

CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / A	South Sprecher Ro	
Name of Project	Jeff Osgood	
Owner / Contact _		
Contact Phone	608-793-5547	Contact Email josgood@kwiktrip.com
** La		ts greater than ten thousand (10,000) square feet in size d by a registered landscape architect. **
Applicability		
buildings, structures their accessory struc	and parking lots, except the tures. The entire development	struction and development activity, including the expansion of existing construction of detached single-family and two-family dwellings and to site must be brought up to compliance with this section unless all of the affected areas need to be brought up to compliance:
(a) The area year per		an ten percent (10%) of the entire development site during any ten-(10)
· -		en percent (10%) during any ten-(10) year period.
	lition of a principal building	
(d) Any disp	laced landscaping elements n	nust be replaced on the site and shown on a revised landscaping plan.
andscape points dep	ending on the size of the lot a	(b) and (c) below, five (5) landscape points shall be provided for each
Tota	al square footage of developed	area 41,970 SF
Tota	l landscape points required _	700 Points
		points shall be provided at five (5) points per three hundred (300) square res, and one (1) point per one hundred (100) square feet for all additional
Tota	l square footage of developed	area
Five	(5) acres = $217,800$ square fe	<u>et</u>
First	five (5) developed acres = 3 .	630 points
Rem	ainder of developed area	
Tota	l landscape points required _	· · · · · · · · · · · · · · · · · · ·
	Industrial – Limited (IL) an nundred (100) square feet of d	nd Industrial – General (IG) districts, one (1) point shall be provided eveloped area.
Tota	l square footage of developed	area
Tota	l landscape points required	

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

DI 4TD 4TD	Minimum Size at	D	Credits/ Existing Landscaping		New/ Proposed Landscaping	
Plant Type/ Element Installation P		Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			13	455
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			5	75
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10			17	170
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			49	147
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			64	256
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			215	430
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			254	101
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"			2	10
Sub Totals					TW. E. W.	1644

Tata	l Nun	aher o	f Paints	Provided	
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^{*} As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan Proposed Emeralo Building Maple ntilla Potentilla **ዕዕዕ**ዕ Marshall S edless Ash Emerald Queen Maple Plant Name Pnts. Qty Emerald Queen Maple 2-2.5 9 4 Marshall Seedless Ash 2-2.5 450 Clavey's Dwarf Honelysuckie 1 Gal Call City Zoning, 266-4551, with your questions about this type of plan 7 10 Princess Spirea 1 Gal 21 Potentilla 1 Gal 30 Taxus Cuspidata 2 Gal 12 60 TOTAL 585

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 - 3. Storage areas including trash and loading.
 - 4. Lighting (landscape, pedestrian or parking area).
 - 5. Irrigation.
 - 6. Hard surface materials.
 - 7. Labeling of mulching, edging and curbing.
 - 8. Areas of seeding or sodding.
 - 9. Areas to remain undisturbed and limits of land disturbance.
 - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 - 11. Existing trees eight (8) inches or more in diameter.
 - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) <u>Refuse Disposal Areas.</u> All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) <u>Outdoor Storage Areas</u>. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) <u>Loading Areas</u>. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: Kwik Trip Store #155, South Sprecher Road				
Contact Name & Phone #	Scott Anderson, Snyder & Associates, 608-838-0444 x238			

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	Yes Yes Yes	No No No	☐ N/A ☐ N/A ☐ N/A
 2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.) 	Yes	 No 	□ N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:a) Is the gate a minimum of 20-feet clear opening?b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐ Yes ☐ Yes ☐ Yes	No No No	☐ N/A ☐ N/A ☐ N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	Yes Yes	No No	□ N/A □ N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	Yes	No	□ N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions:	Yes	No	□ N/A
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	☐ Yes	☐ No	□ N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	☐ Yes	☐ No☐ No	□ N/A□ N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	☐ Yes ☐ Yes	☐ No ☐ No	□ N/A□ N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.	Yes	☐ No	□ N/A
 a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the 	Yes Yes	☐ No ☐ No	□ N/A □ N/A
			3 T / A
street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	Yes Yes	☐ No ☐ No	□ N/A N/A

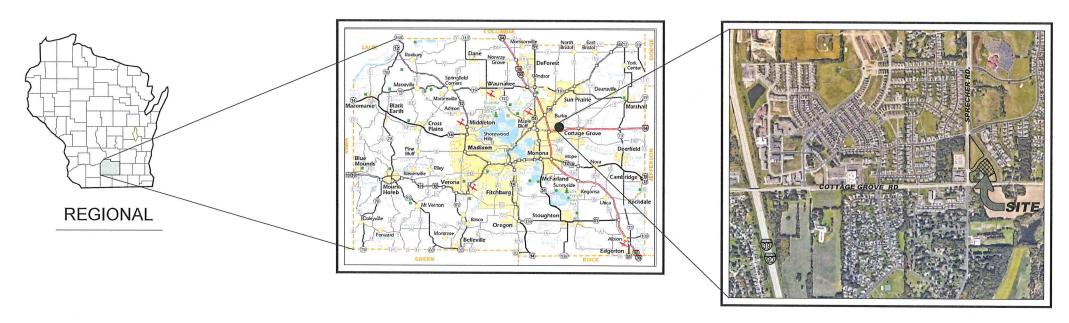
Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 12/5/2014

KWIK TRIP CONVENIENCE STORE # 155

SECTION 21, TOWNSHIP 4N, RANGE 18E



011555	0.11==========
SHEET#	SHEET TITLE
T 1.0	TITLE SHEET
DM 1.0	EXISTING SITE & DEMOLITION PLAN
SP 1.0	SITE TURNING MOVEMENT
SP 1.1	SITE PLAN - LAYOUT
SP 1.2	SITE PLAN - KEYNOTE
SP 2.0	GRADING & EROSION CONTROL
SP 2.1	GRADING PLAN - SPOT DETAIL
SP 2.2	ACCESSIBLE PLAN
SP 3.0	STORM SEWER PLAN
SP 3.1	UTILITY PLAN
SP 4.0	MISC. DETAILS
SP 4.1	MISC. DETAILS
SWP 1.0	EROSION CONTROL PLAN
SWP 1.1	EROSION CONTROL NOTES
SWP 1.2	EROSION CONTROL DETAILS
SWP 1.3	EROSION CONTROL DETAILS
L 1.0	LANDSCAPING NOTES
L 1.1	LANDSCAPING PLAN
L 1.2	LANDSCAPING DETAILS
E 1.0	LIGHTING PLAN
7	



SITE LOCATION MAP

CITY OF MADISON. DANE COUNTY, WISCONSIN

BENCHMARKS:

BENCHMARK #1

TOP NUT OF HYDRANT NEAR THE NORTH EAST CORNER OF EXISTING COTTAGE GROVE ROAD AND FUTURE SPRECHER ROAD. ELEV. = 941.47

BENCHMARK #2

TOP NUT OF HYDRANT NEAR THE NORTH EAST CORNER OF EXISTING COTTAGE GROVE ROAD AND EXISTING SPRECHER ROAD. ELEV. = 964.03

CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS, THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE, VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. FOR EXACT LOCATION CONTACT DIGGERS HOTLINE 1-800-242-8511



CALL DIGGERS HOTLINE 1-800-242-8511 **TOLL FREE**

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

KWIK TRIP



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



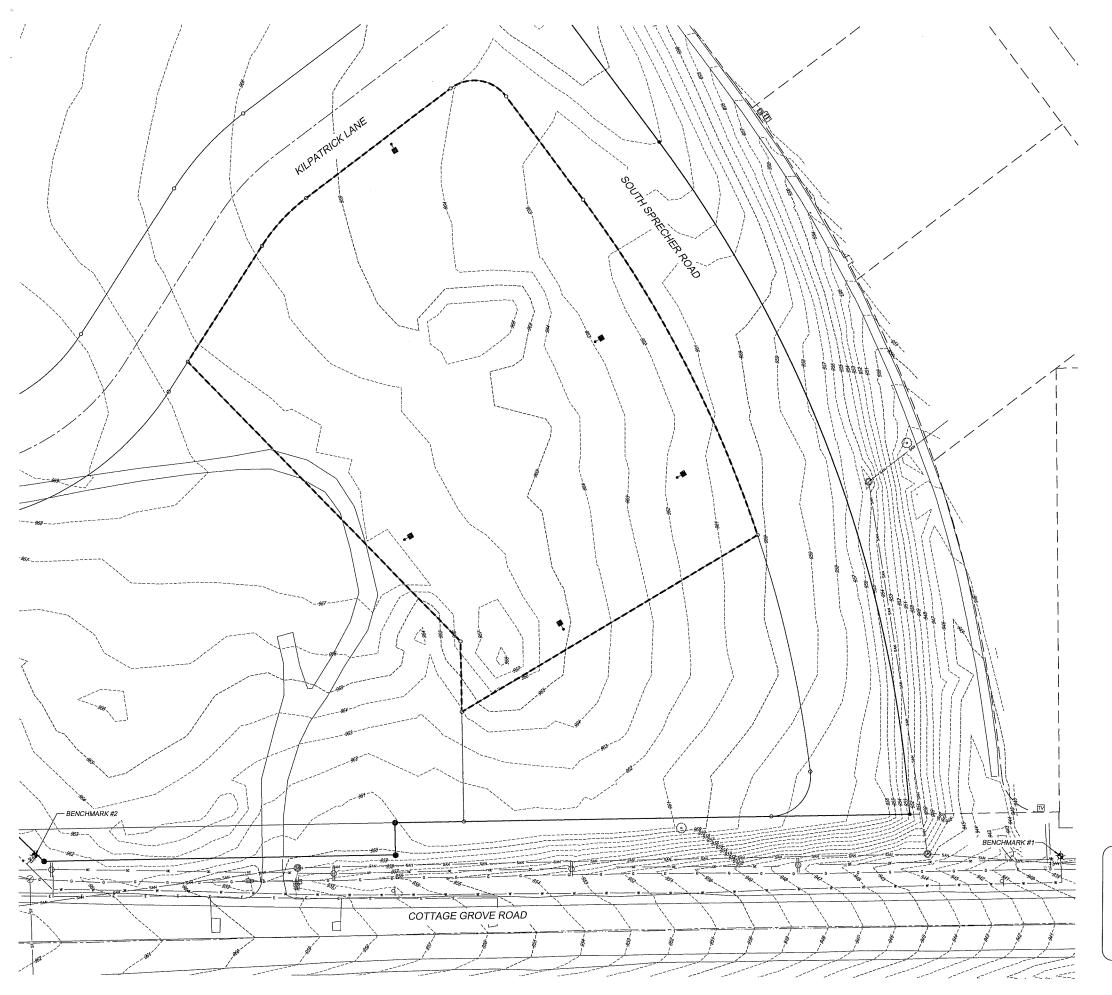
#155 STORE ;

OUTH SPRECHER ROAD MADISON, WISCONSIN CONVENIENCE

—	O	ω≥
# DATE	DESCRI	PTION
		-
DRAWN BY	S. ANDE	RSON / M. WAHL
SCALE		NOTED

ITLE SHEET

118.0198.30 JULY 24, 2019 T 1.0



PLAN NOTES:

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING

CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING

EXISTING SITE CONDITIONS BASED ON TOPOGRAPHIC SURVEY BY: SNYDER & ASSOCIATES DATED JANUARY 7, 2019

CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER CITY, COUNTY AND STATE SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED, SEE SHEET SWP1- SWP4 FOR MORE INFORMATION

CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.

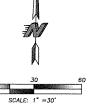
ALL DAMAGED ASPHALT ON STREETS SHALL BE PATCHED TO THE CENTERLINE OF THE ROAD WITH A MINIMUM 10' WIDTH.



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#155 ENIENCE STORE PLAN NG SITE



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE 1-800-242-8511

TOLL FREE WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

PLOTTING NOTE: PLA SHEET SIZE ARE !

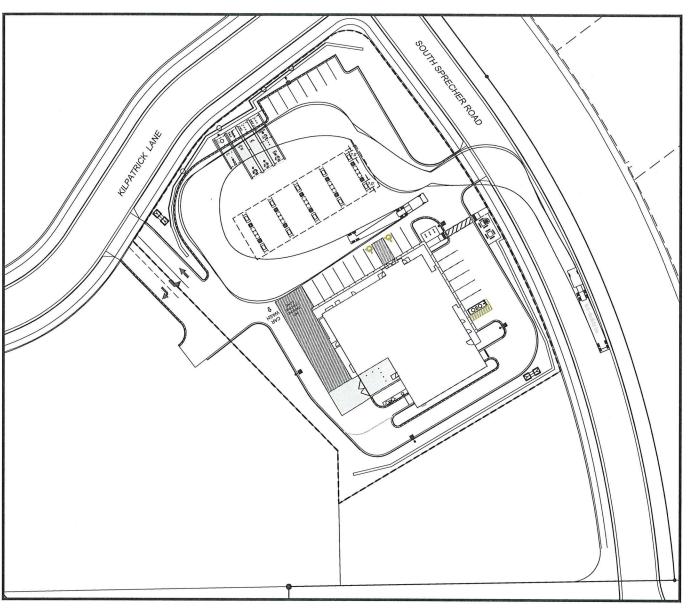
	EXISTING SITE PLAN	CONVENIENCE STC	SOUTH SPRECHER ROAD MADISON, WISCONSIN
	# DATE	DESCRI	PTION
1" =30' 60			-
ANS PLOTTED TO 11X17			
½ SCALE - 1"=60"	DRAWN BY	S, ANDER	RSON / M. WAHL
	SCALE		NOTED
	PROJ. NO.		118,0198,30

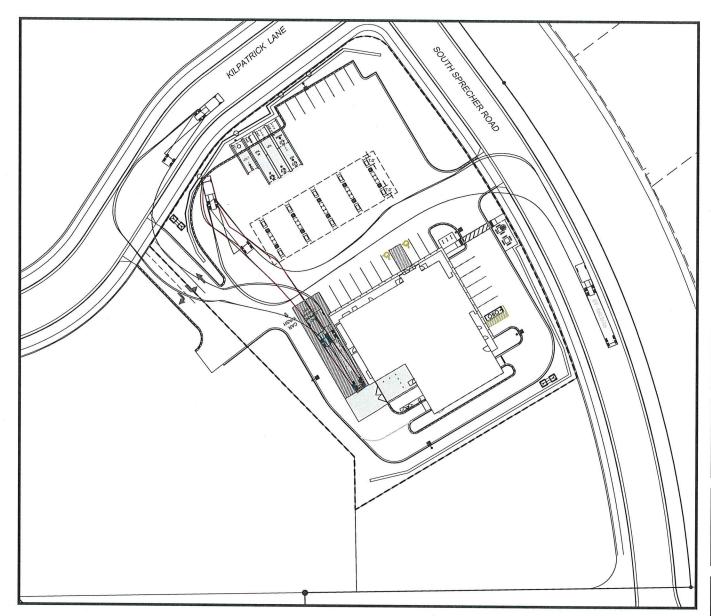
DATE

SHEET

JULY 24, 2019

DM 1.0









KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



TE TURNING MOVEMENT

CONVENIENCE STORE #155
COUTH SPRECHER ROAD
AADISON, WISCONSIN

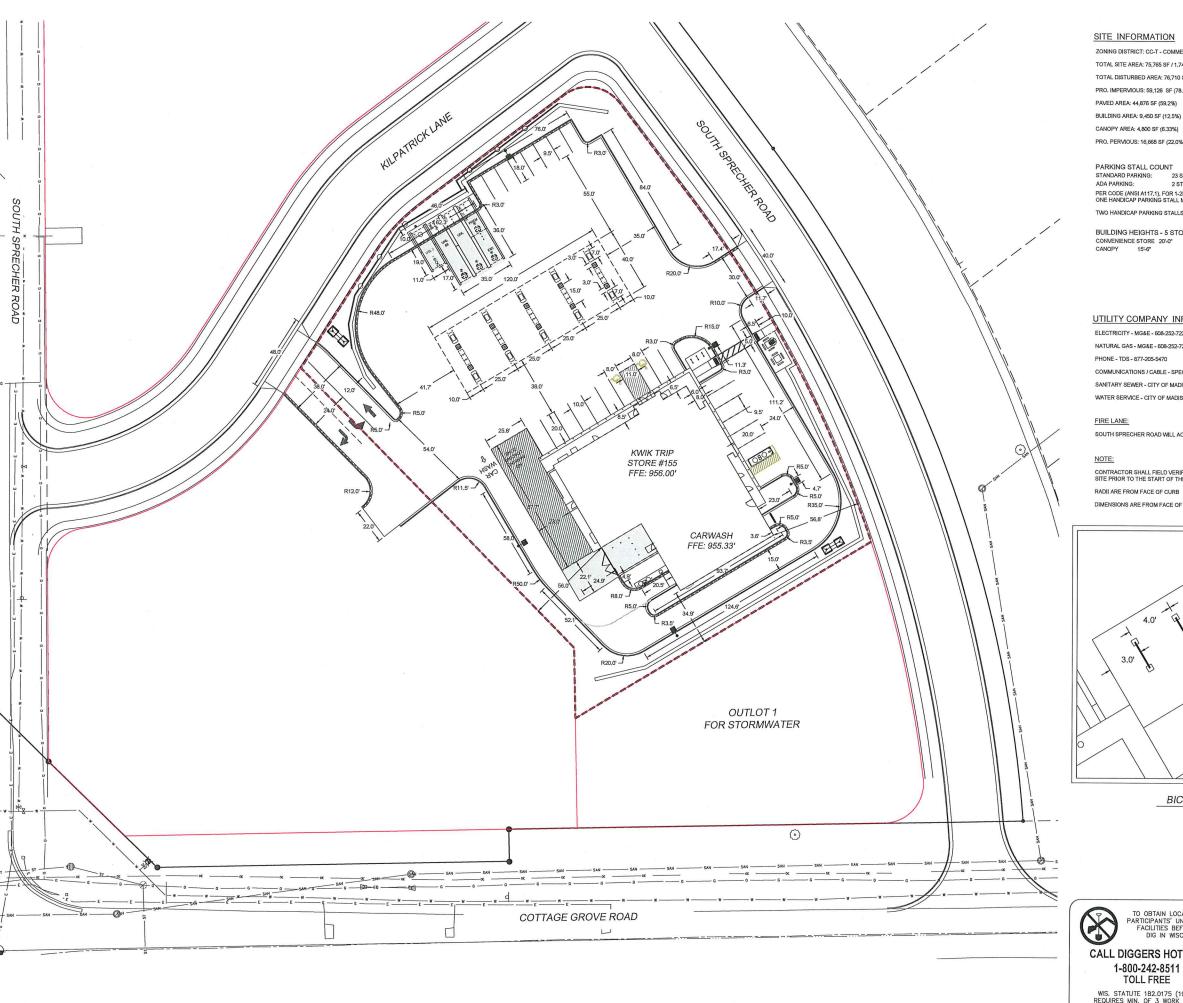
S	S S S S S S
# DATE	DESCRIPTION
	-
DRAWN BY	S. ANDERSON / M. WAHL
SCALE	NOTED
PROJ. NO.	118,0198,30

SP 1.0

SHEET

TRUCK ROUTE FOR FUEL

SCALE: 1" = 40'



SITE INFORMATION

ZONING DISTRICT: CC-T - COMMERCIAL CORRIDOR - TRANSITIONAL DISTRICT

TOTAL SITE AREA: 75,765 SF / 1.74 ACRES

TOTAL DISTURBED AREA: 76.710 SE / 1.76 ACRES

PRO. IMPERVIOUS: 59,126 SF (78.0%) (LOT COVERAGE)

PAVED AREA: 44,876 SF (59.2%)

PRO. PERVIOUS: 16,668 SF (22,0%) (LOT COVERAGE)

PARKING STALL COUNT
STANDARD PARKING: 23 STALLS
TO PARKING: 2 STALLS WITH LOADING ZONE

PER CODE (ANSI A117.1), FOR 1-25 PARKING STALLS, ONE HANDICAP PARKING STALL MUST BE PROVIDED.

TWO HANDICAP PARKING STALLS ARE SHOWN ON THE PLANS.

BUILDING HEIGHTS - 5 STORIES / 68' MAXIMUM

CONVENIENCE STORE 20'-0"
CANOPY 15'-6"

UTILITY COMPANY INFORMATION

ELECTRICITY - MG&E - 608-252-7222

NATURAL GAS - MG&E - 608-252-7222

PHONE - TDS - 877-205-5470

COMMUNICATIONS / CABLE - SPECTRUM - 608-360-9544

SANITARY SEWER - CITY OF MADISON - 608-266-4651

WATER SERVICE - CITY OF MADISON - 608-266-4651

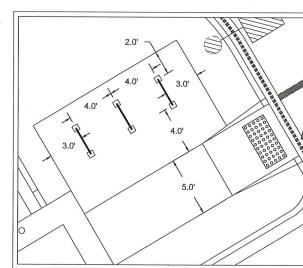
FIRE LANE:

SOUTH SPRECHER ROAD WILL ACT AS THE FIRE LANE ACCESS TO THE BUILDING.

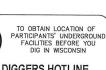
CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.

