



## CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address South Sprecher Road  
Kwik Trip Store #155  
Name of Project Jeff Osgood  
Owner / Contact \_\_\_\_\_  
Contact Phone 608-793-5547 Contact Email jsgood@kwiktrip.com

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size  
MUST be prepared by a registered landscape architect. \*\***

### Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 41,970 SF

Total landscape points required 700 Points

- (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area \_\_\_\_\_

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area \_\_\_\_\_

Total landscape points required \_\_\_\_\_

- (c) For the Industrial – Limited (IL) and Industrial – General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area \_\_\_\_\_

Total landscape points required \_\_\_\_\_

### Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			13	455
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			5	75
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			17	170
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			49	147
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			64	256
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			215	430
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			254	101
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"			2	10
<b>Sub Totals</b>						<b>1644</b>

**Total Number of Points Provided** \_\_\_\_\_

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

#### Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

#### Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

#### Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

#### Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

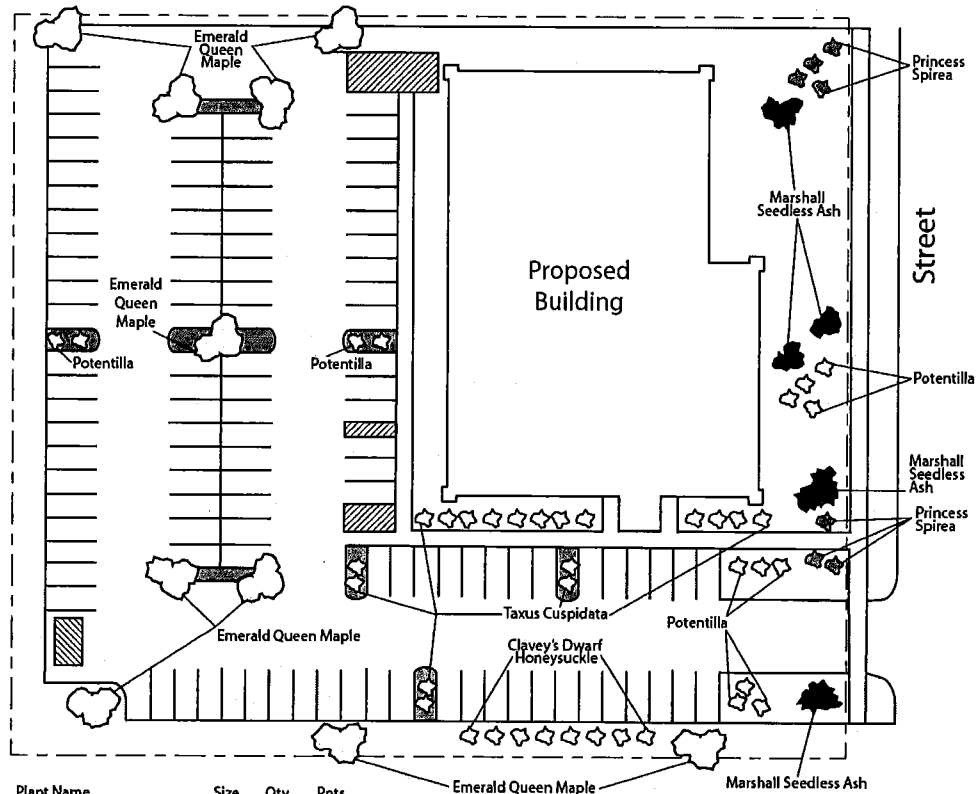
#### Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

#### Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

#### Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honeysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
TOTAL			585

Call City Zoning, 266-4551, with your questions about this type of plan

## LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

### Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
  - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
  - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
  - 3. Storage areas including trash and loading.
  - 4. Lighting (landscape, pedestrian or parking area).
  - 5. Irrigation.
  - 6. Hard surface materials.
  - 7. Labeling of mulching, edging and curbing.
  - 8. Areas of seeding or sodding.
  - 9. Areas to remain undisturbed and limits of land disturbance.
  - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
  - 11. Existing trees eight (8) inches or more in diameter.
  - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

### Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
  - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
  - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
  - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

### Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:



- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

#### **Interior Parking Lot Landscaping.**

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

#### **Foundation Plantings.**

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

#### **Screening Along District Boundaries.**

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

#### **Screening of Other Site Elements.**

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) **Refuse Disposal Areas.** All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) **Outdoor Storage Areas.** Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) **Loading Areas.** Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) **Mechanical Equipment.** All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

#### **Maintenance.**

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.



# City of Madison Fire Department

30 West Mifflin Street, 8<sup>th</sup> & 9<sup>th</sup> Floors, Madison, WI 53703-2579  
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

Project Address:	Kwik Trip Store #155, South Sprecher Road
Contact Name & Phone #:	Scott Anderson, Snyder & Associates, 608-838-0444 x238

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

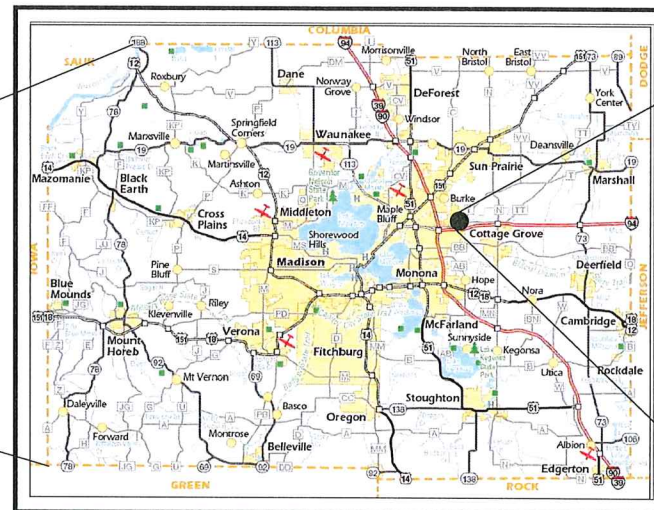
1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Is the grade of the fire lane not more than a slope of 8%?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
a) Is the gate a minimum of 20-feet clear opening?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, see IFC 3206.6 for further requirements.			
6. Is any part of the building greater than 30-feet above the grade plane?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i>			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
b) Is there at least 40' between a hydrant and the building?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
<i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.



## SECTION 21, TOWNSHIP 4N, RANGE 18E



DANE COUNTY

CITY OF MADISON,  
DANE COUNTY, WISCONSIN

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

# KWIK TRIP



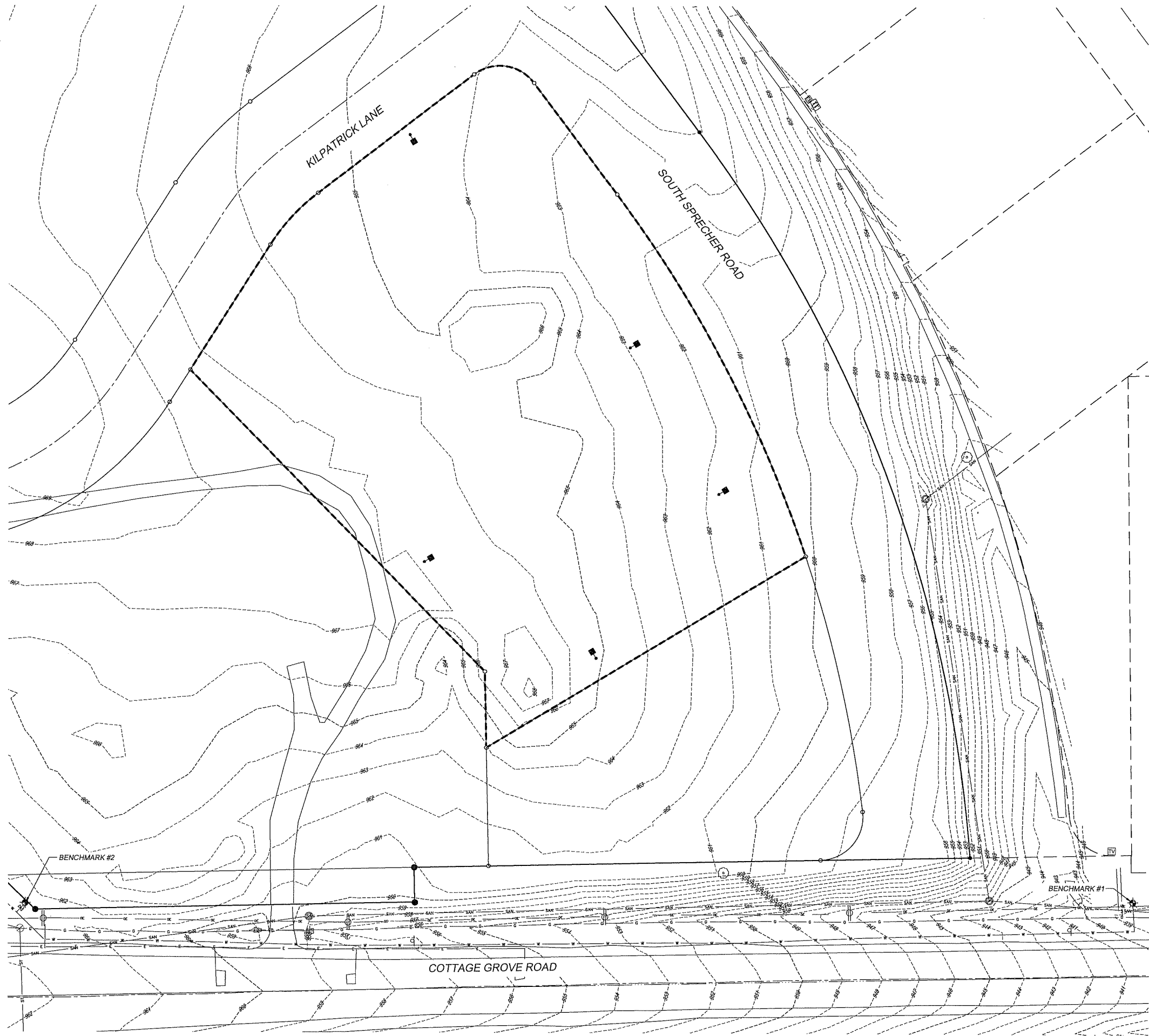
TITLE SHEET

CONVENIENCE STORE #155

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / M. WAHL  
SCALE NOTED  
PROJ. NO. 118.0198.30  
DATE JULY 24, 2019  
SHEET T 1.0



PLAN NOTES:

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK ON SITE

CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING WORK ON SITE

EXISTING SITE CONDITIONS BASED ON TOPOGRAPHIC SURVEY BY:  
SNYDER & ASSOCIATES  
DATED JANUARY 7, 2019

CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER CITY, COUNTY AND STATE SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED. SEE SHEET SWP1- SWP4 FOR MORE INFORMATION

CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.

ALL DAMAGED ASPHALT ON STREETS SHALL BE PATCHED TO THE CENTERLINE OF THE ROAD WITH A MINIMUM 10' WMDH.

**Kwik  
Trip**

**Kwik  
Star**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**S**  
**SNYDER  
& ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-538-0444

EXISTING SITE PLAN  
CONVENIENCE STORE #155  
SOUTH SPEECHER ROAD  
MADISON, WISCONSIN

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



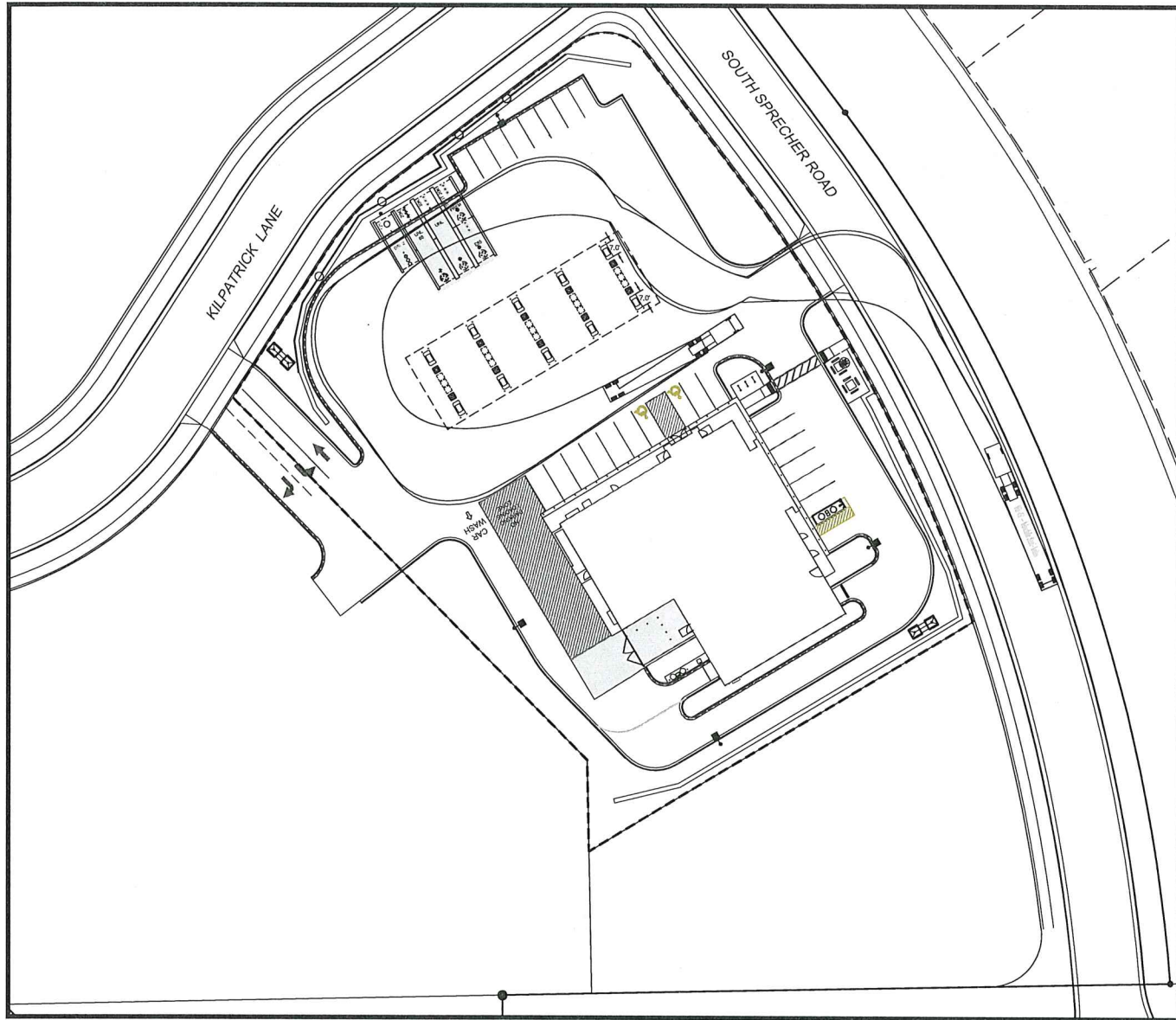
0 30 60  
SCALE: 1" = 30'

