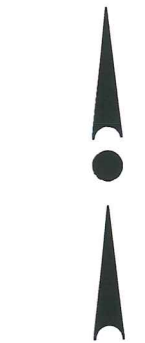


VICINITY MAP

"PARAGON PLACE AT BEAR CLAW WAY"

MADISON, WI

by
UNITED FINANCIAL GROUP, INC.
660 W. Ridgeview Drive
Appleton, WI 54911



0 250 500 1000

Scale: 1" = 500' (22"x34")
Scale: 1" = 1000' (11"x17")

Date: 06-06-2019



TRIO

17700 W. CAPITOL DRIVE
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: ggsamer@trioeng.com



TRADITIONAL RESIDENTIAL - VARIED DISTRICTS TR-V2 DISTRICT ZONING REQUIREMENTS	
	Multi-Family TR-V2 District Requirements
Lot Area (sq. ft.)	2,000/d.u.
Lot Width	60 ft.
Front Yard Setback	20 ft.
Maximum Front Yard Setback	No more than 20% greater than block ave. up to 30ft. max.
Side Yard Setback	10 ft.
Rev. Corner Side Yard Setback	12 ft.
Rear Yard Setback	25% lot depth but at least 25 ft.
Maximum Height	3 stories / 40 ft.
Maximum Lot Coverage	70%
Usable Open Space (sq. ft. per d.u.)	500

March 4, 2019

PROJECT:
PARAGON PLACE
DELBERRY NEIGHBORHOOD
CITY OF MADISON, WI

BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY	
DATE	DESCRIPTION
06/30/14	REV. PER COMMENTS
03/11/14	REV. PER COMMENTS
02/11/14	REV. PER COMMENTS
01/22/14	REV. PER COMMENTS
03/06/13	INITIAL SUBMITTAL

DATE: MARCH 6, 2013

JOB NUMBER:
12-041-311-01

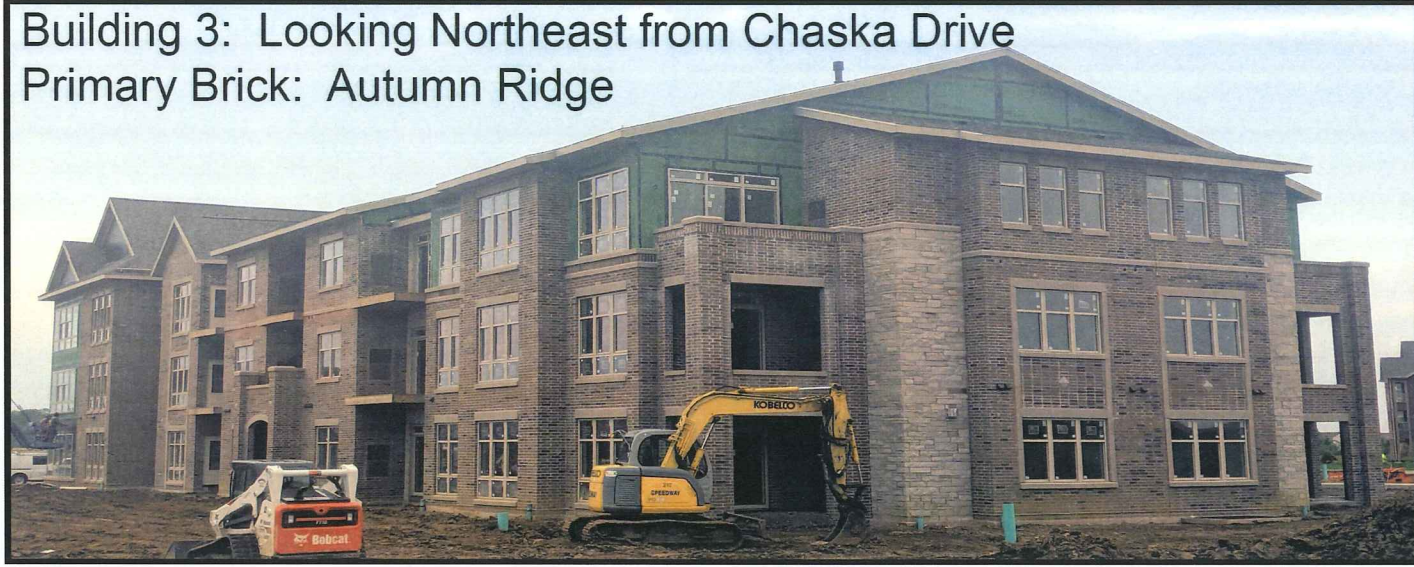
DESCRIPTION:

**PRELIMINARY
PLAT**

SHEET

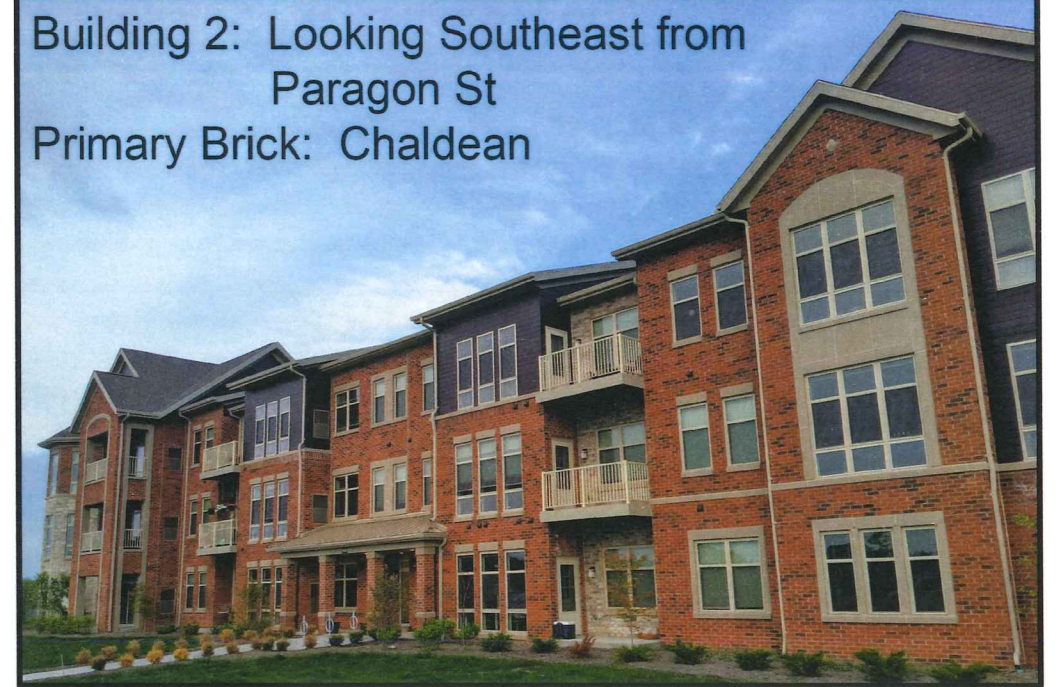
1 OF 1

Building 3: Looking Northeast from Chaska Drive
Primary Brick: Autumn Ridge



**PARAGON PLACE
AT
BEAR CLAW WAY**

Building 2: Looking Southeast from
Paragon St
Primary Brick: Chaldean

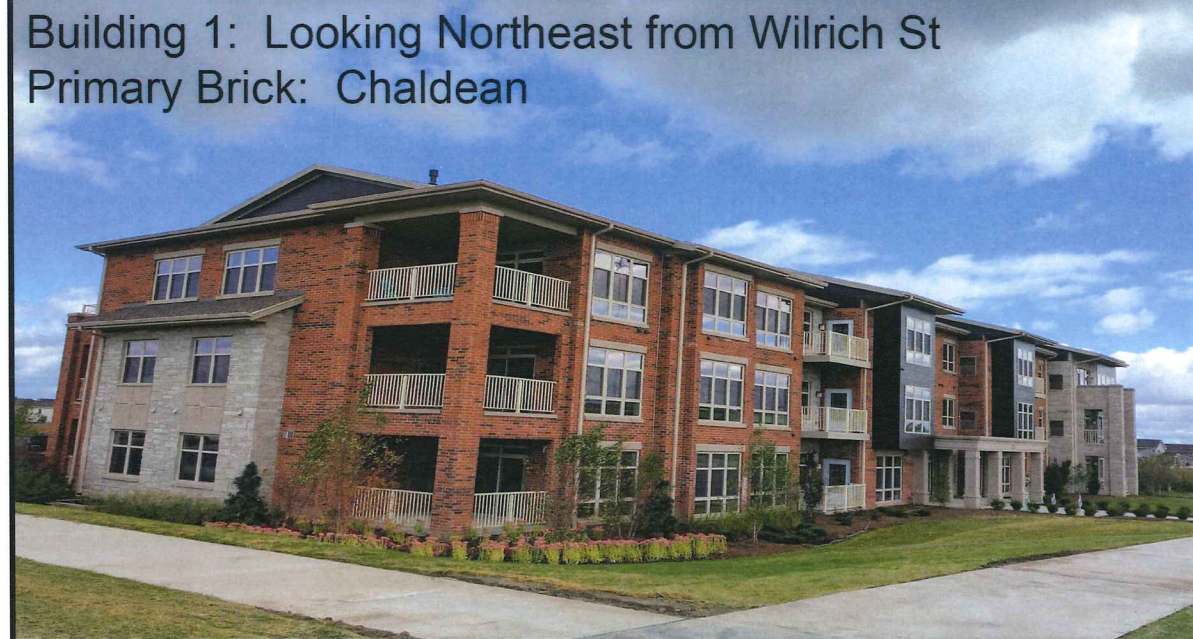


Building 3: Looking Southwest from Paragon St
Primary Brick: Autumn Ridge

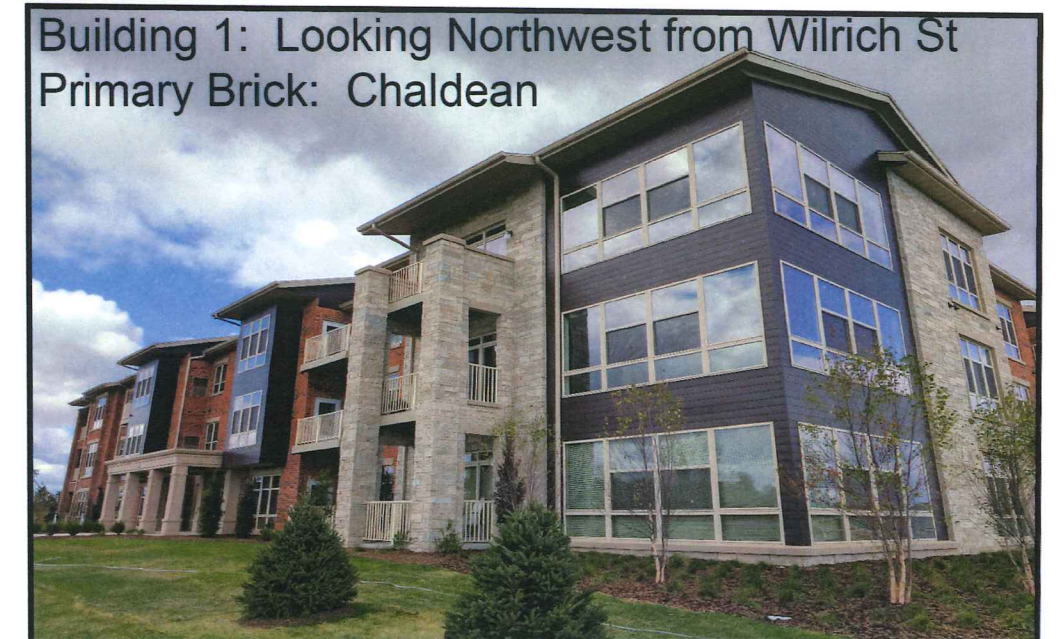


**CONTEXTUAL
SITE
INFORMATION**

Building 1: Looking Northeast from Wilrich St
Primary Brick: Chaldean



Building 1: Looking Northwest from Wilrich St
Primary Brick: Chaldean



United Financial Group / Paragon Place @ Bear
Claw Way LLC cordially invites you to join us at
an informal OPEN HOUSE



OPEN HOUSE
Tuesday, June 4
6pm - 8pm



United Financial Group, Inc.
660 West Ridgeview Drive
Appleton, WI 54911

Please join us for an informal
OPEN HOUSE to review prior to
application: Alteration of Existing
Conditional Use for Paragon Place
at Bear Claw Way - Building #4

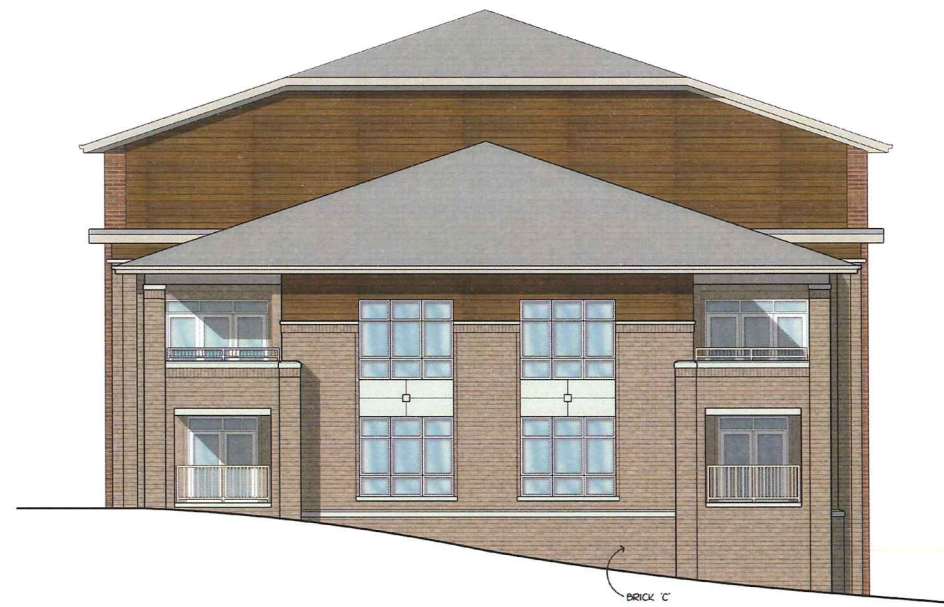
Blackhawk Church - Upper Level Fireside Room
9620 Brader Way in Middleton

From Mineral Point Road, enter on Bear Claw Way
(east of church) or on Veritas Drive (west of church).
Choose upper deck parking.

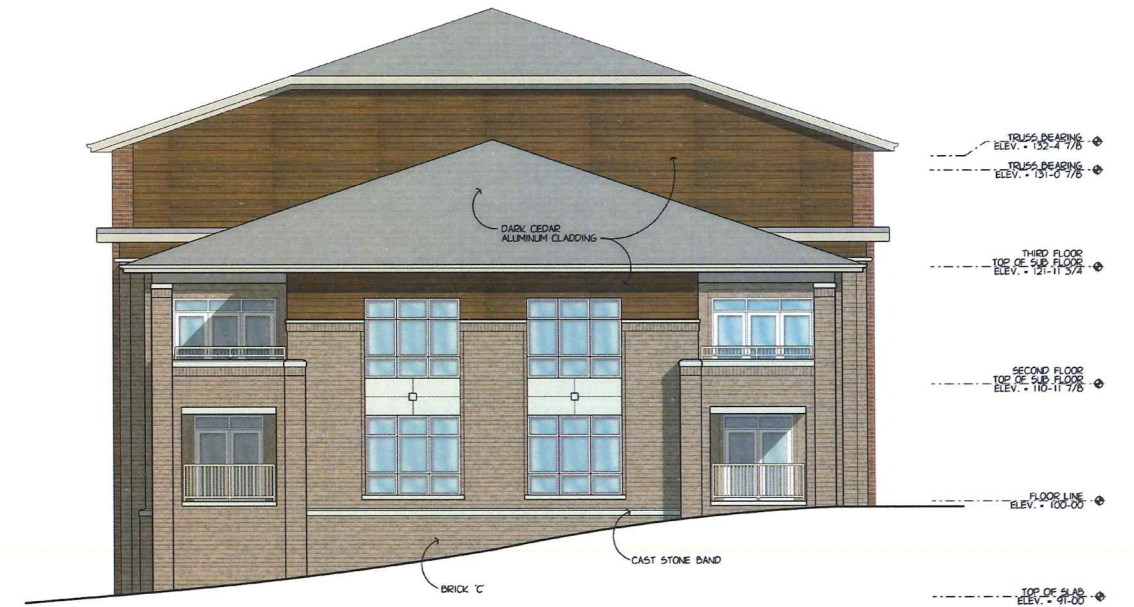
United Financial Group, Inc.
Judy / Toll Free 877-968-8105
JHusar@ufgroup.net



- **Paragon Place at Bear Claw Way** – Residential Building Complex
- **Plans approved per existing Conditional Use Permit:**
 - Approved Elevations – Building #4 (2 sheets)
 - Approved overall floor plans – Building #4 (3 sheets)
 - Approved Civil Plans – Building #4 (1 sheet)
 - Approved Landscaping Plans – Building #4 (4 sheets)
 - Approved Photometric Plan (1 sheet)



EAST ELEVATION



WEST ELEVATION



WILRICH STREET ELEVATION

05 Jan 2016

0 4 8 16
SCALE: 1/8" = 1'-0"

Paragon Place at Bear Claw Way
Approved Building #4, Three/Two Story, 32 Unit
Madison, Wisconsin





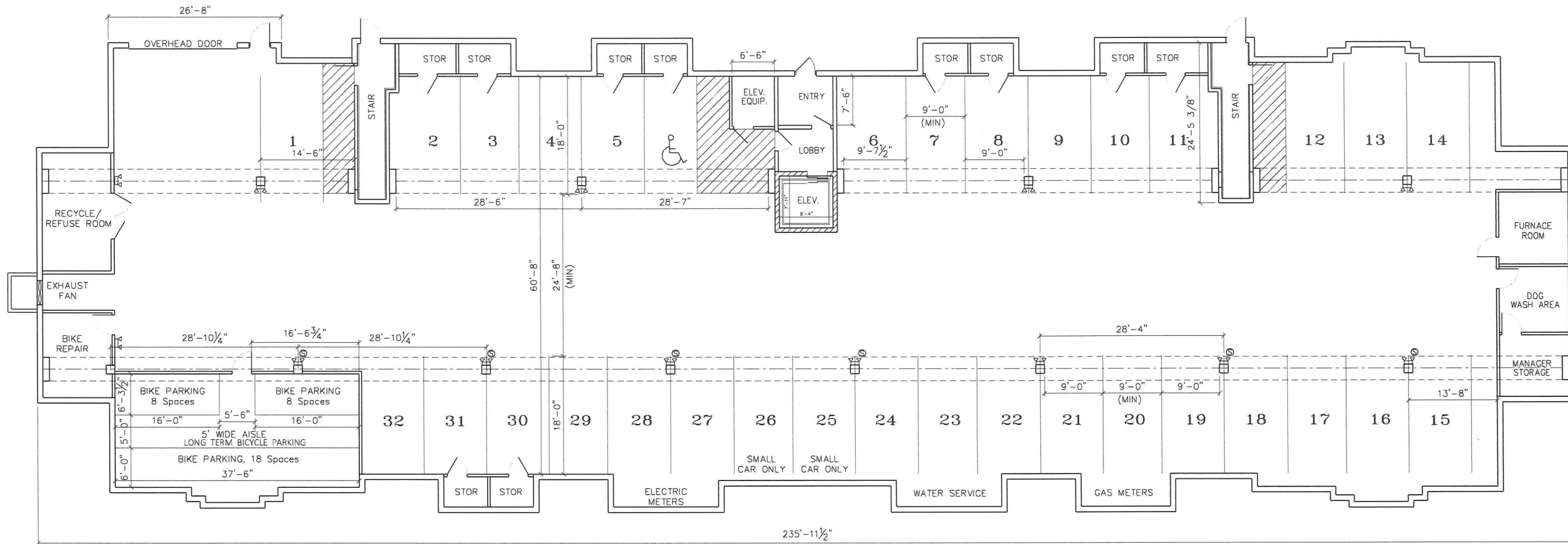
NORTH COURTYARD ELEVATION

05 Jan 2016

0 4 8 16
SCALE: 1/8" = 1'-0"

Paragon Place at Bear Claw Way
Approved Building #4, Three/Two Story, 32 Unit
Madison, Wisconsin





Parking Garage

REVISIONS	

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SCHULER & ASSOCIATES, INC.
LAND SURVEYORS & ENGINEERS

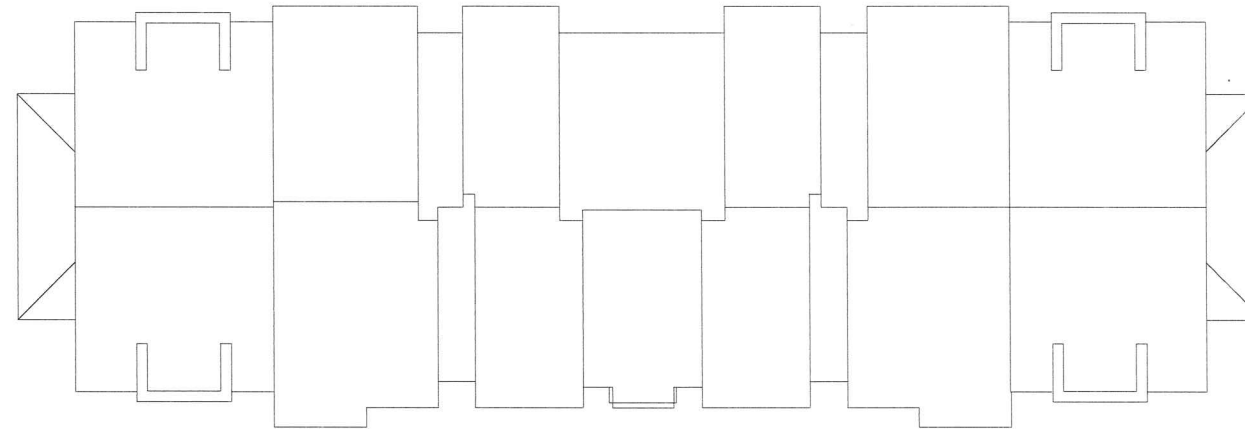
2711 N. MASON STREET, Suite F APPLETON, WI 54914-2126 (920) 734-9107

These plans have been prepared per standard professional practices. Each contractor is responsible for verifying all dimensions and details prior to beginning construction.

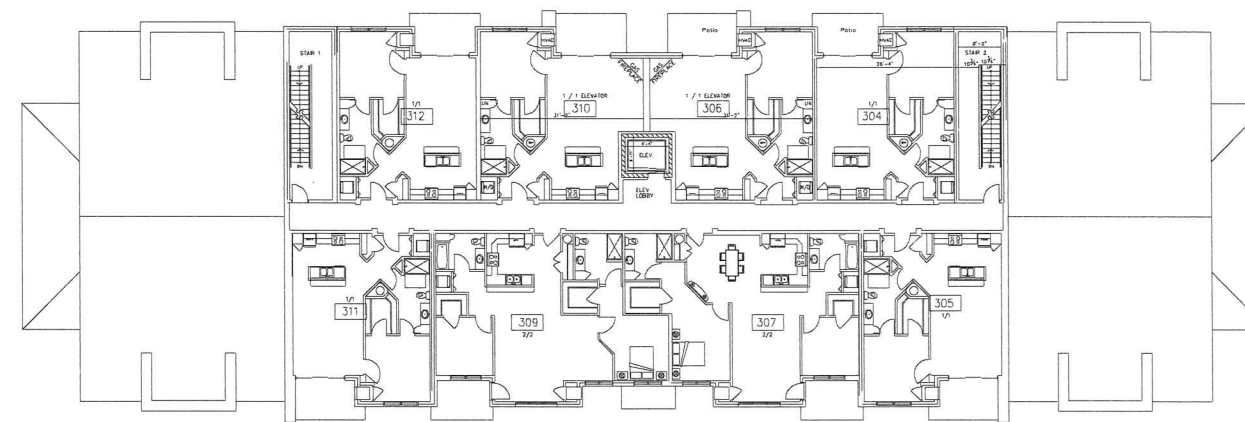
**Parking Garage
Paragon Plaza
Building 4**

Construction Manager:
United Financial Group Inc., 550 W. Ridgeview Drive, Appleton, WI 54911

DRAWN
crs
DATE
1-5-16
SCALE
1/8" = 1'-0"
JOB NO.
4192
SHEET
4



Roof Plan

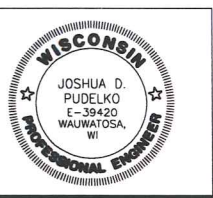
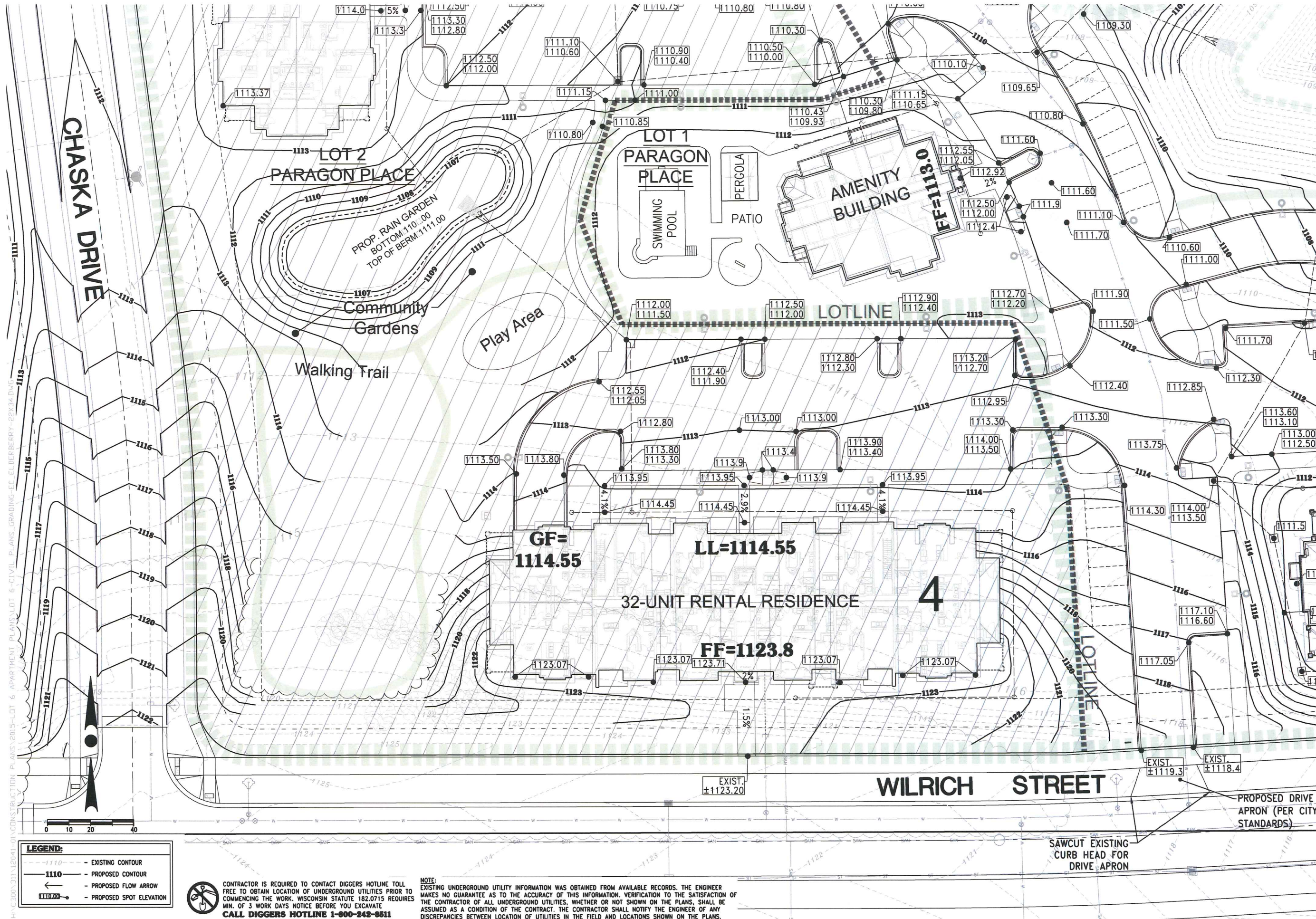


Third Floorplan



Paragon Place at Bear Claw Way
BUILDING #4 FLOORPLANS
Madison, Wisconsin

Jan 5 2016



PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
ELDERBERRY NEIGHBORHOOD
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeway Drive
Appleton, WI 54911

REVISION HISTORY	
DATE	DESCRIPTION
06/22/16	AMENITY AREA UPDATES
04/28/16	PER CITY COMMENTS
03/25/16	PER CITY COMMENTS
02/02/16	PHASE I PLANS
12/21/15	PER CITY COMMENTS
10/15/15	CIVIL PLAN SET

DATE:
JUNE 22, 2016

JOB NUMBER:
12041

DESCRIPTION:
**SW DETAIL
GRADING AND
DRAINAGE PLAN**

SHEET

C2.4

FOUNDATION & BUILDING PERIMETER PLANTING

- o This area shall incorporate a layered combination of evergreen and deciduous plant material that is native with the possible inclusion of some exotics, such as, Japanese Maples, Magnolias, Seven Son Flower Trees, and White Fringe Trees. These are plants that you would typically see in a garden setting and not in a commercial development setting.
- o Along with this, the intent is to use mass bold grasses to create the appearance of a native prairie where the buildings rise above, yet are in harmony with the plantings.

by
UNITED FINANCIAL GROUP, INC.
660 W. Ridgeview Drive
Appleton, WI 54911

STREET TREE PLANTING

- o The Landscape Architect chooses to select native cultivars that are unique in use for a commercial setting.
- o The plants will be selected for their hardiness, their urban tolerance and their aesthetic value.
- o The street tree planting, in effect, creates the large scale outdoor room of this approximately 9 acre development and it sets the stage for the gardens within.

