POSTED NEAR THE INTERSECTION OF THE DRIVEWAY & THE PUBLIC STREET OR ROAD FRONTING THE PROPERTY IS NOT VISIBLE, ADDITIONAL ADDRESSES POSTED NEAR TION OF THE DRIVEWAY & THE PUBLIC STREET ARE REQUIRED. (VERIFY REQUIREMENTS.)
- 19. PROVIDE A KNOX BOX FOR FIRE DEPT. ACCESS & KEY ACCESS, LOCATION AS
- 20 EXIT SIGNAGE SHALL BE PROVIDED & MAINTAINED FOR CORRIDORS & AISLE WAYS EXI SIGNING SHALL BE COVERED & MAINTAINED FOR CORRIDORS & AISLE WAS ALL SIGNING SHALL STATE: "OBSTRUCTION, INCLUDING STORAGE, SHALL NOT BE PLACED IN THE REQUIRED WIDTH OF AUTO TE AUTO."
- 22. FIRE DEPARTMENT FINAL INSPECTION REQUIRED, G.C. TO VERIFY INSPECTION SCHEDULING REQUIREMENTS AT LEAST 14 DAYS PRIOR TO COMPLETION OF WORK
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE & COMBUSTIBLE LIQUIDS FLAMMABLE & COMPRESSED GASES & OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH STATE BUILDING CODE REGULATIONS.
- 24. WHEN ALLOWED BY FIRE MARSHAL AND/OR BUILDING INSPECTOR, FIRE BLOCKS CAN BE SUBSTITUTED WITH APPROVED FIRE SPRINKLER SYSTEM.
- 25. IN ADDITION TO THE SPRINKLER MONITORING SYSTEM, A FIRE SYSTEM PER NFPA #13 SPECIFICATIONS MUST BE INSTALLED, PLANS FOR THE FIRE ALARM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR FIRE DEPARTMENT REVIEW PRIOR TO INSTALLATION. THE KITCHEN HOOD FIRE PROTECTION SYSTEM WILL CAUSE INITIATION OF AN ALARM SIGNAL
- 26. ALL EXIT DOORS & INTERVENING DOORS ON THE EXIT PATH, IF PROVIDED WITH A LOCK OR LATCH, MUST BE PROVIDED WITH PANIC HARDWARE.
- 27. THE FIRE SPRINKLER SYSTEM DESIGN CRITERIA IS AS SET FORTH BY THE FIRE
- 28. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.

- **GENERAL NOTES**
- 29. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS (PER C.O.S. 91-3) 30. BACK FLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER ON CLASS 1 & II FIRE SPRINKLER SYSTEM PER CITY OF MADISON CODE.
- 31. PROVIDE ALL WEATHER ACCESS ROAD (MIN 20') TO ALL BUILDINGS & HYDRANTS FROM
- . NUMBER OF REQUIRED FIRE HYDRANTS EX. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. DEVELOPER TO PROVIDE WAIVER OF FIRE DEPARTMENT RESPONSIBILITY OR COPY OF CURRENT CITY APPROVED CIVIL WAITER PLANS TO FIRE SPRINKLER CONTRACTOR OR LOCATING NEW AND/OR EXISTING HYDRANT WATER MAIN SUPPLY DATA, SPACED MAX O/C 500' AT 1,500 GPM
- 33. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE CITY ORDINANCE & 2018 IFC.
- 34. FIRELINE, SPRINKLER & STANDPIPE SYSTEM TO BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & CITY OF MADISON CODES.
- 35. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOGATED PER ORDINANCE OR AT AN APPROVED LOCATION MIN. SIZE 2 1/Z\* X 2 1/Z\* X 36. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA & CITY ORDINANCE. SYSTEMS WITH 2D HEADS OR MORE SHALL HAVE OFF-SITE MONITORING, AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL
- SUBMIT (3) COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS, . REV/EWED BY MINIMUM NICET III DESIGN TECHNICIAN. NFPA COMMERCIAL SYSTEM / DESIGN CRITERIA : ORD. GR. II - 0.20/1500 (1996 EDITION) - PE STAMP REQUIRED
- 38. CONSTRUCTION WITHIN CITY OF MADISON SHALL COMPLY WITH THE WISCONSIN FIRE CODE STANDARDS, AS AMENDED BY THE COUNTY CONSTRUCTION ORDINANCE,
- 39. THE APPLICANT IS RESPONSIBLE TO IDENTIFY & COORDINATE DEFERRED
- 40. THE FIRE SPRINKLER RISER SHALL BE LOCATED INSIDE BUILDING WITH DIRECT EXTERIOR ACCESS, ALL OCCUPANCIES ARE REQUIRED TO PROVIDE EXTERIOR ACCESS TO A FIRE RISER ROOM DESIGNED FOR THE FIRE SYSTEMS ONLY.
- 41. FIRE DEPARTMENT INLET CONNECTIONS (FDC) SHALL BE LOCATED ON THE WALL OF THE ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES & SHALL IDENTIFY THE BUILDING(S) SERVED WITH PERMANENT SIGNAGE.
- 42. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLES SYSTEMS & WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS 19. IBO SECTION 903 4.
- 43. IN ADDITION TO THE EXTERIOR BELL OR HORN, AN APPROVED AUDIBLE/VISUAL FIRE SPRINKLER FLOW ALARM SHALL BE PROVIDED IN THE INTERIOR OF ALL BUILDINGS IN A NORMALLY OCCUPIED LOCATION. THE AV DEVICE SHALL BE A MINIMUM OF 75 CD LUMENS & 15 D8 ABOVE THE AMBIENT SOUND LEVEL IFC SECTION 907.10 & ADA/AG
- 44. A FIRE HYDRANT SHALL BE LOCATED WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION (FICE), THE ROUTE IS TO BE MEASURED AS THE FIRE HOSE WOULD BE LAD OUT & IS NOT MEASURED IN A CIRCLE AROUND THE FIRE HYDRANT, & DOES NO GO THROUGH WATER RETENTION BASINS, OVER WALLS OR SIMILAR OBSTRUCTIONS
- 45. THE MINIMUM NUMBER OF FIRE HYDRANTS SHALL NOT BE LESS THAN REQUIRED PER 2003 IFC APPENDIX B & C. THE MINIMUM REQUIRED FIRE FLOW IS 1500 (GPM) AT 20 (PS) RESIDUAL PRESSURE. WHEN ANY PORTION OF THE FACILITY OR BUILDING IS IN EXCESS OF 150' OF AN APPROVED WATER SUPPLY ON A PUBLIC STREET, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR MAASURED BY AN APPROVED ROUL AROUND THE SETEMOR OF THE FACILITY OR BUILDING, ON-STEE FIRE HYDRANTS & MAINS CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW SHALL BE PROVIDED. FIRE HYDRANTS SHALL BE LOCATED ALONG THE ROUTE OF THE FIRE APPRACTUS ACCESS ROADWAY, FIRE HYDRANTS SUBJECTED TO VEHICULAR DAMAGE SHALL BE PROTECTED WITH GUARD POSTS.
- 46. PLANS & SPECIFICATIONS FOR FIRE SPRINKLER SYSTEMS EXCEEDING 19 HEADS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED CITY OF MADISON REGISTRANT IN FIRE SPRINKLER DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS & PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS & CALCULATIONS SUBMITTED FOR REVIEW & APPROVAL. AS BUILT DRAWINGS V REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS.
- 47. FIRE SPRINKLERS SHALL BE INSTALLED IN ALL CONCEALED SPACES ENCLOSED WHOLLY OR PARTLY BY EXPOSED COMBUSTIBLE CONSTRUCTION.
- 48. AN APPROVED KEY BOX IS REQUIRED ON ALL COMMERCIAL STRUCTURES THAT CONTAIN OFF SITE MONITORED FIRE SPRINKLERS, A FIRE ALARM SYSTEM OR WHEN ACCESS IS DIFFICULT & WHERE IMMEDIATE ACCESS IS REQUIRED FOR LIFE SAVING OR RIFE(FIGHTING.
- 49. PLANS & SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE-EXTINGUISHING SYSTEMS, STANDPIPES & THEIR APPURTENANCES SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.

#### GENERAL FIRE ALARM SYSTEM NOTES

- PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED WISCONSIN REGISTRANT IN FIRE ALARM SYST
- ALARM INITIATING DEVICES, ALARM SIGNALING DEVICES, AND OTHER FIRE ALARM SYSTEM COMPONENTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH
- WHEN DUCT DETECTORS, REQUIRED BY IMC 606 OR IFC AND IBC SECTION 909, ARE CONCEALED FROM VIEW OR INSTALLED MORE THAN 10 FEET ABOVE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTOR'S ALARM INDICATOR IS NOT READILY OR IN ARRANGEMENTS WHERE THE DETECTION A ACTIVATION FOR THE THE THE VISIBLE TO RESPONDING PERSONNEL, AN LES SHALL BE PROVIDED THROUGH TH CEILING LEVEL OR SIGHT OBSTRUCTION AT EACH DETECTOR. ALL DETECTION DEVICES PROVIDED SHALL BE MONITORED FOR INTEGRITY BY THE FIRE ALARM SYSTEM WHERE A FIRE ALARM IS INSTALLED.

#### FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION OF A BUILDING

BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDNCE WITH CFC CHAPTER 14.

#### ACCESSIBILITY NOTES

- ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES, AS REQUIRED BY ADA.
- WALKS & SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT PTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" & SHALL BE A MIN, OF 48" IN WIDTH
- SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL, BE AT LEAST AS SLIP RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH.
- 4. SURFACES WITH A SLOPE OF 6% GRADIENT OR GREATER SHALL BE SLIP RESISTANT. 5. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT,

- WALKS, SIDEWALKS & PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 102' IN THE DIRECTION OF TRAFFIC FLOW.
- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL, IT SHALL COMPLY WITH THE PROVISIONS OF A PEDESTRIAN
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROLLTE SHALL NOT EXCEED 10° ABRUPT OF PARSES IN LEVEL ALONG ANY AUCESSIBLE ROUTE SHALL ROT EXCEPT WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEYELED WITH A SLOPE NO GREATER THAN 1:2, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL WHEN CHANGES IN LEVELS GREATER THAN 1:2, ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.
- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3 FT. WIDE BY NOT LESS THAN 6-8" HIGH CAPABLE OF OPENING 90° & MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32" MIN.
- 10. THRESHOLDS TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.
- 11. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR ALL DOORS SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOOR. AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS, COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.
- 12. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC & SLIDING SHALL HAVE A
- 13. PROVIDE LEVER-TYPE HARDWARE PANIC BARS, PUSH PULL ACTIVATING BARS OR OTHER HARDWARE
  DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE
  OPENING HARDWARE. (30" TO 44" A.F.F.)
- 14. ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32" CLEAR UNDBSTRUCTED OPENING & A LEVEL & CLEAR AREA FOR A MINIMUM DEPTH OF 50" IN THE DIRECTION OF THE DOOR SWINK).
- 15. PROVIDE 18" FROM WALL TO CENTERLINE OF W.C. & 32" FROM A WALL AT ONE SIDE & 48" IN FRONT OF W.C.
- 16. PROVIDE 30"X48" LONG SPACE IN FRONT OF TOILET & WITHIN THE TOILET ROOM THAT ALLOWS THE DOOR TO CLOSE
- GRAB BARS LOCATED ON EACH SIDE, OR ONE SIDE & THE BACK OF PHYSICALLY DISABLED TOILET STALL OR COMPARTMENT SHALL BE SECURELY ATTACHED 33 FOR TANK-TYPE TOILETS) ABOVE AND PARALLEL TO THE FLOOR. GRAB BARS A SIDE SHALL BE LOCATED 15" TO 16 1/2" FROM THE CENTERLINE OF THE WAITER LOSET STOOL & SHALL BE AT LEAST 42" LONG WITH THE FRONT END POSITIONED 24" IN FRONT OF THE WATER CLOSET STOOL GRAB BARS AT THE BACK SHALL BE NO LESS THAN 36" LONG. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 11/4" TO 11/2" OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL & THE GRAB BARS SHALL BE 11/2".
- WATER CLOSET HEIGHT SHALL BE 17" (MIN) & A 19" (MAX) MEASURED TO THE TOP OF THE TOLE TS EAT. CONTROLS SHALL BE SPEARABLE WITH ONE HAND A SHALL NOT REQUIRE TIGHT GRASPING, PINCHING SOR TWISTING OF THE WRIST, CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS, NO MORE THAN 44" AF.F. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS. OF FORCE.
- (1) URINAL SHALL BE 17" (MAX) ABOVE THE FLOOR & PROJECT A 14" (MIN) FROM THE WALL. URINAL TO HAVE A CLEAR SPACE OF 30"X48" IN FRONT. FLUSH VALVE TO BE HAND-ORATED & SHALL BE MOUNTED NO MORE THAN 44" AF THAN 44" AF.
- PROVIDE 30"X48" CLEAR SPACE IN FRONT OF LAVATORY WITH MIN. 19" CLEAR KNEE COUNTER & 29" CLEAR FROM FLOOR TO BOTTOM OF APRON WITH KNEE LAVATORIES ADJACENT TO A WALL SHALL BE MOUNTED WITH A MINIMUM DISTANCE OF 19 TO THE FIXTURE ALL ACCESSIBLE LAWATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SAFACE NO HIGHER THAN 3" A F F, & WITH A CLEARANCE OF A LEAST 29 FROM THE FLOOR TO THE BOTTOM OF THE AFRON WITH KINE CLEARANCE UNDER THE FRONT LIF EXTENDING A MIMMUM OF 30" IN WIDTH, WITH 5" MIMMUM DEPTON THE TOP, TOP CLEARANCE SHALL BE THE SAME WIDTH & SHALL BE A
- MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY & A MINIMUM 9" FROM THE FLOOR. 22. HOT WATER & DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- 23. FAUCET CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN GLISL. LEVER-OPERATED, PUSH-TYPE & ELECTRONIC CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS, SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET IS OPEN FOR AT LESST 10 SECS.
- 24. LOCATE TOWEL, SANITARY NAPKIN & WASTE RECEPTACLES WITH ALL OPERABLE
- 25. LOCATE TISSUE DISPENSERS ON THE WALL WITHIN 12" OF THE FRONT EDGE OF THE
- 26. WHERE APPLICABLE, LOCATE EMPLOYEE LOCKERS AS NOTED ON PLANS.
- 27. 1/4" THICK IDENTIFICATION SYMBOLS (A 12" TRIANGLE FOR MEN. A 12" DIAMETER CIRCLE FOR WOMEN OR A TRIANOLE SUPERINFOSED ON A 12" DIAMETER CIRCLE FOR UNISES) CENTERED AT HEIGHT OF 60" A F.F. SHALL BE PROVIDED ON DOORS TO SANITARY FACILITIES.
- 28. THERE SHALL BE A LEVEL & CLEAR FLOOR OR LANDING ON EACH SIDE OF A DOOR THE LEVEL ARE SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT THE LEVEL ARE AND A THE LENGTH OF POSITE THE DIRECTION OF DOOR SWING OF 46"AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE CLOSED POSITION. SUBMIT FOR ARCHITECTS REVIEW.
- ALL WALKS WITH CONTINUOUS GRADIENT'S SHALL HAVE LEVEL AREAS AT LEAST 5-0" IN LENGTH AT INTERVALS OF AT LEAST EVERY 400".
- 30. ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK & AN ADJACENT STREET OR DRIVEWAY, EXCEEDING 4" IN A VERTICAL DIMENSION SHALL BE IDENTIFIED BY CURBS PROJECTING AT LEAST 6" IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARM THE BILIND OF A POTENTIAL DROP OFF. WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED, NO CURB IS REQUIRED, WHEN A GUIDE RAIL. IS PROVIDED CENTER 3" (PLUS OR MINUS 1") ABOVE THE SURFAC SIDEWALK, THE WALK IS 5% OR LESS GRADIENT OR NO ADJACENT HAZARD EXISTS
- 31. WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80° MINIMUM CLEAR HEADROOM.
- 32 EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEGGE. HAND-ACTIVATED DOOR OPENING HARDWATE SHALL BE CENTERED BETWEND 30° & 44° ABOVE THE FLOOR LATCHING & LOCKIND DOOR THAT ARE HAND-ACTIVATED & WHICH ARE IN A PATH OF TRAWEL, SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER. TYPE HARDWARE, BY PANIC BARS, PUSHIPULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
- 33. GROUND & FLOOR SURFACES ALONG ACCESSIBLE ROUTES & IN ACCESSIBLE ROOMS & SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS & CURB RAMPS, SHALL BE STABLE, FIRM, & SUP-RESISTANT.

- 4. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27" & 80' ABOVE THE FINISH FLOOR SHALL PROTRIDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. OBJECTS MOUNTED AT OR BELOW 27' ABOVE FINISH FLOOR MAY PROTRUDE ANY AMOUNT.
- 35. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 599B. PROVIDE & INSTALL PER MANUFACTURERS' RECOMMENDATIONS & CODE REQUIREMENTS. SUBMIT FOR ARCHITECTS REVIEW.
- IF RAMP EXCEEDS 10' IN LENGTH & RAMP IS NOT BOUNDED BY WALLS OR CURBS, WHEEL GUIDES SHALL BE PROVIDED.
- 37. IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE IN A COMMON USE AREA, IT SHALL HAVE FIRM BACKING OR NO BACKING. THE MAXIMUM PILE HEIGHT SHALL BE 12". EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES & HAVE TRIM ALONG THE EXPOSED EDGE & TRIM SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL.
- STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE & PLACED PARALLEL TO & NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP SHALL BE AS SLIP- RESISTANT AS THE OTHER TREADS OF THE STAIRS, FOR EXTERIOR STAIRS, THE UPPER APPROACH & ALL TREADS SHALL BE MA
- TELEPHONES SHALL BE EQUIPPED WITH A RECEIVER THAT GENERATES A MAGNETIC FIELD IN THE AREA OF THE RECEIVER CAP. IF BANKS OF PUBLIC PHONES ARE PROVIDED, THEN AT LEAST SES, BUT ALWAYS AT LEAST ONE PER BANK, INCLUDING CLOSED CIRCUIT TELEPHONES IN A BUILDING FACILITY, SHALL BE EQUIPPED WITH A OULUME CONTROL CAPABLE OF PRODUCING A MIN, OF 12 D A. & A MAXIMUM OF 18 D.B.A. ABOVE NORMAL PUBLIC TELEPHONES WITH VOLUME CONTROL SHALL BE HEARING AD COMPATIBLE & SHALL BE DEMTRIED BY A SIGN CONTAINING A DEPICTION OF A TELEPHONE HAND SET WITH RADIATING SOUND WAVES.
- 40. WALL SURFACES ADJACENT TO HANDRAILS SHALL BE FREE OF SHARP OR ABRASIVE

Batteries

MADISON EAST, WI 4706 E. WASHINGTÓN AVE MADISON, WI 53704

Project



Consultant ZONING REVIEW 11-1-201 CLIENT REVIEW 7-31-201 PERMIT SET 6-7-2019

Date

ZONING REVIEW

Store Number 19-107 Approved

No. Issue

**GENERAL** 

#### DIVISION 01 - GENERAL REQUIREMENTS

- 1. THE WORK INCLUDES NEW TENANT IMPROVEMENTS IN AN EXISTING STAND ALONE CONTRACT WILL INCLUDE CONSTRUCTING WALLS, CEILINGS & FLOOR PER BATTERIES + BULBS STANDARD FINISHES, DETAILS & SPECIFICATIONS. SECURE & PAY FOR GOVERNMENT FEES, LICENSES, & PERMITS.
- 2 CONTRACTORS SHALL VISIT THE PREMISES WHILE BIDDING & SHALL FAMILIARIZE ELVES WITH EXISTING CONDITIONS & THE REQUIREMENTS OF THE PROJECT PRIOR TO DEVELOPING THEIR BID. MATERIAL QUANTITIES SHALL BE BASED ON ACTUAL FIELD CONDITIONS & MEASUREMENTS. DO NOT RELY ON SCALING PLANS FOR ACCURATE DIMENSIONING.
- 3. PRIOR TO BEGINNING THE WORK, VERIFY ALL EXISTING DIMENSIONS & SQUARE FOOTAGES, NOTIFY THE OWNER OF COMPLIANCE OR DISCREPANCIES, COMPARING THOSE DISCREPANCIES TO THE NUMBERS ON THE TITLE SHEET.
- 4. CONTRACTORS SHALL TAKE CARE TO PROTECT ADJACENT AREAS FROM DUST & DAMAGE DURING THE CONSTRUCTION PROCESS & SHALL CLEAN UP AFTER THEMSELVES AT THE END OF EACH WORKING DAY, ANY DAMAGE DONE TO ADJACENT AREAS MUST BE REPAIRED TO MATCH ORIGINAL CONDITIONS.
- 5. ALL RUBBISH & TRASH SHALL BE REMOVED FROM THE PREMISES & PROPERLY DISPOSED OF EACH DAY. NO RUBBISH SHALL BE LEFT IN THE PREMISES AFTER WORK IS COMPLETED EACH DAY.
- ALL DRAWINGS HEREIN CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS & COORD THEIR HIDDEN OR EXPOSED WORK WITH OTHER RELATED TRADES, COORDINATE ALL OUS TRADES & SUBCONTRACTORS TO ASSURE EFFICIENT & ORDERIY INSTALLATION
- PROVIDE ACCOMMODATION FOR ITEMS INSTALLED AT A LATER DATE. VERIFY THAT CHARACTERISTICS OF ELEMENTS OF INTERRELATED OPERATING EQUIPMENT ARE COMPATIBLE; COORDINATE WORK OF VARIOUS SECTIONS WHICH HAVE INTERDEPENDANT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, & PLACING INI ERUPE ENIANN RESPONSIBILIES ON IN STALLING, CONTRECTING A STALLING, CONTRECTING AND STALLING ON SERVICE, SUCH EQUIPMENT, COORDINATE SPACE REQUIREMENTS & INSTALLING OF MECHANICAL, & ELECTRICAL WORK & FIRE SPRINKLER SYSTEM WHICH ARE INDICATED, DETAILED, OR IMPLIED DIAGRAM-MATICALLY ON DRAWINGS.
- UNLESS SPECIFICALLY NOTED, PROVIDE & PAY FOR LABOR, MATERIALS & EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT & MACHINERY & OTHER FACILITIES & SERVICES NECESSARY FOR PROPER EXECUTION & COMPLETION OF WORK, NCLUDING PERMITS, TEMPORARY UTILITIES SHALL, BE ARRANGED & PAID FOR BY
- GENERAL CONTRACTOR SHALL PURCHASE & MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD & THE TEANT. VERI & COORDINATE WITH THE TENANT'S PROJECT MANAGER ANY ADDITIONAL
- 10. FURNISH ALL REQUIRED TEMPORARY FACILITIES & ALL TEMPORARY UTILITIES IMMEDIATELY AFTER RECEIPT OF NOTICE TO PROCEED FOR USE IN CONVENIENCE OF ALL THOSE ENGAGED IN THE PROJECT WORK.
- 11. ALL CONTRACTORS MUST STAY BEHIND THE BARRIERS & MAINTAIN ACCESS TO SUCH REAS CLEAN & FREE OF CONSTRUCTION MATERIALS & DEBRIS. FAILURE TO TAIN CLEAN STOREFRONT WILL RESULT IN BUILDING MANAGEMENT HA SUCH MATERIALS & DEBRIS REMOVED & ALL CHARGES FOR MAINTENANCE BILLED TO
- 12. COORDINATE ALL CONSTRUCTION & SCHEDULING WITH THE BUILDING MANAGER REVIEWING ALL SCHEDULED ACTIVITIES AT OUTSET OF CONSTRUCTION.
- 13. THE OWNER OR THE OWNER'S SUBCONTRACTORS MAY OCCUPY PORTIONS OF THE PROJECT DURING THE FINAL STAGE OF CONSTRUCTION. COORDINATE & COOPERATE WITH THE OWNER. TO MINIMIZE CONFLICT & FACILITATE THE OWNER'S OPERATION.
- 14. ALL DIMENSIONS & FINISHES SHALL BE VERIFIED & COORDINATED WITH EXISTING COMMITTIONS PRIOR TO CONSTRUCTION, FABRICATION, OR PURCHASING. IN CASE OF CONFLICT BETWEEN THE PROJECT REQUIREMENTS AND/OR EXISTING CONDITIONS THE ARCHITECT OR OWNER SHALL BE CONTACTED FOR DIRECTION
- 15. PERFORM ALL WORK IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICE TO INSURE THE HIGHEST QUALITY FINISHED PRODUCT EXPRESSED OR IMPLIED. PERFORM ALL WORK BY SKILLED MECHANICS IN ACCORDANCE WITH ESTABLISHED STANDARDS OF WORKMANSHIP IN EACH OF THE VARIOUS TRADES.
- 16. COORDINATE BLOCKING REQUIREMENTS WITH ADJACENT OR RELATED TRADES ACCESSORIES, EQUIPMENT & FIXTURES. INSTALL REQUIRED BLOCKING AT NO ADDITIONAL COST TO THE CONTRACT.
- REPAIR PROPERTY DAMAGE BY THE INSTALLERS TO A LIKE NEW CONDITION OR REPLACE DAMAGED SURFACES & MATERIALS OF THE PREVIOUSLY INSTALLED WORK BY OTHER TRADES, INSTALLERS & SUBCONTRACTORS.
- 18. WHERE REQUESTED BY THE OWNER TO CERTIFY CONFORMANCE TO TRADE THE CONFORMANCE TO TRACE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL ENLIST A TESTING LABORATORY AT THE OWNER'S COST. IF THE REQUESTED TEST SHOWS NON-CONFORMANCE TO GENERALLY ACCEPTED TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO ADDITIONAL COSTS TO THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO ADDITIONAL COSTS TO THE OWNER & REIMBURSE ALL THE COSTS OF THE TESTING TO THE QUARTE IN ITESS THE CONTRACTOR COSTS OF THE TESTING TO THE OWNER, UNLESS THE CONTRACTOR HAS USED PRODUCTS INCORRECTLY LABELED BY THE MANUFACTURER OR HAS MADE PREVIOUSLY APPROVED CHANGES.
- PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS & UNINSTALLED MATERIALS PROTECT THE WORK STORED PRODUCTS. CONSTRUCTION EQUIPMENT & OWNER PERTY FROM THEFT & VANDALISM & THE PREMISES FROM ENTRY BY UNAUTHORIZED PERSONNEL UNTIL FINAL ACCEPTANCE BY OWNER
- 20. MAINTAIN AN ACTIVE FIRE EXTINGUISHER AT THE PROJECT.
- 21. DO NOT USE MATERIAL OR SOUIPMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SPECIFICALLY DESIGNED OR SPECIFIED. ALL MATERIALS & EQUIPMENT THAT ARE SIMILAR SHALL BE THE SAME TYPE, MODEL, & STYLE FOR THE SAME USE THROUGHOUT THE PROJECT OR THEY SHALL BE REJECTED.
- 22. WHEN THE PROJECT REQUIREMENTS REQUIRE THAT THE INSTALLATION OF WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS, PERFORM TH STRICT ACCORDANCE WITH THE MOST CURRENT WRITTEN MANUFACT
- 23. ALL PRODUCTS & EQUIPMENT SHALL BE DELIVERED IN UNDAMAGED CONDITION & STORED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO AVOID DISRUPTION OF THE WORK OF DAMAGE TO THE ITEMS. REPLACE DAMAGED OR UNFIT MATERIALS, AT NO COST TO THE OWNER.
- 24. NOTIFY THE OWNER WHEN THE WORK IS SUBSTANTIALLY COMPLETE & READY FOR INSPECTION. UPON INSPECTION, PROVIDE WRITTEN OPERATION & MAINTENANCE INSTRUCTIONS & GUARANTEES FOR A LL EQUIPMENT & MATERIALS. INSTALLED. PROVIDE WRITTEN GUARANTEES FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- 25. PROVIDE FINAL CLEAN-UP & DAMAGE REPAIR AT THE PROJECT CONCLUSION. I FAVE THE PREMISES NEAT, CLEAN & CLEAR OF TOOLS, EQUIPMENT & SURPLUS MATERIAL UNLESS REQUESTED BY THE OWNER. CLEAN-UP SHALL INCLUDE & NOT BE LIMITED
- POWER VACUUMING THE ENTIRE SPACE.
  HAND DUSTING & CLEANING OF ALL SHELVING, CABINETRY, CASEWORK, GLASS
  & MIRRORS BOTH INSTALLED UNDER THIS
  CONTRACT OR EXISTING WALLS, CEILINGS, FIXTURES, ETC.
- n. REPAIR OR REPLACEMENT OF PROPERTY DAMAGED DURING FINAL