RADII ARE FROM FACE OF CURB

DIMENSIONS ARE FROM FACE OF CURB

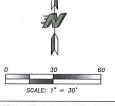


BICYCLE PARKING DETAIL SCALE: 1" = 4"



CALL DIGGERS HOTLINE 1-800-242-8511 **TOLL FREE**

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE 1/2 SCALE - 1"=60'

KWIK TRIP

KWIK Star

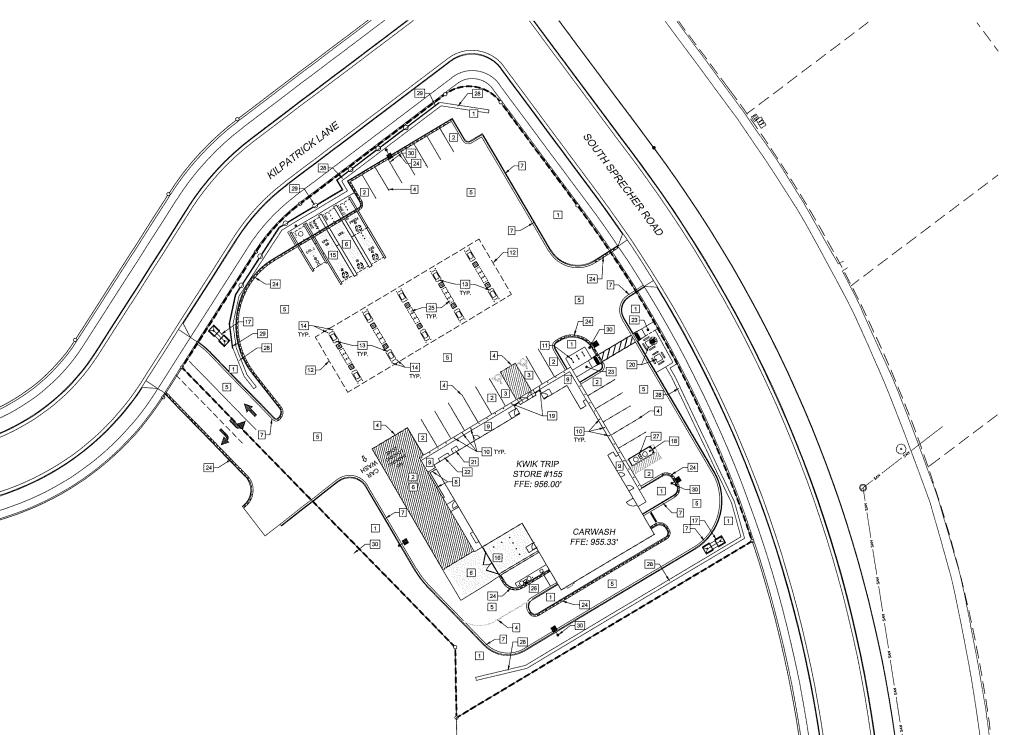
KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



#155 VENIENCE STORE - LAYOUT TH SPRECHER ROAD SON, WISCONSIN

SITE PLAN	CONVENIE	SOUTH SPREC MADISON, WIS
DATE	DESCRI	PTION
	-	
RAWN BY	S. ANDEI	RSON / M. WAHL
SCALE		NOTED
ROJ. NO.		118.0198.30

JULY 24, 2019 SHEET SP 1.1



SITE PLAN KEYNOTES

- 1. LANDSCAPE AREA, SEE SHEET L1. ALL GREEN SPACE THAT DOES DONT RECEIVE EROSION MAT SHALL HAVE SOD APPLIED. [???? SQ.FT.]
- 2. OFF-STREET PARKING STALLS STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY YELLOW PAINT. SPACES PROVIDED:
 (6) 10"-0"x 20"-0" GENERAL PARKING (9) 9'-6"X 20'-0" GENERAL PARKING (8) 9'-6"X 18'-0" GENERAL PARKING (2) 8'-0"x 20'-0" ACCESSIBLE PARKING WITH

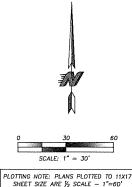
(1) 11'-0"x 20'-0" LOADING ZONE (1) 23'-0"x 79'-6" LOADING ZONE

- 3. A.D.A. ACCESSIBLE PARKING SPACE WITH LOADING ZONE. PROVIDE APPROPRIATE STRIPING AND PAVEMENT MARKINGS.
- 4. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. PAINT SHALL BE SHERWIN WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT
- 5. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR 3' O.C. CONCRETE SEALER: TK-26UV 7777 SQ.FT.
- 6. 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #4 REBAR 3' O.C. CONCRETE SEALER: TK-26UV-[4,264 SQ.FT.
- 7. CONCRETE CURB AND GUTTER PER DETAIL 7 ON SHEET SP4.0.
- 8. BRICK SCREENING WALLS, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9. 6" INTEGRAL CONCRETE CURB/ WALK, SEE DETAILS, CONCRETE SEALER: TK-26UV 1,600 SQ.FT.
- 10. 30" HT., 6" DIA. CONCRETE FILLED PIPE BOLLARD SEE DETAIL ON SHEET SP4.0.
- 11. BIKE RACK WITH 5' CLEARANCE. BIKE RACK WILL BE SARIS INVERTED-U FLANGE MOUNT MODEL IN COLOR
- 40"-0"x 120"-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER OWNER.
- 13. 3'-6"x 7'-0" CONCRETE ISLANDS W/ 6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER OWNER.
- 14. 36" HT BOLLARD, SEE DETAIL ON SHEET SP4.0
- 15. UNDERGROUND FUEL STORAGE TANKS PER OWNER. PROVIDE PIPING AND VENTING PER OWNER'S
- 16. EXTERNAL TRASH ENCLOSURE TO MATCH BUILDING, SEE ARCHITECTURAL DETAILS,
- 17. KWIK TRIP TRADEMARK SIGN (VERIFY LOCATION WITH SIGN PERMIT)
- 18. 'FREE AIR' COMPRESSOR. PROVIDE SIGNAGE PER OWNER.
- 19. HC PVC BOLLARD SLEEVE PER OWNER. VAN ACCESS SIGNAGE AT 48" HT. STALL PARKING AT 60" HT, SEE
- 20. PICNIC TABLE PER OWNER, PROVIDE 1 HC, ACCESS TABLE SPACE, PROVIDE TRASH CONTAINER PER
- 21. 36"x48" ICE OUTDOOR STORAGE (ITEMS SOLD EXCLUSIVELY IN THE STORE)
- 22. 26"x84" LP OUTDOOR STORAGE (ITEMS SOLD EXCLUSIVELY IN THE STORE)
- 23. 4" CONCRETE SIDEWALK 5' WIDE 170 SQ.FT.
- 24. REJECT CURB & GUTTER, SEE DETAIL 7 ON SHEET SP4.0
- 25. OUTDOOR MERCHANDISE AREA, TYPICAL
- 26. TUNNEL WASH PAY STATION, SEE DETAILS
- 27. VACUUM STATION
- 28. SPLIT FACE RETAINING WALL, SEE LANDSCAPING SHEETS FOR DETAILS
- 29. METAL FENCE, SEE LANDSCAPING SHEETS FOR DETAILS
- 30. POLE MOUNTED LED LIGHT FIXTURE, SEE ELECTRICAL SHEET FOR DETAILS



CALL DIGGERS HOTLINE 1-800-242-8511 **TOLL FREE**

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



Kwik TRIP

Kwik Star

KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



#155

STOR UTH SPRECHER ROAD DISON, WISCONSIN ONVENIENCE

- KEYNOTE

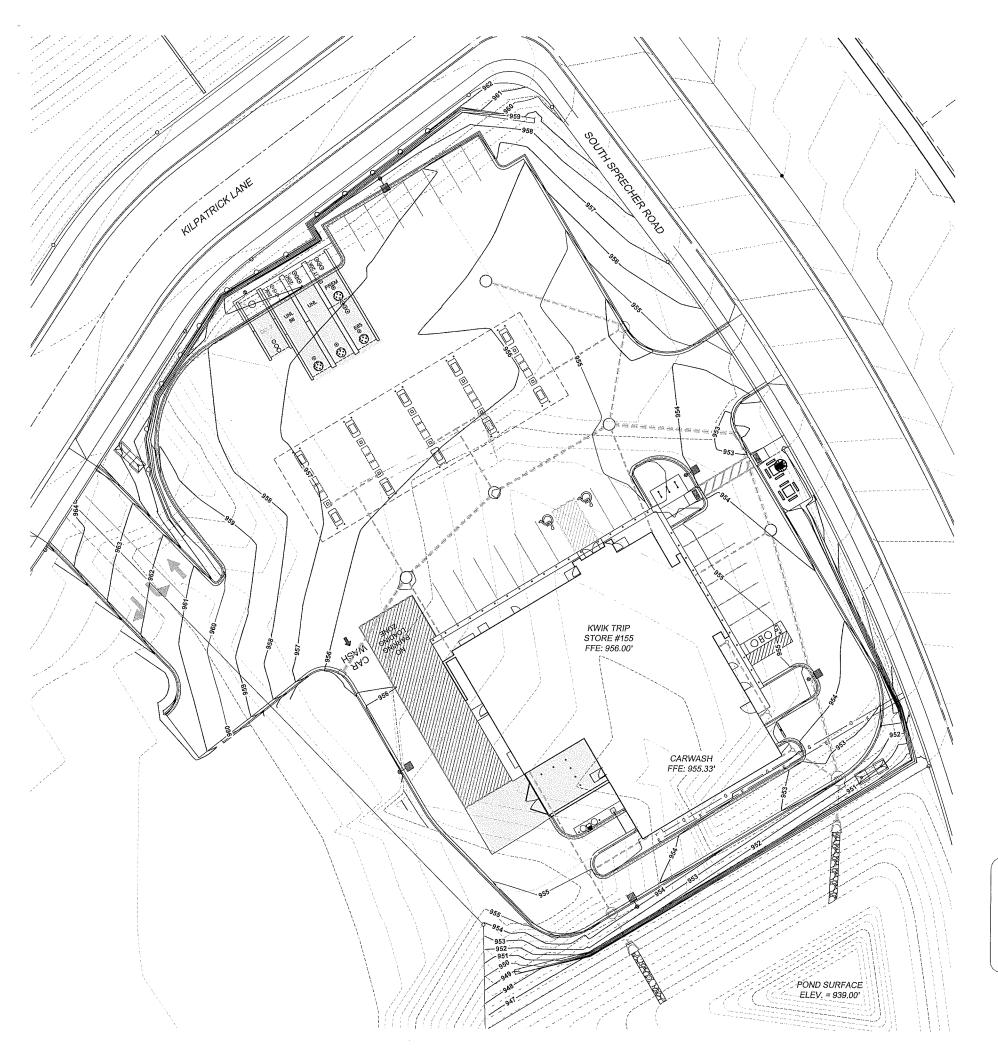
PLAN

SHEET

SITE	CON	SOUTH MADIS(
# DATE	DESCR	IPTION
DRAWN BY	S, ANDE	RSON / M. WAHL
SCALE	***************************************	NOTED
PROJ. NO.		118,0198,30

JULY 24, 2019

SP 1.2



NOTES:

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE EROSION CONTROL PLAN NOTES AND DETAIL SHEETS FOR MORE INFORMATION.

CONTACT JEFF OSGOOD KWIK TRIP, INC PO BOX 2107 LACROSSE, WI 54602 608-793-5547

CONSTRUCTION SEQUENCE

"INSTALL EROSION/SEDIMENT CONTROL MEASURES

*INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS

*INSTALL STORM SEWER

*INSTALL STRUCTURES

*INSTALL PAVEMENTS

*INSTALL LAWN/ LANDSCAPE

*FLUSH STORM SEWER

'REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

NOTES:

ENGINEER TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATION AND APPROPRIATE SIGNAGE LOCATION.

PLAN PREPARED FROM ALTA LAND TITLE SURVEY BY:

ERIC LINDAAS, PLS SNYDER & ASSOCIATES 5010 VOGES ROAD MADISON, M 53718 608-838-0444

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER OF ANY POTENTIAL CONFLICTS,

CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, ANDOR PAXEMENTS TO REMAIN, MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES, RESTOR ALL EXISTING PAVEMENTS THAT REMAINTO THEIR ORIGINAL, IF NOT BETTER CONDITION, NOTIFY OWNER OF ANY COPICIOTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES, OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALU R.O.W.

REFER TO OWNERS SPECIFICATIONS FOR CURB, APPROACH, AND CONCRETE PROFILES AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS

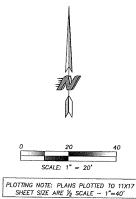
NOTE FOR GRADING CONTRACTOR:

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



KWIK TRIP



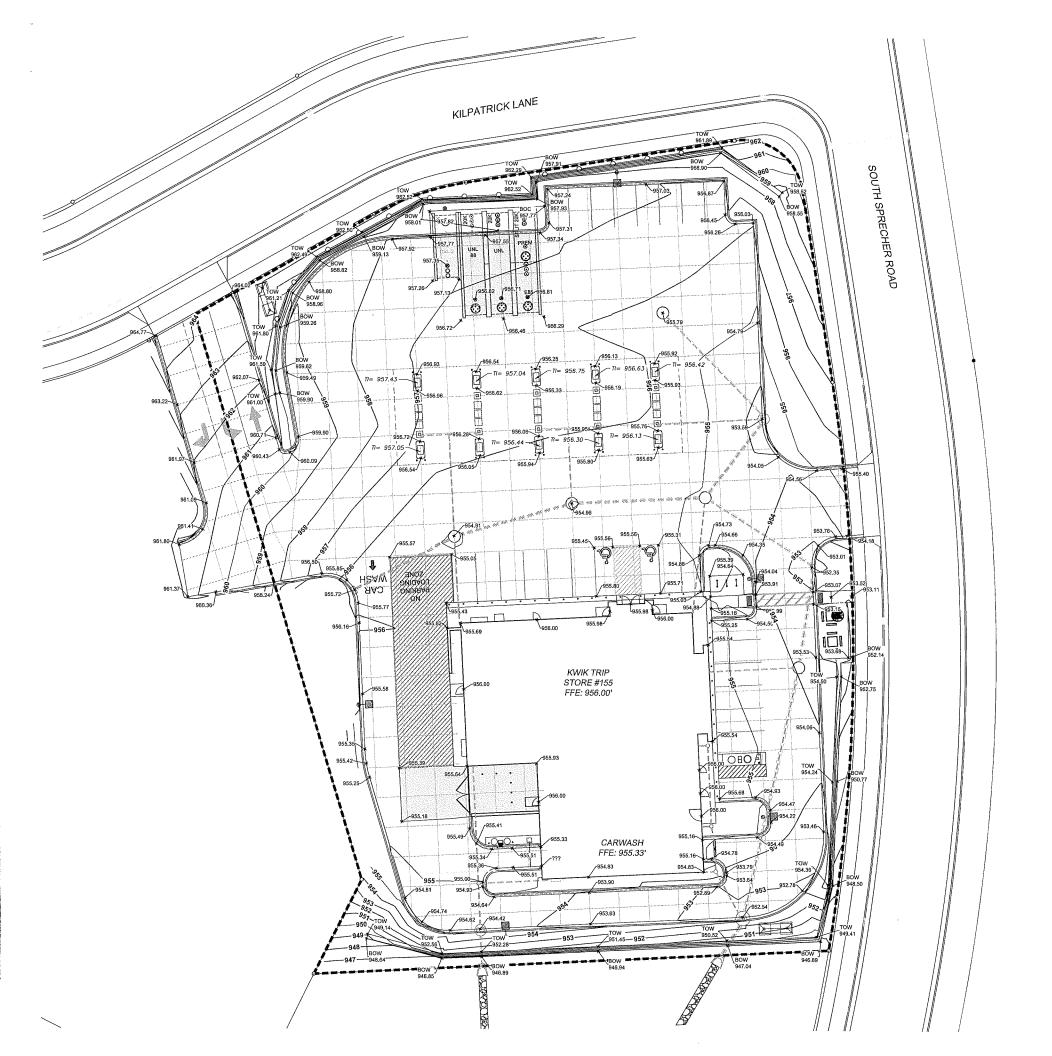
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#155 STORE OUTH SPRECHER ROAD ADISON, WISCONSIN ONVENIENCE GRADING

SITE	CON	SOUTH	
# DATE	DESCRI	PTION	
DRAWN BY	S. ANDE	S. ANDERSON / M. WAHL	
SCALE		NOTED	
PPO I NO		118.0198.30	

JULY 24, 2019 DATE SHEET SP 2.0



NOTES:

H.P. ≃ HIGH POINT FOR DRAINAGE

L.P. = LOW POINT FOR DRAINAGE

TI: = TOP OF ISLAND ELEVATION

BOW = BOTTOM OF RETAINING WALL TOW = TOP OF RETAINING WALL

BOC = BACK OF CURB

ALL SPOT ELEVATIONS ARE AT THE EDGE OF PAVEMENT (FLAG OF CURB)

HATCHED CURB AND GUTTER DEPICTS REJECT CURB LOCATIONS

ALL LANDSCAPE AND SOD AREAS SHALL HAVE POSITIVE DRAINAGE

CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVEWAYS.

CONTROL JOINT MAXIMUM DISTANCE: SIDEWALKS - 8° O.C., ALL OTHERS 10° O.C.

SAW CLIT CONTROL JOINTS SHALL BE A MINIMUM OF ½ OF THE CONCRETE THICKNESS.

EXPANSION JOINT MINIMUM DISTANCE: SIDEWALKS - 24° O.C., ALL OTHERS 40° O.C.

DOWEL ALL EXPANSION JOINTS - 24° O.C.





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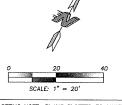


DETAIL #155 SPOT STORE PLAN. CONVENIENCE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE 1-800-242-8511 **TOLL FREE**

WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

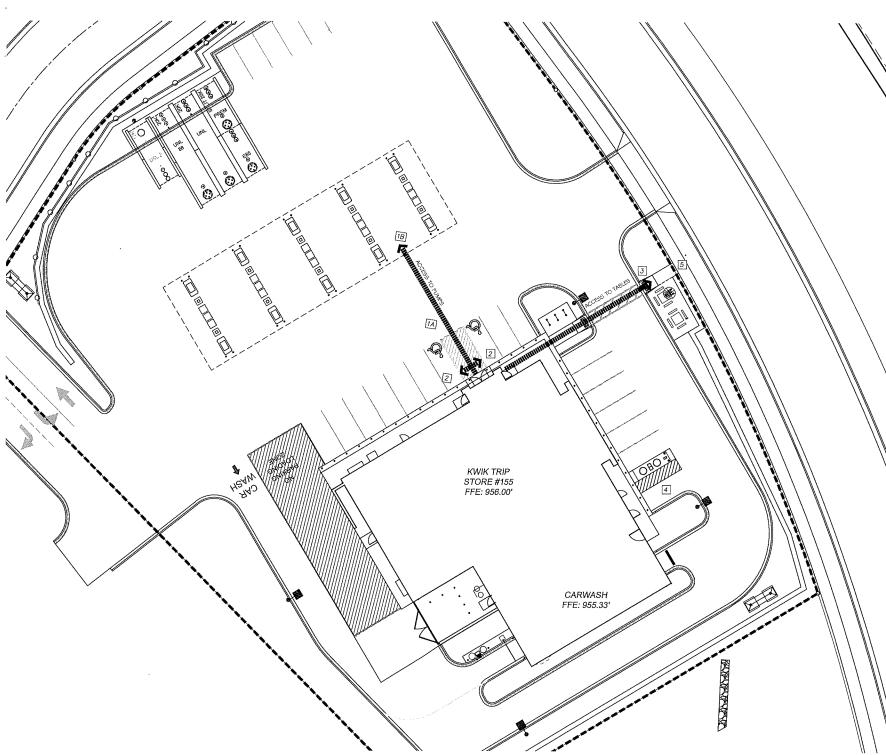


PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE ½ SCALE — 1"=40'

SOUTH SPRECHER ROAD MADISON, WISCONSIN GRADING S. ANDERSON / M. WAHL DRAWN BY SCALE 118.0198.30 PROJ. NO. JULY 24, 2019

SP 2.1

SHEET



NOTES FOR CONVENIENCE STORE ACCESSIBLITY

AT LEAST 1 MPD(MULTI PRODUCT DISPENSER) COVERING ALL GRADES OF FUEL MUST BE ACCESSIBLE IN A 30"X48" CLEAR LEVEL FLOOR AREA(CLF).

ALL PUMP CONTROLS SHALL BE < 48"(2010 STANDARD), WINDOW WASHER, PAPER TOWEL DISPENSER, LITERATURE, FIRE EXTINGUISHER, EMERGENOV FUEL STOPS, ETC, BE ACCESSIBLE 30"X48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH

PROVIDE ISA(INDUSTRY STANDARD ARCHITECTURE) AT EACH ACCESSIBLE FUEL POSITION ON FACE OF PUMP.

PROVIDE ISA AT EACH ACCESSIBLE FUELING POSITION VISIBLE TO

PROVIDE A SIGN AT EACH ACCESSIBLE FUELING POSITION WITH

STORE TELEPHONE NUMBER, ADVISING AVAILABLE FUELING ASSISTANCE.

ANY PAY FUNCTION- I.e. AIR/VACUUM etc. ARE REQUIRED TO HAVE AN ACCESSIBLE ROUTE TO STORE ENTRANCE. CONTROLS SHALL BE ACCESSIBLE 30°X48° CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

NOTES:

-REFER TO THE DOCUMENT FROM THE DEPARTMENT OF JUSTICE ON "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN". CONTRACTOR SHALL REFERENCE CURRENT A.D.A. GUIDELINES AND LOCAL REGULATIONS FOR SITE ACCESSIBILITY. IN ALL CASES THE MINIMUM REQUIREMENTS SHALL BE PROVIDED ON SITE TO ENSURE COMPLIANCE TO ALL REGULATIONS.

- KWK TRIP STANDARD ENTRANCE DOOR IS AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS. ENTRANCE DOORS FOR ACCESSIBLE ROUTES WILL HAVE A MINIMUM CLEAR OPENING OF 32"

-STORE FRONTS WILL PROVIDE FLUSH PAVEMENTS ALONG ACCESSIBLE ROUTES WITH PROTECTIVE SECURITY BOLLARDS INDICATED AND SPACED BETWEEN PARKING SURFACES AND BUILDING WALK

-NO OBJECTS OR DISPLAYS SHOULD PROTRUDE INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WILL INCLUDE SEASONAL DISPLAY VENDING AREAS AS WELL AS OTHER OUTDOOR STORAGE UNITS FOR PROPANE AND ICE, ETC.

-PER A.D.A GUIDELINES- CLEAR WIDTH OF ACCESSIBLE ROUTES SHALL BE 36" AND PERMITTED TO BE REDUCED TO 32" FOR A LENGTH OF 24".

- ACCESS ISLES SERVING WHEEL CHAIR LIFTS OR CHAIR ACCESS FROM VEHICLES ARE REQUIRED TO DE NEARLY LEVEL IN ALL DIRECTIONS TO PROVIDE SAFE TRANSFER OF WHEELCHAIRS TO AND FROM VEHICLES. THE EXCEPTION WOULD BE FOR DRAINAGE. MAXIMUM SLOPE FOR THE ACCESS ISLE IS 1:48. NO CURB RAMPS SHALL BE A PART OF THE ACCESS ISLE.

-IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH THE DESIGNATION OF 1 "VAN ACCESSIBLE" IN EVERY 8 ACCESSIBLE SPACES ON SITE.



