



**CITY OF MADISON**  
**ZONING BOARD OF APPEALS**  
**VARIANCE APPLICATION**

**\$300 Filing Fee**

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 5201 Perfect Drive, Madison, WI 53704

Name of Owner: \_\_\_\_\_

Address of Owner (if different than above): \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ Evening Phone: \_\_\_\_\_

Email Address: \_\_\_\_\_

Name of Applicant (Owner's Representative): William F. White

Address of Applicant: 33 East Main Street, Suite 300, P.O. Box 1379

Madison, WI 53701-1379

Daytime Phone: 608-234-6065 Evening Phone: 608-695-4946

Email Address: wfwhite930@gmail.com

Description of Requested Variance: Seeking to change the location of the driveway so as not to create a safety issue

with the Cherokee Country Cub's driveway (commercial). No changes are anticipated for the setback of the garage or the

entranceway to the home.

*(See reverse side for more instructions)*

**FOR OFFICE USE ONLY**

Amount Paid: \$300  
Receipt: 093079-0001  
Filing Date: 7/16/19  
Received By: [Signature]  
Parcel Number: 0809-244-4801-5  
Zoning District: SR-C3  
Alder District: 18-Kemble

Hearing Date: 8/15/19  
Published Date: 8/18/19  
Appeal Number: LNOVAR-2619-00010  
GQ: \_\_\_\_\_  
Code Section(s): 28.031(3)

## Standards for Variance

**The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:**

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

Considering this is the corner lot of this subdivision, we want to keep it away from the commercial entrance to Cherokee  
Golf Course.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

This change will be a positive change to the public, (i.e. patrons of the Country Club; future neighbors).

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

N/A

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

Keeping the driveway location the same as it is now creates a safety issue. Moving the driveway to the other side of the  
garage will be safer.

5. The proposed variance shall not create substantial detriment to adjacent property.

Presently, there are no adjacent houses. Future, neighboring house would not be negatively affected by this change.

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

Future homes in this subdivision will also have relatively small lots. It's important that each driveway is positioned in a  
safe manner for everyone.

## Application Requirements

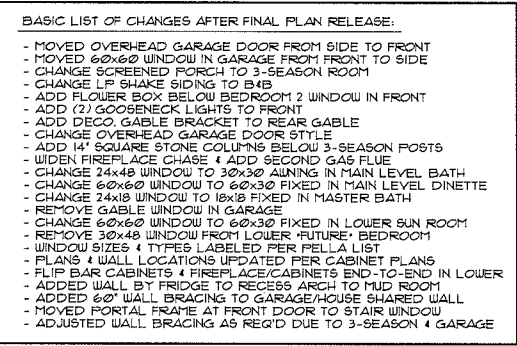
**Please provide the following information: Incomplete applications could result in referral or denial by the Zoning Board of Appeals.** (Maximum size for all drawings is 11" x 17".)

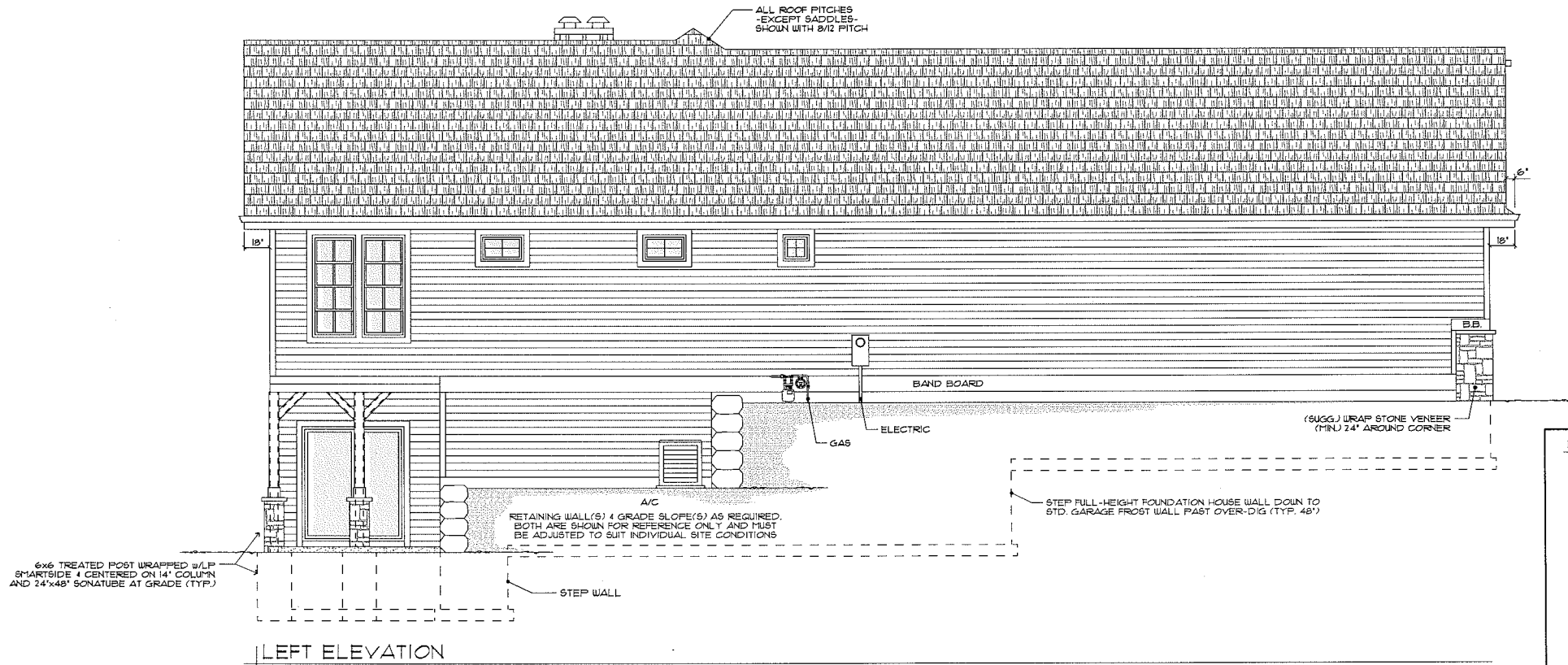
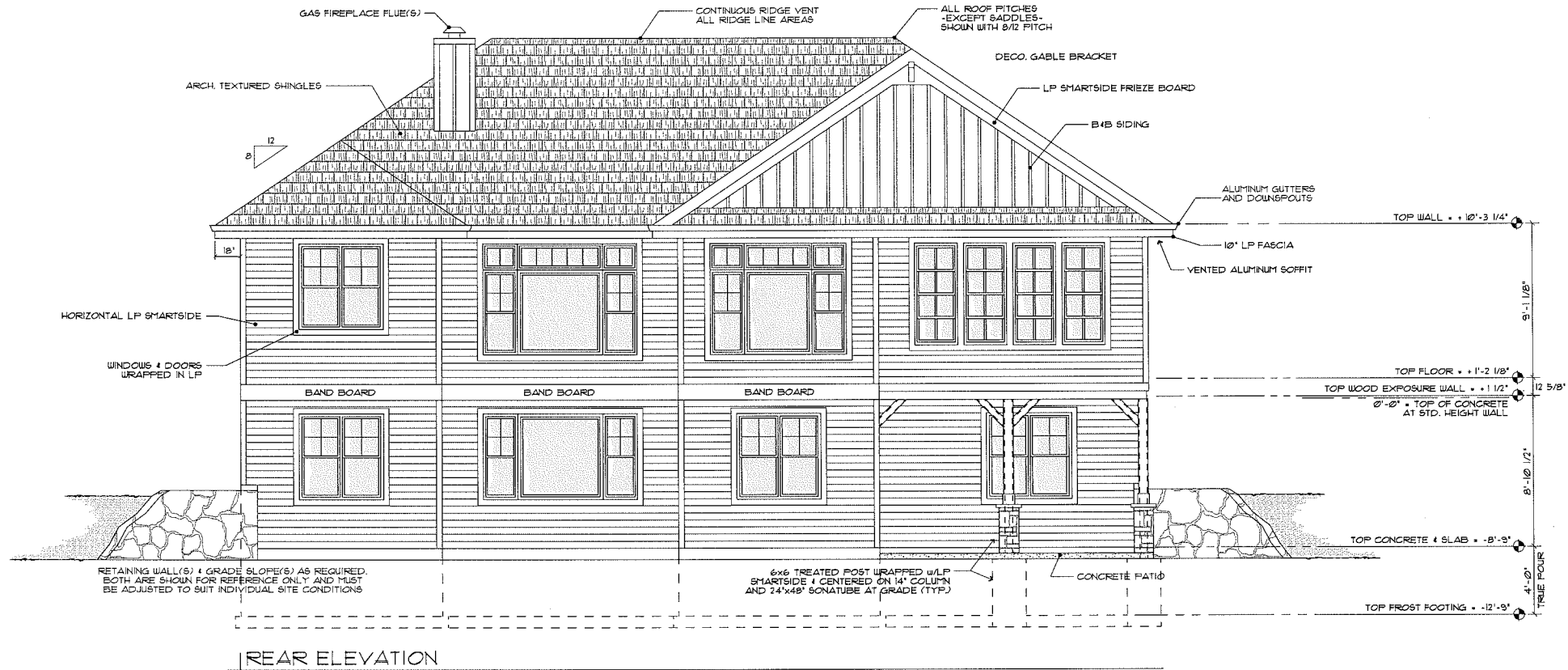
<input checked="" type="checkbox"/>	<b>Pre-application meeting with staff:</b> Prior to submittal of this application, the applicant has met to discuss the proposed project and submittal material with the Zoning Administrator. <span style="float: right; font-size: small;">Met with Trent Schultz 6/28/19, Matt Tucker 6/28/19</span>
<input checked="" type="checkbox"/>	<b>Site plan</b> , drawn to scale. A registered survey is recommended, but not required. Show the following: <ul style="list-style-type: none"> <li><input type="checkbox"/> Lot lines</li> <li><input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines</li> <li><input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance</li> <li><input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features</li> <li><input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred)</li> <li><input type="checkbox"/> North arrow</li> </ul>
<input type="checkbox"/>	<b>Elevations</b> from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s).
<input checked="" type="checkbox"/>	<b>Interior floor plan of existing and proposed structure</b> , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans).
<input type="checkbox"/>	<b>Front yard variance requests only.</b> Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input checked="" type="checkbox"/>	<b>Lakefront setback variance requests only.</b> Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	<b>Variance requests specifically involving slope, grade, or trees.</b> Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	<b>Digital</b> copies of all plans and drawings should be emailed to: zoning@cityofmadison.com
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I understand that in order to process my variance application, City Staff will need access to my property so that they can take photographs and conduct a pre-hearing inspection of the property. I therefore give City Staff my permission to enter my property for the purpose of conducting a pre-hearing inspection and taking photographs.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