- REPAIR OR REPAGEMENT OF PROPERTY DAMAGED DURING FINAL COMPLETION OF THE PROJECT.

   d. G.C. TO HIRE & PAY FOR PROFESSIONAL CLEANING ON (2) OCCASIONS: ONCE BEFORE TURNOVER TO TENANT (MERCHANDISING) & AGAIN BEFORE OPENING.

26. GENEAL CONTRACTOR SHALL PLACE ORDERS FOR ALL FINISHES, ALL MATERIALS, EQUIPMENT; ETC. ATTHE START OF THE PROJECT. SUBSTITUTIONS ARE NOT ACCEPTED FOR ANY ITEMS, UNLESS NOTED OTHERWISE. OWNER & ARCHITECT MUST BE INFORMED OF LEAD TIME PROBLEMS WITHIN THE FIRST TWO WEEKS OF

#### DIVISION 02 - DEMOLITION / BUILDING ALTERATIONS

- THE WORK MAY INCLUDE DEMOLITION OF EXISTING CONSTRUCTION, REMOVAL OF VARIOUS ITEMS OF EQUIPMENT & CONSTRUCTION & THE CUTTING OR ALTERATION OF EXISTING CONSTRUCTION AS SHOWN, NOTED OR IMPULE ON THE DRAWINGS, CONTRACTOR SHALL DETERMINE & INVENTORY ALL NECESSARY DEMOLITION & ALTERATION OF ITEMS TO PROVIDE FOR A COMPLETE INSTALLATION OF NEW WORK ALL COSTS OF REMOVAL, REPAIR OR REPLACEMENT SHALL BE INCLUDED IN THE BID. ADDITIONAL COSTS FOR DEMOLITION OF ITEMS HIDDEN OR INACCESSIBLE DURING THE BID HIDDING PHASE, SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING THE
- 2. AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION & FIT TO EXISTING CONSTRUCTION TO MATCH EXISTING V & EXISTING PATCHES VERY SMOOTH, EVEN & PRACTICALLY INVISIBLE, COORD ALL REPLACEMENT & REPAIR REQUIREMENTS WITH LANDLORD'S CONSTRUCTION
- SAW-CUT CONCRETE WITH DIAMOND SAW; JACKHAMMERING WILL NOT BE PERMITTED EXCEPT WITH THE EXPRESSED WRITTEN APPROVAL OF THE LANDLORD. CUT IN ACCURATELY LOCATED, STRAIGHT LINES & BREAX OUT SECTIONS, FLOOR MAY BE CORE DRILLED WHERE APPROP. RIATE FOR INSTALLATION OF PIPES & SIMILAR ITEMS. COORDINATE ALL CORE LOCATIONS & SLAB MODIFICATIONS WITH LANDLORD'S STRUCTURAL ENGINEER. WHERE EXISTING PIPING & OTHER SIMILAR ITEMS ARE UNDER EXISTING SLABS, EXERCISE CARE TO PROTECT FROM DAMAGE. EXERCISE CARE WHEN CUTTING ADJACTOT TO EXISTING WALLS TO ACTIOID DAMAGE TO WALLS. IF DAMAGED, REPAIR AS REQUIRED TO ORIGINAL CONDITION.
- DOORS & FRAMES: IF DOORS & FRAMES ARE TO BE REUSED ON THE WORK CAREFULLY REMOVE DOOR FROM FRAMES & REMOVE FRAMES FROM OPENING TAKING CARE TO AVOID DAMAGE. REMOVE HARDWARE, CLEAN, REFURBISH & STORE FOR REINSTALLATION WHERE INDICATED. FOR DOORS & FRAMES TO BE SALVAGED, CAREFULLY REMOVE FROM OPENING & DELIVER FOR STORAGE WHERE INDICATED.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE & PLACE BRACING PREVENT MOVEMENT OR SET LEMBER OF STRUCTURE. FOR YOU'VE & PLACE BROWN AS SHORING A BE RESPONSIBLE FOR SAFEY S SUPPORT OF STRUCTURE, AS DETERMINED BY C. E. ENLISTED STRUCTURAL ENGINEER. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT DAMAGE OR INJURY.
- ARRANGE & PAY FOR DISCONNECTING, REMOVING & CAPPING UTILITY SERVICES WITHIN AREAS AFFECTED BY DEMOLITION. PLACE MARKERS TO INDICATE LOCATION ONNECTED SERVICES. LOCATE SPRINKLER SHUT-OFF VALVE & SMOK ALARM PRIOR TO COMMENCING WORK: COORDINATE REQUIRED MODIFICATION WITH
- CAREFULLY REMOVE MATERIALS & EQUIPMENT WHICH ARE INTENDED TO BE REUSED. STORE IN A SECURE LOCATION. REMOVE DEBRIS, REFUSE & MATERIALS BEING DEMOLISHED IMMEDIATELY FROM THE SITE.
- ERECT & MAINTAIN WEATHERPROOF & DUSTPROOF CLOSURES & PARTITIONS TO PREVENT WEATHER DAMAGE OR SPREAD OF DUST, FUMES & SMOKE TO OTHER PARTS OF THE BUILDING, IN ACCORDANCE WITH MALL GUIDELINES & STIPULATIONS.
- 9. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING
- 10. REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.

#### DIVISION 03 - CONCRETE REPAIR & REPLACEMENT

- WORK INCLUDES: PATCHING OF SLAB AFTER DEMOLITION & REMOVAL OF FINISHES FILLING & LEVELING JOINTS & CRACKS; FILLING ABANDONED ELECTRICAL BOXES 8 ANY HOLES GREATER THAN 1/2".
- 2. USE RAECO-LITH "R-35" AS UNDERLAYMENT FOR PATCHING OR APPROVED EQUAL. MIX SHALL BE TWO PARTS MORTAR MIX LATEX BINDER. MIX & INSTALL PER MANUFACTURER'S LATEST WRITTEN & RECOMMENDED DIRECTIONS.

#### **DIVISION 04 - MASONRY**

#### CLEANING

- AFTER MORTOR HAS COMPLETELY SET & CURED, ALL LARGE MORTOR PARTICLES ARE TO BE REMOVED & UNITS MASONRY IS TO BE SCRUBED THOROUGHLY.

#### **DIVISION 05 - METAL FABRICATIONS**

- 1. PROVIDE ALL MISCELLANEOUS METAL ITEMS INCLUDING MATERIALS, FABRICATIONS ASTENINGS & ACCESSORIES REQUIRED FOR FINISHED INSTALLATION AS INDICATED
- STEEL SHALL BE ASTM A366 AMERICAN OPEN HEARTH SHEET STEEL, FREE FROM SCALE & PITTING & OTHER DEFECTS AFFECTING APPEARANCE.
- 3. TUBING SHALL CONFORM TO REQUIREMENTS OF ASTM A500 OR A501 AS APPROVED.
- WHERE METAL ITEMS ARE TO BE ERECTED & IN CONTACT WITH DISSIMILAR MATERIALS, PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED 2 CHROMATE PRIMER IN A MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.
- 5. SHEET STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM A606.
- 6. CARBON STEEL BARS SHALL CONFORM TO REQUIREMENTS OF ASTM A32:
- ALUMINUM EXTRUSIONS SHALL CONFORM TO ASTM B221. REVEALS TO BE CLEAR ANODIZED FINISH (UNLESS OTHERWISE NOTED).
- 8. FASTENERS SHALL BE AS REQUIRED FOR ASSEMBLY & INSTALLATION OF FABRICATED
- BOLTS SHALL BE LOW CARBON STEEL EXTERNALLY & INTERNALLY THREADED FASTENERS CONFORMING WITH REQUIREMENTS OF ASTM A307; INCLUDE NECESSARY NUTS & PLAIN HARDENED WASHERS. FOR MEMBERS FOR SUPPORT OF STRUCTURAL MEMBERS OR CONNECTION THERETO, USE FASTENERS CONFORMING TH ASTM A325, FOR STAINLESS STEEL & NON-FERROUS ITEMS, USE TYPE 302 & 304
- MISCELLANEOUS MATERIALS: PROVIDE ALL INCIDENTAL ACCESSORY MATERIAL TOOLS, METHODS & EQUIPMENT REQUIRED FOR FABRICATION & INSTALLATION MISCELLANEOUS METAL ITEMS AS INDICATED ON DRAWINGS.
- ACCURATE SIZES & CONFIGURATIONS AS INDICATED ON DRAWINGS & OTHERWIS REQUIRED FOR PROPER INSTALLATION, FABRICATE WITH ALL LINES STRAIGHT & ANGLES SHARP, CLEAN & TRUE; DRILL, COUNTERSINK, TAP & OTHERWISE PREPAI ITEMS FOR CONNECTION WITH WORK OF OTHER TRADES. MAKE PERMANENT CONNECTIONS BY WELDING & GRIND ALL EXPOSED WELDS SMOOTH TO MATCH DJACENT SURFACES: ROUGH JOINT SURFACES NOT PERMITTED, AVOID USING BOLTS & SCREWS UNLESS SPECIFICALLY INDICATED OR APPROVED; WHEN USED, DRAW UP TIGHT & TIE THREADS TO PREVENT LOOSENING.

#### **SPECIFICATIONS**

- ALL FERROUS METAL ITEMS SHALL BE SHOP FINISHED. TOUCH-UP OR REPAIR DAMAGED AREAS PRIOR TO INSTALLATION WITH SAME MATERIAL.
- 13. PROVIDE CONTACT SURFACES WITH CONCRETE MASONRY OR OTHER DISSIMILAR MATERIALS WITH A MINIMUM ONE POINT ZERO (1.0) MIL DRY THICKNESS OF AN APPROVED ZING CHROMATE PRIMER.
- 14. PROVIDE ALL STEEL BLOCKING & BRACING IN METAL STUD FRAMED PARTITIONS NECESSARY FOR A COMPLETE INSTALLATION. INCLUDE AS REQUIRED FOR SUPPOR OF ALL WALL-MOUNTED EQUIPMENT & FABRICATIONS AS INDICATED ON DRAWINGS. PROVIDE SUPPORTS AT JAMBS OF DOORS & ELSEWHERE, AS REQUIRED.
- STRUCTURAL SHAPES, PLATE & BARS; WELD JOINTS WHERE PRACTICAL; PROVIDE BOLTS & OTHER CONNECTION DEVICES REQUIRED. INCLUDE ANOCHORAGES, CLIP ANGLES, SLEEVES, ANCHOR PLATE & SIMILAR DEVICES, WHERE PRACTICAL; PROVIDE ANGLES, SLEEVES, ANCHOR PLATE & SIMILAR DEVICES, WHERE PRACTICAL; PROVIDED ANGLES ANGLES OF STRUCTURED OF THE STRUCTURED AND STRUCTURED AND STRUCTURED AND STRUCTURED ANGLES OF THE STRUCTURED AND STRUCTURED AND STRUCTURED AND STRUCTURED. TO THE INSTALLATION WITH FASTENERS APPROP. RICH TO THE INSTALLATION

#### **DIVISION 06 - WOOD & PLASTICS**

- PROVIDE ROUGH LUMBER & PLYWOOD IN STANDARD DIMENSIONS, MOISTURE
- PROVIDE ALL NECESSARY ROUGH HARDWARE IN SIZES & QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
- USE FINISH OR CASING NAILS FOR EXPOSED WORK; USE TYPE "S" TRIM HEAD SCREWS FOR ATTACHMENT OF WOOD TRIM TO METAL STUDS, RUNNERS OR FURRING.
- RELIEVE BACKS OF WOOD TRIM; KERF BACKS OF MEMBERS MORE THAN 5" WIDE & 1" NOMINAL THICKNESS; EASE ALL EXTERNAL CORNERS.
- 5. INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN A SATISFACTORY
- 6. PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. REPLACE DAMAGED SURFACES.
- REMOVE EXCESS ADHESIVE & CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT & CLEANING PROCEDURES.
- 8. FILL IN ALL SEAMS WITH MANUFACTURER'S APPROPRIATE COLOR SEAM COMPOUND
- 9. INSTALL WOODS & PLASTICS IN CONFORMANCE WITH DETAILS WITH THE FOLLOWING
- B. INSTALL ALL MATERIAL WITH TIGHT JOINTS.
- ALL RUNNING TRIM ONE (1) PIECE UP TO 10'-0". MATCH GRAIN & COLOR PIECE
- d. USE FINISH NAILS EXCEPT WHERE SCREWS ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW.
  SET FASTENERS FOR PUTTYING.
  WHERE SCREW ATTACHMENT REQUIRED. SPACE SCREWS AT FOUAL.
- NTERVALS: SINK & PUTTY IN FINISH WOOD SURFACES g. ALL MEMBERS & LINES LEVEL & PLUMB
- SELECT & CUT MATERIAL TO EXCLUDE DAMAGED, MARKED OR DEFECTIVE
- AREAS.
  FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL & MACHINE MARKS.
  EASE ALL EXPOSED WOOD EDGES 1/8" MINIMUM RADIUS.
  INSTALL FIRE RATED DOORS IN ACCORDANCE WITH REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NEPA) RECOMMENDATIONS

#### DIVISION 07 - SEALANTS & CAULKING

- 1 PROVIDE NON-SAG SEALANT COMPLYING WITH REQUIREMENTS OF FEDERAL S TTS-1543 OR ES TT-S-230 TYPE "II" CLASS "A" PROVIDE ACQUISTICAL SPECIFICATIONS 113-1043 OR F3 11-32-20 THE III CLOSS AT PROVIDE ACCOSS INCESS

  SEALANT WHICH SHALL BE NON-HARDENING, NON-DRYING SYNTHETIC RUBBERS

  SEALING COMPOUND WITH MINIMUM 90% SOLIDS. USE AT ALL INTERIOR JOINTS AT

  INTERSECTIONS BETWEEN FLANES. AROUND DOOR A WINDOW FRAMES PRIMER

  SHALL BE MADE OR RECOMMENDED BY SEALANT MANUFACTURER FOR THE SPECIFIC

  CONLIDENCE AS USBSTRATES.
- PROVIDE BACKING MATERIAL BY DOW "ETHAFOAM" OR APPROVED FOUAL APPLY FROVIDE BACKING TO UNIFORM THICKNESS IN CONTINUOUS BEADS FILLING SEALANT OVER BACKING TO UNIFORM THICKNESS IN CONTINUOUS BEADS FILLING ALL JOINTS & VOIDS, SOLID. SUPERFICIAL POINTING WITH THE SKIM BEAD WILL NOT BE ACCEPTED. JOINTS OVER 14" IN WITH MUST BE REDUCED I ADJUSTED PRIOR TO SEALING. ALL GAPS WIDE ENOUGH TO ACCEPT A SLIP OF PAPER MUST BE SEALED.
- 3. ALL SURFACES SHALL BE ADEQUATELY CLEANED & PREPARED IN ACCORDANCE WITH
- THE KEC. IS RESPONSIBLE FOR SEALING ALL KITCHEN EQUIPMENT PROVIDED W/ SANTARY SILICONE SEALANT, CLEAR OR WHITE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SEALING ALL OTHER GAPS INCLUDING, WOOD BASE TO VCT., ALAMINATE PANELS TO TRIM, CASING, ETC. WI CLEAR OR PANTABLE SEALANT AT DRYWALL / PAINT AS REQUIRED & REQUESTED BY INSPECTORS & OWNER.
- ALL PENETRATIONS IN MILLWORK ARE TO BE SEALED BY G.C. EXPOSED WOOD URFACES IN CABINETS / COUNTERS ARE TO BE SEALED BY MILLWOR

#### DIVISION 08 - WOOD & HOLLOW METAL DOORS & FRAMES

- PROVIDE FULLY WELDED DOOR FRAMES AT ALL G.C. PROVIDED DOORS, FREE FROM SCALE & PITTING & OTHER SURFACE DEFECTS, UNLESS OTHERWISE NOTED.
- 2. PROVIDE HOLLOW METAL EXIT DOOR CONSTRUCTED WITH THE FOIL OWING
- 'ATERIALS: MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS. 16 GA. FOR EDGE CHANNELS. MINIMUM 22 GA. FOR FACE STIFFENERS. MINIMUM 16 GA. FOR INTERIOR FRAMES.
- 3. PROVIDE DOORS OF SIZES & TYPES INDICATED ON DRAWINGS, FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES; THICKNESSES AS SCHEDULED ON DRAWINGS, DOOR TOPS TO BE ENCLOSED W/ NO OPEN CHANNEL.
- 4. FACE STIFFENERS, EDGES & HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP & MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRAI PRACTICE & MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR THE USE
- HARDWARE REINFORCEMENT & ANCHORS (ERECTION, FLOOR & JAMB) SHALL BE AS REQUIRED FOR A SECURE INSTALLATION & SHALL BE IN ACCORDANCE WITH TRADE REQUIRE- MENTS FOR THE SPECIFIED HARDWARE & INTENDED USE. AFTER FABRICATION, DRESS, FILL & SAND EXPOSED SURFACES, BODY-PUTTY HOLES
- & IMPERFECTIONS. APPLY UNIFORM COAT OF MANUFACTURER'S STANDARD PRIME COAT TO ALL EXPOSED SURFACES. LEAVE READY TO RECEIVE FINISH PAINTING. INSTALL FRAMES IN ACCURATE LOCATIONS AS INDICATED ON DRAWINGS. INSTALL RIGID, PLUMB, LEVEL & TRUE. ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR ANCHORS TO FLOOR CONSTRUCTION WITH APPROVED TYPE MECHANICAL FASTENINGS: ANCHOR TO ADJOINING WALLS WITH SPECIFIED ANCHORS. BRACE PASTERINGS, AND TO RECOMMEND VALCES WITH A PRECIPIED WATCH TO RETAIN POSITION & CONTINUOUSLY CHECK ALIGNMENT DURING CONSTRUCTION OF ADJACENT WALLS. ADJUST FRAME LOCATIONS AS NECESSARY USING SHIMS SEFORE FASTENING. LEAVE READY TO RECEIVE SEALANT AS REQUIRED. INSTALL DOOR SILENCERS AT ALL INTERIOR FRAMES.
- INSTALL WOOD DOORS, FRAMES, & TRIM. SIZES & THICKNESS AS SCHEDULED ON THE
- 9. PREPARE DOORS FOR FINISH HARDWARE. OBTAIN TEMPLATES FROM HARDWARE

- MANUFACTURER & CONFIRM TYPE, LOCATION & SPECIAL REQUIREMENTS O
- 10. HANG DOORS AS SCHEDULED ON DRAWINGS, IN ACCURATE LOCATIONS WITH 1/8' CLEARANCE AT TOPS & 38' CLEARANCE AT BOTTOM, UNLESS SPECIFICALLY NOTED FOR "UNDERCUTS" OR OTHER DEVIATIONS IN FIT, MAKE NO JOIST FIT IN CUTS UNLESS APPROVED. HANG PAIRS OF DOORS AS SPECIFIED WITH 332' CLEARANCE AT MEETING EDGES. DEMONSTRATE THAT DOORS OPEN FREELY WITHOUT BINDING, & WHEN CLOSED, WILL LATCH PROPERLY.
- ACCESS DOORS TO BE PROVIDED BY GENERAL CONTRACTOR AS REQUIRED DE ACCESS DOORS BY MILCOR OR FOUND. LISE STYLE DW AT WALLS A CEILINGS, (OR AS REQUIRED FOR RATING). SIZE AS INDICATED. FRAME SHALL B ALVANIZED STEEL DRYWALL BEAD FOR FRAME CONCEALMENT, PANEL SHALL BE
- 12. PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS AS REQUIRED TO PROVIDE NO VISIBLE THE INFINITE ALL EXTERNIN DOURS, AS REQUIRED 10 PROVIDE TO NO VISIBLE LIGHT LEAKS, WEATHERSTRIPPING IS TO BE FASTENED TYPE. ADHERED RUBBER TYPE STRIPS ARE NOT ACCEPTABLE. PROVIDE VERTICAL BRUSH TYPE STRIP BETWEEN LEADING EDGES AT DOUBLE DOORS.
- 13. THRESHOLDS ARE TO BE SEALED TO FLOOR AT ALL LOCATIONS