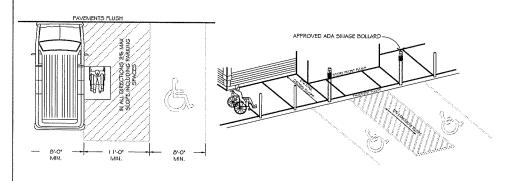
1 ACCESSIBLE STALLS

A. STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY BLUE PAINT. SPACES PROVIDED:

(2) 9'-0"x 20'-0" ACCESSIBLE PARKING WITH (1) 8'-0"x 20'-0" LOADING ZONE (MIN.)

B. ACCESSIBLE FUELING POINT AND DISPENSER AND VALET. VALET AND KEY PAD ON PUMP SHALL CONFORM TO ADA REACH DIMENSIONS AS SHOWN IN DETAIL.

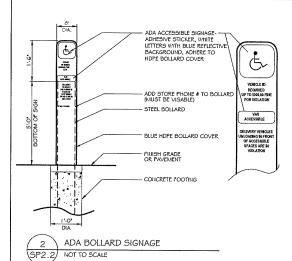
- PAVEMENTS FLUSH FOR ACCESSIBILITY INTO BUILDING.
- PICNIC TABLE WITH ACCESSIBLE PLACEMENT
- ACCESSIBLE ROUTE TO VACUUMS
- 5 ACCESS TO PUBLIC RIGHT OF WAY

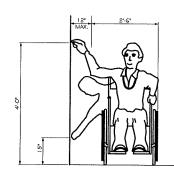


PLAN VIEW

VAN ACCESSIBLE PARKING

NOT TO SCALE



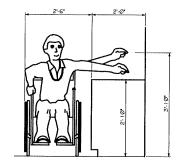


HIGH AND LOW - SIDE REACH LIMITS



PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE 1/2 SCALE - 1"=40"

ACCESSIBLE REACH DIMENSIONS



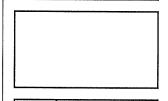
MAXIMUM SIDE REACH OVER OBSTRUCTION

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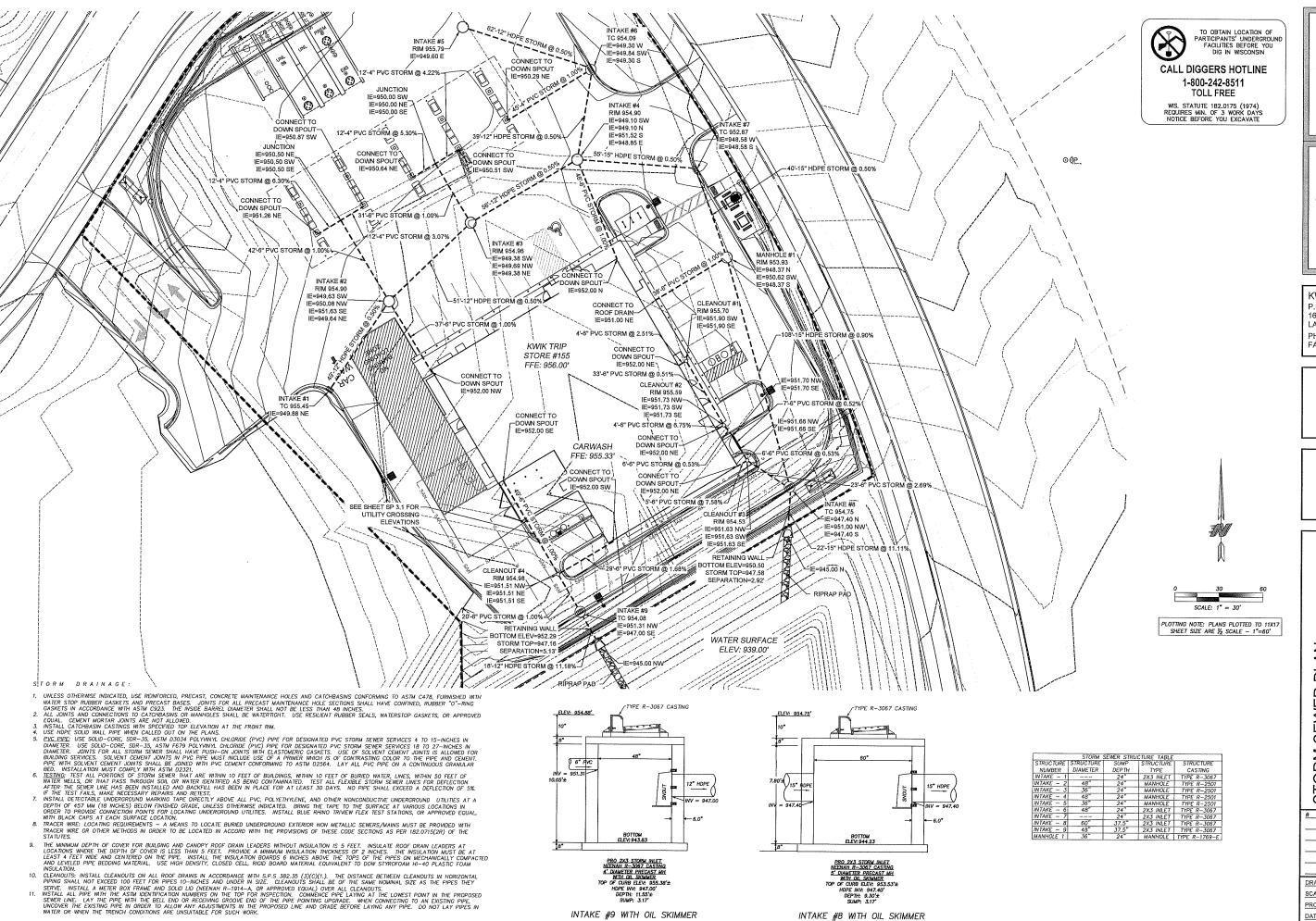




55 #1 STO OUTH SPRECHER ROAD ADISON, WISCONSIN PLAN ONVENIENCE CCESSIBLE

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# DATE	DESCRI	PTION
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PROJ. NO.		118,0198,30

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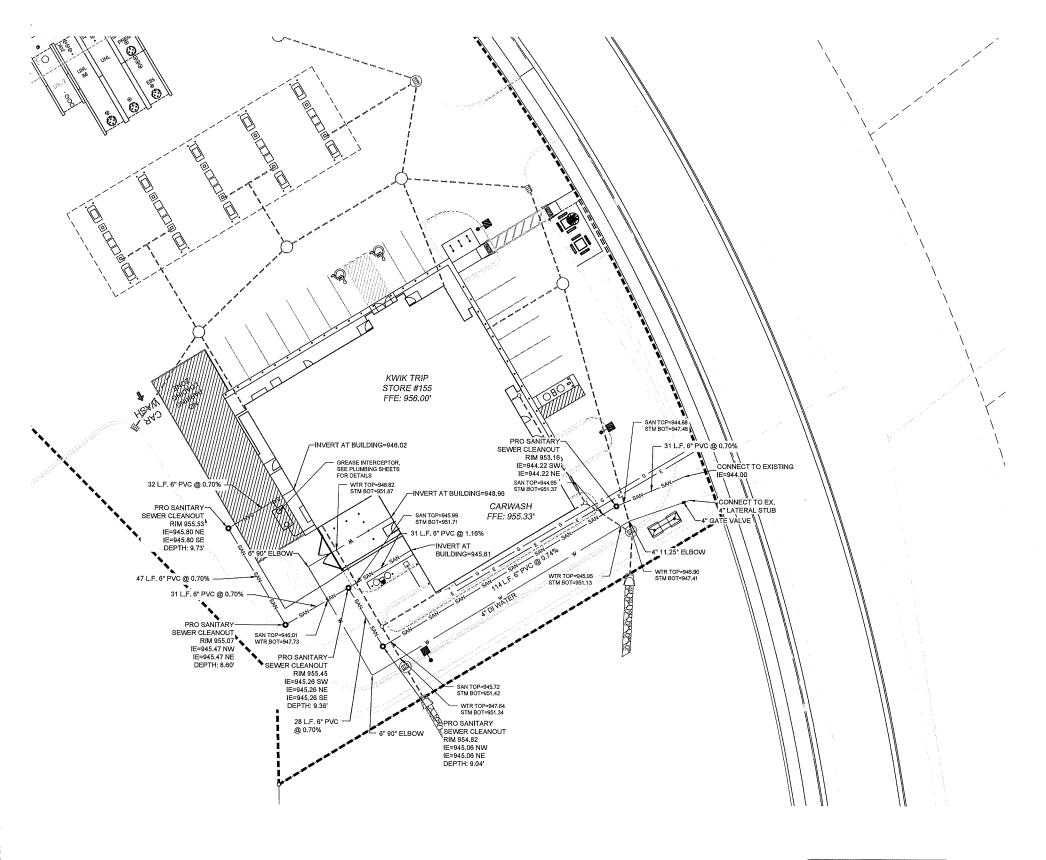
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55 #1 Ш STORE PLAN SEWER CONVENIENCE STORM

SOUTH SPRECHER ROAD MADISON, WISCONSIN

	· · · · · · · · · · · · · · · · · · ·
DES	CRIPTION
	M. AMUNDSON
	NOTED
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	JULY 24, 2019
	SP 3.0
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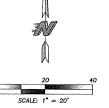




TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU

CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE 1/2 SCALE -- 1"=40'

WATER DISTRIBUTION SYSTEM

- BRING ALL SITE UTILITIES TO 5' OUTSIDE OF THE BUILDING LINE WITH THE EXCEPTION OF THE WATER SERVICE. EXTEND WATER SERVICE INTO THE BUILDING AND UP TO THE FLANCE FOR THE WATER METER.
- 2. SEPARATION OF WATER AND SEWER: PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN ALL WATER AND SEWER LINES. PROVIDE A MINIMUM SEPARATION OF 18 INCHES AT ALL WATER LINE AND SEWER LINE CROSSINGS.
- 3. <u>WATERMAIN DEPTH:</u> MAINTAIN 7.0 FEET OF COVER OVER THE TOP OF THE WATER LINES TO THE FINISHED GRADE. VERIFY ELEVATION OF PROPOSED AND EXISTING WATER LINES AT ALL UTILLY ROSSINGS. INSTALL THE WATER LINES AT GREATER DEPTHS IN ORDER TO CLEAR STORM SEWERS, SANITARY SEWERS, OR OTHER UTILITIES AS REQUIRED. INCLIDE COSTS TO LOWER WATER LINES IN THE BASE
- 4. IESTING: PRESSURE TEST AND PERFORM BACTERIOLOGICAL TESTS ON ALL WATER LINES UNDER THE SUPERVISION OF THE VILLAGE OF EAST TROY, NOTIFY THE WILLAGE AT LEAST 24 WORKING HOURS PRIOR TO ANY TESTING. PRESSURIZE THE WATERLINE TO 1034-KPA (150-PS)) GAUGE PRESSURE (MEASURED AT THE POINT OF LOWEST ELEVATION) BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A SATISFACTORY MANNER. MAINTAIN THE TEST PRESSURE FOR A MINIMUM OF 2 HOURS. ON NOT ADD WATER TO THE WATERMANN ORDER TO MAINTAIN THE REQUIRED PRESSURE DURING THE WATER MAIN PRESSURE TESTING. THE TEST SECTION OF DURING THE WATER MAIN PRESSURE TESTING. SECTION OF PIPE IS ACCEPTABLE WITH A PRESSURE DROP OF 14 KPA (2 PSI) OR LESS.
- USE MECHANICAL JOINT RESTRAINT DEVICES FOR JOINT RESTRAINT ON ALL WATERMAIN BENDS HAVING A VERTICAL OR HORIZONTAL DEFLECTION OF 22-1/2 DEGREES OR GREATER, ALL VALVES, STUBS, EXTENSIONS, TEES, CROSSES, PLUGS, ALL HYDRANT VALVES, AND ALL HYDRAINTS IN ACCORDANCE WITH VILLAGE REQUIREMENTS. USE "SERIES 1100 MEGALUG" MANUFACTURED BY EBAA IRON INC., EASTLAND, TEXAS, OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR RESTRAINT ON DUCTILE IRON PIPE.
- 6. AT ALL VALVE LOCATIONS WHICH REQUIRE A 12" OR SMALLER VALVE, INSTALL AT ALL VALVE LOCATIONS WHICH REQUIRE A 12" OR SMALLER VALVE, INSTALL GATE VALVES WHICH ARE OF THE COMPRESSION RESILENT SEATED (CRS) TYPE. USE MAKERICAN FLOW CONTROL'S SERIES 2500 DUC'RLE IRON RESILENT WEDGE GATE VALVE, OR APPROVED EQUAL. GATE VALVE, SHALL CONFORM TO AWMA C509. INSTALL CAST IRON VALVE BOXES CONFORMING TO ASTM A4B AT EACH VALVE, IOCATION. VALVE BOXES SHALL BE THE THREE-PIECE TYPE WITH 5-1/4" SHAFTS. USE TYLER 6860-G WITH NO. 6 BASE, OR COUIVALENT. VALVE BOXES SHALL BAYE AT LEAST 6" OF ADJUSTMENT ABOVE AND BELOW RINSHED GRADE. DROP COVERS ON VALVE BOXES SHALL BE ROUND AND BELOW RINSHED GRADE. CAST ON THE TOP. USE TYLER 6860-G "STAYPUT" COVERS WITH EXTENDED SKIRT, OR EQUIVALENT.
- USE MUELLER H 10300 OR FORD EM 2 7057, OR APPROVED EQUAL, AT ALL CURB STOP LOCATIONS. STATIONARY ROD IS REQUIRED ON ALL CURB STOPS.
- B. WATERMAIN AND LATERALS 4" OR LARGE FOR THE SITE SHALL BE CLASS 52 DUCTILE IRON THAT CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR DUCTILE IRON PIPE, CENTRIFUCALLY CAST, FOR WATER (ANS)/AWWA C151/A21.51 LATEST REVISION). PIPE SHALL BE CEMENT LINED, PUSH—ON JOINT, AND BONDING STRAPS TO PROVIDE ELECTRICAL CONDUCTIVITY WITHOUT FIELD WELDING. ALL COMPONENTS SHALL CONFORM WITH VILLAGE OF BLACK EARTH STANDARD SPECIFICATIONS.
- 9. TRACER WARE: LOCATING REQUIREMENTS A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE THE WISCONSIN STATUTES 182.0175(2R) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.30(11)(H).
- 10. WHERE EXISTING GAS, ELECTRIC, CABLE, OR TELEPHONE UTILITIES CONFLICT WITH THE WORK, COORDINATE THE ABANDONMENT, RELOCATION, OFFSET, OR SUPPORT OF THE EXISTING UTILITIES WITH THE APPROPRIATE LOCAL UTILITY COMPANIES. COORDINATE NEW GAS METER AND GAS LINE INSTALLATION, ELECTRIC METER AND ELECTRIC SERVICE INSTALLATION, CABLE SERVICE, AND TELEPHONE SERVICE INSTALLATION WITH THE LOCAL UTILITY.
- 11. COORDINATE BUILDING UTILITY CONNECTION LOCATIONS AT 5 FT, OUT FROM THE PROPOSED BUILDING WITH THE WITH THE INTERIOR PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION. VERIFY WATER AND SEWER SERVICE LOCATIONS AND ELEVATIONS WITH THE MECHANICAL ENGINEER PRIOR TO CONSTRUCTION.
- 12. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE FROM RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING UTILITIES ARE SHOWN OR, IF SHOWN, EXIST IN THE LOCATIONS INDICATED ON THE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE FINAL VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES (INCLUDING WATER AND SEWER LINES AND APPURTENANCES). NOTIFY THE ENGINEER OF ANY

SANITARY SEWER:

- 1. PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 (OR APPROVED EQUAL) POLYVINYL CHURTS USE SOLID-CORE, SORT-3, ASIM DSD34 (OK APPROVED EQUAL) POLYMINE CHLORIDE (POC) PLASTIC PIPE FOR ALL DESIGNATED PIVE SANTARY SEWER SERVICES. JOINTS FOR ALL SANTARY SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTIN D2554. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED, INSTALLATION MUST COMPLY WITH ASTM D2321.
- 2. CLEANOUTS: INSTALL CLEANOUTS ON ALL SANITARY SEWER SERVICES. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPHOS SHALL NOT EXCEED 100 FEET FOR PIPES 4-INCH AND OVER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- 3. TESTING: PRESSURE TEST ALL SANITARY SEWER LINES. TEST ALL FLEXIBLE SANITARY SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
- 4. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES CONFORMING TO ASTIM C478, FURISHED WITH PRECAST BASES. SANITARY SEWER MAINTENANCE HOLES SHALL BE SUPPLIED WITH PRE-FORMED INVERTS AND FLEXIBLE NEOPRENE SLEEVE CONNECTIONS FOR ALL LATERAL LINES 375 MM (15 INCHES) IN DIAMETER OR LESS, UNLESS OTHERWISE INDICATED. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAW COMFINED, RUBBER "O"-RING GASKETS IM ACCORDANCE WITH ASTIM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
- 5. INSTALL FLEXIBLE WATERTIGHT FRAME/CHIMINEY SEALS ON ALL SANITARY SEWER MAINTEMANCE HOLES. USE EITHER MANUFACTURED MAINTEMANCE HOLE FRAME/CHIMINEY SEALS OR ELASTOMERIC WATERPROOFING FRAME/CHIMINEY SEALS.
- USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING, SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL SANTIARY SEWER MAINTENANCE HOLES. COVERS SHALL BEAR THE "SANTIARY SEWER" LABEL.
- 7. THE MINIMUM DEPTH OF COVER FOR SANITARY SEWER WITHOUT INSULATION IS 5
 FEET. INSULATE SANITARY SEWER SERVICES AT LOCATIONS WHERE THE DEPTH OF
 COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2
 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE
 PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES
 ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH
 DENSITY, CLOSED CELL, RIGID BOARD MATERIAL COUNTAILENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
- 8. TRACER WIRE: LOCATING REQUIREMENTS A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE MSCONSIN STATUTES 182.0175(2R) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.30(11)(H).





KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



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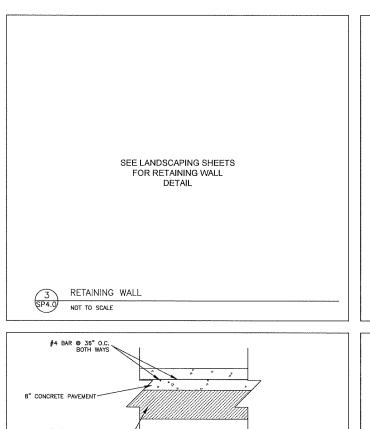
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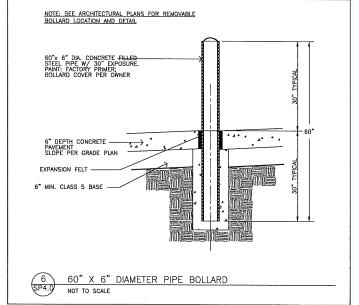
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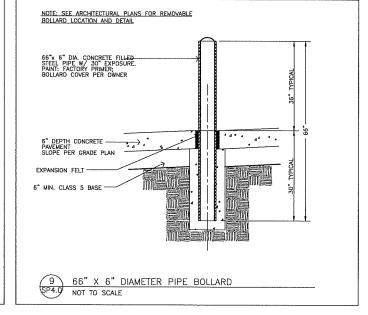
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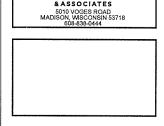






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#155 STORE SOUTH SPRECHER ROAD MADISON, WISCONSIN ONVENIENCE DETAIL

MISC. Ö # DATE DESCRIPTION DRAWN BY S. ANDERSON / M. WAHL

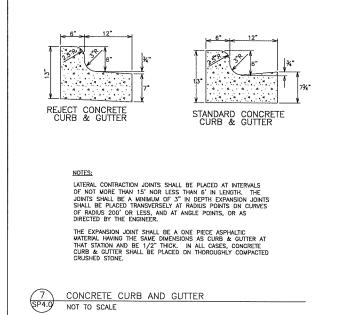
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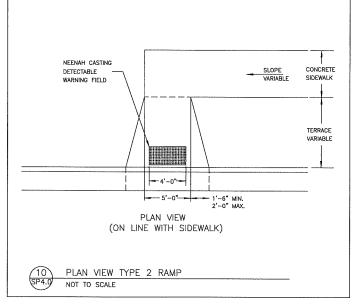
8" CONCRETE PAVEMENT DETAIL #3 BAR @ 36" O.C. BOTH WAYS 6" CONCRETE PAVEMENT SEE GEOTECH REPORT FOR -SUBGRADE PREPARATIONS 6" CONCRETE PAVEMENT DETAIL 4 CONCRETE PAVEMENT SECTIONS
SP4.0 NOT TO SCALE

NOT USED

NOT TO SCALE

NOT USED NOT TO SCALE





--5

KEYNOTES:

1. BOLLARD LICHT

2. 6" BOLLARD

3. TRASH CAN

4. GATE ARM

5. 1" POWER CONDUIT & "DATA CONDUIT

6. PAY STATION

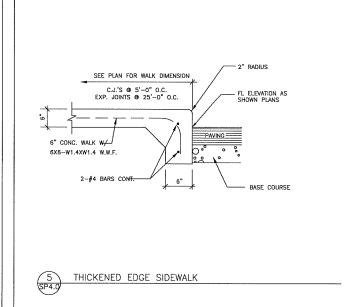
7. 18" CONCRETE CURB & GUTTER

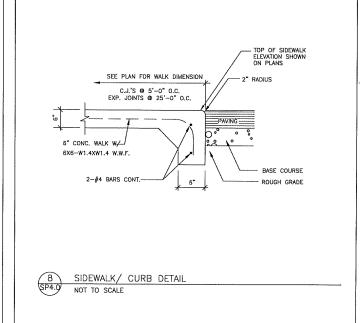
8. CONCRETE ISLAND

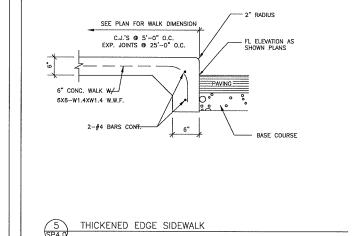
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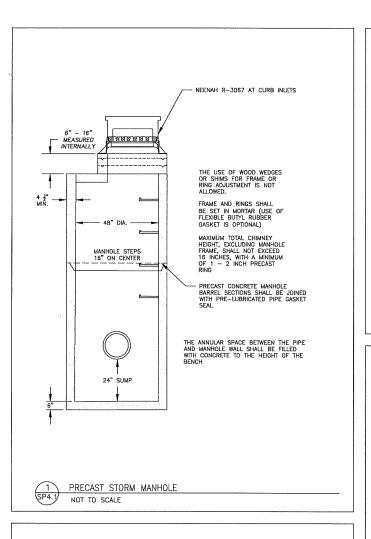
CAR WASH PAY STATION DETAILS

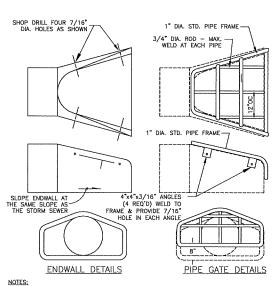
4











NOTES: — THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR $3/8^{\circ}$ x6° MACHINE BOLTS WITH NUTS ON INSIDE WALL.