**Owner's Signature:** Dennis Tiziani **Date:** 7/11/2019

----- (For Office Use Only) -----

<b><u>DECISION</u></b>	
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ <b>(is) (is not)</b> in compliance with all of the standards for a variance.	
Further findings of fact are stated in the minutes of this public hearing.	
<b>The Zoning Board of Appeals:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved	
<b>Zoning Board of Appeals Chair:</b>	<b>Date:</b>





- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKESIDING TO B&B
  - ADD FLUOR BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (7) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMN BELOW 3-SEASON PORCH
  - WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

REVISIONS TO FINAL PLAN SET w/CHANGES LISTED

CUSTOM DESIGN AT 8201 PERFECT DRIVE FOR:

**SWH**

Silver Wood Homes

DRAWINGS BY:

**MSM**

DESIGN GROUP, LLC

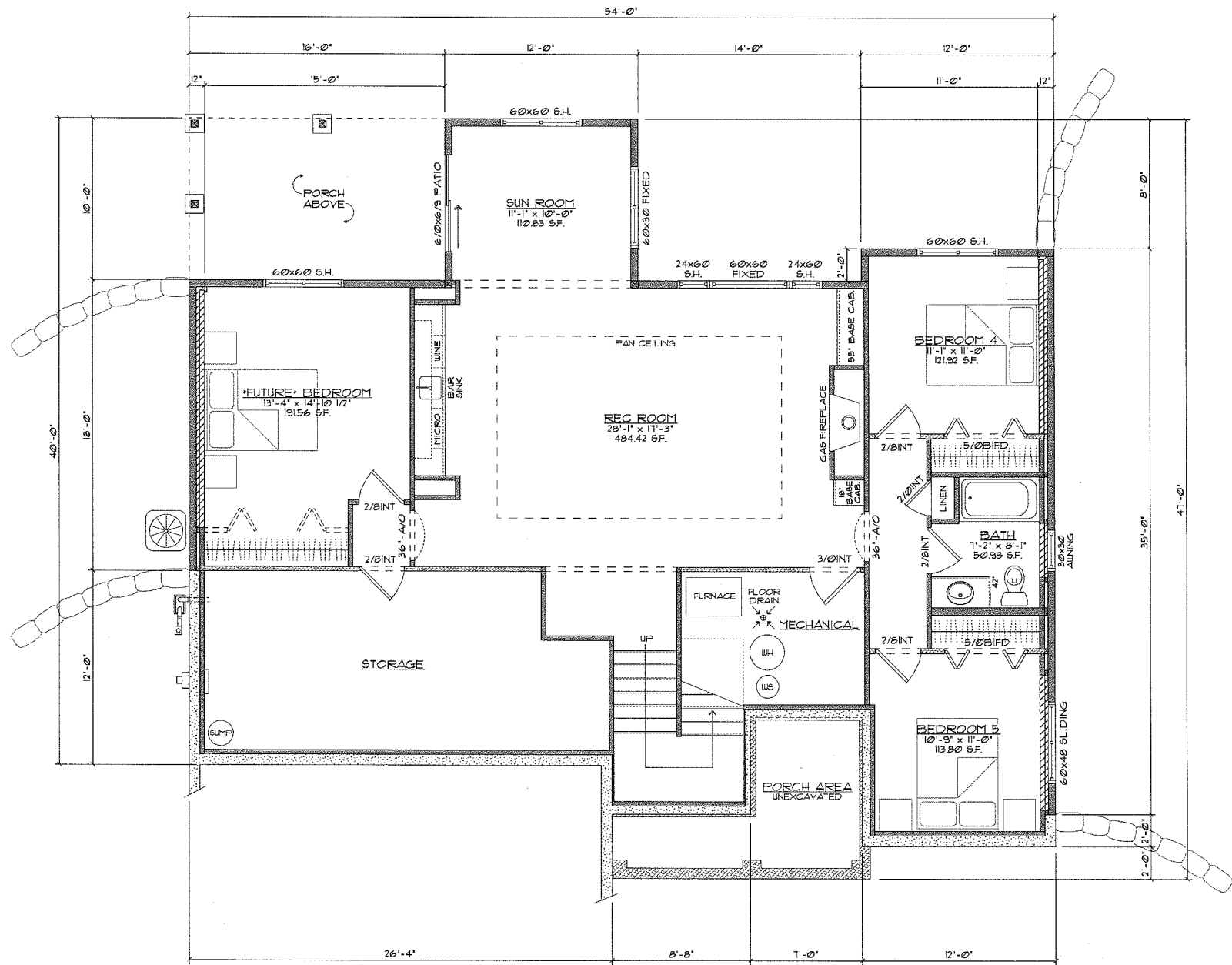
www.msmdesigngroup.com

msm@msmdesigngroup.com

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REVISIONS:	
11-21-18	
7-3-19	
DATE:	
11-14-18	
JOB NAME:	
MARSH VIEW	
SCALE:	
1/4" = 1'-0"	
SHEET:	
E2	





LOWER LEVEL FLOOR PLAN

1,112 SQ. FT. FINISHED LIVING SPACE

\* DOES NOT INCLUDE STAIRS, STORAGE, 'FUTURE FINISH' OR MECHANICALS \*

- 'FUTURE' WOOD-FRAMED INTERIOR WALLS
- 1/2-WALLS & FIRRED 1/2-WALLS BY CONCRETE BELOW KNEE-WALLS FOR 1/2-EXPOSURE
- TYPICAL WOOD-FRAMED WALLS
- LOAD-BEARING INTERIOR WOOD-FRAMED WALLS OVER CONTINUOUS CONCRETE FOOTINGS
- CONCRETE (TYP.) DIFFERENT CONCRETE FILL STYLES DENOTES CHANGES IN T.O.W. HEIGHTS.

GENERAL PLAN NOTES:

- \* ALL DOORS & OPENINGS ALONG INTERIOR LOAD-BEARING WALLS REQUIRE HEADERS ENGINEERED PER CODE.
- \* BUILDER/CONTRACTOR RESPONSIBLE FOR ALL CONSTRUCTION CODES & CONDITIONS.
- \* DRAWING IS SHOWN FOR OWNER'S REFERENCE ONLY. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE.
- \* ALL DIMENSIONS TO BE FIELD VERIFIED BY BUILDER/CONTRACTORS BEFORE CONSTRUCTION.
- \* INTERIOR WALLS ON PLAN DIMENSIONED TO INSIDE STUD FACE - UNLESS NOTED.
- \* OUTSIDE OF EXTERIOR WALLS DIMENSIONED TO OUTSIDE STUD FACE OR CONCRETE - UNLESS NOTED.
- \* INTERIOR HEATED ROOM S.F. AMOUNTS & DIMENSIONS FIGURED TO INTERIOR OF ROOM WALLS.
- \* UNHEATED SPACES & OVERALL PLANS S.F. AMOUNTS & DIMENSIONS FIGURED TO EXTERIOR OF ROOM WALLS.
- \* TYPICAL WALL CHARACTERISTICS AS FOLLOWS:
  - CONCRETE WALL HEIGHT FIGURED AS TRUE 9'-0"
  - WINDOW HEADER HEIGHT FIGURED W/ KNEE-WALL WINDOWS INSTALLED ATOP 2x SILL PLATE ABOVE TRUE 4'-0" FOUNDATION FROST WALL.
  - INTERIOR WALLS FIGURED USING 2x4 STUDS w/1/2" DRYWALL EA. SIDE (4 1/2" FINISH) UNLESS NOTED.
  - ALL EXTERIOR WOOD WALLS FULLY SHEATHED.
  - EXTERIOR WOOD WALLS FIGURED USING 2x6 STUDS w/1/2" DRYWALL IN & 7/16" SHEATHING OUT.
  - UNLESS ENGINEERED TALL WALL OR AS NOTED.
  - 2x6 WALLS SHOWN AS TYPICAL BEHIND TOILETS, WASHERS, MISC. PLUMBING & FOR POCKET DOORS.
  - 1x1 STUDS TYPICAL FOR CABINET, C.TOP, SHELVING, BUILT-INS, MANTLES & TILE WALL (etc.) AREAS.
  - ANY ADDITIONAL PLUMB WALLS, SHIMMED WALLS, AND/OR CUSTOM WALLS AS NOTED OR T.B.D.
  - 11 7/8" T.I.J. FLOOR JOISTS AT 16" O.C. TYPICAL.
  - SUPPLIER TO CONFIRM ALL SIZES/SPANS.
- \* TYPICAL INTERIOR DOOR RETURNS = 4 1/2" UNLESS SPACE REQUIREMENTS DO NOT ALLOW.
- \* TYPICAL HALL WIDTH = 3'-7"
- \* TYPICAL HALL WIDTH WITH 30 DOORS = 3'-11"
- \* FOUNDATION WALL BETWEEN HOUSE & FRONT STOOP 2" THICKER OR SHIFTED 2" FOR SLAB SUPPORT.
- \* TREATED 2x LEDGE BELOW ALL CULT. STONE AREAS.

BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:

- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
- MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
- CHANGE SCREENED PORCH TO 3-SEASON ROOM
- CHANGE LP SHAKE SIDING TO B4B
- ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
- ADD (2) GOOSENECK LIGHTS TO FRONT
- ADD PICO, GABLE BRACKET TO REAR GABLE
- CHANGE OVERHEAD GARAGE DOOR STYLE
- ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
- WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
- CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
- CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
- REMOVE GABLE WINDOW IN GARAGE
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
- REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
- WINDOW SIZES & TYPES LABELED PER FELLA LIST
- PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
- FLIP BAR CABINETS & FIREPLACE CABINETS END-TO-END IN LOWER
- ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
- ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
- MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
- ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

SWH Silver Wood Homes

MSM DESIGN GROUP, LLC

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REVISIONS:

11-21-18	
7-1-19	

DATE:

11-13-18

JOB NAME:

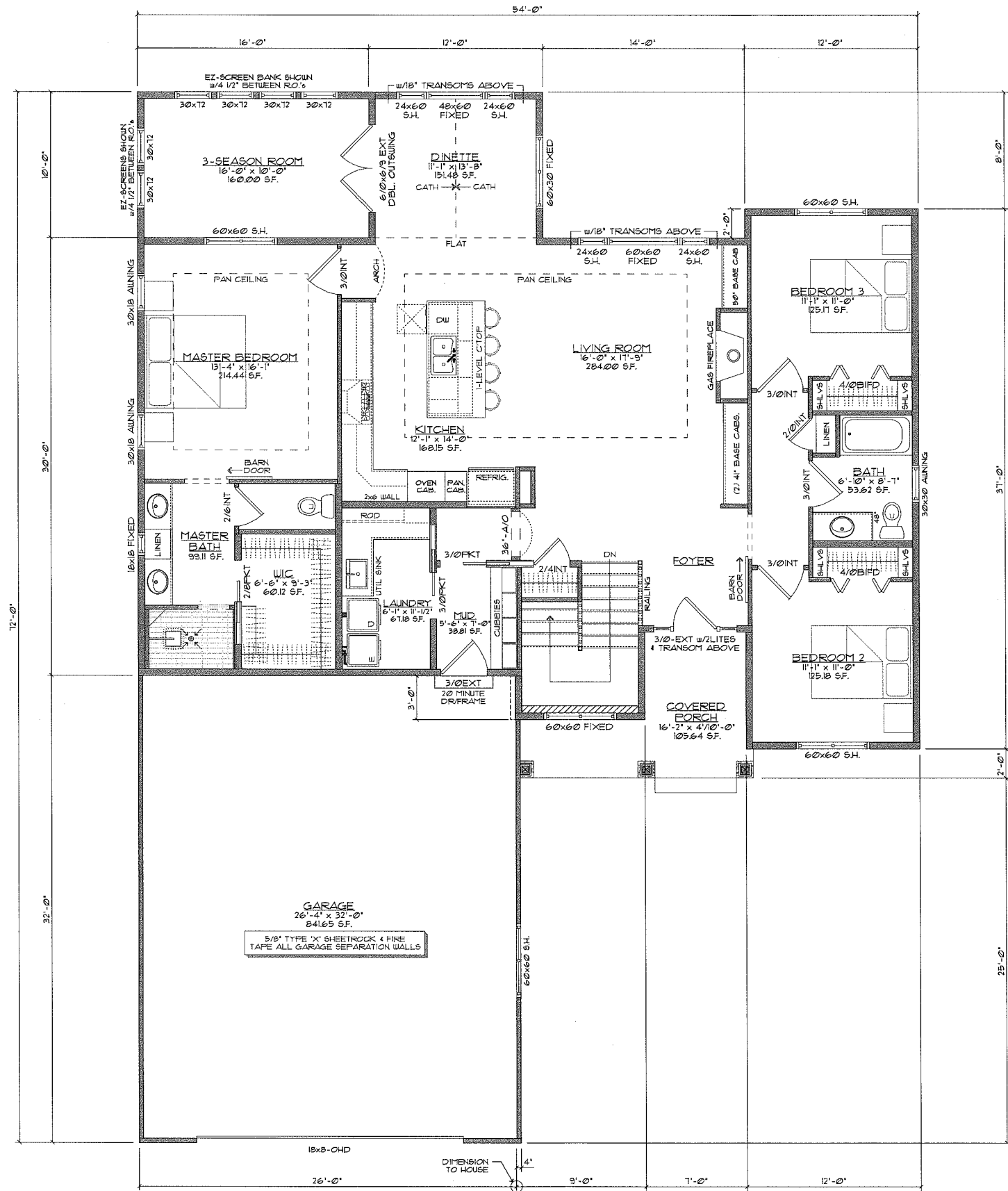
MARSH VIEW

SCALE:

1/4" = 1'-0"

SHEET:

A1



MAIN LEVEL FLOOR PLAN

1,828 SQ. FT. HEATED LIVING SPACE

GENERAL PLAN NOTES:

- \* BUILDER/CONTRACTOR RESPONSIBLE FOR ALL CONSTRUCTION CODES & CONDITIONS.
- \* DRAWING IS SHOWN FOR OWNER'S REFERENCE ONLY. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE.
- \* ALL DIMENSIONS TO BE FIELD VERIFIED BY BUILDER/CONTRACTORS BEFORE CONSTRUCTION.
- \* INTERIOR WALLS ON PLAN DIMENSIONED TO INSIDE STUD FACE - UNLESS NOTED.
- \* OUTSIDE OF EXTERIOR WALLS DIMENSIONED TO OUTSIDE STUD FACE - UNLESS NOTED.
- \* INTERIOR HEATED ROOM S.F. AMOUNTS & DIMENSIONS FIGURED TO INTERIOR OF ROOM WALLS.
- \* UNHEATED SPACES & OVERALL PLAN S.F. AMOUNTS & DIMENSIONS FIGURED TO EXTERIOR OF ROOM WALLS.
- \* TYPICAL WALL CHARACTERISTICS AS FOLLOWS:
  - WALL HEIGHT FIGURED AS 9'-1 1/8"
  - WINDOW HEADER HT. AT 95 3/8" - UNLESS NOTED.
  - INTERIOR WALLS FIGURED USING 2x4 STUDS w/1/2" DRYWALL EA. SIDE (4 1/2" FINISH) UNLESS NOTED.
  - ALL EXTERIOR WALLS FULLY SHEATHED.
  - EXTERIOR HOUSE WALLS FIGURED USING 2x6 STUDS w/1/2" DRYWALL IN & 7/16" SHEATHING OUT.
  - UNLESS ENGINEERED TALL WALL OR AS NOTED.
  - EXTERIOR GARAGE WALLS FIGURED USING 2x4 STUDS & WALLS BORDERING HOME FIGURED w/5/8" TYPE 'X' DRYWALL FOR FIRE SEPARATION.
  - 2x6 WALLS SHOWN AS TYPICAL BEHIND TOILETS, WASHERS, MISC. PLUMBING & FOR POCKET DOORS.
  - LSI STUDS TYPICAL FOR CABINET, C.TOR, SHELVE, BUILT-INS, MANTLES & TILE WALL (etc.) AREAS.
  - ANY ADDITIONAL PLUMB WALLS, SHIMMED WALLS, AND/OR CUSTOM WALLS AS NOTED OR T.B.D.
  - 11 7/8" T.J. FLOOR JOISTS AT 16" O.C. TYPICAL.
- \* SUPPLIER TO CONFIRM ALL SIZES/SPANS.
- \* TYPICAL INTERIOR DOOR RETURNS = 4 1/2" UNLESS SPACE REQUIREMENTS DO NOT ALLOW.
- \* TYPICAL HALL WIDTH = 3'-7"
- \* TYPICAL HALL WIDTH WITH 3/0 DOORS = 3'-11"
- \* FOUNDATION WALL BETWEEN HOUSE & FRONT STOOP 2" THICKER OR SHIFTED 2" FOR SLAB SUPPORT.
- \* TREATED 2x LEDGE BELOW ALL CUL. STONE AREAS.
- \* HOLD BACK GARAGE SLAB 4" AT ANY OVERHEAD DOOR CUT-OUTS TO CREATE 4" SUPPORT LEDGE FOR APPROACH SLAB TO AVOID CONC. SINK & PIN SHEAR AFTER TIME.

BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:

- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
- MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
- CHANGE SCREENED PORCH TO 3-SEASON ROOM
- CHANGE LP SHAKE SIDING TO B4B
- ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
- ADD (2) GOOSENECK LIGHTS TO FRONT
- ADD DECO GABLE BRACKET TO REAR GABLE
- CHANGE OVERHEAD GARAGE DOOR STYLE
- ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
- WIDEN FIREPLACE CHIMNEY & ADD SECOND GAS FLUE
- CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
- CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
- REMOVE GABLE WINDOW IN GARAGE
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
- REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
- WINDOW SIZES & TYPES LABELED PER FELLA LIST
- PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
- FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
- ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
- ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
- MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
- ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

DB#2: PRELIM. PLANS / STARTER PLAN SET DB#3/4: EXT. ELEV & LOWER LEVEL DB#6: BID SET DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS REVISIONS TO FINAL PLAN SET w/CHANGES LISTED



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REVISIONS:

7-3-19	

DATE:

11-12-18

JOB NAME:

MARSH VIEW

SCALE:

1/4" = 1'-0"

SHEET:

A2

SWH Silver Wood Homes

MSM DESIGN GROUP, LLC  
www.msmdesigngroup.com  
msm@msmdesigngroup.com

CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR:

(OPT.) EMBED METAL CLIPS INTO CONCRETE & EXPOSE AT TOP OF WALL AND INSIDE SILL PLATE AT VARIOUS SPOTS AROUND FOUNDATION PERIMETER TO BE USED AS LOOKING POINTS FOR CONTRACTOR'S TOOL SECURITY

ALL TOP OF WALL HEIGHTS AND WALL DROPS SHOWN AS ACCURATE AS POSSIBLE BUT T.B.D. BY SITE CONDITIONS

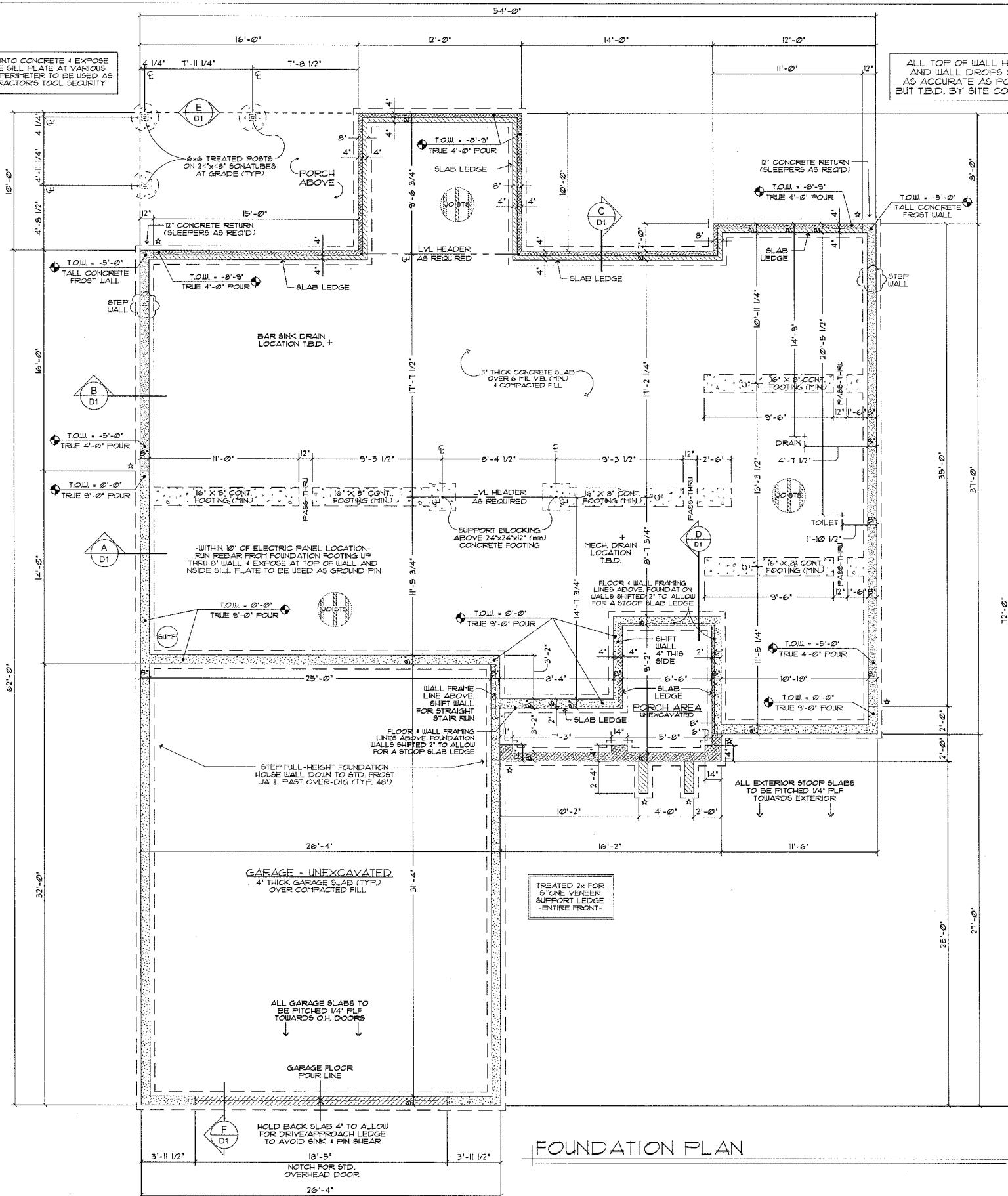
#### BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:

- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
- MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
- CHANGE SCREENED PORCH TO 3-SEASON ROOM
- CHANGE LP SHAKE SIDING TO S4S
- ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
- ADD (2) GOOSENECK LIGHTS TO FRONT
- ADD DECO. GABLE BRACKET TO REAR GABLE
- CHANGE OVERHEAD GARAGE DOOR STYLE
- ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
- WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
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- FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
- ADDED WALL BY FRIDGE TO RECESS ARCH TO MID ROOM
- ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
- MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
- ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

- CONCRETE (TYP.) DIFFERENT CONCRETE FILL STYLES DENOTES CHANGES IN T.O.W. HEIGHTS.
- CONCRETE T.O.W. HEIGHT BREAKS (NOT LEDGES)
- 11 7/8" T.J.I.'S AT 16" O.C. (ABOVE) w/BRIDGING AND BLOCKING AS REQUIRED.

#### GENERAL FOUNDATION NOTES:

- \* EXTERIOR CONCRETE DIMENSIONS ASSUMED TO WOOD CONSTRUCTION ABOVE AND DO NOT INCLUDE STRUCTURAL RIGID SHEATHING ON HOUSE.
- \* FOUNDATION IS TO BE CONSTRUCTED TO MEET REQUIREMENTS OF LATEST CODES & CONDITIONS AND HAS BEEN DESIGNED USING STANDARD BUILDING PRACTICES. ALL INTERIOR WALL LAYOUTS, POST/RAD SIZES & LOCATIONS, AND SUPPORT BEAMS & FOOTING LAYOUTS ARE SUGGESTED ONLY AND MAY VARY DUE TO FLOOR FRAMING & FINAL MATERIAL SPEC'S. BUILDERS & CONTRACTORS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND LOADS PRIOR TO ANY CONSTRUCTION.
- \* ALL TOP OF WALL HEIGHTS & WALL DROPS SHOWN AS ACCURATE AS POSSIBLE BUT T.B.D. BY ACTUAL JOB SITE CONDITIONS & ADJUSTED AS REQUIRED.



FOUNDATION PLAN

REVISIONS TO FINAL PLAN SET w/CHANGES LISTED  
CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR:

**SWH**  
Silver Wood Homes

**MSM**  
DESIGN GROUP

msmdesigngroup@gmail.com  
msmdesigngroup.com

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#### REVISIONS:

11-21-18	
7-3-19	

#### DATE:

11-13-18

#### JOB NAME:

MARSH VIEW

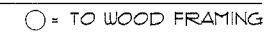
#### SCALE:

1/4" = 1'-0"