#### HARDWARE

- ALL FINISH HARDWARE FOR COMPLETE WORK SHALL BE FURNISHED & INSTALLED IN ACCORDANCE WITH DRAWNINGS & SPECIFICATIONS. QUANTITIES LISTED, IN ANY INSTANCE, ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY & ARE NOT BUARANTEED. ITEMS NOT SPECIFICALLY MENTIONED BUT NECESSARY TO COMPLETE THE WORK SHALL BE FURNISHED MATCHING THE QUALITY & FINISH OF THE ITEMS
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER OPERATION & FITTING OF HARDWARE IN LOCATIONS SPECIFIED. THE CONTRACTOR MUST SUPPLY A ROOM UNDER LOCK & KEY TO STORE ALL FINISH HARDWARE UNTIL INSTALLATION IS MADE. THE HARDWARE SUPPLIER MUST MARK EACH ITEM OF HARDWARE AND TO DESCRIPTION & LOCATION OF INSTALLATION IN ACCORDANCE WITH APPROVED HARDWARE SCHEDULE. EXPOSED SURFACES OF HARDWARE SHALL BE COVERED. WELL PROTECTED DURING INSTALLATION, SO AS TO AVOID DAMAGE TO FINISHES.
- PROVIDE HARDWARE FOR FIRE-RATED OPENINGS IN COMPLIANCE WITH REQUIREMENTS OF NEPA 80. THIS REQUIREMENT TAKES PRECEDENCE OVER OTHER REQUIREMENTS FOR SUCH HARDWARE
- HARDWARE FINISH SHALL BE DARK BRONZE US -10B IN PUBLIC AREAS & SATIN CHROME IN NON-PUBLIC AREAS. U.N.O.
- 5. HARDWARE SUPPLIER WILL PROVIDE APPROVED SCHEDULED & PAPER TEMPLATES TO VARIOUS OTHER SUPPLIERS FOR DOOR & FRAME PREPARATION FOR HARDWARE
- 6. FURNISH & FINISH HARDWARE, CYLINDERS & KEYS; "BEST" SEVEN PIN ROD.
- EACH ITEM OF HARDWARE SHALL BE PACKAGED SEPARATELY WITH ALL NECESSARY SCREWS, BOLTS, TAMPINS, KEYS & INSTALLATION TEMPLATES. DELIVER PACKAGES CLEARLY IDENTIFIED, WITH HEADING NUMBER AS APPROVED ON HARDWARE.
- INSTALL EACH HARDWARE ITEM IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS & RECOMMENDATIONS.
- 9. MAKE FINAL ADJUSTMENT & CHECK OF HARDWARE DURING THE WEEK IMMEDIATED RIOR TO ACCEPTANCE. CLEAN & RELUBRICATE OPERATING ITEMS AS NECESSARY TO RESTORE PROPER FUNCTIONING & FINISH OF HARDWARE & DOORS. MAKE FINAL ADJUSTMENT OF LOCKSETS & THE CLOSURES TO COMPENSATE FOR OPERATION OF HEATING & VENTILATION SYSTEMS UNDER THE SUPERVISION OF MANUFACTURER'S REPRESENTATIVE.
- 10. LUBRICATE ALL MOVING PARTS WITH GRAPHITE-TYPE LUBRICANT UNLESS. OTHERWISE RECOM- MENDED BY MANUFACTURER, REPLACE ALL HARDW. CANNOT BE LUBRICATED & ADJUSTED TO OPERATE FREELY & SMOOTHLY. NARE WHICH
- 11. THE CONTRACTOR IS REQUIRED TO RE-KEY TENANT DOORS AT THE COMPLETION OF

#### **DIVISION 09 - FINISHES**

#### METAL SUPPORT SYSTEM (WALL STUDS)

BETWEEN LINTELS & HEADERS IN TOP TRACKS

- PROVIDE CHANNEL-SHAPED ROLL FORMED SHEET STEEL MEMBERS CONFORMING WITH ASTM C640, HOT DIPPED FINISH WHERE EXPOSED TO MOISTURE NOT LESS THAN 20 GAUGE, PROVIDE 16 GAUGE AT DOOR JAMBS.
- 2. PROVIDE COLD, ROLLED STEEL CHANNELS NOT LESS THAN 16 GAUGE.
- 3. PROVIDE ROLL HAT-SHAPED CHANNELS MINIMUM 25 GAUGE, 7/8" DEEP WITH 1/2" EMMED EDGES. HOT DIPPED FINISH WHERE NOTE
- 4. PROVIDE TIE WIRES OF GALVANIZED ANNEALED WIRES NOT LESS THAN 16 GAUGE.
- 5. PROVIDE GALVANIZED HANGERS OF STEEL WIRE IN ACCORDANCE WITH ASTM C754 6. PROVIDE JACK STUDS BETWEEN BOTTOM TRACK & WINDOW AND/OR RELIEF SILLS
- PROVIDE BLOCKING & FRAMING FOR ALL WALL MOUNTED FINISH HARDWARE &
- 8. PROVIDE CEILING SEISMIC BRACING IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE CODES & AS INDICATED ON DRAWINGS.
- PROVIDE DOUBLE BEAD TO BUTYL SEALANT AT FLOOR TRACKS. APPLY DOUBLE BEAD TO CEILING TRACK & TO STUDS ABUTTING OTHER CONSTRUCTION.
- 10. PROVIDE CHANNEL SHAPED BLOCKING SUPPORT OR GALVANIZED STRIP SUPPORT OF WALL-HUNG CABINETS, EQUIPMENT, FIXTURES & ACCESSORIES OF NOT LESS THAN 22 GA MATERIAL PROVIDE SUPPORT IN WALL OF PARTITION FRAMING SYSTEM WHEREVER WALL HUNG CABINETS & EQUIPMENT ARE INDICATED ON DRAWINGS. &
- WHERE REQUIRED FOR MOUNTING OF MISCELLANEOUS ITEMS REQUIRING BACKING . SET FLOOR TRACKS IN ACCURATE LOCATIONS & SECURELY ANCHOR IN ACCORDANCE WITH ASTM STANDARDS. ERECT STUDS ON 16° OR 24° (AS INDICATED) CENTERS & SECURE TO TRACK. INSTALL HEAD TRACK IN ACCORDANCE WITH DETAILS. INSTALL BLOCKING, BRACING & ANCHOR STRIPS; LEAVE READY TO RECEIVE
- 12. ERECT ALL COMPONENTS FOR CEILING & SOFFIT FRAMING IN ACCURATE LOCATIONS AS INDICATED, TRUE TO LINE, LEVEL & PLUMB & IN ACCORDANCE WITH APPLICABLE ASTM STANDARDS AS REFERENCED ABOVE, USING A LASER LEVEL. ADJUST SUPPORTS, SPANS OR OTHERWISE FOR INSTALLATION WITHIN SPECIFIED TOLERANCES.
- PROVIDE KICK BRACING IN ACCORDANCE WITH INDUSTRY STANDARDS FOR WALL STUDS, CEILING MEMBERS, DRAFT OR SMOKE STOPS & CURTAIN WALLS.

#### GYPSUM WALL BOARD

- PROVIDE GYPSUM WALL PANELS MANUFACTURED IN ACCORDANCE WITH
- PROVIDE TYPE 'X' FIRE RETARDANT GYPSUM WALL BOARD PANELS 5/8" THICK, TESTED & QUALIFIED FOR 1-HR. RATING, TAPERED & ROUNDED AT EDGES AS

- 3. PROVIDE METAL EDGE & CORNER BEADS AT ENDS, EDGES & CORNERS.
- WATER RESISTANT GYPSUM WALL BOARD SHALL BE 5/8" THICK, QUALIFIED FOR 1-HF RATING, TAPERED & ROUNDED EDGES & SHALL BE INSTALLED IN ALL WET AREAS AS INDICATED ON DRAWINGS.
- PROVIDE FASTENERS IN ACCORDANCE W/ ASTM C646; UNLESS OTHERWISE NOTED OR INDICATED, PROVIDE TYPE 'S' BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARD TO METAL FRAMING & TYPE 'S' PAN HEAD SCREWS FOR ATTACHMENT OF WALL FRAMING TO DOOR FRAME'S
- 6. PROVIDE ALL INCIDENTAL & ACCESSORY MATERIALS, TOOLS, FOLIPMENT & METHODS INCLUDING ACCESS DOORS & PNLS.
- APPLY CONTINUOUS BEAD SEALANT AT ALL JOINTS OF WALL BOARD ABUTTIN ADJACENT CONSTRUCTION, INCLUDING AROUND FRAMED OPENINGS & OTHER PROTRUSIONS THROUGH WALL BOARD WHERE SEALANT IS EXPOSED, PROVID POLY-SULFIDE SEALANT; WHERE UNEXPOSED, PROVIDE ACOUSTIC SEALANT.
- APPLY PRE-FILL COMPOUND TO JOINTS IN ACCORDANCE WITH INDUSTRY
- PROVIDE FINAL FINISH THAT IS SMOOTH, WITHOUT DIVOTS, BUMPS, BOWS OR ANY OTHER SURFACE BLEMISH, READY TO RECEIVE PAINT.
- 10. CUSTOM SKIP TROWELED FINISH WHERE SPECIFIED ON PLANS, COORDINATE FINISH

#### **CEMENTITIOUS TILE BACKER BOARD**

- BACKER BOARD SHALL BE 5/8" "DUROCK", BY USG OR BATTERIES + BULBS APPROVED EQUIVALENT. INSTALL SHALL BE PER MANUF.'S WRITTEN SPEC.
- 2. BACKER BOARD SHALL BE USED AT BASE OF WALLS THROUGHOUT KITCHEN & REST
- 3. INSTALL WITH "DUROCK" FASTENERS & JOINT REINFORCEMENT TAPE.

- PROVIDE PAINT FINISHES FOR BUILDING & OTHER SURFACES AS SCHEDULED ON INGS OR AS SPECIFIED HEREINAFTER INCLUDING SEALING OF CO DRAWINGS OR AS SPECIFIED HEREINAFTER INCLUDING SEALING OF CONCRETE FLOOR AT CORRIDOR & STOCKROM. NO PANT FINISH IS REQUIRED ON ITTEMS R. HONG COMMETE FACTORY FINISH, EXCEPT AS WAY BE SPECIFIED HEREINAFTER, PUTTY AND/OR SEALANT AT ALMINIAM WINDOWS; NOY BE SPECIFIED HEREINAFTER, PUTTY AND/OR SEALANT AT ALMINIAM WINDOWS; NOT SIMPROUSE HEREINAFTER, OR EXTERIOR SEALANT AT SULTIME SPECIFICALLY MENTIONED IN THE PANTING SCHEWER STANKLESS STEEL; INTERIOR EXTERIOR OF EXISTING BUILDING, EXCEPT WERE ALFORD AND ALMINIAM SEALANT OF EXISTING BUILDING, EXCEPT WERE ALFORDED FOR THE STANKLESS OF RECURSION OF SEALANT AND ALMINIAM SEALANT OF THE STANKLESS OF SEALANT OF THE SEALANT OF THE
- WORK, REPAIR ANY DAMAGE CAUSED BY THE WORK OF THIS SECTION. REMOVE ELECTRICAL OUTLET & SWITCH PLATES, MECHANICAL DIFFUSERS, GRILLET & SCHICHERS, SURFACE HARDWARE, FITTINGS & FASTENINGS PRIOR ESCUTCHEONS, REGISTERS, SURFACE HARDWARE, FITTINGS & FASTENINGS PRIOR TO COMMENCING THE WORK. STORE, CLEAN, & REPLACE UPON COMPLETION
- FINISH WORK SHALL BE UNIFORM, OF APPROVED COLOR, SMOOTH & FREE FROM
- RUNS. MAKE ENDS OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHART CLEAN. WHERE HIGH GLOSS ENAMEL IS USED, LIGHTLY SAND UNDERCOAT TO OBTAIN A SMOOTH FINISH COAT. PROVIDE ALL NEWLY PAINTED SURFACES WITH (1) COAT TINTED PRIMER & (2) COATS FINAL COLOR COAT, UNLESS OTHERWISE RECOMMENDED BY MANUFACTURER'S
- DELIVER ALL PAINT TO JOBSITE IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABEL, & SHOWING PAINT TYPE, SHEEN & COLOR. 7 PAINT TYPES LISED SHALL BE THOSE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE MATERIAL TO WHICH THEY WILL BE APPLIED. PAINTING CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER
- 8. ALL SURFACES TO BE PAINTED SHALL BE THOROUGHLY CLEANED, & PREPARED FO PAINTING PRIOR TO APPLICATION OF PAINT, PROVIDE VENTILATORS AS REQUIRED 1
- REVENT BUILD-UP OF FUMES. 9. SANDPAPER ALL NEW WOOD TO SMOOTH & EVEN SURFACE & DUST OFF. AFTER SURFACE IMPERFEC- TIONS WITH PUTTY TINTED WITH PRIMER OR STAIN TO MATCH WOOD COLOR, SAND ALL WOOD-WORK BETWEEN COATS TO A SMOOTH SURFACE.
- 10. PRIME ALL SURFACES, WHICH RECEIVE PAINT PRIOR TO APPLICATION OF FINAL
- FINISH, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATE 11. BACK PRIME ALL EXTERIOR & INTERIOR WOOD & TRIM PRIOR TO INSTALLATION. THOR- DUGHLY CLEAN SURFACES & APPLY NO FINISH UNLESS SURFACES ARE DRY A READY FOR APPLICATION. SANDPAPER SURFACES OF TRIM SMOOTH & WIPE CLEAN AFTER STAIN COAT HAS BEEN APPLIED, FILL CRACKS & HOLES WITH PLASTIC WOOD OR PUTTY. IF STAIN HAS BEEN USED, TINT CRACK FILLER TO MATCH; PRIME BACKS OF TRIM. PRIME BARE WOOD SCHEDULED TO RECEIVE PAINT FINISH: FINISH
- HOLES, CRACKS & OTHER IMPERFECTIONS WITH PUTTY & SAND SMOOTH 12. AT COMPLETION, TOUCH-UP & RESTORE FINISH WHERE DAMAGED & LEAVE ALL SURFACES IN GOOD & CLEAN CONDITION. PROVIDE FOR MULTIPLE SITE VISITS AS REQUIRED FOR TOUCH-UP & REFINISHING.
- 13. OTHER PAINT MANUFACTURER'S MAY NOT BE SUBSTITUTED.
- 14. FINISH INTERIOR SURFACES, AS SCHEDULED ON DRAWINGS, EXCEPT AS MODIFIED & SUPPLEMENTED HEREINAFTER & UPON WRITTEN OWNER APPROVAL. IN GENERAL, USE EGGENELL SHEER FOR WALL BOARD SURFACES; SEMI-GLOSS FOR HOLLOW METAL & WOOD TRIM; & FLAT FOR DUCTWORK.

#### RESILIENT BASE

- 1. INSTALL COVE BASE IN AREAS AS CALLED FOR IN PLANS AND/OR ELEVATIONS
- PROVIDE PREMOLDED INSIDE & OUTSIDE CORNERS FOR ALL CONDITIONS AT WHICH CORNERS ARE TO BE USED. JOB MITERING SHALL BE PERMITTED ONLY UPON OWNERS APPROVAL.
- 3. USE ADHESIVES ONLY AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIA TO WHICH IT IS APPLIED.
- 4. CAREFULLY INSPECT ALL SURFACES TO RECEIVE BASE PRIOR TO INSTALLATION, REPAIR DAMAGED SURFACES PRIOR TO INSTALLATION.
- 5. UPON COMPLETION, IMMEDIATELY REMOVE ALL SURPLUS ADHESIVE FROM ADJAGEN SURFACE, IN ACCORDANCE WITH THE TIMING RECOMMENDED BY THE MANUFACTURER, USING MATERIALS RECOMMENDED FOR THAT PURPOSE BY THE MANUFACTURER.

#### **GLASS & GLAZING**

# Batteries

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Project



Consultant

Architect of Record

ZONING REVIEW 7-31-2019 PERMIT SET 6-7-2019 Issue Date

ZONING REVIEW

Approved **SPECIFICATIONS** 

Store Number 19-107

- PROVIDE TEMPERED GLASS, GRADE "B", STYLE #1, TYPE "1", QUALITY 03, THICKNESS PER PLANS.
- 2 ALL GLASS EDGES SHALL BE GROUND SMOOTH & POLISHED.
  3 GENERAL GLASS SHALL BE G3 IN ACCORDANCE WITH FEDERAL SPECIFICATIONS DD-G-451 & FGMA GLAZING MANUAL.
- STOREFRONT GLASS SHALL BE AS REQUIRED FOR THE SIZES & CONDITIONS DETAILED, FRAME SECTION SHALL BE CONCEALED WHERE INDICATED.
- 5. PROVIDE RESILIENT NEOPRENE BLOCKS 70 TO 90 SHORE A DUROMETER HARDNESS & RESILIENT ACCESSORIES DESIGNED FOR POSITIONING GLASS IN RABBETS.
- PROVIDE CLIPS OF NON-CORROSIVE METAL WITH ROUNDED EDGES DESIGNED FOR CONTACT BLOCKS, NOT GLASS.
- PROVIDE STANDARD PREFORMED GLAZING TAPE, STANLOCKE 400, TRIMCO 440, OR APPROVED.
- 8. PROVIDE NON-SHRINKING ELASTOMERIC TAPE WHERE REQUIRED.
- USE SILICONE SEALANT DOW #795 OR GE SILPRUF, COLOR AS SPECIFIED, OR APPROVED EQUAL.
- ALL EDGES, DRILLED HOLES & NOTCHES SHALL BE FACTORY CUT AND/OR FACTORY FORMED, TOUCH-UP "RAW" EDGES TO MATCH FRAME.
- 11. INSTALL IN ACCORDANCE WITH FGMA RECOMMENDATIONS UNLESS NOTED OTHERWISE
- 12 VERIFY THAT FRAMES TO RECEIVE GLAZING ARE SQUARE & TRUE, THAT PERIMETER CLEARANCES ARE SUFFICIENT TO PREVENT "POINT LOADING", & THAT SURFACES ARE CLEAN, DPY & READY TO RECEIVE GLAZING MATERIALS. REMOVE ALL PROTECTIVE COATINGS FROM FRAMING SURFACES.
- 13. CENTER GLASS IN RABBETS & POSITION SO AS TO MAINTAIN CLEARANCES ON ALL SIDES, INDOORS & OUT, IN ACCORDANCE WITH FAMA RECOMMENDATIONS. SHIM AS REQUIRED TO POSITION AGAINST FIXED STOPS & FRAME BARS.
- 14. SET ALL EXTRUSIONS IN CORRECT LOCATIONS AS SHOWN IN THE DETAILS. THEY SHALL BE LEVEL, FLUSH, SQUARE, PLUMB & IN ALIGNMENT WITH OTHER WORK.
- UPON COMPLETION, REMOVE ALL EXCESS SEALANT & MATERIALS FROM SURFACES; WASH & CLEAN ALL GLASS FRAMING MEMBERS.

#### CEILING METAL SUSPENDED SYSTEM

#### QUALITY ASSURANCE

 USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED & EXPERIENCED IN THE NECESSARY CRAFTS & WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS ATHE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.

#### METAL CHANNELS, RUNNERS & ACCESSORIES

- FURRING CHANNELS: SHALL BE MINIMUM 25 GAUGE X 7/8" DEEP X 2-5/8" HAT SHAPED GALVANIZED STEEL CHANNELS.
- MAIN RUNNER CHANNELS: SHALL BE 1-1/2" COLD ROLLED, 16 GAUGE STEEL CHANNELS, COATED WITH A RUST INHIBITIVE PAINT.
- HANGER WIRES: SHALL BE OF SIZE/GAUGE INDICATED, DOUBLE ANNEALED & GALVANIZED, CONFORMING TO TYPE 1, FS QQ-W-461.
- SCREWS: (FOR GYPSUM WALLBOARD APPLICATION) SHALL BE TYPE S, 1-1/4", 1-5/6" 1-7/6" OR LENGTH AS REQUIRED FOR PENETRATION OF GYPSUM BOARD & CONNECTION TO SUPPORT CHANNELS, & AS RECOMMENDED BY MANUFACTURER.

#### SURFACE CONDITIONS

EXAMINE THE AREAS & CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE PERFORMED. CORRECTION CONDITIONS DETRIMENTAL TO TIMELY & PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

#### INSTALLATION

- 1. PROVIDE 1-1/2\* MAIN RUNNER CHANNELS SPACED ON 4 FOOT CENTERS & METAL FURRING CHANNELS SPACED ON NOT OVER 19° CENTERS. NEITHER MAIN RUNNERS NOR CROSS FURRING SHALL BE LET INTO NOR COME IN CONTACT WITH ABUTTING MASONRY WALLS OR PARTITIONS. LOCATE A MAIN RUNNER WITHIN 6° OF THE WALL TO SUPPORT THE KINS OF THE FURRING CHANNELS, & LOCATE HANGERS TO SUPPORT THE ENDS OF THE FURRING CHANNELS, & LOCATE HANGERS TO
- ALLOW 1" CLEARANCE BETWEEN END OF FURRING CHANNELS & ABUTTING WALLS.
  WHERE MAIN RUNNERS OR FURRING CHANNELS ARE SPLICED, OVERLAP THE ENDS
  NOT LESS THAN B" & SECURELY THE NEAR EACH END OF THE SPLICE WITH TWO (2)
  LOOPS OF 16 GAUGE GALVANIZED WIRE.
- SUSPEND MAIN RUNNERS FROM STRUCTURE ABOVE WITH ONE (1) NO. 8 GAUGE HANGER WIRE AT 46" O.C. ALONG CARRYING GHANNEL & WITHIN 6" OF FACH END. ALL WIRE HANGERS SHALL BE OF SUCH LENDTH SO THAT THE LOWER ENDS MAY BE SADDLETIED OR WRAPPED AROUND THE MAIN RUNNERS SO AS TO PREVENT TURNING OR THISTING OF THE RUNNERS.
- 4. SECURELY CLIP METAL FURRING CHANNELS AT RIGHT ANGLES TO MAIN RUNNERS, USING FURRING CHANNEL CLIPS OR SADDLETIE WITH 2 STRANDS OF 16 GAUGE TIRE WIRE. INSTALL FURRING CHANNEL CLIPS ON ALTERNATE SIDES OF THE MAIN CHANNER
- 5. AT LIGHTS OR OTHER OPENINGS THAT INTERRUPT THE MAIN RUNNER OR FURRING CHANNELS, REINFORCE GRILLAGE WITH 3/4" COLD-ROLLED CHANNELS, WITHER THED ATOP & PARALLEL TO THE MAIN RUNNER CHANNELS, PROVIDE NECESSARY REINFORCING TO MAINTAIN INTEGRITY OF CEILING & TO SUPPORT FIXTURES.
- 5. APPLY WALLBOARD WITH LONG DIMENSION AT RIGHT ANGLES TO THE FURRING CHANNELS, WITH ALL ABUTTING SENDS & EDGES OCCURRING OVER THE WEB SURFACE OF THE FURRING CHANNEL USE WALLBOARD OF MAXIMUM POSSIBLE LENGTH TO MINIMIZE END JOINTS. NEATLY FIT & STAGGER END JOINTS. INSTALL WALLBOARD WITH 1-169° SCREWS SPACED & ON CENTER IN THE FIELD OF THE BOARD, AT ALL BEARINGS, & LONG ABUTTING EDGES.

#### LEVELING

 CEILING GRID SYSTEM SHALL BE HUNG TRUE & LEVEL AT HEIGHT AS INDICATED ON DRAWINGS, SO THAT AFTER GYPSUM WALLBOARD HAS BEEN HUNG & FINISHED, IT WILL BE PERFECTLY LEVEL WITH NO SAGGING OR BOWS IN CEILING.