FOCAL POND FEATURE

- o Landscape Architect will incorporate plantings specifically to the pond to further enhance and create a major focal element of this lot.
- o This will ultimately become a destination point for the immediate community, the overall local community, and the surrounding wildlife.
- o It will be enhanced with benches, bird feeders/houses and plant material that will attract not only waterfowl but also songbirds and other wildlife typically found in an arboretum setting.



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LANDSCAPE ARCHITECTS

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PARAGON PLACE

PROJECT:
PARAGON PLACE AT
BEAR CLAW WAY
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY

DATE	DESCRIPTION
6-22-16	AMENITY AREA UPDATES
4-28-16	PER CITY COMMENTS
3-25-16	PER CITY COMMENTS
2-02-16	PHASE 1 PLANS
12-21-15	PER CITY COMMENTS
5-26-15	PER UDC COMMENT
4-16-15	INITIAL SUBMITTAL

DATE:

JUNE 22, 2016

JOB NUMBER:

12041

DESCRIPTION:

OVERALL
LANDSCAPE PLAN

SHEET

L1.0

H:\C300\311\12041-01\CONSTRUCTION PLANS\2015-L1.0 6 APARTMENT PLANS\LOT 6-LANDSCAPE_PLANS_ELBERRY-22X34.DWG



GARLAND ALLIANCE
P.O. BOX 510125
MILWAUKEE, WI 53203
MR. TIM R.S. GARLAND, RLA
MASTER LANDSCAPE ARCHITECT

NATIVE AREA
CLEAR OUT
'INVASIVES' ESTABLISH
NATIVES AS
APPROPRIATE

WALKING TRAIL SYSTEM

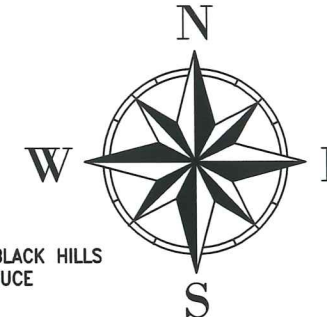
- o The walking trail will provide the walker with the ability to exercise, view existing wildlife and take part in educational opportunities as he/she moves in and out of the existing woodlands, open meadows, and pond areas.
- o The walking path will consist of 3"-4" of compacted TB, thus minimizing long term maintenance of the path versus installing a mulch path that will generally need to be refurbished every 2-3 years.
- o It will be approximately 6-8 ft wide and will be scaled appropriately for up to four people to walk side by side in order to accommodate people walking on both sides of path.

COMMUNITY GARDENS

- o The size of the raised planters will be 4' wide by 40' long.
- o The pads for the planters will be 20' wide by 50' long.
- o A Versa-Lok block system will be used to raise top of planter to 24" above grade.

COMMUNITY CENTER

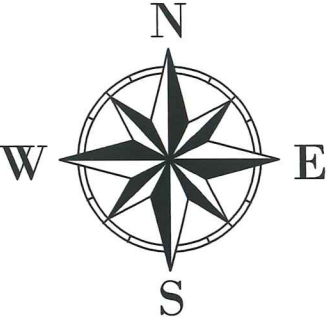
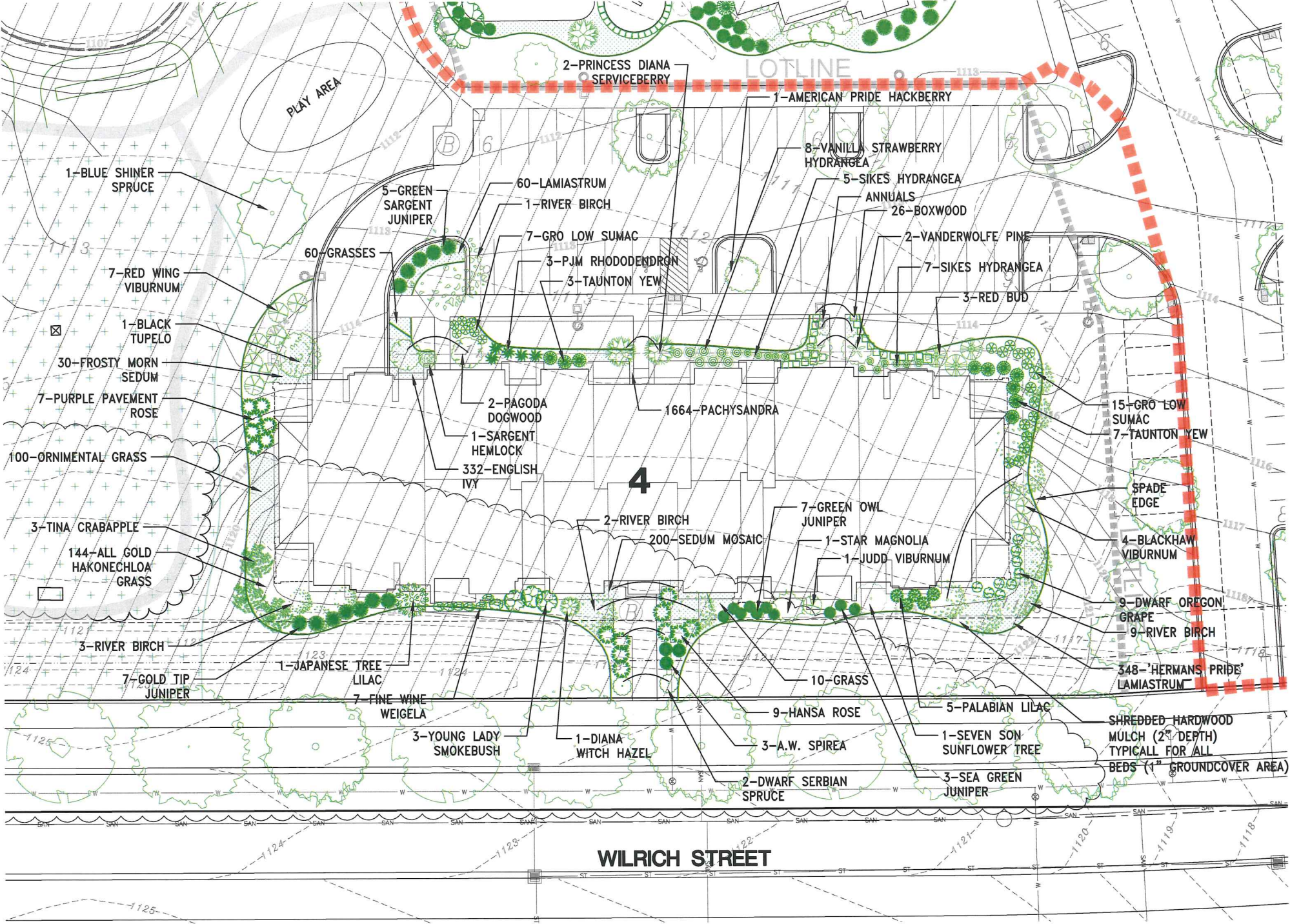
- o Again we will use a combination of grasses, natives and ornamentals to frame the facility but also as one is inside the facility looking out the plants will also screen the parking lot area to the viewer.
- o This area will be designed to be multi-functional, including a patio space, swimming pool, play area and community garden.



LANDSCAPE STATEMENT
The Landscape Architect would like to create an "Arboretum Quality Effect" within this rental residence and create a "Naturalized Landscape" that provides minimal developed building envelopes where nature rules. He would also like to provide an educational tool for both the immediate and outlying community.

Scale: 1" = 40' (22"x34")
Scale: 1" = 80' (11"x17")
DATE: 06-22-2016

by
UNITED FINANCIAL GROUP, INC.
660 W. Ridgeview Drive
Appleton, WI 54911



Scale: 1" = 20' (22"x34")
Scale: 1" = 40' (11"x17")
DATE: 06-22-2016


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PARAGON PLACE

PROJECT:
PARAGON PLACE AT
BEAR CLAW WAY
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY	
DATE	DESCRIPTION
6-22-16	AMENITY AREA UPDATES
4-28-16	PER CITY COMMENTS
3-25-16	PER CITY COMMENTS
2-02-16	PHASE 1 PLANS
12-21-15	PER CITY COMMENTS
5-26-15	PER UDC COMMENT
4-16-15	INITIAL SUBMITTAL

DATE:
JUNE 22, 2016

JOB NUMBER:
12041

DESCRIPTION:
BUILDING 4
FOUNDATION
LANDSCAPE PLAN

SHEET

L1.4

H:\C300\311\12041-01\CONSTRUCTION PLANS\2015-LOT 6 APARTMENT PLANS\LOT 6 LANDSCAPE PLANS_ELBERRY-22X34.DWG


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MASTER LANDSCAPE ARCHITECT

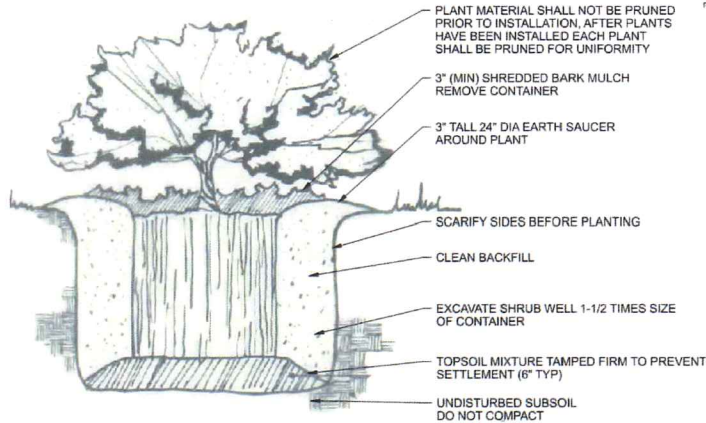
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GARLAND ALLIANCE
P.O. BOX 510125
MILWAUKEE, WI 53203

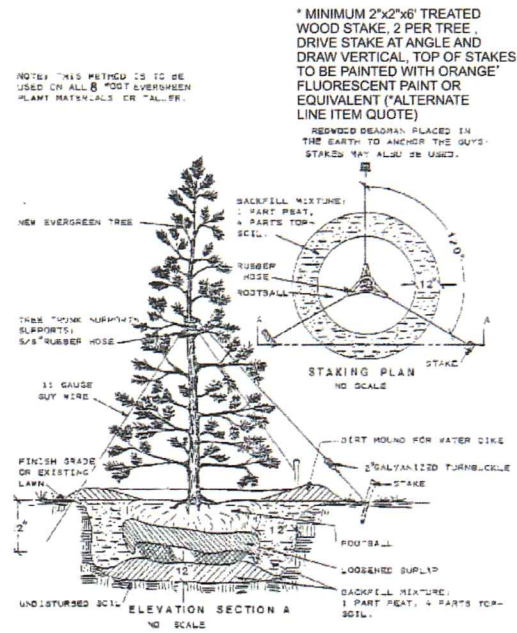
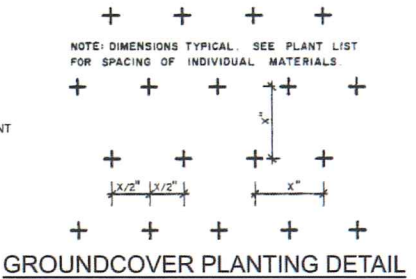
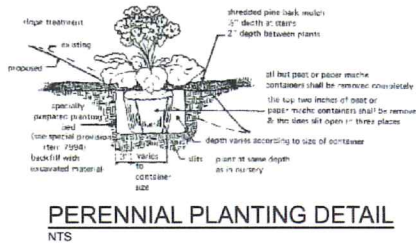
MR. TIM R.S. GARLAND, RLA
MASTER LANDSCAPE ARCHITECT

by
UNITED FINANCIAL GROUP, INC.
660 W. Ridgeview Drive
Appleton, WI 54911



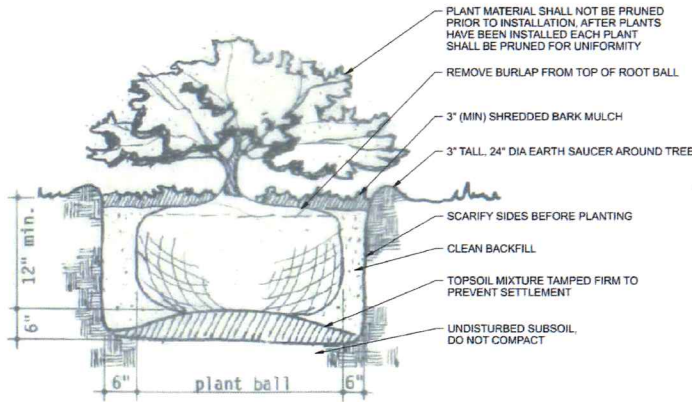
CONTAINER SHRUB DETAIL

NTS



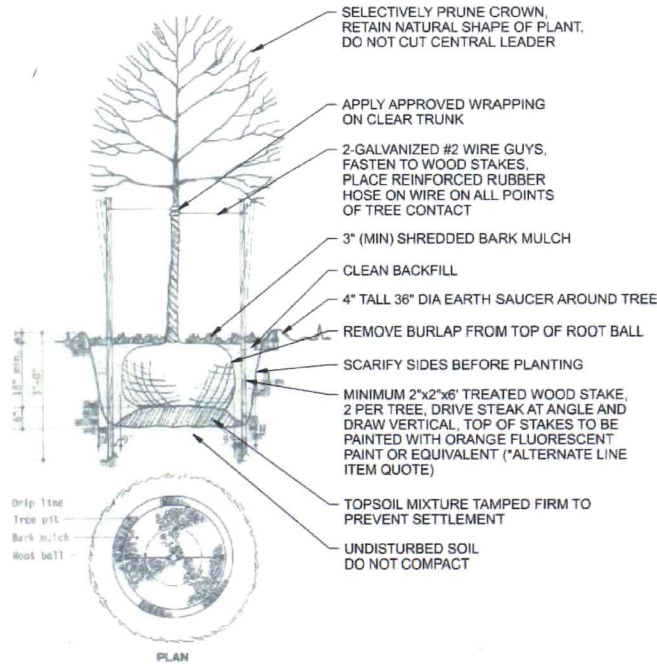
EVERGREEN TREE PLANTING DETAIL

NTS



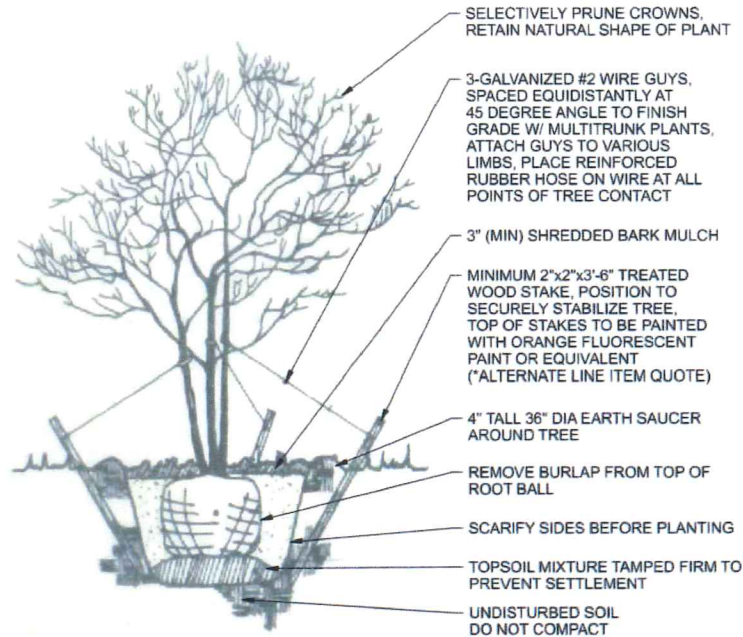
B&B SHRUB PLANTING DETAIL

NTS



SMALL TREE PLANTING DETAIL

NTS



MULTI-TRUNK TREE PLANTING

NTS

THE LANDSCAPE CONTRACTOR SHALL VERIFY GRADES ESTABLISHED DURING FINAL SOIL PREPARATION AS BEING TRUE TO FINISH CONTOURS SHOWN, AND SHALL MAINTAIN SUCH AREAS UNTIL THE EFFECTIVE DATE TO BEGIN SODDING AND/OR SEEDING OPERATIONS. IN SUCH INSTANCES WHERE A SPLIT RESPONSIBILITY EXISTS BETWEEN GRADING AND GRASSING CONTRACTORS, IT SHALL BE THE RESPONSIBILITY OF THE GRASSING CONTRACTOR TO MAINTAIN A SUITABLE GRADE FOR GRASSING ONCE HE HAS ACCEPTED THE GRADE PROVIDED TO HIM. IN ALL CASES, THE GROUND SHALL BE HAND RAKED IMMEDIATELY PRIOR TO BEING SODDED TO REMOVE ANY IRREGULARITIES IN THE GRADE.

GUARANTEE PERIOD FOR PLANT MATERIALS SHALL BE AS FOLLOWS:

LAWNS (SEED AND SOD)*	3 MONTHS
GROUND COVER	3 MONTHS
SHRUBS	12 MONTHS
TREES	12 MONTHS
PERENNIALS AND ROSES	90 DAYS FROM INTRODUCTION

* IF LAWN IS INSTALLED IN FALL AND NOT GIVEN FULL 90 DAYS OF GUARANTEE PERIOD, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE GUARANTEE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.

ALL SHRUB PLANTING BEDS TO BE LINED WITH A MINIMUM OF 3" SHREDDED BARK MULCH (NO PLASTIC LINERS). PLACE MULCH AT BASE OF ALL TREES (MIN. 3" DIA.).

A 10/10/10 FERTILIZER MIXTURE SHALL BE APPLIED AT 20#/1000 SF WORKED INTO THE LAWN BED BEFORE SEEDING OR SODDING.

TYPICAL SEED MIXTURE:

RED FESCUE	50%
PERENNIAL RYE GRASS	30%
PERENNIAL RYE GRASS	20%

PROPOSED TREES TO BE OPTIONALLY STAKED AS PER PLANTING DETAILS. (PLEASE SPECIFY LINE ITEM IN PROPOSAL FOR STAKING).

ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY. ANY TREES MISPLACED WILL BE SUBJECT TO REJECTION.

UPON ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A COMPLETE AND ADEQUATE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE JOB DURING THE GUARANTEE PERIOD TO DETERMINE IF PROPER MAINTENANCE IS BEING GIVEN.

IT SHALL BE UNDERSTOOD THAT IN ACCORDANCE WITH THE TERMS OF THE GUARANTEE THAT THE LANDSCAPE CONTRACTOR MUST PROMPTLY INFORM THE OWNER IF PROPER MAINTENANCE IS NOT BEING GIVEN TO THE INSTALLATION. SUCH NOTICE SHALL BE IN WRITING, OUTLINING CORRECTIVE MEASURES TO BE TAKEN, WITH A COPY TO THE LANDSCAPE ARCHITECT. AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO REPLACE ALL PLANTS THAT ARE DEAD OR IN UNSATISFACTORY CONDITION OF GROWTH. ALL REPLACEMENT PLANTS SHALL BE OF LIKE SIZE AND KIND OF THE PLANTS REMOVED. ANY SEED AREAS OVER ONE FOOT SQUARE NOT COVERED BY TURF SHALL BE RESEED BY THE CONTRACTOR. ANY SODDED AREAS OVER ONE FOOT SQUARE THAT ARE DEAD OR DYING SHALL BE RESEED BY THE LANDSCAPE CONTRACTOR. ALL REPLACEMENTS INCLUDED WITHIN THE GUARANTEE SHALL BE THE LANDSCAPE CONTRACTOR'S EXPENSE.

ANY ALTERATIONS TO THE LANDSCAPE PLAN WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE LANDSCAPE CONTRACTORS ARE RESPONSIBLE FOR MAKING SURE ALL TREE BALLS ARE MOIST AT THE CORE, WHEN TREES ARE INSTALLED.

LAWN EDGES THAT ABUT PARKING LOTS WITH NO CURBING SHALL BE DOUBLE SEED TO A WIDTH OF 5'-0".

HERBICIDE (TRIFLORAL OR EQUIVALENT) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.

PLANTING AND LANDSCAPE NOTES:

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COORDINATION OF PLANTING OPERATIONS AND RELATED CONTRACTUAL OPERATIONS WITH THE OTHER CONTRACTORS ON THE JOB. REPAIR OF DAMAGE TO PLANTS, GRADES, LAWNS, ETC., DURING INSTALLATION SHALL NOT BE CONSIDERED AS AN EXTRA, AND NOT CHARGEABLE TO THE OWNER. DAMAGE CAUSED BY OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF SAID CONTRACTOR.

THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, SOIL, AND/OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. CONTRACTOR SHALL CLEAN BEHIND HIS WORK IMMEDIATELY AND SHALL TAKE NECESSARY PRECAUTIONS TO KEEP CONCRETE, BRICK AND OTHER PAVING MATERIAL CLEAN OF SOIL.

MATERIALS PLANTED AND DAMAGED OR DESTROYED BY ANY PHENOMENA CONSIDERED AS AN ACT OF GOD, E.G., VANDALISM, WIND, FIRE, FLOOD, FREEZE, THEFT, RAIN, HAIL, ETC., SHALL BELONG TO THE OWNER AND SHALL BE HIS RESPONSIBILITY. MATERIALS STORED ON-SITE AS YET NOT PLANTED ARE NOT COVERED BY THIS CLAUSE AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE NO. 1 GRADE, BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS. THE LANDSCAPE ARCHITECT RESERVES ALL RIGHTS TO DETERMINE ACCEPTABILITY OF PLANT MATERIAL SUBMITTED FOR PLANTING.

ALL PLANTS SHALL BE PLANTED IN PITS, CENTERED AND SET ON SIX-INCHES OF COMPACTED TOPSOIL TO SUCH A DEPTH THAT THE FINISH GRADE LEVEL AT THE PLANT AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. ALL PLANTING AREAS SHALL RECEIVE ADEQUATE FERTILIZATION WITH "EENEY GROW" 1-YEAR (1 OZ.) FERTILIZER PACKETS OR EQUIVALENT, OR AGREED UPON GRANULAR FERTILIZER AS DISCUSSED WITH LANDSCAPE ARCHITECT.

APPLICATION RATES SHALL BE AS FOLLOWS:

TREES:
1-1/2" TO 3" CAL.: 2 PACKETS, ONE EACH SIDE
GREATER THAN 3": 1 PACKET PER 1" CAL. (I.E. 4"-4 PACKETS)

SHRUBS:
1 PACKET FOR EVERY 12" HEIGHT OR SPREAD. (SPACE EVENLY IF 2 OR MORE PACKETS IS REQUIRED.)

CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTS DURING THE DURATION OF THE INSTALLATION.

PERFORM ALL WORK NECESSARY FOR INSTALLING SOD AND/OR SEED AS SHOWN ON THE DRAWINGS OR INFERABLE THEREFROM AND/OR AS SPECIFIED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IMMEDIATELY PRIOR TO SEEDING, THE GROUND SHALL BE MECHANICALLY SCARIFIED AND RAKED TO A FRIABLE FINE TEXTURE. LAWN AREAS SHALL BE SEED WITH A MECHANICAL SPREADER AT THE RATE OF 5#/100SF. AFTER SEEDING, ALL AREAS SHALL BE RAKED AND ROLLED TO SATISFACTORILY COVER SEED, AND THEN THOROUGHLY WATERED, AND COVERED WITH TREATED SHREDDED PAPER MULCH OR STRAW MULCH. THE METHOD OF SEEDING MAY BE VARIED BY THE CONTRACTOR BY HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH UNIFORM TURF. INSTALL EROSION CONTROL FABRIC ON EMBANKMENTS THAT EXCEED 1:3 SLOPE.

SEED SHALL BE TRUE TO SPECIE AS CALLED FOR ON THE SEEDING PLAN. ALL SEED SHALL BE DELIVERED TO THE JOB SITE IN PACKS PLAINLY MARKED AND CERTIFIED AS TO CONTENT.