#### SHEET:

**F1**

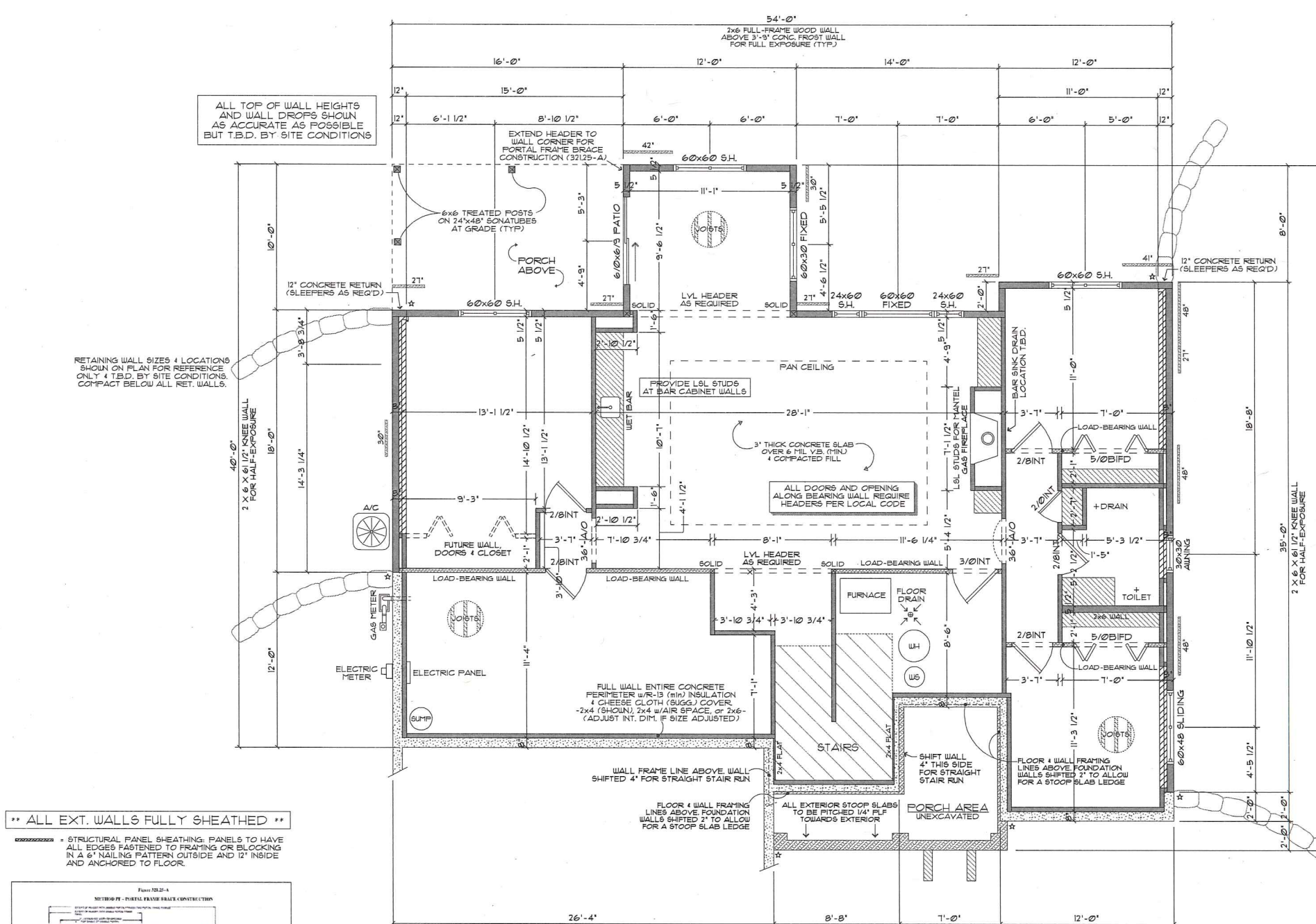




- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
- MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
- CHANGE SCREENED PORCH TO 3-SEASON ROOM
- CHANGE LP SHAKE SIDING TO B&B
- FLIP BURN BOX FROM BEDROOM 2 WINDOW IN FRONT
- ADD (7) GOOSENECK LIGHTS TO FRONT
- ADD DECO. GABLE BRACKET TO REAR GABLE
- CHANGE OVERHEAD GARAGE DOOR STYLE
- ADD 14" SQUARE STONE CO. W/ 3-SEASON POSTS
- WIPEN FIREPLACE CHASE
- ADD SECOND GAS FLUE
- CHANGE 2x4x8 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
- CHANGE 4x8 WINDOW TO 60x30 FIXED IN MASTER BATH
- REMOVE GABLE WINDOW IN GARAGE
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
- REMOVE 30x48 WINDOW FROM LOWER "FUTURE" BEDROOM
- ADD 4 TYPES OF SCHEDULED PER CABINET PLANS
- PLANS 1 WALL LOCATIONS LOCATED PER CABINET PLANS
- FLIP BAR CABINETS 4 FIREPLACE/CABINETS END-TO-END IN LOWER
- ADD WALL BY BRIDGE TO RECESS ARCH TO MUD ROOM
- ADD 60" WALL BRIDGE TO 60" WALL IN MASTER BATH
- MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
- ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON 4 GARAGE

F2

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- X DIMENSION TO STRUCTURAL ITEM STARTING EITHER 'X-BACK' OR 'X-FORWARD' PER LOCATION ON PLAN
- FUTURE WOOD-FRAMED INTERIOR WALLS
- C/TOPS, CABINETS, SHELVING, AND/OR CUSTOM BUILT-IN LOCATIONS - LSL STUDS + ADD'L BLOCKING AS REQ'D.
- 1/2" WALLS + FIRRED 1/2" WALLS BY CONCRETE BELOW KNEE-WALLS FOR 1/2" EXPOSURE
- TYPICAL WOOD-FRAMED WALLS
- LOAD-BEARING INTERIOR WOOD-FRAMED WALLS OVER CONTINUOUS CONCRETE FOOTINGS
- CONCRETE (TYP.). DIFFERENT CONCRETE FILL STYLES DENOTES CHANGES IN T.O.W. HEIGHTS.
- CONCRETE T.O.W. HEIGHT BREAKS (NOT LEDGES)
- 11 7/8" T.J.I.'S AT 16" O.C. (ABOVE) w/BRIDGING AND BLOCKING AS REQUIRED.

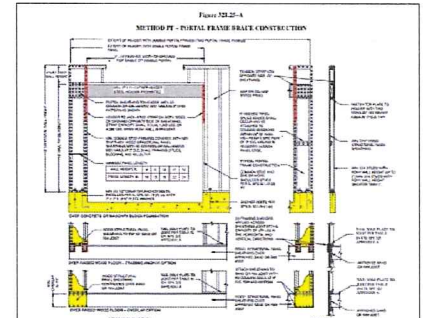
### GENERAL PLAN NOTES:

- \* ALL DOORS & OPENINGS ALONG INTERIOR LOAD-BEARING WALLS REQUIRE HEADERS ENGINEERED PER CODE.
- \* BUILDER/CONTRACTORS RESPONSIBLE FOR ALL CONSTRUCTION CODES & CONDITIONS.
- \* DRAWING IS SHOWN FOR OWNER'S REFERENCE ONLY. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS AS ACCURATE AS POSSIBLE.
- \* ALL DIMENSIONS TO BE FIELD VERIFIED BY BUILDER/CONTRACTORS BEFORE CONSTRUCTION.
- \* INTERIOR WALLS ON PLAN DIMENSIONED TO INSIDE STUD FACE - UNLESS NOTED.
- \* OUTSIDE OF EXTERIOR WALLS DIMENSIONED TO OUTSIDE STUD FACE OR CONCRETE - UNLESS NOTED.
- \* INTERIOR HEATED ROOM S.F. AMOUNTS & DIMENSIONS FIGURED TO INTERIOR OF ROOM WALLS.
- \* UNHEATED SPACES & OVERALL PLAN S.F. AMOUNTS & DIMENSIONS FIGURED TO EXTERIOR OF ROOM WALLS.
- \* TYPICAL WALL CHARACTERISTICS AS FOLLOWS:
  - CONCRETE WALL HEIGHT FIGURED AS TRUE 9'-0"
  - WINDOW HEADER HEIGHT FIGURED W/NEED WALL WINDOWS INSTALLED ATOP 2x4 SILL PLATE ABOVE TRUE 4'-0" FOUNDATION FROST WALL.
  - INTERIOR WALLS FIGURED USING 2x4 STUDS w/1/2" DRYWALL EA. SIDE (4 1/2" FINISH) UNLESS NOTED.
  - ALL EXTERIOR WOOD WALLS FULLY SHEATHED.
  - EXTERIOR WOOD WALLS FIGURED USING 2x6 STUDS w/1/2" DRYWALL IN & 7/16" SHEATHING OUT.
  - UNLESS ENGINEERED TALL WALL OR AS NOTED.
  - 2x6 WALLS SHOWN AS TYPICAL BEHIND TOILETS, WASHERS, MISC. PLUMBING & FOR POCKET DOORS.
  - LSL STUDS TYPICAL FOR CABINET, C/TOP, SHELVING, BUILT-INS, MANTLES & TILE WALL (etc.) AREAS.
  - ANY ADDITIONAL PLUMB WALLS, SHIMMED WALLS, AND/OR CUSTOM WALLS AS NOTED OR T.B.D.
  - 11 7/8" T.J.I. FLOOR JOISTS AT 16" O.C. TYPICAL SUPPLIER TO CONFIRM ALL SIZES/SPANS.
  - TYPICAL INTERIOR DOOR RETURNS 4 1/2" UNLESS SPACE REQUIREMENTS DO NOT ALLOW.
  - TYPICAL HALL WIDTH = 3'-7"
  - TYPICAL HALL WIDTH WITH 30 DOORS = 3'-11"
  - FOUNDATION WALL BETWEEN HOUSE & FRONT STOOP 2" THICKER OR SHIFTED 2" FOR SLAB SUPPORT.
  - TREATED 2x LEDGE BELOW ALL CULT. STONE AREAS.

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE 60x60 PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B4B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE + ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER 'FUTURE' BEDROOM
  - WINDOW SIZES + TYPES LABELED PER FELLA LIST
  - PLANS + WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS + FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON + GARAGE

\*\* ALL EXT. WALLS FULLY SHEATHED \*\*

STRUCTURAL PANEL SHEATHING: PANELS TO HAVE ALL EDGES FASTENED TO FRAMING OR BLOCKING IN A 6" NAILING PATTERN OUTSIDE AND 12" INSIDE AND ANCHORED TO FLOOR.