#### TILE - CERAMIC, QUARRY, TERRAZZO & BRICK VENEER

- INSTALL TILE IN AREAS INDICATED FROM LEASE LINE TO TRANSITION. USE ADHESIVES & APPLY ONLY AS RECOMMENDED BY MANUFACTURER & IN ACCORDANCE WITH INDUSTRY STANDARDS.
- 2. INSTALLERS MUST BE SPECIALISTS WITH A MINIMUM OF TWO (2) YEARS EXPERIENCE.
- ALL INSTALLATION SHALL CONFORM TO THE LATEST APPLICABLE TILE COUNCIL OF AMERICA & ANSI STANDARDS.
- 4. DO NOT COMMENCE INSTALLATION UNTIL SUBSTRATE HAS BEEN MADE SUITABLE FOR

#### TILE INSTALLATION

- 5. REVIEW ALL AREAS TO RECEIVE TILE FLOORING (PRIOR TO SUBMITTING ESTIMATE) TO DETER-MINE THE REQUIRED EXTENT OF SUBFLOOR PREPARATION.
- SET & GROUT TILE WHEN AMBIENT TEMPERATURE IS AT LEAST 50° & RISING. ALIGN ALL JOINTS & CORNERS.
- CLEAN CONCRETE FLOORS, REMOVING ALL FOREIGN MATTER & CONTAMINANTS SUCH AS GREASE, OIL, DUST, WATER, SURFACE DIRT, OLD SEALANTS OR GLAZING COMPOUNDS & AND PROTECTIVE COATINGS. METAL SHALL BE CLEANED BY MECHANICAL OR SOLVENT PROCEDURES.
- 8. INSTALL TILE TO CONCRETE SUBSTRATE PER TCA STANDARDS FOR GROUT, W UNIFORMLY SPACED, DUINTS, TO PATTERN INDICATED IN DRAWNINGS, VERIFY LAYOUT & CUTS WITH PROJECT MANAGER PRIOR TO COMMENCEMENT OF WORK. CUT TILE AT WAL INTERSECTIONS FOR CONCEALMENT BY BASE WHERE APPLICABLE. VARY MORTAR THICKNESS, AS NECESSARY, TO ACCOMMODATE VARIATIONS IN THE TILE THICKNESS.
- CLOSE AREAS IN WHICH TILE IS BEING PLACED TO TRAFFIC & OTHER WORK. KEEP AREA CLOSED UNTIL TILE IS FIRMLY SET. PROTECT FLOORING FROM DAMAGE. REPLACE DAMAGED TILE AT NO ADDITIONAL COST TO OWNER.
- INSTALL TILE TO ALUMINUM GLAZING CHANNEL & METAL BASE WITH DOW CORNING 795 SILICONE BUILDING SEALANT, BEADS AT 6" ON CENTER MAXIMUM.
- GROUT FLUSH WITH TILE EDGES. BUFF TILES WITH CHEESE CLOTH AFTER FINAL SPONGING.
- 12. DAMP CURE PER MORTAR & GROUT MANUFACTURER'S RECOMMENDATIONS.
- SEAL ALL GROUT JOINTS PER MANUFACTURER'S WRITTEN INSTRUCTIONS WITH SEALER AS RECOMMENDED.
- 14. REFER TO "FLOOR PREP / SETTING MATERIALS" SPECIFICATIONS FOR SPECIFIC SUB-FLOOR LEVELING MATERIALS, PRIMERS, WATERPROOFING MEMBRANE & SETTING MATERIALS, REFER TO TILE GROUT SPECIFICATIONS FOR SPECIFIC GROUT MANUFACTURER.

#### WATER PROOFING

- WATER PROOF MEMBRANE SHALL BE INSTALLED AT WALLS THROUGHOUT RESTROOM AREAS AS NEEDED.
- WATERPROOF MEMBRANE SHALL BE "MAPELASTIC T" TROWEL APPLIED, POLYMER MODIFIED, FLEXIBLE CEMENTITIOUS FIBER WATERPROOF MEMBRANE BY "MAPE". EXTEND MEMBRANE 12" UP WALL, & 12" OUT ACROSS FLOOR, AS DETAILED IN PLANS, IF NEEDED, INSTALL OVER CEMENT BACKER BOARD & CONCRETE FLOOR.

#### **DIVISION 10 - SPECIALTIES**

- TENANT'S G.C. SHALL PROVIDE ADEQUATE BACKING FOR SECURE INSTALLATION OF ACCESSORIES
- ALL ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL GOVERNING MATIONAL, STATE & LOCAL CODES PERTAINING TO HANDICAP ACCESSIBILITY.

#### **ACCESSORIES**

 REFER TO SHEET A1.1 FOR RESTROOM ACCESSORY SPECIFICATIONS, & PLUMBING DRAWINGS FOR PLUMBING FIXTURE SPECIFICATIONS.

#### INSTALLATION

- 1. DELIVER INSERTS & ROUGH-IN FRAMES TO JOBSITE AT APPROPRIATE TIME FOR
- FASTENINGS: FURNISH TOILET ACCESSORIES TO COMPLETE WITH ALL REQUIRED
  MOUNTING DEVICES, FASTENINGS & ACCESSORIES AS REQUIRED FOR A FINISHED
  INSTALLATION, PROPERTLY PACKAGED & TAGGED FOR READY IDENTIFICATION,
  FASTEN ALL ITEMS WITH SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID
  BACKING IF NO OTHER FASTENING IS SPECIFIED.
- INSTALLATION OF TOILET ACCESSORIES SHALL BE IN ACCORDANCE WITH THE DRAWINGS, REVIEWED SHOP DRAWINGS & THE MANUFACTURER'S INSTALLATIONS & RECOMMENDATIONS.
- 4. TENANT'S G.C. SHALL SUPPLY & INSTALL ADEQUATE BACKING FOR SECURE INSTALLATION OF ALL ACCESSORIES.

#### MOUNTING

LOCATIONS & HEIGHTS SHALL BE AS SHOWN ON DRAWINGS & IN CONFORMANCE WITH 'HANDICAP' ORDINANCES.

#### SIGNS

 SIGNS ARE SUPPLIED & INSTALLED BY OWNER'S SIGN CONTRACTOR. G.C. SHALL PROVIDE POWER SOURCE & REQUIRED DISCONNEOTS, TIME CLOCKS ETC. COORDINATE WITH SIGN CONTRACTOR AS REQUIRED.

#### FIRE EXTINGUISHERS (PROVIDED BY G.C.)

- EXTINGUISHERS SHALL BE 10-POUND CAPACITY, U.L. LABELS, ENAMEL, STEEL CONTAINER WITH PRESSURE INDICATING GAUGE FOR CLASS A, B, OR C FIRES.
- INSTALL ON WALL MOUNTED HOOKS AS INDICATED OR DIRECTED BY THE MARSHALL, NEATLY FITTING TO FINISH SURFACES. PLACE FULLY CHARGED EXTINGUISHERS ON HOOKS PRIOR TO OCCUPANCY.
- 3. SEE FIXTURE PLAN FOR ARCHITECTS SUGGESTED LOCATIONS.

#### AUDIO/VIDEO

- 1. ALL AUDIO & VIDEO CABLES SHALL BE RUN IN CONDUIT (UNLESS OTHERWISE NOTED).
- LEAVE ADEQUATE AMOUNT OF SLACK IN AUDIO & VIDEO CABLES FOR PROPER POSITIONING OF EQUIPMENT AFTER INSTALLATION.
- 3. EXCESS LENGTHS OF CABLE SHALL BE CONCEALED IN BRACKETS OR CEILING.

#### **DIVISION 11 - EQUIPMENT**

REFER TO FOOD SERVICE DRAWINGS FOR SPECIFICATIONS.

#### **DIVISION 12 - FURNISHINGS**

REFER TO FIXTURE PLAN FOR SPECIFICATIONS.

#### **DIVISION 13 - NOT USED**

DIVISION 14 - NOT USED

#### DIVISION 15 - MECHANICAL

REFER TO MECHANICAL DRAWINGS FOR SPECIFICATIONS.

#### SPECIFICATIONS

**DIVISION 16 - PLUMBING** 

#### DIVISION 17 - ELECTRICAL

REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.

REFER TO PLUMBING DRAWINGS FOR SPECIFICATIONS



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Project



Consultant

2	ZONING REVIEW	11-1-2019
1	CLIENT REVIEW	7-31-201
	PERMIT SET	5-7-2019
No.	Issue	Date

Seal

ZONING REVIEW

Store Number 19-107

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SPECIFICATIONS

Shoo

G1-06

12. MECHANICAL, ELECTRICAL, PLUMBING: CAREFULLY REVIEW PLANS AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PORTOET LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN.

13. SAW CUT & PATCH CONCRETE FLOOR AS REQUIRED FOR ALL SANITARY CONNECTIONS,

1 PENETRATION PLAN

4'-1"

6'-3"

0

0

DATUM LINE OF EXISTING

- INSTITUTE.
- OPERATIONS UNTIL AUTHORIZED BY THE ARCHITECT.

- AND IN SUCH MANNER THAT THE NEW WORK CAN BE PROPERLY
- FOR CONTROL OF WASTE COOLING WATER.
- 9. REPAIR, RESTORE, REPLACE OR MAKE GOOD DAMAGE TO EXISTING
- 10. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY
- LEAVE ALL SPACES BROOM CLEAN WITH ALL LEDGES AND CORNERS PROPERLY CLEANED.



**PENETRATION PLAN** 

BATTERY RACK OPENING

#### LEGEND

NEW PARTITIONS, REFER TO A2-11

EXISTING PARTITIONS & EXTERIOR WALLS

#### **BLOCKING NOTES**

PROVIDE FTWD BLOCKING (UON) AT THE FOLLOWING LOCATIONS:

- 1. ACCESSIBLITY REQUIREMENTS & GRAB BARS AT ALL RESTROOM
- 2. RESTROOM ACCESSORIES INCLUDING TOILET STALL PARTITIONS &
- 2. RESTROOM ACCESSORIES INCLUDING TOILET STALL PARTITIONS.
  BABY CHANGING TABLE
  3. MILLWORK LOCATIONS TO BE 6" STRIPS
  4. CASEWORK AS REQUIRED BY THE MFR & FOR PROPER SUPPORT
  5. MANAGER'S DESK SHELVES
  6. LOCKER
  7. HANDRAILS

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD.

## **KEYNOTES**

- # SEE DOOR SCHEDULE ON SHEET A3-01 FOR MORE INFORMATION
- \*\*X SEE PARTITION SCHEDULE ON SHEET A3-02 FOR MORE INFORMATION
- SERVICE COUNTER, SEE COUNTER DETAILS ON A3-01 FOR MORE INFORMATION.
- 2 34" HIGH ADA COUNTER
- POWER POLE FOR SERVICE COUNTER. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 4 8' RETAIL SHELVING GONDOLA
- 5 DEVICE REPAIR
- 6 40 FT RETAIL WALL SHELVING GONDOLA
- 7 9 BATTERY RETAIL SHELF
- 8 KEYFOB STATION
- 9 12'-0" WIDE SLI GRAVITY RACKS WITH 3" CLEARANCE ON BOTH SIDES
- 10 BACK OFFICE DESK
- 11 CABINET
- 12 HEAVY DUTY STORAGE SHELVING
- 13 6' X 2' PREP AREA DESK
- NEW 24"X24" MOP SINK TO REMAIN. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 15 NEW EYE WASH STATION, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 16 PALLET
- 17 NEW WATER HEATER ABOVE. SEE PLUMBING DRAWINGS AND DETAIL 1/A3-02 FOR MORE INFORMATION.
- VCT FLOORING TO EXTEND INTO THE BACKROOM FOUR FEET UNDER THE SLI GRAVITY RACK BULKHEAD.
- 19 WELDER STATION
- 20 CUSTOMER WAITING TABLE
- 21 28 FT RETAIL WALL SHELVING GONDOLA
- 22 HOSE BIB
- 23 TRENCH DRAIN, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 24 BELOW-GROUND OIL INTERCEPTOR, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 25 NEW ADA-COMPLIANT DRINKING FOUNTAIN. SEE PLUMBING DRAWNIGS FOR MORE INFORMATION AND 2/A3-01 FOR MOUNTING
- 26 NEW KNEE WALL DESK PARTITION

#### **DIMENSION NOTES**

- 1. DIMENSIONS ARE TO FACE OF EXISTING STOREFRONT FRAME. FINISHED EXTERIOR WALL & FINISHED FACE OF DEMISING WALL
- 2. ALL INTERIOR DIMENSIONS ORIGINATE FROM ESTABLISHED DATUM LINES. ESTABLISH DATUM LINES PRIOR TO LOCATING WALLS, DRAINS, FIXTURES, ETC.

#### PLAN GENERAL NOTES

- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR
- 2. ALL FIRE RATED DOORS TO BE SELF-CLOSING.
- ALL INTERIOR FINISHES TO BE CLASS A WITH FLAME SPREAD RATING OF 0-25, U.O.N.
- 4. SEE MECHANICAL DRAWINGS FOR LIGHT AND VENT SCHEDULES.
- 5. DO NOT FASTEN STUDS OR GYPSUM BD. TO TOP RUNNER OF NON-BEARING GYP.BD. PARTITIONS. CUT STUDS AND GYP.BD. 1/2\* MAX. SHORT TO ALLOW FOR VERTICAL SLAB DEFLECTION.
- 6. ALL DIMENSIONS TO BE FINISHED SURFACE UNO.
- GC TO COORDINATE ALL CEILING HEIGHTS WITH BUILDING SYSTEMS. OWNER TO APPROVE ALL CEILING HGTS. BEFORE INSTALLATION.
- 8. THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PREAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
- CONTRACTOR IS REQUIRED TO HANG THE OWNERS INTERIOR SIGN PACKAGE.
- ALL GLAZED DOORS, ANY GLAZED PANEL ADJACENT TO ANY DOOR & ANY GLAZED PANEL WHICH MEETS ALL OF THE FOLLOWING CONDITIONS:
  - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.
  - EXPOSED MORE OF ANY INDIVIDUAL PAIR CHEATER THAN 3.5.4. F.F. EXPOSED TOP EDGE GREATER THAN 36" A.F.F. ONE OR MORE WALKING SURFACE(S) WITHIN 35" HORIZONTALLY
  - OF THE PLANE OF THE GLAZING, SHALL ALL BE TEMPERED

Batteries

Municipal Approval Stamps

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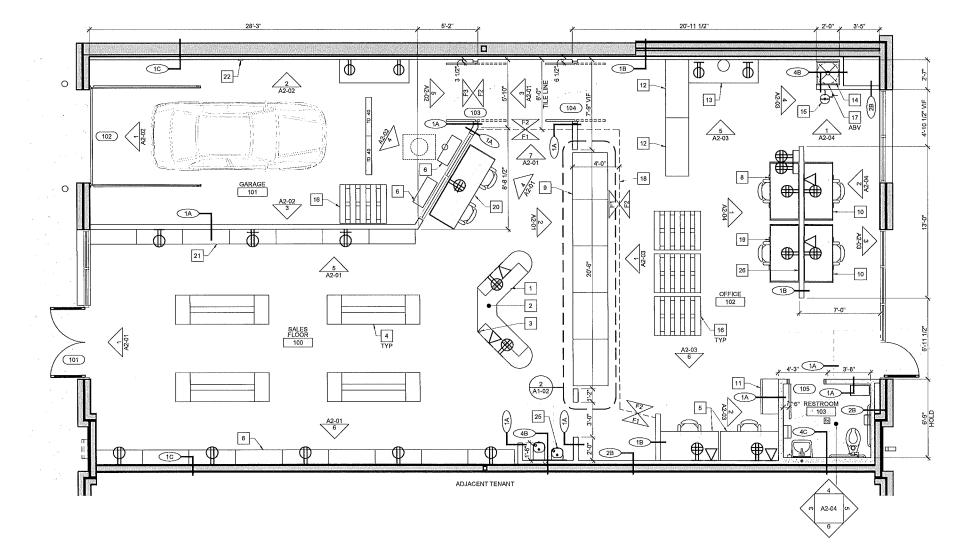
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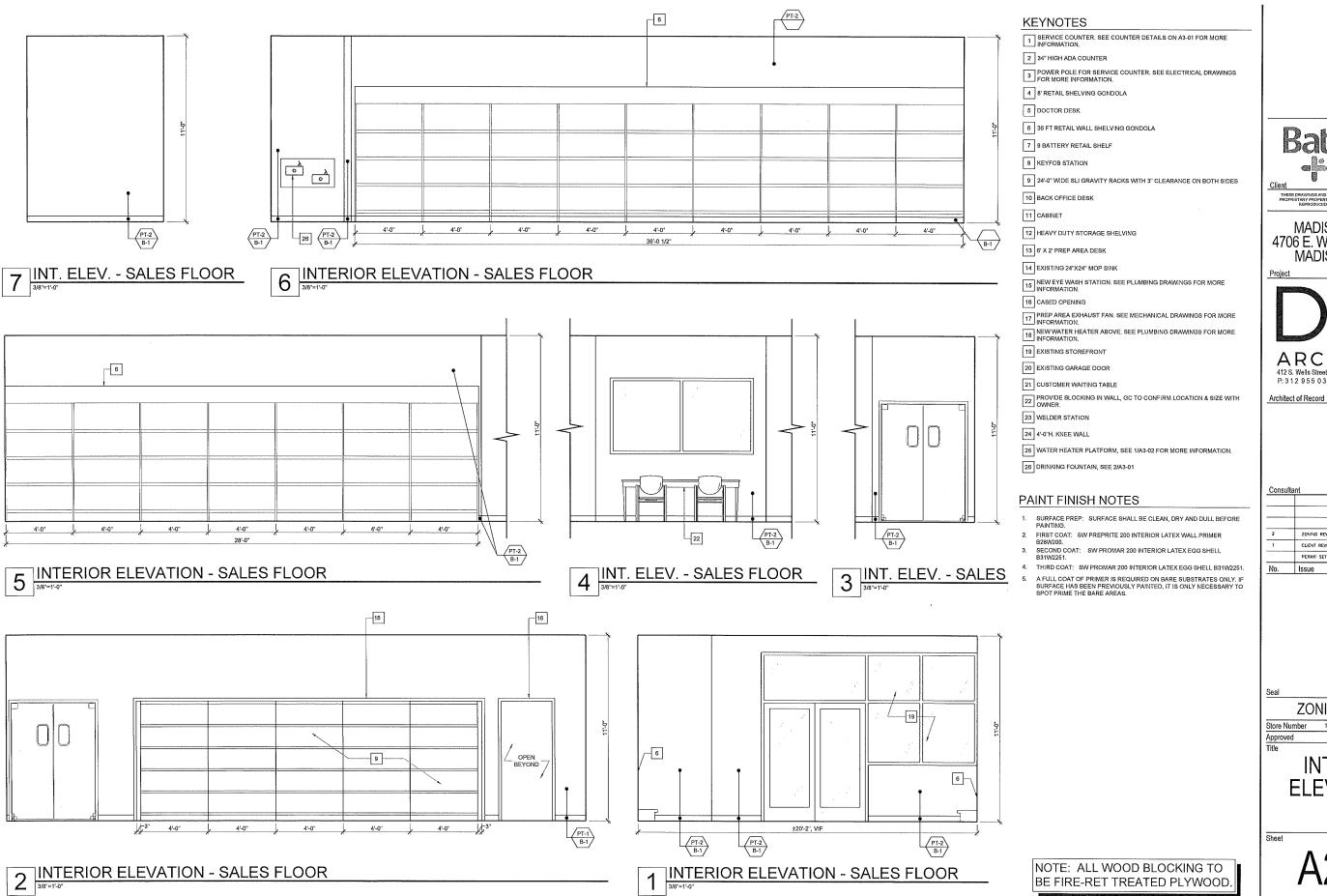
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**FLOOR PLAN** 

A1-02







Batteries - F Bulbs

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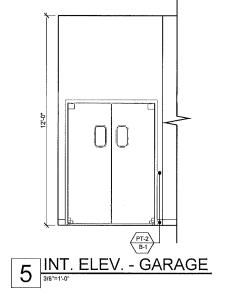
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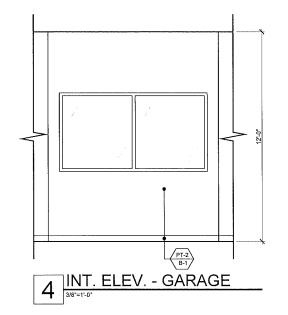
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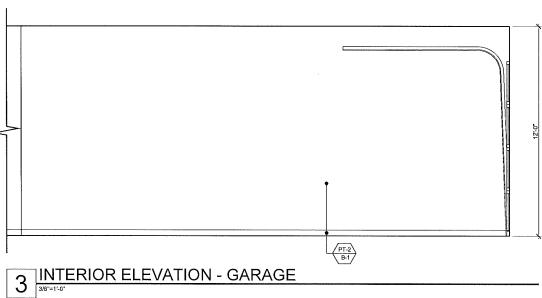
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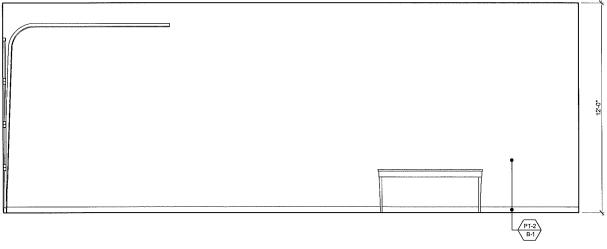
**INTERIOR ELEVATIONS** 

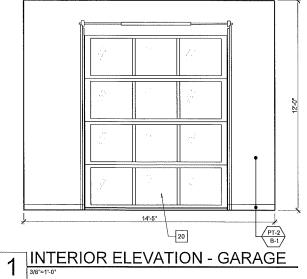
A2-01











KEYNOTES

1 SERVICE COUNTER. SEE COUNTER DETAILS ON A3-01 FOR MORE INFORMATION.

2 34" HIGH ADA COUNTER

3 POWER POLE FOR SERVICE COUNTER, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.

4 8' RETAIL SHELVING GONDOLA

5 DOCTOR DESK

6 36 FT RETAIL WALL SHELVING GONDOLA

7 9 BATTERY RETAIL SHELF

8 KEYFOB STATION

9 24'-0" WIDE SLI GRAVITY RACKS WITH 3" CLEARANCE ON BOTH SIDES

10 BACK OFFICE DESK

11 CABINET

12 HEAVY DUTY STORAGE SHELVING

13 6' X 2' PREP AREA DESK

14 EXISTING 24"X24" MOP SINK

15 NEW EYE WASH STATION. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.

16 CASED OPENING

17 PREP AREA EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

18 NEW WATER HEATER ABOVE. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.

19 EXISTING STOREFRONT

20 EXISTING GARAGE DOOR

21 CUSTOMER WAITING TABLE

PROVIDE BLOCKING IN WALL, GC TO CONFIRM LOCATION & SIZE WITH OWNER.

23 WELDER STATION

24 4'-0"H. KNEE WALL

25 WATER HEATER PLATFORM, SEE 1/A3-02 FOR MORE INFORMATION.

26 DRINKING FOUNTAIN, SEE 2/A3-01

#### PAINT FINISH NOTES

SURFACE PREP: SURFACE SHALL BE CLEAN, DRY AND DULL BEFORE PAINTING.

FIRST COAT: SW PREPRITE 200 INTERIOR LATEX WALL PRIMER B28W200.

SECOND COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2251.

4. THIRD COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2251.

A FULL COAT OF PRIMER IS REQUIRED ON BARE SUBSTRATES ONLY, IF SURFACE HAS BEEN PREVIOUSLY PAINTED, IT IS ONLY NECESSARY TO SPOT PRIME THE BARE AREAS.