PLOTTING NOTE: PLANS PLOTTED TO 11X17  
SHEET SIZE ARE 1/2 SCALE - 1"=60'

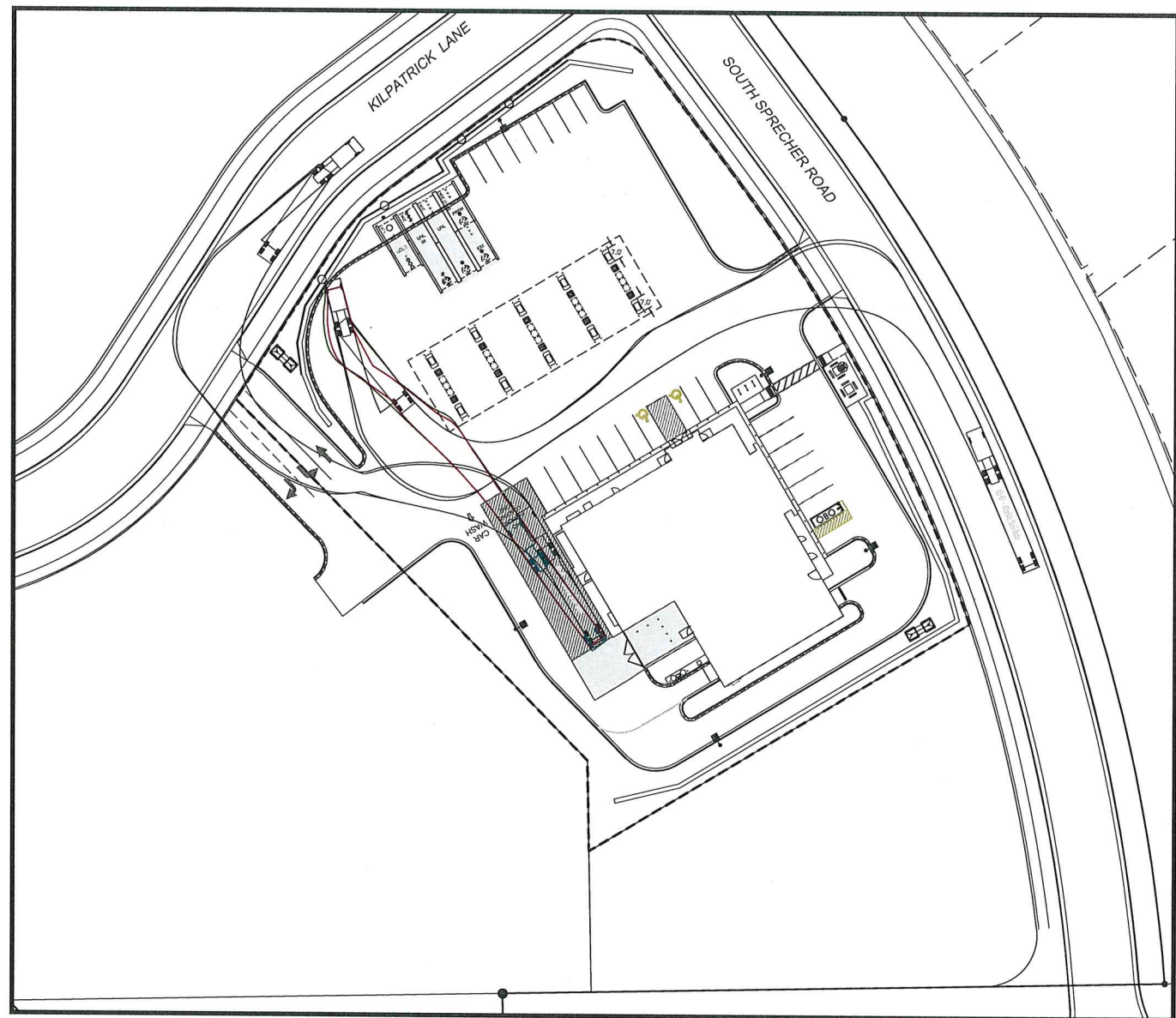
DRAWN BY S. ANDERSON / M. WAHL  
SCALE NOTED  
PROJ. NO. 118.0198.30  
DATE JULY 24, 2019  
SHEET

DM 1.0





TRUCK ROUTE FOR FUEL  
SCALE: 1" = 40'



DELIVERY TRUCK ROUTE  
SCALE: 1" = 40'

**Kwik  
TRIP**

**Kwik  
STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**S**  
**SNYDER  
& ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-538-0444

SITE TURNING MOVEMENT

CONVENIENCE STORE #155

SOUTH SPEECHER ROAD  
MADISON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / M. WAHL  
SCALE NOTED  
PROJ. NO. 118.0198.30  
DATE JULY 24, 2019  
SHEET

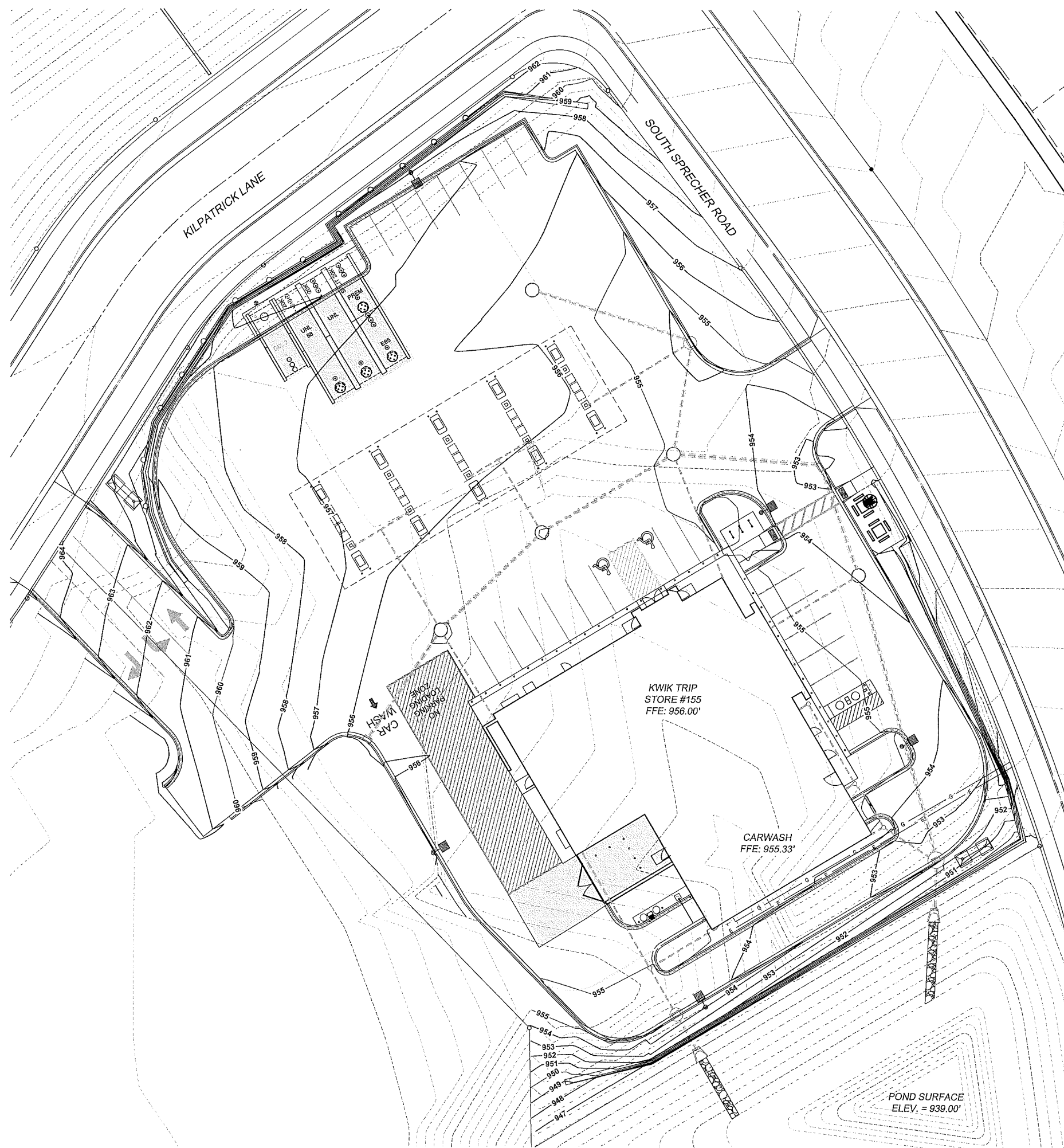
SP 1.0



SP 1.1

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NOTES:

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDING AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE EROSION CONTROL PLAN NOTES AND DETAIL SHEETS FOR MORE INFORMATION.

CONTACT JEFF OSGOOD  
KWIK TRIP, INC  
PO BOX 2107  
LACROSSE, WI 54602  
608-793-5547

## CONSTRUCTION SEQUENCE

\*INSTALL EROSION/SEDIMENT CONTROL MEASURES

\*INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS

\*INSTALL STORM SEWER

## INSTALL STRUCTURES

\*INSTALL PAVEMENTS

\*INSTALL LAWN/ LANDSCAPE

\*FLUSH STORM SEWER

\*REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

NOTES:

ENGINEER TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATION AND APPROPRIATE SIGNAGE LOCATION.

PLAN PREPARED FROM ALTA LAND TITLE SURVEY BY:

ERIC LINDAAS, PLS  
SNYDER & ASSOCIATES  
5010 VOGES ROAD  
MADISON, WI 53718  
608-838-0444

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER OF ANY POTENTIAL CONFLICTS.

CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

REFER TO OWNERS SPECIFICATIONS FOR CURB, APPROACH, AND CONCRETE PROFILES AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS

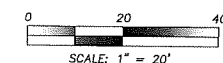
NOTE FOR GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.



**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE

WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



PLOTTING NOTE: PLANS PLOTTED TO 11X17  
SHEET SIZE ARE  $\frac{1}{2}$  SCALE - 1"=40'

# KWIK TRIP

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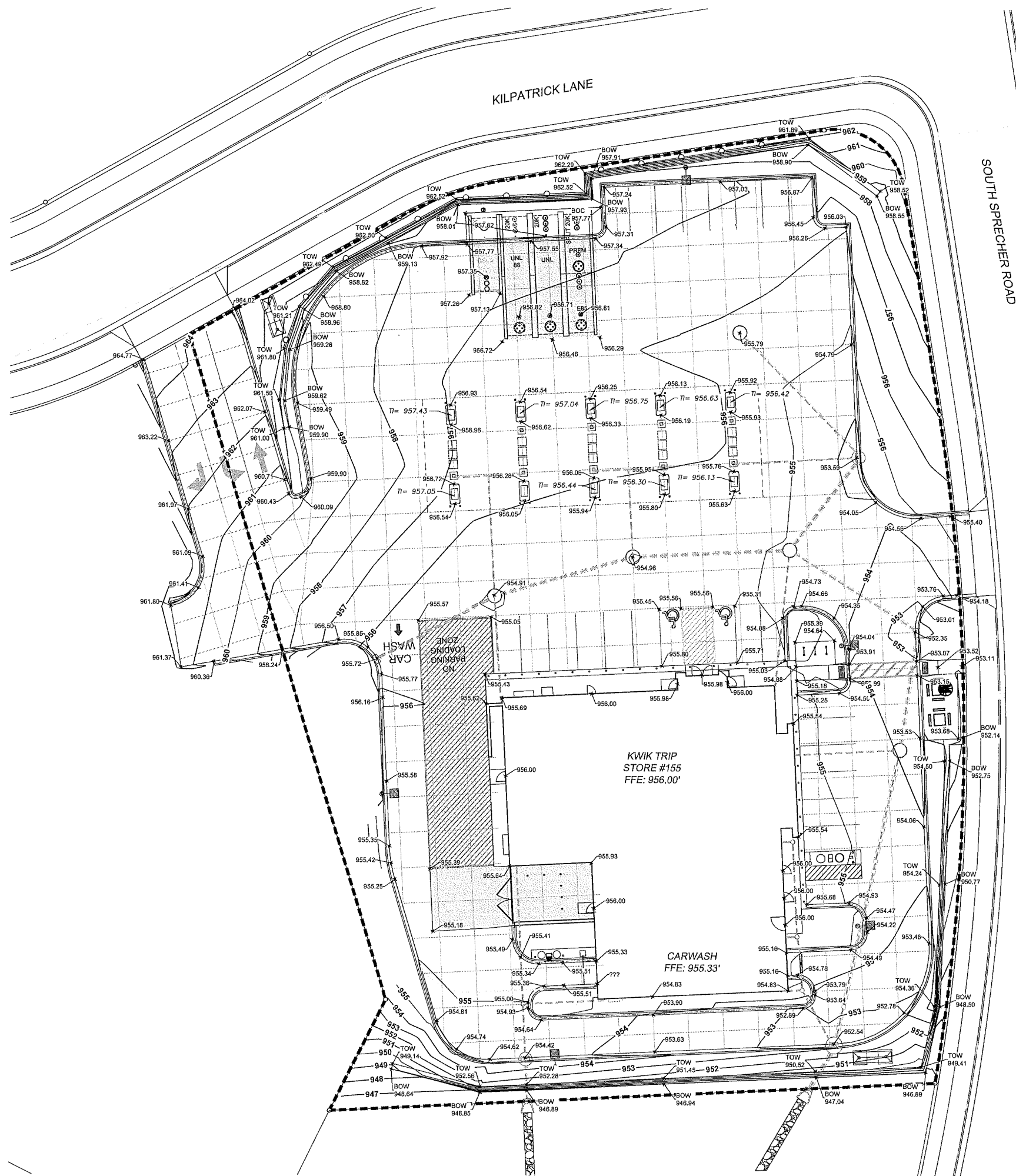
## SITE GRADING