PAINTING SPECIFICATIONS:

— THE PIPE GATE SHALL RECEIVER THE FOLLOWING PREPARATION & PAINTING, THE FIRST COAT SHALL BE RUS—OLEUM X—50 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUST—OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS—OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

PREPARATION STEPS:

1. BARE METAL SURFACES — TREAT WITH THE THREE—COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.

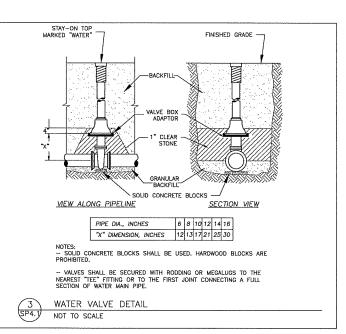
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.

3. ALLOW 24–48 HOURS DRYING TIME AT 80° OR ABOVE BETWEEN COATS.

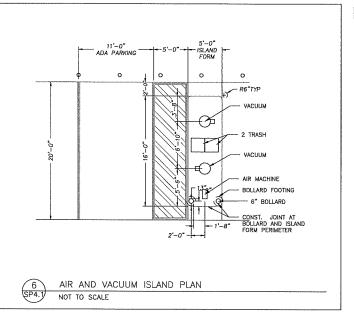


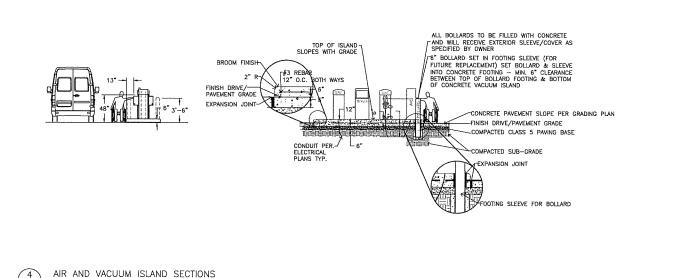
ENDWALL GRATE DETAIL

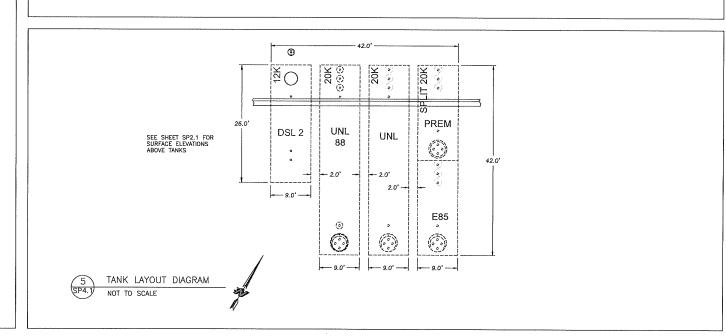
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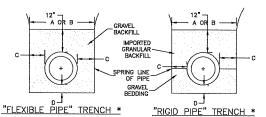




DIMENSIONS

 DIMETRIONS.
 CUTSIDE DIAMETER OF PIPE PLUS 24" (MAXIMUM)
 FOR ROCK, OUTSIDE DIAMETER OF PIPE PLUS 18" (MAXIMUM) C: MINIMUM - 6"

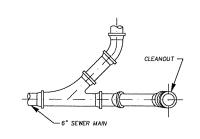
D: 4" BELOW BARREL AND 3" BELOW BELL; IN ROCK, 6" BELOW BARREL



3" BREAKER RUN UNSTABLE TRENCH * WET TRENCH *

"RIGID PIPE" INCLUDES REINFORCED CONCRETE PIPE AND DUCTILE IRON PIPE ONLY. ALL OTHER PIPE MATERIALS SHALL BE CONSIDERED "FLEXIBLE PIPE". THE WET TRENCH AND UNSTABLE TRENCH DETAILS ARE DRAWN SHOWING A "RIGID PIPE" TRENCH INSTALLATION.

SANITARY/WATER MAIN BEDDING



PLAN 3/4" EXPANSION JOINT W/JOINT SEAL - ROUND CONCRETE COLLAR 0. 40 #3 BARS ALL AROUND #3 BARS ALL AROUND
(W/6" OVERLAP)
SHORT LENGTH OF CAST
IRON PIPE FURNISHED
W/CLEANOUT BOX CLEANOUT PLUG C.I. PIPE RISER STANDARD 1/8 BEND - CONCRETE ENCASEMENT 6" SEWER 4" MIN. COVER MAINWYE ELEVATION

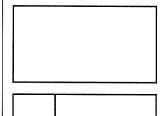
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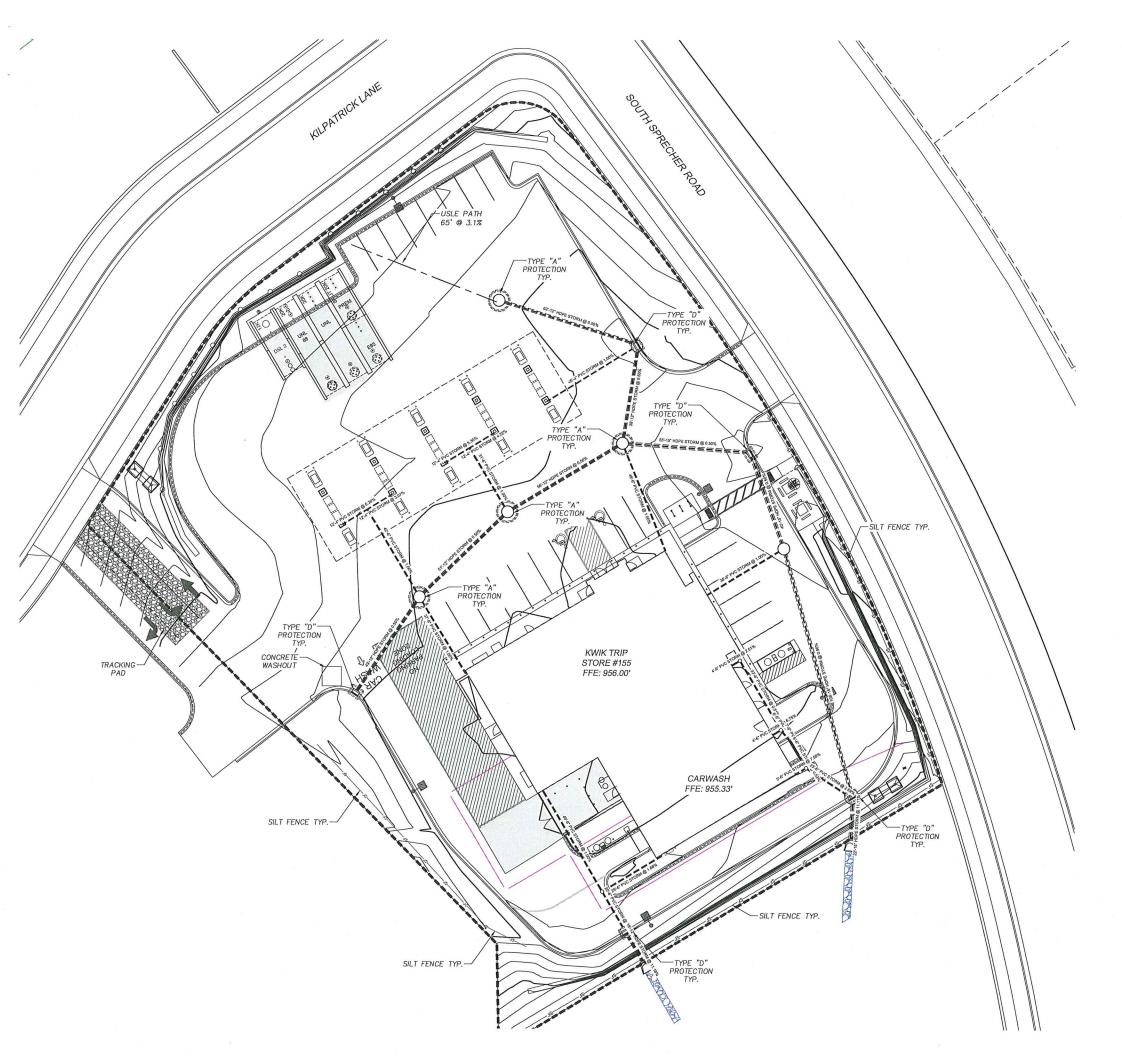
Ŝ #1 Ш $\overline{\alpha}$ 0 SOUTH SPRECHER ROAD MADISON, WISCONSIN w' CONVENIENC DETAIL MISC.

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PROJ. NO.	118,0198,30
DATE	JULY 24, 2019

SHEET

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CONSTRUCTION SEQUENCE

*INSTALL EROSION/SEDIMENT CONTROL MEASURES

*INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS

*INSTALL STORM SEWER

*INSTALL STRUCTURES

*INSTALL PAVEMENTS

*INSTALL LAWN/ LANDSCAPE

*FLUSH STORM SEWER

*REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

PROJECT DATA

SITE AREA DATA 75,765 SQ.FT.
DISTURBED AREA 76,710 SQ.FT.
PRE-CONSTRUCTION IMPERVOUS AREA 0 SQ.FT.
POST-CONSTRUCTION IMPERVOUS AREA 59,126 SQ.FT.

CONCRETE W/ GRAVEL BASE OVER FILL

(ACTUAL QUANTITIES SUBJ	ECT TO CHARGE)	
ITEM QUANTITY		
ROCK CONSTRUCTION ENTRANCE	1	
EROSION MAT	?? S.Y.	
SILT FENCE	515 L.F.	
INLET PROTECTION, TYPE D / A	5 / 4	
TURF REINFORCEMENT MAT ?? S.Y.		

NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL SUPPLY ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.



PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE ½ SCALE - 1"=40'



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE





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#155 PLAN STORE ROSION CONTROL

OUTH SPRECHER ROAD ADISON, WISCONSIN

EROSION CONT	CONVENIENCE	SOUTH SPRECHER F MADISON, WISCONS
# DATE	DESCR	IPTION
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DRAWN BY	S. ANDI	ERSON / M. WAHL
SCALE		NOTED

PROJ. NO. 118.0198.30 JULY 24, 2019 SHEET SWP 1.0

GENERAL STORMWATER POLLUTION PREVENTION:

APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION ACTIVITY.

STORMWATER POLLUTION PREVENTION PLAN (SWPPP): THE SWPPP INCLUDES THIS NARRATIVE, PLAN SHEETS SP3, SP3.1 AND SP3.2, AND THE STORWWATER MANAGEMENT CALCULATIONS. KEEP A COPY OF THE SWPPP, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING THE CONSTRUCTION DURING THE CONSTRUCTION SPROCESS THE SWPPP WILL HAVE TO BE AMENDED FOR ALL CHANGES PERFORMED BY THE CONTRACTOR. THE OWNER SHALL BE AWARE OF THE AMENDMENTS PRIOR TO CHANGES MADE TO THE SWPPP PLAN. ALL NOTES, PHOTOGRAPHS, RECORDED DATES, SKETCHES, REFERENCES, AND DIAGRAMS WILL HAVE TO BE RECORDED AND MADE AVAILABLE AS PART OF THE SWPPP PERMIT.

INDIVIDUAL(S) PREPARING THE SWPPP FOR THE PROJECT, OVERSEEING IMPLEMENTATION OF THE SWPPP, REVISING AND AMENDING THE SWPPP, AND AT LEAST ONE INDIVIDUAL ON THE PROJECT PERFORMING INSTALLATION, INSPECTION, MAINTENANCE, AND REPAIRS OF BMP'S MUST BE TRAINED. THE TRAINING MUST BE DONE BY A LOCAL, STATE, FEDERAL AGENCIES; PROFESSIONAL ORGANIZATION; OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, OR PERMANENT STORMWATER MANAGEMENT.

RESPONSIBLE PARTIES: THE CONTRACTOR MUST DESIGNATE A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS BEFORE AND DISCONSTRUCTION.

THE OWNER IS RESPONSIBLE FOR IDENTIFYING WHO WILL HAVE RESPONSIBILITY FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEMS.

OWNER CONTACT:

NAME: JEFF OSGOOD

COMPANY:

ADDRESS: KWIK TRIP, INC. - STORE ENGINEERING 1626 OAK STREET, P.O. BOX 2107

TELEPHONE: (608) 793-6414

SITE INVESTIGATION, INSTALLATION, IMPLEMENTATION:

PRIOR TO ANY WORK, CONTRACTOR SHALL VISIT THE SITE, DOCUMENT EXISTING CONDITIONS AS NECESSARY(PHOTOS, NOTES, ETC) AND NOTE EXISTING DRAINAGE PATTERNS ON AND OFF SITE THAT ARE RELATED TO THE PROJECT. THESE NOTES SHALL BE PART OF THE SWPP.

INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INCLUDING SILT FENCE, ROCK CONSTRUCTION ENTRANCE(S), EROSION CONTROL BERMS, ROCK FILTERS, SILT SACKS, ROCK /EARTH BERMS, AND SEDIMENTATION BASINS. PROTECT ALL RECEIVING WATERS, CATCH BASINS, DITCHES, HILLETS ETC. IN AND AROUND THE SITE. ALL PROTECTIVE AND PREVENTATIVE MEASURES MUST BE IN PLACE AND INSPECTED <u>PRIOR</u> TO BEGINNING SITE CLEARING, GRADING, OR OTHER LIAND—DISTRIBUTED ACTIVITY.

PRIOR TO BEGINNING SITE CLEARING AND GRADING, PROTECT ALL STORM SEWER INLETS THAT RECEIVE RUNOFF FROM DISTURBED AREAS. IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE AND ENTERING THE DOWNSTREAM STORM SEWER SYSTEM, SEAL ALL STORM SEWER INLETS THAT ARE NOT NEEDED FOR SITE DRAINAGE DURING CONSTRUCTION. PROTECT ALL OTHER STORM SEWER INLETS BY INSTALLING SEDIMENT CONTROL DEVICES, SUCH AS SILT SACKS, OR ROCKED FILTRATION LOGS/WIERS. STRAW BALES OF FABRIC UNDER THE GRATES ARE NOT ACCEPTABLE FORMS OF INLET PROTECTION. PROTECT NEW STORM SEWER INLETS AS THEY ARE COMPLETED. MAINTAIN STORM SEWER INLET PROTECTION IN PLACE UNTIL ALL SOURCES WITH POTENTIAL. FOR DISCHARGING TO THE INLETS ARE STABILIZED.

BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE WHEN AT ALL POSSIBLE CONTRACTOR SHALL DESIGNATE ONLY ONE ACCESS POINT FOR VEHICLES ENTERING AND EXTING THE SITE. THE ROCK ON THE ENTRANCE WILL HAVE TO BE INSPECTED DAILY AND REPLACED OR ROCK SUPPLEMENTED BY THE CONTRACTOR WHEN OVER 50% OF THE VOIDS IN THE ROCK ARE FILLED. A CLEANING STATION SHOULD BE MADE AVAILABLE TO DRIVERS AND VISIBLY SIGNED AS SUCH. PROVIDE SHOVELS, BROOMS AND/OR HOSE WITH A WASH OUT AREA SO SOILS CAN BE REMOVED FROM VEHICLES ON SITE.

AVOID ENTIRE REMOVAL OF TREES AND SURFACE VEGETATION ALL AT ONCE WHENEVER POSSIBLE AS THIS LIMITS THE AMOUNT OF SITE SUSCEPTBLE TO EROSION. SCHEDULE CONSTRUCTION ZONES AND NOTE THIS ON THE SWPP PLAN IN ORDER TO EXPOSE THE SMALLEST PRACTICAL AREA OF SOIL AT ANY GWEN THE. UTILIZE VEGETATION REMOVED BY ON SITE GRINDING AND MULCHING AND USING THIS MATERIAL TO PROTECT THE SOIL FROM EROSION.

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, COMPLETE PERMANENT OR TEMPORARY STABILIZATION AGAINST EROSION DUE TO FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, COMPLETE PERMANENT OR TEMPORARY STABILIZATION AGAINST EROSION DUE TO RAIN, WIND, AND RUNNING WATER WITHIN 7 CALENDAR DAYS ON ALL DISTURBED OR GRADED AREAS. HIS REQUIREMENT DOES NOT APPLY TO THOSE AREAS THAT ARE CURRENTLY BEING USED FOR MATERIAL STORAGE ON A DALLY BASIS OR FOR THOSE AREAS ON WHICH GRADING, SITE BULLDING, OR OTHER CONSTRUCTION ACTIVITIES ARE ACTIVITY UNDERWAY. PROVIDE TEMPORARY COVER ON ALL STACKED TOPSOIL PILES, AND OTHER AREAS OF STOCKPILED EXCANTED MATERIAL IN ORDER TO PREVENT SOIL EROSION AND RAPID RUNNOFF DURING THE CONSTRUCTION PERIOD. STOCKPILES CAN BE MULCHELOCOVERED WITH POLY OR FABRIC, AND OR SECRED DURING PROLOMED EXPOSURE. PROLOMED PERIODS OF OPEN, BARE EARTH WITHOUT GRASS COVER WILL NOT BE PERMITTED. STABILIZE ALL DISTURBED GREENSPACE AREAS WITH A MINIMUM OF 4" TOPSOIL MIMEDIATELY AFTER FINAL SUBGRADE COMPLETION. SEED AND MULCH, OR SOD AND PROTECT ARCAS WITH A MINIMUM OF 4" IOPSOIL IMMEDIATELY AFTER FINAL SUBGRADE COMPLETION. SEED AND MUICH, OR SOD AND PROTECT THESE AREAS WITHIN 48 HOURS AFTER COMPLETION OF FINAL GRADING WORK (WEATHER PERMITTING). STABILIZE ALL DISTURBED AREAS TO BE PAVED USING EARLY APPLICATION OF GRAVEL BASE. STABILIZE THE NORMAL WETTED PERMITER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT CONVEYS WATER FROM THE CONSTRUCTION SITE, WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR WITHIN 200 FEET FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER. STABILIZE TEMPORARY OR PERMANENT DRAINAGE DITCHES WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. PROTECT OUTFALLS MINIMUM OF 200FEET DOWN STREAM AND TO THE SIDE OF THE DISCHARGE POINT. ADDITIONAL SETTLING "POTS" ACHIEVED BY FILTER LOGS OR FILTERED STICK BALES STAKED IN THE CHANNEL WILL DISSIPATE THE WATER ENERGY. PROVIDE PIPE OUTLETS WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.

RECEIVING WATERS - IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT THE SITE DISCHARGE POINT AS WELL AS DOWNSTREAM TO RECEIVING BODY OF WATER(POND, LAKE, STREAM, ETC.) ON A REGULAR BASIS INCLUDING AFTER EACH STORM EVENT AND DOCUMENT IF ANY DIFFERENCES OR CHANGES IN NORMAL IN DISCHARGE AND IF MATERIAL IS LEAVING THE CONSTRUCTION SITE. IF SO IT SHALL BE DOCUMENTED AND REMOVED IMMEDIATELY.

NOTE: ALL EROSION AND SEDIMENT CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR AFTER EACH STORM EVENT AND BE MAINTAINED, OR IMPROVED UPON AFTER EVERY STORM EVENT TO ENSURE ADEQUATE PERFORMANCE.

POLLUTION CONTROL:

DESIGNATE A CONCRETE WASH-OUT AND TRUCK WASH AREA: MAKE IT VISIBLE IN THE FIELD TO VEHICLE OPERATORS AND NOTE THIS ON THE SWPP PLAN.

WHEN WASHOUTS OCCUR ON THE SITE, CONCRETE WASHOUT WATER MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE. LINER. LIQUID AND SOLID WASTES MAY NOT TOUCH THE GROUND AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS.

ON SITES WHERE CONCRETE WASHOUT AREAS ARE NOT FEASIBLE AS SHOWN ON THE DETAIL SHEET, ABOVE GROUND METHODS AND/OR OFF-SITE METHODS CAN BE UTILIZED AS APPROVED BY OWNER.

CONCRETE WASHOUT MAY BE PROVIDED OFF-SITE BY CONCRETE CONTRACTOR OR CONCRETE SUPPLIER, AT AN APPROVED WASHOUT DISPOSAL AREA. CONCRETE SUPPLIER MAY PROVIDE CONCRETE WASHOUT AREAS ON-BOARD THEIR TRANSPORTS FOR DISPOSAL OFF-SITE. CONCRETE CONTRACTOR SHALL VERIFY WITH SUPPLIER IN RECARSOR TO PROVIDED CONCRETE WASHOUT AREAS ON AND OFF-SITE, AS NECESSARY.

LIMIT EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES TO A DEFINED AREA PREFERABLY BEFORE THE CONSTRUCTION ACCESS/EXIT POINT. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. CONTAIN RUNOFF AND PROPERLY DISPOSE OF WASTE. ENGINE DEGREASING IS PROHIBITED.

SOLID WASTE: PROPERLY DISPOSE OF COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS, AND OTHER WASTES IN COMPLIANCE WITH STATE REQUIREMENTS.

HAZARDOUS MATERIALS: PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE DEBRIS, CLEANING WASTES, OIL, GASOLINE, PAINT, WASTEWATER, TOXIC MATERIALS, AND HAZARDOUS MATERIALS) OFF-SITE. DO NOT ALLOW WASTE AND UNUSED BUILDING MATERIALS TO BE CARRIED BY RUNDFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM. PROPERTY STORE OIL, GASOLINE, PAINT, AND OTHER HAZARDOUS MATERIALS IN ORDER TO PREVENT SPILLS, LEAKS, OR OTHER INCLUDE SECONDARY CONTAINMENT, RESTRICT, ACCESS, TO STORAGE, AREAS, IN ORDER TO PREVENT VANDALSM. STORAGE AND DISPOSAL OF HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH REGULATIONS

MACHINERY: AND MECHANIZED EQUIPMENT THAT LEAKS WASTE SHALL HAVE A PROTECTIVE BARRIER OR CONTAINMENT UNDER THE DEVICE ADEQUATE TO CONTAIN THE WASTE. PROPERLY DISPOSE OF THE WASTE.