SOD SHALL BE PLACED WHEN THE GROUND IS IN WORKABLE CONDITION AND TEMPERATURES ARE LESS THAN 90 DEGREES FAHRENHEIT.

LANDSCAPE CONTRACTOR SHALL WATER SOD IMMEDIATELY AFTER INSTALLATION TO PREVENT EXCESSIVE DRYING DURING PROGRESS OF THE WORK. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET.



GARLAND ALLIANCE
LANDSCAPE ARCHITECTS

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EMAIL: jpaudal@trioeng.com



PARAGON PLACE

PROJECT:
PARAGON PLACE AT
BEAR CLAW WAY

CITY OF MADISON, WI
BY: **United Financial Group, Inc.**
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY

DATE	DESCRIPTION
6-22-16	AMENITY AREA UPDATES
4-28-16	PER CITY COMMENTS
3-25-16	PER CITY COMMENTS
2-02-16	PHASE 1 PLANS
12-21-15	PER CITY COMMENTS
6-28-15	PER UDC COMMENT
4-16-15	INITIAL SUBMITTAL

DATE:

JUNE 22, 2016

JOB NUMBER:

12041

DESCRIPTION:

LANDSCAPE
DETAIL PLAN

SHEET

L1.7

DATE: 06-22-2016

H:\C300\311\12041-01\CONSTRUCTION PLANS\2015-LDT 6 APARTMENT PLANS\LOT 6-LANDSCAPE_PLANS_ELDERBERRY-22X34.DWG

PARAGON PLACE- SHEET L1.0 FEBRUARY 02, 2016					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
3	Acer saccharum "Bonfire"	Bonfire sugar Maple	2-1/2"	B&B	
2	Celtis occidentalis "Chicagoland"	Chicagoland Hackberry	2-1/2"	B&B	
4	Ginkgo biloba "Autumn gold"	Autumn Gold Ginkgo	2-1/2"	B&B	
0	Gymnocladus dioica	Kentucky Coffeetree	2-1/2"	B&B	Noted on sheet L1.5
5	Larix	Amreican Larch	10-12"	B&B	
56	Plantanus x acerifolia	Ovation Planetree	2-1/2"	B&B	
4	Taxodium distichum	Bald Cypress	8-10"	B&B	
1	Nyssa sylvatica	Black tupelo	2-1/2"	B&B	Noted on sheet L1.4
11	Picea abies	Norway Spruce	6-7"	B&B	
14	Picea pungens densata	Black Hills Spruce	5-6"	B&B	
3	Pinus sylvestris	Scot Pine	6-7"	B&B	

PARAGON PLACE- SHEET L1.1 FEBRUARY 02, 2016					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
2	Acer psuedosieboldianum	Fullmoon Maple	6-7"	B&B	
2	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6-7"	B&B	Multi-trunk
20	Betula nigra 'Heritage'	Heritage River Birch	10-12"	B&B	Multi-trunk
2	Carpinus caroliniana	Blue Beech	6-7"	B&B	Multi-trunk
1	Cladstris lutea	Yellowwood	2-1/2"	B&B	
3	Crataegus crus galli inermis	Thornless Cockspur Hawthorn	2-1/2"	B&B	
1	Crataegus phanopyrum	Washington Hawthorn	6-7"	B&B	Multi-trunk
3	Fagus sylvatica 'Red Obelisk'	Red Obelisk Beech	2-1/2"	B&B	
	Heptacodium miconiodes	Seven Son Flower Tree	7-8"	B&B	Multi-trunk
1	Liriodendron tuliperifa	Tulip Tree	2-1/2"	B&B	
2	Magnolia x 'Ann'	Ann Magnolia	6-7"	B&B	
1	Malus x 'Professor Sprenger'	Professor Sprenger Crab	5-6"	B&B	Multi-trunk
1	Malus x 'Red Jewel'	Red Jewel Crab	5-6"	B&B	Multi-trunk
1	Viburnum prunifolium	Blackhaw Viburnum	7-Jun	B&B	Multi-trunk
5	Picea glauca densata	Black Hills Spruce	5-6"	B&B	
1	Picea pungens 'Fastigiata'	Columnare Blue Spruce	7-8"	B&B	
6	Picea omorika	Serbian Spruce	6"	B&B	
3	Picea x 'Cupressina'	Cupressina Spruce	5-6"	B&B	
1	Pinus nigra	Austrian Pine	5-6"	B&B	
	Pinus flexis 'Vanderwolf's Pyramid'	Vanderwolf's Pine	5-6"	B&B	
1	Pinus strobus 'Fastigiata'	Columnare White Pine	6-7"	B&B	
2	Pinus sylvestris	Scots Pine	8"	B&B	
1	Pinus x 'Forest Sky Mexican'	Forest Sky Mexican Pine	6-7"	B&B	
3	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	24-30"	cont.	
7	Aronia melanocarpa	Black Chokeberry	24-30"	cont.	
9	Clethra anifolia	Clethra	18-24"	cont.	Ruby Spice'
3	Fothergilla gardenii	Fothergilla	18"	cont.	
7	Forsythia x 'Sunrise'	SunriseForsythia	30-36"	cont.	
3	Hamamelis vernalis	Vernal Witchhazel	3-4'	cont.	
	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	24-30"	cont.	
3	Sambucus nigra 'Black Lace'	Black Lace elderberry	18"	cont.	
5	Spirea x 'Foebellii'	Foebel Spirea	15-18"	cont.	
1	Syringra patula 'Miss Kim'	Miss Kim Lilac	24"	cont.	
2	Viburnum carlesii	Korean Spice Viburnum	24"	cont.	
2	Viburnum x 'Juddii'	Judd Viburnum	24"	B&B	
3	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	3-4'	cont.	
9	Viburnum lantana 'Mohican'	Mohican Viburnum	3-4'	cont.	
5	Weigela x 'Dark Horse'	Dark Horse Weigela	24-30"	cont.	
46	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	5 gal	
5	Mahonia aquifolium	Oregongrape Holly	18"	5 gal	
6	Illex x 'Berrimagic'	Berrimagic Holly	18"	3 gal	
7	Juniperus chinensis 'Pfitzeriana'	Pfitzer Juniper	24-30"	cont.	
8	Juniperus sargentii glauca	Blue Sargent Juniper	24-30"	cont.	
7	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.	
7	Juniperus x 'Grey Owl'	Grey Owl Juniper	24"	cont.	
2	Picea glauca 'R. H. Montgomery'	Dwarf Globe Blue Spruce	24"	5 gal	
2	Piea x 'Pumilo'	Pumilo Spruce	18"	cont.	
2	Pinus x 'Blue shag'	Blue Shag Pine	15-18"	cont.	
2	Pinus strobus 'Globosum'	Globe White Pine	24"	cont.	
16	Taxus x 'Tautonii'	Taunton Yew	24"	B&B	
630	Euonymus fortunei coloratus	Wintercreeper	3"	cont.	
40	Sapphire Blue Oats Grass	Grass	1 gal	cont.	
60	River Mist Nothern Sea Oats	Grass	1 gal	cont.	
72	Bronze Veil Deschampsia	Grass	1 gal	cont.	
620	Carex	Sedges	1 gal	cont.	
36	Ornamentl Grasses	Grass	1 gal	cont.	
228	Geranium 'Big Leaf'	Perennial Big Leaf Geranium	4-1/2"	cont.	
300	Sedum	Assorted Groundcover Sedum	4-1/2"	cont.	

by
UNITED FINANCIAL GROUP, INC.
660 W. Ridgeview Drive
Appleton, WI 54911

PARAGON PLACE- SHEET L1.2 FEBRUARY 02, 2016					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
4	Acer psuedo	Fullmoon Maple	6-7"	B&B	
15	Betula nigra 'Heritage'	Heritage river Birch	10-12"	B&B	Multi-trunk
3	Cornus alternifolia	Pagoda Dogwood	6-7"	B&B	Multi-trunk
2	Chionanthus virginicus	White Fringe Tree	6-7"	B&B	Multi-trunk
1	Carpinus betulus "Fastigiata"	Columnare European Hornbeam	3"	B&B	Multi-trunk
1	Crataegus viridis "Winterking"	Winter King Hawthorn	2"	B&B	
3	Fagus sylvatica "Red Obelisk"	Red Obelisk Beech Tree	2"	B&B	
3	Quercus robur 'Fastigiata'	Skyrocket Oak	2-1/2"	B&B	
5	Picea Glauca densata	lack Hills Spruce	6-7"	B&B	
1	Pinus sylvestris	Scot Pine	6-7"	B&B	
1	Magnolia x "Leonard Messel"	Leonard Messel Magnolia	7-8"	B&B	Multi-trunk
15	Amelanchier stolonifera	Running Serviceberry	15-18"	cont.	
5	Cornus sericea "Cardinal"	Cardinal Redtwig Dogwood	3-4"	cont.	
9	Hydrangea x 'Limelight'	Limelight Hydrangea	18"	3 gal	"Shiner"
8	Rhus aromatica 'Gro-Low'	Gro-low sumac	18"	3 gal	
15	Rosa rugosa 'Hansa'	Hansa Shrub Rose	18"	3 gal	
5	Rosa x 'Purple Pavement'	Purple Pavement shrub Rose	18"	3 gal	
3	Syringa x 'Miss Kim'	Miss Kim Lilac	18"	3 gal	
3	Syringa patula 'Little Boy blue'	Little Boy Blue Lilac	24"	3 gal	
1	Viburnum x 'Juddii'	Judd Viburnum	30-36"	B&B	
4	Viburnum lantana 'Mohican'	Mohawk viburnum	3-4"	cont.	
1	Viburnum carlesii	Korean spice Viburnum	30-36"	B&B	
6	Viburnum trilobum 'Hahs'	Hah's Viburnum	3-4"	cont.	
9	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	3-4"	cont.	
7	Weigela florida 'Wine and Roses'	Wine and Roses Weigela	24-30"	cont.	
54	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	cont.	
9	Illex x 'Berrimagic'	Berrymagic Winterberry	18"	cont.	
14	Juniperus chinensis Pfitzeriana	Pfitzer Juniper	24-30"	cont.	
3	Juniperus chinensis 'Kallay's	Kallays Compact Juniper	24"	cont.	
9	Juniperus x 'Sea Green'	Sea Green Juniper	24-30"	cont.	
12	Mahonia aquifolium	Oregongrape Holly	18-24"	cont.	Compact variety
10	Taxus x 'Tautonii'	Taunton yew	24-30"	cont.	
2	Picea x 'Birds Nest'	Birds Nest Spruce	18"	cont.	
3	Pinus mugho 'Encl'	End Mugo Pine	18"	cont.	
2	Pinus x Globosum	Globe White Pine	24"	cont.	
1	Pinus x 'Mops'	Mop's Pine	24"	cont.	
594	Euonymus fortunei var.coloratus	Purpleleaf Wintercreeper	3"	pot	
30	Aster	Fall Aster	1 gal	pot	
30	Hemerocallis	Tetraploid Daylily	1 gal	pot	
132	Hosta	Hosta	1gal	pot	
60	Sedum	Sedum	1 gal	pot	
582	Ornamental Grasses	Grasses	1 gal	pot	

PARAGON PLACE- SHEET L1.3 FEBRUARY 02, 2016					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
3	Acer griseum	Paperbark Maple	2-1/2"	B&B	
1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6-7"	B&B	
3	Amelanchier x 'Cumulus'	Cumulus Serviceberry	8-9"	B&B	Multi-trunk
15	Betula nigra 'Heritage'	Heritage' River Birch	10-12"	B&B	
3	Cornus mas 'Golden Glory'	Golden Glory' Comealliancherry	7-8"	B&B	Multi-trunk
2	Crataegus crus galli inermis	Thornless Hawthorn	5-6"	B&B	Multi-trunk
1	Magnolia x "Ann"	Ann Magnolia	5-6"	B&B	
3	Ostrya virginiana	Ironwood	2-1/2"	B&B	
1	Syringa reticulata	Japanese Tree Lilac	2"	B&B	
1	Picea abies	Norway Spruce	10'	B&B	
4	Pinus sylvestris	Scot Pine	6-7"	B&B	
		Cool Splash Dwarfbush			
15	Diervilla sessilifolia 'Coolsplash'	Honeysuckle	18"	cont.	
15	Diervilla sessilifolia 'Butterfly'	Butterfly' Dwfbush Honeysuckle	18"	cont.	
6	Hydrangea quercifolia 'Sikes'	Sikes' Hydrangea	18"	cont.	
7	Kerria japonica 'Geisha'	Geisha' Kerria	18"	cont.	
9	Rhus aromatica "Gro-Low"	Gro-Low Fragrant Sumac	18"	cont.	
5	Rosa rugosa "Purple Pavement"	Purple Pavement' Shrub Rose	18"	cont.	
1	Viburnum x "Juddii"	Judd Viburnum	24-30"	B&B	
1	Viburnum carlesii	Koreanspice Viburnum	24-30"	B&B	
	Viburnum dentatum "Blue Muffin"	Blue Muffin Viburnum	30-36"	B&B	
3	Viburnum dentatum "Chicago Lustre"	Chicago Lustre Viburnum	3-4"	cont.	
5	Viburnum prunifolium	Blackhaw Viburnum	5-6"	B&B	
	Physocarpus opulifolius "Summer Wine"	Summer Wine Ninebark	4-Mar	cont.	
42	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	B&B	
	Juniperus chinensis Pfitzeriana "Kallays Compact"	Kallays Compact Pfitzer Juniper	24-30"	cont.	
10	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.	
5	Juniperus sargentii var. glauca	Blue Sargent Juniper	24-30"	cont.	
9	Juniperus x 'Grey Owl'	Grey Owl Juniper	24-30"	cont.	
2	Picea omorika 'Nana'	Dwarf Serbian spruce	18"	cont.	
10	Taxus x 'Tautonii'	Tuaton Yew	24-30"	B&B	
2944	Pachysandra terminalis	Pachysandra	plug	32/flat	
240	Geranium	Perennial Geranium	1 gal	cont.	
360	Sedum	Sedum	1 gal	cont.	
288	Ornamental Grasses	Grasses	1 gal	cont.	
420	Carex	Sedges	1 gal	cont.	



GARLAND ALLIANCE
P.O. BOX 51025
MILWAUKEE, WI 53203
MR. TIM R.S. GARLAND, RLA
MASTER LANDSCAPE ARCHITECT

DATE: 06-22-2016

PARAGON PLACE- SHEET L1.4 FEBRUARY 02, 2016					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
2	Amelanchier x 'Princess diana'	Princess Diana Serviceberry	8-Jul	B&B	Multi-trunk
15	Betula nigra 'Heritage'	Heritage River Birch	8-10'	B&B	Multi-trunk
3	Cercis canadensis	Eastern Redbud	6-7"	B&B	Multi-trunk
3	Cotinus x 'Young Lady'	Young lady Smokebush	6-7"	B&B	
2	Cornus alternifolia	Pagoda Dogwood	7-8"	B&B	Multi-trunk
1	Hamamelis vernalis 'Diana'	Diana Witchhazel	5-6"	B&B	
1	Heptacodium miconiodes	Seven Son flower	6-7"	B&B	
1	Magnolia stellata	Star Magnolia	5-6"	B&B	Multi-trunk
1	Malus x 'Tina'	Tina flowering Crab	5-6"	B&B	Multi-trunk
1	Nyssa sylvatica	Black Tupelo	2-1/2"	B&B	
1	Syringa reticulata	Japanese Tree Lilac	6-7"	B&B	Multi-trunk
2	Picea omorika 'Compactum'	Dwarf Serbian Spruce	18"	cont.	
	Pinus flexis 'Vanderwolf's Pyramid'	Vanderwolf's Pine	6-7"	B&B	
8	Hydrangea 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	18"	cont.	
12	Hydrangea quercifolia 'Sikes'	Sikes Hydrangea	18"	3 gal	
1	Illex 'shamrock'	Male Holly	18"	3 gal	
6	Illex x 'Afterglow'	Afterglow Holly	18"	3 gal	
5	Itea 'Merlot'	Merlot Itea	24"	3 gal	
3	Syringa patula 'Palabin'	Dwarf Korean Lilac	24"	3 gal	
9	Rosa rugosa 'Hansa'	Hansa Shrub Rose	18"	cont.	
7	Rosa rugosa 'Purple Pavement'	Purple Pavement Shrub Rose	18"	cont.	
22	Rhus aromatica 'Gro-Low'	Gro Low Sumac	18"	3 gal	
3	Spirea bumalda 'Anthony Waterer'	Anthony Water Spirea	18"	cont.	
4	Viburnum prunifolium	Blackhaw Viburnum	5-6"	B&B	
7	Viburnum trilobum 'Red Wing'	Red Wing Viburnum	24-30"	3 gal	
7	Weigela florida 'Fine Wine'	Fine Wine Weigela	24-30"	cont.	
26	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	B&B	
7	Juniperus x 'Grey Owl'	Grey Owl Juniper	24-30"	cont.	
3	Juniperus x 'Sea Green'	Sea Green Juniper	24-30"	cont.	
5	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.	
7	Juniperus chinensis 'Gold Tip'	Gold Tip Juniper	24-30"	cont.	
9	Mahonia aquifolium 'Compactum'	Dwarf Oregon Grape Holly	24"	cont.	
2	Picea omorika 'Nana'	Dwarf Serbian spruce	18"	cont.	
3	Rhododendron x PJM	PJM Rhododendron	18"	B&B	
10	Taxus x 'Tautonii'	Taunton Yew	24-30"	B&B	
1	Tsuga canadensis 'sargentii'	Sargent Hemlock	24-30"	cont.	
1664	Pachysandra terminalis	Pachysandra	plug	32/flat	
408	Lamistrum 'Herman's Pride'	Archangel	4-1/2"	cont.	
30	Sedum 'Frosty Mom'	Frosty Mom Sedum	1 gal	cont.	
120	Sedum 'Autumn fire'	Autumn Fire Sedum	4-1/2"	cont.	
200	Sedum 'Angelina'	Angelina Sedum	4-1/2"	cont.	
144	Hakonechloa 'Aureora'	All Gold Hakonechloa Grass	4-1/2"	cont.	
170	Ornamental Grasses	Grasses	1 gal	cont.	

PARAGON PLACE- SHEET L1.5 JUNE 9, 2016					
Revised:9.June.2016					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
1	Acer palmatum 'Emperor One'	Emperor One' Japanese Maple	6-7"	B&B	
1	Acer platanoides 'Royal Red'	Royal Red Maple	2-1/2"	B&B	
3	Betula nigra 'Heritage'	Heritage' River Birch	10-12"	B&B	
1	Aesculus flava	Yellow Buckeye	2-1/2"	B&B	
1	Amelanchier x "Cumulus"	Cumulus Serviceberry	8-10'	B&B	Multi-trunk
1	Carpinus betulus 'Fastigiata'	Columnare European Hornbeam	2"	B&B	
3	Cornus mas 'Golden Glory'	Golden Glory' Comealliancherry	7-Jun	B&B	Multi-trunk
3	Gymnocladus dioica	Kentucky Coffeetree	2-1/2"	B&B	
2	Cotinus coggygia 'Royal Purple'	Royal Purple' smokebush	6-7"	B&B	Multi-trunk
1	Heptacodium miconiodes	Seven Son flower	6-7"	B&B	Multi-trunk
2	Fagus fastigiata 'Red Obelisk'	Red Obelisk' Beech	10'	B&B	
1	Magnolia stellata	Star Magnolia	5-6"	B&B	
2	Malus x "Red Jewel"	Red Jewel Crab	6-7"	B&B	Multi-trunk
1	Picea omorika	Serbian spruce	7-8"	B&B	
1	Picea pungens glauca	Blue Spruce	6-7"	B&B	
14	Diervilla sessilifolia 'Butterfly'	Butterfly' Dwfbush Honeysuckle	18"	cont.	
38	Buxus x 'Green Velvet'	Green Velvet' Boxwood	18"	B&B	
7	Juniperus virginiana 'Grey Owl'	Grey Owl' Juniper	24-30'	cont.	
	Juniperus chinensis pfitzeriana 'Sea Green'	Sea Green Juniper	24"	cont.	
16	Juniperus sargentii glauca	Blue Sargent Juniper	24-30"	cont.	
10	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.	
1	Picea nana 'Pumilo'	Pumilo' Dwarf Spruce	18"	cont.	
1	Picea omorika	Serbian Spruce	6-7"	B&B	
5	Taxus x 'Tautonii'	Taunton Yew	24-30'	cont.	
	Euonymus fortunei var. coloratus	Purpleleaf Wintercreeper			
450		Euonymus	3"	cont.	
168	Sedum	Sedum	1 gal	cont.	
324	Ornamental Grasses	Grasses	1 gal	cont.	
32	Aster	Fall Aster	1 gal	cont.	
42	Hemerocallis	Tetraploid Daylily	1 gal	cont.	



ELDERBERRY SITE PLAN

Designer





JAB

Date

3-18-16

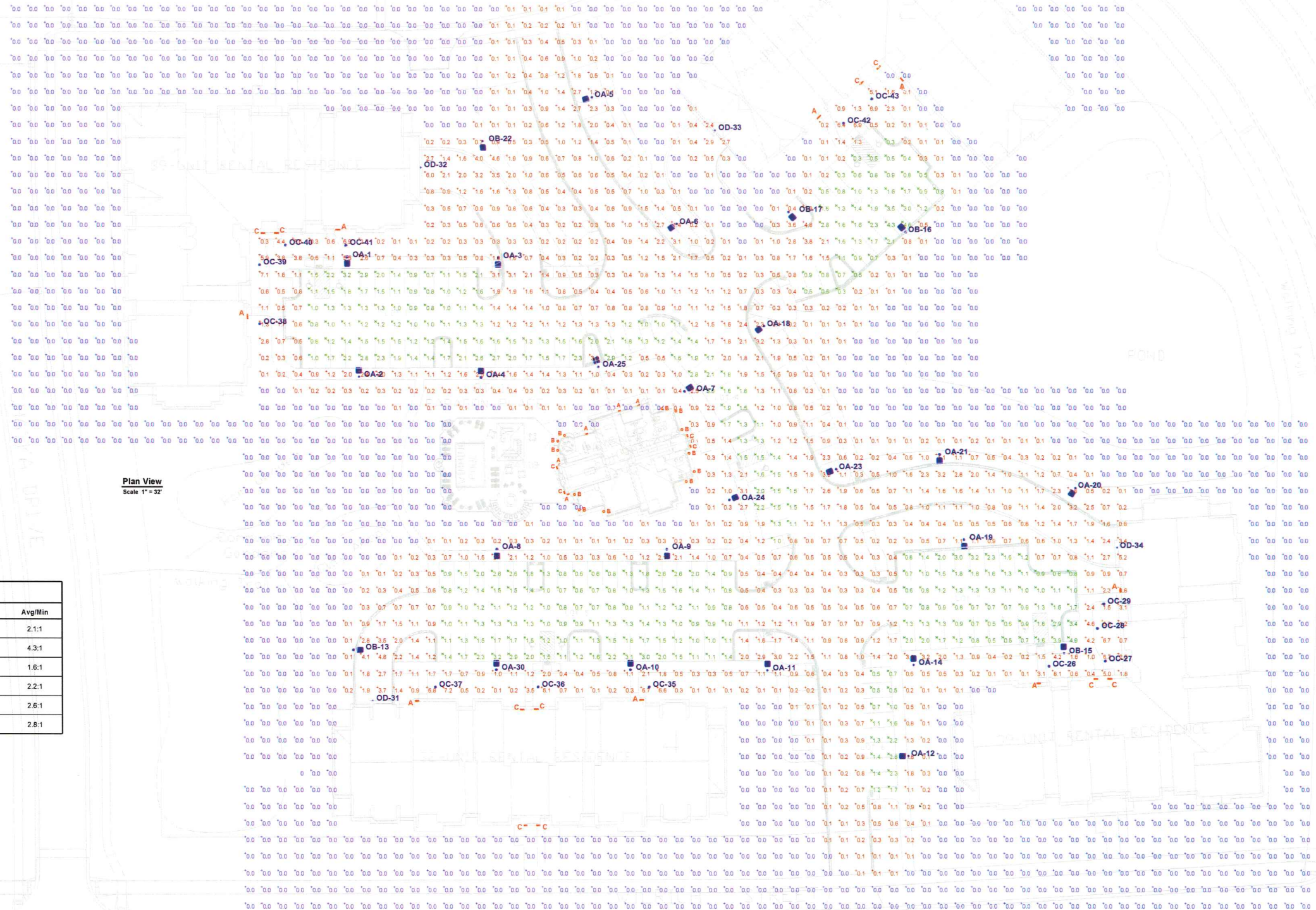
Scale

Drawing No.

