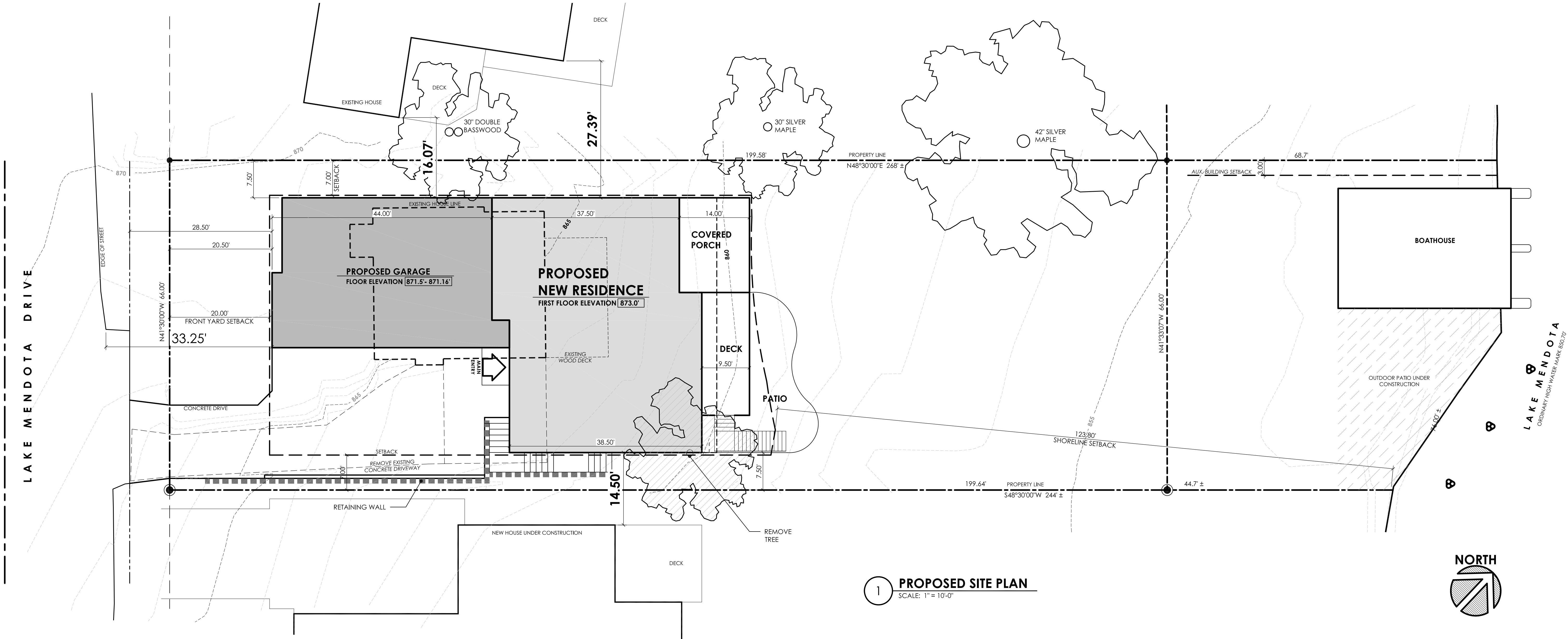
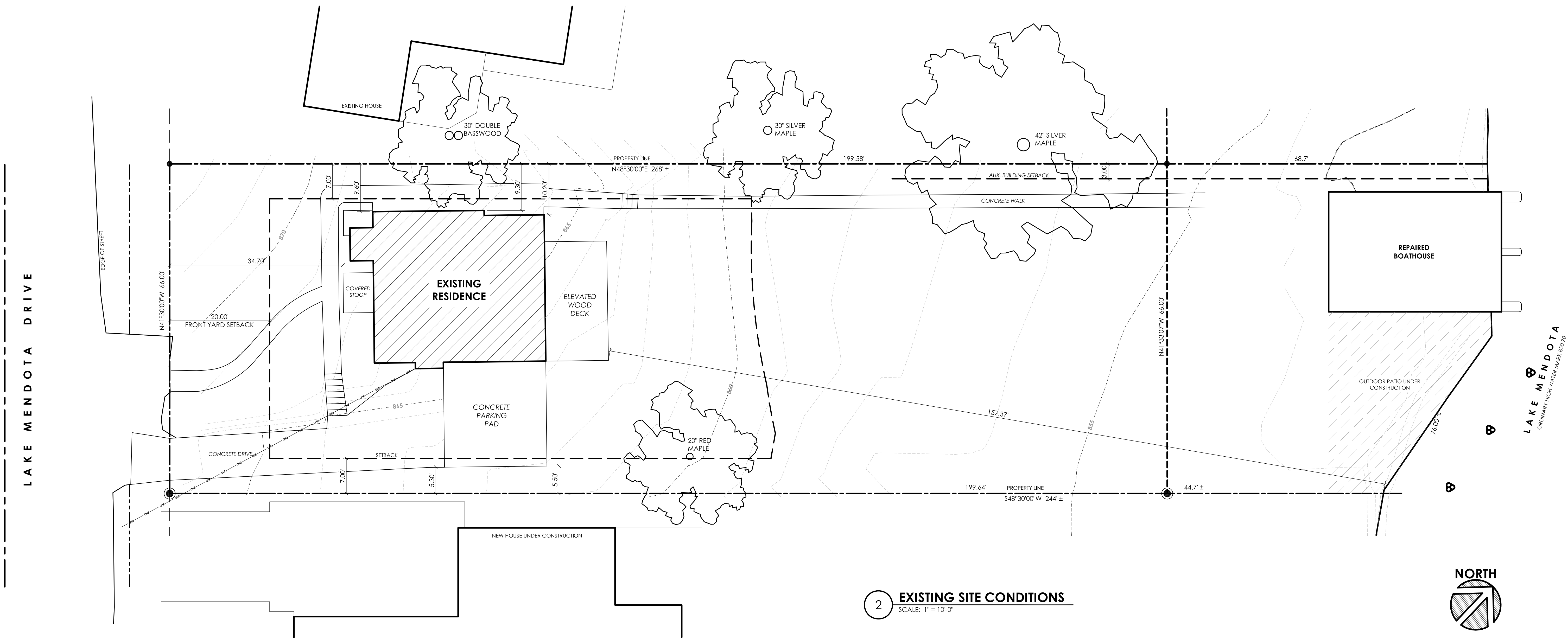