CONVENIENCE STORE #155

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

[illegible]





NOTES:

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**S**  
**SNYDER**  
**& ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

GRADING PLAN - SPOT DETAIL

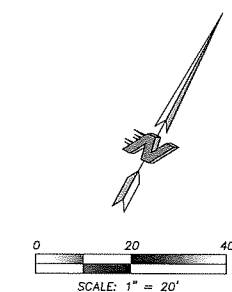
CONVENIENCE STORE #155

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

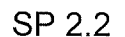
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**CALL DIGGERS HOTLINE**  
1-800-242-8511  
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WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



PLOTTING NOTE: PLANS PLOTTED TO 11X17  
SHEET SIZE ARE 1/2" SCALE - 1"=40'

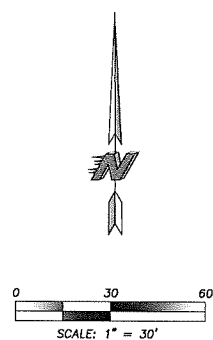


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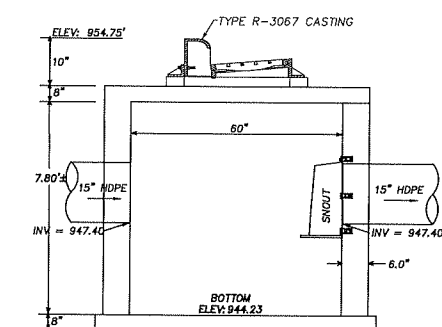


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608-838-0444



PLOTTING NOTE: PLANS PLOTTED TO 11X17  
SHEET SIZE ARE 1/2" SCALE - 1"=60'

1. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES AND CATCHBASINS CONFORMING TO ASTM C478, FURNISHED WITH WATER STOP RUBBER GASKETS AND PRECAST BASES. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
2. ALL JOINTS AND CONNECTIONS TO CATCHBASINS OR MANHOLES SHALL BE WATERTIGHT. USE RESILIENT RUBBER SEALS, WATERSTOP GASKETS, OR APPROVED EQUAL. CEMENT MORTAR JOINTS ARE NOT ALLOWED.
3. INSTALL CATCHBASIN CASTINGS WITH SPECIFIED TOP ELEVATION AT THE FRONT RM.
4. USE HOPE SOLID WALL PIPE WHEN CALLED OUT ON THE PLANS.
5. PVC PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 4 TO 15-INCHES IN DIAMETER. USE SOLID-CORE, SDR-35, ASTM F679 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27-INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE JOINT SOLVENT CEMENT JOINTS WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED.
6. TESTING: INSTALLATION MUST COMPLY WITH ASTM D2321.
7. TESTING: TEST ALL PORTIONS OF STORM SEWER THAT ARE WITHIN 10 FEET OF BUILDINGS, WITHIN 10 FEET OF BURIED WATER, LINES, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED. TEST ALL FLEXIBLE STORM SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%.
8. INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RHINO TRIMVIEW FLEX TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.
9. TRACER WIRE: LOCATE MAINS BY MEANS OF A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.075(2R) OF THE STATUTES.
10. THE MINIMUM DEPTH OF COVER FOR BUILDING AND CANOPY ROOF DRAIN LEADERS WITHOUT INSULATION IS 5 FEET. INSULATE ROOF DRAIN LEADERS AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
11. CLEANOUTS: INSTALL CLEANOUTS ON ALL ROOF DRAINS IN ACCORDANCE WITH S.P.S. 382.35 (3)(C)1.1. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 10-INCHES AND UNDER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INSTALL A METEOR BOSS FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
12. INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELLY END OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE, OR ORDER TO LOW AT JOINTS, TO THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR SUCH WORK.



INTAKE #9 WITH OIL SKIMMER

INTAKE #8 WITH OIL SKIMMER

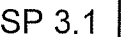
SEWER STORM STRUCTURE TABLE					
STRUCTURE NUMBER	STRUCTURE DIAMETER	SUMP DEPTH	STRUCTURE TYPE	STRUCTURE CASTING	
INTAKE - 1	----	24"	2X3 INLET	TYPE R-3067	
INTAKE - 2	48"	24"	MANHOLE	TYPE R-2501	
INTAKE - 3	36"	24"	MANHOLE	TYPE R-2501	
INTAKE - 4	48"	24"	MANHOLE	TYPE R-2501	
INTAKE - 5	36"	24"	MANHOLE	TYPE R-2501	
INTAKE - 6	60"	24"	2X3 INLET	TYPE R-3067	
INTAKE - 7	48"	24"	2X3 INLET	TYPE R-3067	
INTAKE - 8	60"	37.5"	3X3 INLET	TYPE R-3067	
INTAKE - 9	48"	37.5"	3X3 INLET	TYPE R-3067	
MANHOLE 1	36"	24"	MANHOLE	TYPE R-1769-E	

STORM SEWER PLAN

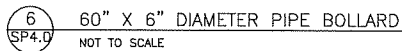
CONVENIENCE STORE #155

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

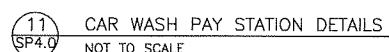
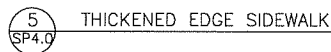
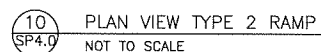
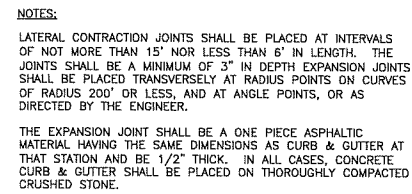
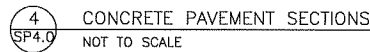
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3 RETAINING WALL  
SP4.0 NOT TO SCALE