LUMINAIRE SCHEDULE					
Symbol	Label	Qty	Catalog Number	LLF	Watts
	OA	21	ALED3750-MOUNTED @ 18AFG (TYPE 3)	0.95	51.7
	OB	5	ALED4750-MOUNTED @ 18AFG (TYPE 4)	0.95	52.1
	OC	13	BLDDR24 (42" ROUND BOLLARD)	0.95	31.2
	OD	4	XTOR2A-N	0.95	21.6

LUMINAIRE SCHEDULE (CON'T)	
A	49278AZTLEDE
B	S9538/S9516/S9508/S9501
C	BL4603BZ

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT 1	X	1.5 fc	3.2 fc	0.7 fc	4.6:1	2.1:1
PARKING LOT 2	X	1.3 fc	4.6 fc	0.3 fc	15.3:1	4.3:1
PARKING LOT 4	X	1.6 fc	3.0 fc	1.0 fc	3.0:1	1.6:1
PARKING LOT 5	X	1.3 fc	3.2 fc	0.6 fc	5.3:1	2.2:1
PARKING LOT 6	X	1.3 fc	2.8 fc	0.5 fc	5.6:1	2.6:1
PARKING LOT 7	X	1.4 fc	4.9 fc	0.5 fc	9.8:1	2.8:1







- **Paragon Place at Bear Claw Way** – Residential Building Complex
- **Plans reflecting proposed alterations to existing Conditional Use Permit:**
 - Proposed Architectural Plans – Building #4 (*18 sheets*)
 - Proposed Civil Plans – Building #4 (*10 sheets*)
 - Proposed Landscaping Plans – Building #4 (*3 sheets*)
 - Proposed Photometric Plan – Building #4 (*1 sheet*)



DEVELOPMENT SUMMARY					
	PRODUCT DESCRIPTION	ZONING DISTRICT	PARCEL SIZE (ACRES)	# OF UNITS	DENSITY (UNITS / ACRE)
1	3-STORY FLATS (Building #4 @ 32 Units)	SR-V2	8.87	145 (Approved)	16.35
1	3-STORY FLATS (Building #4 @ 45 Units)	SR-V2	8.87	158 (Proposed)	17.81

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin
SITE PLAN


 7 JUNE 2019

 Architecture
 1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53210
 414.431.9131 TEL
 414.431.9231 FAX
 WWW.AGARCH.COM

OVERALL BUILDING STASTICS

BUILDING AREA

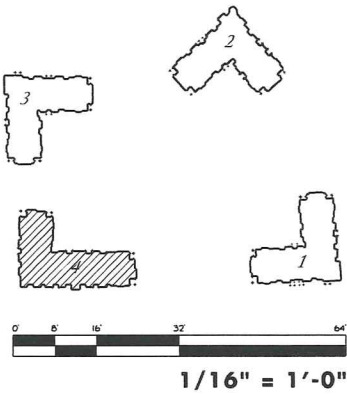
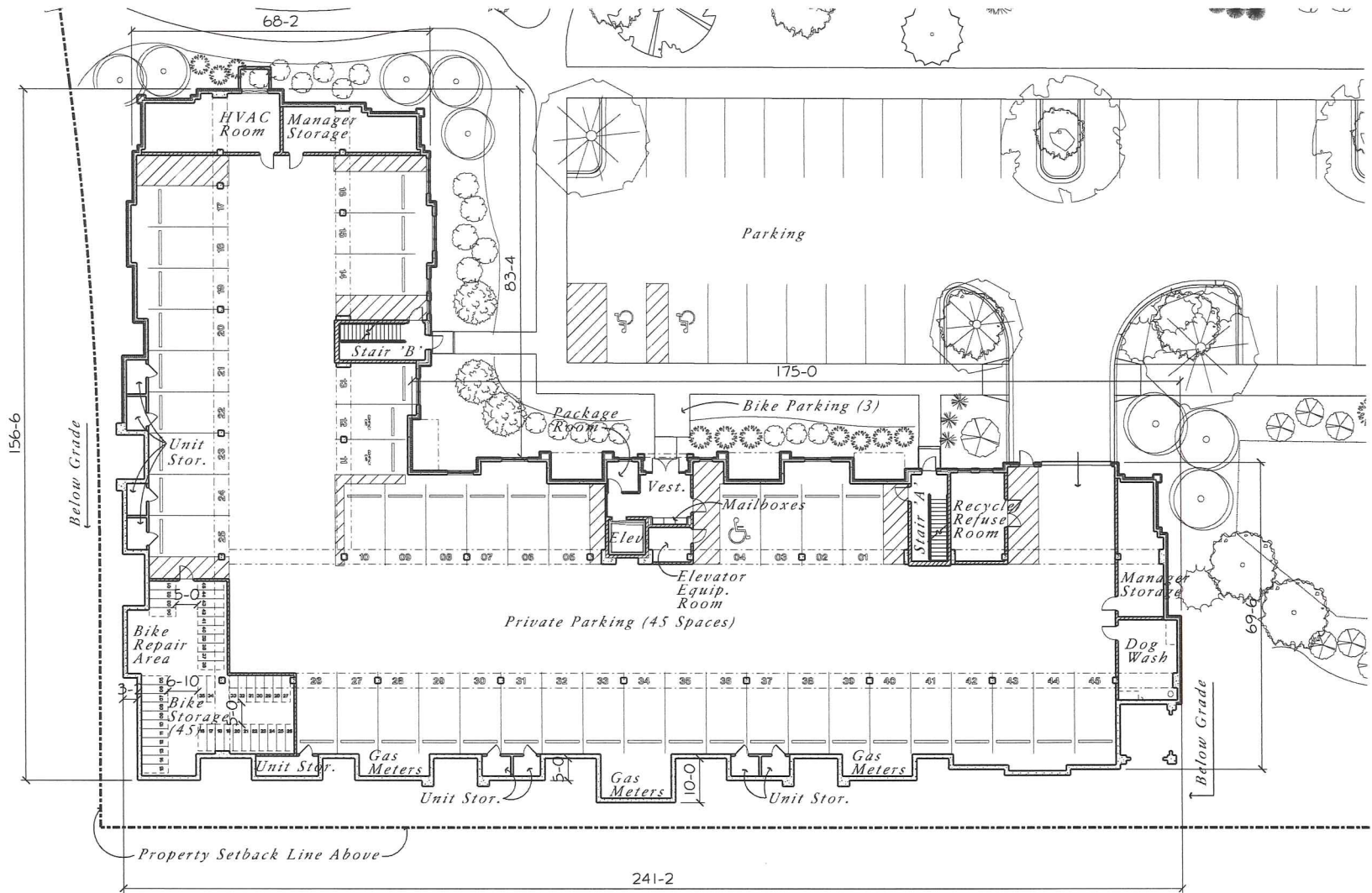
LOWER LEVEL	21,533 SQ. FT.
FIRST FLOOR	21,533 SQ. FT.
SECOND FLOOR	21,478 SQ. FT.
THIRD FLOOR	21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

BIKE PARKING (45 Required Stalls 1:1)

SHORT TERM	6 STALLS (12%)
LONG TERM	45 STALLS (88%)
TOTAL BIKE PARKING	51 STALLS

PARKING (45 Required Stalls 1:1)

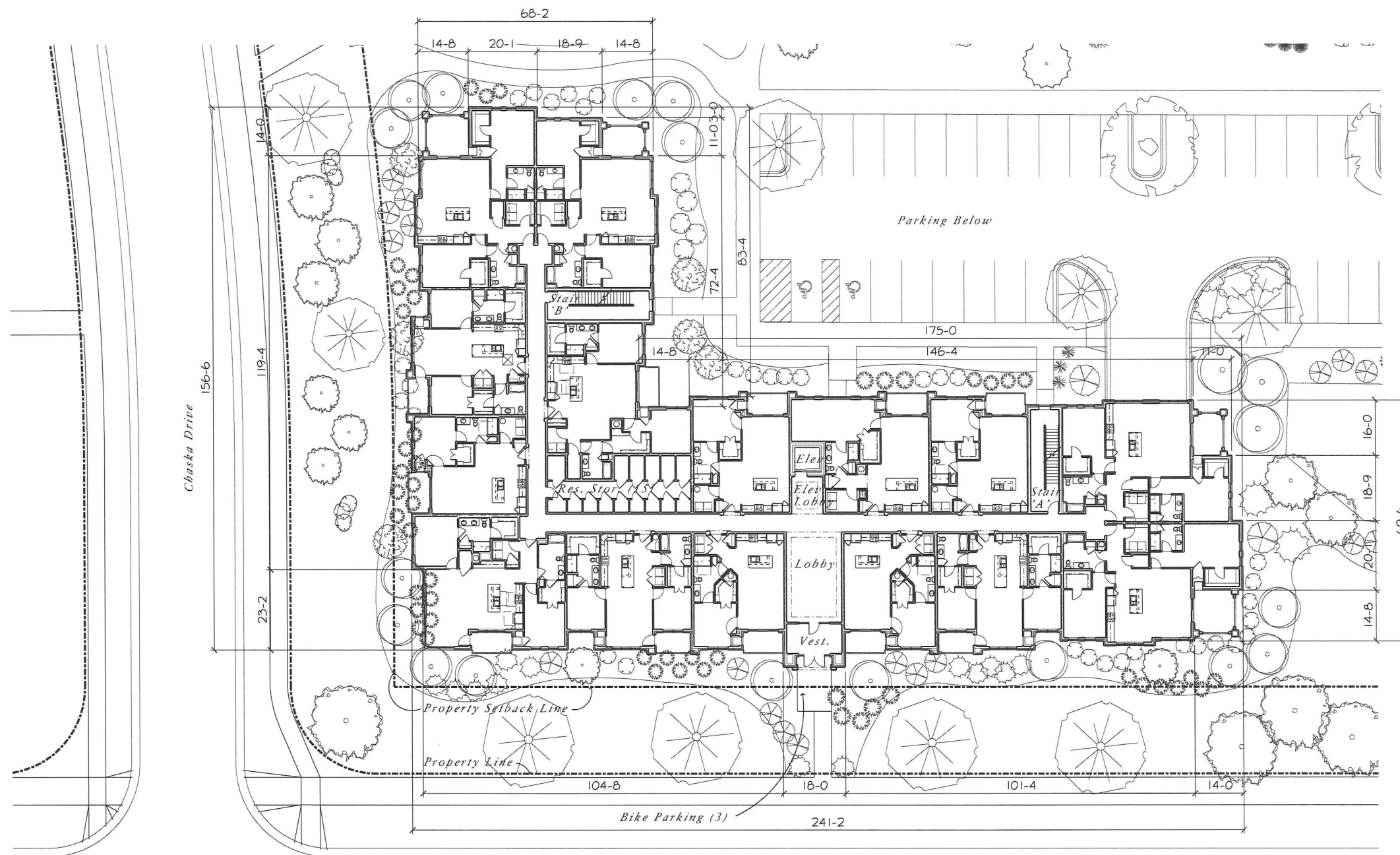
COMPACT	2 STALLS (4%)
HANDICAP	1 STALL (2%)
REGULAR	42 STALLS (94%)
TOTAL PARKING	45 STALLS



7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin
LOWER LEVEL FLOOR PLAN





OVERALL BUILDING STASTICS

BUILDING AREA

LOWER LEVEL	21,533 SQ. FT.
FIRST FLOOR	21,533 SQ. FT.
SECOND FLOOR	21,478 SQ. FT.
THIRD FLOOR	21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

BIKE PARKING (45 Required Stalls 1:1)

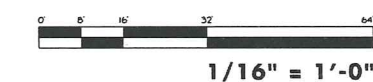
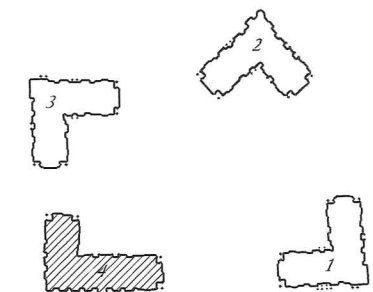
SHORT TERM	6 STALLS (12%)
LONG TERM	45 STALLS (88%)
TOTAL BIKE PARKING	51 STALLS

UNIT COUNT

LOWER LEVEL	0 UNITS
FIRST FLOOR	15 UNITS
SECOND FLOOR	15 UNITS
THIRD FLOOR	15 UNITS
TOTAL UNIT COUNT	45 UNITS

UNIT TYPE

1/1 STANDARD	4 (8%)
1/1 STANDARD + DINING	9 (20%)
1/1 ELEVATOR	3 (7%)
2/2 SPLIT	9 (20%)
2/2 LOBBY	2 (5%)
2/2 INSIDE CORNER	3 (7%)
2/2 GREAT 'A'	3 (7%)
2/2 GREAT 'B'	12 (26%)



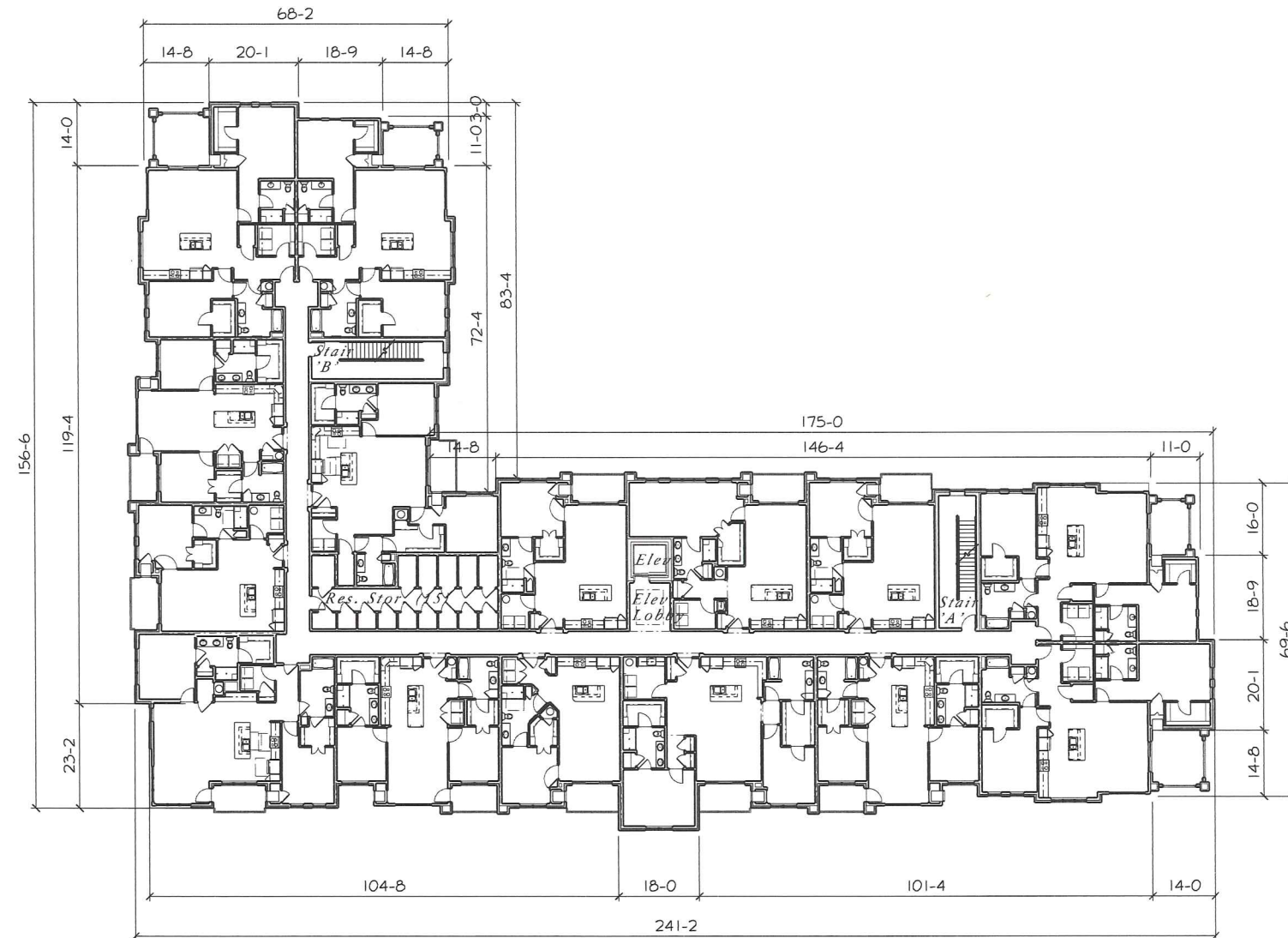
7 JUNE 2019



Architecture
1814 UNDERWOOD AVE.
WAUWATOSA, WI 53222
414.431.3121 TEL
414.431.0001 FAX
WWW.AOARCH.COM

Wilrich Street

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin
FIRST FLOOR PLAN



OVERALL BUILDING STASTICS

BUILDING AREA

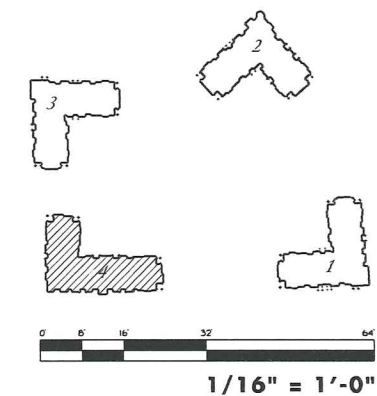
LOWER LEVEL	21,533 SQ. FT.
FIRST FLOOR	21,533 SQ. FT.
SECOND FLOOR	21,478 SQ. FT.
THIRD FLOOR	21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

UNIT COUNT

LOWER LEVEL	0 UNITS
FIRST FLOOR	15 UNITS
SECOND FLOOR	15 UNITS
THIRD FLOOR	15 UNITS
TOTAL UNIT COUNT	45 UNITS

UNIT TYPE

1/1 STANDARD	4 (8%)
1/1 STANDARD + DINING	9 (20%)
1/1 ELEVATOR	3 (7%)
2/2 SPLIT	9 (20%)
2/2 LOBBY	2 (5%)
2/2 INSIDE CORNER	3 (7%)
2/2 GREAT 'A'	3 (7%)
2/2 GREAT 'B'	12 (26%)



7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin
SECOND FLOOR PLAN



OVERALL BUILDING STASTICS

BUILDING AREA

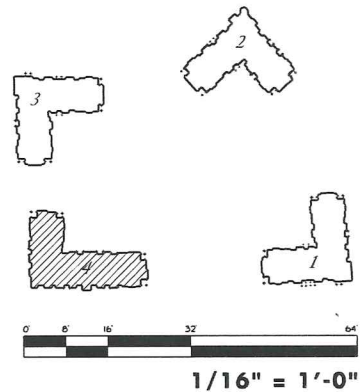
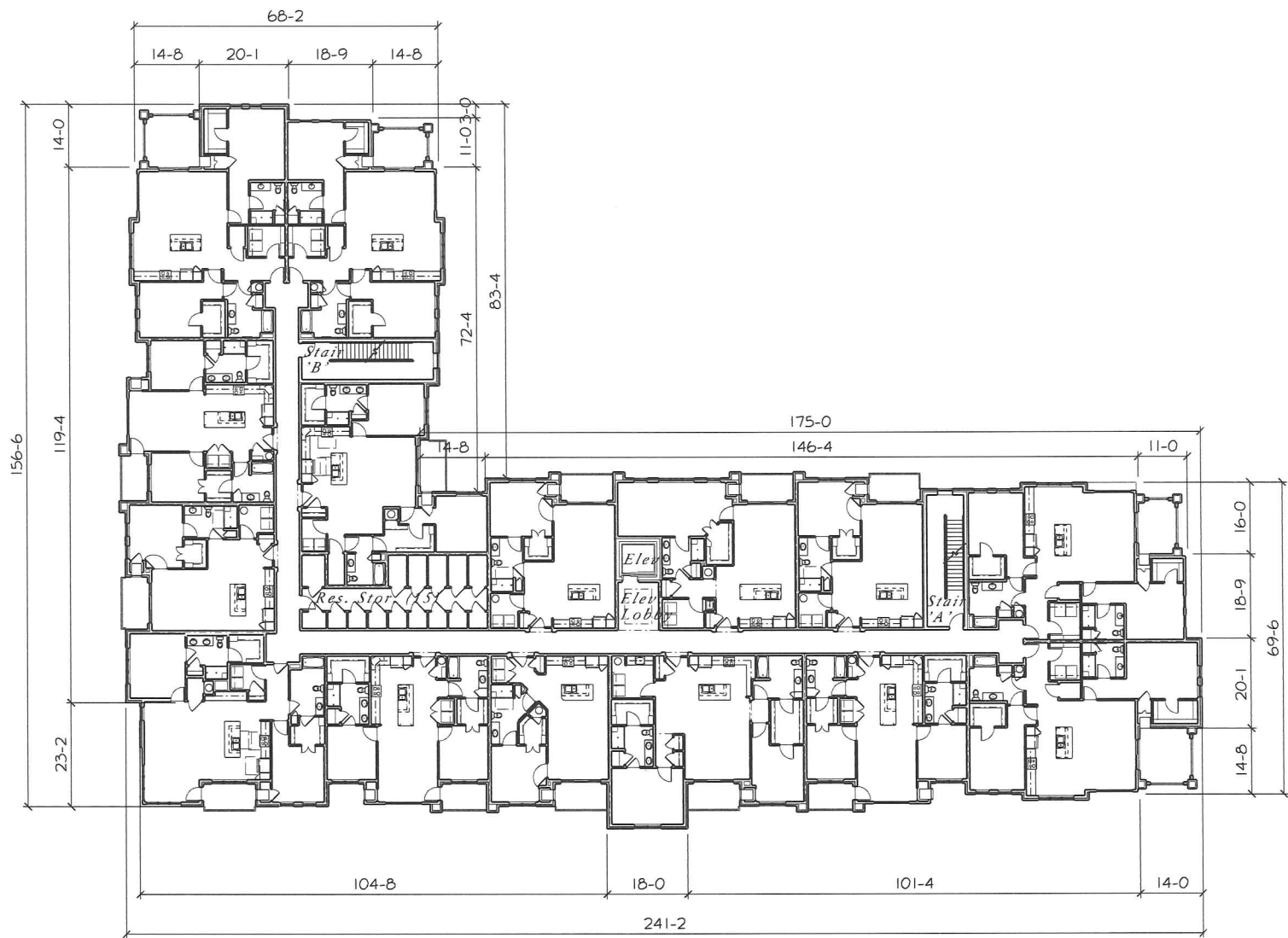
LOWER LEVEL	21,533 SQ. FT.
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SECOND FLOOR	21,478 SQ. FT.
THIRD FLOOR	21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

UNIT COUNT

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SECOND FLOOR	15 UNITS
THIRD FLOOR	15 UNITS
TOTAL UNIT COUNT	45 UNITS

UNIT TYPE

1/1 STANDARD	4 (8%)
1/1 STANDARD + DINING	9 (20%)
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2/2 LOBBY	2 (5%)
2/2 INSIDE CORNER	3 (7%)
2/2 GREAT 'A'	3 (7%)
2/2 GREAT 'B'	12 (26%)

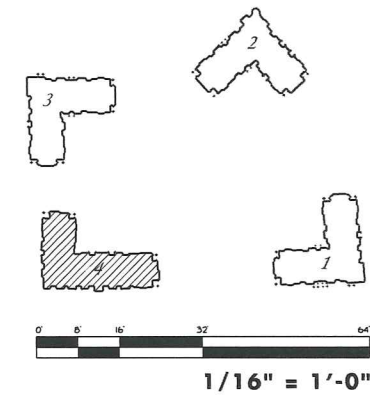
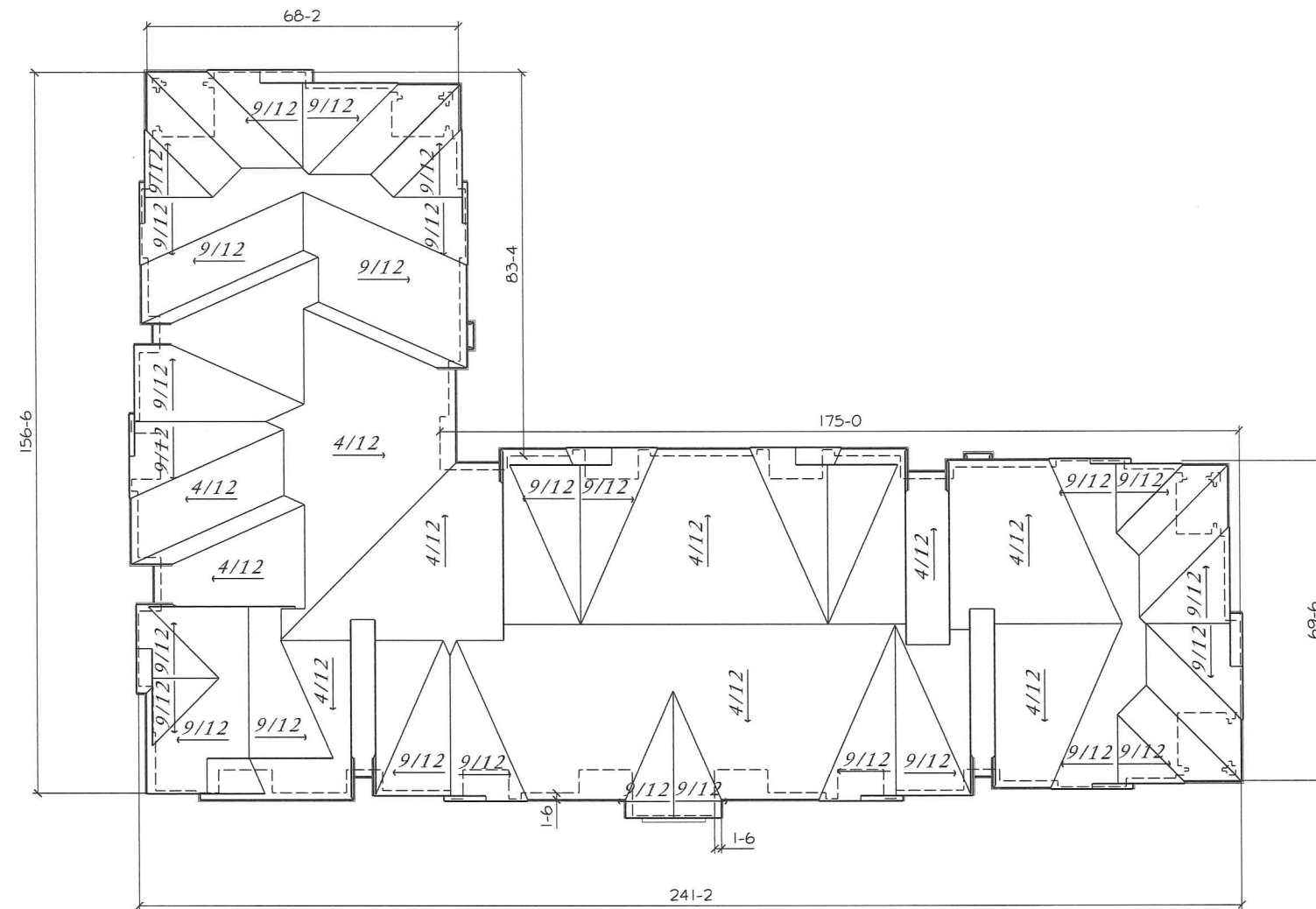


7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin
THIRD FLOOR PLAN

Architecture

1614 UNDERWOOD AVE.
WAUKESHA, WI 53122
414.421.2121 TEL
414.421.0231 FAX
WWW.ACATCH.COM



7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin
ROOF PLAN





NORTH ELEVATION



CHASKA DRIVE ELEVATION

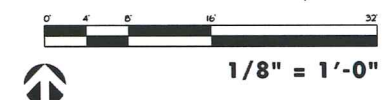
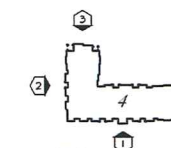


WILRICH STREET ELEVATION



MATERIAL LEGEND

- B1 - GENERAL SHALE - CHALDEAN
- B2 - GENERAL SHALE - AUTUMN RIDGE
- B3 - GENERAL SHALE - CORTEZ
- S - FOND DU LAC DIMENSIONAL STONE
- LB - LONGBOARD - ITALIAN ROSEWOOD
- A - WEATHERED WOOD ROOF SHINGLES



7 JUNE 2019

Paragon Place at Bear Claw Way **Proposed Building #4, Three Story, 45 Unit** *Madison, Wisconsin* **EXTERIOR ELEVATIONS**





EAST COURTYARD ELEVATION

3



EAST ELEVATION

2

TRUSS BEARING
ELEV = 132'-4 7/8"

TRUSS BEARING
ELEV = 131'-0 7/8"

THIRD FLOOR
TOP OF SUB FLOOR
ELEV = 121'-11 3/4"

SECOND FLOOR
TOP OF SUB FLOOR
ELEV = 110'-11 7/8"

TOP OF CONCRETE
ELEV = 100'-0"

TOP OF SLAB
ELEV = 91'-0"



NORTH COURTYARD ELEVATION

1

TRUSS BEARING
ELEV = 132'-4 7/8"

TRUSS BEARING
ELEV = 131'-0 7/8"

THIRD FLOOR
TOP OF SUB FLOOR
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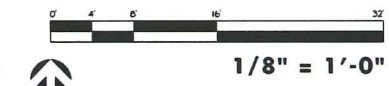
TOP OF CONCRETE
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Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin
EXTERIOR ELEVATIONS



7 JUNE 2019



Architecture
1414 UNDERWOOD AVE.
WAUWATOSA, WI 53213
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414.431.6331 FAX
WWW.AGARCH.COM



NORTH ELEVATION

3



CHASKA DRIVE ELEVATION

2

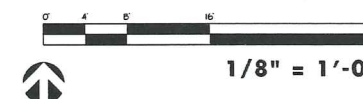
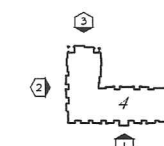


WILRICH STREET ELEVATION

1

MATERIAL LEGEND

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7 JUNE 2019

Paragon Place at Bear Claw Way **Proposed Building #4, Three Story, 45 Unit** *Madison, Wisconsin* **EXTERIOR ELEVATIONS**





EAST COURTYARD ELEVATION

3



EAST ELEVATION

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NORTH COURTYARD ELEVATION

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Paragon Place at Bear Claw Way **Proposed Building #4, Three Story, 45 Unit** *Madison, Wisconsin* **EXTERIOR ELEVATIONS**



0' 4' 8' 12' 16' 20'

1/8" = 1'-0"

7 JUNE 2019



Architecture

1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.2121 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM



7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin





7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin





7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin





7 JUNE 2019

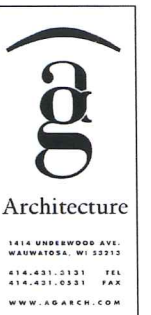
Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin





7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin





7 JUNE 2019

Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin





7 JUNE 2019

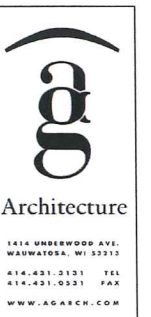
Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin





7 JUNE 2019

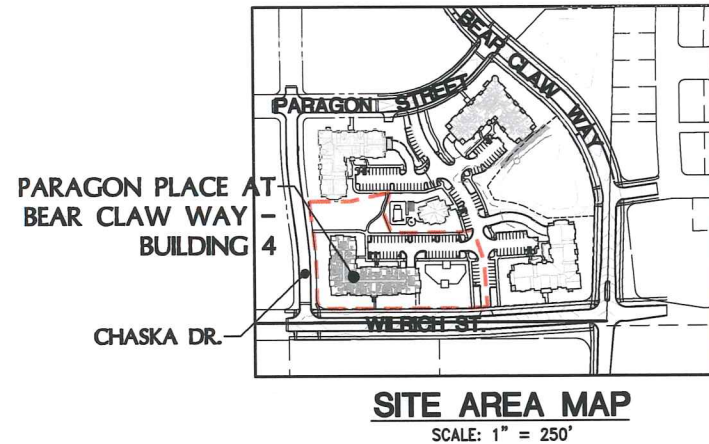
Paragon Place at Bear Claw Way
Proposed Building #4, Three Story, 45 Unit
Madison, Wisconsin



GENERAL NOTES

1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDMR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - CITY OF MADISON DEVELOPMENT STANDARDS, LATEST EDITION.
2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
3. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
6. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
8. ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
9. ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
10. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
11. THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.