1 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



2 EXISTING SITE CONDITIONS
SCALE: 1" = 10'-0"

GENERAL NOTES:
ALL CONSTRUCTION TO BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
PLANS AND SPECIFICATIONS; STATE OF WISCONSIN UNIFORM DWELLINGS CODE; ALL OTHER APPLICABLE CODES.

CONTRACTOR TO CONTACT DIGGER'S HOTLINE AT LEAST THREE DAYS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION LIMITS WITHIN THE SITE PLAN: ALL CONTRACT WORK, MATERIALS, STORAGE AND CONTRACTOR'S EQUIPMENT SHALL BE CONFINED TO THESE CONSTRUCTION LIMITS. CONTRACTOR SHALL NOT USE NEIGHBORING PROPERTY FOR ANY PURPOSE. DAMAGE TO THE OWNER'S PROPERTY OR ADJACENT PROPERTIES SHALL BE REPAIRED OR RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

THESE DRAWINGS ARE FOR BIDDING AND CONSTRUCTION PURPOSES ONLY.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ACCURACY AND DIMENSION VERIFICATION FOR ALL CONDITIONS.

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PLAN INDEX

1.0	SITE PLAN & EXISTING SITE CONDITIONS
C100	GRADING & EROSION CONTROL PLAN
L1	LANDSCAPE PLAN
3.1	ROOF PLAN
4.0	GYM, LEVEL PLAN
4.1	GROUND FLOOR PLAN
4.2	FIRST FLOOR PLAN
4.3	SECOND FLOOR PLAN
6.0	ELEVATIONS
6.1	ELEVATIONS

SQUARE FOOTAGE

LOT AREA	17,127 S.F.
LOT WIDTH	66'-0"
FRONT YARD SETBACK (20' REQ'D)	20'-6"
REAR YARD SETBACK (123.8' REQ'D)	124'-2"
SIDE YARD SETBACK (7'-0' REQ'D)	7'-6"
2 STORY HEIGHT (35'-0" MAX.)	34'-4 3/4"
STRUCTURE FOOTPRINT	3,273 S.F.
DECK	501 S.F.
DRIVEWAY/SLOOP/PATIO	1,877 S.F.
BOATHOUSE	830 S.F.
TOTAL COVERAGE	6,481 S.F.
LOT COVERAGE (50% MAX.)	37.8%
USABLE OPEN SPACE (11,000 S.F. MIN.)	8,775 S.F.

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PROPOSED NEW RESIDENCE FOR KATHY COX
5454 LAKE MENDOTA DRIVE
CITY OF MADISON

DANE COUNTY, WISCONSIN

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PLAN APPROVAL SIGNATURES:

CLIENT NAME	DATE
CLIENT NAME	DATE

IMPORTANT NOTES:
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PROJECT NO:
13-17

CAD TECH:
ERC

PLAN REVIEWER:
MUS

DOCUMENT RELEASE DATES:

PRELIMINARY
01.08.2019

PRELIMINARY REVISED
03.08.2019

PRELIMINARY REVISED
08.27.2019

1.0

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CITY OF MADISON, DANE COUNTY, WI