1 NOT USED  
SP4.0 NOT TO SCALE



2 NOT USED  
SP4.0 NOT TO SCALE

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MISC. DETAILS

CONVENIENCE STORE #155

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

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SP 4.0



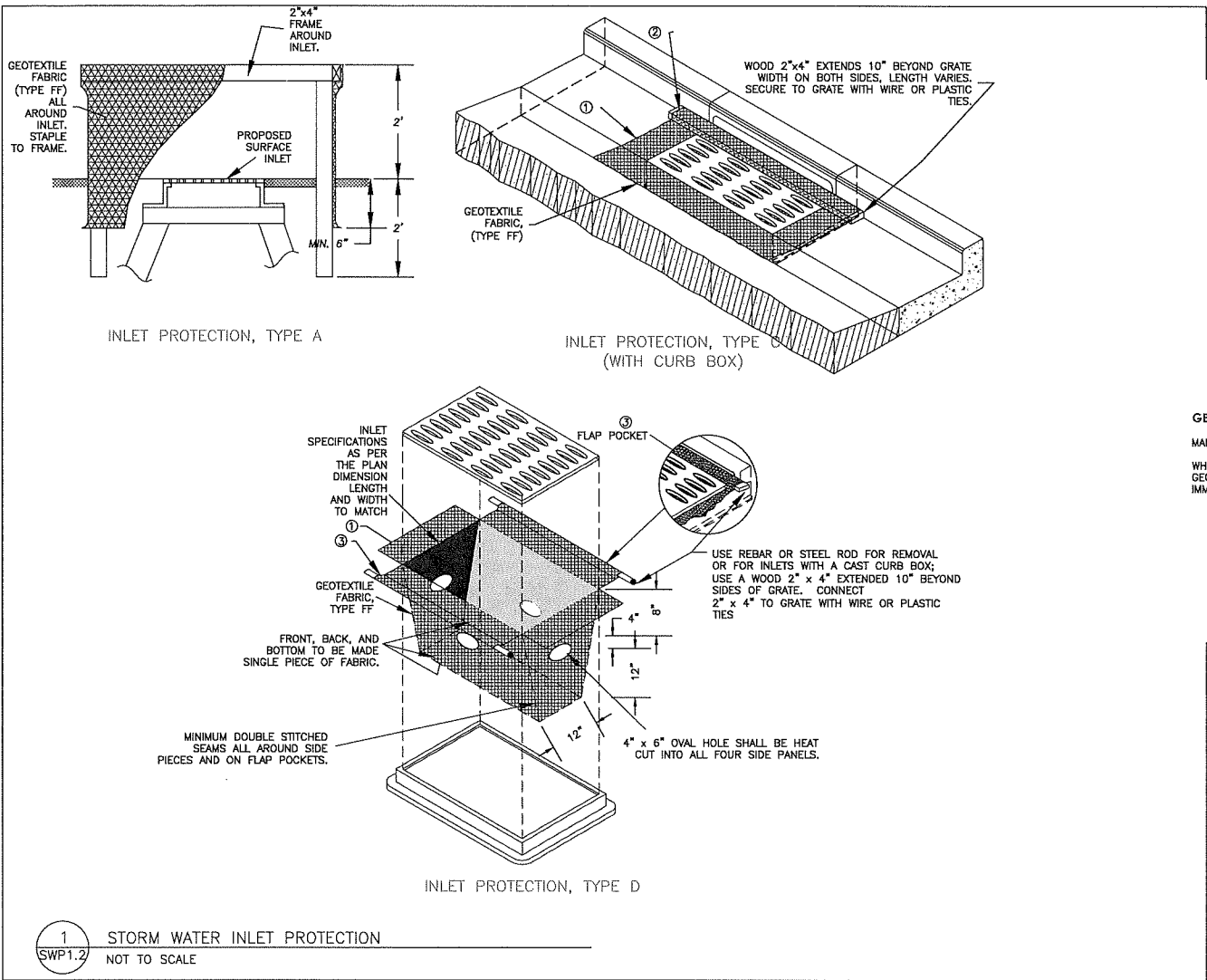






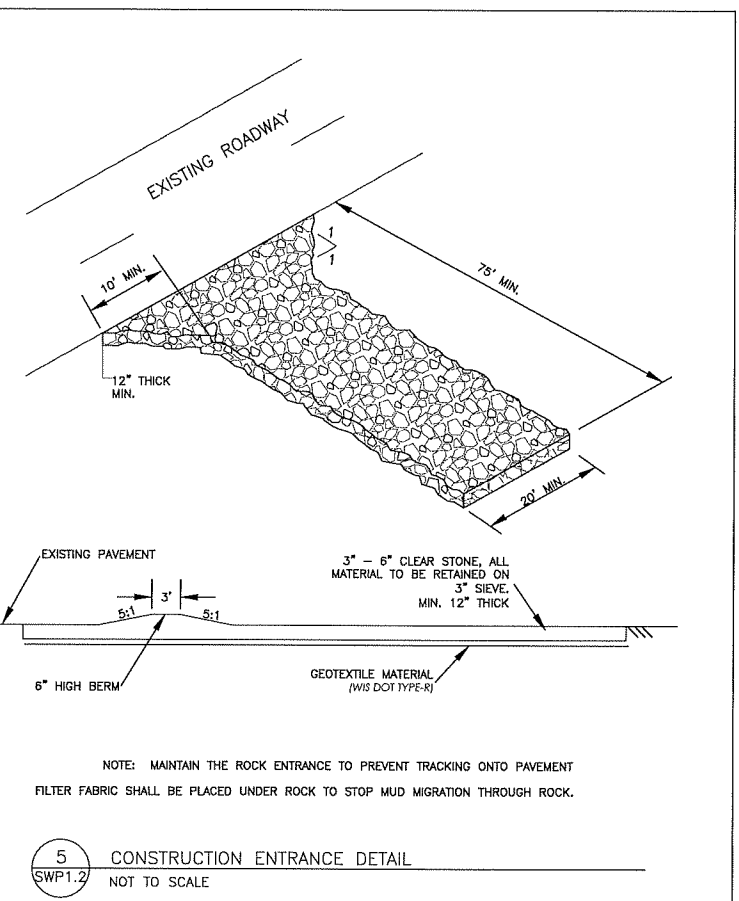
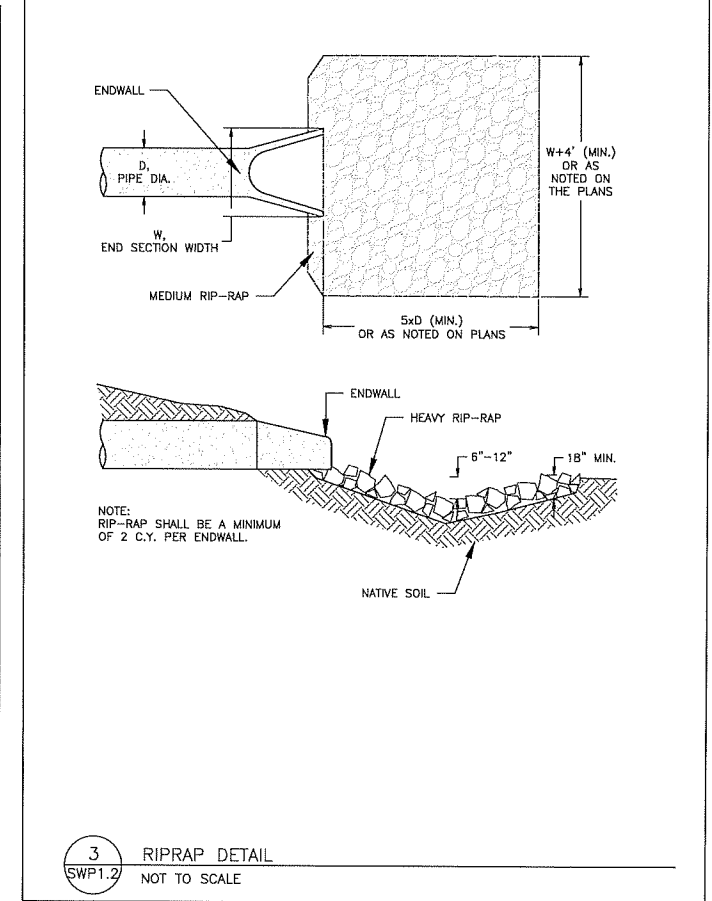
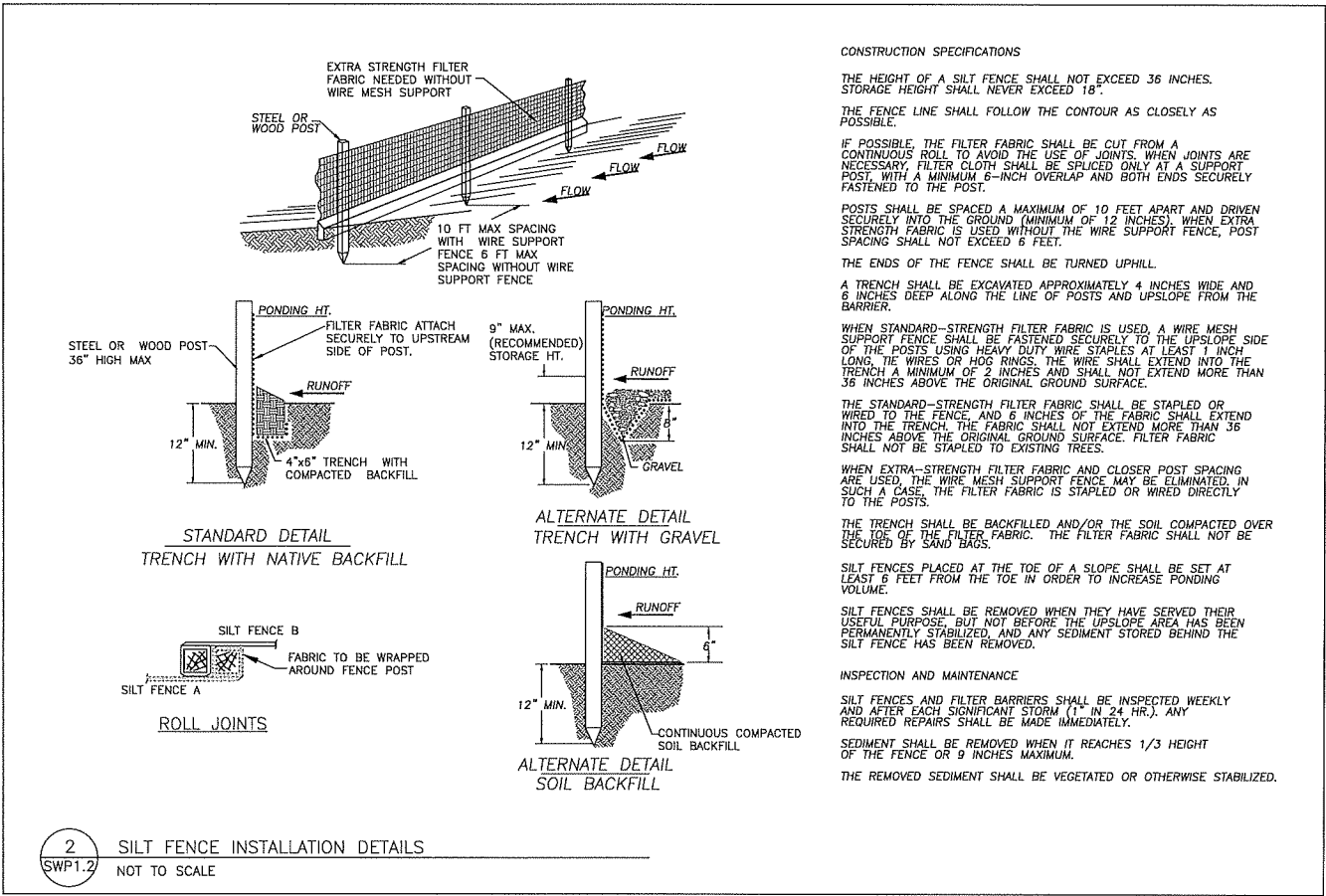
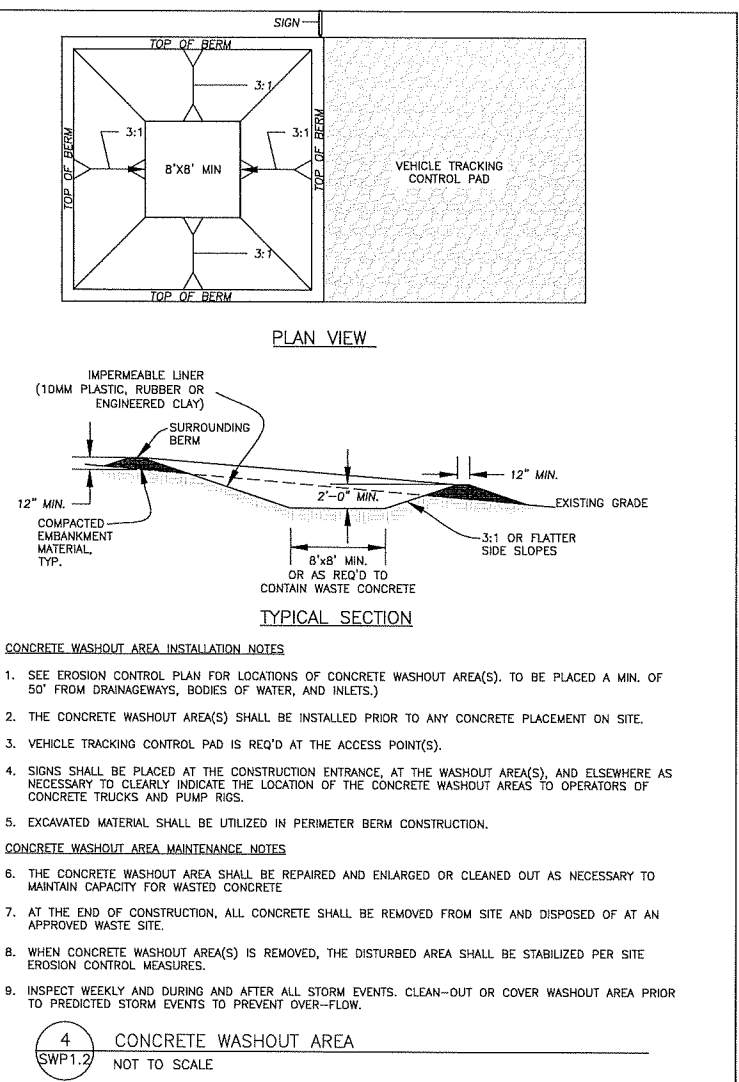






## ALL EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED PER WDNR STANDARDS

- INSTALLATION NOTES:
- TYPE C**
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
  - THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D**
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
  - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.
- GENERAL NOTES:
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON WIS DOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, ARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
  - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
  - FLAP POCKET SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2" x 4".



# Kwik Trip

# Kwik Star

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608-838-0444

## EROSION CONTROL DETAILS

## CONVENIENCE STORE #155

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / M. WAHL  
SCALE NOTED  
PROJ. NO. 118.0198.30  
DATE JULY 24, 2019  
SHEET SWP 1.2



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

SWP1.3

SWP1.3

SWP1.3

5  
SWP1

SWP1.3

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SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

[illegible]

SWP 1.3

GENERAL NOTES

1.

DRAWINGS ARE INTENDED TO BE PRINTED ON 22 X 34 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
2.

VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
3.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4.

GEOTECHNICAL SOILS REPORT RECOMMENDATIONS SHALL BE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID.
5.

CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS. WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.

6.

THE CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
7.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.

8.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.

9.

UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.

10.

ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.

11.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.

12.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OMWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.

13.

SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSCTURED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.

14.

NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.

15.

COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.

16.

CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.

17.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.

18.

THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.

19.

MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.

20.

THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.

21.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OMWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.

22.

THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.

23.

THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

24.

THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.

25.

LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

GENERAL LANDSCAPE NOTES

1.

UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
2.

NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3.

THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
4.

ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
5.

MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
6.

ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
7.

TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
8.

ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
9.

ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
10.

CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY.
11.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
12.

THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
13.

THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
14.

THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
15.

LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
16.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
17.

PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.

GENERAL LANDSCAPE NOTES CONTINUED

18.

ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.

19.

TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.

20.

THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.

21.

ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.

22.

ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.

23.

ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.

24.

ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.

25.

EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.

26.

WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.

27.

WHEN PLANTER POTS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED. UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVING PRIOR TO PLACEMENT OF PAVEMENT.

28.

PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.

29.

THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.

CITY OF MADISON LANDSCAPE REQUIREMENTS

**DEVELOPED AREA LANDSCAPE DISTRIBUTION:**  
FIVE LANDSCAPE POINTS PER 300 SF

TOTAL SQUARE FOOTAGE OF DEVELOPED AREA = 41,970 SF  
TOTAL LANDSCAPE POINTS REQUIRED = 700 POINTS  
TOTAL LANDSCAPE POINTS PROVIDED = 1,762

**DEVELOPMENT FRONTAGE LANDSCAPE:**  
1 OVERSTORY DECIDUOUS TREE AND FIVE SHRUBS PER 30 LF OF LOT FRONTAGE. 2 ORNAMENTAL AND 2 EVERGREEN TREES MAY BE USED IN PLACE OF 1 OVERSTORY DECIDUOUS TREE.

KILPATRICK LN. 217 LF  
REQUIRED LANDSCAPE: 7 TREES, 35 SHRUBS  
PROVIDED LANDSCAPE: 8 TREES (4 ORNAMENTAL TREES COUNTED AS 2 TREES) 63 SHRUBS

S. SPRECHER RD. 300 LF  
REQUIRED LANDSCAPE: 10 TREES, 50 SHRUBS  
PROVIDED LANDSCAPE: 4 TREES AND 88 SHRUBS

\*RETAINING WALLS LIMIT SPACE TO PROVIDE THE REQUIRED TREES.

WEST LOT FRONTAGE: 150 LF  
REQUIRED LANDSCAPE: 5 TREES, 41 SHRUBS  
PROVIDED LANDSCAPE: 5.5 TREES, (5 EVERGREEN TREES COUNTED AS 2.5 TREES) 26 SHRUBS

SOUTH LOT FRONTAGE: 175 LF  
REQUIRED LANDSCAPE: 6 TREES, 30 SHRUBS  
PROVIDED LANDSCAPE: 7 TREES (10 EVERGREEN TREES COUNTED AS 5 TREES) 36 SHRUBS

**INTERIOR PARKING LOT LANDSCAPING:**  
8% OF PARKING LOT DEVOTED TO INTERIOR PLANTING ISLANDS, PENINSULAS OR LANDSCAPE STRIPS

PROVIDED PARKING LOT: 18,580 SF  
REQUIRED LANDSCAPE: 1,487 SF  
PROVIDED LANDSCAPE: 2,180 SF

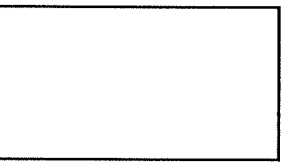
1 DECIDUOUS CANOPY TREE FOR EVERY 160 SF OF REQUIRED LANDSCAPE AREA.  
REQUIRED TREES: 1487 SF/160 = 10 CANOPY TREES  
PROVIDED TREES: 8 TREES (4 ORNAMENTAL TREES COUNTED AS 2 TREES)\*

\*RETAINING WALLS AND SITE UTILITIES LIMIT THE SPACE TO PROVIDE THE REQUIRED TREES.

PLANT SCHEDULE								
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE	COMMENTS	POINT VALUE PER PLANT	TOTAL POINT VALUE
CANOPY TREES								
2	GB	Ginkgo biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	2 1/2" Cal.	50'h x 40'w	B&B (MALE ONLY)	35	
5	QR	Quercus rubra	NORTHERN RED OAK	2 1/2" Cal.	60'h x 60'w	B&B	35	
5	GT	Gleditsia tricanthos var. inermis 'Skycote'	SKYLINE HONEYLOCUST	2 1/2" Cal.	50'h x 20'w	B&B	35	
EVERGREEN TREES								
8	AB	T. occidentalis 'Brandon'	BRANDON ARBORVITAE	4'	12'h x 6'w	B&B	10	
8	JC	Juniperus scopulorum 'Skyrocket'	SKYROCKET JUNIPER	4'	15'h x 3'w	B&B	10	
ORNAMENTAL TREES								
3	MP	Malus x 'Prairifire'	PRAIRIFIRE CRABAPPLE	1 1/2" Cal.	20'h x 20'w	B&B	15	
1	PM	Prunus maackii	AMUR CHOCKCHERRY	1 1/2" Cal.	25'h x 20'w	B&B	15	
DECIDUOUS SHRUBS								
2'-4' SPREAD								
5	SB	Spiraea betulifolia 'TorGold'	GLOW GIRL SPIREA	18" Ht.	2'h x 4'w	#5 CONT. (4' O.C.)	3	
5'-7' SPREAD								
6	CP	Cotoneaster horizontalis var. perpusilus	ROCK COTONEASTER	6" Ht.	1.5'h x 5'w	#5 CONT. (6' O.C.)	3	
4	FM	Forsythia x intermedia 'Mindor'	SHOW OFF FORSYTHIA	24" Ht.	6'h x 6'w	#5 CONT. (6' O.C.)	3	
15	BL	Syringa x 'Bloomerang'	BLOOMERAGNE LILAC	24" Ht.	4'h x 4'w	#5 CONT. (5' O.C.)	3	
7'+ SPREAD								
6	AG	Amelanchier x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	36" Ht.	15'h x 10'	CLUMP #15 CONT.	3	
12	EA	Euonymus alatus 'Compactus'	DWARF-WINGED BURNING BUSH	36" Ht.	9'h x 10'w	#5 CONT. (6' O.C.)	3	
6	RA	Rhus aromatica	FRAGRANT SUMAC	24" Ht.	5'h x 8'w	#5 CONT. (7' O.C.)	3	
5	VP	Virburnum prunifolium	BLACKHAW VIBURNUM	24" Ht.	12'h x 12'w	#5 CONT. (10' O.C.)	3	
EVERGREEN SHRUBS								
2'-4' SPREAD								
25	JN	Juniperus procumbens 'Nana'	DWARF JAPANESE GARDEN JUNIPER	12" Ht.	1.5'h x 4'w	#5 CONT. (4' O.C.)	4	
5'-7' SPREAD								
10	JP	Juniperus horizontalis 'Plumosa'	ANDORRA JUNIPER	6" Ht.	18'h x 5'w	#5 CONT. (6' O.C.)	4	
23	BR	Juniperus horizontalis 'Wiltoni'	BLUE RUG JUNIPER	6" Ht.	6'h x 5'w	#5 CONT. (5' O.C.)		
7'+ SPREAD								
4	RC	Rhododendron catawbiense 'Album'	WHITE CATAWBA RHODODENDRON	24" Ht.	6'h x 7w	#5 CONT. (6' O.C.)	4	
ORNAMENTAL GRASSES								
31	BA	Bouteloua gracilis 'blonde ambition'	BLONDE AMBITION BLUE GRAMA GRASS	8" Ht.	36" Ht.	#1 CONT. (3' O.C.)	2	
92	PS	Panicum virgatum 'shenandoah'	SHENANDOAH SWITCH GRASS	8" Ht.	48" Ht.	#1 CONT. (6' O.C.)	2	
PERENNIALS AND GROUND COVERS								
146	BB	Arctostaphylos uva-ursi	BEARBERRY	6" Ht.	6" Ht.	4" POT (6" O.C.)	2	
8	BM	Asclepia tuberosa	BUTTERFLYWEED	12" Ht.	24" Ht.	3" POT (18" O.C.)	2	
24	PC	Dalea purpurea	PURPLE PRAIRIE CLOVER	12" Ht.	36" Ht.	3" POT (8" O.C.)	2	



KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960



LANDSCAPE NOTES	CONVENIENCE STORE #155	SOUTH SPRECHER ROAD MADISON, WISCONSIN	#	DATE	DESCRIPTION
DRAWN BY			A. MEESSMANN		
SCALE			NOTED		
PROJ. NO.			118.0198.30		
DATE			JULY 24, 2019		
SHEET			L1.0		

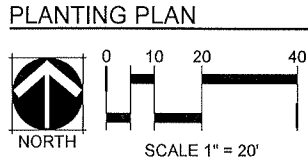
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**

**1-800-242-8511**

**TOLL FREE**














WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



# PLANTING PLAN CONSTRUCTION NOTES

1. SOD SHALL BE TFKB PROVIDED BY PAUL'S TURF AND TREE NURSERY SOD PRODUCTS (608.655.3600) 3/8" MIX OF TALL FESCUE AND KENTUCKY BLUEGRASS OR APPROVED EQUAL
2. WINONA RIVER ROCK 1-1 1/2" RIVER ROCK MULCH PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
3. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
4. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
5. 4" AMERISTAR 3 RAIL ECHELON MAJESTIC FENCE. COLOR: BLACK, REFER DETAIL ON L1.2
6. 36" TO 48" LANDSCAPE BOULDERS PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT PHOTO SAMPLE FOR LANDSCAPE ARCHITECT APPROVAL.
7. BLOCK RETAINING WALL, REFER TO DETAIL ON L1.2.
8. REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION.

# LANDSCAPE LEGEND

	SOD (13,542 SF), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE
	WOOD MULCH (46 CY - DOES NOT INCLUDE STAND-ALONE TREES OUTSIDE SHRUB BED AREAS), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE
	ROCK MULCH (8 CY YARDS), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE
	SPADE CUT EDGER (32 LF)
	FENCE (255 LF)
	DECIDUOUS CANOPY TREE
	ORNAMENTAL TREE
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS
	UPRIGHT EVERGREEN TREES
	ORNAMENTAL GRASSES
	LANDSCAPE BOULDER (11 TOTAL)
	PERENNIALS

# KWIK TRIP

**Kwik  
STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960



**SNYDER  
& ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444


LANDSCAPE PLAN

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CONVENIENCE STORE #155

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

[illegible]

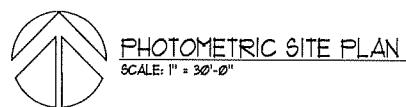
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WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE







A cross-sectional diagram of a drilled pier foundation. The pier is a vertical cylinder with a grid of reinforcement bars. It is embedded in a hatched area representing the ground. Above the ground line, a concrete tube form is shown, also with reinforcement bars. A dimension line indicates a height of 16' from the ground level to the top of the form. Another dimension line shows a 3' horizontal distance from the center of the pier to the outer edge of the form. A label 'CURB' points to the ground surface on the left. The text 'CONE-TUBE FORM ABOVE GRADE' and 'GRADE LEVEL' are positioned near the top of the pier. The text 'DRILLED PIER FOUNDATION' is at the bottom of the pier.

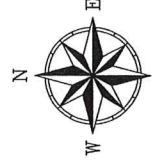


**SNYDER**  
 & ASSOCIATES  
 5010 VOGES ROAD  
 MADISON, WISCONSIN 53718  
 608-836-0444

SOUTH SPRECHER ROAD  
MADISON, WISCONSIN

[illegible]





BEARINGS ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE WEST LINE OF NW 1/4 OF SECTION 12-07-16, MEASURED AS BEARING N002054°W

FOUND 1-1/4" SOLID IRON ROD AT THE CORNER OF SECTION 12, T1N, R10E

S 00°28'54" E 1328.27'

COVERED BRIDGE CONDOMINIUMS

2.4.2  
MADISON METRO SCHOOL DISTRICT

North line of the SW 1/4 of the NW 1/4 of Section 12

(N89°43'53"E  
N89°47'52"E  
5.92'  
(3.90')

Y A L V E  
D B L V E  
(PUBLIC RIGHT-OF-WAY)

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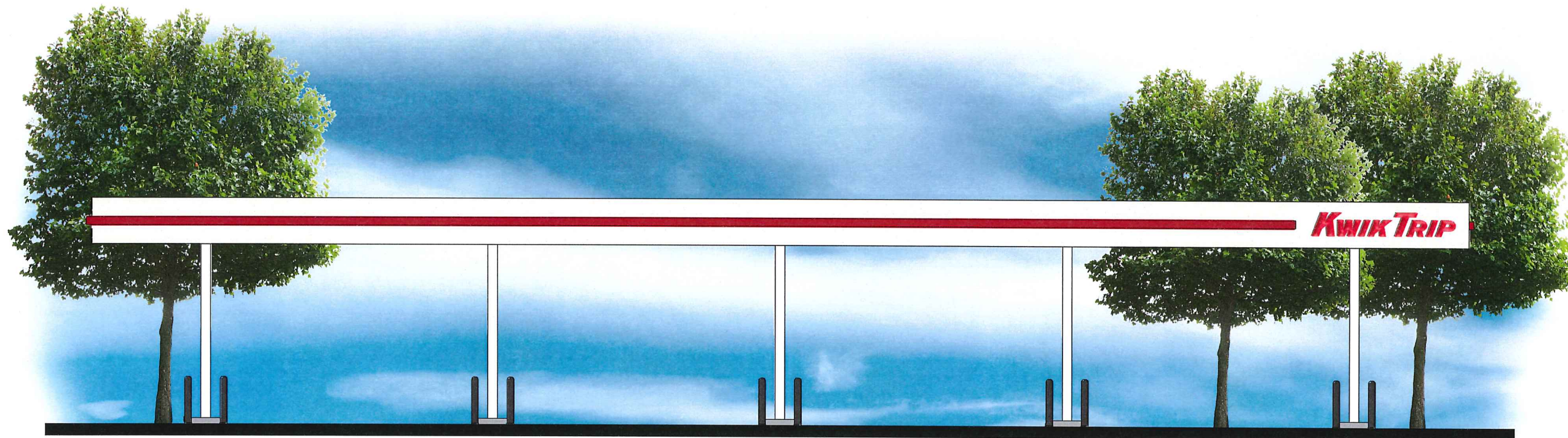
S. SPRECHER ROAD





S. SPRECHER ROAD





1 FRONT ELEVATION



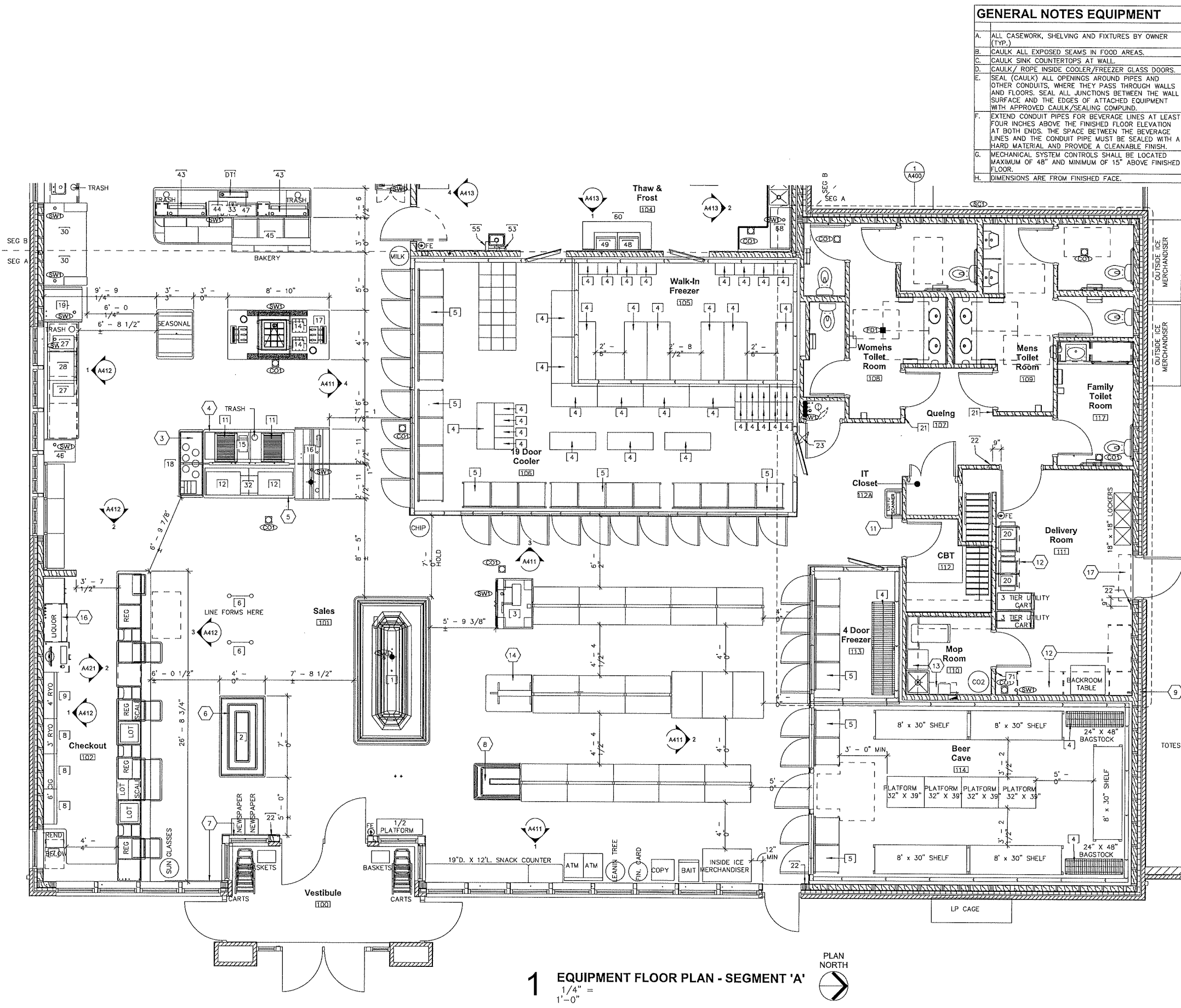
KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

10 MPD



2 SIDE ELEVATION





GENERAL NOTES EQUIPMENT	
A.	ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
B.	CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
C.	CAULK SINK COUNTERTOPS AT WALL.
D.	CAULK / ROPE INSIDE COOLER/FREEZER GLASS DOORS.
E.	SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
F.	EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
G.	MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
H.	DIMENSIONS ARE FROM FINISHED FACE.

#	TYPE
1	FRESH CASE
2	BAKERY DISPLAY
3	REFRIGERATED MEAT CASE
4	NSF APPROVED SHELVES - COOLERS/FREEZERS
5	NSF APPROVED SHELVES - COOLERS/FREEZERS
6	LINE STANCHIONS
7	UTILITY CART
8	3'-0" METAL LIGHTED CIGARETTE MERCHANDISER
9	4'-0" METAL LIGHTED CIGARETTE MERCHANDISER
11	HOT DOGGER / BUN WARMER
12	HOT FOOD DISPLAY
14	FIXIN'S CONDIMENT HOLDER
15	HOT CHEESE DISPENSER
16	PIZZA CASE
17	MULTITERIA CONDIMENT COUNTER
18	SOUP WELL
19	ICE CREAM NOVELTY CASE
20	BAG-IN-A-BOX RACK
21	ADA 6"x6" MEN/WOMEN SIGNAGE WITH BRAILLE SEE SHEET A403 FOR TYP. LOCATION
22	ADA 3"x6" EXIT SIGNAGE WITH BRAILLE SEE SHEET A501 FOR TYP. LOCATION
23	SECURITY MIRROR
27	MALT BLENDER w/ SCREEN
28	UPRIGHT FREEZER
30	FOUNTAIN WALL
32	FOOD WARMER/ MERCHANDISING CABINET
33	HOT WATER DISPENSER
43	COFFEE CONDIMENT DISPLAY
44	CREAMER
45	BAKERY CASE
46	FRAPPE MACHINE
47	MICROWAVE - SNACK
48	MICROWAVE - KITCHEN
49	SCALE/LABEL MACHINE
53	SOAP DISPENSER
55	PAPER TOWEL DISPENSER-KITCHEN
60	6'-0" STAINLESS TABLE
68	42" STAINLESS DRY RACK
71	DT1 30" DRIP TRAY

#	Description
1	CAPPUCCINO AND BAKERY ISLAND. SEE DETAIL
2	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL
3	SOUP CART. SEE DETAIL
4	ROLLING GRILLE MOVABLE CART. SEE DETAIL
5	HOT FOOD DISPLAY MOVABLE CART. SEE DETAIL
6	BAKERY DISPLAY. SEE DETAIL
7	1'-0" H. X 5'-0" L. WOOD CART BUMPER. MOUNT DIRECTLY ABOVE WALL BASE.
8	PRODUCE CART. SEE DETAIL
9	CO2 FILL W/ 3/4" PEX PIPING TO MOP ROOM. RISE UP EXT. WALL AND FOLLOW CEILING.
10	NON-SLIP FLOOR STRIPING.
11	LOTTO SCANNER. SEE DETAIL
12	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS.)
13	32"D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP
14	BREAD CART. SEE DETAIL
15	FOUNTAIN WALL. SEE DETAIL
16	LIQUOR CABINET. SEE DETAIL
17	AIR CURTAIN UNIT ABOVE.
18	HATCH INDICATES ELECTRICAL RACE WAY.
19	END OF ELECTRICAL FACEWAY. PROVIDE SOLID SURFACE END CAP.
20	SOLID SURFACE TOP ONLY.

1 EQUIPMENT FLOOR PLAN - SEGMENT 'A'  
1/4" = 1'-0"



**VANTAGE ARCHITECTS, INC.**

**Kwik Trip**

**Kwik Star**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

PROJECT TITLE:  
**Store - Gen 2 - LH - CW1**

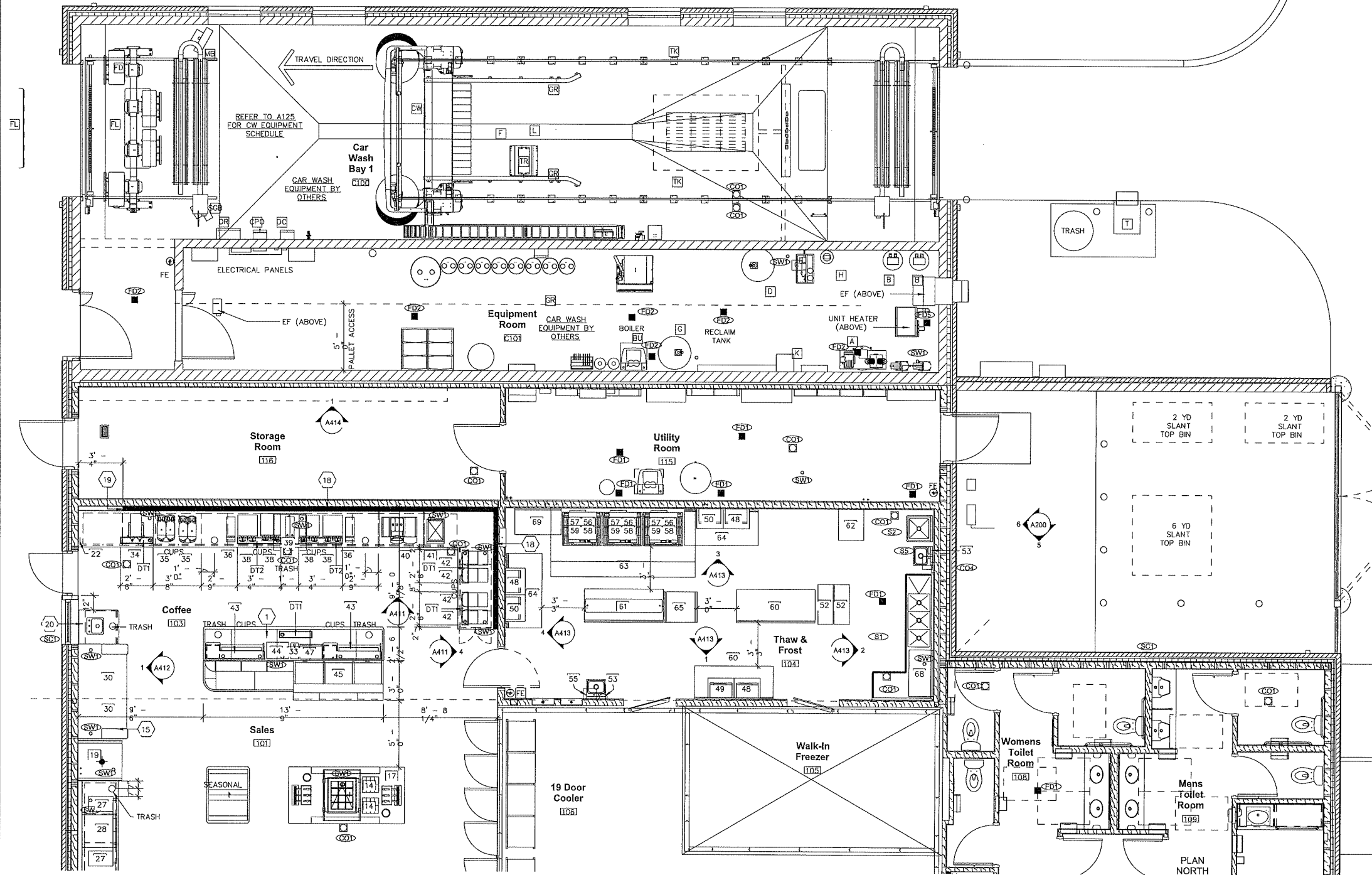
PROJECT LOCATION:

JOB #:  
DATE:  
DRAWN BY:  
TYPE:  
REVISIONS  
NO. DATE

SHEET TITLE  
Equipment Floor Plan - Segment 'A'

SHEET NO.  
**A120A**

La Crosse, WI 54601  
750 N. Third Street  
Ph (608) 784-2729  
Fax (608) 784-2826



FL

1 EQUIPMENT FLOOR PLAN - SEGMENT 'B'  
1/4" = 1'-0"

- GENERAL NOTES EQUIPMENT**
- A. ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
  - B. CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
  - C. CAULK SINK COUNTERTOPS AT WALL.
  - D. CAULK/ ROPE INSIDE COOLER/FREEZER GLASS DOORS.
  - E. SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPLND.
  - F. EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
  - G. MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
  - H. DIMENSIONS ARE FROM FINISHED FACE.

#	TYPE
14	FIXIN'S CONDIMENT HOLDER
17	MULTITERIA CONDIMENT COUNTER
19	ICE CREAM NOVELTY CASE
22	ADA 3"x6" EXIT SIGNAGE WITH BRAILLE SEE SHEET A501 FOR TYP. LOCATION
27	WALT BLENDER w/ SCREEN
28	UPRIGHT FREEZER
30	FOUNTAIN WALL
33	HOT WATER DISPENSER
34	ICE TEA MAKER
35	SMOOTHIE MACHINE
36	SURESHOT FLAVORSHOT 2
38	COFFEE BREWER
39	COFFEE GRINDER
40	FRANKE FOAMMASTER FM800 ESPRESSO MACHINE
41	ICE DISPENSER
42	MIX-3 MACHINE
43	COFFEE CONDIMENT DISPLAY
44	CREAMER
45	BAKERY CASE
47	MICROWAVE - SNACK
48	MICROWAVE - KITCHEN
49	SCALE/LABEL MACHINE
50	MONITOR
52	BIN RACK
53	SOAP DISPENSER
55	PAPER TOWEL DISPENSER-KITCHEN
56	TURBOCHEF i3 OVEN RACK
57	TURBOCHEF OVEN
58	TURBOCHEF i3 OVEN
59	CART (STAINLESS STEEL)
60	6'-0" STAINLESS TABLE
61	6'-0" STAINLESS TABLE w/ CENTER SHELF ABOVE
62	BAKERY RACK WITH COVER
63	CAPTIVE AIRE HOOD
64	REFRIGERATED PREP TABLE
65	UNDERCOUNTER FREEZER
68	42" STAINLESS DRY RACK
69	2'-0" W. X 3'-6" L. STAINLESS TABLE
DT1	30" DRIP TRAY
DT2	48" DRIP TRAY

#	Description
1	CAPPUCCINO AND BAKERY ISLAND. SEE DETAIL
2	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL
3	SOUP CART. SEE DETAIL
4	ROLLING GRILLE MOVABLE CART. SEE DETAIL
5	HOT FOOD DISPLAY MOVABLE CART. SEE DETAIL
6	BAKERY DISPLAY. SEE DETAIL
7	1'-0" H. X 5'-0" L. WOOD CART BUMPER. MOUNT DIRECTLY ABOVE WALL BASE.
8	PRODUCE CART. SEE DETAIL
9	CO2 FILL W/ 3/4" PEX PIPING TO MOP ROOM. RISE UP EXT. WALL AND FOLLOW CEILING.
10	NON-SLIP FLOOR STRIPING.
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12	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS.)
13	32"D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP
14	BREAD CART. SEE DETAIL
15	FOUNTAIN WALL. SEE DETAIL
16	LIQUOR CABINET. SEE DETAIL
17	AIR CURTAIN UNIT ABOVE.
18	HATCH INDICATES ELECTRICAL RACE WAY.
19	END OF ELECTRICAL FACEWAY. PROVIDE SOLID SURFACE END CAP.
20	SOLID SURFACE TOP ONLY.

**VANTAGE**  
ARCHITECTS, INC.

**Kwik**  
**TRIP**

**Kwik**  
**STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH: (608) 781-8888  
FAX: (608) 781-8960

La Crosse, WI 54601  
750 N. Third Street  
Ph (608) 784-2729  
Fax (608) 784-2826

PROJECT TITLE:  
Store - Gen 2 - LH - CW1

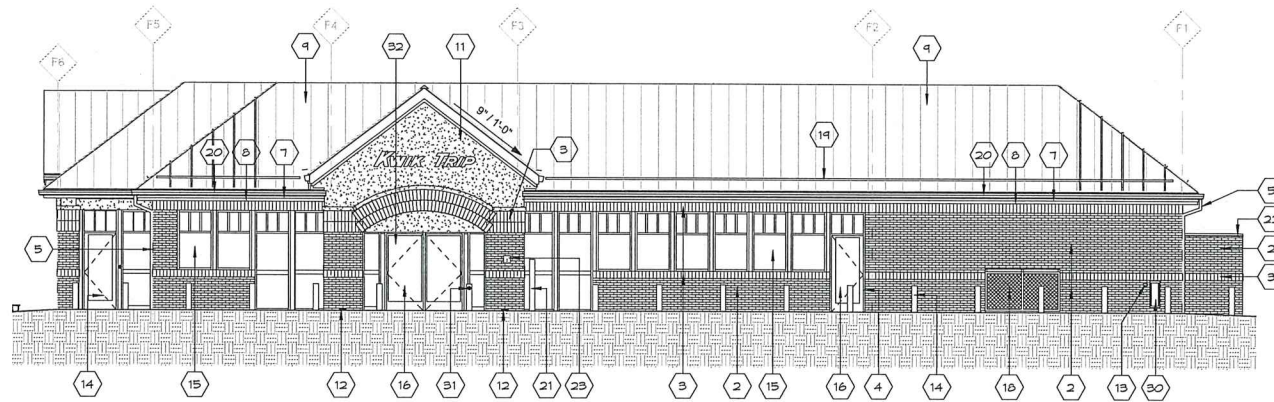
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JOB #:  
DATE:  
DRAWN BY:  
TYPE:  
REVISIONS  
NO. DATE

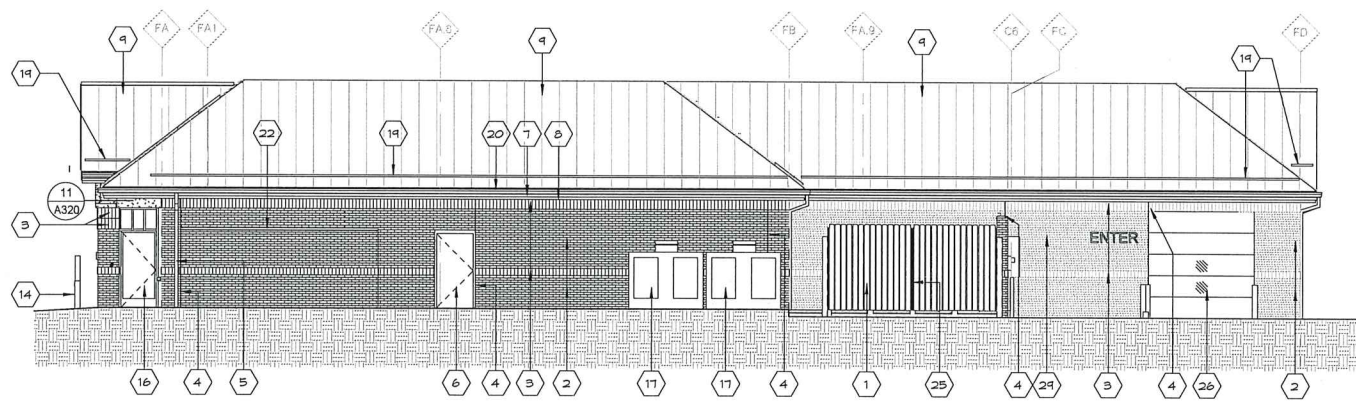
SHEET TITLE  
Equipment Floor Plan -  
Segment B

SHEET NO.  
**A120B**

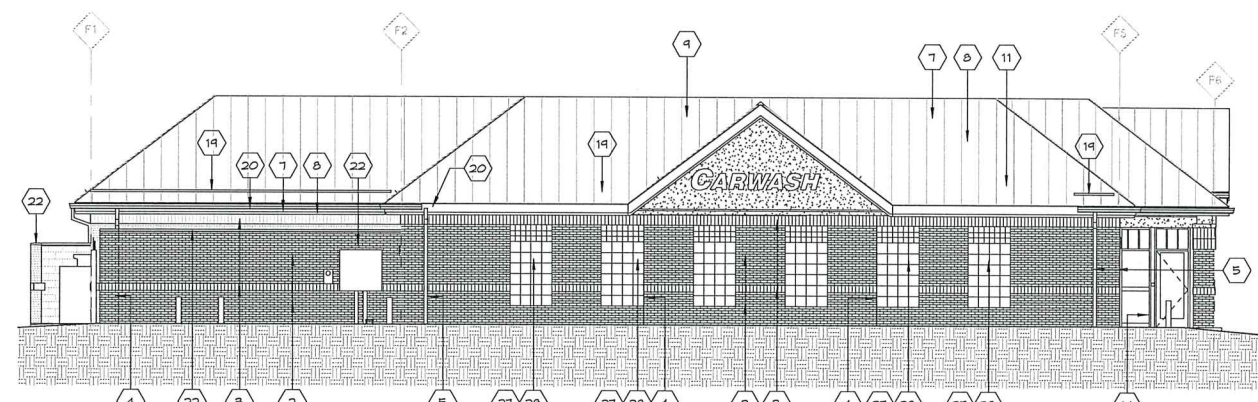




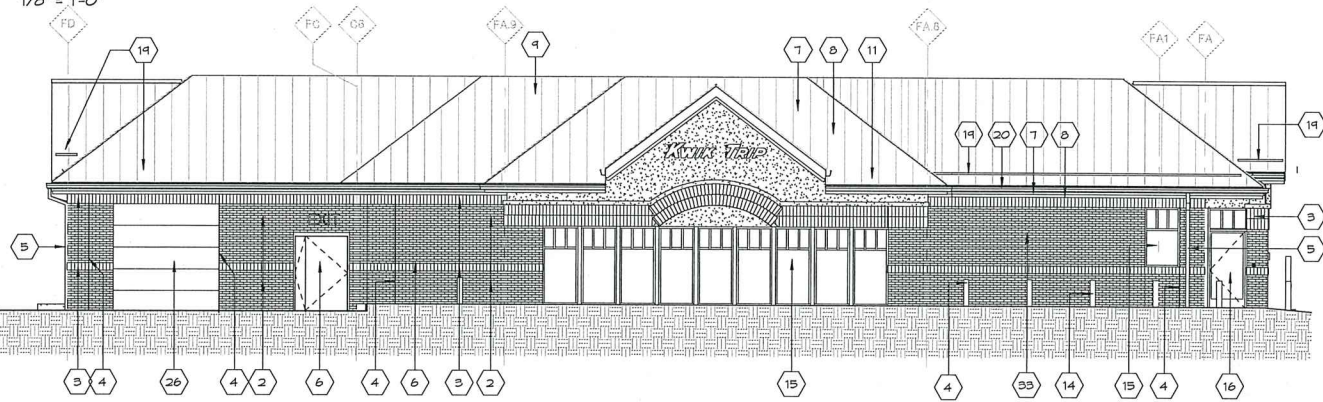
**1 FRONT ELEVATION**  
1/8" = 1'-0"



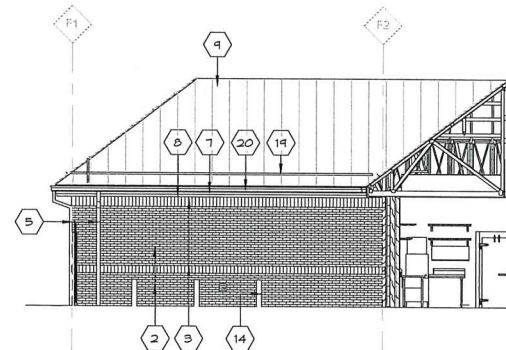
**2 LEFT ELEVATION**  
1/8" = 1'-0"



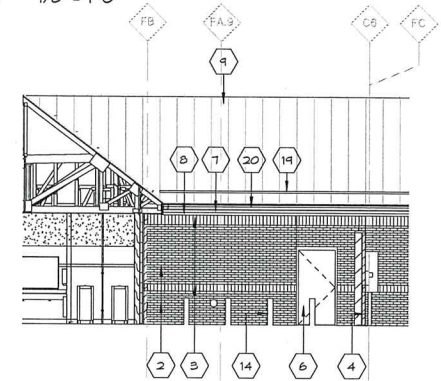
**3 REAR ELEVATION**  
1/8" = 1'-0"



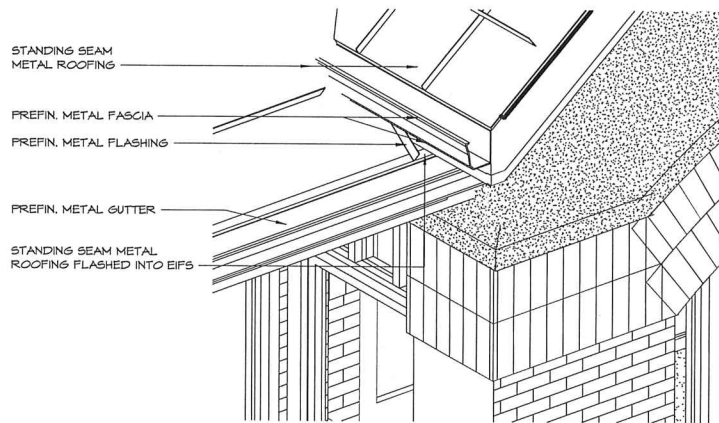
**4 RIGHT ELEVATION**  
1/8" = 1'-0"



**5 REAR INSIDE ENCLOSURE**  
1/8" = 1'-0"



**6 LEFT INSIDE ENCLOSURE**  
1/8" = 1'-0"



**7 VESTIBULE EAVE TO ROOF FLASHING DETAIL**

**EXTERIOR ELEVATION KEYNOTES**

MARK	DESCRIPTION
1	TRASH ENCLOSURE.
2	MODULAR BRICK VENEER (RED).
3	BRICK SOLDIER COURSE (TAN). SEE SECTION FOR SIZE
4	BRICK CONTROL JOINT. SEALANT COLOR TO MATCH BRICK COLOR.
5	ALUMINUM DOWNSPOUT.
6	HOLLOW METAL DOOR & FRAME. PAINT. CAULK COLOR TO MATCH BRICK.
7	ALUMINUM FASCIA - ALMOND.
8	ALUMINUM FASCIA - RED.
9	PREFINISHED STANDING SEAM METAL ROOFING.
10	GT CABINET AND ELECTRICAL METER. RE: ELECT. PLANS.
11	EIFS. COLOR: TAN.
12	CAST ALUMINUM BRICK VENT - HOHMANN & BARNARD #C025, 8" X 2 1/4".
13	EMERGENCY FUEL SHUT OFF. RECESS FLUSH W/ WALL.
14	6" BOLLARD W/ 40" PLASTIC SLEEVE. SEE SHEET A124.
15	ALUMINUM STOREFRONT FRAMING W/ INSULATED GLAZING. CAULK COLOR GRAY DYMONG.
16	ALUMINUM STOREFRONT ENTRANCE. CAULK COLOR GRAY DYMONG.
17	ICE MERCHANDISER
18	LP CAGE
19	SNOW RETENTION BAR
20	PREFINISHED METAL GUTTER
21	BLUE HDGP. BOLLARD. REFER TO SITE PLANS.
22	PREFINISHED METAL WALL CAP.
23	KNOX BOX LOCATION WHEN NEEDED. OWNER PROVIDED.
24	SPLASH BLOCK
25	PROVIDE LOCK BOLT FOR EACH LEAF
26	INSULATED POLYCARBONATE DOOR
27	12 X 12 GLASS BLOCK
28	6 X 6 GLASS BLOCK
29	SUPPLY FAN. SEE HVAC PLANS.
30	FIRE EXTINGUISHER CABINET
31	HANDICAP PUSH PLATE. SEE ELECTRICAL SHEETS FOR MOUNTING HEIGHTS.
32	STREET ADDRESS NUMBERS TO BE LOCATED ON ENTRANCE DOOR. VERIFY WITH OWNER BEFORE APPLYING.
33	BRICK SOLDIER COURSE FIELD COLOR - (RED).

**EXTERIOR COLOR SCHEDULE**

MATERIAL	MANUFACTURER	COLOR
BOLLARDS	-	BLACK, GLOSS
FASCIA	UNA-CLAD 24 GA.	REGAL RED ALMOND
GUTTERS & DOWNSPOUTS	-	ALMOND
SOFFIT	UNA-CLAD	WHITE
METAL ROOF	UNA-CLAD	HEMLOCK GREEN
MORTAR	-	GREY
SEALANT		
RED BRICK	TREMCO DYMONIC	REDWOOD TAN
TAN BRICK	TREMCO DYMONIC	LIMESTONE
ROOF CAP CAR WASH	UNA-CLAD	HEMLOCK GREEN
TAN BRICK	LEGENDARY	CLEAR BUFF
RED BRICK	LEGENDARY	CABERNET BURGUNDY
EIFS	TOTAL WALL	MORNING MIST SWIRL TEXTURE
TRASH ENCLOSURE CAP	UNA-CLAD	HEMLOCK GREEN

**Exterior Door Color Code**

BAC Blend-a-Color	02	32	64	120
W1 White	-	12	1	-
B1 Black	-	24	1	-
R2 Maroon	-	19	-	-
R3 Magenta	-	26	1	1

**EXTERIOR ELEVATION NOTES**

- A. SEE FLOOR PLAN FOR WINDOW TYPE KEYS.
- B. CONTROL JOINT SEALANT TO MATCH VENEER COLOR.
- C. ALL DOWNSPOUTS TO CONNECT 1/4" BELOW GRADE DRAIN.

**VANTAGE ARCHITECTS, INC.**  
La Crosse, WI 54601  
750 N. Third Street  
Ph (608) 784-2729

**Kwik Trip**  
**Kwik Star**

Kwik Trip, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

PROJECT TITLE:  
2020 Gen2 LH CW-T  
Kwik Trip Inc.  
PROJECT LOCATION:  
Wisconsin

JOB #:	1081.401
DATE:	---
DRAWN BY:	ams
TYPE:	Prototype
REVISIONS	
NO.	DATE

SHEET TITLE  
Exterior Elevations

SHEET NO.  
**A200**





**PROPOSED SIGNS:**

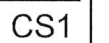
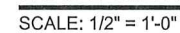
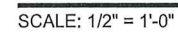
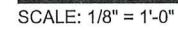
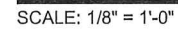
- #01 24" LED KWIK TRIP BUILDING LETTERS
- #02 CARWASH BUILDING DIRECTIONAL SIGN
- #03 24" LED KWIK TRIP BUILDING LETTERS
- #04 18 "LED KWIK TRIP & 18" CARWASH LETTERS
- #05 CARWASH ENTER
- #06 CARWASH EXIT
- #07 CARWASH INFORMATIONAL SIGN
- #08 24" LED KWIK TRIP CANOPY LETTERS
- #09 24" LED KWIK TRIP CANOPY LETTERS
- #10 24" LED KWIK TRIP CANOPY LETTERS
- #11 DRIVEWAY DIRECTIONAL
- #12 FREESTANDING MONUMENT SIGN
- #13 FREESTANDING MONUMENT SIGN

COTTAGE GROVE & SPRECHER RD  
MADISON, WI

[illegible]

**SITE PLAN**  
1" = 50'-0"

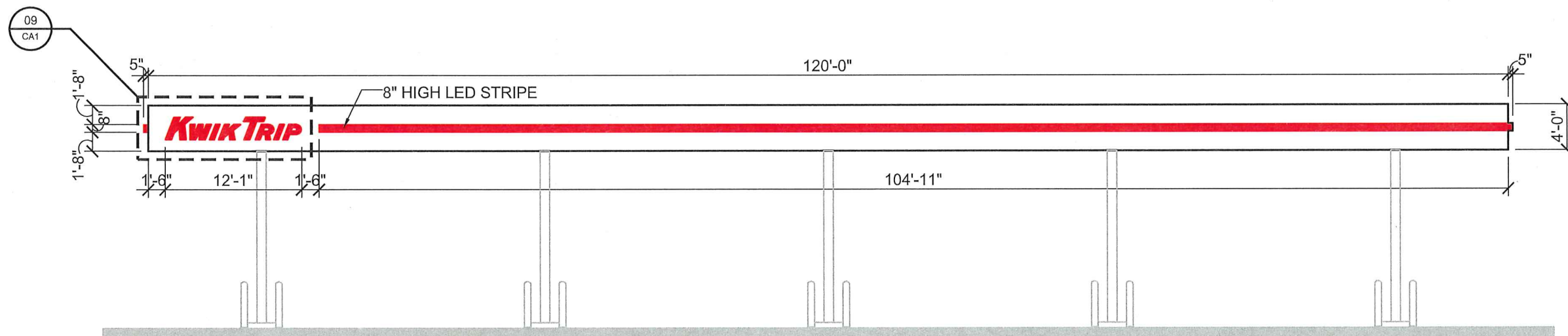






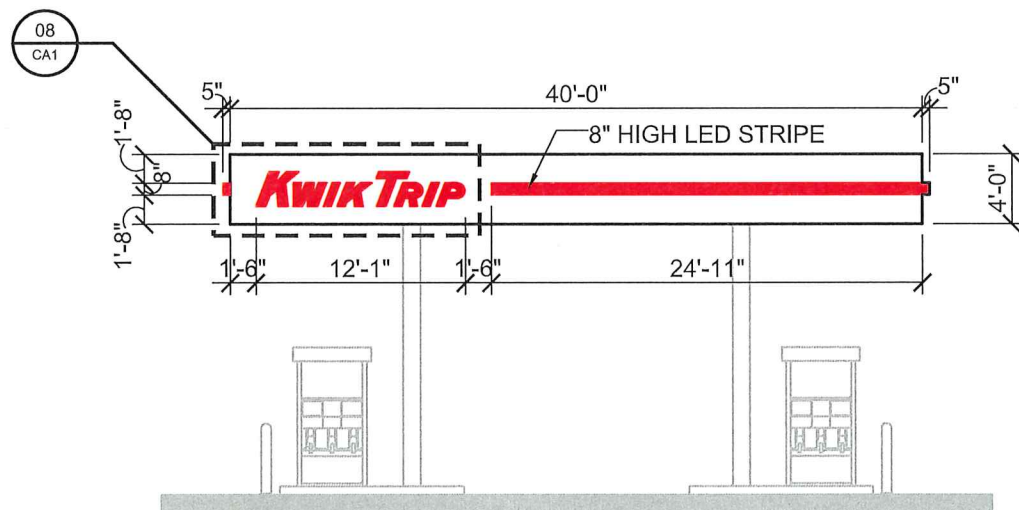






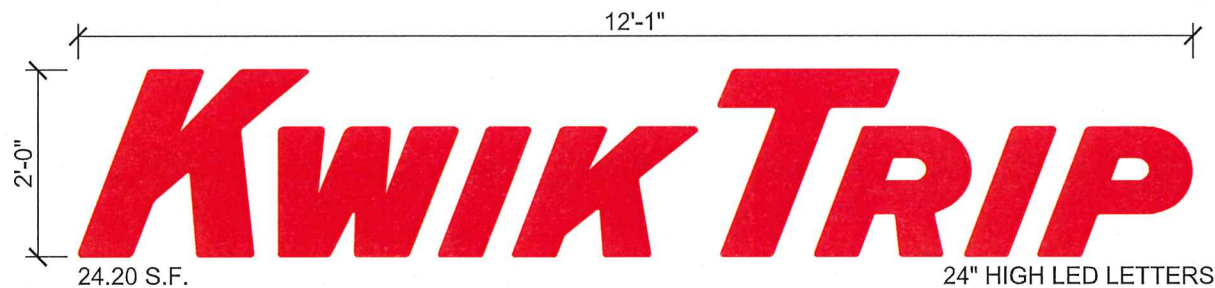
CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGNS #08 & #09

SCALE: 1/2" = 1'-0"

**Kwik  
Trip**

**Kwik  
Star**

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PH. (608) 781-8988  
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CANOPY SIGNAGE  
CONVENIENCE STORE #155  
WITH 1 BAY CW  
COTTAGE GROVE & SPRECHER RD  
MADISON, WI

#	DATE	DESCRIPTION

DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-07-29
SHEET	CA1





5"

XXXX

5" WHITE VINYL ADDRESS LETTERS  
ON GLASS DOOR AS SHOWN ABOVE  
(VERIFY ACTUAL NUMBERS WITH PROJECT MANAGER)

ADDRESS SIGN #A

SCALE: 3/4" = 1'-0"

ACCESS TO  
CARWASH

NON-LIT DIRECTIONAL SIGN  
WHITE VINYL ON RED ALUMINUM  
1'-0"H X 4'-0"W = 4.0 SQ FT

DIRECTIONAL SIGN #02

SCALE: 3/4" = 1'-0"

1'-0"

6"

MECHANICAL  
ROOM

B

1'-0"

6"

ELECTRICAL  
ROOM

C

1'-0"

6"

CARWASH  
MECHANICAL ROOM

D

BUILDING SIGN D

SCALE: 1 1/2" = 1'-0"

DOUBLE SIDED DIRECTIONAL SIGN

NORTHWEST SIDE

NORTHEAST SIDE

ACCESS  
TO CARWASH  
→

ACCESS  
TO CARWASH  
←

NON-LIT DIRECTIONAL SIGN  
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM  
1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #11

SCALE: 3/4" = 1'-0"

GENERAL SPECIFICATIONS

A ROOM SIGNS

Qty: 3 total (different copy on each)

Size: per art

Material: white sign blank

Finish: cut vinyl

Install along with various signs for  
same site, crew to give to KT trim guys  
to install.



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P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

DIRECTIONAL SIGNAGE		CONVENIENCE STORE #155 WITH 1 BAY CW		COTTAGE GROVE & SPRECHER RD MADISON, WI
#	DATE	DESCRIPTION		
DRAWN BY		KMK		
SCALE		MULTIPLE		
PROJ. NO.		0001		
DATE		2019-07-29		
SHEET		DS1		





#12 KWIK TRIP FREESTANDING MONUMENT SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO

#13 KWIK TRIP FREESTANDING MONUMENT SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO



KWIK TRIP, Inc.  
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LA CROSSE, WI 54602-2107  
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DIRECTIONAL SIGNAGE

CONVENIENCE STORE #155  
WITH 1 BAY CW

COTTAGE GROVE & SPRECHER RD  
MADISON, WI

#	DATE	DESCRIPTION

DRAWN BY

SCALE

PROJ. NO.

DATE

SHEET

KMK

MULTIPLE

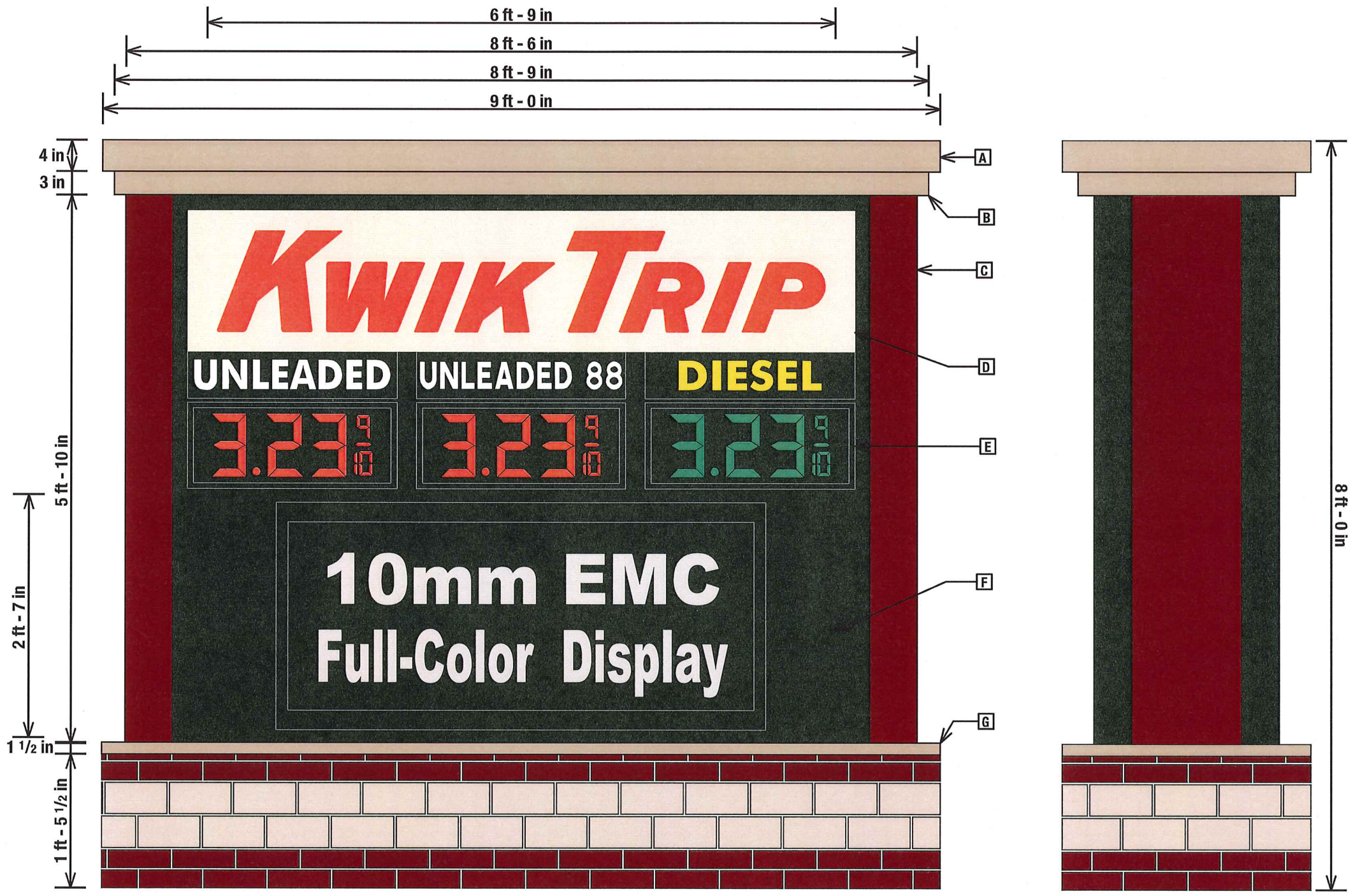
0001

2019-07-29

DS2



155 Madison, WI



**DESCRIPTION:**  
Manufacture and install (1) double faced, internally illuminated monument sign. Sign cabinet to be constructed out of 1 1/2" X 1 1/2" aluminum angle with aluminum cladding. Sign faces to be routed aluminum, backed by 2283 Red Acrylic. Sign to be internally illuminated with Principal LEDs and power packs.

- SPECIFICATIONS:**
- A: Decorative Cap: 4" X 4" Aluminum C-Channel with aluminum cladding
  - B: Decorative Cap: 3" x 3" Aluminum C-Channel with aluminum cladding main ID sign cabinet.
  - C: Main ID Sign Cabinet: Manufacture out of 1 1/2" X 1 1/2" Aluminum angle with .080 aluminum cladding
  - D: Main ID Sign Face: Routed Aluminum, backed by 2283 Red Acrylic
  - E: 8" Daktronics Fuelight 3000 Drop-In Price Digits
  - F: Watchfire 2 X 5 10mm Full Color Electronic Message Center. 60 X 150 Matrix
  - G: Cap for Brickwork

- COLOR SCHEDULE:**
- Painted to Match 3M 3630-149 Light Beige
  - Painted PPG NA 208400
  - Painted PPG NA 209420
  - Painted Black
  - 2283 Red Acrylic
  - 3M 230-167 Blue Translucent
  - 3M 230-015 Yellow Translucent

PROPOSED D/F MONUMENT SIGN: 3/4" = 1'

**Colortech**  
SIGNS AND GRAPHICS

It's What We Do

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Green Bay, WI 54304 | 800-236-1321

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DESIGN #: 10011

Pg.: 2

CLIENT: Kwik Trip 1029

ADDRESS:

DATE: March 6th, 2019

SCALE: 3/4" = 1'

A.C.: Scott Timm

DESIGNER: TK

REVISED BY:

DATE:

DESIGN STAGE:

☒ CONCEPTUAL ☐ FINAL JOB #:

ITEMS NEEDED PRIOR TO FABRICATION

- ☐ FIELD SURVEY/MEASUREMENTS REQUIRED
- ☐ COMPUTER FILE OF LOGO REQUIRED
- ☐ COLORS TO BE DETERMINED

APPROVALS:

WITH APPROVAL OF THIS DESIGN I HEREBY GIVE COLORTECH SIGN & GRAPHICS, INC. PERMISSION TO BEGIN PRODUCTION ON THE SIGNAGE ILLUSTRATED.

I AGREE THAT ALL SPECIFICATIONS, SPELLING, COLORS AND ELEVATIONS LISTED ARE CORRECT AND APPROVED. ANY CHANGES MADE AFTER PRODUCTION HAS STARTED WILL RESULT IN ADDITIONAL CHARGES.

CLIENT SIGNATURE:

DATE:

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