EMERGENCY SPILL STATION: CONTRACTOR SHALL LOCATE AND SIGN AN EMERGENCY SPILL STATION THAT HAS NECESSARY CONTAINMENT OR CLEANUP DEVICES FOR ALL WORKERS TO ACCESS.

EROSION CONTROL

APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.

CONTRACTOR SHALL UTILIZE COARSELY GROUND WOOD AND TREE MULCHES TO COVER EXPOSED SOILS. MULCHES SHALL BE SPORED ON SITE TO SUPPLEMENT AND USE IN PROBLEM AREAS DURING ALL PHASES OF THE CONSTRUCTION PROJECT.

CONTRACTOR SHALL USES STAR TACK OR OTHER ORGANIC SUBSTANCES IN SITUATIONS TO PREVENT SOIL FROM ERODING AWAY BY WIND OR

WHENEVER POSSIBLE CONTRACTOR SHALL GRADE AREAS OF SOIL TO LIMIT POTENTIAL OF EROSION, TO INCLUDE TRACKING PERPENDICULAR TO FALL LINE OF GRADES AS WELL AS DIVERTING WATER FLOWS FROM PROBLEMATIC AREAS ON THE SITE.

SEEDING, FIBER BLANKETS, POLY/TARPS OR COVER MULCHES, DISKED MULCHES AND COMPOST CAN BE USED TO COVER TEMPORARILY EXPOSED AREAS FROM WIND AND RAIN. OTHER METHODS BY THE CONTRACTOR SHALL BE DOCUMENTED IN THE SWPP.

SEDIMENT CONTROL:

ALL INLET PROTECTION SHALL BE TYPE - D AND ON THE WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL)

<u>SILT_FENCE</u>: INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1056.

INSTALL SILT FENCE ALONG THE CONTOUR (ON A LEVEL HORIZONTAL PLANE) WITH THE ENDS TURNED UP (J-HOOKS) IN ORDER TO HELP POND WATER BEHIND THE FENCE. INSTALL THE SILT FENCE ON THE UPHON THE SUPPORT POSTS. PROVIDE A POST SPACING OF 1.2 M (4 FEET) OR LESS. DRIVE POSTS AT LEAST 10.6 M (2 FEET) INTO THE GROUND. ANCHOR THE SILT FENCE FABRIC IN A FRENCH AT LEAST 15.2 MM (6 INCHES) DEEP AND 15.2 MM (6 POST. AT SPLICES, OVERLAP THE FABRIC AT LEAST 152 MM (6 INCHES), FOLD IT OVER, AND SECURELY FASTEN IT TO THE TENDE FOST.

SILT FENCE SUPPORTING POSTS SHALL BE 51 MM (2 INCH) SQUARE OR LARGER HARDWOOD, PINE, OR STANDARD T— OR U—SECTION STEEL
POSTS. T— OR U—SECTION STEEL POSTS SHALL WEIGH NOT LESS THAN 1.8602 KG PER METER (1.25 LB PER LINEAL FOOT). POSTS

DOSTS SHALL WEIGH NOT LESS THAN 1.8602 KG PER METER (1.25 LB PER LINEAL FOOT). POSTS. T- OR U-SECTION STEEL POSTS SHALL WEIGH NOT LESS THAN 1.8602 KG PER METER (1.25 LB PER LINEAL FOOT). POSTS SHALL HAVE PROJECTIONS TO SCHLITTER FASTE FABRIC AND PREVENT SLEPPAGE. GEOTEVILE FABRIC SHALL MEET THE REQUIREMENTS OF WIDOT STANDARD SPECIFICATION 628 FOR PREASSEMBLED SILT FENCE, FURTHSHEED IN A CONTINUOUS ROLL IN ORDER TO AVOID SPICES, GEOTEXTHE FABRIC SHALL BE UNIFORM IN TEXTURE AND APPEARANCE AND HAVE NO DEFECTS, FLAMS, OR TEARS. THE FABRIC SHALL CONTAIN SUFFICIENT ULTRAVIOLET (UV) RAY INHIBITOR AND STABILIZED TO PROVIDE A MINIMUM TWO-YEAR SERVICE LIFE OUTDOORS. FABRIC COLOR SHALL BE INTERNATIONAL GRANGE. IN HIGH TRAFFIC AREAS CONTRACTOR SHALL REINFORCE SILT FENCE WITH WIRE FERCING AND METAL POSTS. EXTREME CIRCUMSTANCES WILL REQUIRE TEMPORARY CONCRETE MEDIAN SECTIONS TO SUPPORT MATERIAL BACKING OF STOCK PILED SOID OR FILLED EARTH.

INSTALL SILTERICE, OR OTHER EFFECTIVE SEDIMENT CONTROLS, AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES CONTAINING MORE THAN 10 CUBIC YARDS OF MATERIAL SUCH THAT THE DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN B M (25 FEET) FROM THE TOE OF THE PILE TO A ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS, CONTROL EROSIT FROM ALL STOCKPILES BY PLACING SILT FENCE BARRIERS AROUND THE PILES. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN B M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEVER INLETS WITH SILT SACKS OR STAKED SILTFENCE. DO NOT STOCK PILE SOIL OR MATERIAL NEAR CATCH BASINS OR DRAINAGE WAYS.

STONE TRACKING PAD (TEMPORARY ROCK CONSTRUCTION ENTRANCE:

SIONE IRACKING PAD (TEMPORARY ROCK CONSTRUCTION ENTRANCE: INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1057, USE 3INCH TO 6" DIAMETER ROCK. PLACE THE AGGREGATE IN A LAYER AT LEAST 300 MM (12 INCHES) THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 15 M (50 FEET) INTO THE CONSTRUCTION ZONE. USE A WIDDT TYPE R PERMEABLE GEOTEXTHE FROME MATERIAL BENEATH THE AGGREGATE IN DROSE TO PREVENT MICRATION OF SOIL INTO THE ROCK FROM BELOW. MAINTAIN THE ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED ROADWAYS. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS REQUIRED. CLOSE ENTRANCES NOT PROTECTED BY TEMPORARY ROCK CONSTRUCTION ENTRANCES TO ALL CONSTRUCTION TRAFFIC.

TEMPORARY SEDIMENT BASINS
IN THE CONSTRUCTION PROCESS OR IF NOTED ON THE PLAN THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASIN(S). AS PER GENERAL RULE THE SEDIMENT BASIN SHALL BE SIZED APPROPRIATELY TO A CAPACITY RELATED TO THE ORINIAGE AREA ON A RATIO OF JEDD CUBIC FEET PER ACRE OF DRAINAGE ZONE EMBERING THE BASIN. BASINS SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT, MATERIAL REMOVED AND STABILIZED. IF CHANGES TO THE BASIN ARE MADE, DOCUMENT AND AMEND THE SWPP PLAN.

IF DEWATERING IS REQUIRED AND SUMP PUMPS ARE USED, ALL PUMPED WATER MUST BE DISCHARGED THROUGH AN EROSION CONTROL IF DEMALERING IS REQUIRED AND SOME FORMER ARE OSED, ALL FORMED WATER MUST BE DISCIPAGED THROUGH AN EXCISION CONTROL.

FACILITY (TEMPORARY SEDIMENTATION BASIN, GRIT CHAMBER, SAND FILTER, UPFLOW CHAMBER, HYDRO-CYCLONE, SWIRL CONCENTRATOR,

DEWATERING BAG OR OTHER APPROPRIATE FACILITY) PRIOR TO LEAVING THE CONSTRUCTION SITE. PROPER ENERGY DISSIPATION MUST BE.

PROVIDED AT THE OUTLET OF THE PUMP SYSTEM. DISCHARGE CLEAR WATER ONLY. TO ACHIEVE BETTER SEPARATIONS OF THE MATERIAL

SUSPENDED IN THE WATER A BIODEGRADABLE NOT TOXIC FLOCKULANT AGENT MAY BE REQUIRED.

PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

INSPECTIONS-MAINTENANCE-DAILY RECORD-AMEND THE SWPP PLAN:

CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS ON A <u>DAILY BASIS</u> UNTIL LAND—DISTURBING ACTIVITY HAS CEASED. THEREAFTER, INSPECT AT LEAST ON A <u>WEEKLY BASIS</u> UNTIL VEGETATIVE COVER IS ESTABILISHED. INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS WITHIN <u>24. HOURS</u> AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24. HOURS. REMOVE ACCUMULATED SEDIMENT DEPOSITS FROM BEHIND EROSION AND SEDIMENT CONTROL DEVICES AS NEEDED. DO NOT ALLOW SEDIMENT TO ACCUMULATE TO A DEPTH OF MORE THAN ONE—THIRD OF THE HEIGHT OF THE EROSION AND SEDIMENT CONTROL DEVICES. IMMEDIATELY REPUCE DETERIORATED, DAWAGED, ROTTED, OR MISSING EROSION CONTROL DEVICES. DOCUMENT INSPECTIONS AND DATES OF RAINFALL EVENTS. MAINTAIN A WRITTEN LOG OF ALL INSPECTION, MAINTENANCE, AND REPAIR ACTIVITIES RELATED TO EROSION AND SEDIMENT CONTROL FACILITIES. ALL NON-FUNCTIONAL BMPS MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPS WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

ALL INSPECTIONS AND MAINTENANCE ACTIVITIES MUST BE RECORDED IN WRITING DAILY IN A DETAILED RECORD(NOTES, PHOTOGRAPHS, SKETCHES, ETC, AND KEPT WITH THE SWPPP BY THE CONTRACTOR.

CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO ADJACENT PROPERTY, PAVEMENT AREAS, SIDEWALKS, STREETS, AND ALLEYS. REMOVAL SHALL BE ON A <u>DALLY BASIS</u> THROUGHOUT THE DURATION OF THE CONSTRUCTION AND/OR AS DIRECTED BY THE CITY. CLEAN PAVEM ROADWAYS BY SHOVELING OR WET-SWEEPING. DO NOT DRY SWEEP. IF NECESSARY, SCRAPE PAVED SURFACES IN GROER TO LOOSEN COMPACTED SEDIMENT MATERIAL PRIOR TO SWEEPING. HALL SEDIMENT MATERIAL TO A SUITABLE DISPOSAL AREA. STREET WASHING IS ALLOWED DALY AFTER SEDIMENT HAS BEEN REMOVED BY SHOVELING OR SWEEPING.

ALL SOIL HAULED FROM THE SITE SHALL BE ACCOUNTED FOR AND DOCUMENTED IN THE SWPP BY THE CONTRACTOR. ITS FINAL DESTINATION AND HOW THE SOIL HAS BEEN STORED AND STABILIZED.

CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED (HARD—SURFACED AREAS PAVED AND VEGETATION ESTABLISHED IN GREENSPACE). REPAIR ANY RUTTING, GULLY FORMATION, OR WASHOUTS. AFTER FINAL ESTABLISHMENT OF PERMANENT STABILIZATION, REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, AND NONBIODERGADABLE EROSION AND SEDIMENT CONTROL DEVICES AND ANY ACCUMULATED SEMENTS. DISPOSE—OF OFF SITE. RESTORE PERMANENT SEDIMENTATION BASINS TO THEIR DESIGN CONDITION IMMEDIATELY FOLLOWING STABILIZATION OF THE SITE.

CONTRACTOR SHALL CLEAN SEDIMENTATION BASINS, STORM SEWER CATCH BASINS, DITCHES, AND OTHER DRAINAGE FACILITIES AS REQUIRED IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 OF THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS, OR AS SOON AS FIELD COMPUTIONS ALLOW ACCESS.

CONTRACTOR SHALL INSPECT INFILTRATION AREAS TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS ACCUMULATING. REMOVE SEDIMENT IMMEDIATELY ENSURING SUBSOILS ARE NOT COMPACTED BY MACHINERY.

EVERY VEHICLE SHALL NOT TRACK MATERIAL OFF-SITE. CLEAN THE WHEELS OF CONSTRUCTION VEHICLES IN ORDER TO REMOVE SOILS BEFORE THE VEHICLES LEAVE THE CONSTRUCTION SITE. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SCUIMENT TRAPPROVED SCUIMENT TRAPPROVED

CONTRACTOR SHALL REINFORCE EROSION CONTROL FACILITIES IN AREAS WHERE CONCENTRATED FLOWS OCCUR (SUCH AS SWALES, DITCHES, AND AREAS IN FRONT OF CULVERTS AND CATCH BASINS) BY BACKING THEM WITH SNOW FENCE. WHEE MESH, OR STIFF PLASTIC MESH REINFORCINGENT UNTIL PAVING AND TURE FSTABLISHMENT OPERATIONS HAVE BEEN COMPLETED. OSETS FOR THE REINFORCING FENCE SHALL BE 100 MM (4 INCH) DIAMETER WOOD POSTS, OR STANDARD STEEL FENCE POSTS WEIGHING NOT LESS THAN 0.59 KG (1.3 LBS) PER LINEAL FOOT, WITH A MINIMUM LENGTH OF 762 MM (30 INCHES) PLUS BURIAL DEPTH. SPACE POSTS FOR THE REINFORCING FENCE AT INTERVALS OF 3 M (10 FEET) OR LESS. DRIVE POSTS FOR THE REINFORCING FENCE AT LEAST 0.6 M (2 FEET) INTO THE GROUND.

GENERAL SOIL STABILIZATION:

ESTABLISHMENT OF LAWN, PRAIRIE/WILDFLOWER AND/OR PLANT BED AREAS WILL BE NOTED ON THE LANDSCAPE PLAN

TO ENSURE STABILIZATION OF SOILS. RESTAKING OF SOD WHERE APPLICABLE, PROPER WATERING AND MULCH MAINTENANCE WILL BE REQUIRED. INSPECT SEEDED OR SODDED AREAS ON A TIMELY DAY-TO-DAY BASIS. IN THE EVENT OF A SEEDING FAILURE, RESEED AND REMULCH THE AREAS WHERE THE ORIGINAL SEED HAS FAILED TO GROW AND PERFORM ADDITIONAL WATERING AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER. SPECIAL MAINTENANCE PROVISIONS FOR WILD AND PRAIRIE GRASS SEEDED AREAS AS NOTED IN THE LANDSCAPE PLAN. PROMPHY REPLACE ALL SOD THAT DRIES OUT TO THE POINT WHERE IT IS PRESUMED DEAD AND ALL SOD THAT HAS BEEN DAMAGED, DISPLACED, WEAKENED, OR HEAVILY INFESTED WITH WEEDS AT NO ADDITIONAL COST TO THE OWNER.

IN AREAS TO BE TEMPORARILY SEEDED, USE INTRODUCED SEED MIXTURE EQUIVALENT TO WIDOT #10 OR #20. APPLY SEED MIXTURE PER WIDOT 630.3.3.5. INCORPORATE A FERTILIZER (SLOW RELEASE TYPE WITH 10 WERE RESIDUAL), CONSISTING OF 23-0-30 (XR.P—K) INTO THE SOIL AT AN APPLICATION RATE OF 224 KG PER HECTARE (200 LBS PER ACRE) BY DISKING PRIOR TO SEEDING. IN PROBLEMATIC AREAS IT MAY BE NECESSARY TO USE A LOW PHOSPHORUS ORGANIC FERTILIZER IN CASES WHERE SEEDS MAY NOT GERMINATE. IF THIS IS THE CASE, SEED AND FERTILIZER SHALL BE DISKED INTO THE SURFACE AND MULCHED PROPERLY TO ENSURE GERMINATION AND UPTAKE OF THE PHOSPHORUS BY THE SEED.

TO ENSURE ADEQUATE GERMINATION OF THE SEED THE WORK WILL BE PERFORMED AS FOLLOWS:
SPRING—FROM APRIL 1 THROUGH MAY 15.
FALL—FROM ADGUST 15 TO SEPTEMBER 20.
AFTER SEPTEMBER 20, WAIT UNTIL OCTOBER 30 TO PERFORM DORMANT SEEDING. DORMANT SEEDING WILL ONLY BE ALLOWED IF THE
MAXIMUM SOIL TEMPERATURE AT A DEPTH OF 25 MM (1 INCH) DOES NOT EXCEED 4.44 DEGREES C (40 DEGREES F) IN ORDER TO
PREVENT GERMINATION.

IN SEEDED AREAS WITH SLOPES STEEPER THAN 3:1 AND LENGTHS LESS THAN 15 METERS (50 FEET), INSTALL BIODEGRADABLE EROSION CONTROL BILANKETS UNIFORMLY OVER THE SOLI SURFACE BY HAND WITHIN 24 HOURS AFTER SEEDING IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. USE WIDDO URBAN TYPE B OR OWNER APPROVED EQUAL.

IN AREAS WHERE IRRIGATION IS TO BE INSTALLED, CONTRACTOR SHALL WORK IN ZONES TO FINISH GRADE AND INSTALL THE SYSTEM IN ZONES. NOTE— EROSION CONTROL MEASURES SHALL REMAIN IN PLACE LINTLE SOILS HAVE BEEN STABILIZED WITH SOD OR SEEDED AREAS THAT EXHIBIT MINIMUM OF 70X LAWN VEGETATIVE COVERAGE. IF SILT FENCE HAS TO BE REMOVED TO INSTALL THE IRRIGATION SYSTEM, IT SHALL BE REINSTALLED AT THE END OF EACH WORK DAY OR USE BIO ROLLS TO PROVIDE PROTECTION DURING THE INSTALLATION PROCESS UNTIL LAWN AREAS HAVE SOD AND/OR PLANT BEDS ARE MULCHED.

IN AREAS TO BE SODDED, SILT FENCE CAN BE REMOVED SHORT TERM FOR WORKING, BUT EXPOSED SOIL AREAS SHALL BE SODDED OR EROSION CONTROL MEASURES SHALL BE REINSTALLED AT THE END OF EACH WORK DAY.

NOTE: THE PROJECT'S LANDSCAPE PLAN IS PART OF THE SWPP FOR SOIL STABILIZATION. REFERENCES SHALL BE MADE TO THE APPROVED LANDSCAPE PLAN. AMENDMENTS TO THE LANDSCAPE PLAN SHALL BE APPROVED BY THE OWNER AND DOCUMENTED AS PART OF THE SWPP



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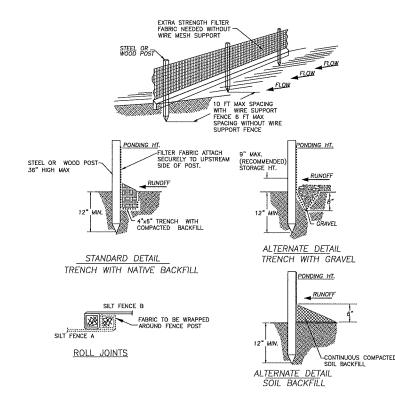
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SILT FENCE INSTALLATION DETAILS

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18".

THE ENDS OF THE FENCE SHALL BE TURNED UPHILL

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE

SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM. THE REMOVED SEDIMENT SHALL BE VEGETATED OR OTHERWISE STABILIZED.

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END SECTION WIDTH

MEDIUM RIP-RAP

NOTE: RIP-RAP SHALL BE A MINIMUM OF 2 C.Y. PER ENDWALL.

HEAVY RIP-RAP

NATIVE SOIL

ALL EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED PER WDNR STANDARDS

INSTALLATION NOTES:

TYPE C

- . TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE,
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30°, MEASURED FROM THE BOTTOM
 OF THE INLET TO THE TOP OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON WIS DOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10* AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL
- (2) FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18^{\bullet} OF FABRIC IS WRAPPEI AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HIGHT OF THE CURB BOX OPENING.
- (3) FLAP POCKET SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2" x 4".

VEHICLE TRACKING CONTROL PAD

PLAN VIEW IMPERMEABLE LINER (1DMM PLASTIC, RUBBER OR ENGINEERED CLAY) 2'-0" MIN. COMPACTED EMBANKMENT MATERIAL, TYP. 8'x8' MiN. CONTAIN WASTE CONCRETE TYPICAL SECTION

CONCRETE WASHOUT AREA INSTALLATION NOTES

- THE CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE
- VEHICLE TRACKING CONTROL PAD IS REQ'D AT THE ACCESS POINT(S).
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA(S), AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREAS TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION

CONCRETE WASHOUT AREA MAINTENANCE NOTES

- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN CONCRETE WASHOUT AREA(S) IS REMOVED, THE DISTURBED AREA SHALL BE STABILIZED PER SITE EROSION CONTROL MEASURES.
- INSPECT WEEKLY AND DURING AND AFTER ALL STORM EVENTS. CLEAN-OUT OR COVER WASHOUT AREA PRIOR TO PREDICTED STORM EVENTS TO PREVENT OVER-FLOW.