## LOWER LEVEL FRAMING PLAN

1,328 SQ. FT. FINISHED LIVING SPACE

\* DOES NOT INCLUDE STAIRS, STORAGE OR MECHANICALS \*

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Silver Wood Homes

MSM DESIGN GROUP, LLC  
www.msmdesigngroup.com  
madedesign@msmgroup.com

DRAWINGS BY:

REVISIONS:

11-21-18	
7-3-19	

DATE:  
11-13-18

JOB NAME:  
MARSH VIEW

SCALE:  
1/4" = 1'-0"

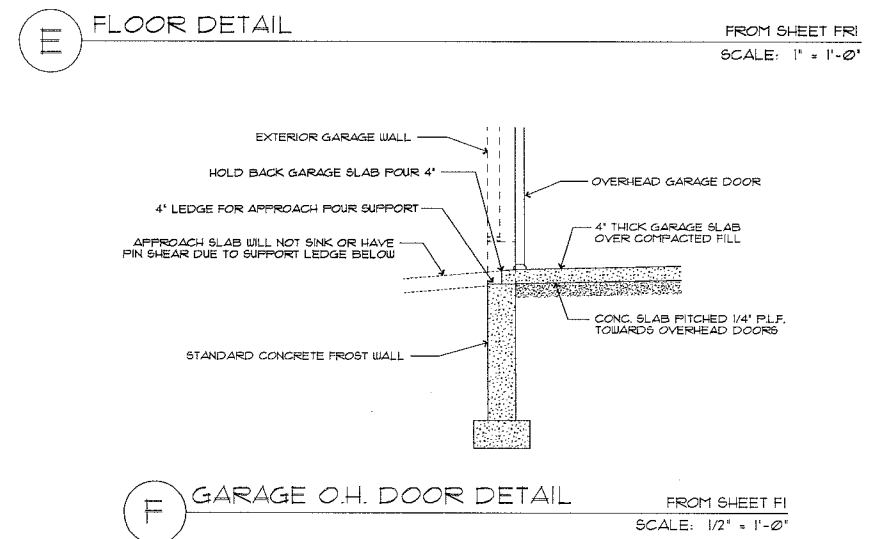
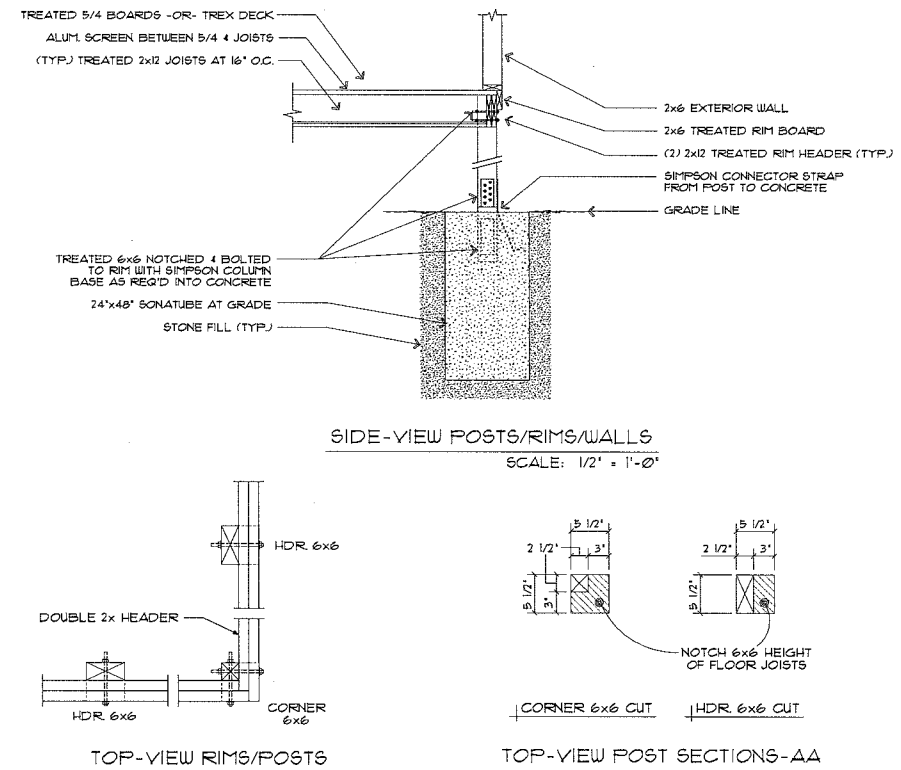
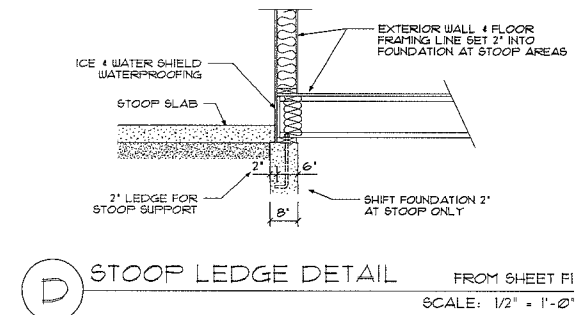
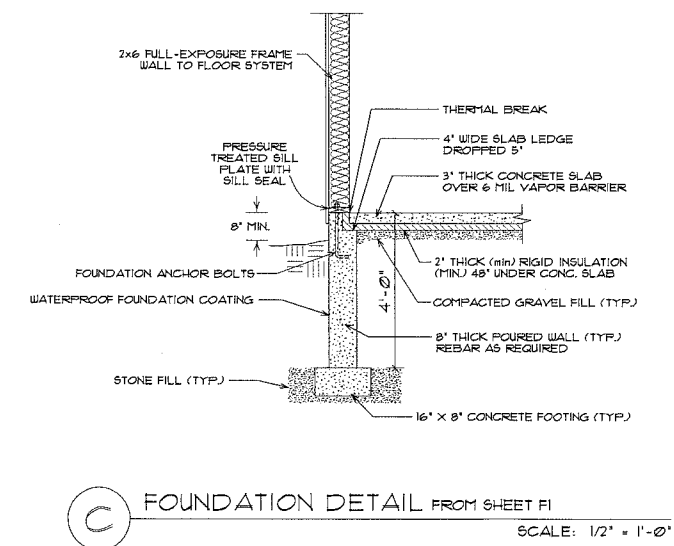
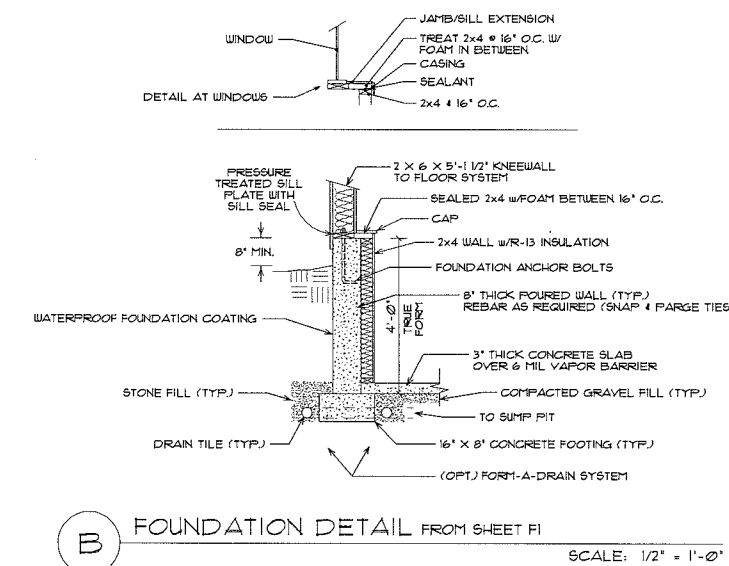
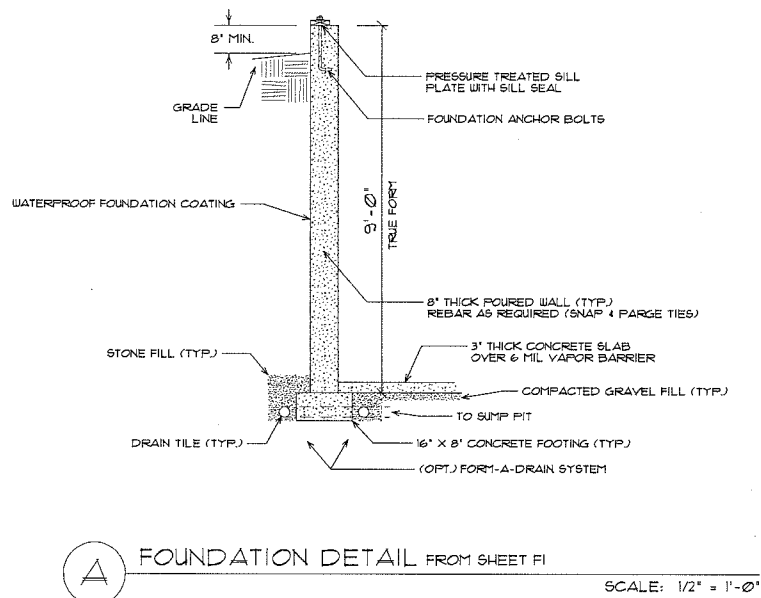
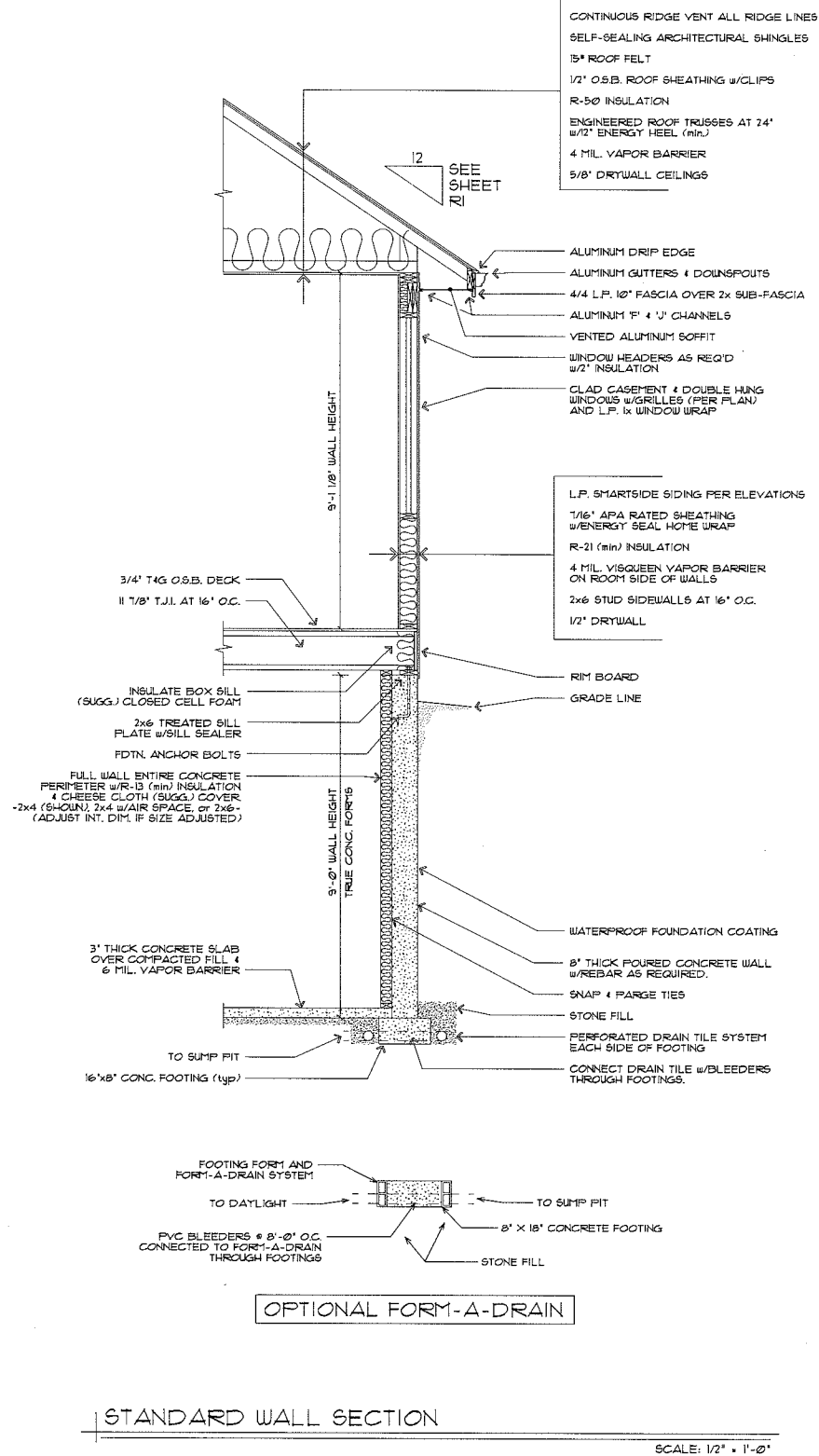
SHEET:  
FR1

DB#2: PRELIM. PLANS / STARTER PLAN SET DB#3/4: EXT. ELEV & LOWER LEVEL DB#6: BID SET DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS ■ REVISIONS TO FINAL PLAN SET w/CHANGES LISTED CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR:





PLANS DRAWN PER SECTIONS & DETAILS SHOWN BELOW. ANY ADJUSTMENTS OR REVISIONS ON-SITE OR AFTER FINAL PLAN RELEASE TO BE CONSISTENT THROUGHOUT ENTIRE PLAN SET. REFER TO SECTIONS/DETAILS AS BENCHMARK FOR CHANGES.



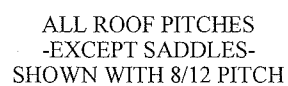
CUSTOM HOME DESIGN FOR:  
**SWH**  
Silver Wood Homes

DRAWINGS BY:  
**MSM**  
DESIGN GROUP, LLC

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TO PROCEEDING WITH CONSTRUCTION. BUILDER OR CONTRACTOR SHALL BE RESPONSIBLE FOR  
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FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.

REVISIONS:	
7-3-19	
DATE:	
11-15-18	
JOB NAME:	
MARSH VIEW	
SCALE:	
AS NOTED	
SHEET:	

**D1**



**SWH**  
Silver Wood Homes

DRAWINGS BY:

**MSM**

www.msmdesign.com  
msmdesign@gmail.com

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<b>REVISIONS:</b>

DATE:

11-15-18

JOB NAME:

MARSH VIEW

SCALE:

$$1/4'' = 1'-0''$$

SHEET:

R1

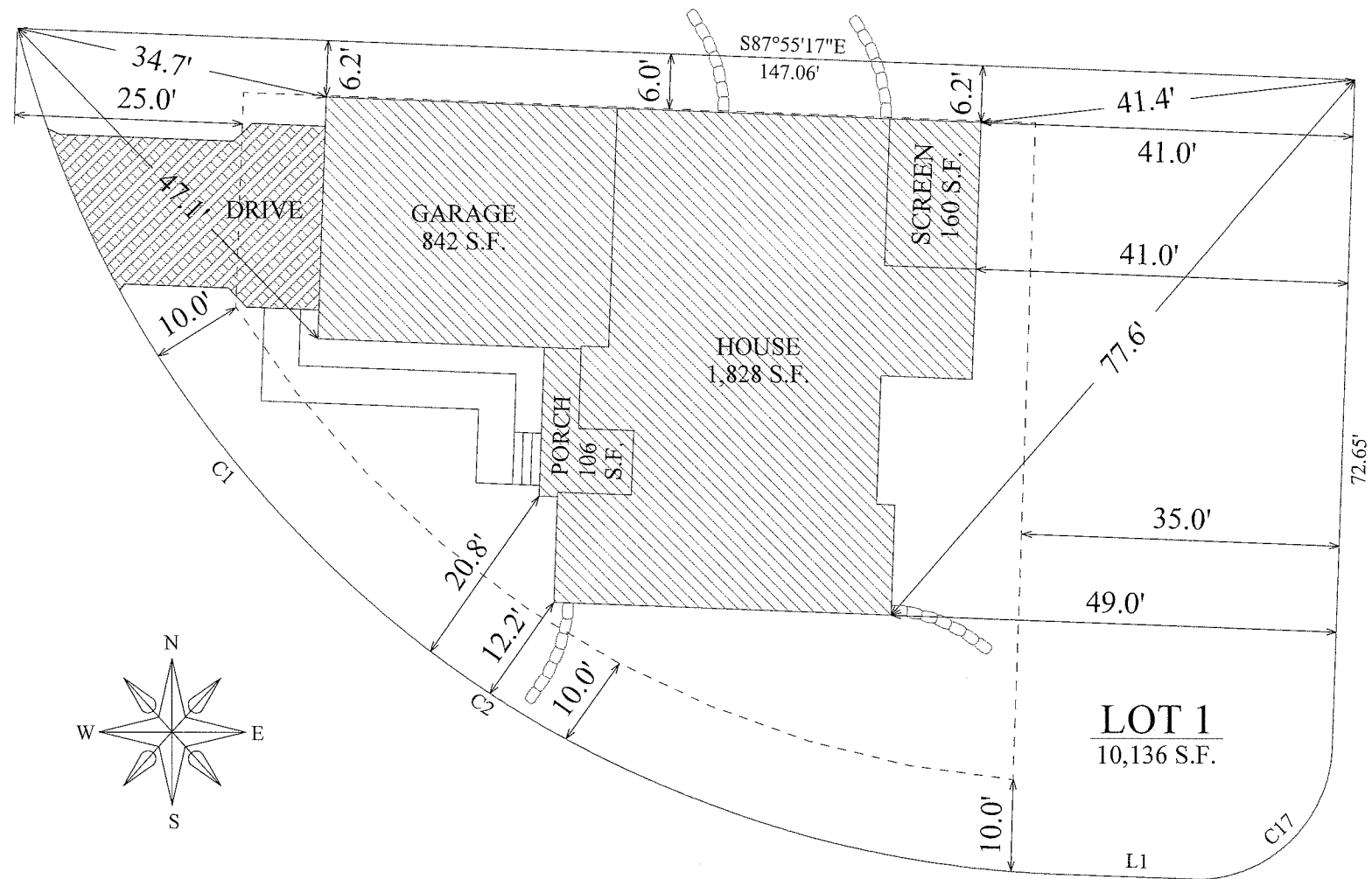
☐ DB#2: PRELIM. PLANS / STARTER PLAN SET    ☐ DB#3/4: EXT. ELEV'S & LOWER LEVEL    ☐ DB#6: BID SET    ☐ DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS    ☒ REVISIONS TO FINAL PLAN SET w/CHANGES LISTED  
 THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM)    DRAWINGS BY:    CUSTOM DESIGN AT 5201 PERFECT DRIVE FOR:

BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:

- MOVED OVERHEAD GARAGE DOOR FRONT SIDE TO FRONT
- MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
- CHANGE SCREENED FORD TO 3-SEASON ROOM
- CHANGE LIP SHAKE SICHING TO 84"
- ADD LOWER BOX ELBOW BEDROOM 2 WINDOW IN FRONT
- ADD (2) GOOSENECK LIGHTS TO FRONT
- ADD DECO GABLE BRACKET TO REAR GABLE
- CHANGE OVERHEAD GARAGE DOOR STYLE
- ADD 14 SQUARE STYLING LIPS TO 3-SEASON POSTS
- WIDEN FIREPLACE CHASE 4" ADD SECOND GAS FLUE
- CHANGE 24x48 WINDOW TO 30x30 AUNING IN MAIN LEVEL BATH
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
- CHANGE 24x48 WINDOW TO 60x30 FIXED IN MASTER BATH
- REMOVE GABLE WINDOW IN GARAGE
- CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
- REMOVE 30x48 WINDOW FROM LOWER "CUBINET" BEDROOM
- ADD SIZES 4 TYPES OF DOORS TO FELLT BATH
- PLANS & WALL LOCATIONS UPDATED FOR CABINETS, PLANS
- FLIP BAR CABINETS 4" FIREPLACE/CABINETS END-TO-END IN LOWER
- ADD WALL BY FRIDGE TO RECESS ARCH TO HUD ROOM
- ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
- ADJUST PORTAL FRAME TO REQ'D DOOR TO STAY UNDO
- ADJUST WALL BRACING AS REQ'D DOOR TO 3-SEASON 4 GARAGE



IT IS THE POSITION OF MSM DESIGN THAT A PROFESSIONAL SURVEYOR CONDUCT ALL FINAL SITE PLAN DRAWINGS AND ANY FOOTPRINT SETTING AND/OR STAKING. BASIC SITE LAYOUT IS SHOWN FOR REFERENCE ONLY.



## BASIC SITE PLAN

LOT 1 - 5201 PERFECT DRIVE

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:**
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B&B
  - ADD FLOUREX BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER "FUTURE" BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

CUSTOM HOME DESIGN FOR:  
**SWH**  
Silver Wood Homes

DRAWINGS BY:  
**MSM** DESIGN GROUP, LLC  
www.msmdesigngroup.com  
msmdesigngroup@ids.net

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REVISIONS:	
7-3-19	
DATE:	
11-15-18	
JOB NAME:	
MARSH VIEW	
SCALE:	
1/8" = 1'-0"	
SHEET:	
S.1	

DB#2: PRELIM PLANS / STARTER PLAN SET DB#3/4: EXT: ELEV & LOWER LEVEL DB#6: BID SET DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS REVISIONS TO FINAL PLAN SET w/CHANGES LISTED



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LEGEND:

COVERED FOOTPRINT

STOCKPILED SOIL

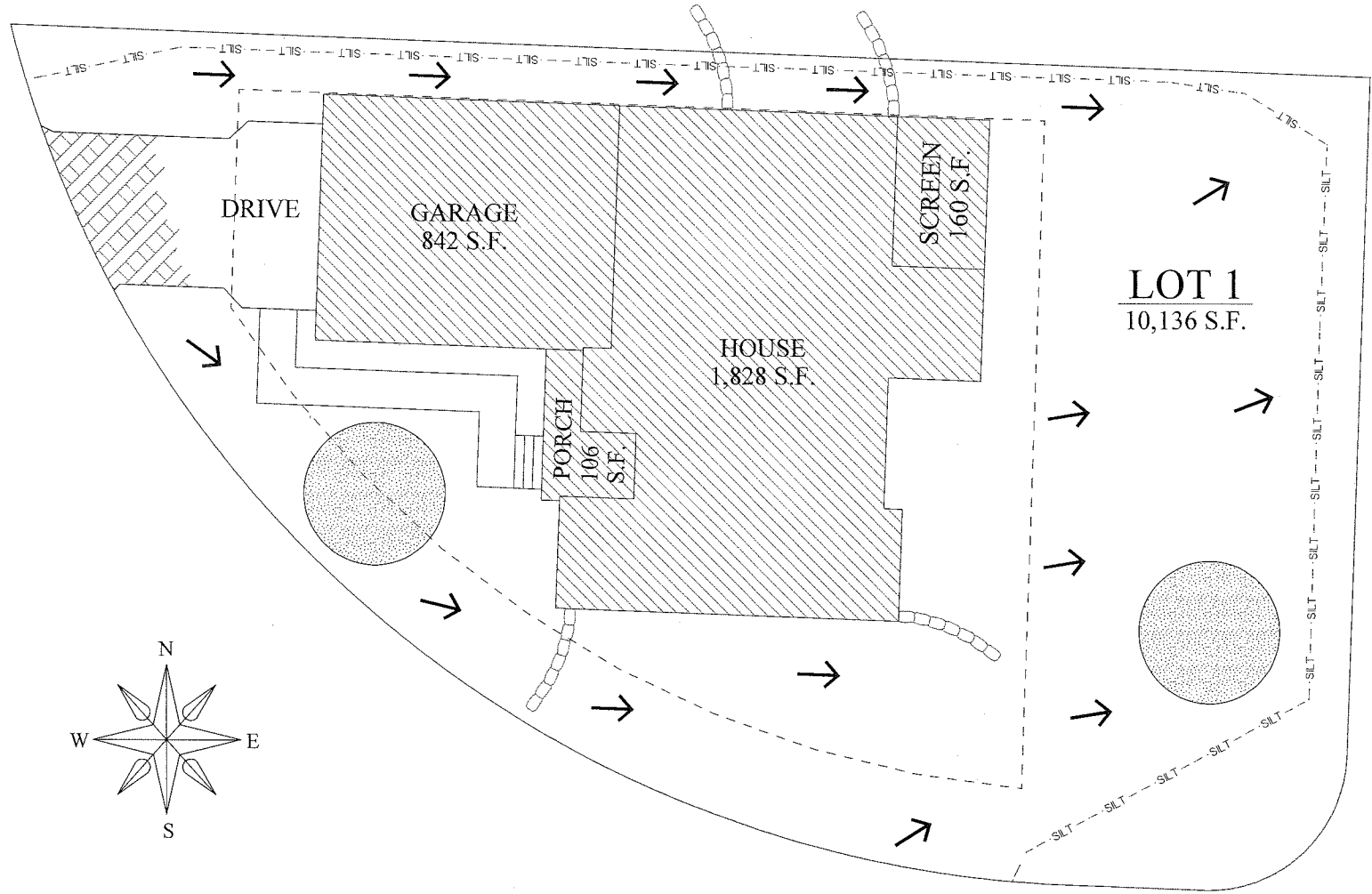
TRACK PAD

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SILT FENCE/SOCK

←

DRAINAGE



BASIC EROSION CONTROL PLAN  
LOT 1 - 5201 PERFECT DRIVE

- BASIC LIST OF CHANGES AFTER FINAL PLAN RELEASE:
- MOVED OVERHEAD GARAGE DOOR FROM SIDE TO FRONT
  - MOVED 60x60 WINDOW IN GARAGE FROM FRONT TO SIDE
  - CHANGE SCREENED PORCH TO 3-SEASON ROOM
  - CHANGE LP SHAKE SIDING TO B&B
  - ADD FLOWER BOX BELOW BEDROOM 2 WINDOW IN FRONT
  - ADD (2) GOOSENECK LIGHTS TO FRONT
  - ADD DECO GABLE BRACKET TO REAR GABLE
  - CHANGE OVERHEAD GARAGE DOOR STYLE
  - ADD 14" SQUARE STONE COLUMNS BELOW 3-SEASON POSTS
  - WIDEN FIREPLACE CHASE & ADD SECOND GAS FLUE
  - CHANGE 24x48 WINDOW TO 30x30 AWNING IN MAIN LEVEL BATH
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN MAIN LEVEL DINETTE
  - CHANGE 24x18 WINDOW TO 18x18 FIXED IN MASTER BATH
  - REMOVE GABLE WINDOW IN GARAGE
  - CHANGE 60x60 WINDOW TO 60x30 FIXED IN LOWER SUN ROOM
  - REMOVE 30x48 WINDOW FROM LOWER "FUTURE" BEDROOM
  - WINDOW SIZES & TYPES LABELED PER FELLA LIST
  - PLANS & WALL LOCATIONS UPDATED PER CABINET PLANS
  - FLIP BAR CABINETS & FIREPLACE/CABINETS END-TO-END IN LOWER
  - ADDED WALL BY FRIDGE TO RECESS ARCH TO MUD ROOM
  - ADDED 60" WALL BRACING TO GARAGE/HOUSE SHARED WALL
  - MOVED PORTAL FRAME AT FRONT DOOR TO STAIR WINDOW
  - ADJUSTED WALL BRACING AS REQ'D DUE TO 3-SEASON & GARAGE

CUSTOM HOME DESIGN FOR:

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DRAWINGS BY:

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www.msmdesigngroup.com  
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REVISIONS:

NO.	DATE	DESCRIPTION

DATE:

11-15-18

JOB NAME:

MARSH VIEW

SCALE:

1/8" = 1'-0"

SHEET:

S.2

DB#2: PRELIM. PLANS / STARTER PLAN SET

DB#3/4: EXT. ELEV'S & LOWER LEVEL

DB#6: BID SET

DB#7: FINAL CONSTRUCTION PLANS FOR BID, BUILD & PERMITS

REVISIONS TO FINAL PLAN SET w/CHANGES LISTED