5454 LAKE MENDOTA DRIVE

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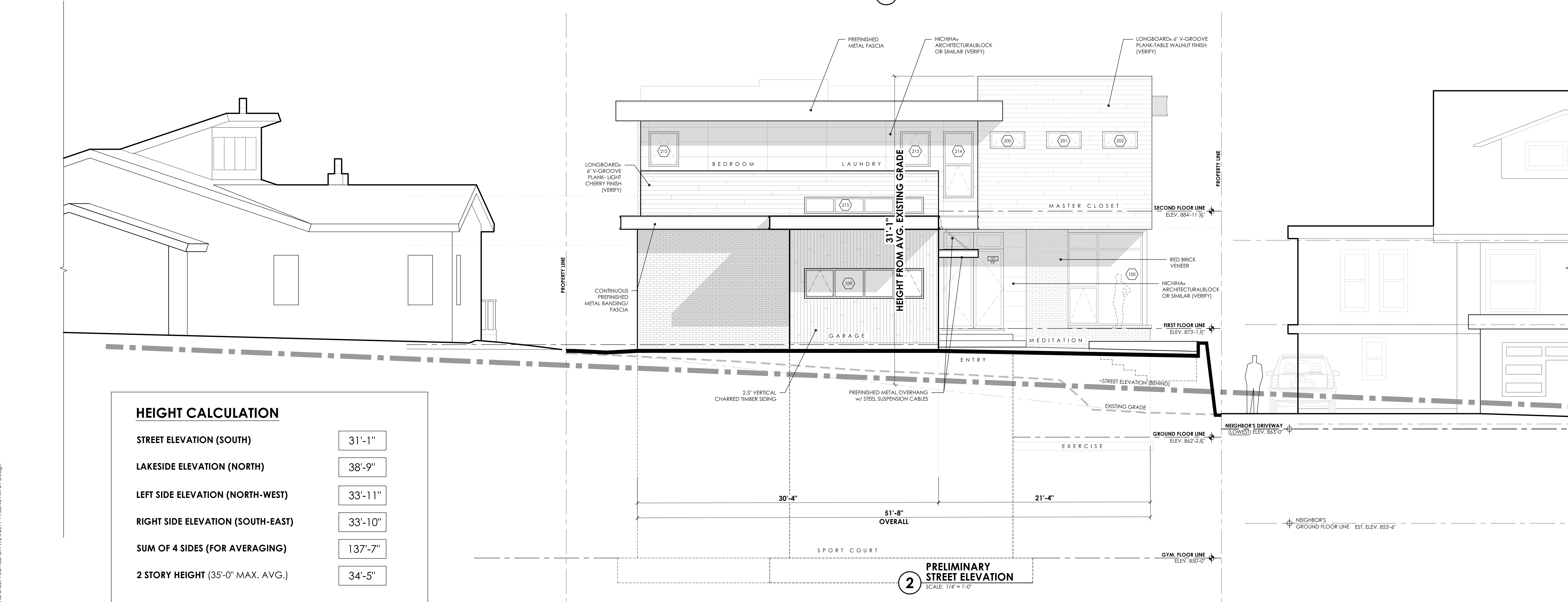
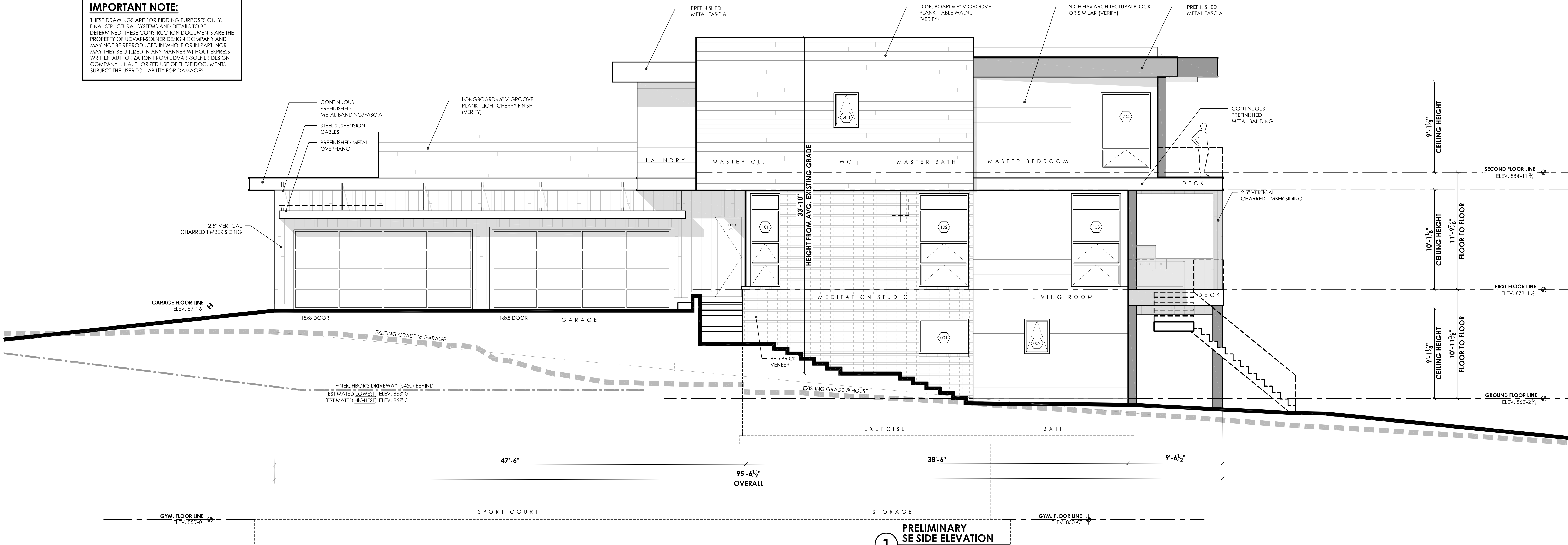
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6.0



HEIGHT CALCULATION

STREET ELEVATION (SOUTH)	31'-1"
LAKESIDE ELEVATION (NORTH)	38'-9"
LEFT SIDE ELEVATION (NORTH-WEST)	33'-11"
RIGHT SIDE ELEVATION (SOUTH-EAST)	33'-10"
SUM OF 4 SIDES (FOR AVERAGING)	137'-7"
2 STORY HEIGHT (35'-0" MAX. AVG.)	34'-5"

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COX RESIDENCE

MADISON, WISCONSIN

546 LANE MENDOTA DRIVE

ELEVATIONS

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