CONCRETE WASHOUT AREA

EXISTING ROADWAY NOTE: MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT

FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH ROCK



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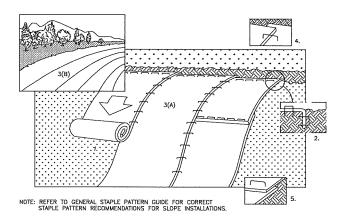
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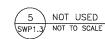


- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- 6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION CONTROL MAP - SLOPE INSTALLATION

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GENERAL NOTES

- DRAWINGS ARE INTENDED TO BE PRINTED ON 22 X 34 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIEY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING COPYING OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS
- 2. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION, NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY
- 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 4. GEOTECHNICAL SOILS REPORT RECOMMENDATIONS SHALL BE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID.
- 5. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS. AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK, SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION
- 6. THE CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES. ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION, REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACEN OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPON LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE
- 10. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS, ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PLIBLIC RIGHTS OF WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- 13. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.
- 14. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL
- 15. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH
- 16 CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL
- 18. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY
- 19. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE
- 20. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBL ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK
- 21. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED

- 22. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM TH PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE
- 24. THE CLEANING OF CONCRETE FOLIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS, THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- 25. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS

GENERAL LANDSCAPE NOTES

- 1. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD. SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED
- 2. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES, AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION, ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE, OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- 4. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION),
- 5. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
- 6. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS,
- 7. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- 8. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS.
 PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH
- 9. ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
- 10. CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES
- 12. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO
- 13. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS, SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS HERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- 15. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL
- 16. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS.
 MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%: MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S
- 17. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER

GENERAL LANDSCAPE NOTES CONTINUED

- 18. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST OR AS NOTED IN THE TECHNICAL SPECIFICATIONS,
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- 20. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES OF OSER THAN 6' FROM A SIDEWALK STREET OR DRIVE LANE, EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION
- 21. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S
- 22. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE FND OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE, OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO
- 23. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID, IF GEO-GRID MUST BE CUT TO INSTALL TREES. APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS, OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS
- 25. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION. ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO EMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- 26. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS
- 27. WHEN PLANTER POTS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2
 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED, UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER, IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S), CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVING PRIOR TO PLACEMENT OF PAVEMENT
- 28. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING REDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND
- 29. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE

CITY OF MADISON LANDSCAPE REQUIREMENTS

DEVELOPED AREA LANDSCAPE DISTRIBUTION: FIVE LANDSCAPE POINTS PER 300 SF

TOTAL SQUARE FOOTAGE OF DEVELOPED AREA = 41,970 SF TOTAL LANDSCAPE POINTS REQUIRED = 700 POINTS TOTAL LANDSCAPE POINTS PROVIDED = 1,762

DEVELOPMENT FRONTAGE LANDSCAPE:

1 OVERSTORY DECIDUOUS TREE AND FIVE SHRUBS PER 30 LF OF LOT FRONTAGE, 2 RNAMENTAL AND 2 EVERGREEN TREES MAY BE USED IN PLACE OF 1 OVERSTORY

KILPATRICK LN. 217 LF REQUIRED LANDSCAPE: 7 TREES, 35 SHRUBS PROVIDED LANDSCAPE: 8 TREES (4 ORNAMENTAL TREES COUNTED AS 2 TREES) 63

S. SPRECHER RD. 300 LF

REQUIRED LANDSCAPE: 10 TREES 50 SHRUBS PROVIDED LANDSCAPE: 4 TREES AND 88 SHRUBS

*RETAINING WALLS LIMIT SPACE TO PROVIDE THE REQUIRED TREES.

WEST LOT FRONTAGE: 150 LF

REQUIRED LANDSCAPE: 5 TREES, 41 SHRUBS PROVIDED LANDSCAPE: 5.5 TREES, (5 EVERGREEN TREES COUNTED AS 2.5 TREES) 26

SOUTH LOT FRONTAGE: 175 LF

REQUIRED LANDSCAPE: 6 TREES, 30 SHRUBS
PROVIDED LANDSCAPE: 7 TREES (10 EVERGREEN TREES COUNTED AS 5 TREES) 36

INTERIOR PARKING LOT LANDSCAPING: 8% OF PARKING LOT DEVOTED TO INTERIOR PLANTING ISLANDS, PENINSULAS OR

PROVIDED PARKING LOT: 18,580 SF

REQUIRED LANDSCAPE: 1 487 SE PROVIDED LANDSCAPE: 2,180 SF

1 DECIDUOUS CANOPY TREE FOR EVERY 160 SF OF REQUIRED LANDSCAPE AREA. REQUIRED TREES: 1487 SF/160 = 10 CANOPY TREES PROVIDED TREES: 8 TREES (4 ORNAMENTAL TREES COUNTED AS 2 TREES)*

*RETAINING WALLS AND SITE UTILITIES LIMIT THE SPACE TO PROVIDE THE REQUIRED

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE	COMMENTS	POINT VALUE PER PLANT	
CAN	OPY 1	REES						H
2	GB	Ginkgo biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	2 1/2" Cal.	50'h x 40'w	B&B (MALE ONLY)	35	H
5	QR	Quercus rubra	NORTHERN RED OAK	2 1/2" Cal.	60'h x 60'w	B&B	35	H
5	GT	Gleditsia tricanthos var, inermis 'Skycole'	SKYLINE HONEYLOCUST	2 1/2" Cal,	50'h x 20'w	B&B	35	H
EVE	RGRE	EN TREES			1			H
8	AB	T, occidentalis 'Brandon'	BRANDON ARBORVITAE	4'	12'h x 6'w	B&B	10	H
8	JC	Juniperus scopulorum 'Skyrocket'	SKYROCKET JUNIPER	4'	15'h x 3'w	B&B	10	r
ORN	AMEN	ITAL TREES			<u> </u>	L		r
3	MP	Malus x 'Prairifire'	PRAIRIFIRE CRABAPPLE	1 1/2" Cal.	20'h x 20'w	B&B	15	H
1	РМ	Prunus maackii	AMUR CHOCKCHERRY	1 1/2" Cal.	25'h x 20'w	B&B	15	r
DEC	IDUOL	JS SHRUBS		L		L		r
2'-4'	SPRE	AD				***************************************		r
5	SB	Spiraea betulifolia 'TorGold'	GLOW GIRL SPIREA	18" Ht.	2'h x 4'w	#5 CONT, (4' O.C.)	3	-
5'-7'	SPRE	AD	1			L		t
6	CP	Cotoneaster horizontalis var. perpusilus	ROCK COTONEASTER	6" Ht.	1.5'h x 5'w	#5 CONT. (6' O.C.)	3	r
4	FM	Forsythia x intermedia 'Mindor'	SHOW OFF FORSYTHIA	24" Ht.	6'h x 6'w	#5 CONT, (6' O.C.)	3	H
15	BL	Syringa x 'Bloomerang'	BLOOMERAGNE LILAC	24" Ht.	4'h x 4'w	#5 CONT. (5' O.C.)	3	r
7' + 5	SPRE	AD.		·	4	<u> </u>		r
6	AG	Amelanchier x grandiflora	AUTUMN BRILLIANCE SERVICEBERRY	36" Ht.	15'h x 10'	CLUMP #15 CONT.	3	r
12	EA	Euonymus alatus 'Compactus'	DWARF-WINGED BURNING BUSH	36" Ht.	9'h x 10w'	#5 CONT. (8' O.C.)	3	H
6	RA	Rhus aromatica	FRAGRANT SUMAC	24" Ht.	5'h x 8'w	#5 CONT. (7' O.C.)	3	H
5	VP	Virburnum prunifolium	BLACKHAW VIBURNUM	24" Ht.	12'h x 12'w	#5 CONT. (10' O.C.)	3	H
EVE	RGRE	EN SHRUBS			1		-	r
2'-4'	SPRE	AD		***************************************				-
25	JN	Juniperus procumbens 'Nana'	DWARF JAPANESE GARDEN JUNIPER	12" Ht,	1.5'h x 4'w	#5 CONT. (4' O.C.)	4	-
5'-7'	SPRE	AD			L			۲
10	JP	Juniperus horizontalis 'Plumosa'	ANDORRA JUNIPER	6" Ht,	18"h x 5'w	#5 CONT. (5' O.C.)	4	۲
23	BR	Juniperus horizontalis 'Wiltoni'	BLUE RUG JUNIPER	6" Ht.	6"h x 5'w	#5 CONT. (5' O.C.)		r
7' + 8	SPREA	/D	1		L	,		r
4	RC	Rhododendron catawbiense 'Album'	WHITE CATAWBA RHODODENDRON	24" Ht.	6'h x 7w	#5 CONT. (6' O.C.)	4	-
ORN		ITAL GRASSES	The state of the s			, , , , ,		-
31	ВА	Bouteloua gracilis 'blonde ambition'	BLONDE AMBITION BLUE GRAMA GRASS	8" Ht.	36" Ht.	#1 CONT, (3' O.C.)	2	H
92	PS	Panicum virgatum 'shenandoah'	SHENANDOAH SWITCH GRASS	8" Ht.	48" Ht.	#1 CONT. (6' O.C.)	2	-
PERI	ENNIA	LS AND GROUND COVERS						H
146	вв	Arctostaphylos uva-ursi	BEARBERRY	6" Ht,	6" Ht.	4" POT (6" O.C.)	2	H
8	вм	Asclepia tuberosa	BUTTERFLYWEED	12" Ht.	24" Ht.	3* POT (18* O.C.)	2	H
24	PC	Dalea purpurea	PURPLE PRAIRIE CLOVER	12" Ht.	36" Ht.	3" POT (8" O.C.)	2	\vdash





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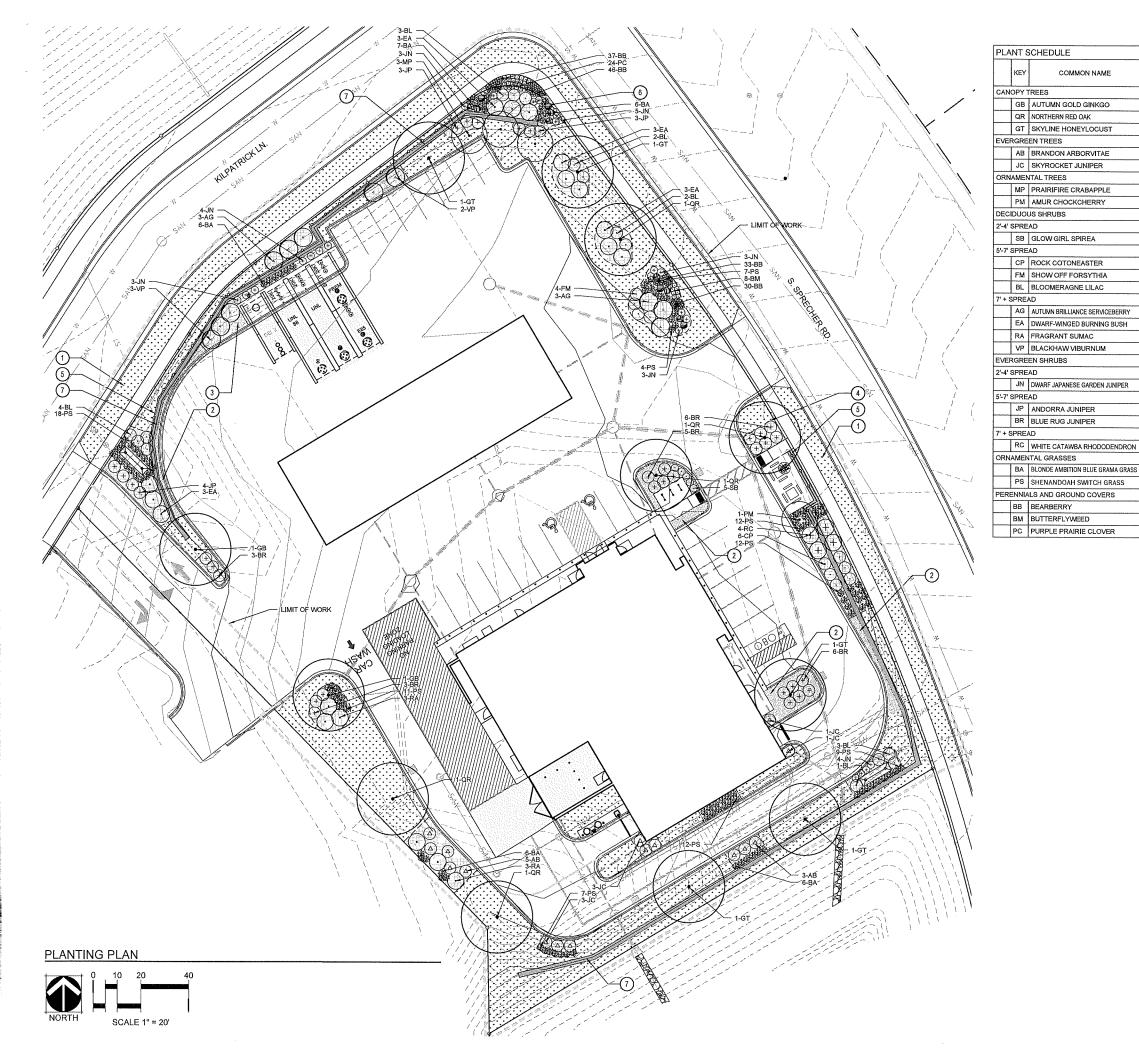
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SHEET L1.0

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUNG FACILITIES BEFORE YOU **CALL DIGGERS HOTLINE** 1-800-242-8511 **TOLL FREE** 

WIS STATUTE 182 0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



### PLANTING PLAN CONSTRUCTION NOTES

- SOD SHALL BE TFKB PROVIDED BY PAUL'S TURF AND TREE NURSERY SOD PRODUCTS (608.655.3600) 器 MIX OF TALL FESCUE AND KENTUCKY BLUEGRASS OR APPROVED EQUAL
- 2. WINONA RIVER ROCK 1-1/2" RIVER ROCK MULCH PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
- PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC, NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB
- 4. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
- 4' AMERISTAR 3 RAIL ECHELON MAJESTIC FENCE. COLOR: BLACK, REFER DETAIL ON L1.2
- 6. 36" TO 48" LANDSCAPE BOULDERS PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT PHOTO SAMPLE FOR LANDSCAPE ARCHITECT APPROVAL.
- 7. BLOCK RETAINING WALL, REFER TO DETAIL ON L1.2.
- 8. REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION,

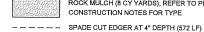
### LANDSCAPE LEGEND



SOD (13,542 SF), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE



WOOD MULCH (46 CY - DOES NOT INCLUDE STAND-ALONE TREES OUTSIDE SHRUB BED AREAS), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE



ROCK MULCH (8 CY YARDS), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE

FENCE (255 LF)



DECIDUOUS CANOPY TREE



ORNAMENTAL TREE



DECIDUOUS SHRUBS EVERGREEN SHRUBS

<del>(+)</del>

UPRIGHT EVERGREEN TREES

(A)

ORNAMENTAL GRASSES

LANDSCAPE BOULDER (11 TOTAL)

PERENNIALS

Kwik Trip



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



#155 Ш STORI UTH SPRECHER ROA ADISON, WISCONSIN ONVENIENCE

PLAN

NDSCAPE

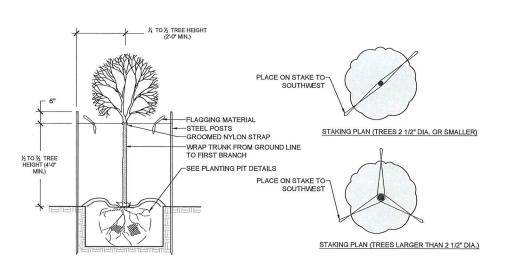
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PROJ. NO. 118.0198.30 JULY 24, 2019

**CALL DIGGERS HOTLINE** 1-800-242-8511 TOLL FREE

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



-ROOT COLLAR AND ROOT FLARE MUST BE VISIBLE AT FINISH GRADE. DO NOT PLACE MULCH WITHIN 2" OF TRUNK. ROOT COLLAR IS NOT ALWAYS LOCATED AT TOP OF ROOT BALL. CONTRACTOR TO VERIFY LOCATION OF ROOT COLLAR AND ROOT FLARE PRIOR TO INSTALLATION. -MINIMUM 6' DIAMETER, 3" DEPTH MULCH RING —3" HEIGHT WATER RETENTION BERM BEYOND EDGE OF ROOT BALL -FINISH GRADE -SCARIFY SIDES OF PIT DEPTH OF ROOT BALL OR CONTAINER SYSTEM -REMOVE ALL NON-BIODEGRADABLE MATERIAL, CONTAINERS OR OTHER MATERIAL THAT WILL IMPEDE THE GROWTH OF THE PLANT MATERIAL. REMOVE ALL TWINE. FOR BALLED AND BURLAP (B&B) PLANTS REMOVE MINIMUM TOP 1/2 OF BURLAP AND WIRE BASKET MINIMUM. 3X ROOT BALL MINIMUM FOR TREES 2X ROOT BALL -PLACE ROOT BALL ON UNDISTURBED SOIL MINIMUM FOR SHRUBS

TYPICAL PLANTING PIT DETAIL

-2:1 MAXIMUM TRANSITION SLOPE. BEGIN TRANSITION AT EDGE OF ROOT BALL EXISTING SLOPE TREE OR SHRUB -ROOT COLLAR AND ROOT FLARE MUST BE VISIBLE AT FINISH GRADE DO NOT PLACE MULICH WITHIN 2" OF TRUNK. ROOT COLLAR IS NOT ALWAYS
LOCATED AT TOP OF ROOTBALL. CONTRACTOR TO VERIFY LOCATION OF ROOT COLLAR AND ROOT FLARE PRIOR TO INSTALLATION. MINIMUM 6' DIAMETER AND 3" DEPTH MULCH RING —3" HEIGHT WATER RETENTION BERM BEYOND EDGE OF ROOT BALL FINISH GRADE DEPTH OF ROOT BALL OR CONTAINER ROOT SYSTEM -SCARIFY SIDES OF PIT -REMOVE ALL NON-BIODEGRADABI E MATERIAL CONTAINERS OR OTHER MATERIAL THAT WILL IMPEDE THE GROWTH OF THE PLANT MATERIAL. REMOVE ALL 3X ROOT BALL MINIMUM FOR TREES 2X ROOT BALL TWINE. FOR BALLED AND BURLAP (B&B) PLANTS MINIMUM FOR SHRUBS REMOVE MINIMUM TOP 1/2 OF BURLAP AND WIRE BASKET MINIMUM. PLACE ROOT BALL ON UNDISTURBED SOIL SLOPE PLANTING PIT DETAIL

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#155 Ш STOR

SOUTH SPRECHER ROAD MADISON, WISCONSIN

ANN PROJ. NO. 118.0198.30 JULY 24, 2019

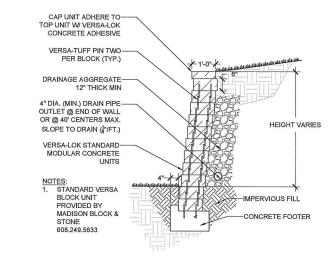
DECIDUOUS TREE STAKING

PLANTING PIT DETAILS NO SCALE

NOTES: SUPPLIER: AMERISTAR FENCE TYPE: 3 RAIL, ECHELON MAJESTIC COLOR: BLACK CONNECTION: EMBEDDED IN CONCRETE FOOTER, REFER TO MANUFACTURER SPECIFICATIONS

4' FENCE

SCALE: 1/2" = 1'-0"



TYPICAL SECTION - CMU BLOCK RETAINING WALL

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUN FACILITIES BEFORE YOU DIG IN WISCONSIN

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WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

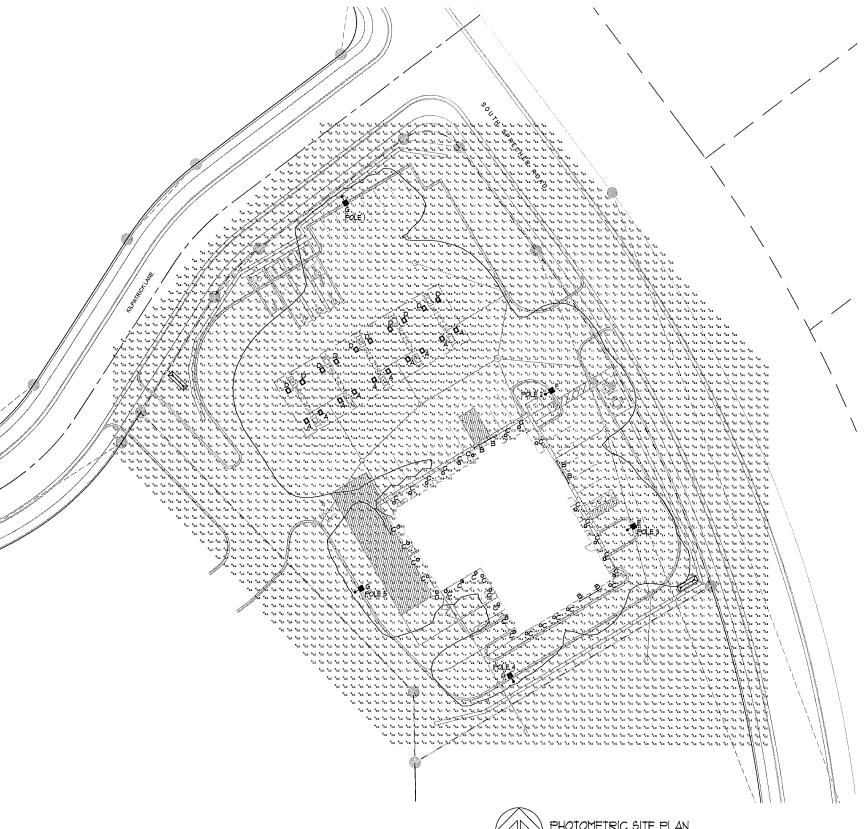
DETAILS

NO SCALE

CONVENIENCE ANDSCAPE

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SCALE		NOTE

SHEET L1.2





ON THIS SHEET, FOOTCANDLES ARE SHOWN CALCULATED AT 4" ABOVE GRADE LEVEL. CONTOUR REPRESENTS THE POINT AT WHICH Ø5 FOOTCANDLES OCCURS AT 4" ABOVE GRADE.

### FIXTURE QUANTITIES

F - I G - 3

PROVIDE (5) 16' POLES.