PARAGON PLACE AT BEAR CLAW WAY BUILDING 4 DEVELOPMENT PLANS ELDERBERRY NEIGHBORHOOD CITY OF MADISON, WISCONSIN



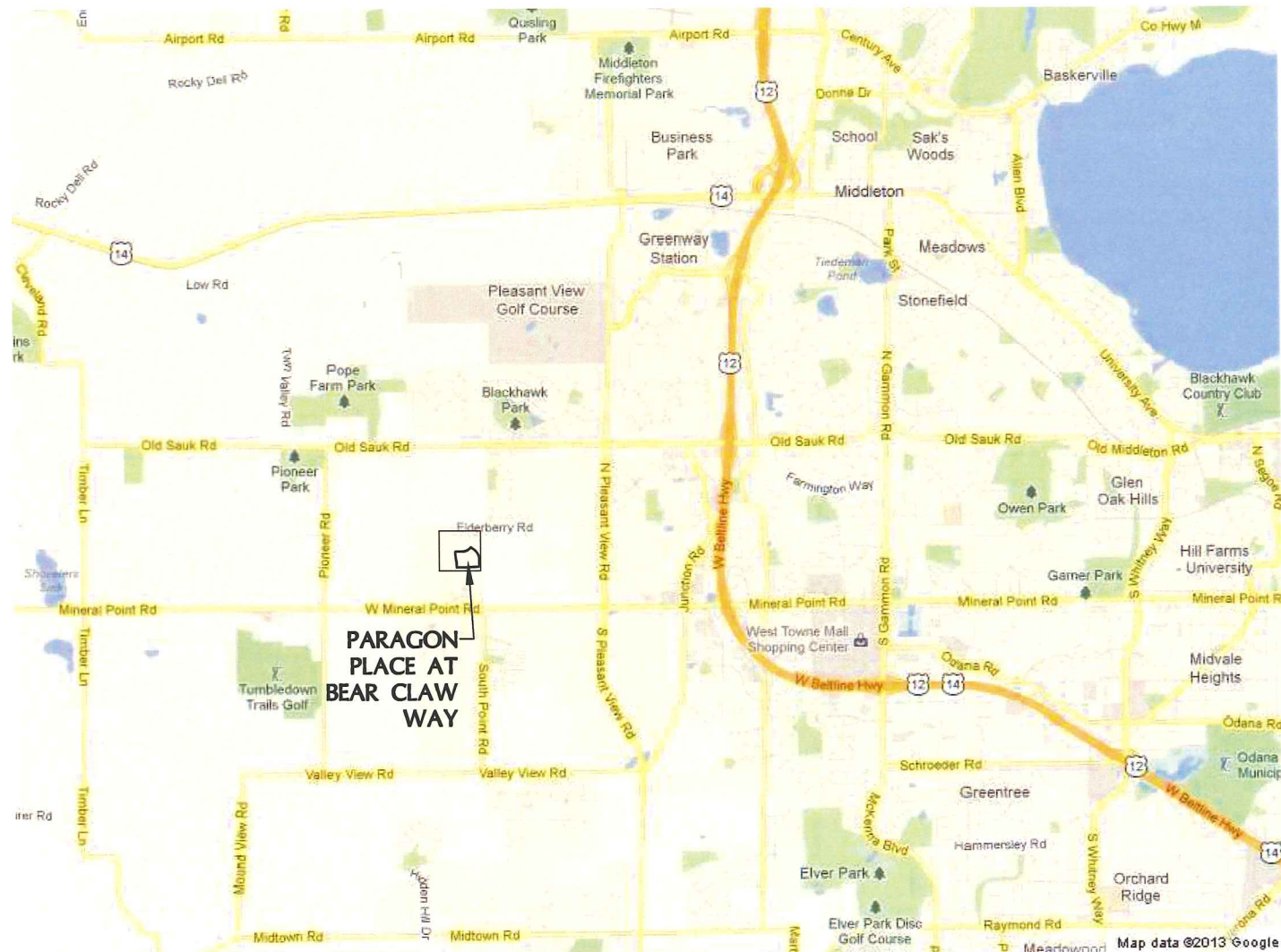
PARAGON PLACE - "LOTS 1&2" SR-V2 DISTRICT ZONING REQUIREMENTS		
	Multi-Family SR-V2 District Requirements (>8 units)	Paragon Place Subdivision Lots 1 + 2 of CSM #14165
	Multi-Family	Elevator, Underground Parking, Rental Residences
Total Number of Units		158
Lot Area (sq. ft.) per d.u.	2,000/d.u.	2,447
Required Lot Area (sq. ft.)	292,000	386,616
Lot Width	60 ft.	± 495 ft.
Front Yard Setback	25 ft.	25 ft.
Side Yard Setback	10 ft.	N/A*
Rev. Corner Side Yard Setback	12 ft.	N/A*
Rear Yard Setback	30 ft.	30 ft.
Maximum Height - Permitted Use	3 stories / 40 ft.	3 stories max. / 44 ft.
Conditional Use	4 stories / 52 ft.	
Maximum Lot Coverage (% impervious)	60%	48.1%
Usable Open Space (sq. ft. per d.u.)	500	555
	Total Usable Open Space =	87,708
	Total Open Space =	200,742

* Side Yard setbacks are not applied since the lot has street frontage on all four sides

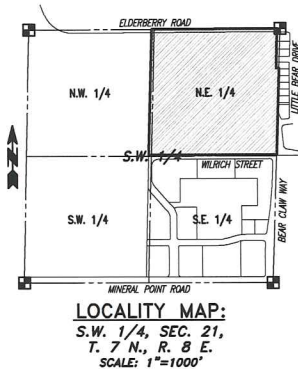
Total Floor Area (sq. ft.)		240,613
Floor Area Ratio (F.A.R.)		0.62
Total Building Coverage Area (s.f.)	N/A	80,204 s.f. (20.7% of site)

SHEET INDEX

CIVIL	
T1	- COVER SHEET
C1.0	- OVERALL SITE DEVELOPMENT PLAN
C1.1	- BUILDING 4 PROPOSED SITE PLAN
C2.0	- BUILDING 4 GRADING AND DRAINAGE PLAN
C2.1	- BUILDING 4 EROSION CONTROL PLAN
C3.0	- BUILDING 4 UTILITY PLAN
C4.0	- RAIN GARDEN DETAIL
C5.0-5.1	- CONSTRUCTION NOTES & DETAILS
FD1.0	- FIRE DEPARTMENT ACCESS PLAN



VICINITY MAP
NOT TO SCALE



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



12560 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: j.pudelko@trioeng.com

PARAGON PLACE

PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
BUILDING #4: MAJOR ALTERATION TO AN APPROVED
CONDITIONAL USE
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY

DATE	DESCRIPTION
08/07/19	BLDG 4 PLAN

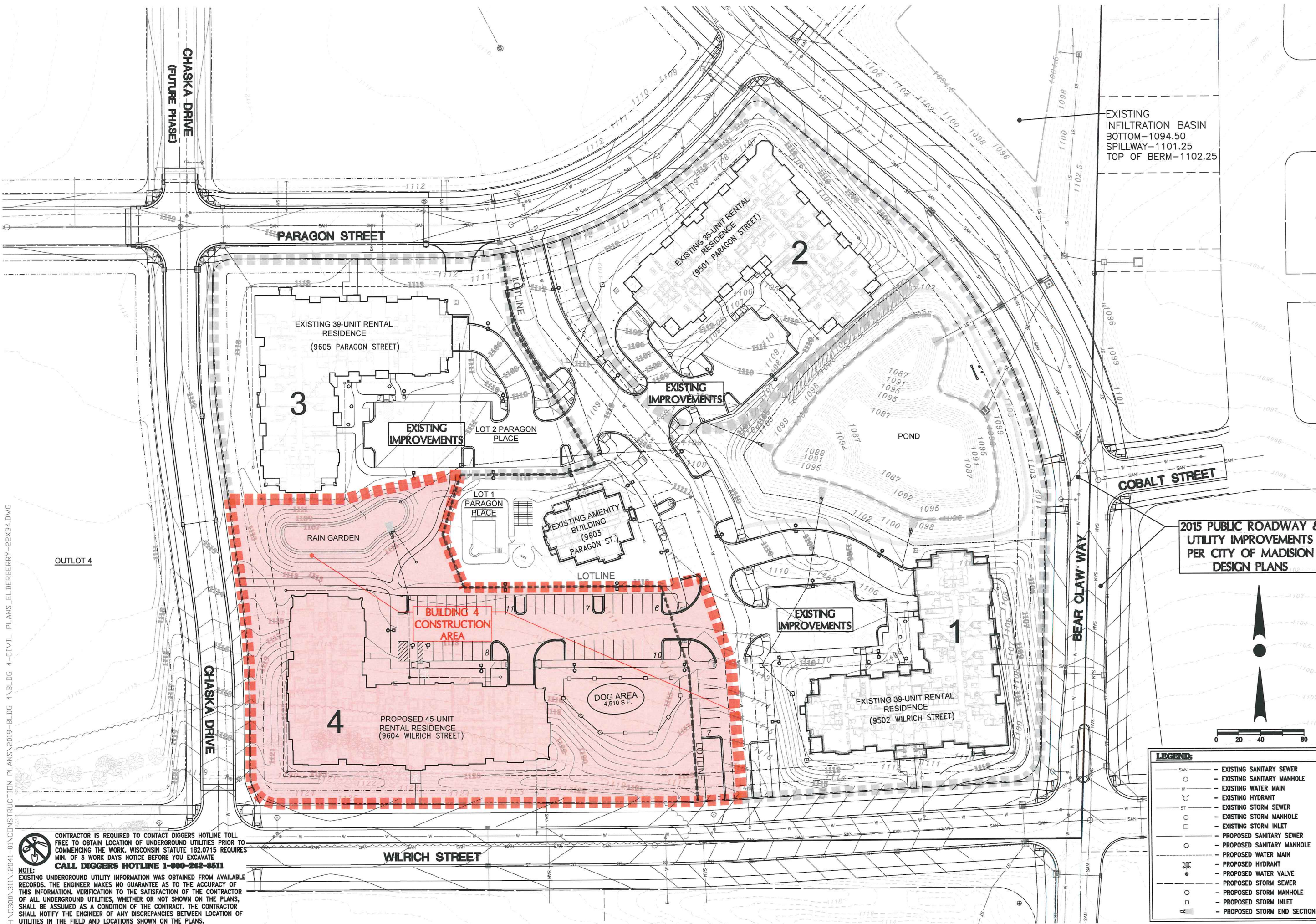
DATE:
JUNE 07, 2019

JOB NUMBER:
12041

DESCRIPTION:
COVER SHEET

SHEET

T1



H:\C300\31\12041-01\CONSTRUCTION PLANS\2019-BLDG 4\BLDG 4-CIVIL PLANS.ELDERBERRY-22X34.DWG

NOTE:
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
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EXISTING INFILTRATION BASIN
BOTTOM-1094.50
SPILLWAY-1101.25
TOP OF BERM-1102.25

2015 PUBLIC ROADWAY &
UTILITY IMPROVEMENTS
PER CITY OF MADISON
DESIGN PLANS

LEGEND:	
	EXISTING SANITARY SEWER
	EXISTING SANITARY MANHOLE
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING STORM SEWER
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED WATER MAIN
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED STORM SEWER
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM END SECTION

JOSHUA D. PUDELKO
E-39420
WAUWATOSA, WI

TRIO
CIVIL ENGINEERING

12666 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudelko@trioeng.com

PARAGON PLACE

PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
BUILDING #4: MAJOR ALTERATION TO AN APPROVED CONDITIONAL USE
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY	
DATE	DESCRIPTION
06/07/19	BLDG 4 PLAN

DATE:
JUNE 07, 2019

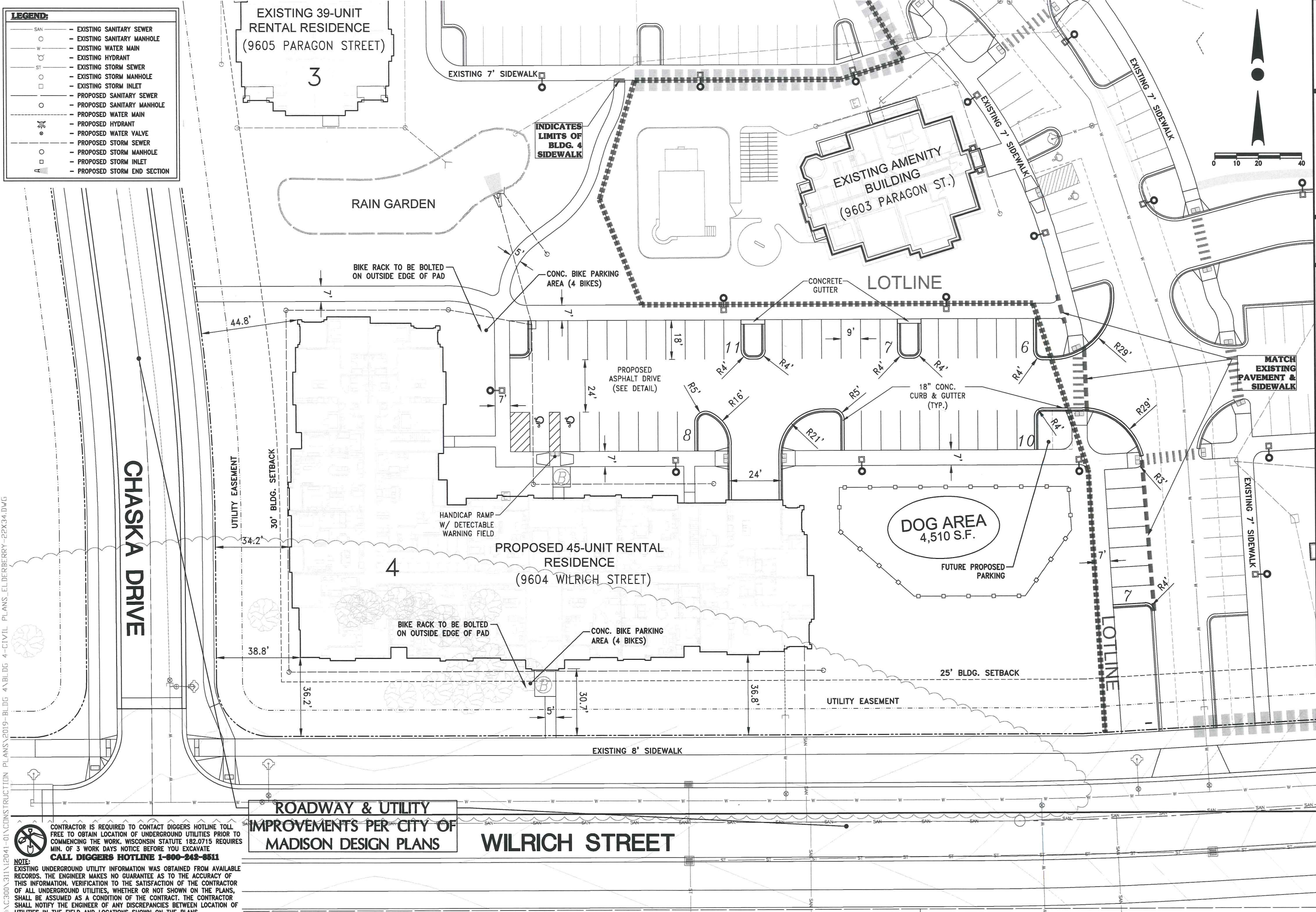
JOB NUMBER:
12041

DESCRIPTION:
OVERALL SITE PLAN

SHEET
C1.0

LEGEND:

SAN	- EXISTING SANITARY SEWER
○	- EXISTING SANITARY MANHOLE
W	- EXISTING WATER MAIN
○	- EXISTING HYDRANT
ST	- EXISTING STORM SEWER
○	- EXISTING STORM MANHOLE
□	- EXISTING STORM INLET
○	- PROPOSED SANITARY SEWER
○	- PROPOSED SANITARY MANHOLE
○	- PROPOSED WATER MAIN
○	- PROPOSED HYDRANT
○	- PROPOSED WATER VALVE
○	- PROPOSED STORM SEWER
○	- PROPOSED STORM MANHOLE
○	- PROPOSED STORM INLET
○	- PROPOSED STORM END SECTION



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CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-6511

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ROADWAY & UTILITY IMPROVEMENTS PER CITY OF MADISON DESIGN PLANS

WILRICH STREET

WISCONSIN
JOSHUA D. PUDELKO
E-39420
WAUWATOSA, WI
PROFESSIONAL ENGINEER

TRIO
DESIGN & LAND SURVEYING
CIVIL ENGINEERING
12660 W. NORTH AVENUE
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpudelko@trioeng.com

PARAGON PLACE

PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
BUILDING #4: MAJOR ALTERATION TO AN APPROVED CONDITIONAL USE
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

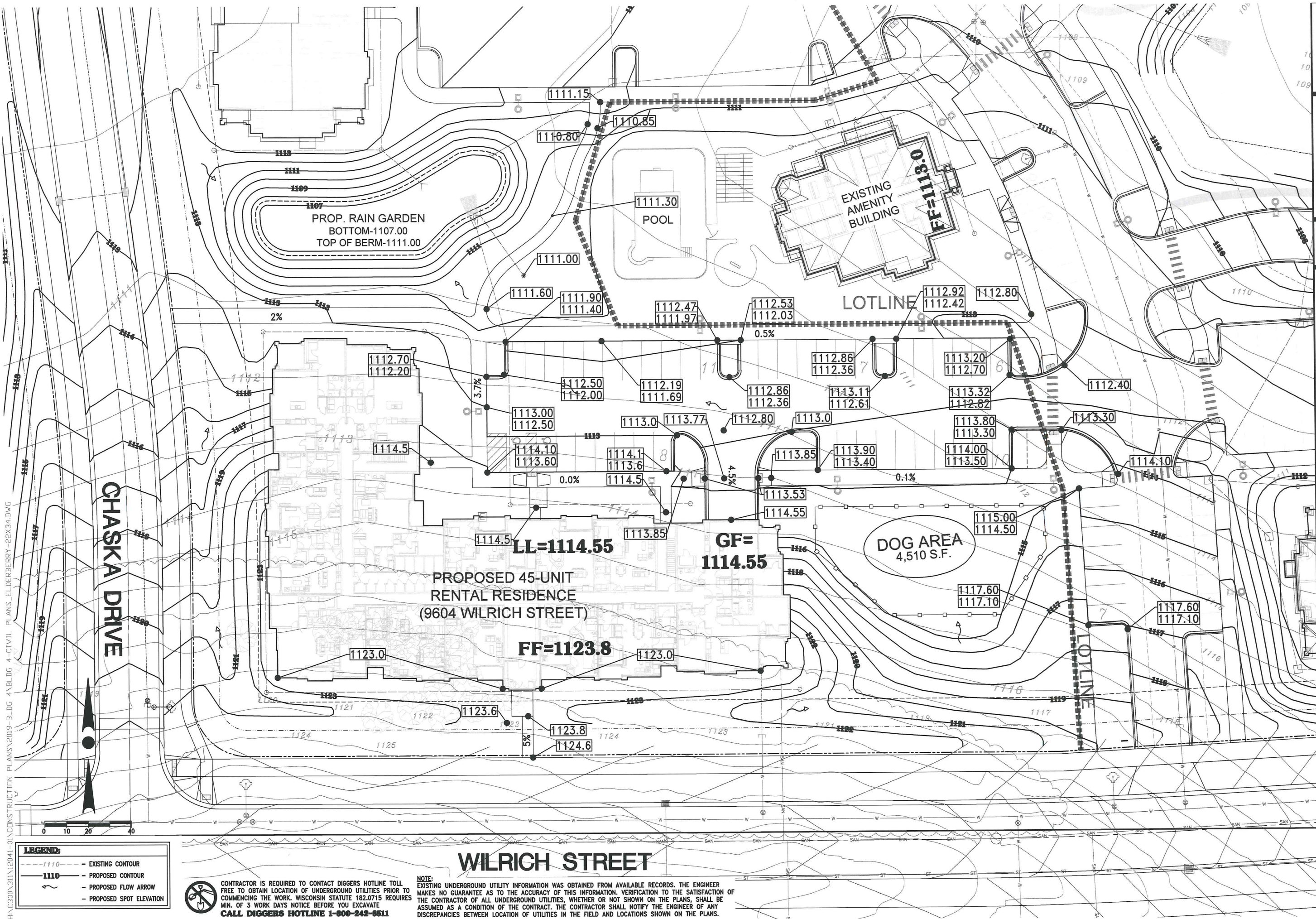
REVISION HISTORY	
DATE	DESCRIPTION
06/07/19	BLDG 4 PLAN

DATE:
JUNE 07, 2019

JOB NUMBER:
12041

DESCRIPTION:
BUILDING 4 PROPOSED SITE PLAN

SHEET
C1.1



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LEGEND:

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - PROPOSED FLOW ARROW
- - - - - PROPOSED SPOT ELEVATION



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-6511

NOTE:
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WISCONSIN
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PARAGON PLACE

PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
BUILDING #4: MAJOR ALTERATION TO AN APPROVED CONDITIONAL USE
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

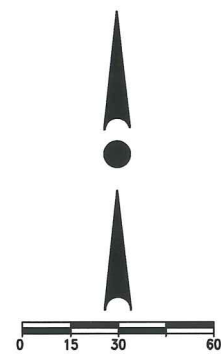
REVISION HISTORY	
DATE	DESCRIPTION
06/07/19	BLDG 4 PLAN

DATE:
JUNE 07, 2019

JOB NUMBER:
12041

DESCRIPTION:
BUILDING #4
GRADING AND
DRAINAGE PLAN

SHEET
C2.0

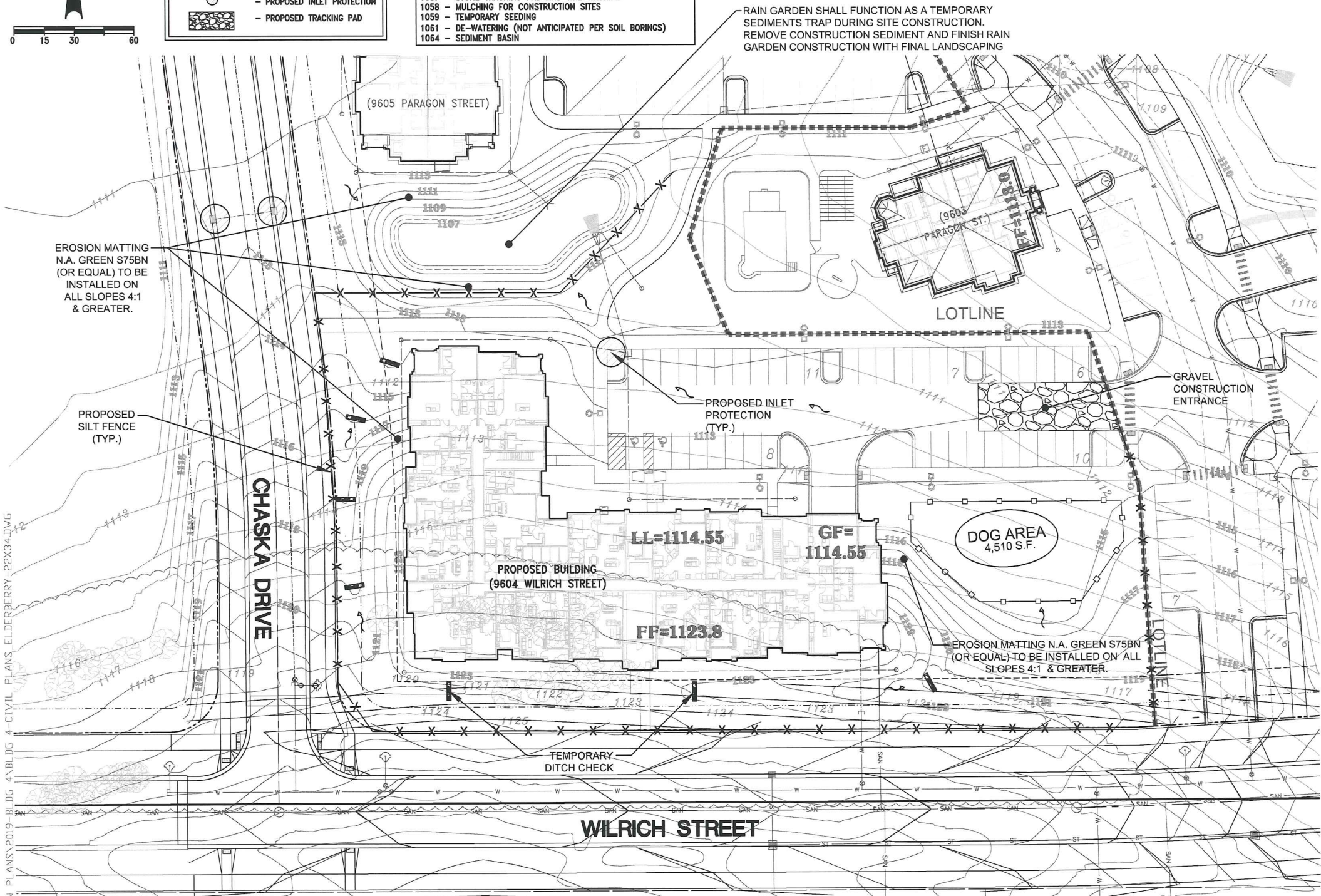


LEGEND:

- - - 1110 - - - EXISTING CONTOUR
- - - 1110 - - - PROPOSED CONTOUR
- X - X - PROPOSED SILT FENCE
- - PROPOSED INLET PROTECTION
- ▨ - PROPOSED TRACKING PAD

**WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
CONSERVATION PRACTICE STANDARD:**

- 1052 - NON-CHANNEL EROSION MAT
- 1055 - SEDIMENT BALE BARRIER (NON-CHANNEL)
- 1056 - SILT FENCE
- 1060 - STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES
- 1062 - DITCH CHECK
- 1057 - STONE TRACKING PAD AND TIRE WASHING
- 1058 - MULCHING FOR CONSTRUCTION SITES
- 1059 - TEMPORARY SEEDING
- 1061 - DE-WATERING (NOT ANTICIPATED PER SOIL BORINGS)
- 1064 - SEDIMENT BASIN



- EROSION CONTROL NOTES:**
1. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
 2. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
 3. IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
 4. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - B. PROTECT DOWNSTREAM OR ADJACENT DRAINAGEWAYS WITH SILT FENCE AND/OR STONE DITCH CHECKS.
 - C. DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 - D. PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 - E. MAINTAIN SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 - F. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 - G. PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - H. PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - I. CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - J. PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - K. TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 - L. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARY SEEDDED AS OF THAT DATE.
 5. TEMPORARY EROSION CONTROL MEASURES.
 - A. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - B. IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
 6. ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
 7. TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
 8. INSTALL SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DETAILS
 9. ALL RIP RAP AT PIPE OUTLETS SHALL BE 3"x5" MEDIUM RIP RAP OVER TYPE R FABRIC PER WDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
 10. EROSION CONTROL INSPECTION AND MAINTENANCE
 - A. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 - B. REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.
 11. ALL AREAS TO BE SEEDDED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

CONSTRUCTION SEQUENCE PLAN
PARAGON PLACE - BUILDING 4.

- SPRING**
1. INSTALL TRACKING PAD AND PROJECT PERIMETER SILT FENCE AND INLET PROTECTION PER PLAN. MAINTAIN/REPAIR EXISTING SILT FENCE INSTALLED WITH 2018-2019 LAND DISTURBANCE (UNDER SEPARATE PERMIT) AS NEEDED.
 2. BUILDING CONSTRUCTION MAY COMMENCE AT ANY TIME ONCE CITY AND STATE APPROVALS FOR SAID WORK HAVE BEEN ISSUED (BUILDING CONSTRUCTION IS A NON-SEQUENTIAL ITEM).
- SUMMER**
3. COMPLETE ROUGH GRADING. NOTE THAT SEDIMENT TRAP INSTALLED IN 2018-2019 SHALL PROVIDE EROSION CONTROL PROTECTION FOR PROJECT SITE AND THAT THE SITE WAS SUBSTANTIALLY ROUGH GRADED IN THE PRIOR YEAR (UNDER SEPARATE PERMIT).
 4. INSTALL SANITARY SEWER LATERALS, WATER MAIN, AND STORM SEWER FOR BUILDING 4, PER PLANS.
 5. INSTALL INLET PROTECTION AND STRAW WATTLES AT TEMPORARY PIPE END SECTIONS CONCURRENT WITH COMPLETION OF STORM SEWER INSTALLATION.
 6. FINISH GRADE SITE. NOTE THAT THIS STEP MAY OCCUR CONCURRENT WITH STORM SEWER INSTALLATION.
 7. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. NOTE THAT THIS STEP MAY OCCUR ANY TIME AFTER FINISH GRADING.
 8. RESPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE OUTSIDE OF PAVEMENT AND ACTIVE BUILDING CONSTRUCTION AREAS UPON COMPLETION OF FINISH GRADING. INSTALL EROSION MATTING ON ALL SLOPES AND WHERE NEEDED OR INDICATED ON THE PLAN (OUTSIDE OF ACTIVE BUILDING CONSTRUCTION ZONE).
 9. INSTALL STONE BASE COURSE - INSTALL CURB & GUTTER AND BINDER PAVEMENT FOR BUILDING 4 IN AREAS DIRECTED BY THE CONSTRUCTION MANAGER AND AS INDICATED ON THE PLAN.
 10. COMPLETE BUILDING 4 CONSTRUCTION.
 11. COMPLETE ANY REMAINING BUILDING 4 CURB & GUTTER AND BINDER COURSE PAVEMENT INSTALLATION.
 12. INSTALL SIDEWALK AROUND BUILDING 4 AND THE SITE AS INDICATED ON THE PLAN, PER CONSTRUCTION MANAGER'S SCHEDULE AND DIRECTION.
 13. RESPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE BUILDING CONSTRUCTION ZONE AREA. INSTALL LANDSCAPING PER LANDSCAPE PLAN AND CONSTRUCTION MANAGER'S SCHEDULE/DIRECTION.
 14. COMPLETE RAIN GARDEN CONSTRUCTION, REMOVING CONSTRUCTION SEDIMENT FROM THE BOTTOM, DEEP TILLING BOTTOM LATER, AND LANDSCAPING PER LANDSCAPE PLAN AND RAIN GARDEN DETAILS
 15. REMOVE PERIMETER SILT FENCE ONCE THE PHASE 1 AREA IS SUBSTANTIALLY STABILIZED/VEGETATED - ANTICIPATED TO BE CONCURRENT WITH COMPLETION OF FINAL LANDSCAPING AROUND BUILDING 4.



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PARAGON PLACE

PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
BUILDING #4: MAJOR ALTERATION TO AN APPROVED
CONDITIONAL USE
CITY OF MADISON, WI

BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY

DATE	DESCRIPTION
08/07/19	BLDG 4 PLAN

DATE:
JUNE 07, 2019

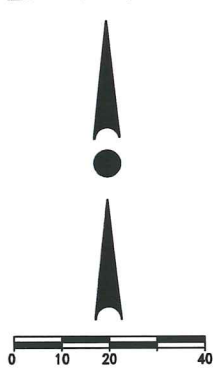
JOB NUMBER:
12041

DESCRIPTION:
BUILDING 4
EROSION
CONTROL PLAN

SHEET

C2.1

\\C300\311\2041-01\CONSTRUCTION PLANS\2019-BLDG 4\BLDG 4-CIVIL PLANS\ELDERBERRY-22X34.DWG



PROJECT:
PARAGON PLACE AT BEAR CLAW WAY
BUILDING #4: MAJOR ALTERATION TO AN APPROVED
CONDITIONAL USE
CITY OF MADISON, WI
BY: United Financial Group, Inc.
660 W. Ridgeview Drive
Appleton, WI 54911

REVISION HISTORY	
DATE	DESCRIPTION
06/07/19	BLDG 4 PLAN

DATE: JUNE 07, 2019

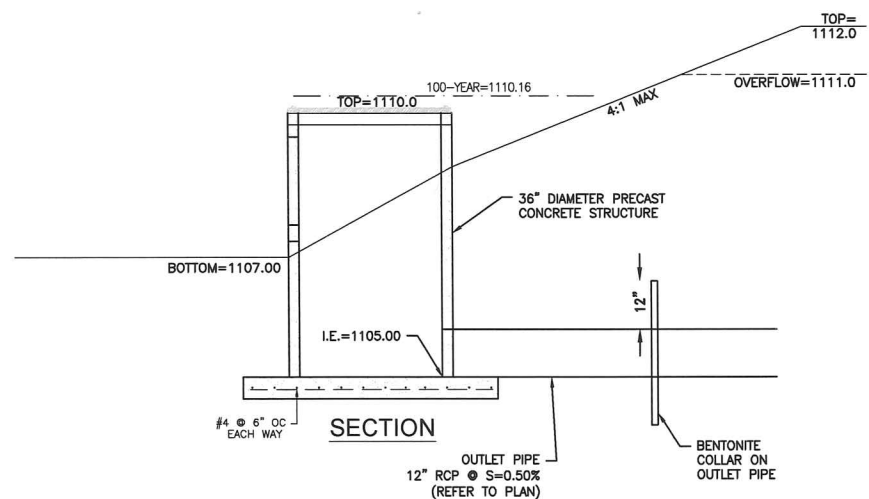
JOB NUMBER:
12041

DESCRIPTION:
BUILDING 4 UTILITY
PLAN

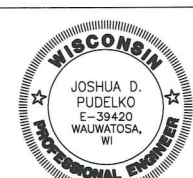
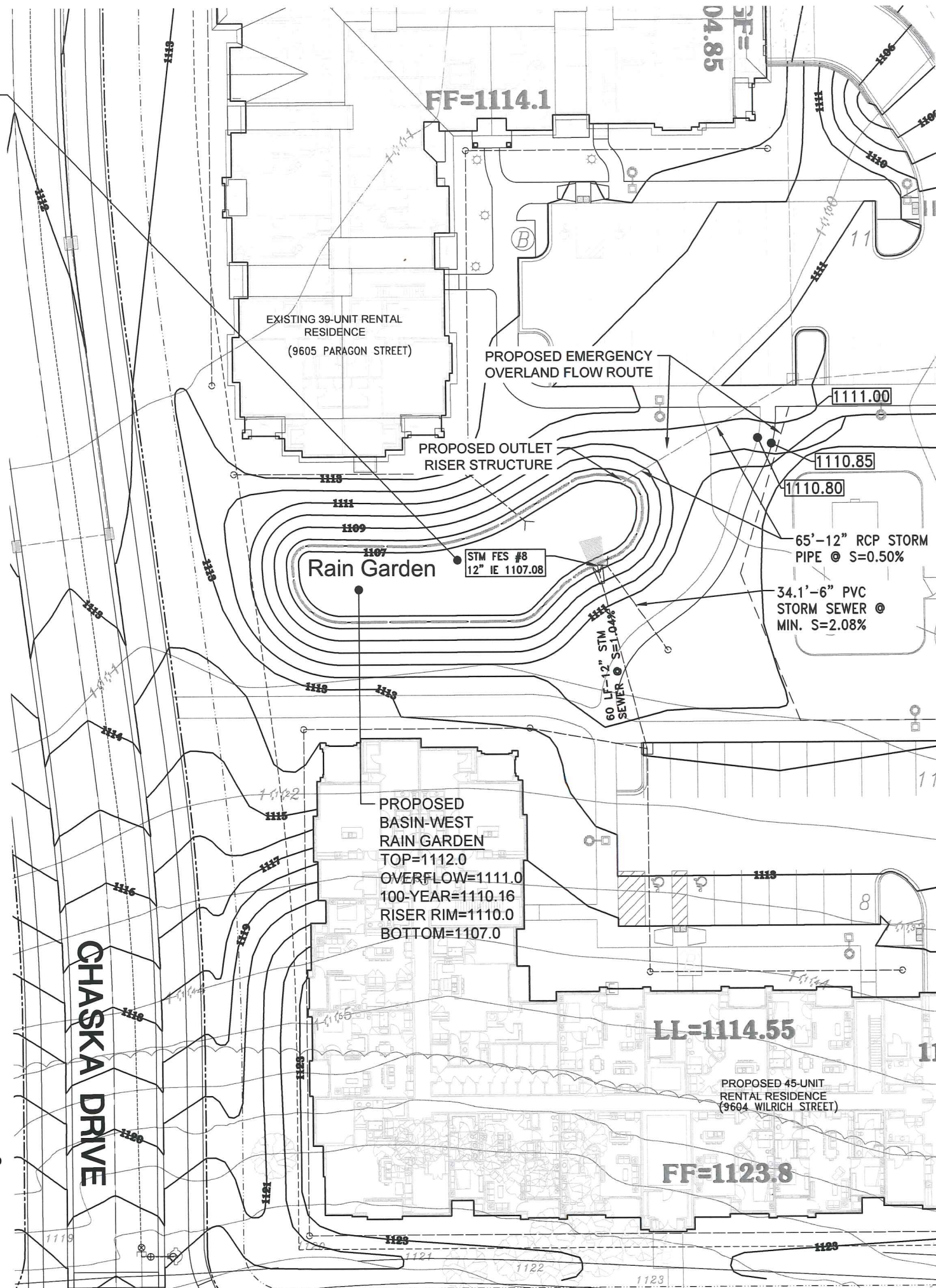
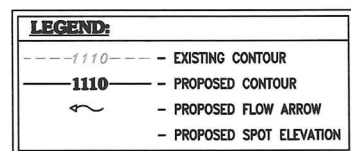
SHEET

C3.0

1. TRACKED EQUIPMENT AND LOW WEIGHT VEHICLES SHALL BE USED TO CONSTRUCT RAIN GARDEN.
2. RAIN GARDEN SHALL BE CONSTRUCTED IN A MANNER THAT MINIMIZES SOIL COMPACTION.
3. EXCAVATE RAIN GARDEN TO SUBGRADE ELEVATION. PROVIDE A 3" TOP SOIL CAP OVER BOTTOM OF RAIN GARDEN.
4. ONCE SITE IS STABILIZED REMOVE TOP SOIL CAP AND ANY SEDIMENT PRESENT WITHIN RAIN GARDEN.
5. BRING RAIN GARDEN BACK TO PROPOSED GRADE. PROVIDE DEEP TILLING OF THE RAIN GARDEN BOTTOM.
6. PROVIDE 3" COMPOST AND NATURAL GRANULAR BLEND. THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS S100 - COMPOST.
7. REFER TO THE PROPOSED LANDSCAPING PLAN FOR RAIN GARDEN PLANTINGS.
8. ALL RAIN GARDEN SLOPES 4:1 OR GREATER SHALL BE PROVIDED WITH N.A. GREEN S75BN (OR EQUAL) EROSION MATTING.



NOT TO SCALE



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**OF MADISON, WI
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Appleton, WI 54911**

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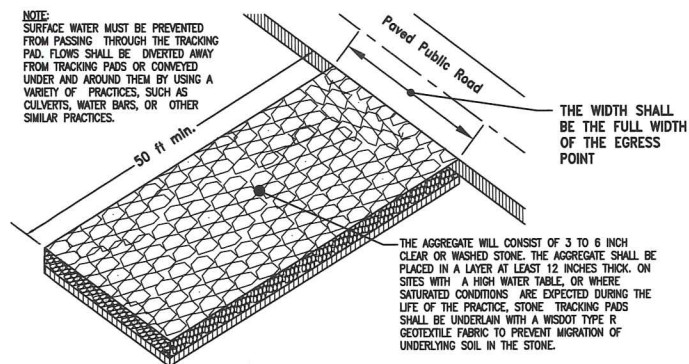
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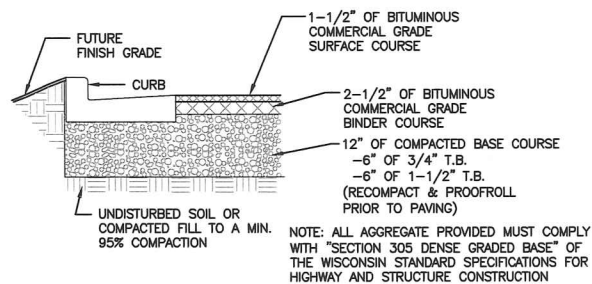
**RAIN GARDEN
DETAIL**

SHEET

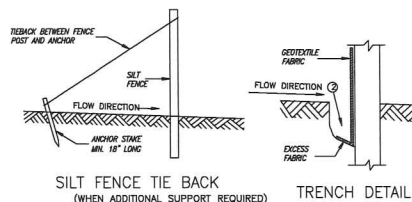
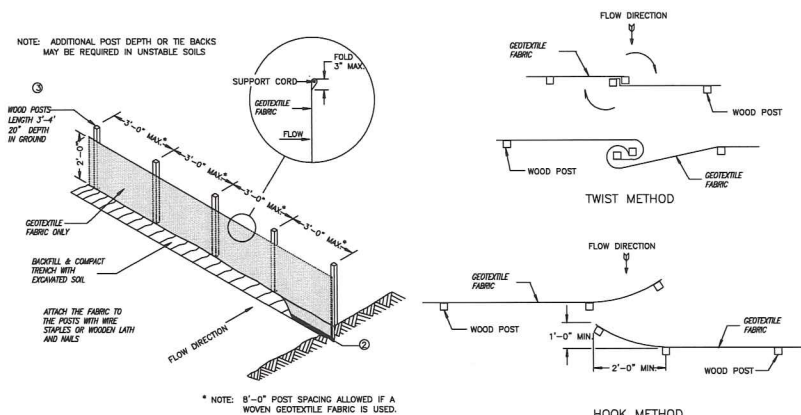
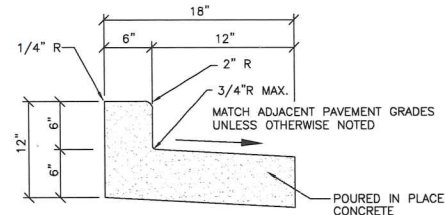
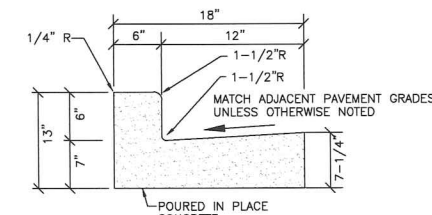
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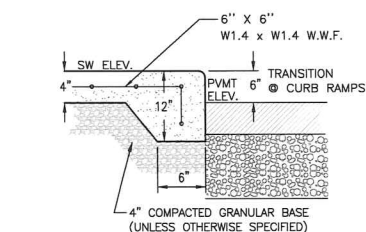
CONSTRUCTION ENTRANCE DETAIL
NO SCALE



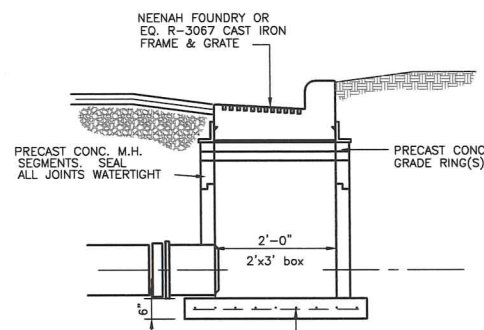
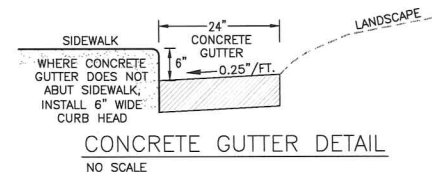
STANDARD PARKING LOT ASPHALT PAVING DETAIL
NO SCALE



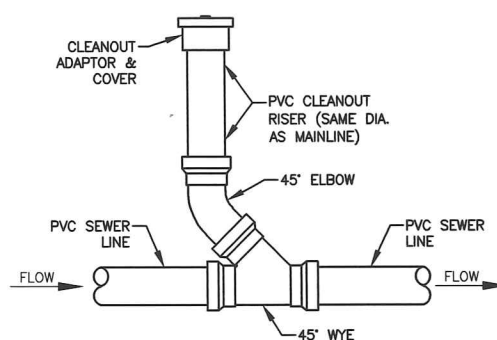
SILT FENCE INSTALLATION DETAIL
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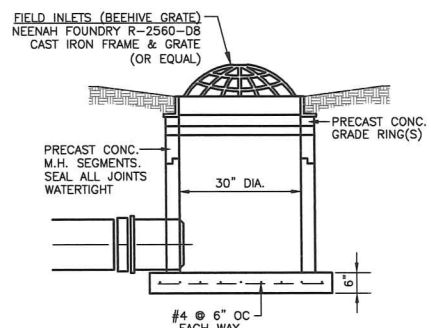
INTEGRAL SIDEWALK & BARRIER CURB
(WHERE SIDEWALK ADJOINS DRIVEWAYS/PARKING AREAS) NO SCALE



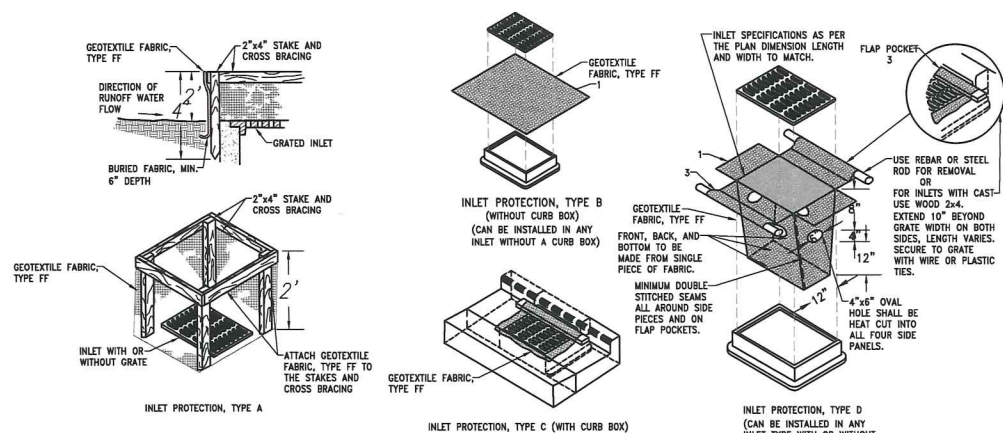
STORM CURB INLET
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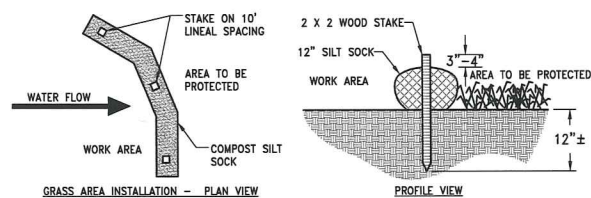
SANITARY CLEANOUT DETAIL
NO SCALE



STORM SEWER FIELD INLET DETAIL
NO SCALE

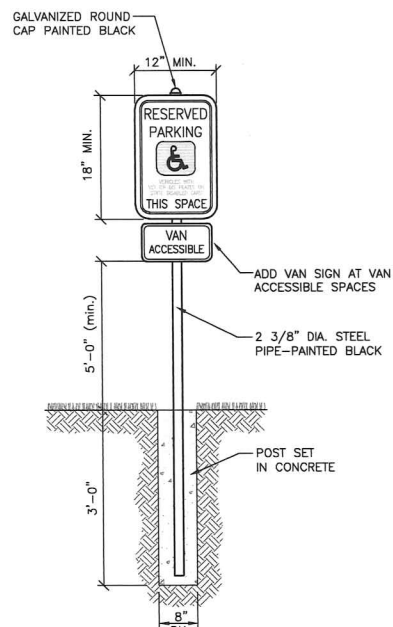


INLET PROTECTION DETAIL
NO SCALE

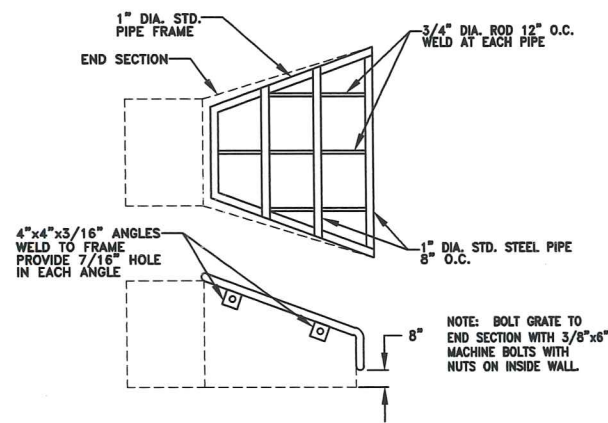


SILT SOCK DETAIL

NO SCALE



HANDICAP SIGNAGE DETAIL



APRON END WALL GRATE DETAIL



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PARAGON PLACE

PROJECT:
PPARAGON PLACE AT BEAR CLAW WAY
BUILDING #4: MAJOR ALTERATION TO AN APPROVED

REVISION HISTORY	
DATE	DESCRIPTION
06/07/19	BLDG 4 PLAN

DATE:
JUNE 07, 2019

JOB NUMBER:
12041

DESCRIPTION:

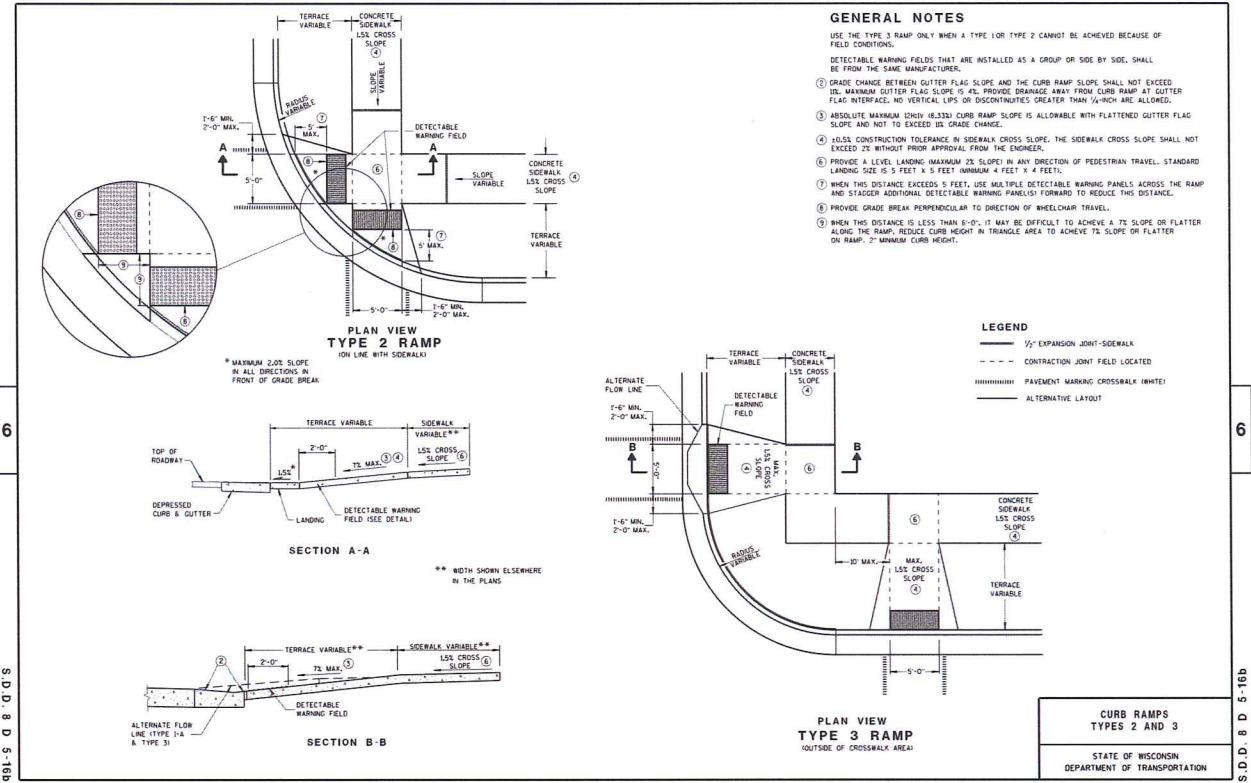
CONSTRUCTION

NOTES & DETAILS

SHEET

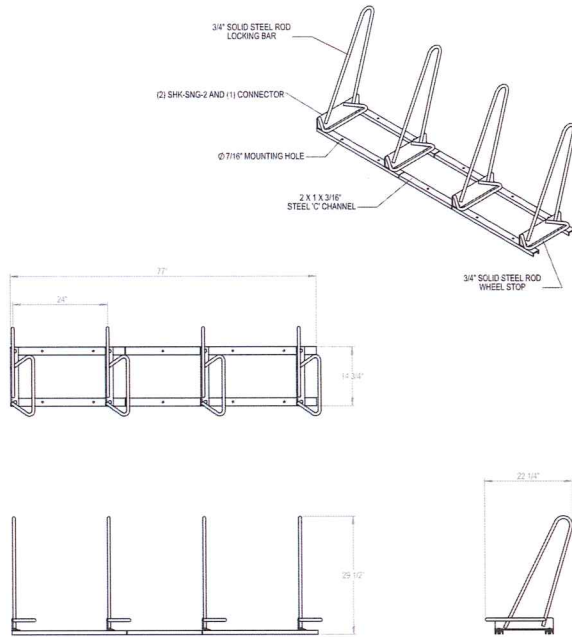
C5.0

8D5 sheet b: Curb Ramps Types 2 and 3



MADRAZ

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WAUNAKEE, WI 53097
P(800) 448-7831 P(908) 848-1080 F(908) 848-1081
WWW.MADRAZ.COM E-MAIL: SALES@MADRAZ.COM



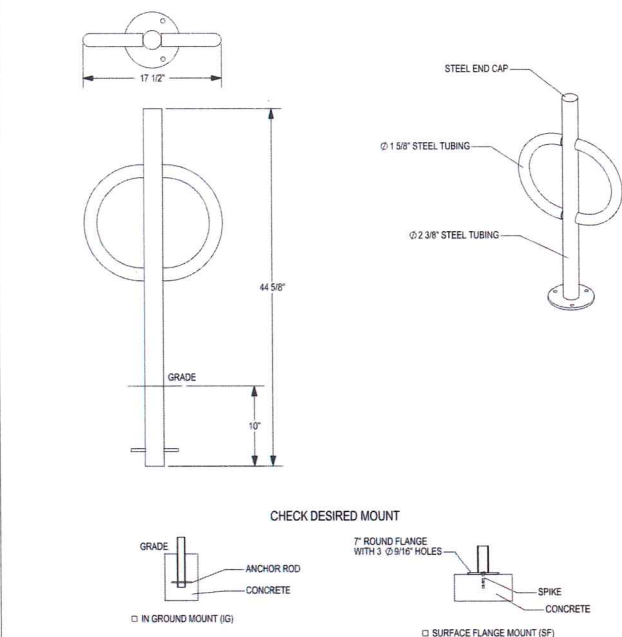
PRODUCT: SHK-SNG-4
DESCRIPTION: SHARK™ BIKE RACK
4 BIKE, SINGLE SIDED (PARK ONE SIDE)
DATE: 7-16-15
ENG: SMC

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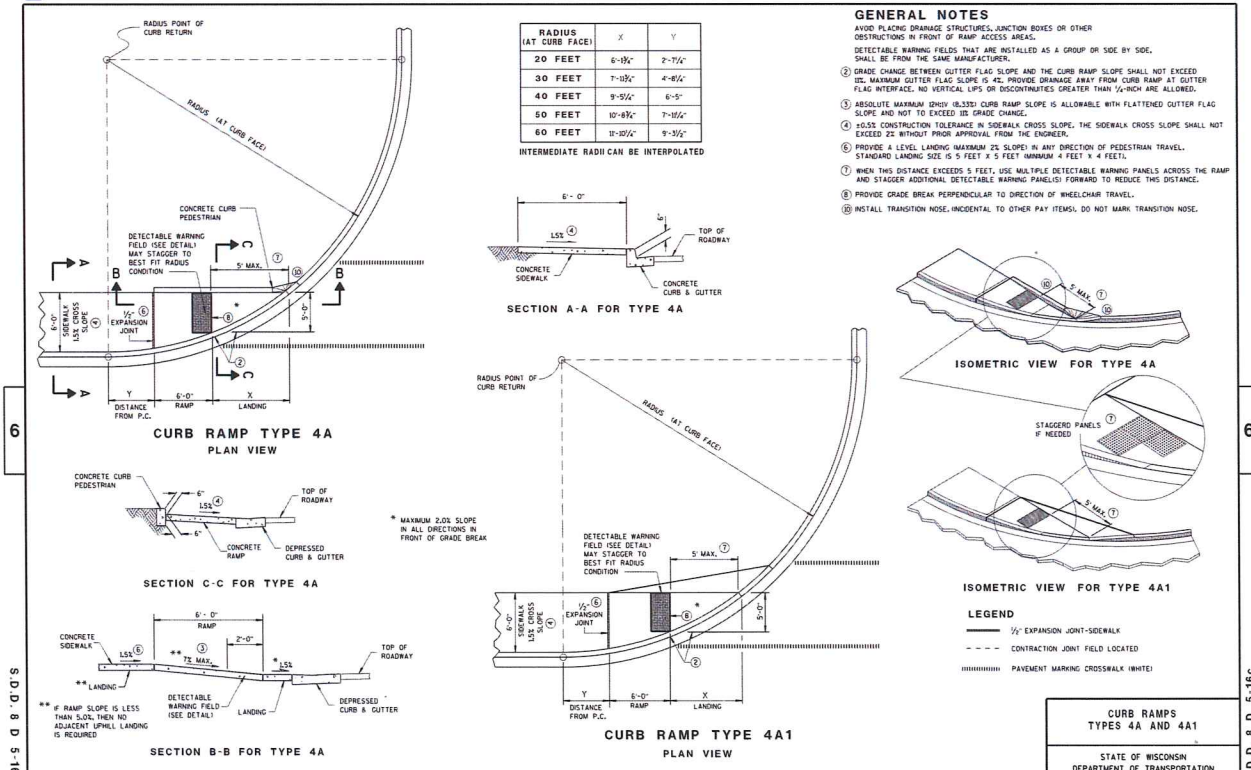


PRODUCT: PAR-2-SF(VG)
DESCRIPTION: POST AND RING BIKE RACK WITH FLAT CAP, TUBE STEEL ARMS
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-17-16
ENG: SMC

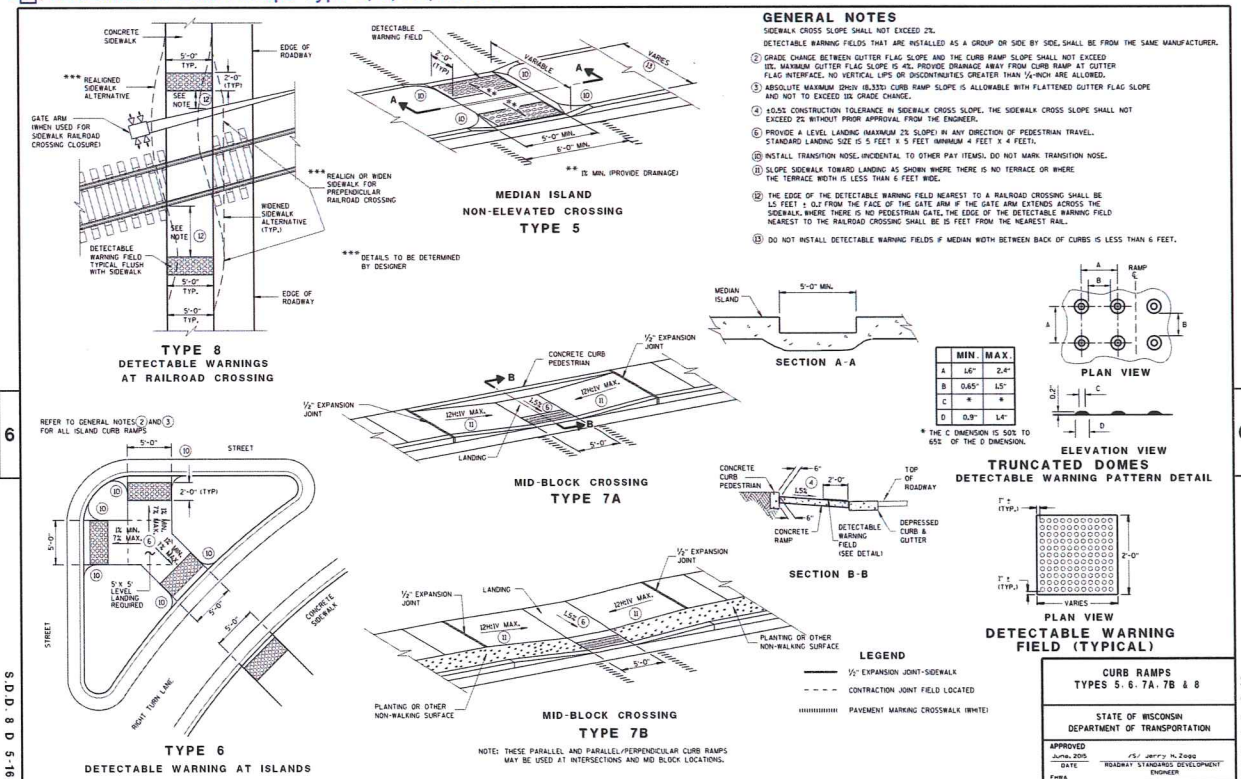
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8D5 sheet c: Curb Ramps Type 4A



8D5 sheet e: Curb Ramps Type 5, 6, 7A, 7B & 8



WISCONSIN PROFESSIONAL ENGINEER

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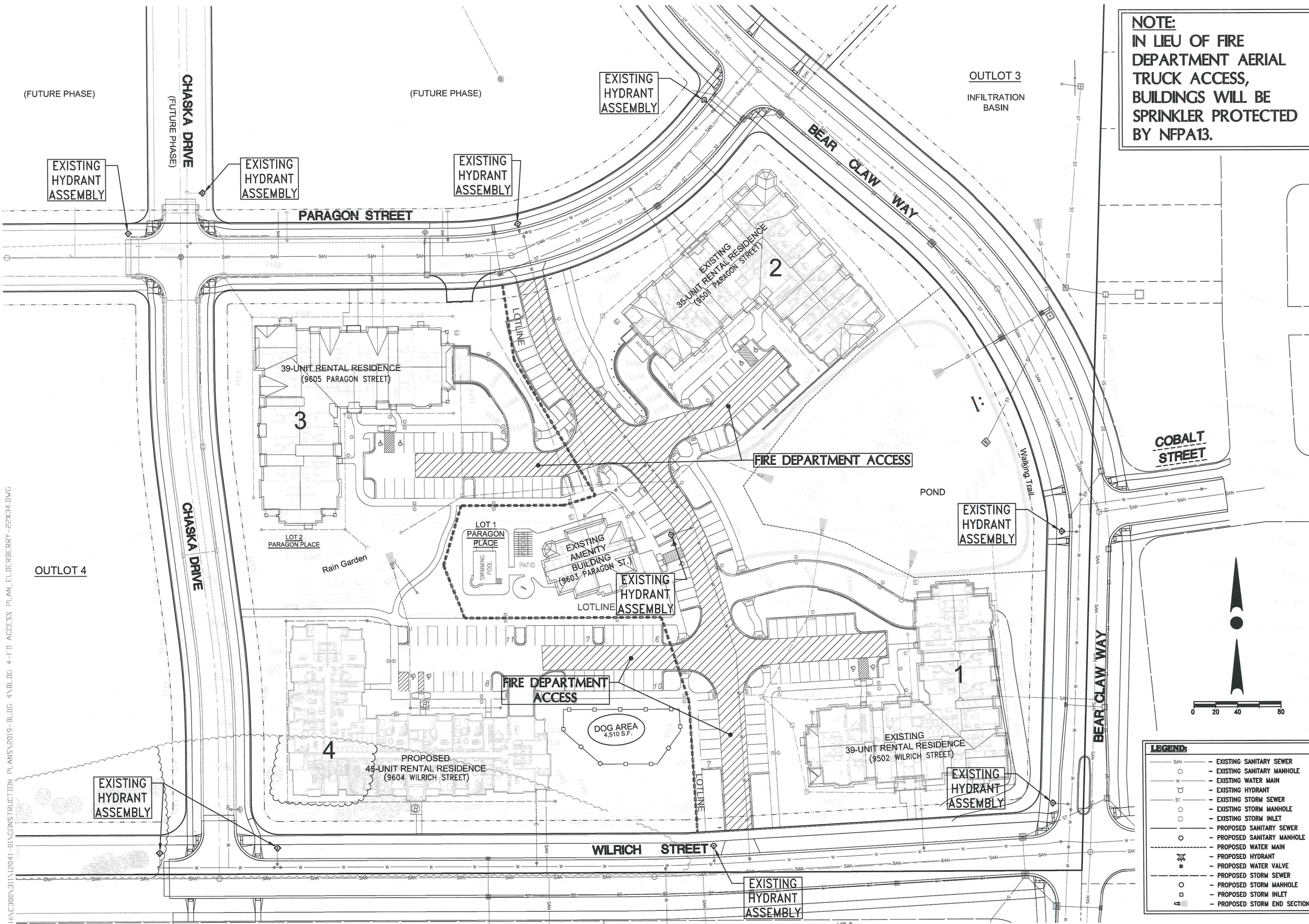
DATE:
JUNE 07, 2019

JOB NUMBER:
12041

DESCRIPTION:
CONSTRUCTION NOTES & DETAILS

SHEET

C5.1



NOTE:
IN LIEU OF FIRE
DEPARTMENT AERIAL
TRUCK ACCESS,
BUILDINGS WILL BE
SPRINKLER PROTECTED
BY NFPA13.

WISCONSIN

JOSHUA D. PUDELKO

E-39420

WAUWATOSA, WI

PROFESSIONAL ENGINEER

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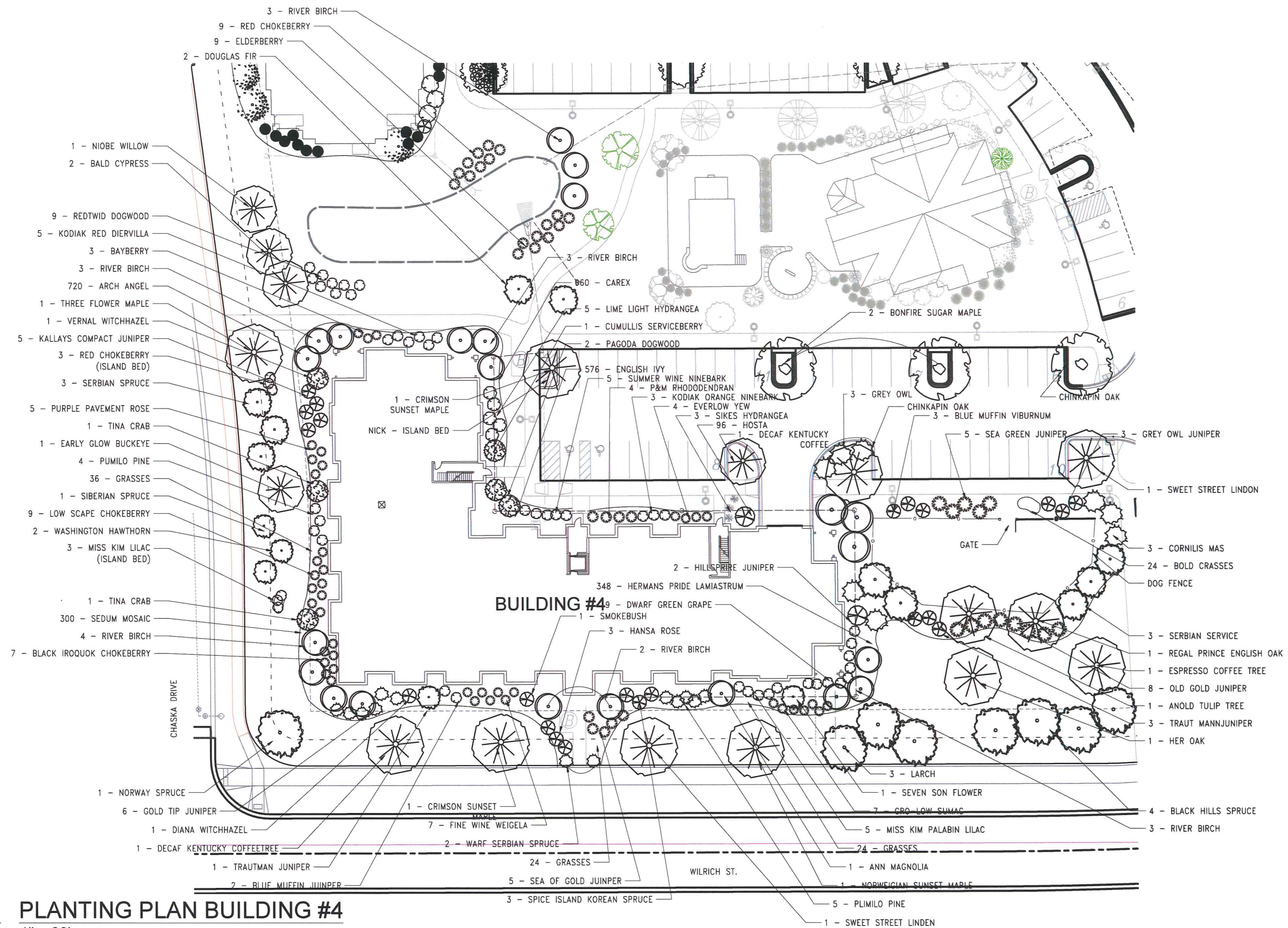
DATE:
JUNE 07, 2019

JOB NUMBER:
12041

DESCRIPTION:
LOT 1
FIRE DEPARTMENT
ACCESS PLAN

SHEET
FD1.0

H:\C300\311\12041-01\CONSTRUCTION PLANS\2019-BLDG 4\BLDG 4-FD ACCESS PLAN.ELDERBERRY-22X34.DWG



PLANTING PLAN BUILDING #4



GENERAL PLANTING NOTES

The landscape contractor shall be responsible for complete coordination of planting operation as well as other contracted work, with the other contractors on the job. Repair of damage to the plants, grade, lawns, etc. during installation shall not be considered as an extra, and not chargeable to the Owner. Damage caused by other contractors shall be the responsibility of said contractor.

The contractor shall, at all times, keep the premises free from accumulation of waste material, soil and/or rubbish caused by his employees or work. Contractor shall clean behind his work immediately, and shall take necessary precautions to keep concrete, brick and other paving material clean of soil.

Materials planted and damaged or destroyed by any phenomena considered as an act of God, e.g., vandalism, wind, fire, flood, frost, theft, rain, hail, etc., shall belong to the Owner and shall be his responsibility. Materials stored on-site as not yet planted are not covered by this clause and are the sole responsibility of the contractor.

All plant material furnished by the contractor, unless otherwise specified, shall be No. 1 grade or better in accordance with GRADED AND STANDARDS FOR NURSERY PLANTS as described in ANSI Z60.1 1996. Landscape Architect reserves all right to determine acceptability of plant material submitted for planting.

All plants shall be planted in pits, centered and set on six inches of compacted topsoil to such a depth that the finish grade level, at the plant, after settlement will be the same as that at which the plant was grown. All planting areas shall received adequate fertilization with 'Easy Grow' 3 yr. (1 oz.) fertilizer packets or equivalent. Granular fertilizer will be accepted, but must be approved by Landscape Architect. Please submit specifications.

Application Rates shall be as follows:

Trees: 1-1/2" to 3" cal.: 2 packets, one each side
Greater than 3": Add 1 packet per 1" cal. (i.e. 4"- 4 packets)

Shrubs: 1 packet for every 12" height or spread. (Space evenly if 2 or more packets required)

Perform all work necessary for installing sod and/or seed as shown on the drawings or inferable therefrom and/or as specified, in accordance with the requirements of the contract documents. Immediately prior to seeding, the ground shall be scarified and raked to a friable fine texture. Lawn areas shall be seeded with a mechanical spreader at the rate as recommended for local conditions. After seeding, all areas shall be raked to satisfactorily cover seed, and then thoroughly watered and covered with treated shredded paper mulch or straw mulch. The methods of seeding may be varied by the contractor by his own responsibility to establish a smooth uniform turf. Hydro mulch embankments that exceed 1:4 slopes.

Seed shall be true to specie as called for on the seeding plan. All seed shall be delivered to the job site in sacks plainly marked and certified as to content.

Sod shall be placed when the ground is in workable condition and temperatures are less than 90 degrees Fahrenheit.

Landscape contractor shall water sod immediately after installation to prevent excessive drying during progress of the work. As sodding is completed in any one section, the entire area shall be rolled. It shall then be thoroughly irrigated to a depth sufficient that the underside of the new sod pad and soil immediately below the sod are thoroughly wet.

The landscape contractor shall verify grades established during final soil preparation as being true to finish contours shown, and shall maintain such areas until the effective date to begin sodding and/or seeding operation. In such instances where a split responsibility existing between grading and grassing contractors, it shall be the responsibility of the grassing contractor to maintain a suitable grade for grassing once he has accepted the grade provided to him. In all cases, the ground shall be hand raked immediately prior to being sodded to remove any irregularities in the grade.

Guarantee period for plant materials shall be as follows:		
Lawns (seed & sod)*	3 months	
Ground Cover	3 months	
Shrubs	12 months	
Trees	12 months	
Perennials, Roses & Japanese Maples	90 days from installation	

*(If lawn is installed in fall and not given full 90 days of guarantee periods, or if not considered acceptable at that time, continue guarantee the following spring until acceptable lawn is established.)

All shrub planting beds to be lined with a minimum of 2-3" shredded bark mulch (no plastic liners). Place mulch at base of all trees (minimum 4' diameter).

A 10/10/10 fertilizer mixture shall be applied at 20#/1000 SF and worked into the lawn bed before seeding or sodding.

Recommended seed mix:	
Premium 60 grass seed mix - Reinder's (262-786-3300)	No-Mow low grow grass seed mix - Reinder's
20% America Kentucky Bluegrass	45% Spartan II Hard Fescue
20% Granite Kentucky Bluegrass	40% Quatro Sheep Fescue
20% Mercury Kentucky Bluegrass	15% Turf Type Annual Ryegrass
20% Longfellow 3 Chewings Fescue	Apply at a rate of 175 Pounds per acre.
10% Replicator Perennial Ryegrass	Refer to supplier specification and installation
10% Fiesta 4 Perennial Ryegrass	cut sheets for further information.
Apply at a rate of 175 pounds per acre.	
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cut sheets for further information.	

Proposed trees to be staked as required. Verify with Landscape Architect if exposure and wind conditions prevalent.

Any series of trees to be placed in a particular arrangement will be field checked for accuracy. Trees of same species to be matched in growth character and uniformity. Any trees misplaced will be subject to rejection.

Upon acceptance of the landscape installation, the landscape contractor shall supply the Landscape Architect with a complete and adequate maintenance program to be followed during and after the guarantee period. The landscape contractor shall make periodic inspections of the job during the guaranteed period to determine if proper maintenance is being given.

It shall be understood that in accordance with the terms of the guarantee that the landscape contractor must promptly inform the Owner if proper maintenance is not being given to the installation. Such notice shall be in writing, outlining corrective measures to be taken, with a copy to Landscape Architect. At any time during the guarantee period, the landscape contractor shall be required to replace all plants that are dead or in unsatisfactory condition of growth. All replacement plants shall be of like size and kind of the plants removed. Any seed areas over one foot square not covered by turf shall be reseeded by the contractor. Any seed areas over one foot square that are dead or dying shall be replacements included within the guarantee and shall be landscape contractor's expense.

Any alteration to the landscape plan will be submitted to the Project Manager for approval by the Landscape Architect.

Landscape contractors are responsible for making sure all tree balls are moist at the core when trees are installed.

Lawn edges that abut parking lots with no curbing shall be double seeded to a width of 5'.

Pre-Emergent Herbicide (Treflan or Equiv.) to be applied to all plant beds prior to planting for noxious weed control.

The quantities indicated on the material schedule are provided for the benefit of the contractor, but should not be assumed to always be correct. In the even of a discrepancy, the planting plan will take precedence over the material schedule. The contractor shall be responsible for his own quantity calculation and the liability pertaining to those quantities and any related contract documents and/or price quotations.

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH
At least seventy-two hours prior to any excavation, contractor shall verify utility location as given by the electric, gas, telephone, water, sewer, and cable companies, utilities or entities. Review with the owner's representative, site mechanical, site electrical and lighting. Site grading and drainage, site irrigation and all other drawings pertaining to underground utility locations record set of information the same as in possession of owner's representative. Also review owner's "mark sets" of all of these drawings in possession of the contractor or owner. Mark all such utilities on the site prior to commencing. Coordinate with the owner before and during construction. Repair any damage to any system that is caused by landscape contractor at no cost to owner.

Deviations from these plans shall be noted on the record drawing by the contractor and only with prior approval of the landscape architect and owner's representative. Verbal agreements of revisions without a change order will not be recognized by the landscape architect and owner.

All plants must be bid and selected per the species specified on the plans. The sizes of plant material listed herein is a minimum acceptable size. Additionally, if excessive pruning reduces the crown and the plant shall be replaced.

Protect public from construction barrier and barricades.