Batteries Bulbs

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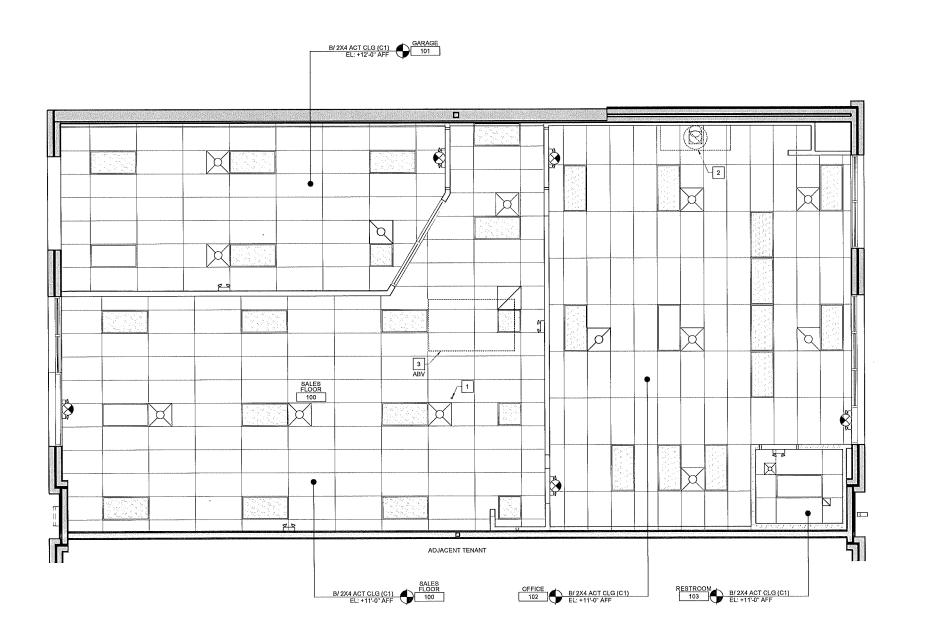
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**INTERIOR ELEVATIONS** 

A2-02

2 INTERIOR ELEVATION - GARAGE

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD





LEGEND

**≈**Ø3

**KEYNOTES** 

NEW PARTITIONS, REFER TO A2-11

EXISTING PARTITIONS & EXTERIOR WALLS

EXIT / EMERGENCY LIGHT

# SEE DOOR SCHEDULE ON SHEET A9-01 FOR MORE INFORMATION \*\*X SEE PARTITION SCHEDULE ON SHEETS A6-30 & A6-31 FOR MORE INFORMATION 1 POWER POLE FOR SERVICE COUNTER, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION. PREP AREA EXHAUST FAN, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION. 3 EXISTING RTU ABOVE, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

EMERGENCY LIGHT - SEE LIGHTING FIXTURE SCHEDULE

EXIT SIGN/EMERGENCY LIGHT - SEE LIGHTING FIXTURE SCHEDULE  $\otimes$ 

2X4 LED FIXTURES SUPPLIED BY BATTERIES PLUS, LLC

2X2 ACT CEILING

SUPPLY AIR DIFFUSER - SEE MECHANICAL PLANS FOR MORE INFORMATION

RETURN AIR GRILLE - SEE MECHANICAL PLANS FOR MORE INFORMATION

#### DIMENSION NOTES

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#### PLAN GENERAL NOTES

- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- 2. ALL FIRE RATED DOORS TO BE SELF-CLOSING.
- ALL INTERIOR FINISHES TO BE CLASS A WITH FLAME SPREAD RATING OF 0-25, U.O.N.
- 4. SEE MECHANICAL DRAWINGS FOR LIGHT AND VENT SCHEDULES.
- DO NOT FASTEN STUDS OR GYPSUM BD. TO TOP RUNNER OF NON-BEARING GYP.BD. PARTITIONS. CUT STUDS AND GYP.BD. 1/2" MAX. SHORT TO ALLOW FOR VERTICAL SLAB DEFLECTION.
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- 8. THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
- CONTRACTOR IS REQUIRED TO HANG THE OWNERS INTERIOR SIGN PACKAGE,
- 10. ALL GLAZED DOORS, ANY GLAZED PANEL ADJACENT TO ANY DOOR & ANY GLAZED PANEL WHICH MEETS ALL OF THE FOLLOWING CONDITIONS:

REFLECTED CEILING PLAN

1/4" = 1'-0"

EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F. EXPOSED BOTTOM EDGE LESS THAN 18" A.F.F. EXPOSED TOP EDGE GREATER THAN 36" A.F.F. ONE OR MORE WALKING SURFACE(S) WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING, SHALL ALL BE TEMPERED.

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD



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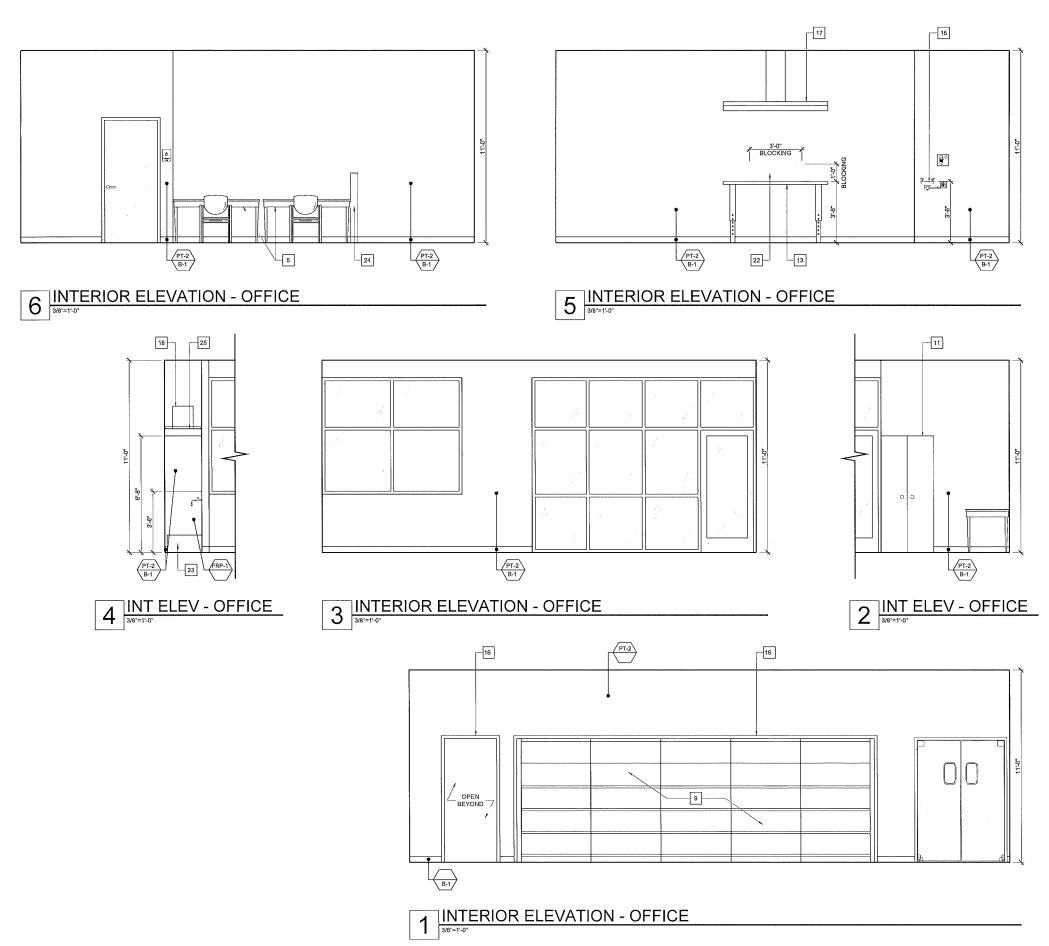
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**REFLECTED CEILING** PLAN

Sheet

A1-03



**KEYNOTES** 

1 SERVICE COUNTER, SEE COUNTER DETAILS ON A3-01 FOR MORE INFORMATION.

2 34" HIGH ADA COUNTER

POWER POLE FOR SERVICE COUNTER, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.

4 8' RETAIL SHELVING GONDOLA

5 DOCTOR DESK

6 36 FT RETAIL WALL SHELVING GONDOLA

7 9 BATTERY RETAIL SHELF

8 KEYFOB STATION

9 24'-0" WIDE SLI GRAVITY RACKS WITH 3" CLEARANCE ON BOTH SIDES

10 BACK OFFICE DESK

11 CABINET

12 HEAVY DUTY STORAGE SHELVING

13 6' X 2' PREP AREA DESK

14 EXISTING 24"X24" MOP SINK

15 NEW EYE WASH STATION. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.

16 CASED OPENING

17 PREP AREA EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

18 NEW WATER HEATER ABOVE, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.

Information.

19 Existing Storefront

20 EXISTING GARAGE DOOR

21 CUSTOMER WAITING TABLE

PROVIDE BLOCKING IN WALL, GC TO CONFIRM LOCATION & SIZE WITH OWNER.

23 WELDER STATION

24 4'-0"H, KNEE WALL

25 WATER HEATER PLATFORM, SEE 1/A3-02 FOR MORE INFORMATION.

26 DRINKING FOUNTAIN, SEE 2/A3-01

### PAINT FINISH NOTES

 SURFACE PREP: SURFACE SHALL BE CLEAN, DRY AND DULL BEFORE PAINTING.

 FIRST COAT: SW PREPRITE 200 INTERIOR LATEX WALL PRIMER B28W200.

3. SECOND COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2251.

HIRD COAT: SW PROMAR 200 INTERIOR LATEX EGG SHELL B31W2261.

 A FULL COAT OF PRIMER IS REQUIRED ON BARE SUBSTRATES ONLY. IF SURFACE HAS BEEN PREVIOUSLY PAINTED, IT IS ONLY NECESSARY TO SPOT PRIME THE BARE AREAS.

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD

Batteries - # Bulbs

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Architect of Record

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ZONING REVIEW

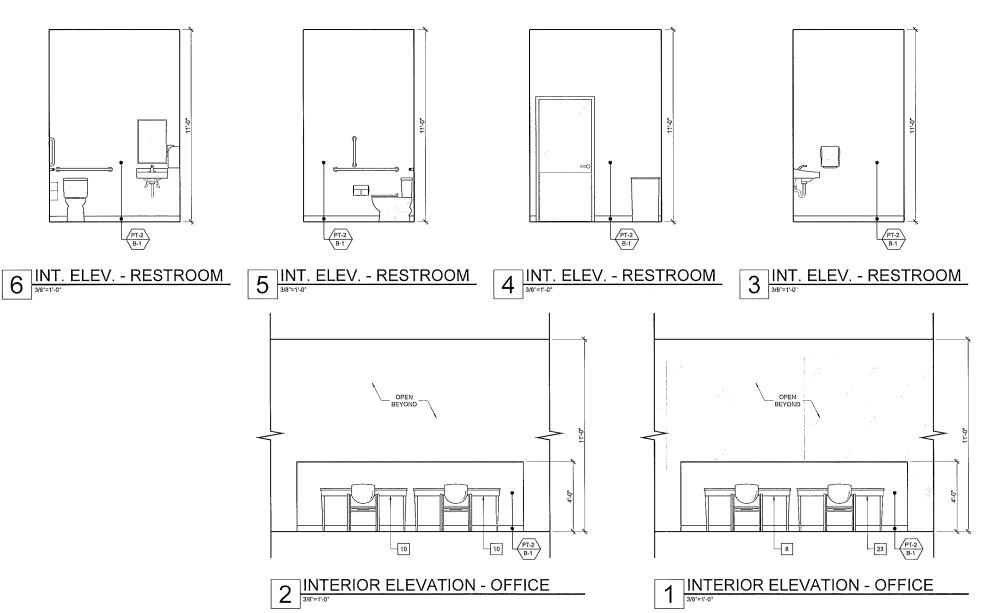
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INTERIOR ELEVATIONS

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A2-03



#### KEYNOTES

- 1 SERVICE COUNTER. SEE COUNTER DETAILS ON A3-01 FOR MORE INFORMATION.
- 2 34" HIGH ADA COUNTER
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- 4 8' RETAIL SHELVING GONDOLA
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- 19 EXISTING STOREFRONT
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- 26 DRINKING FOUNTAIN, SEE 2/A3-01

# PAINT FINISH NOTES

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INTERIOR ELEVATIONS

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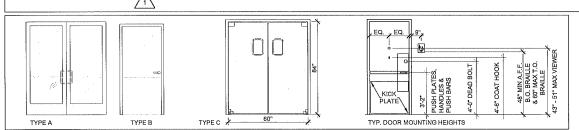
A2-04

NOTE: ALL WOOD BLOCKING TO BE FIRE-RET TREATED PLYWOOD.

#### DOOR SCHEDULE

2007.007.12022							
MARK	DESCRIPTION	TYPE	REMARKS	FINISH	HARDWARE & ACCESSORIES		
101	ENTRY & EXIT	А	EXISTING 6'-0" x 7'-0" STOREFRONT DOOR TO REMAIN	PUSH: EXISTING PULL: EXISTING	SCHALGE IC PRIMUS LARGE FORMAT CORES, CORES AND KEYS WILL BE PROVIDED BY TENANT, DOOR TO HAVE THE VERBIAGE ATTACHED MEETING SECTION 1010.1 9.3 #2.1-2.2. DOOR SHALL NOT HAVE ANY LOCKS OR LATCH DEVICES ATTACHED THAT CAN NOT BE OVERRIDDEN UPON EGRESS.		
102	GARAGE	D	EXISTING OVERHEAD DOOR	EXISTING	EXISTING		
103	GARAGE / SALES FLOOR	С	ELIASON - LWP-3L DOOR (DOUBLE LEAF) EASY SWING HIGH IMPACT DOUBLE ACTION TRAFFIC DOORS. SALES DEPARTMENT 800-828-3655 (2-3 WEEK PRODUCTION LEAD TIME)	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	AS FURNISHED BY ELIASON ALL HARDWARE AND ACCESSORIES STAINLESS STEEL DOOR FRAME PROVIDED BY ELIASON		
104	SALES FLOOR / BACKROOM	С	ELIASON - LWP-3L DOOR (DOUBLE LEAF) EASY SWING HIGH IMPACT DOUBLE ACTION TRAFFIC DOORS. SALES DEPARTMENT 800-828-3655 (2-3 WEEK PRODUCTION LEAD TIME)	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	AS FURNISHED BY ELIASON ALL HARDWARE AND ACCESSORIES STAINLESS STEEL DOOR FRAME PROVIDED BY ELIASON		
105	RESTROOM	В	0'-1 3/4" X 3'-0" X 7'-0" HOLLOW METAL DOOR, 2" HOLLOW METAL FRAME	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	SCHLAGE, ND SERIES, RHODES (RHO), BATH/BEDROOM PRIVACY LOCK (ND40S), 628 SATIN CHROMIUM PLATED, 1 1/2 PAIR BUTT HINGES, LCN 4000 SERIES ADA COMPLIANT HEAVY DUTY CLOSER 34" X 34" DIAMOND PLATE KICK PLATE (BOTH SIDES), FLOOR STOF		
106	REAR HALL	В	0'-1 3/4" X 3'-0" X 7'-0" HOLLOW METAL DOOR, 2" HOLLOW METAL FRAME	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	SCHALGE IC PRIMUS LARGE FORMAT CORES, CORES AND KEYS WILL BE PROVIDED BY TENANT. PANIC BAR: DETEX MODEL V40, 711 FINISH, V.I.F. DOOR WIDTH, 08-8N-689 OUTSIDE LEVER TRIM, US26D CYLINDER, 34" X 34" DIAMOND PLATE KICK PLATE (BOTH SIDES), CLOSER, SELF-CLOSING, SWEEP, IVES U698-180 PEEP HOLE & BUZZER.		
107	DISPLAY	В	0'-1 3/4" X 3'-0" X 7'-0" HOLLOW METAL DOOR, 2" HOLLOW METAL FRAME	PUSH: SST DOOR & FRAME PULL: SST DOOR & FRAME	SCHALGE IC PRIMUS LARGE FORMAT CORES, CORES AND KEYS WILL BE PROVIDED BY TENANT		
108	REAR ENTRY & EXIT	В	EXISTING 3'-0" x 7'-0" DOOR TO REMAIN	PUSH: EXISTING PULL: EXISTING	SCHALGE IC PRIMUS LARGE FORMAT CORES. CORES AND KEYS WILL BE PROVIDED BY TENANT. PANIC BAR: DETEX MODEL V40, 711 FINISH, V.I.F. DOOR WIDTH, 08-8N-689 OUTSIDE LEVER TRIM, US26D CYLINDER, 34" X 34" DIAMOND PLATE KICK PLATE (INTERIOR SIDE), CLOSER, SELF-CLOSING, SWEEP, IVES U698-180 PEEP HOLE & BUZZER.		

NOTE:
- ALL DOOR HARDWARE AND ACCESSORIES FINISHES SHALL MATCH EXISTING U.N.O.
- ALL HINGES TO BE BEARING TYPE. ALL HARDWARE TO BE LEVERS, HAVING AN OBVIOUS METHOD OF OPERATION UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM SHALL OPEN THE DOOR WITH NOT MORE THAN ONE RELEASING OPERATION, PER NEPA 101 7.2.1.5.9.2.
- ANY DOOR IN A PEQUIRED MEANS OF GERESS FROM AN AREA HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE PERMITTED TO BE PROVIDED WITH A LATCH OR LOCK ONLY IF THE LATCH OR LOCK IS PANIC HARDWARE OR FIRE EXIT HARDWARE PER NEPA 101 12.2.2.3. PANIC HARDWARE SHALL CONTAIN A MINIMUM OF TWO (2) LOCKING POINTS ON EACH DOOR, ON SINGLE DOORS, PANIC HARDWARE MAY HAVE ONLE LOCKING POINT WHICH IN NOT LOCKED A TEITHER THE TOP OR BOTTOM RAILS OF THE DOOR, PANIC HARDWARE MAY HAVE ONLE LOCKING POINT WHICH IN NOT LOCKED A TEITHER THE TOP OR BOTTOM RAILS OF THE DOOR OF THE DOOR. THE ASTRAGAL SHALL BE ATTACHED DOWNED OF THE DOOR. THE ASTRAGAL SHALL BE ATTACHED DOWNED OF THE DOOR OF THE

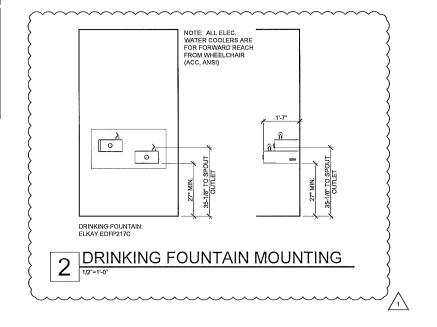


DOOR AND FINISH SCHEDULES

PAINT SCHEDULE

FINISH	DESCRIPTION	FINISH NO.	MFR	MFR NO.	COLOR	FINISH	REMARKS
PAINT	BACK AND FRONT WALLS (SALES FLOOR)	PT-1	SHERWIN WILLIAMS	SW 7019	GAUNTLET GRAY	EGG SHELL	FIRST COAT: SW PREPRITE 200 INTERIOR LATEX WALL PRIMER 826W200. SECOND COAT: SW 7019 SEMI-GLOSS
PAINT	LEFT AND RIGHT WALLS (SALES FLOOR) BACK ROOM WALLS	PT-2	SHERWIN WILLIAMS	SW7015	REPOSE GRAY	EGG SHELL	ALL SIDE WALLS AND BACKROOM

				FINISH SCHEDU	LE		
FINISH	DESCRIPTION	FINISH NO.	MFR	MFR NO.	COLOR	TYPE	REMARKS
BASE	COVE VINYL	B-1	ARMSTRONG	TBD	BLACK	COVE	SALES FLOOR - BACKROOM
CEILING	CEILING TILE	C-1	ARMSTRONG	CORTEGA SECOND LOOK II	WHITE	REC. LAY-IN 2' x 4' x 1/4"	PRELUDE ML <sup>1</sup> / <sub>4</sub> ° EXPOSED TEE, 7301 & ML7323 (WHITE), SALES FLOOR - BACKROOM
FLOOR	CERAMIC TILE	F-1	FLOOR & DECOR	RONNE GRIS WOOD PLANK CERAMIC TILE	GRAY	8" x 24"	LAID IN 1/3 BRICK (CAVENDISH) PATTERN, RUNNING PARALLEL TO SIDE WALLS. CERAMIC TILE SHOULD EXTEND INTO THE BACKROOM 4 FEET UNDER THE SLI GRAVITY RACK BULKHEAD FOR THE 3FT DEEP RACK.
	EXISTING POLISHED CONCRETE	F-2					THE BACKROOM AREA IS VOID OF FLOOR COVERINGS AND BOUND WITH STANDARD CONCRETE SEALER BACKROOM SEALER PRODUCT OPTIONS:  - H&C SEALER #107-1547, SHERWIN WILLIAMS SEAL KRETE #151-1625
	EPOXY FLOORING	F-3	ARMOR GARAGE	•	LIGHT GRAY		
WALLS	EXISTING 4 PERIMETER WALLS	W-1					TENANT PATCH AND PAINT AREA
	WALL BETWEEN SALES FLOOR AND BACKROOM	W-2					SEE PARTITION SCHEDULE
	EXISTING TO REMAIN	W-3	•	•	•		RESTROOM
	rnn	500.4		*			AT MOP SINK UP TO 42° A.F.F.



Municipal Approval Stamps

Batteries

MADISON EAST, WI 4706 E. WASHINGTON AVE MADISON, WI 53704



Architect of Record

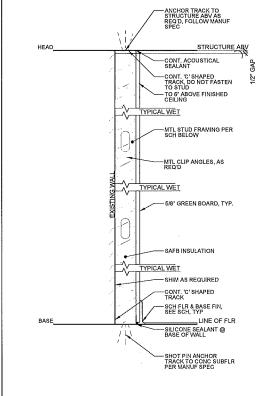
Consu	ltant	
2	ZONING REVIEW	11-1-2019
1	CUENT REVIEW	7-31-2019
	PERMIT SET	6-7-2019
No.	Issue	Date

**ZONING REVIEW** 

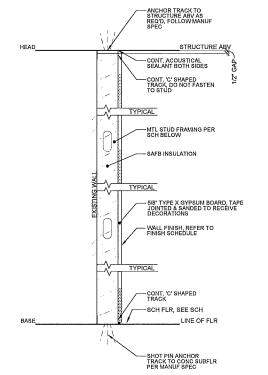
Store Number 19-107

Approved

SCHEDULES & COUNTER DETAILS

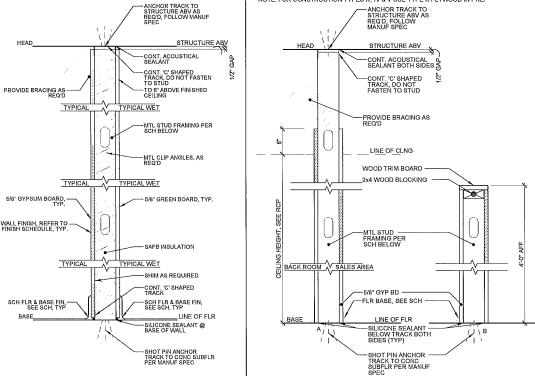


| PARTITION: 3 (TYPICAL / TYPICAL WET) | TYPE | STUD | STUD | FIRE | INSLUATION | STUD | WALL | STC | STUD | SIZE | SPACING | RATING | THICKNESS | GAUGE | THICKNESS | RATING | A 3-5/8" | 16" OC | N/A 3-1/2" | 20 | 5" NOM | N/A | B | 6" | 16" OC | N/A | 6" | 20 | 7-1/4" | N/A | OC | D | D | OC | N/A | STUD | CONTROL | CONTROL



P	PARTITION: 4 (TYPICAL / TYPICAL WET)				F	PART	TITION	l: 2 (T	YPICAL	/EXI	ST WAL	.L)			
TYPE	STUD	STUD SPACING	FIRE RATING	INSLUATION THICKNESS	STUD	WALL	STC RATING	TYPE	STUD	STUD SPACING	FIRE RATING	INSLUATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A B C	2-1/2" 3-5/8"	16" OC 16" OC 16" OC	N/A N/A N/A	2" 3-1/2" 6"	20 20 20	3-1/8" 4-1/4" 6-5/8"	N/A N/A N/A	A B C	2-1/2" 3-5/8"	16" OC 16" OC	N/A N/A N/A	2" 3-1/2" 6"	20 20 20	3-1/8" 4-1/4" 6-5/8"	N/A N/A N/A
Ď	1-5/8"	16" OC	N/A	N/A	20	2-1/4"	N/A	D	E. 505.4			0.4.4.11.1105.55	T DI 104/00		
	ANCHOR TRACK TO STRUCTURE ABV AS REO'D, FOLLOW MANUF SPEC								S I & II USE FR' S III, IV & V US! — ANCHOR TR STRUCTUR! REQ'D, FOLL MANUF SPE	ETYPEXF ACK TO ABV AS LOW		₹EP			
	HEAL	)			CONT. AC	STRUCTURI OUSTICAL	E ABV			HEAD \		STRUCTUR	4	Ĵ	

PARTITION: 1 (SALES/ BACK ROOM)



## **GENERAL PARTITION NOTES**

GEOMETRY - VERIFY EXISTING CONDITIONS IN FIELD.

- PARTITIONS ARE INDICATED ON FLOOR PLANS BY GRAPHIC DESIGNATION AND/OR TYPE SYMBOL REFER TO PARTITION LEGEND.
- 2. LINE OF STRUCTURE INDICATED FOR EACH PARTITION IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS OR
- 3. DO NOT FASTEN PARTITION STUDS AND GYPSUM BOARD TO METAL CEILING RUNNER. TO ALLOW FOR STRUCTURAL DEFLECTION.
- 4 PROVIDE BRACING WHERE PARTITION HEIGHT EXCEEDS MANUFACTURER'S ALLOWABLE HEIGHT. DO NOT BRACE TO DUCTWORK OR OTHER SUCH COMPONENTS VERIFY ALLOWABLE HEIGHT PSF
- 5. THE FIRE RATINGS AND STC RATINGS NOTED FOR THE GYPSUM BOARD PARTITION ASSEMBLIES SHOWN ARE COPIED AND TRANSCRIBED HERE FOR CONVENIENCE ONLY FROM THE UNDERWRITERS LABORATORY DIRECTORY AND THE UNITED STATES GYPSUM CATALOG.
- 6. WALL ASSEMBLIES AND PARTITIONS THAT RECEIVE FIRE RESISTIVE RATINGS SHALL BE CONSTRUCTED PER TESTED ASSEMBLIES.
  MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL GOVERNING AUTHORITIES.
- 7. PENETRATIONS OR PRODUCTS FOR USE IN SPECIFIC FIRE RATED PARTITION ASSEMBLIES SHALL BE BASED ON SUCCESSFUL PERFORMANCE IN FIRE TESTS. THESE PENETRATIONS MAY INCLUDE BUT ARE NOT LIMITED TO ITEMS SUCH AS PIPING, CONDUIT, OR HVAC
- 8. EACH PARTITION SHOWN ON THE DRAWINGS TO BE A FIRE AND/OR SMOKE RESISTANT PARTITION SHALL BE IDENTIFIED AS SUCH WITH A LABEL ABOVE THE CEILING ON EACH SEGMENT OF THE WALL 850" O C 9. FIRE AND/OR SMOKE RESISTANT RATINGS ARE TO CONTINUE ABOVE ALL OPENINGS IN RATED PARTITIONS.
- 10. ELECTRICAL RECEPTACLES SHALL NOT BE LOCATED IN FIRE RATED PARTITIONS IN EXCESS OF TWO HOURS.
- 11. THE SURFACE AREA OF INDIVIDUAL METALLIC OUTLET OR SWITCH BOXES SHALL NOT EXCEED 16 SQ. IN. THE AGGREGATE SURFACE AREA OF BOXES SHALL NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AREA A HORIZONTAL DISTANCE OF 24 IN SHALL SEPARATE BOXES LOCATED ON OPPOSITE SIDES OF PARTITIONS.
- 12. BOXES LOCATED IN CORRIDOR AND UNIT DEMISING PARTITIONS SHALL BE TREATED WITH ACOUSTICAL SEALANT AROUND PERIMETER AND BEHIND EACH BOX (FULL CLOSURE BED). IN ADDITION, OUTLET AND JUNCTION BOXES SHALL BE SEPARATED BY INSTALLING A METAL STUD BETWEEN THEM IN THE PARTITION.
- 13. COMPLETELY SEAL WITH CONTINUOUS ACOUSTICAL SEALANT AL PARTITION HEADS, BASES, AND ENDS, PLUS SEAL ALL PENETRATIONS. INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL AND
- 14. SOUND ATTENUATION BLANKETS ARE TO BE INSTALLED IN ALL PARTITIONS SEPARATING PUBLIC FROM PRIVATE AREAS AND WHERE NOISE CAN BE TRANSMITTED (RESTROOMS) EXTEND BLANKETS FULL HEIGHT OF PARTITION UP TO BOTTOM OF STRUCTURE, INSTALLED IN TIGHT, COMPRESSION FIT TO STUDS, STRUCTURE AND ADJACENT SURFACES.
- 15. FINAL LOCATION AND PLACEMENT OF MEPEP ITEMS (BOTH HORIZONTAL AND VERTICAL) SHALL BE COORDINATED SUCH THAT THEY DO NOT TOUCH STUD PARTITION ASSEMBLIES AND CREATE AN ACQUISTICAL. PROBLEM SUCH AS VIBRATION, IMPACT NOISE, ETC.
- 16. PROVIDE FIRE RETARDANT WOOD BLOCKING IN METAL STUD PARTITIONS I. PROVIDE FIRE RELIARDANI WOOD BLOCKING IS ME LALS I UD PARTITIONS AS REQUIRED FOR SUPPORT AND/OR (NISTALLATION OF DOOR FRAMES, MOLDINGS, MILLWORK, WALL PANELS, HANDRAILS, GRAB BARS, AND/OR PARTITIONS WHICH CONTAIN PLUMBING FIXTURES (SUCH AS WET WALLS AND WALLS ADJACENT TO AND BEHIND PLUMBING FIXTURES) U.N.O.
- 19. CEMENTITIOUS BACKER BOARD SHALL BE USED AT PARTITIONS WHICH CONTAIN BATHROOM OR KITCHEN PLUMBING FIXTURES U.N.O.
- 20. USE GALVANIZED METAL CORNER BEADS AND EDGE TRIMS (OR SCREEDS AS REQUIRED) IN ALL EXPOSED WORK, POSITIVELY ATTACHED
- 21. TAPE AND APPLY JOINT COMPOUND TO ALL INTERIOR CORNERS AND MOVEMENT CONTROL JOINTS IN GYPSUM BOARD PARTITIONS U.N.O.
- 22. PROVIDE VERTICAL CONTROL JOINTS FOR ANY UNINTERRUPTED PARTITION LENGTH AT 30'-0" O.C. IN THE HORIZONTAL DIRECTION WHERE INDICATED OR AS REQUIRED. VERIFY LOCATIONS WITH ARCHITECT BEFORE INSTALLATION.
- 23 ALL PLUMBING MECHANICAL AND ELECTRICAL WORK WITHIN PUBLIC SPACES IS TO BE CONCEALED BY PAINTED SUSPENDED GYPSUM BOARD SOFFITS AND CEILINGS, COORDINATE LOCATIONS WITH MEPFP
- 24. PROVIDE CONTINUOUS GYPSUM BOARD CANTS OF 75 DEGREES WITH 4" 20 GA CALVANIZED SHEET METAL STRAPS 4"-0" O.C. IN ELEVATOR SHAFTS MORE THAN 2".
- 25. ALL MASONRY PARTITIONS THAT EXTEND BETWEEN STRUCTURAL CONCRETE COLUMNS AND/OR SHEAR WALLS SHALL HAVE VERTICAL SEALANT JOINTS BETWEEN CONCRETE AND MASONRY
- 26. ALL FIRESAFED MASONRY PARTITIONS SHALL HAVE CONTINUOUS FIRESAFING OF DENSITY AS SPECIFIED, PROVIDE CONTINUOUS JOINT FILLER AND ELASTOMERIC SEALANT AT THE TOP OF THE WALL AND UNDERSIDE OF STRUCTURE.
- 27. INTERSECTIONS OF MASONRY PARTITIONS SHALL BE CONSTRUCTED BY INTERLOCKING ALTERNATE COURSES OF MASONRY AND INSTALLING METAL TIES, RIGID ANCHORS, OR PREFABRICATED JOINT
- 28. COORDINATE LOCATIONS OF ALL OPENINGS REQUIRED IN MASONRY PARTITIONS WITH ARCHITECTURAL STRUCTURAL AND MED DRAWINGS REFER TO STRUCTURAL DRAWINGS FOR LINTEL SCHEDULE AND
- 29. SEE FINISH PLAN FOR WATERPROOFING REQUIREMENTS



MADISON EAST, WI 4706 E. WASHINGTON AVE MADISON, WI 53704

Project



Architect of Record

Consu	ltant	
2	ZONING REVIEW	11-1-2019
1	CUENT REVIEW	7-31-2019
	PERMIT SET	6-7-2019
No.	Issue	Date

**ZONING REVIEW** 

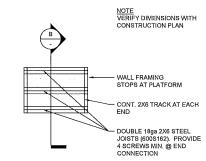
Store Number 19-107 Approved

**PARTITION** 

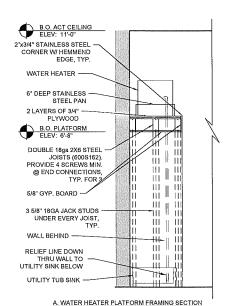
**SCHEDULES** & DETAILS

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A3-02



#### B. WATER HEATER PLATFORM FRAMING PLAN



WATER HEATER PLATFORM

# **MULTI-TENANT BUILDING**

# 4706 E. WASHINGTON AVE. MADISON, WI 53704

#### **PROJECT DATA**

REGULATING MUNICIPALITIES:

CITY OF MADISON DANE COUNTY STATE OF WISCONSIN

BUILDING CODE:
CITY OF MADISON ZONING ORDINANCES
WISCONSIN ADMINISTRATIVE CODE
2015 INTERNATIONAL BUILDING CODE
ACCESSIBLITY ANSI A17.1 - 2009

PROJECT DESCRIPTION:
MULTI-TENANT COMMERCIAL BUILDING, SINGLE STORY

CONSTRUCTION TYPE: TYPE VB

REA & REIGHT: HEIGHT (IBC TABLE 504.3) = 40 FEET ABOVE GRADE PLANE # STORIES (IBC TABLE 504.4) = 1 STORY AREA (IBC TABLE 506.2) = 9,000 SF / FLOOR

BUILDING AREA & HEIGHT: HEIGHT = 22 FEET 6 INCHES ABOVE GRADE PLANE # STORIES = 1 STORIES TOTAL AREA = 5,500 SF

NUMBER OF OCCUPANTS: (TABLE 1004.1.2) M OCCUPANCY:

M OCCUPANCY = 5,500 SF/ 60 SF = 92 OCC

PARKING REQUIREMENTS:

1 STALLS / 400 SF/ OCCUPANTS ≈ 14 STALLS
1 VAN ACCESSIBLE STALLS REQUIRED
1 ADA STALLS REQUIRED
CROSS-PARKED WITH ADJACENT PROPERTY

ALL FIXTURES TO COMPLY WITH ICC A117.1

NON-SPRINKLERED PORTABLE FIRE EXTINGUISHERS (IBC SECTION 906) MAX DISTANCE = 75 FEET

A-2 / B = 2 HR SEPARATION 2 HR SEPARATION AT BOTH DEMISING WALLS

EXIT TRAVEL DISTANCE:

TWO EXISTS FROM BUILDING REQUIRED, TWO PROVIDED FROM EACH TENANT

Y:
ALL FLOORS SHALL BE ACCESSIBLE IF GREATER THAN 1,500 SF
ALL EXITS SHALL BE ACCESSIBLE
FOLLOW IBC AND ANSI 117

#### **GENERAL PROJECT NOTES:**

2. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERING ANY DISCREPANCIES OR CONFLICTING INFORMATION IN THESE DOCUMENTS. CONTRACTOR SHALL CAREFULLY REVIEW AND COMPARE ALL DRAWINGS DURING THE BIDDING PERIOD AND BEFORE INSTALLATION OF THEIR WORK ANY INCONSISTENCIES IN THE DRAWINGS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT AND ENGINEERING FOR CLARIFICATION.

3. DO NOT SCALE DRAWINGS. THE DRAWINGS ARE NOT NECESSARILY TO SCALE - USE GIVEN DIMENSIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

4. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED EXISTING SITE CONDITIONS AFFECTING THE EXECUTION OF THESE DOCUMENTS (SUCH AS HAZARDOUS MATERIALS, ETC.).

5. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS GOVERNING THIS PROJECT.

6. JOB SITE SHALL BE BROOM SWEPT AND CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE PICKED UP AND DISPOSED OF PROPERLY INTO APPROVED CONTAINER.

MAINTAIN DESIGNATED EGRESS ROUTES DURING CONSTRUCTION BY KEEPING CLEAR OF CONSTRUCTION DEBRIS AND CLEARLY MARKING THE PATH OF EGRESS TRAVEL.

8. ALL MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING ("MEP") DESISM AMD CONSTRUCTION TO BE BY A DESISM-BUILD DELIVERY Y. METHOD AND ARE SUBSECUENTLY NOT PART OF THESE DOCUMENT. IT IS THE MEP CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND WITH THESE DRAWINGS THE FINAL DESISM, RETROFIT AND INSTALLATION OF THESE SYSTEMS. NOTIFY THE ARCHITECT PRIOR TO MAKING ANY REVISIONS TO THE STRUCTURE OR ARCHITECTURAL FEATURES.

9. ELECTRICIAN TO VERIFY NEW LIGHT FIXTURE LAYOUT AND SUBMIT

10. HVAC CONTRACTOR SHALL SUBMIT PROPER DESIGN DRAWINGS AS NEEDED FOR PLAN APPROVAL AND BUILDING PERMITS.

11. ENSURE A CLEAR PATHWAY TO ALL EXISTS IS MAINTAINED AND SUSTAINED.

12. WITHIN THIS DOCUMENT "NORTH, SOUTH, EAST, WEST" ARE REFERRED TO AS PROJECT NORTH AND MAY NOT BE TRUE NORTH

13. ALL EXPOSED WOOD, OR IN CONTACT WITH CONC, OR MASONRY, SHALL BE PRESSURE TREATED

14. VERIFY ALL ROUGH OPENINGS WITH RESPECTIVE MFG

15. PROVIDE SOUND BATT INSULATION AT ALL DEMISING WALLS, SEPARATION WALLS, AND AT BATHROOM, AND MECHANICAL ROOM WALLS

16. PROVIDE MOISTURE RESISTANT GWB AT ALL PLUMBING WALLS

17. PROVIDE GFI OUTLETS NEAR WATER SOURCES AND AS REQUIRED BY CODE

18. PROVIDE 2X BLOCKING AT ALL GRAB BAR LOCATIONS PER ANSI A117.1 2009

20. PROVIDE FIRE BLOCKING THROUGHOUT ENTIRE BUILDING PER IBC 717.2

21. SUBMIT ALL FIXTURES, APPLIANCES, MATERIALS, SHOP DRAWINGS, PLAN MODIFICATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL

	SHEET I	NDEX	
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		UDC SUBMITTAL BID SET	19/0

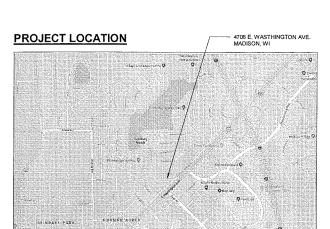
EXISTING CONDITIONS	
SITE DETAILS	
SITE DETAILS	
SITE DETAILS	
	PROPOSED SITE PLAN GRADINS PLAN BROSION CONTROL PLAN UTILITY PLAN STORMWATER DETAILS SITE DETAILS

VIL - L	ANDSCAPE	
1.0	OVERALL LANDSCAPE PLAN	
1.1	EXIST. CONDITIONS & LANDSCAPE PLAN	
1.2	LANDSCAPE PLAN	

IL - SITE LIGHTING	
SITE LIGHTING LAYOUT	

A2.1	FIRST FLOOR PLAN	UDC SUBMITTAL	19/03/28	
A2.2	ROOF PLAN	UDC SUBMITTAL	19/03/28	Π
A3.1	EXTERIOR ELEVATIONS	FOR CONSTRUCTION	19/05/06	_
A4.1	BUILDING SECTIONS	FOR CONSTRUCTION	19/05/06	_
A4.2	WALL SECTIONS	FOR CONSTRUCTION	19/05/06	_
A4.3	WALL SECTIONS	FOR CONSTRUCTION	19/05/06	_
A5.1	PLAN DETAILS	BID SET	19/01/30	
A5.2	SECTION DETAILS	FOR CONSTRUCTION	19/05/06	_
A11.1	STOREFRONT & PARTITION TYPES	FOR CONSTRUCTION	19/05/06	_

11.1	STOREFRONT & PARTITION TYPES	FOR CONSTRUCTION	19/05/06
TRUCT	URAL.		
0.1	STRUCTURAL NOTES		
1.1	FOUNDATION PLAN	FOR CONSTRUCTION	19/05/06
3.1	ROOF FRAMING PLAN	FOR CONSTRUCTION	19/05/06
6.1	FOUNDATION DETAILS		
6.2	FOUNDATION DETAILS		
9.1	STEEL DETAILS		
9.11	WOOD DETAILS		
9.12	WOOD DETAILS	FOR CONSTRUCTION	19/05/06







# **PROJECT CONTACTS:**

MADISON, WI 53713 CONTACT:

STEVE DORAN

608-372-4006

SKETCHWORKS ARCHITECTURE, LLC 7780 ELMWOOD AVE., STE 208

CONTACT: 608-821-4770 CIVIL ENGINEER: PROFESSIONAL ENGINEERING, LLC 818 N. MEADOWBROOK LANE WAUNAKEE, WI 53597

CONTACT: ROXANNE JOHNSON, P.E. 608-849-9378

GALWAY COMPANIES, LLC 6430 BRIDGE RD. SUITE 230

MIDDLETON, WI 53562 BRAD KONING (ARCHITECT)

608-836-7570

STRUCTURAL ENGINEER: MP<sup>2</sup> STRUCTURAL ENGINEERS, LLC 583 D'ONOFRIO DR. SUITE 201 MADISON, WI 53719

**CONSTRUCTION SET** 

SHEET

BUILDING

**MULTI-TENANT** 

4706 E. WASHINGTON AVE. Madison, wi 53704

**Project Status** A 19/01/09 PC SUBMITTAL B 19/01/30 BID SET

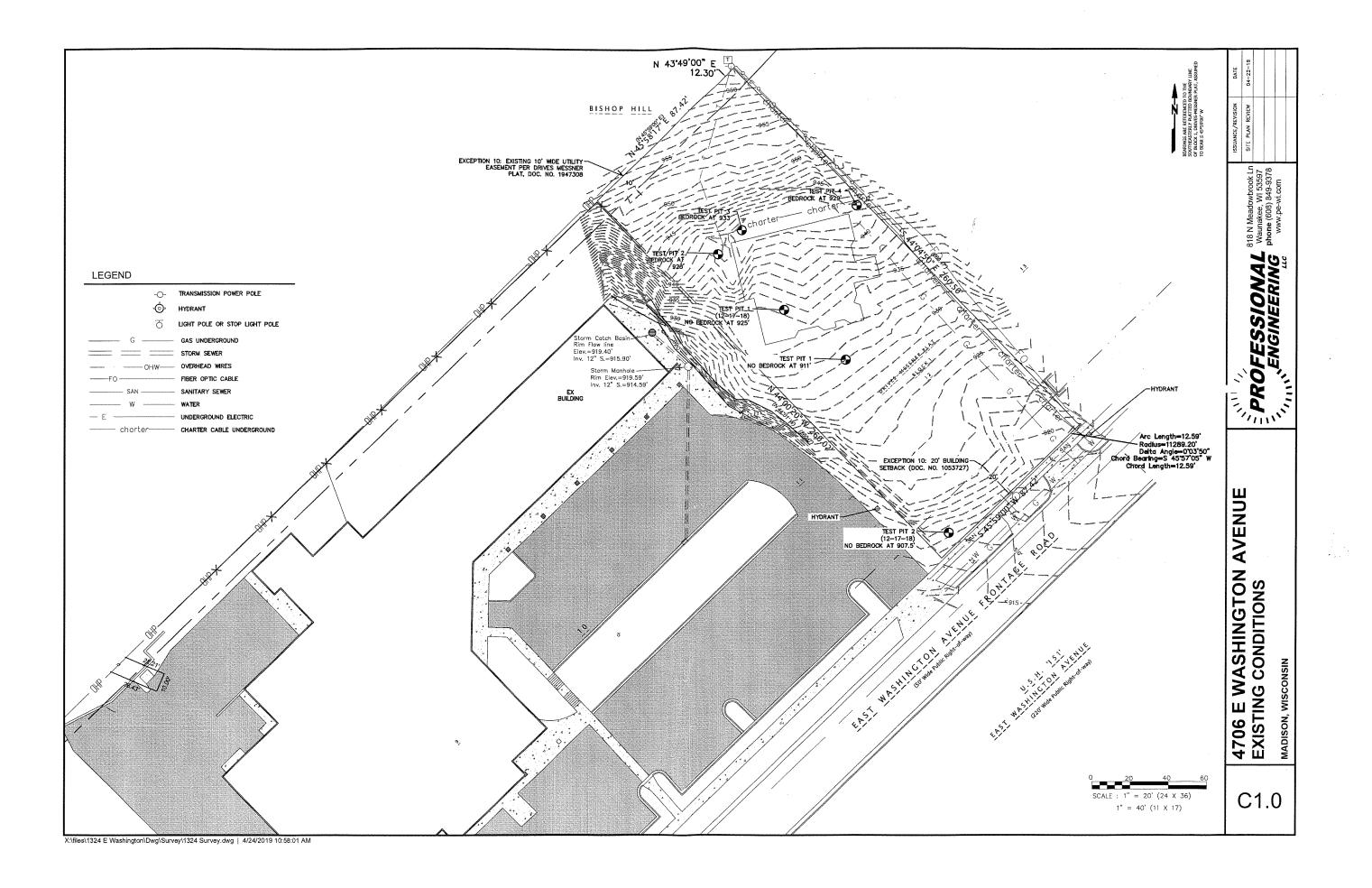
Project Status

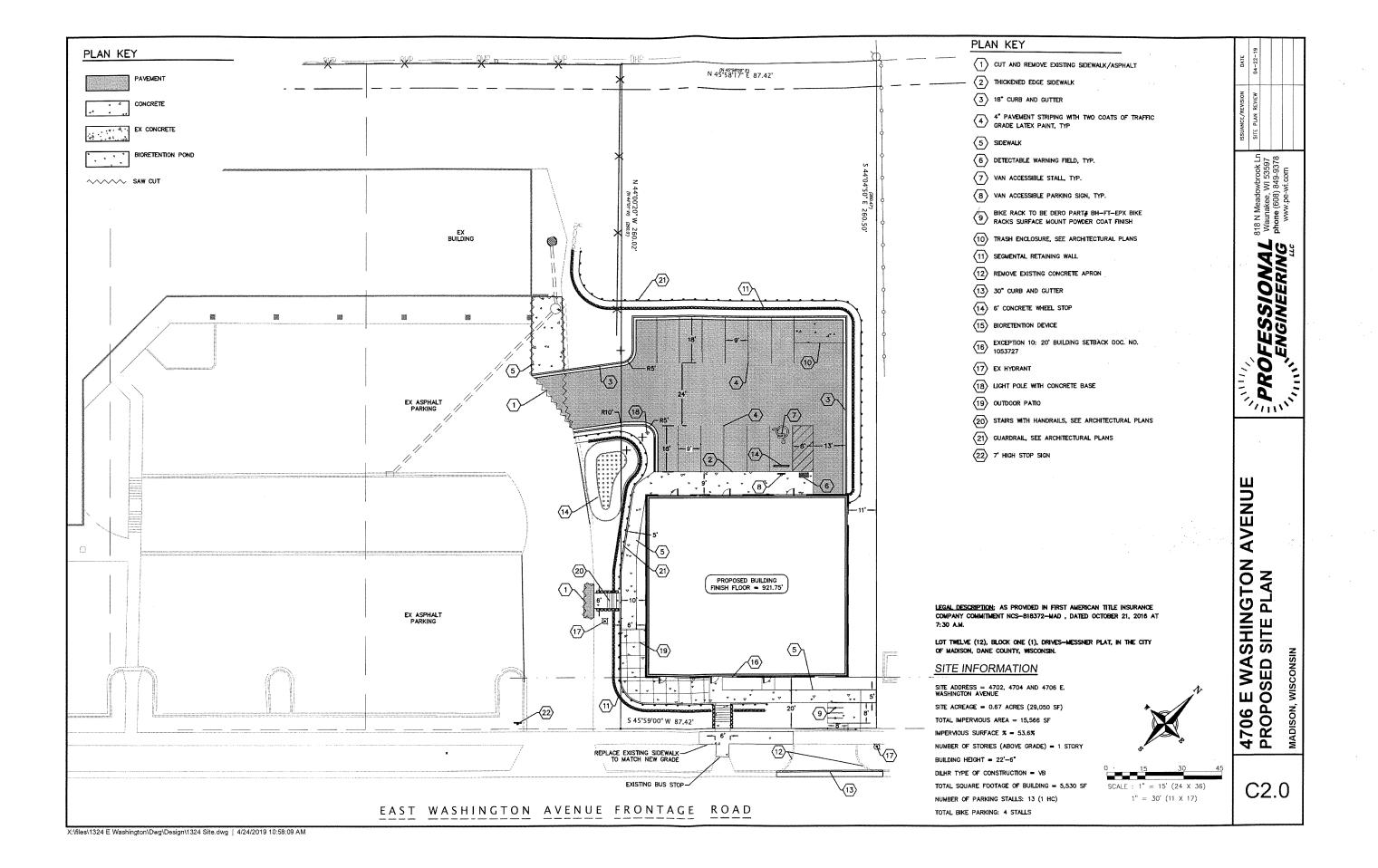
A 19/01/09 PC SUBMITTAL
C 19/03/28 UDC SUBMITTAL
19/05/06 FOR
CONSTRUCTION

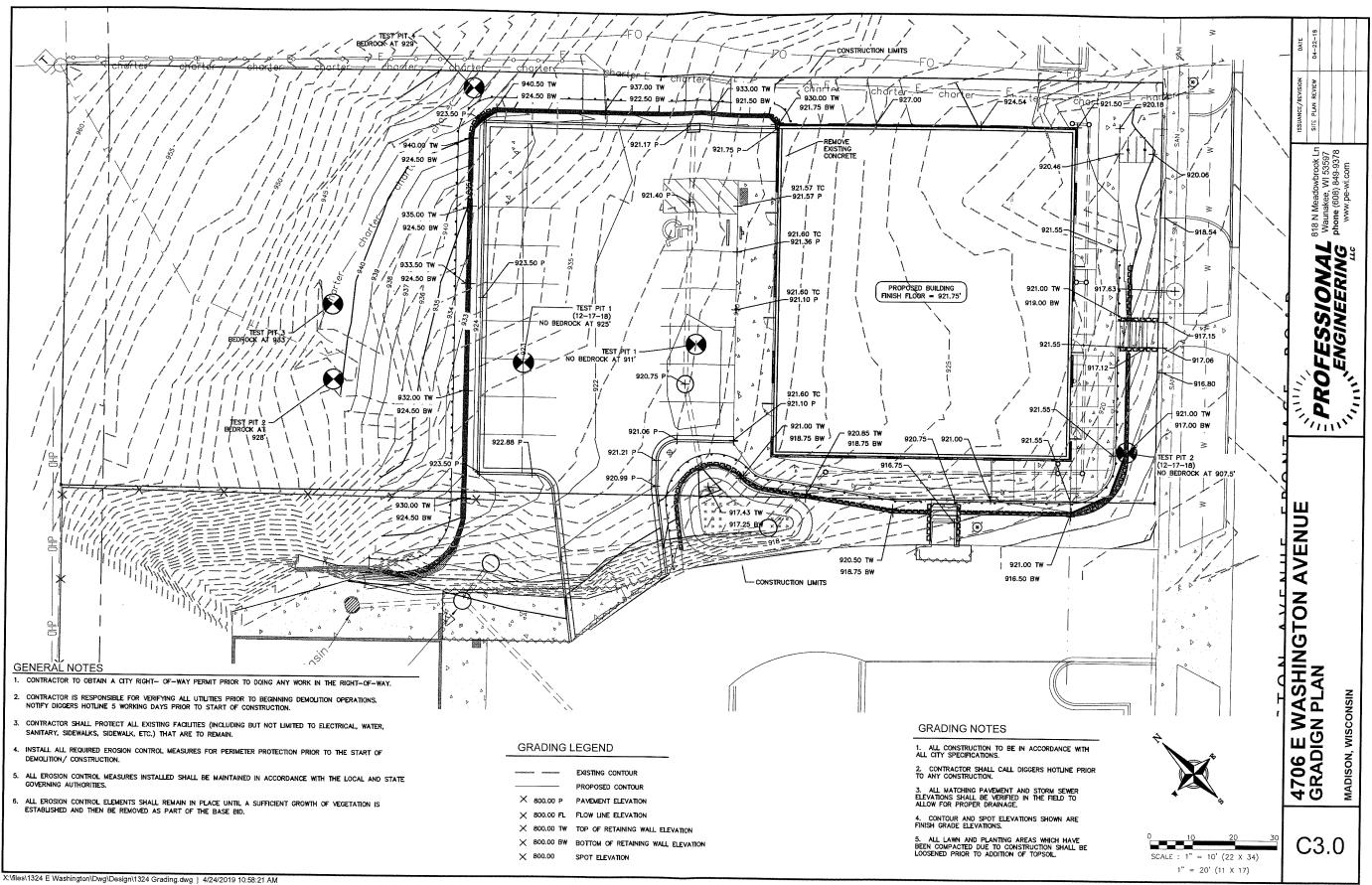
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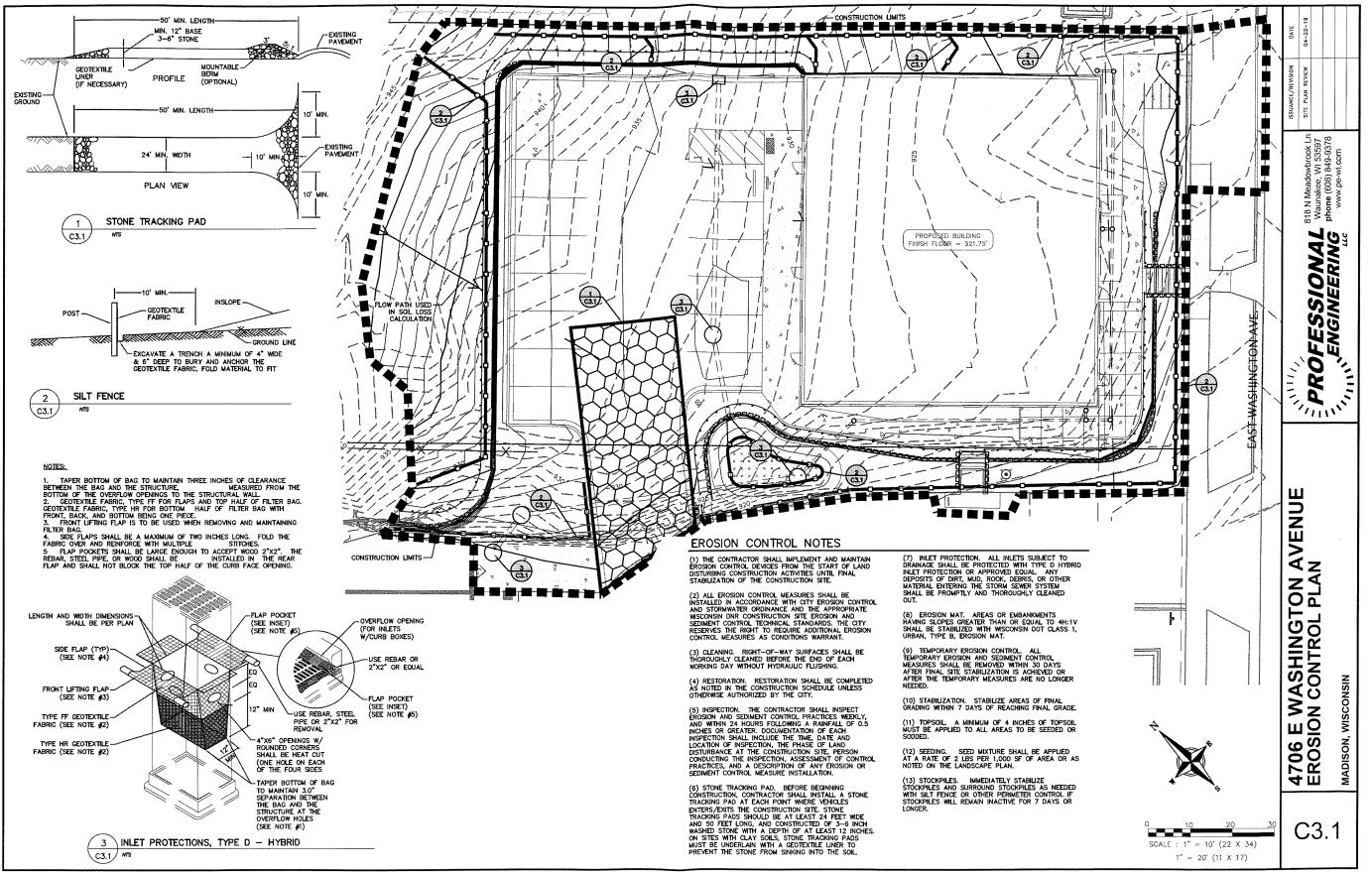
**PRELIMINARY** 

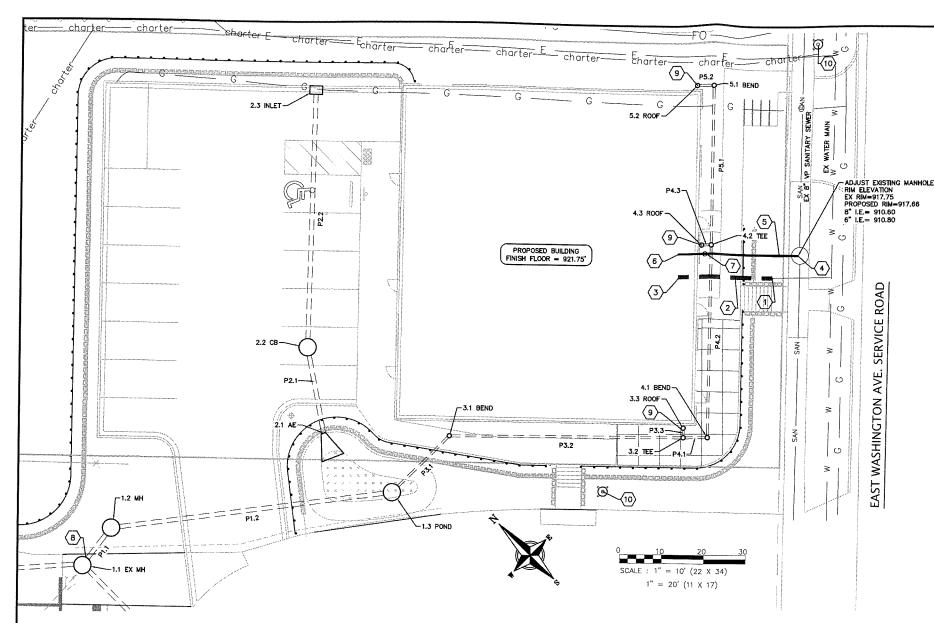












STRUCTURE TABLE						
	STRUCTURE NAME	SIZE	TOP OF CASTING	PIPES IN	PIPES OUT	CASTING
	1.1 EX MH		919.59	P1.1, 12" INV IN =914.61		
	1.2 MH	3-FT DIA.	922.06	P1.2, 12" INV IN =914.63	P1.1, 12" INV OUT =914.67	NEENAH R-1550
	1.3 POND	3-FT DIA.	917.75	P3.1, 6" INV IN =915.50	P1.2, 12" INV OUT =915.00	HAALA #CG36TM
	2.1 AE		918.50	P2.1, 12" INV IN =917.25		
E	2.2 CB	3-FT DIA.	920.75	P2.2, 12" INV IN =917.51	P2.1, 12" INV OUT =917.51	NEENAH R-2050
	2.3 INLET	2X3—FT	921.64		P2.2, 12" INV OUT =918.12	NEENAH R-3067
,	3.1 BEND	BÉND	921.25	P3.2, 6" INV IN =915.88	P3.1, 6" INV OUT =915.88	
	3.2 TEE	TEE	921.60	P4.1, 6" INV IN =917.00 P3.3, 6" INV IN =917.00	P3.2, 6" INV OUT =916.98	
	3.3 ROOF	CONNECT TO ROOF DOWNSPOUT	921.65		P3.3, 6" INV OUT =917.05	
	4.1 BEND	BEND	921.65	P4.2, 6" INV IN =917.12	P4.1, 6" INV OUT =917.12	
	4.2 TEE	TEE	921.59	P5.1, 6" INV IN =918.03 P4.3, 6" INV IN =918.03	P4.2, 6" INV OUT =918.03	MACON MARKET STATE OF THE STATE
	4.3 ROOF	CONNECT TO ROOF DOWNSPOUT	921.59		P4.3, 6" INV OUT =918.08	
	5.1 BEND	9END	920.92	P5.2, 6" INV IN =918,41	P5.1, 6" INV OUT =918.41	
L	5.2 ROOF	CONNECT TO ROOF DOWNSPOUT	921.66		P5.2, 6" INV OUT =918.45	

PIPE TABLE

MATERIAL

SDR 35

SDR 35

SDR 35

SDR 35

SDR 35

SOR 35

SDR 35

SDR 35

SDR 35

SDR 35

SDR 35

SDR 35

ELEVATION

914.67

915.00

917.51

918.12

915.88

916.98

917.05

917.12

918.03

918.08

918.41

918.45

LENGTH SLOPE

0.55%

0.55%

1.28%

1.00%

2.00%

2.00%

2.00%

2.00%

2.00%

2.00%

1.00%

1.00%

12'

67'

21'

61"

19"

56'

3'

6'

46'

38'

4'

NAME

P1,1

P1.2

P2.1

P2.2

P3.1

P3.2

P3.3

P4.2

P4.3

P5.1

P5.2

SIZE

12"

12"

12"

12"

6"

6"

6"

6"

6"

# AVENUE NO O GT

PROFESSIONA ENGINEERING

PRO

START INVERT END INVERT

914.63

917.25

917.51

915.50

915.88

917.00

917.00

917.12

918.03

918.03

918.41

WASHING PLAN

4706 E UTILITY

UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF PREMIOUS PLANS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS.

4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.

5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY OF MADISON PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

6. RESTORATION OF PAYEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.

7. ALL STORM SEWER PIPE TO BE SDR-35 AS NOTED ON THE STORM SEWER SCHEDULE. ALL BRANCH CONNECTIONS TO BE WYES WITH 45 DEGREE BENDS.

8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.

PRIVATE WATER MAIN 4" AND LARGER SHALL BE DUCTILE IRON OR C900 PVC. 9. PRIVATE WATER MAIN 4 AND SMALLER SHALL BE TYPE K, COPPER.

10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.

11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL METHOD SHALL BE APPROVED BY THE CITY.

13. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED WITHIN 5' OF THE PROPOSED BUILDING(S) AND STAKED.

14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.

15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.

16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

17. CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL FOR WORK IN THE RIGHT-OF-WAY

#### PLAN KEY

(1) CONNECT TO EXISTING WATER LATERAL PER CITY REQUIREMENTS

(2) 1.5" WATER SERVICE

(3) CONNECT TO BUILDING WATER SERVICE

(4) CONNECT TO EXISTING MANHOLE PER CITY REQUIREMENTS

(5) 6" SANITARY SEWER AT 2% SLOPE

 ${\Large \bigcirc}$  Sanitary i.e.= 911.40'. Connect to sanitary building sewer, see plumbing plans

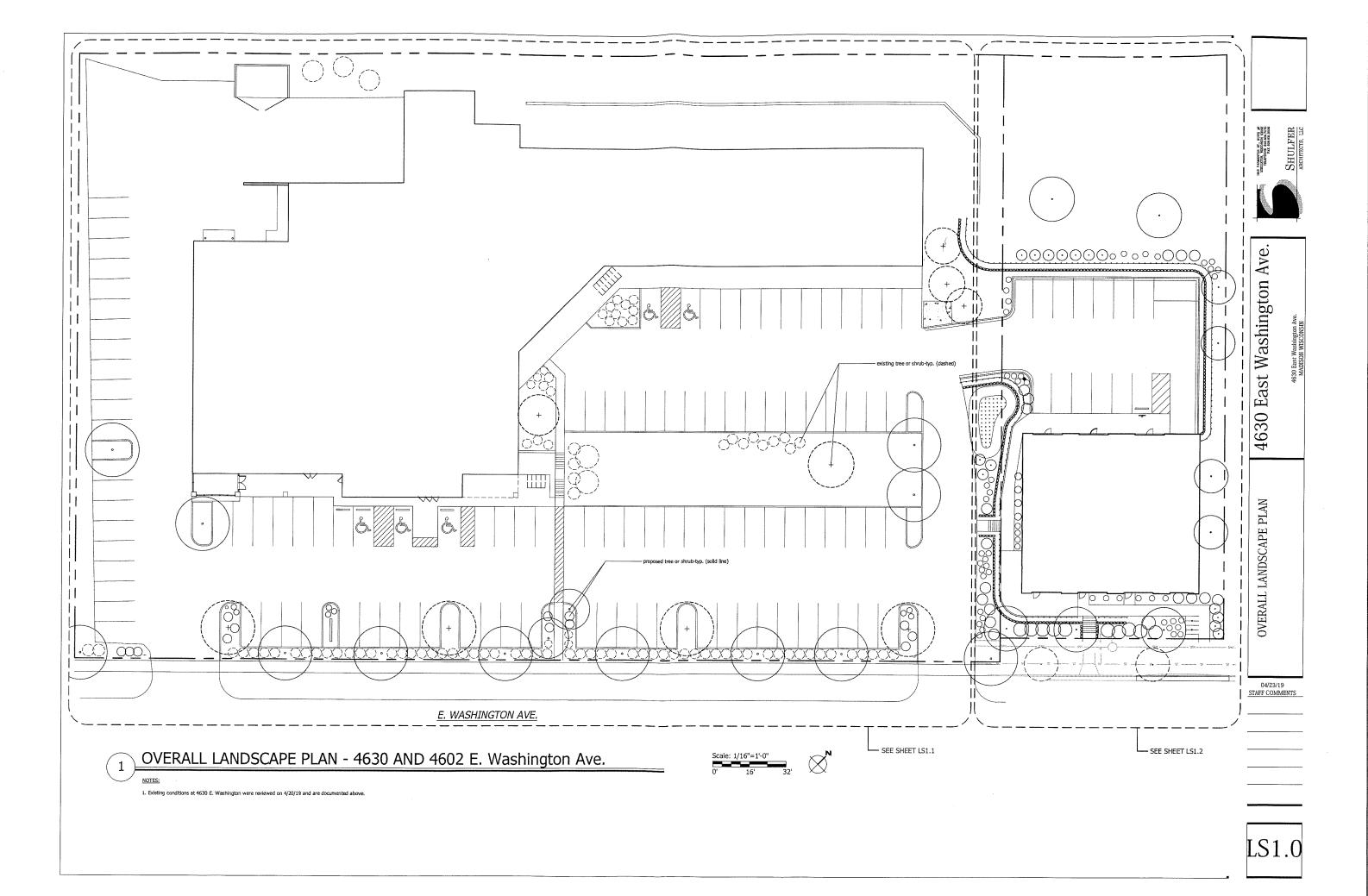
(7) CLEANOUT

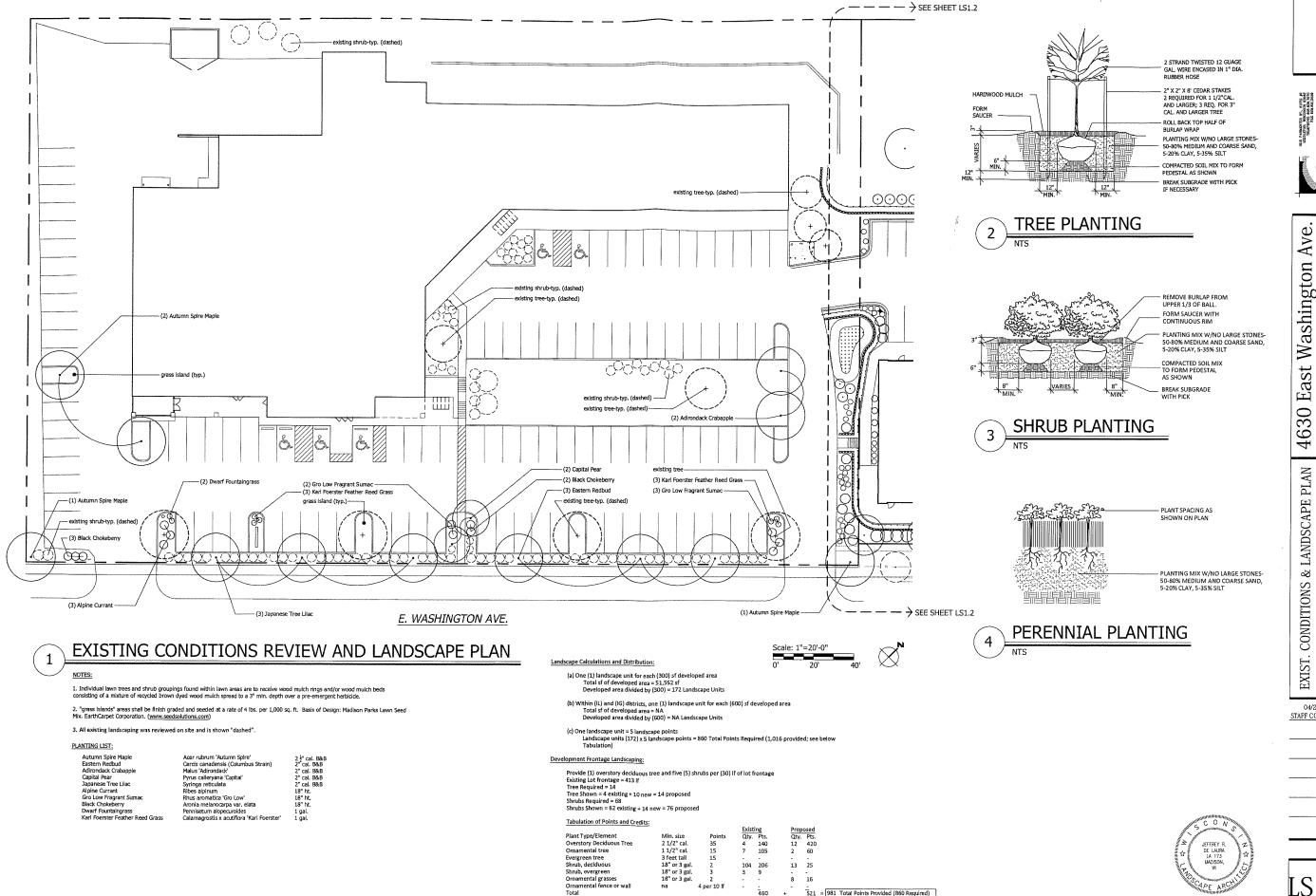
(8) CONNECT TO EXISTING STORM MANHOLE

(9) CONNECT TO ROOF DOWNSPOUT

10 EXISTING HYDRANT

C4.0





4 per 10 lf

521 = 981 Total Points Provided (860 Required)

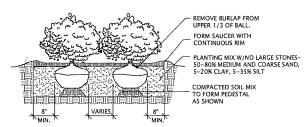
East Washington 4630

PLAN LANDSCAPE ⊗ CONDITIONS EXIST.

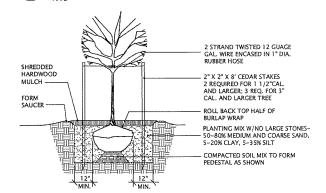
04/23/19 STAFF COMMENTS

LS1.1

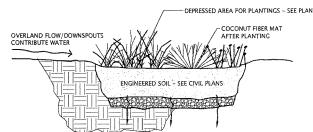
# 2 PERENNIAL PLANTING NTS



# SHRUB PLANTING



# TREE PLANTING



Development Frontage Landscaping Total if of lot frontage = 100 Required Trees = 3 Required Shrubs = 17

Tabulation of Points and Credits:

		Exist	ing	Prop	osed
Min. size	Points	Qty.	Pts.	Qty.	Pts.
2 1/2" cal.	35	- '	-	5	175
1 1/2° cal.	15	-	-	2	30
3-4 feet tall	10	-	-		-
18" or 3 gal.	3	-	-	52	156
18" or 3 gal.	4		_	***	**
18" or 3 gal.	2	**	w	18	36
na	4 per 10 lf	-	~	-	-
	2 1/2" cal. 1 1/2" cal. 3-4 feet tall 18" or 3 gal. 18" or 3 gal. 18" or 3 gal.	2 1/2" cal. 35 1 1/2" cal. 15 3-4 feet tall 10 18" or 3 gal. 3 18" or 3 gal. 4 18" or 3 gal. 2	Min. size Points Qty. 2 1/2" cal. 35 - 1 1/2" cal. 15 - 3-4 feet tall 10 - 18" or 3 gal. 3 - 18" or 3 gal. 4 - 18" or 3 gal. 2 - 1	2 1/2" cal. 35 1 1/2" cal. 15 3-4 feet tall 10 18" or 3 gal. 3 18" or 3 gal. 4 18" or 3 gal. 2	Min. size Points Ory, Pts. Ory, 2 1/2° cal. 35 - 5 5 1/2° cal. 15 - 2 3-4 feet tall 10 52 18° or 3 gal. 4 18° or 3 gal. 2 - 18° or 3 gal. 4 18° or 3 gal. 2 - 18° or 3 gal. 5 - 18° or 3 gal. 4 18° or 3 gal. 5 - 18° or 3 gal. 6 18° or 3 gal. 7 - 18° or 3 gal. 7 - 18° or 3 gal. 8 18° or 3 gal. 9 18° or 3 gal.

397 Total Points Provided (113 Required)

Landscape Plan Notes:

1. New tree, shrub, and Perennial plantings are to receive wood mulch consisting of recycled, shredded brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.

2. "Lawn" areas Shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison

2. "Lawn" areas shall be prepared by the same of the be replanted.

4. Maintenance, watering and warranty of plants to extend for 12 months after project completion/acceptance. Maintenance, watering and warranty period for seed to extend 60 days from project completion/acceptance of installation.

Overstory Deciduous & Ornamental Trees 2 1/2" cal. 2 1/2" cal. 2 1/2" cal. Swamp White Oak Autumn Spire Maple Adirondack Crab Quercus bicolor Acer rubrum 'Autumn Spire' Malus 'Adirondack' Shrubs Shrubs
Black Chokeberry
Kelsey's Dwarf Red Dogwood
Rugosa Rose
Cranberry Cotoneaster
Little Lime Hydrangea
Tor Birchleaf Spirea
Sunnise Forsythia
Little Devil Ninebark
Wine and Roses Weigela Aronia melanocarpa Cornus sericea 'Kelseyi' Rosa rugosa Cotoneaster apiculatus Hydrangea paniculata 'Little Lime' Spiraea betulifolla 'Tor' Forsythia x intermedia 'Sunrise' Physocarpus opulifolius 'Donna May' Weigela florida 'Alexandra' 24" ht. 24" ht. 18" ht. 18" ht. 24" ht. 18" ht. 18" ht. 18" ht. Perennials Perennials Karl Foerster Feather Reed Grass Dwarf Fountaingrass Autumn Joy Sedum Black Eyed Susan Northwind Switchgrass 1 gal. 1 gal. 1 gal. 1 gal. 1 gal. Calamagrostis x acutifiora 'Karl Foerste Pennisetum alopecuroides 'Hameln' Sedum 'Autumn Joy' Rudbeckla hirta Panicum virgatum 'Northwine

(2) Adirondack Crab

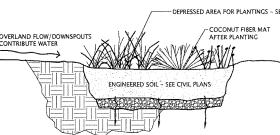
H. J. H. H. C. L. Ch.

- (2) Swamp White Oak — (3) Kelsey's Dwarf Red Dogwood — (5) Northwind Switchgrass — (2) Adirondack Crab

washed stone maintenance edge - (6) Tor Birchleaf Spirea — (3) Wine and Roses Weigela — (5) Sunrise Forsythia

- (3) Autumn Spire Maple

— (6) Little Lime Hydrangea



# **BIOINFILTRATION AREA**

Landscape Calculations and Distribution:

Five (5) landscape points shall be provided per each (300) sf of developed area for first (5) acres
Total sf of developed area = 6,767 sf (,16 acres)

Developed area (6,767) divided by (300) x 5 = 1)13 Points Required

Provided Trees = 3 Provided Shrubs = 17

	<del></del>		Exist	ing	Propo
Plant Type/Element	Min. size	Points	Qty.	Pts.	Qty.
Overstory deciduous tree	2 1/2" cal.	35	- '	-	5
Ornamental tree	1 1/2" cal.	15	-	-	2
Upright evergreen shrub	3-4 feet tall	10	-		-
Shrub, deciduous	18" or 3 gal.	3	-	-	52
Shrub, evergreen	18" or 3 gal.	4	-	_	
Ornamental grasses	18" or 3 gal.	2	**	**	18
Omamental fence or wall	na	4 per 10 if	-	-	-
Total					

LANDSCAPE PLAN

(7) Black Chokebern

#

(5) Black Eyed Susa bioinfiltration area -

(4) Tor Birchleaf Spirea -(3) Rugosa Rose

(4) Karl Foerster Feather Reed Gra-

(5) Wine and Roses Welgela — \

(S) Black Chokeberry

K Strate Let.

Ste Steel 151.

Street Tree Plantings within City r.o.w. - 2" Swamp White Oak - 2" Expresso Kentucky Coffeetree

Notes:

(Contractor shall contact City Forestry Brad Hofmann bhofmann@cityofmadison.com or 266-4816 at least one week prior to planting to schedule inspecting the nursery stock and review planting specifications with the landscaper. 2) Tree planting specifications can be found in section 290 of City of Madison Standard Specifications for Public Works



Sketch Works

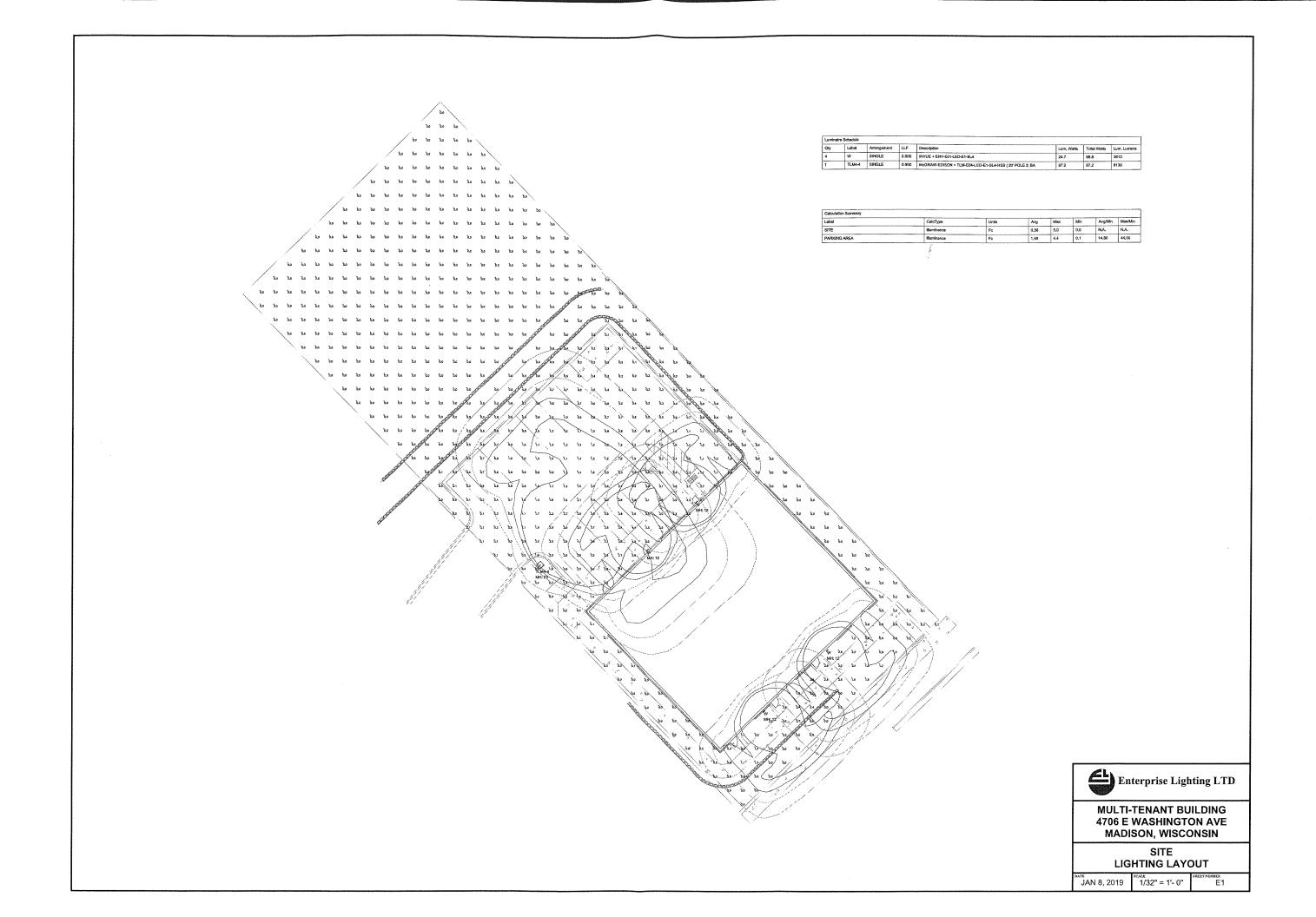
BUILDING 4706 EAST WASHINGTON AVE. TENANT ] MULTI

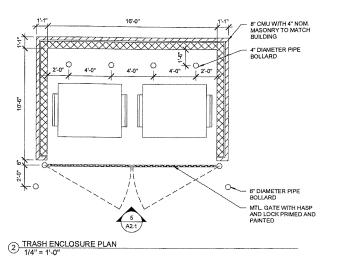
LANDSCAPE PLAN

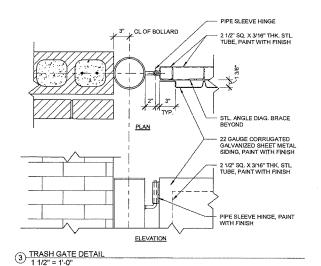
01/08/19 SUBMITTAL 02/11/19 STAFF COMMENTS 03/28/19

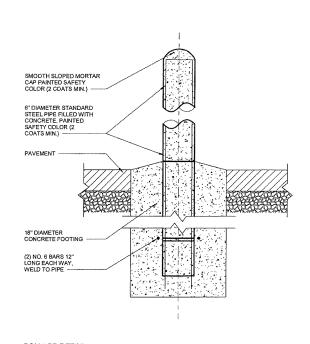
UPDATE 04/23/19 STAFF COMMENTS

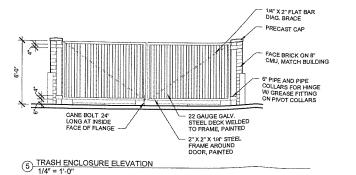
LS1.2

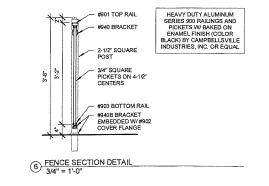


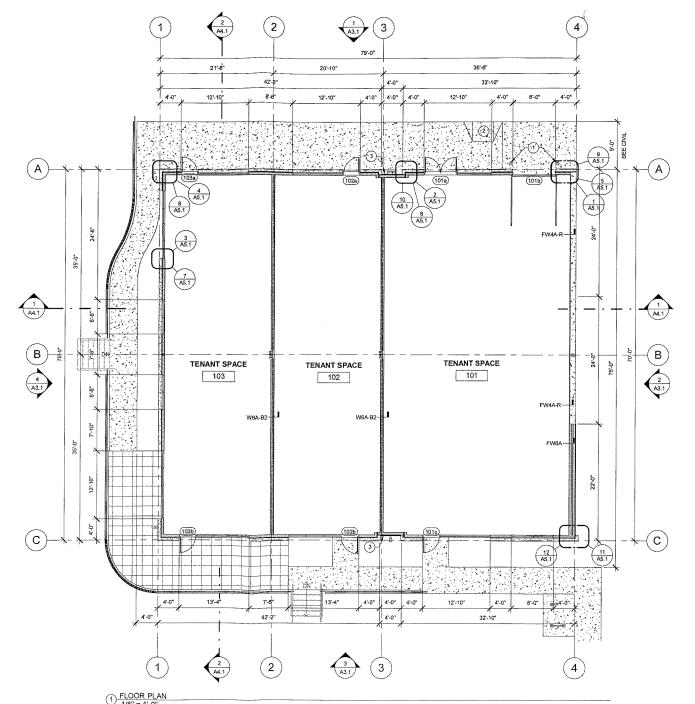












#### **GENERAL PLAN NOTES:**

A MECHANICAL, ELECTRICAL AND PLUMBING IMPROVEMENTS TO BE DESIGN BUILD UND. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES, MEP DESIGN BUILD CONTRACTORS) RESPONSIBLE FOR RENSIRING CODE COMPLANT CONSTRUCTION OF NEW SYSTEMS IN TENANT SPACES.

B. PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED ON SHEET A0.2

C, PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS

D. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNO. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.

E. INTERIOR DIMENSIONS ARE TO FACE OF FRAME OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

F. CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERING ANY UNANTICIPATED STRUCTURAL CONDITIONS OR DISCREPANCIES WITH PROPOSED MODIFICATIONS.

G. PROVIDE SOUND INSULATION IN ALL DEMISING WALLS AND INTERIOR WALLS UNO

H. FIRE EXTINGUISHER CABINETS: SIZE AND DISTRIBUTION PER TABLE 906.3(1) IN THE 2015 IBC. CABINETS TO BE PARTIALLY RECESSED AND RATED TO MEET THE ASSOCIATED WALL FIRE RATING

I. GENERAL CONTRACTOR TO SECURE
CONSTRUCTION AREA DURING CONSTRUCTION
WORK SEAL ALL DOORS AS REQUIRED. CONSTRUCT
AND MAINTAIN A FLOOR TO CEILING DUST BARRIER,
TO PROVIDE SEPARATION FOR DUST, DEBRIS AND
SOUND

J. GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON EXISTING BUILDING OPERATIONS AND PLANNED EVENTS. CONSTRUCTION SPACE MUST BE CLEAN AND AVALABLE FOR USE PERIODIOLLY PER OWNERS REQUEST. VERIFY SCHEDULED EVENTS WITH OWNER PRIOR TO CONSTRUCTION STAT AND ARRANGE CONSTRUCTION SCHEDULE TO MEET OWNERS NEEDS. COORDINATE SYSTEMS AND UTILITY SHUT DOWNS WITH OWNER PRIOR TO COMMENCEMENT OF WORK

K. GENERAL CONTRACTOR TO MAINTAIN A PATH THROUGH PORTIONS OF THE CONSTRUCTION AREA FOR ACCESS TO EGRESS ROUTES

L. SUBMIT ALL FINISHES TO THE ARCHITECT FOR APPROVAL

#### **KEYED PLAN NOTES:**

- 1 PIPE BOLLARDS
- (2) ADA RAMP SEE CIVIL DRAWINGS
- 3 EXTERIOR HOSE BIB ALIGN WITH DEMISING WALL

architecture us 772 ton 1825 t

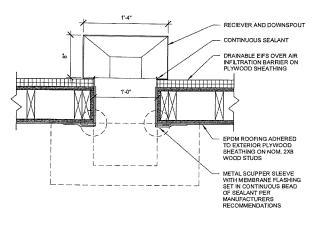
MULTI-TENANT BUILDING
NEW COMMERCIAL BUILDING
4706 E. WASHINGTON AVE.
MADISON, WI 53704

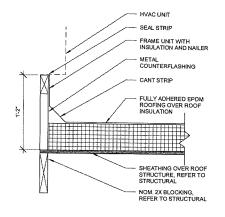
FIRST FLOOR PLAN

1	Project Status					
Α	19/01/09	PC SUBMITTA				
В	19/01/30	BID SET				
С	19/03/28	UDC SUBMITT				
	19/05/06	FOR CONSTRUCTION				

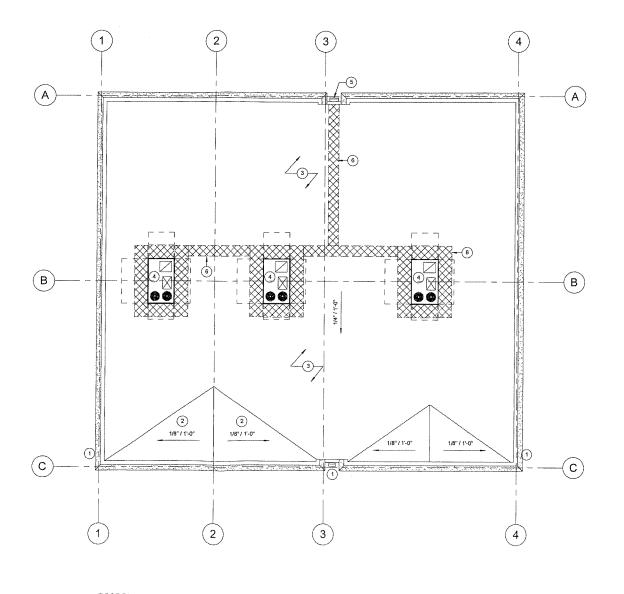
A2.1

CONSTRUCTION SET





3 HVAC CURB DETAIL 1 1/2" = 1'-0"



#### **GENERAL ROOF PLAN NOTES:**

A. EXTERIOR DIMENSIONS ARE FROM GRIDLINE TO GRIDLINE, OR TO EDGE OF FOUNDATION WALL UNLESS OTHERWISE NOTED. PLEASE CONTACT ARCHITECT WITH ANY DISCREPANCIES.

B. DIMENSIONS ARE TO FACE OF EAVE UNO, VERIFY ALL EXISTING CONDITIONS AND ADJUST WALL DIMENSIONS ACCORDINGLY, CONTACT ARCHITECT WITH ANY DISCREPANCIES.

C. STAIRWELL, ELEVATOR, AND MECHANICAL CHASE INTERIOR WALLS SHALL BE CONTINUOUS TO BOTTOM OF RATED CEILING ASSEMBLY CAP

D. PROVIDE APPROPRIATE INSULATION IN ATTIC ARE PROVIDE VAPOR BARRIER BELOW INSULATION

E. PROVIDE DRAFTSTOPPING IN ATTIC/ CEILINGS AS REQUIRED

F. PROVIDE ADEQUATE ATTIC VENTING, 1 SF OF VENTING PER 300 SF ATTIC AREA (PROVIDE VAPOR BARRIER BELOW INSULATION IN ATTIC), 50% EXHAUST AND 50% INTAKE, AS REQUIRED

G. INSTALL ICE AND WATER SHIELD AT ALL ROOF EAVES AND VALLEYS. EXTEND FROM EAVE TO 24" MIN INSIDE THE EXTERIOR WALL LINE. INSTALL PER MFG SPECIFICATIONS

H. GUTTERS AT EDGE OF ALL SLOPED ROOF LOCATIONS

I. FINAL DOWNSPOUT LOCATION SHOULD BE COORDINATED BETWEEN THE ROOFING CONTRACTOR, THE ARCHITECT AND THE CIVIL ENGINEER, VERIFY LOCATION OF DOWNSPOUTS

# **KEYED PLAN NOTES:**

- 1 PREFINISHED SCUPPER AND DOWNSPOUT, COLOR T.B.D
- 2 SLOPED INSULATION ROOF CRICKET
- FULLY ADHERED EPDM ROOFING OVER R-25 MIN. RIGID INSULATION ON ROOF SHEATHING OVER TAPERED ROOF TRUSSES
- RTU; APPROX, LOCATION SHOWN, COORDINATE WITH HVAC CONTRACTOR
- 5 ROOF ACCESS LADDER WITH LOCKABLE ACCESS PANEL, SEE ELEVATIONS
- 6 ROOFTOP PAVERS

MULTI-TENANT BUILDING
NEW COMMERCIAL BUILDING

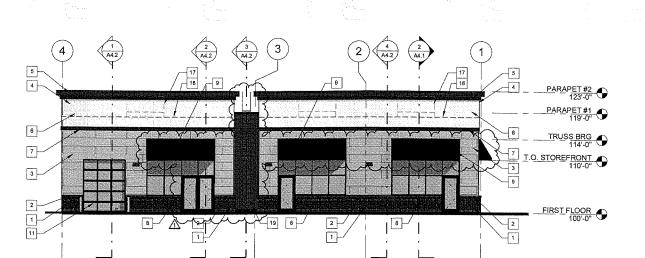
4706 E. WASHINGTON AVE. Madison, wi 53704

ROOF PLAN

	Project	t Status
Ā	19/01/09	PC SUBMITTA
В	19/01/30	BID SET
C	19/03/28	UDC SUBMITT
	19/05/06	FOR CONSTRUCTION
_		
_		

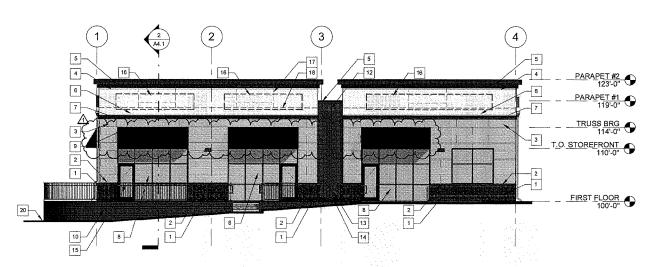
A2.2

CONSTRUCTION SET



5 | 4 | PARAPET #2 | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" | 123.0" |

2 EAST ELEVATION 1/8" = 1'-0"



B
C
S
S
PARAPET#2
123-0"
PARAPET#2
129-0"

PARAPET#1
119-0"

TRUSS BRG
114'-0"
100'-0"

FIRST FLOOR

201
100'-0"

100'-0"

28,060 GENERAL PROVISIONS FOR MIXED-USE COMME DISTRICTS - DOOR AND WINDOW OPENING REQUIREN	**
60% OF LENGTH AT GROUND FLOOR REQUIRED: 47'-5" PROVIDED: 47'-6"	
40% OF AREA OF GROUND FLOOR STREET FACADE REQUIRED: 442.4 SF PROVIDED: 448.3 SF	
50% OF WINDOW SILLS WITHIN 3'-0" OF GRADE REQUIRED: 23'-9" PROVIDED: 39'-8"	

EXTERIOR MATERIAL LIST									
#	DESCRIPTION	MANUFACTURER	TYPESTYLE	COLOR	COMMENTS				
1	BRICK VENEER	SIOUX CITY BRICK	MODULAR	BLACK HILLS VELOUR					
2	PRECAST SILL	CUSTOM CAST STONE	SMOOTH FACE	OLIVE BUFF					
3	FIBER CEMENT PANEL	ALLURA OR EQUIVALENT	SMOOTH FACE PANEL	LINEN					
	EIFS FASCIA	DRYVIT	SHOT BLAST FINE	WELL BRED BROWN					
	PREFINISHED METAL COPING			MEDIUM BRONZE	MATCH ALUMINUM STOREFRONT				
	EIFS SIGNAGE BAND	DRYVIT	SHOT BLAST FINE	NATURAL WHITE					
7	EIFS SIGNAGE TRIM	DRYVIT	SHOT BLAST FINE	WELL BRED BROWN					
	ALUMINUM STOREFRONT		2.5.5.1.0	ANODIZED MEDIUM BRONZE	LOW-E GLAZING				
	FABRIC AWNING		La contraction of the contractio	BLACK					
	CMU RETAINING WALL		Tet tue	190	COLOR TO MATCH BLACK HILLS VELOUR BRICK				
		OVERHEAD DOOR, OR EQUAL	- 15 J. C.	ANODIZED DARK BRONZE	MATCH ALUMINUM STOREFRONT; VERIFY WITH TENANT ON CONTROLS				
	PREFINISHED SCUPPER AND DOWNSPOUT		415 A.S.	14.55	COLOR TO MATCH ADJACENT FIBER CEMENT MATERIAL				
	FIBER CEMENT SIDING	JAMES HARDIE OR EQUIVALENT	SMOOTH TEXTURE	RICH ESPRESSO					
	CAST STONE	CUSTOM CAST STONE	SMOOTH FACE	OLIVE BUFF					
15	GUARDRAIL	CAMPBELLSVILLE INDUSTRIES, INC.	900 SERIES	BLACK	OR EQUAL; REFER TO DETAIL 6/A2.1				
16	TENANT SIGNABLE AREA				PROVIDE ELECTRICAL CONNECTION FOR TENANT SIGNAGE				
17	ROOF TOP UNIT	TBD			3'HX7'W SHOWN FOR REFERENCE; COORDINATE WITH HVAC CONTRACTOR				
18	ROOF LINE				GRAY DASHED LINE SHOWS ROOF LINE FOR REFERENCE				
19	ROOF ACCESS LADDER				OSHA APPROVED ROOF ACCESS LADDER WITH LOCKABLE SECURITY GATE. PAINT TO MATCH SIDING PANEL				
20	GRADE VARIES, SEE CIVIL								

0' 2' 4' 8' 16' 0' 1/4" 1/2" 1" 2" SCALE: 1/8" = 1'-0"

MULTI-TENANT BUILDING
NEW COMMERCIAL BUILDING
4706 E. WASHINGTON AVE.
MADISON, WI 53704

EXTERIOR ELEVATIONS

Project Status

A 19/01/09 PC SUBMITTAL
B 19/01/30 BID SET
C 19/03/28 UDC SUBMITTAL
1 19/05/06 FOR
CONSTRUCTION

A3.1