### FIXTURE SYMBOLS:

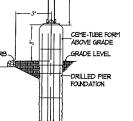
LED LIGHT MOUNTED UNDER FUEL CANOPY

RECESSED LED DOUNLIGHT

POLE MOUNTED LED FIXTURE

### FIXTURE TYPES:

- A LSI LIGHTING: SCV-LED-23L-SCFT-UNV-DIM-50-UHT FIXTURES SHOUN ARE DIMMED DOWN BY 20%. MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING AT STORE FRONT.
- B LED STRIP LIGHT MOUNTED IN GABLE LITHONIA -TZLIN-LS6 FIXTURES SHOUN ARE DIMMED DOWN BY 15%,
- C RECESSED LED DOUNLIGHT GOTHAM EVO-35/30-8AR-WD-120-TRW
- D LSI LIGHTING: SCV-LED-I5L-SC-UNV-DIM-50-WHT FIXTURES SHOWN ARE DIMMED DOWN BY 10%.
- E LSI LIGHTING: SLM-LED-9L-SIL-2-UNY-50-10CRI-UHT
- F L61 LIGHTING: SLM-LED-SL-SIL-FT-UNY-50-70CRI-WHT G - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNY-50-70CRI-WHT-IL



LOT LIGHT ELEVATION DETAIL NOT TO SCALE

Milwaukee, WI 53214-1470 414 / 259 1500 414 / 259 0037 fax





KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



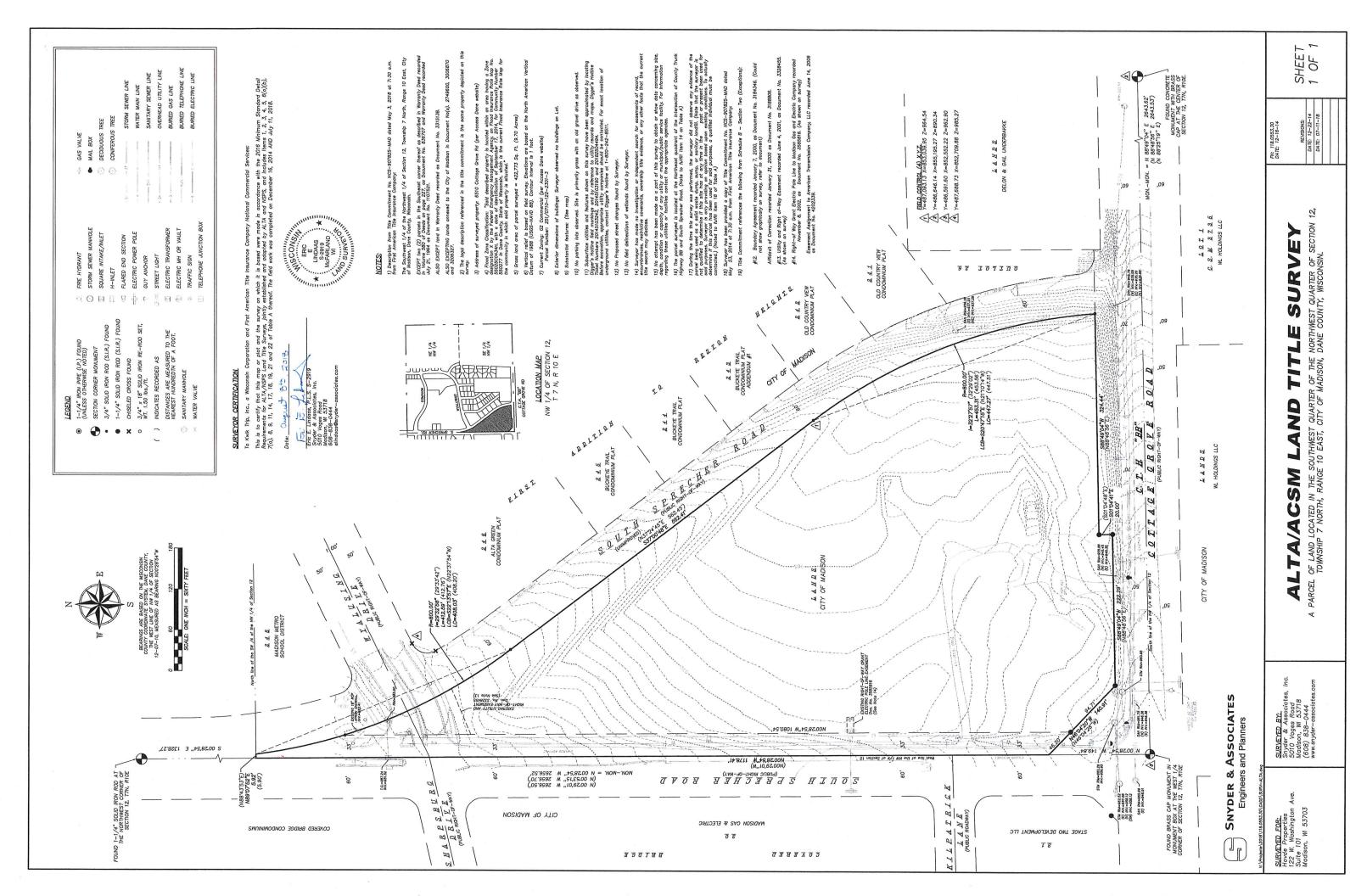


SITE PLAN #1; STORE ; ONVENIENCE HOTOMETRIC

<u> </u>	$\circ$	S ∑
DATE	DESCRIPTION	
<del></del>		
<del></del>		
DRAWN BY		AMM

OUTH SPRECHER ROAD ADISON, WISCONSIN

SCALE NOTED PROJ. NO. 118.0198.30 DATE JULY 17, 2019 SHEET E1A





PLANT SCHEDULE COMMON NAME CANOPY TREES GB AUTUMN GOLD GINKGO QR NORTHERN RED OAK GT SKYLINE HONEYLOCUST EVERGREEN TREES AB BRANDON ARBORVITAE JC SKYROCKET JUNIPER ORNAMENTAL TREES MP PRAIRIFIRE CRABAPPLE PM AMUR CHOCKCHERRY DECIDUOUS SHRUBS 2'-4' SPREAD SB GLOW GIRL SPIREA 5'-7' SPREAD CP ROCK COTONEASTER FM SHOW OFF FORSYTHIA BL BLOOMERAGNE LILAC 7' + SPREAD AG AUTUMN BRILLIANCE SERVICEBERRY EA DWARF-WINGED BURNING BUSH RA FRAGRANT SUMAC VP BLACKHAW VIBURNUM EVERGREEN SHRUBS 2'-4' SPREAD JN DWARF JAPANESE GARDEN JUNIPER 5'-7' SPREAD JP ANDORRA JUNIPER BR BLUE RUG JUNIPER

### PLANTING PLAN CONSTRUCTION NOTES

- 1. SOD SHALL BE TFKB PROVIDED BY PAUL'S TURF AND TREE NURSERY SOD PRODUCTS (608.655.3600) SMIX OF TALL FESCUE AND KENTUCKY BLUEGRASS OR APPROVED EQUAL
- WINONA RIVER ROCK 1-1/2" RIVER ROCK MULCH PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT SAMPLE FOR APPROVAL.
- 3. PROVIDE 3" DEPTH SHREDDED HARDWOOD MUI CH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC, NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB.
- MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT
   4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
- 4' AMERISTAR 3 RAIL ECHELON MAJESTIC FENCE. COLOR: BLACK, REFER DETAIL ON L1.2
- 6. 36" TO 48" LANDSCAPE BOULDERS PROVIDED BY MILESTONE MATERIALS OR APPROVED EQUAL. SUBMIT PHOTO SAMPLE FOR LANDSCAPE ARCHITECT APPROVAL.
- 7. BLOCK RETAINING WALL, REFER TO DETAIL ON L1.2.
- 8. REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION.

### LANDSCAPE LEGEND

SOD (13,542 SF), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE WOOD MULCH (46 CY - DOES NOT INCLUDE STAND-ALONE TREES OUTSIDE SHRUB BED AREAS), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE ROCK MULCH (8 CY YARDS), REFER TO PLANTING PLAN CONSTRUCTION NOTES FOR TYPE

SPADE CUT EDGER AT 4" DEPTH (572 LF) FENCE (255 LF)

DECIDUOUS CANOPY TREE

ORNAMENTAL TREE

DECIDUOUS SHRUBS (+)° EVERGREEN SHRUBS

> UPRIGHT EVERGREEN TREES ORNAMENTAL GRASSES

LANDSCAPE BOULDER (11 TOTAL)

PERENNIALS





KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



#1 STORE OUTH SPRECHER ROAD ADISON, WISCONSIN ONVENIENCE

ANDSCAPE PLAN

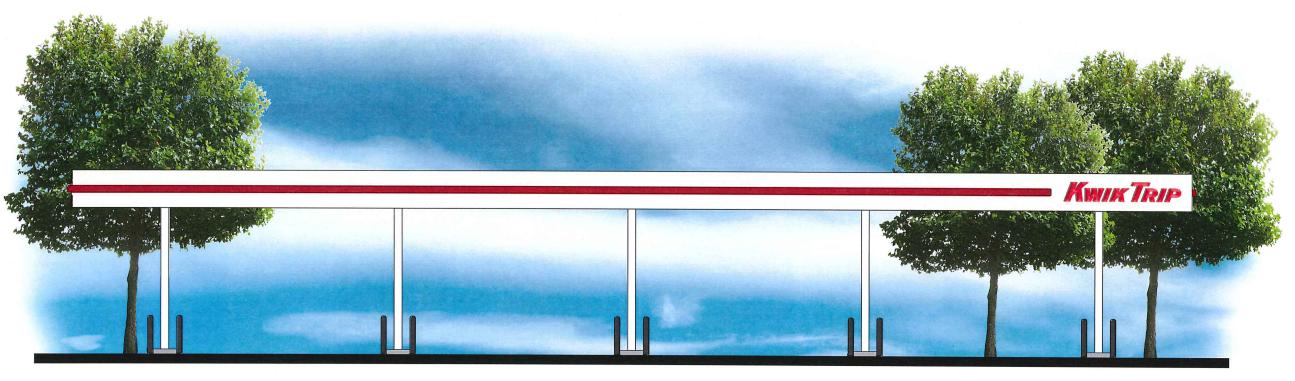
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DRAWN BY		A. MEESSMANN
SCALE		NOTED
PROJ. NO.		118.0198.30
DATE		JULY 24, 2019
SHEET	11	



WIS. STATUTE 182.0175 (1974) REOUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE







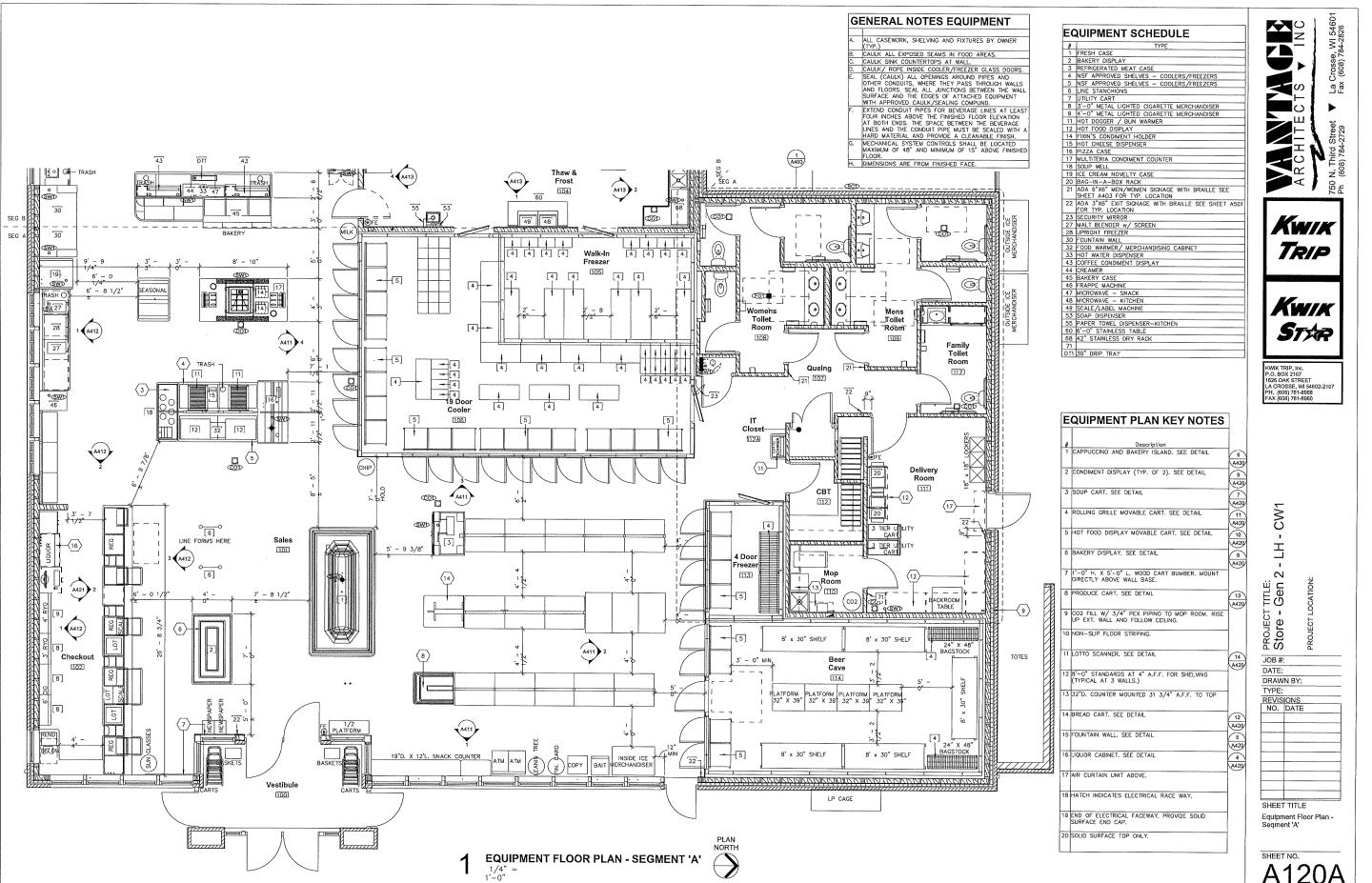
FRONT ELEVATION



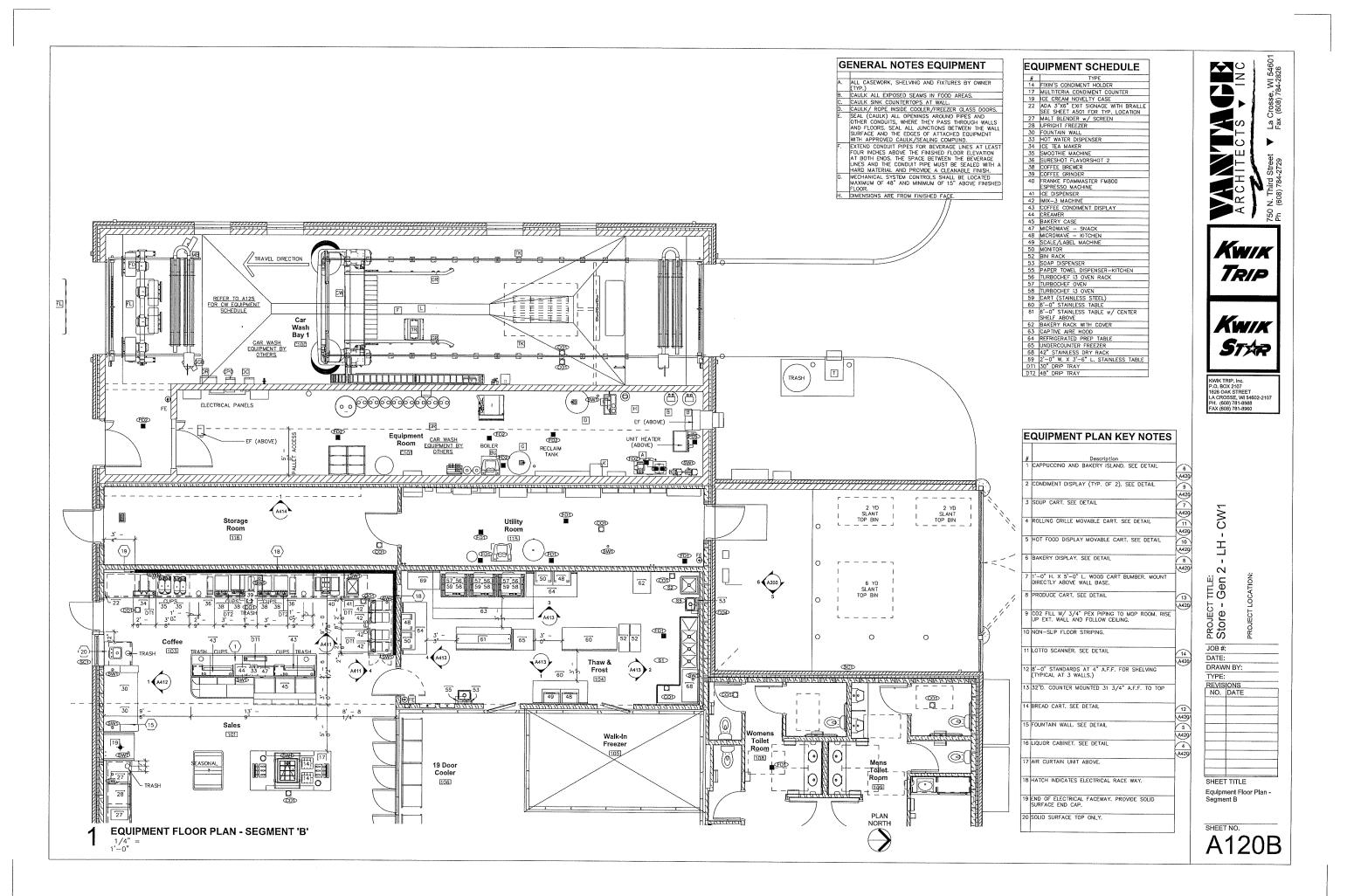
KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

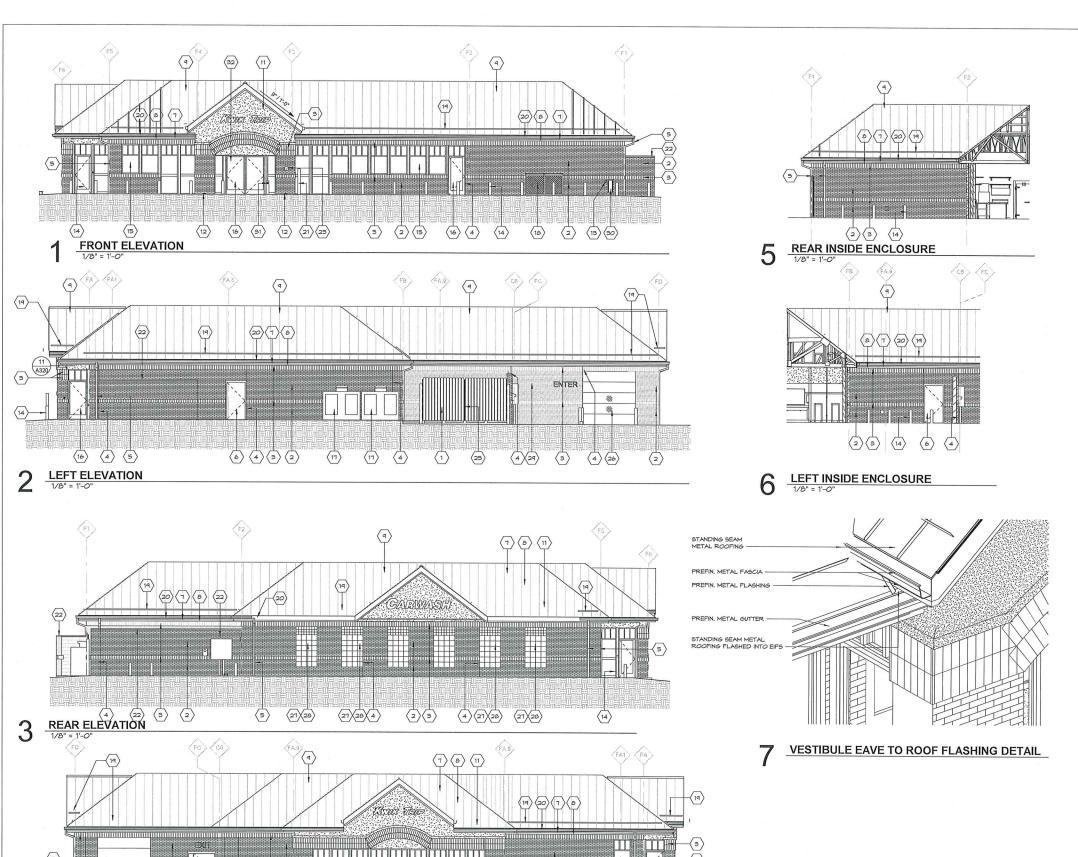
10 MPD





A120A





(15) (4)

33 (14)

6 4 6 3 2

3 4

RIGHT ELEVATION

1/8" = 1'-0"

26

4 2

MAR	(TERIOR ELEVATION KEYNOTES
1	TRASH ENCLOSURE.
2	MODULAR BRICK VENEER (RED).
3	BRICK SOLDIER COURSE (TAN), SEE SECTION FOR SIZE
4	BRICK CONTROL JOINT, SEALANT COLOR TO MATCH BRIC
5	COLOR. ALUMINUM DOWNSPOUT.
6	HOLLOW METAL DOOR & FRAME, PAINT, CAULK COLOR TO
7	MATCH BRICK.
	ALIMINUM FASCIA - ALMOND.
8	ALUMINUM FASCIA - RED.
9	PREFINSHED STANDING SEAM METAL ROOFING.
10	CT CABINET AND ELECTRICAL METER, RE: ELECT, PLANS,
11	EIFS. COLOR: TAN.
12	CAST ALUMINUM BRICK VENT - HOHMANN & BARNARD #C82 8" X 2 1/4".
13	EMERGENCY PUEL SHUT OFF, RECESS FLUSH W/ WALL.
14	6" BOLLARD W/ 40" PLASTIC SLEEVE. SEE SHEET A124.
15	ALUMINUM STOREFRONT FRAMING W/ INSULATED GLAZING.
16	CAULK COLOR GRAY DYMONIC.  ALLIMINUM STOREFRONT ENTRANCE, CAULK COLOR GRAY
17	DYMONIC, ICE MERCHANDISER
18	LP CAGE
19	SNOW RETENTION BAR
20	PREFINISHED METAL GUTTER
21	
	BLUE HDCP. BOLLARD, REFER TO SITE PLANS.
22	PREFINISHED METAL WALL CAP.
23	KNOX BOX LOCATION WHEN NEEDED, OWNER PROVIDED,
24	SPLASH BLOCK
25	PROVIDE LOCK BOLT FOR EACH LEAF
26	INSULATED POLYCARBONATE DOOR
27	12 X 12 GLASS BLOCK
28	6 X 6 GLASS BLOCK
29	SUPPLY FAN. SEE HVAC PLANS.
30	FIRE EXTINGUISHER CABINET
31	HANDICAP PUSH PLATE. SE EELECTRICAL SHEETS FOR
32	MOUNTING HEIGHTS.  STREET ADDRESS NUMBERS TO BE LOCATED ON ENTRANCE.
	DOOR. VERIFY WITH OWNER BEFORE APPLYING.
33	BRICK SOLDIER COURSE FIELD COLOR - (RED).