All areas that are disturbed during construction and areas not covered with pavement, building, planting beds, or tree pits are to be top soiled 4-6" deep (min.) and shall be sodded/seeded with specified lawn grass. Landscape contractor shall include cost per square yard for additional seed operation as may possibly be required to reestablish adjacent turf grass areas which may become damaged during the construction process or to repair damage done by others.

Contractor is responsible for furnishing all materials, tools, equipment, labor and plants necessary for proper planting and installation of all landscape material.

Contractor is responsible for all estimating and bidding. All areas, quantities and materials should be field verified with site conditions.

Where discrepancies occur between the landscape plans and/or architectural and/or civil drawing (and any other site drawings) the discrepancies must be brought to the landscape architect's attention for coordination and resolution.

All diseased, noxious or inappropriate materials shall be removed from the proposed site prior to the start of construction and during the maintenance period.

General contractor shall leave the site free of construction debris.

All lawn and planting areas shall slope to drain a minimum of 2% unless noted otherwise and reviewed with owner's representative for final approval.

Finish grades for shrub and ground cover areas shall be held 1" below top of adjacent pavements and curb, unless noted otherwise on the plans. Refer to planting details for further information.

All perennial, annual, and ground cover areas to receive a blend of organic soil amendments prior to planting. Till the following materials into existing topsoil to a depth of approximately 8". A depth of 12" in tree pits. Proportions and quantities may require adjustment depending on the condition of existing soil. Refer to planting details for further information.

- Per every 100 square feet add:
- One - 2 Cubic foot bale of peat moss
 - 2 pounds of 5-10-5 garden fertilizer
 - 3/4 cubic yard of composted manure
 - Plant starter or other composted, organic material
- ** Premixed soils will be accepted, i.e. Purple Cow, Soil-Life, etc. Please notify Landscape Architect of alternatives used.

All shrubs to be pocket planted with a 50/50 mix of plant starter and existing soil. Install topsoil into all beds as needed to achieve proper grad. Remove all excessive gravel, clay and stones. Refer to planting details for further information.

Plant all trees slightly higher than finished grade at root flare. Back fill hole with 2/3 existing topsoil and 1/3 peat moss. Avoid any air pockets, discard any gravel, clay or stones. Refer to planting details for further information.

All trees to be installed, staked or guyed according to details. Refer to planting details for further information.

All planting to be watered at the time planting throughout construction and upon completion of project as required.

Where specified, all plant beds, pits and tree rings are to receive a minimum of 2-3" dressing of shredded hardwood oak bark mulch shavings (or brown enviro-mulch) free of growth, weeds, foreign matter detrimental to plant life or germination inhibiting ingredients. Landscape contractor to provide a sample to owner for approval. Contractor to take care with installation not to damage or cover plants. Refer to planting details for further information.

During the initial 30 day maintenance period the landscape contractor is required to provide an on-going pleasant visual environment whereas any plant which is not responding to transplanting or thriving shall immediately be replaced. New lawns shall be watered and repaired and weeds must constantly be removed. No exceptions will be granted.

Landscape/site demolition contractor to verify locations of existing trees and shrubs to be salvaged and clearly tag them with marking tape and construction fence.

Landscape/site demolition contractor to verify locations of existing trees and shrubs to be relocated. All plant materials to be relocated is to be clearly tagged with marking tape and moved before site demolition is to begin.

Irrigation system to be designed for a overlapping sprinkler head system in all lawn & island areas and a drip system for all foundation planting areas.

Contractor Note:
Before site grading and demolition is to begin for proposed new pavement, the area is to be staked and all trees and shrubs that are to be preserved are to be tagged by landscape architect and relocated by landscape contractor. If required a tree preservation plan will be produced and coordinated with city staff. Demolition contractor to coordinate w/landscape architect, owner and landscape contractor.

PLANT SCHEDULE

PARAGON PLACE- SHEET L1.3 Building #3 Updated						
REVISED: 21 FEBRUARY 2019						
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments	
3	Acer griseum	Paperbark Maple	2-1/2"	B&B		
1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6-7"	B&B		
3	Amelanchier x 'Cumulus'	Cumulus Serviceberry	8-9'	B&B	Multi-trunk	
15	Betula nigra 'Heritage'	Heritage River Birch	10-12'	B&B		
3	Cornus mas 'Golden Glory'	Golden Glory Corneliancherry	7-8'	B&B	Multi-trunk	
2	Crataegus crus galli inermis	Thornless Hawthorn	5-6'	B&B	Multi-trunk	
1	Magnolia x 'Ann'	Ann Magnolia	5-6'	B&B		
3	Ostrya virginiana	Ironwood	2-1/2"	B&B		
1	Syringa reticulata	Japanese Tree Lilac	2"	B&B		
1	Picea abies	Norway Spruce	10'	B&B		
4	Pinus sylvestris	Scot Pine	6-7'	B&B	Waterii'	
15	Diervilla sessilifolia 'Coolsplash'	Cool Splash Dwarfbush Honeysuckle	18"	cont.		
15	Diervilla sessilifolia 'Butterfly'	Butterfly Dwarfbush Honeysuckle	18"	cont.		
6	Hydrangea quercifolia 'Sikes'	'Sikes' Hydrangea	18"	cont.		
7	Kerria japonica 'Gelsha'	Gelsha Kerria	18"	cont.		
9	Rhus aromatica 'Gro-low'	Gro-Low Fragrant Sumac	18"	cont.		
5	Rosa rugosa 'Purple Pavement'	Purple Pavement Shrub Rose	18"	cont.		
1	Viburnum x 'Juddii'	Judd Viburnum	24-30"	B&B		
1	Viburnum carlesii	Koreanspice Viburnum	24-30"	B&B		
3	Viburnum dentatum "Blue Muffin"	Blue Muffin Viburnum	30-36"	B&B		
10	Viburnum dentatum "Chicago Lustre"	Chicago Lustre Viburnum	3-4"	cont.		
5	Viburnum prunifolium	Blackhaw Viburnum	5-6'	B&B		
6	Physocarpus opulifolius "Summer Wine"	Summer Wine Ninebark	4-Mar	cont.		
42	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	B&B		
8	Juniperus chinensis Pfizeriana "Kallays Compact"	Kallays Compact Pfitzer Juniper	24-30"	cont.		
10	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.		
5	Juniperus sargentii var. glauca	Blue Sargent Juniper	24-30"	cont.		
9	Juniperus x "Grey Owl"	Grey Owl Juniper	24-30"	cont.		
2	Picea omorika 'Nana'	Dwarf Serbian spruce	18"	cont.		
10	Taxus x 'Tautonii'	Tuaton Yew	24-30"	B&B		
600	Lamiumstrum galeobdolon	Archangel	4-1/2"	32'/flat	'Herman's Pride'	
240	Geranium	Perennial Geranium	1 gal	cont.	'Bevan's Variety'	
120	Sedum	Assorted	1 gal	cont.	Autumn Fire',Matrona,'Brilliant','Frosty Morn'	
360	Sedum	Assorted	4-1/2"	cont.	6 cultivars of creeping variety, mixed colors and foliage	
288	Ornamental Grasses	Grasses	1 gal	cont.	90-'Shenandoah,36-Deschampsia, 36-Sesleria autumnalis	
420	Carex glauca	Sedges	1 gal	cont.	Blue Zinger'	

NOTE: The seed mixes for the rain gardens

A blend of native wildflowers, grasses and sedges, designed specifically for damp soils. It can withstand ponding up to 48 hours. This mix will also tolerate periodic dry spells and is perfect for retention ponds, detention basins and drainage areas. It does best in full sun to partial shade. Seed @ 1/4 lb. / 1000 sq. ft. (10 lbs. / acre).

Wildflowers						
COMMON NAME:	BOTANICAL NAME:	% of Mix	LIFESPAN	BLOOM COLO.	BLOOM HEIGHT	BLOOM PERIOD
Bergamot (Bee Balm)	Monarda Fistulosa	2%	Perennial	Lavender	2'-4'	July-Sept
Black-eyed Susan	Rudbeckia Hirta	8%	Biennial	Yellow	1'-3'	June-Oct
Blue Vervain	Verbena Hastata	8%	Perennial	Blue	2'-6'	July-Sept
Canadian Milkvelch	Astagalus Canadensis	4%	Perennial	Cream	1'-4'	June-August
Cup Plant	Silphium Perfoliatum	3%	Perennial	Yellow	3'-8'	July-Sept
New England Aster	Aster Novae-Angliae	2%	Perennial	Purple	2'-5'	August-Oct
Ox-eye (False Sunflower)	Heliopsis Helianthoides	4%	Perennial	Yellow	2'-5'	June-Sept
Prairie Blazing Star	Liatris Pycnostachya	2%	Perennial	Purple	2'-4'	July-Sept
Red Milkweed	Asclepias Incarnata	2%	Perennial	Red	3'-5'	June-August
Stiff Goldenrod (Rigid)	Solidago Rigida	4%	Perennial	Yellow	1'-5'	August-Oct
Wild Golden Glow	Rudbeckia Laciniata	3%	Perennial	Yellow	3'-12'	July-Oct
Yellow Coneflower	Ratibida Pinnata	8%	Perennial	Yellow	3'-6'	July-Sept
Native Grass, Sedge & Rush Seed:						
COMMON NAME:	BOTANICAL NAME:	% of Mix	LIFESPAN	HEIGHT		
Big Bluestem	Andropogon Gerardi	20%	Perennial	3'-8"		
Fox Sedge	Carex Vulpinoidea	10%	Perennial	1'-3"		
Virginia Wild Rye	Elymus Virginicus	20%	Perennial	2'-4"		



PROPOSED GARDEN DESIGN FOR:
PARAGON PLACE AT BEAR CLAW WAY

CITY OF MADISON, WI
UNITED FINANCIAL GROUP, INC.
660 W RIDGEVIEW DRIVE
APPLETON, WI 54911

22-MAR-2019

GARLAND ALLIANCE
LANDSCAPE ARCHITECTS



5707 6th AVENUE
Kenosha, WI 53140
(414) 688-1641 garlandalliance@gmail.com

REVISIONS:
07-MAY-2019

SCALE: X" = XX'
SHEET NUMBER: L1.3

GENERAL PLANTING NOTES

The landscape contractor shall be responsible for complete coordination of planting operation as well as other contracted work, with the other contractors on the job. Repair of damage to the plants, grade, lawns, etc. during installation shall not be considered as an extra, and not chargeable to the Owner. Damage caused by other contractors shall be the responsibility of said contractor.

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All plant material furnished by the contractor, unless otherwise specified, shall be No. 1 grade or better in accordance with GRADED AND STANDARDS FOR NURSERY PLANTS as described in ANSI Z60.1 1996. Landscape Architect reserves all right to determine acceptability of plant material submitted for planting.

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Application Rates shall be as follows:

Trees:
1-1/2" to 3" cal.: 2 packets, one each side
Greater than 3": Add 1 packet per 1" cal. (i.e. 4"- 4 packets)

Shrubs:
1 packet for every 12" height or spread. (Space evenly if 2 or more packets required)

Perform all work necessary for installing sod and/or seed as shown on the drawings or inferable therefrom and/or as specified, in accordance with the requirements of the contract documents. Immediately prior to seeding, the ground shall be scarified and raked to a friable fine texture. Lawn areas shall be seeded with a mechanical spreader at the rate as recommended for local conditions. After seeding, all areas shall be raked to satisfactorily cover seed, and then thoroughly watered and covered with treated shredded paper mulch or straw mulch. The methods of seeding may be varied by the contractor by his own responsibility to establish a smooth uniform turf. Hydro mulch embankments that exceed 1:4 slopes.

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Guarantee period for plant materials shall be as follows:

Lawns (seed & sod)*	3 months
Ground Cover	3 months
Shrubs	12 months
Trees	12 months
Perennials, Roses & Japanese Maples	90 days from installation

*(If lawn is installed in fall and not given full 90 days of guarantee periods, or if not considered acceptable at that time, continue guarantee the following spring until acceptable lawn is established.)

All shrub planting beds to be lined with a minimum of 2-3" shredded bark mulch (no plastic liners). Place mulch at base of all trees (minimum 4' diameter).

A 10/10/10 fertilizer mixture shall be applied at 20#/1000 SF and worked into the lawn bed before seeding or sodding.

Recommended seed mix:

Premium 60 grass seed mix - Reinder's (262-786-3300)	No-Mow low grow grass seed mix - Reinder's
20% America Kentucky Bluegrass	45% Spartan II Hard Fescue
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Lawn edges that abut parking lots with no curbing shall be double seeded to a width of 5'.

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The quantities indicated on the material schedule are provided for the benefit of the contractor, but should not be assumed to always be correct. In the even of a discrepancy, the planting plan will take precedence over the material schedule. The contractor shall be responsible for his own quantity calculation and the liability pertaining to those quantities and any related contract documents and/or price quotations.

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- Per every 100 square feet add:
- One - 2 Cubic foot bale of peat moss
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Irrigation system to be designed for a overlapping sprinkler head system in all lawn & island areas and a drip system for all foundation planting areas.

Contractor Note:

Before site grading and demolition is to begin for proposed new pavement, the area is to be staked and all trees and shrubs that are to be preserved are to be tagged by landscape architect and relocated by landscape contractor. If required a tree preservation plan will be produced and coordinated with city staff. Demolition contractor to coordinate w/landscape architect, owner and landscape contractor.

PLANT SCHEDULE

PARAGON PLACE- SHEET L1.4 Building #4 Updated					
REVISED: 16 March 2019 REVISED: 1 MAY 2019					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
1	Amelanchier x 'Cumulus'	Cumulus Serviceberry	8-10'	BBB	Multi-trunk
1	Anculus glabra 'JN Select'	Early Glow Buckeye	2-1/2"	BBB	
1	Acer triflorum 'Moonline'	Young Lady Sycamore	2-1/2"	BBB	
2	Acer saccharum 'Bonfire'	Bonfire Sugar Maple	2-1/2"	BBB	
1	A. truncatum x A. platanoideus 'DFS-1'	Crimson Sunset Maple	2-1/2"	BBB	
1	A. truncatum x A. Plat. 'Nuthatch'	Norwegian Sunset Maple	2-1/2"	BBB	
21	Betula nigra 'Heritage'	Heritage River Birch	8-10'	BBB	Multi-trunk
1	Cornus x 'Young Lady'	Young Lady Dogwood	6-7'	BBB	
1	Cornus alternifolia	Pagoda Dogwood	7-8'	BBB	Multi-trunk
3	Cornus mas	Corneliancherry Dogwood	6-7'	BBB	Multi-trunk
2	Cotoneaster phaeogymum				
1	Gymnocladus dioica 'Expresso'	Washington Hawthorn	5-6'	BBB	Multi-trunk
1	Gymnocladus dioica 'MidBranched'	Decal Kentucky Coffeetree	2-1/2"	BBB	
2	Hamamelis vernalis 'Diana'	Diana Witchhazel	5-6'	BBB	
1	Heptacodium miconioides	Seven Son Flower	6-7'	BBB	
3	Larix laricina	American Larch	6-7'	BBB	
1	Liriodendron tulipifera 'Arnold'	Arnold Tulip Tree	2-1/2"	BBB	
1	Magnolia 'Ann'	Ann Magnolia	4-5'	BBB	Multi-trunk
1	Malus x 'Tina'	Tina Flowering Crab	5-6'	BBB	Multi-trunk
	Quercus macrocarpa x robur				
1	'Clematis'	Heritage Oak	2-1/2"	BBB	
1	Quercus muhlenbergii	Chinquapin Oak	2-1/2"	BBB	
1	Quercus robur x borealis	Regal Prince English Oak	2-1/2"	BBB	
3	Syringa reticulata 'Elitior'	Snowcap Japanese Tree Lilac	6-7'	BBB	Multi-trunk
1	Solid alba 'Frost'	Noble Weeping Willow	2-1/2"	BBB	
1	Taxodium distichum	Bald Cypress	7-8'	BBB	
1	Tilia americana 'Norton'	Sweet Street Linden	2-1/2"	BBB	
1	Juniperus chinensis 'Trautman'	Trautman Juniper	4-5'	BBB	
1	Juniperus virginiana 'Copressifolia'	Hidspire Juniper	7'	BBB	
8	Picea omorika	Serbian Spruce	6-7'	cont.	
2	Pseudotsuga mertensiana	Douglas Fir	6-7'	BBB	
1	Picea abies	Norway Spruce	6-7'	BBB	
4	Picea glauca var. densata	Black Hills Spruce	6'	BBB	
9	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	24"	cont.	
7	Aronia melanocarpa 'Mortier'	Inspiration Beauty Black Chokeberry	24"	cont.	
9	Aronia mel. 'Low Space'	Low Space chokeberry	15"	cont.	
1	Cornus sericea var. baccata	Bailey Redtwig Dogwood	36"	cont.	
5	Hydrangea paniculata 'Janet'	Little Lime Hydrangea	18"	cont.	
1	Hydrangea quercifolia 'Star'	Star Hydrangea	18"	3 gal.	
3	Myrica pennsylvanica	Northern Bayberry	18"	cont.	
3	Physocarpus op. 'Kodak Orange'	Kodak Orange Ninebark	24"	cont.	
1	Physocarpus op. 'Kodak Red'	Kodak Red Ninebark	24"	cont.	
1	Physocarpus op. 'Seward'	Seward Ninebark	24"	cont.	
8	Sambucus canadensis	American Elderberry	36"	cont.	
1	Syringa patula 'Pavilion'	Dwarf Korean Lilac	24"	1 gal.	
3	Rosa rugosa 'Hansa'	Hansa Shrub Rose	18"	cont.	
3	Rosa rugosa 'Purple Pavement'	Purple Pavement Shrub Rose	18"	cont.	
13	Rhus aromatica 'Sonic Lawn'	Sonic Lawn Sumac	18"	1 gal.	
2	Viburnum prunifolium	Blackhaw Viburnum	5-6'	BBB	
3	Viburnum carlesii 'J.N. Select A'	Spice Island Kowanspice Vib.	24-30"	3 gal.	
5	Viburnum dentatum 'Chocoma'	Black Malin Viburnum	30-36"	cont.	
7	'Weigela florida 'Tine Wine'	Fine Wine Weigela	24-30"	cont.	
3	Juniperus x 'Grey Dwarf'	Grey Dwarf Juniper	24-30"	cont.	
10	Juniperus x 'Sea Green'	Sea Green Juniper	24-30"	cont.	
6	Juniperus sargentii glauca	Blue Sargent Juniper	24-30"	cont.	
8	Juniperus chinensis 'Old Gold'	Old Gold Juniper	24-30"	cont.	
1	Juniperus chinensis 'Pitz. Katay'	Katay Compact Juniper	24-30"	cont.	
6	Juniperus chinensis 'Gold Tip'	Gold Tip Juniper	24-30"	cont.	
8	Mahonia aquifolium 'Compactum'	Dwarf Oregon Grape Holly	24"	cont.	
2	Picea omorika 'Hansa'	Dwarf Serbian spruce	18"	cont.	
9	Pinus mugo var. pumila	Pumila Mugo Pine	18"	cont.	
4	Rhododendron x 'PM'	PM Rhododendron	18"	BBB	
22	Taxus x 'Enduro'	Enduro Pine	18"	BBB	
1296	Lamium purpureum 'galeobdolon'	Archangel	2-5"	cont.	18/flat
248	Lamium purpureum 'Hermes'	Blue Cadet' and 'Stained Glass'	4-5"	cont.	4 flats of each cultivar
320	Liriope muscari	Archangel	4-5"	cont.	
30	Sedum Mosaic	Liriope	2-3"	cont.	32/flat
1500	Carex glauca 'Blue Sedge'	Additional schedule to follow	4-5"	cont.	12/flat
252	Ornamental Grasses	Additional schedule to follow	2-3"	cont.	12/flat

NOTE: The seed mixes for the rain gardens

A blend of native wildflowers, grasses and sedges, designed specifically for damp soils. It can withstand ponding up to 48 hours. This mix will also tolerate periodic dry spells and is perfect for retention ponds, detention basins and drainage areas. It does best in full sun to partial shade. Seed @ 1/4 lb. / 1000 sq. ft. (10 lbs. / acre).

Wildflowers	COMMON NAME	BOTANICAL NAME	% of Mix	LIFESPAN	BLOOM COLOR	BLOOM HEIGHT	BLOOM PERIOD
	Bergamot (Bee Balm)	Monarda fistulosa	2%	Perennial	Lavender	2-4'	July-Sept
	Black-eyed Susan	Rudbeckia hirta	6%	Biennial	Yellow	1-3'	June-Oct
	Blue Vervain	Verbena hastata	4%	Perennial	Blue	2-6'	July-Sept
	Canadian Milkweed	Asclepias canadensis	4%	Perennial	Cream	1-4'	June-August
	Cup Plant	Silphium perfoliatum	2%	Perennial	Yellow	3-6'	July-Sept
	New England Aster	Aster novae-angliae	2%	Perennial	Purple	2-5'	August-Oct
	Dwarf Yellow Sunflower	Helianthus scaberrimus	4%	Perennial	Yellow	2-5'	June-Sept
	Prairie Blazing Star	Liatris pycnostachya	2%	Perennial	Purple	2-4'	July-Sept
	Red Milkweed	Asclepias incarnata	2%	Perennial	Red	3-5'	June-August
	Silphium laciniatum (Pigweed)	Silphium laciniatum	4%	Perennial	Yellow	1-5'	August-Oct
	Wild Golden Glow	Rudbeckia laciniata	3%	Perennial	Yellow	3-12'	July-Oct
	Yellow Cornflower	Ranunculus flammula	8%	Perennial	Yellow	2-6'	July-Sept
Native Grass, Sedge & Rush Seed:	COMMON NAME	BOTANICAL NAME	% of Mix	LIFESPAN	HEIGHT		
	Big Bluestem	Andropogon gerardii	20%	Perennial	3-8'		
	Poa Sedge	Carex vulpinoidea	10%	Perennial	1'-3'		
	Virginia Wild Rye	Elymus virginicus	20%	Perennial	2-4'		



PROPOSED GARDEN DESIGN FOR:
PARAGON PLACE AT BEAR CLAW WAY

CITY OF MADISON, WI
UNITED FINANCIAL GROUP, INC.
660 W RIDGEVIEW DRIVE
APPLETON, WI 54911

22-MAR-2019

GARLAND ALLIANCE
LANDSCAPE ARCHITECTS



5707 6th AVENUE
Kenosha, WI 53140
(414) 688-1641 garlandalliance@gmail.com

REVISIONS:

DATE	REVISION
01 - MAY - 2019	
07 - MAY - 2019	

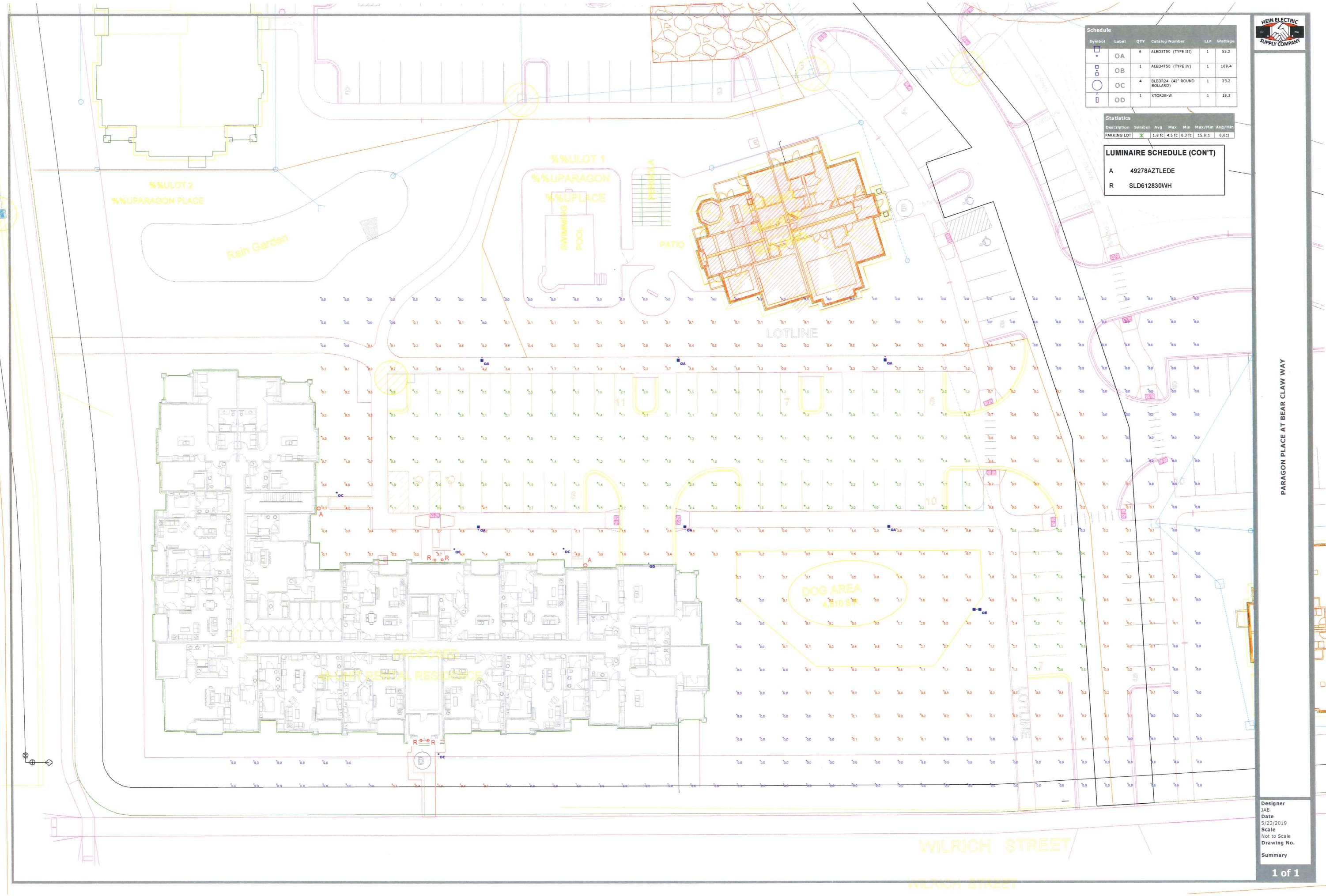
SCALE: "X" = "XX"
SHEET NUMBER: **L1.4**



Schedule					
Symbol	Label	QTY	Catalog Number	LLF	Wattage
OA	6	1	ALED3T50 (TYPE III)	1	55.2
OB	1	1	ALED4T50 (TYPE IV)	1	109.4
OC	4	1	BLED24 (42" ROUND BOLLARD)	1	23.2
OD	1	1	XTOR2B-W	1	18.2

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
PARKING LOT	X	1.8 ft	4.5 ft	0.3 ft	15.0:1	6.0:1	

LUMINAIRE SCHEDULE (CON'T)	
A	49278AZTLEDE
R	SLD612830WH



PARAGON PLACE AT BEAR CLAW WAY

Designer
JAB
Date
5/23/2019
Scale
Not to Scale
Drawing No.
Summary