EXIEKIO	R COLOR S	CHEDUL
MATERIAL	MANUFACURER	COLOR
BOLLARDS	-	BLACK, GLOSS
FASCIA	UNA-CLAD 24 GA.	REGAL RED ALMOND
GUTTERS & DOWNSPOUTS	-	ALMOND
SOFFIT	UNA-CLAD	WHITE
METAL ROOF	UNA-CLAD	HEMLOCK GREEN
MORTAR	-	GREY
SEALANT		
RED BRICK	TREMCO DYMONIC	REDWOOD TAN
TAN BRICK	TREMCO DYMONIC	LIMESTONE
ROOF CAP CAR WASH	UNA-CLAD	HEMLOCK GREEN
TAN BRICK	LEGENDARY	CLEAR BUFF
RED BRICK	LEGENDARY	CABERNET BURGUNDY
EIFS	TOTAL WALL	MORNING MIST SWIRL TEXTURE
TRASH ENCLOSURE CAP	UNA-CLAD	HEMLOCK GREEN

Exterior D	oor (	010	r Co	de
BAC Blend-a-Color	02	32	64	120
W1 White	-	12	1	-
B1 Black	(#3)	24	1	12
R2 Maroon		19	-	-
R3 Magenta	-	26	1	1

### **EXTERIOR ELEVATION NOTES**

- A SEE FLOOR PLAN FOR WINDOW TYPE KEYS.

  B. CONTROL JOINT SEALANT TO MACH VENEER COLOR.

  C. ALL DOWNSPOUTS TO CONNECT MY BELOW GRADE DRAIN.

PROJECT TITLE: 2020 Gen2 LH CW-T	Kwik Trip Inc.	PROJECT LOCATION:	Wisconsin
JOB#		108	31.401
DATE:		,	
DRAW	N BY:	am	
TYPE:		Pro	totype
REVIS	IONS	_	
NO.	DATE		
		-	

La Crosse, WI 54601 Fax (608) 784-2826

N N N

ARCHITECTS
750 N. Third Street V La Cros
Ph (608) 784-2729 Fax (600

KWIK

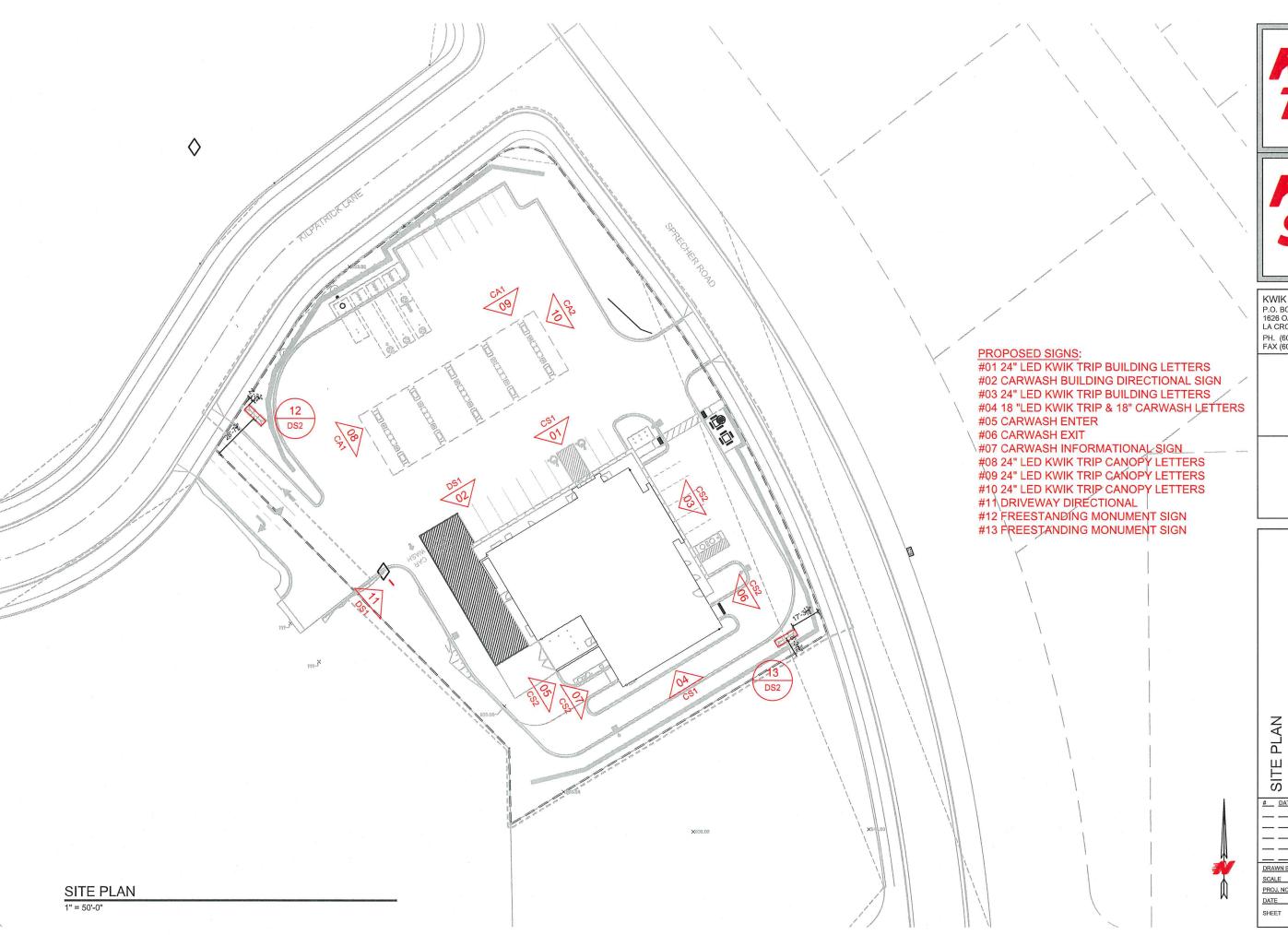
TRIP

KWIK STAR

KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

SHEET NO. A200

SHEET TITLE Exterior Elevations



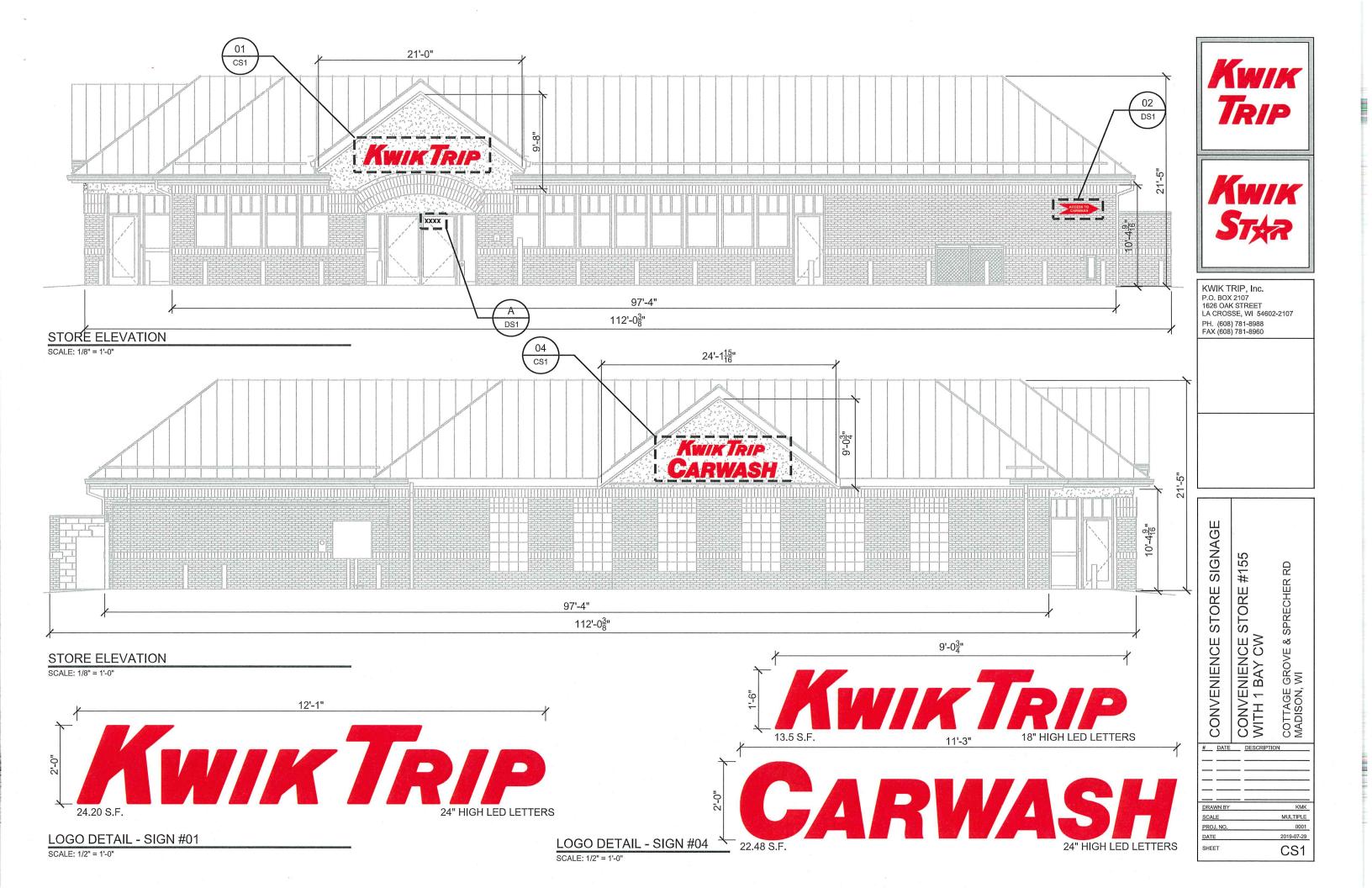


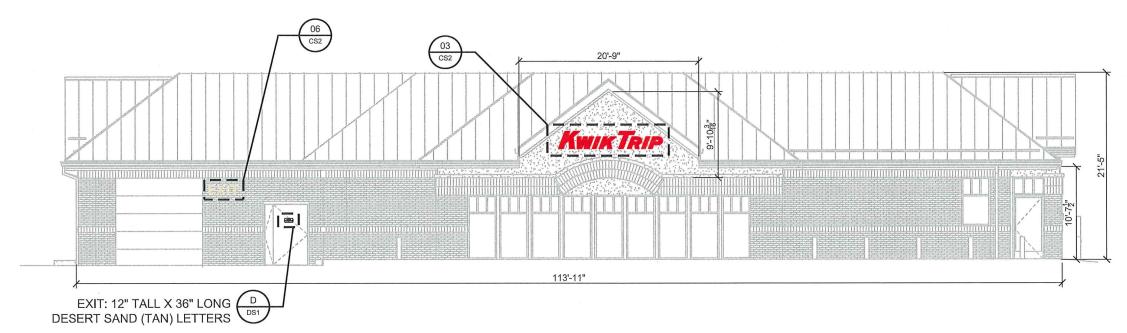


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CONVENIENCE STORE #155
WITH 1 BAY CW
COTTAGE GROVE & SPRECHER RD
MADISON, WI

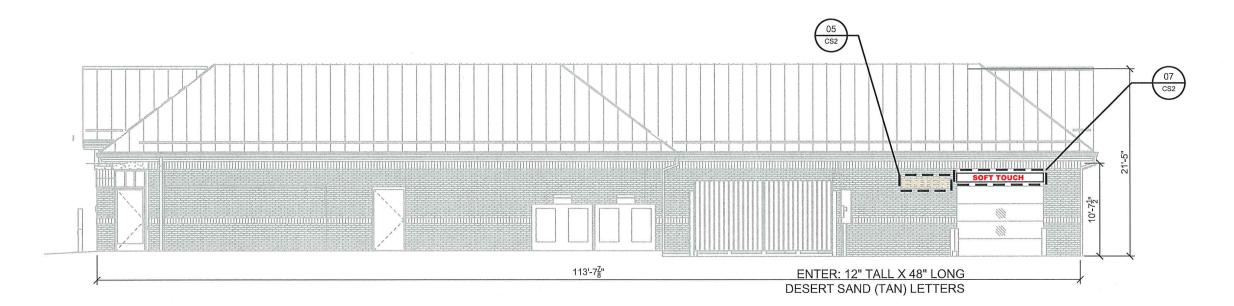
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DATE	DESCRIPTION
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CALE	MULTIPLE
	MULTIPLE 0001
PROJ. NO. DATE	





# STORE ELEVATION

SCALE: 3/32" = 1'-0"



### STORE ELEVATION

SCALE: 3/32" = 1'-0"



### LOGO DETAIL - SIGN #03

SCALE: 1/2" = 1'-0"

# **SOFT TOUCH**

NON-LIT INFORMATIONAL SIGN RED VINYL ON WHITE ALUMINUM 1'-0"H X 10'-0"W = 10.0 SQ FT

**INFORMATIONAL SIGN #07** 

SCALE: 1/2" = 1'-0"



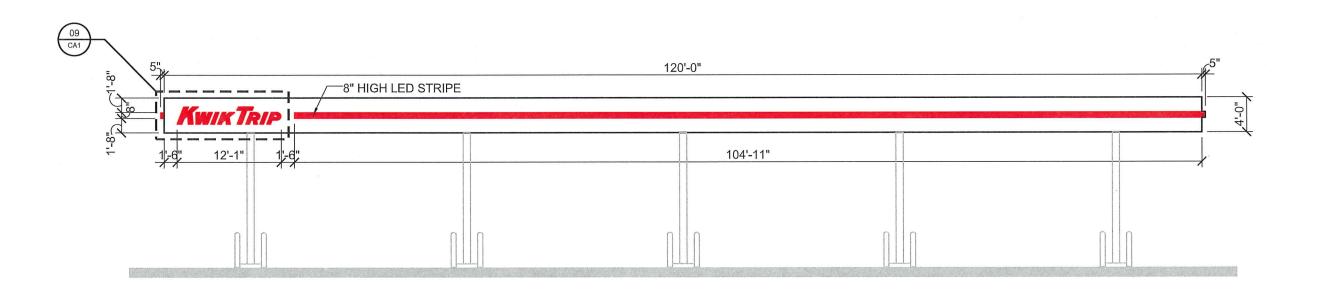


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**SONVENIENCE STORE SIGNAGE** COTTAGE GROVE & SPRECHER RD

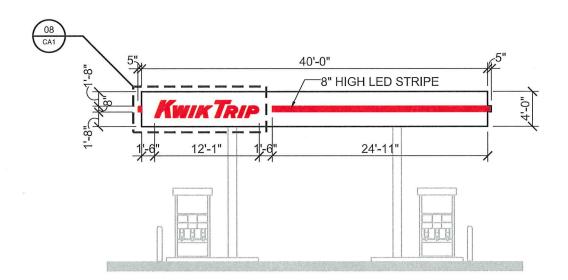
CONVENIENCE STORE #155 MITH 1 BAY CW

	_	02
# DATE	DESCRIPT	ION
DRAWN BY		KMK
SCALE		MULTIPLE
PROJ. NO.		0001
DATE		2019-07-29
SHEET		CS2



# **CANOPY ELEVATION**

SCALE: 3/32" = 1'-0"



# **CANOPY ELEVATION**

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGNS #08 & #09

SCALE: 1/2" = 1'-0"

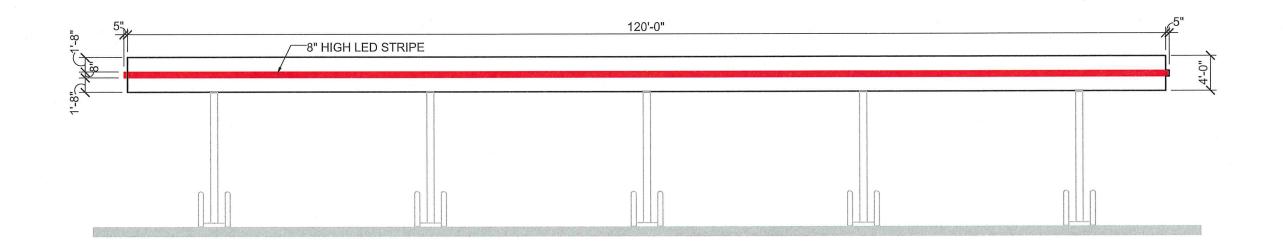




KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

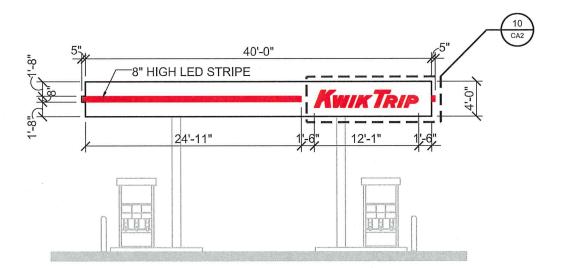
CANOPY SIGNAGE
CONVENIENCE STORE #155
WITH 1 BAY CW
COTTAGE GROVE & SPRECHER RD
MADISON, WI

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# DATE	DESCRIPTION
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	-
DRAWN BY	КМК
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-07-29
SHEET	CA1



### **CANOPY ELEVATION**

SCALE: 3/32" = 1'-0"



# **CANOPY ELEVATION**

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGN #10

SCALE: 1/2" = 1'-0"





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> CONVENIENCE STORE #155 WITH 1 BAY CW COTTAGE GROVE & SPRECHER RD MADISON, WI

CANOPY SIGNAGE DRAWN BY KMK MULTIPLE SCALE 2019-07-29 DATE CA2



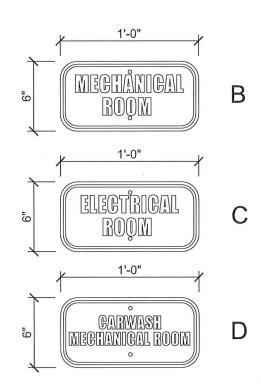
5" WHITE VINYL ADDRESS LETTERS ON GLASS DOOR AS SHOWN ABOVE (VERIFY ACTUAL NUMBERS WITH PROJECT MANAGER)

### ADDRESS SIGN #A

SCALE: 3/4" = 1'-0"



NON-LIT DIRECTIONAL SIGN
WHITE VINYL ON RED ALUMINUM
1'-0"H X 4'-0"W = 4.0 SQ FT



# GENERAL SPECIFICATIONS

(A) ROOM SIGNS
Qty: 3 total (different copy on each)
Size: per art
Material: white sign blank
Finish: cut vinyl

Install along with various signs for same site, crew to give to KT trim guys to install.





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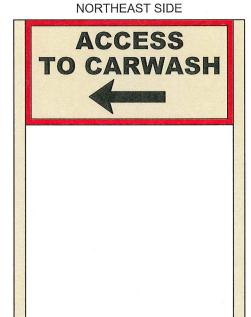
### **BUILDING SIGN D**

SCALE: 1 1/2" = 1'-0"

### DOUBLE SIDED DIRECTIONAL SIGN

NORTHWEST SIDE

ACCESS TO CARWASH



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

**DIRECTIONAL SIGN #11** 

SCALE: 3/4" = 1'-0"

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #155

WITH 1 BAY CW

COTTAGE GROVE & SPRECHER RD

MADISON, WI

DATE DESC	CRIPTION
RAWN BY	КМК
CALE	MULTIPLE
ROJ. NO.	0001
ATE	2019-07-29
HEET	DS1

## **DIRECTIONAL SIGN #02**

#12 KWIK TRIP FREESTANDING MONUMENT SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO

#13 KWIK TRIP FREESTANDING MONUMENT SIGN
SEE ATTACHMENT FROM LA CROSSE SIGN CO





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DIRECTIONAL SIGNAGE
CONVENIENCE STORE #155
WITH 1 BAY CW
COTTAGE GROVE & SPRECHER RD
MADISON, WI

# DATE	DESCRIPTION
	-
DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2019-07-29
SHEET	DS2

# 8 ft - 6 in 8 ft - 9 in 9 ft - 0 in 3 in KWIK IRIP UNLEADED **UNLEADED 88** 10mm EMC **Full-Color Display** 1 1/2 in PROPOSED D/F MONUMENT SIGN: 3/4" = 1'

# 155 Madison, WI

### **DESCRIPTION:**

Manufacture and install (1) double faced, internally illuminated monument sign. Sign cabinet to be constructed out of 11/2" X 11/2" aluminum angle with aluminum cladding. Sign faces to be routed aluminum, backed by 2283 Red Acrylic. Sign to be internally illuminated with Principal LEDs and power packs.

### **SPECIFICATIONS:**

- Decorative Cap: 4" X 4" Aluminum C-Channel with aluminum cladding
- Decorative Cap: 3" x 3" Aluminum C-Channel with aluminum cladding
- Main ID Sign Cabinet: Manufacture out of 1 1/2" X 1 1/2" Aluminum angle with .080 aluminum cladding
- Main ID Sign Face: Routed Aluminum, backed by 2283 Red Acrylic
- 8" Daktronics Fuelight 3000 Drop-In Price Digits
- Watchfire 2 X 5 10mm Full Color Electronic Message Center. 60 X 150 Matrix
- Cap for Brickwork

## **COLOR SCHEDULE:**

Painted to Match 3M 3630-149 Light Beige

Painted PPG NA 208400

Painted PPG NA 209420

Painted Black

2283 Red Acrylic

3M 230-167 Blue Translucent

3M 230-015 Yellow Translucent

# Colortech SIGNS AND GRAPHICS

It's What We Do

1011 Ashwaubenon St. | 920-337-0660 Green Bay, WI 54304 | 800-236-1321

www.colortechwi.com • info@colortechwi.com

**DESIGN STAGE: DESIGN #: 10011** Pg.: 2 **CLIENT: Kwik Trip 1029 ✓** CONCEPTUAL ☐ FINAL JOB #: ADDRESS: ITEMS NEEDED PRIOR TO FABRICATION DATE: March 6th, 2019 SCALE: 3/4" = 1' FIELD SURVEY/ MEASUREMENTS REQUIRED A.C.: Scott Timm COMPUTER FILE OF LOGO REQUIRED **CLIENT SIGNATURE: DESIGNER: TK** COLORS TO BE DETERMINED **REVISED BY:** DATE:

WITH APPROVAL OF THIS DESIGN I HEREBY GIVE COLORTECH SIGN & GRAPHICS, INC. PERMISSION TO BEGIN PRODUCTION ON THE SIGNAGE ILLUSTRATED.

LAGREE THAT ALL SPECIFICATIONS, SPELLING, COLORS AND ELEVATIONS LISTED ARE CORRECT AND APPROVED.

ANY CHANGES MADE AFTER PRODUCTION HAS STARTED WILL RESULT IN ADDITIONAL CHARGES.

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DATE: