

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: Lot 45, Plat of Chapel View - 624 Burnt Sienna Drive
Title: The Cottages At Chapel View

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested July 17, 2019
☐ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☐ Initial approval ☒ Final approval

3. Project Type

- ☐ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
 ☐ General Development Plan (GDP)
 ☐ Specific Implementation Plan (SIP)
☒ Planned Multi-Use Site or Residential Building Complex
- Signage**
☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)
- Other**
☒ Please specify
Review of Conditional Use - TR-V1 (Reduction of yard setback requirements in a RBC)

4. Applicant, Agent, and Property Owner Information

Applicant name Chad Wuebben, President **Company** Chapel View Development Company Inc.
Street address 6840 Schneider Road **City/State/Zip** Middleton WI 53562
Telephone 608-836-9601 **Email** cwuebben@encorehomesinc.com

Project contact person Same As Applicant **Company** _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

Property owner (if not applicant) Same As Applicant
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

5. Required Submittal Materials

- ☐ **Application Form**
- ☐ **Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development plans** (Refer to checklist provided below for plan details)
- ☐ **Filing fee**
- ☐ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

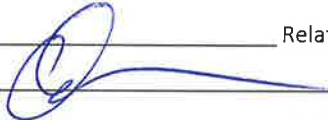
**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on Multiple times beginning January 29, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Chad Wuebben, President

Relationship to property President of Owner

Authorized signature of **Property Owner** 

Date June 25, 2019

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST



The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), plus:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



June 25, 2019

Ms. Janine Glaeser
Staff
Urban Design Commission
City of Madison
215 Martin Luther King Jr Blvd
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V2) – The Cottages At Chapel View

Dear Ms. Glaeser,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

****Please note that this project has received all necessary approvals, subject to staff review, from Plan Commission and Common Council. We are requesting final UDC approval with this application, and have included, at the front of each packet, the changes to our application based on UDC feedback. These changes/updates are as follows:**

1. Updated landscape plans and plant list/landscape worksheet
2. Updated Cottage elevations with consistent window design
3. Updated Cottage elevation with re-sized gable detail
4. New proposed bike rack style

Project Team

Applicant:

Chapel View Development Company Inc.

Engineer:

Wyser Engineering

Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7752

Wade Wyse, Owner
312 East Main Street
Mount Horeb WI 53572
wade.wyse@wyserengineering.com
608-843-3388

General Contractor:

Encore Homes, Inc.
Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7725

Project Sales:

Encore Real Estate Services, Inc.
Cari Fuss, Managing Broker
6840 Schneider Road
Middleton WI 53562
cfuss@encorehomesinc.com
608-843-2500

Project Overview

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V2 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will be platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

Lot 1 1.93 Acres 84,052 Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	3000 x 15 = 45,000	500 x 15 = 7,500	45,000 + 7,500 = 52,500

Lot 45 1.81 Acres 78,888 Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
13	3000 x 13 = 39,000	500 x 15 = 6,500	45,000 + 7,500 = 45,500

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the “front” yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison’s growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.

According to “The Direct Impact of Housing and Remodeling on the U.S. Economy” by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of August, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.



Chad Wuebben, President

The Primrose - Elevation A
Updated



6940 SCHNIEDER ROAD
MIDDLETON, WI 53562
PHONE: (608) 836-9601
FAX: (608) 836-9691
www.encorebuildingsolutions.com

Consultant

Notes

EXTERIOR COLORS:

1. VINYL SIDING (1" COLORED)
2. SMART SIDING (1" COLORED)
3. BOARD & BATTEN (1" COLORED)
4. SHALE (1" COLORED)
5. SHALE (1" COLORED)
6. VINYL CORNER TRIM
7. SMART CORNER TRIM
8. WOODWORK & DOOR TRIM
9. ACCENT BAND
10. GABLE ACCENTS
11. COLUMNS
12. SHUTTER/GUTTER (ALUMINUM)
13. SHUTTERS
14. PORCHES
15. ROOF (1" COLORED)
16. ROOF (SHINGLES)
17. WINDOWS
18. ENTRY DOOR
19. GARAGE DOOR

STANDARD ABBREVIATIONS:

HB	HOUSE	WD	WOOD
CO	CLOSED OPENING	DW	DISHWASHER
DO	DRY WALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
QT	QUART	C	CURB
CT	CERAMIC TILE	W	WATER
D	DRIVE	LH	LAMP
VH	VINYL	PS	PLUMBING STACK
FRS	FRIDGE ROOM SYSTEM		

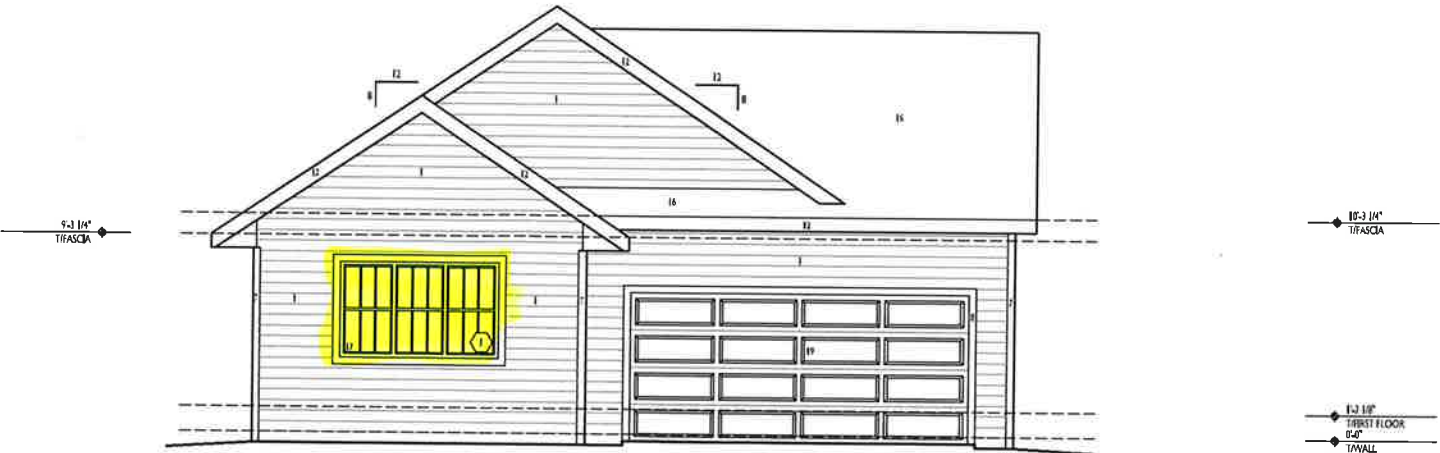


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL/NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
C	9054	3-Wide Single Hung w/Eligible Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Plaza
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1		Plaza
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:

- 1 - See job start for window colors
- 2 - Switch active patio door leaf and casement saving for Reversed plans
- 3 - Tempered Glass
- 4 - Top of window @ 84" A.F.F.



REAR ELEVATION

Revisions

REVISION SET:

NO SET: FORMERLY COTTAGE 1 - ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
PRIMROSE - ELEVATION A

Drawn By: SWE

Drawing Title

Checked By: JH

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

Project No. Drawing No.

XXX of XXX A3.0

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The Primrose - Elevation A
Updated



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Consultant

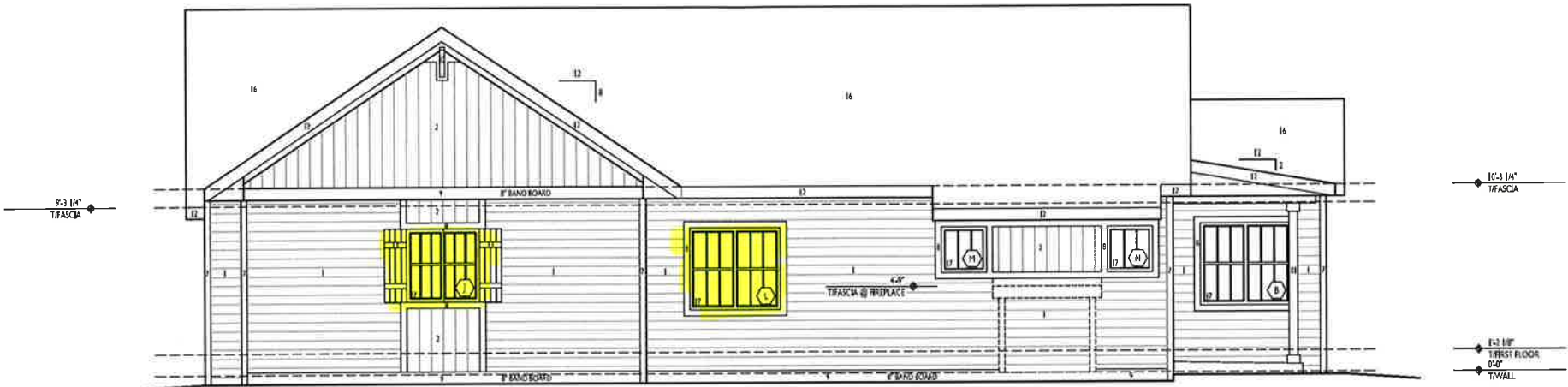
Notes

EXTERIOR COLORS:

- 0 VINYL SIDING (4" EXPOSURE) =
1 SHUNT SIDING (4" EXPOSURE) =
2 BOARD & BATTEN (6" J) =
3 BOARD & BATTEN (6" J) =
4 SHANK (6" J) =
5 SHANK (6" J) =
6 VINYL CORNER TRIM =
7 SHUNT CORNER TRIM =
8 WINDOW & DOOR TRIM =
9 ACCENT BAND =
10 GABLE ACCENTS =
11 COLLARING =
12 SOFFIT/FASCIA/CUTTER (ALUMINUM) =
13 SHUTTERS =
14 MASONRY =
15 ROOF (H) =
16 ROOF (SHINGLES) =
17 WINDOWS =
18 ENTRY DOOR =
19 GARAGE DOOR =

STANDARD ABBREVIATIONS:

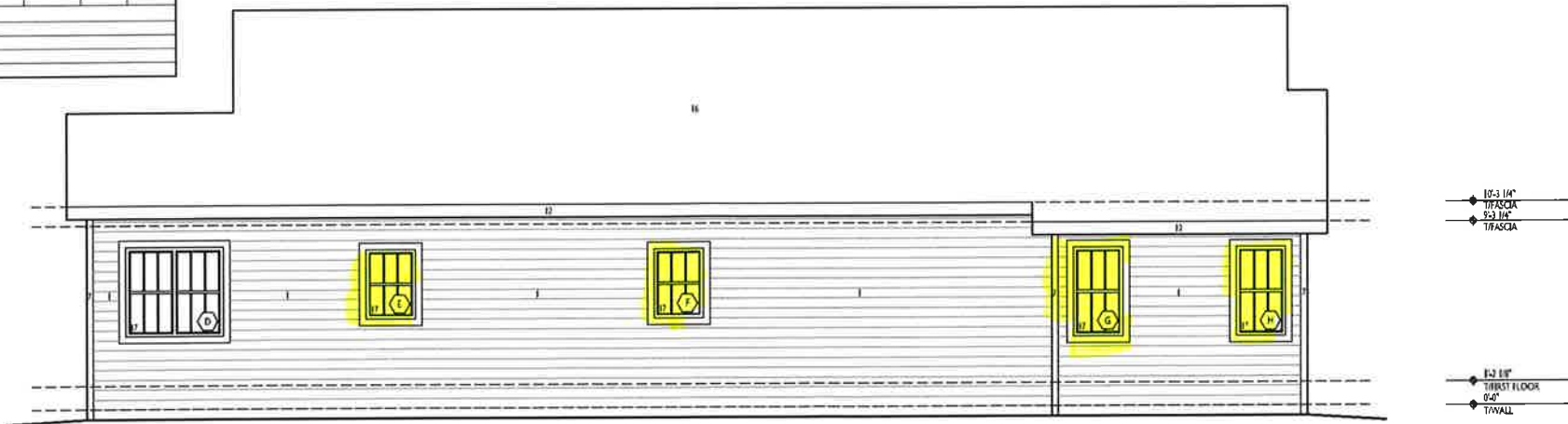
HB	HOUSE	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRY WALL OPENING	REF	REFRIGERATOR
WT	WATER TROUGH	SO	SWITCH/OUTLET
CT	CERAMIC TILE	C	CURB
D	DRYER	W	WASHER
V/L	VENT	LAM	LAMINATE
PAS	PASSIVE RADON SYSTEM	PS	PUMPING STACK



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL/NOTES
A	6000	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza
G	3254	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza
H	3254	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Plaza
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1		Plaza
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:
*See job start for window colors
*Switch active patio door leaf and casement swing for Reversed plans
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

Revisions

PRELIMINARY SET:

NO SET: FORMERLY COTTAGE 1 - ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
PRIMROSE - ELEVATION A

Drawing By: SWE

Checked By: KM

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

A3.1

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The Primrose - Elevation B
Updated



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FAX: (608) 836-9161
www.encorebuildsmadison.com

Consultant

Notes

EXTERIOR COLORS:

1. VINYL SIDING (4" EXPOSURE) =
2. SMART SIDING 4" EXPOSURE =
3. BOARD & BATTEN (ID 1) =
4. BOARD & BATTEN (ID 2) =
5. SHAKE (ID 4) =
6. SHAKE (ID 5) =
7. VINYL CORNER TRIM =
8. SMART CORNER TRIM =
9. WINDOW & DOOR TRIM =
10. GABLE ACCENTS =
11. COLUMNS =
12. SHUTTERS =
13. SHUTTERS (ALUMINUM) =
14. MASONRY =
15. ROOF (R) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOUSE	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOOR	RF	REFRIGERATOR
VP	VINYL POOR	SO	SWITCH OUTLET
CT	CURTAIN	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRAIN	LAM	LAMINATE
V/L	VINYL	PS	PUMPING STACK
PRS	PASSIVE RADON SYSTEM		

Revisions

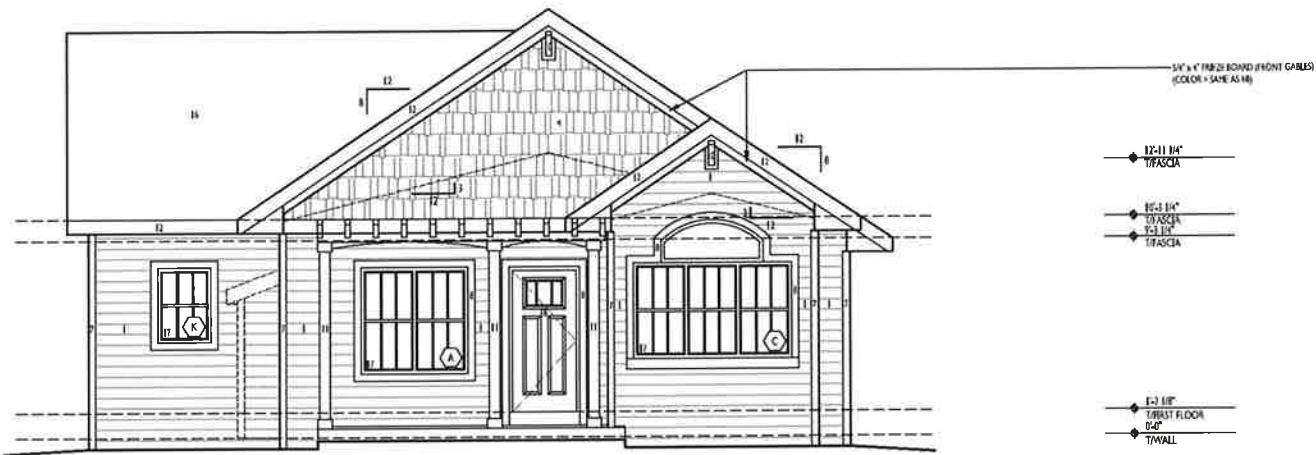
REVISIONARY SET:

NO SET: FORMERLY COTTAGE 1 - ELEVATION AA

CONSTRUCTION SET.

WINDOW SCHEDULE - ELEVATION B								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza	2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza	2
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza	
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza	
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza	
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Plaza	
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1		Plaza	
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O								
P								

NOTES:
*See job start for window colors.
*Switch active patio door leaf and casement swing for Reversed plans.
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.



FRONT ELEVATION



REAR ELEVATION

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
PRIMROSE - ELEVATION B

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No. Drawing No.

XXX A3.0

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The Primrose - Elevation B
Updated



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FAX: (608) 836-9601
www.encorebuildanddesign.com

Consultant:

Notes:

EXTERIOR COLORS:

- 1. VINYL SIDING (1" DOWNS) =
- 2. SMART SIDING (1" DOWNS) =
- 3. BOARD & BATTEN (1" DOWNS) =
- 4. SHAKES (1" DOWNS) =
- 5. VINYL CORNER TRIM =
- 6. SMART CORNER TRIM =
- 7. WINDOW & DOOR TRIM =
- 8. ACCENT BAND =
- 9. GABLE ACCENTS =
- 10. COLUMNS =
- 11. SOFFIT/CEILING/GUTTER (ALUMINUM) =
- 12. SHUTTERS =
- 13. MASONRY =
- 14. ROOF (1" DOWNS) =
- 15. ROOF (SHINGLES) =
- 16. WINDOWS =
- 17. ENTRY DOOR =
- 18. GARAGE DOOR =

STANDARD ABBREVIATIONS:

- | | | | |
|-----|----------------------|-----|----------------|
| HS | HOSE REEL | WD | WOOD |
| CO | CASED OPENING | DW | DISHWASHER |
| DO | DRY WALL OPENING | REF | REFRIGERATOR |
| WP | WATER PROOF | SO | SWITCH/OUTLET |
| CPT | CARPET | C | CUBES |
| CT | CERAMIC TILE | W | WASHER |
| D | DRIVE | LAM | LAMINATE |
| VTL | VINYL | PS | PLUMBING STACK |
| FRS | PASSIVE RADON SYSTEM | | |

Revisions:

- PRELIMINARY SET.
- 8/2 SEE FORMERLY COTTAGE 1 - ELEVATION AA
- CONSTRUCTION SET.

Project Title:

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
PRIMROSE - ELEVATION B

Drawing By: SWE Checked By: KKH

Drawing Title:

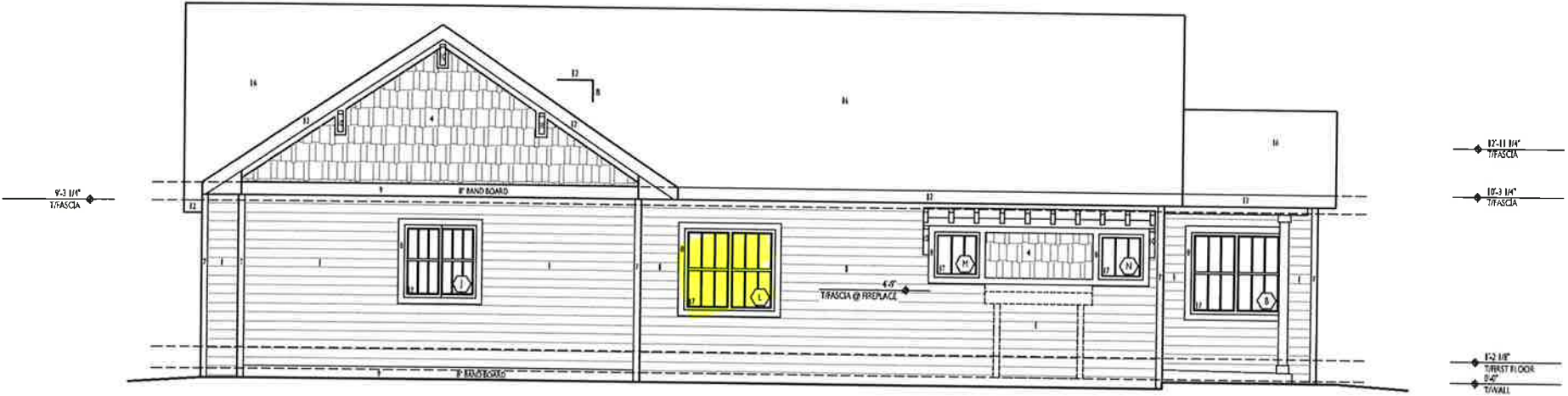
Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

Project No. Drawing No.

XXX of XXX A3.1

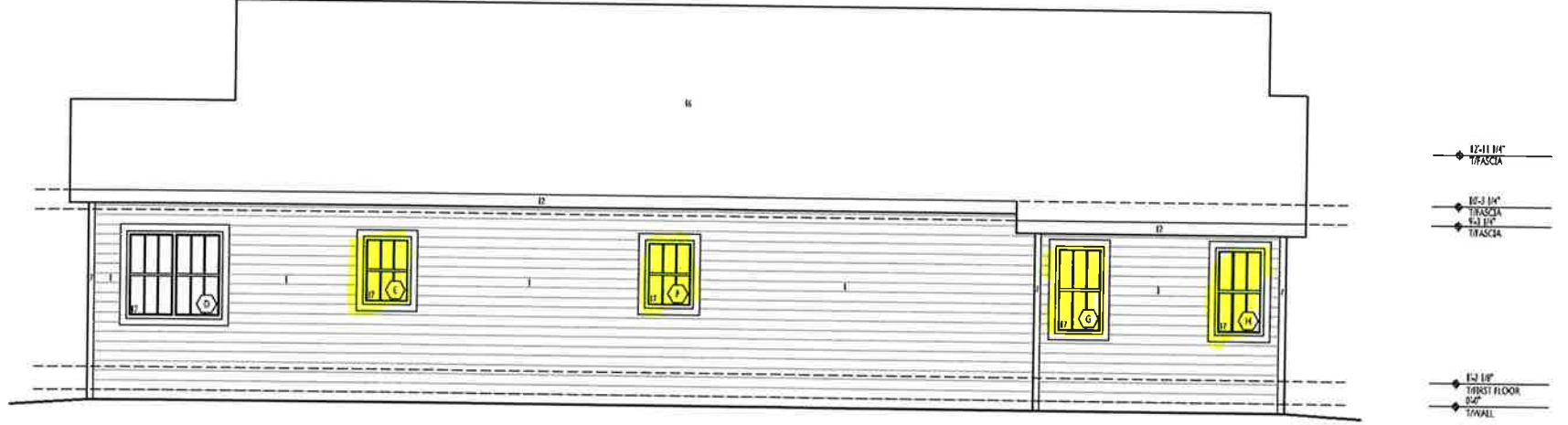
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RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION B								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 6'-0"	6' 9/16"	1		Plaza	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1		Plaza	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6' 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6' 9/16"	1		Plaza	
F	3042	Single Hung	2'-6" x 3'-6"	6' 9/16"	1		Plaza	
G	3054	Single Hung	2'-6" x 4'-6"	6' 9/16"	1		Plaza	
H	3054	Single Hung	2'-6" x 4'-6"	6' 9/16"	1		Plaza	
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6' 9/16"	1		Plaza	
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4' 9/16"	1		Plaza	
K	3042	Single Hung	2'-6" x 3'-6"	4' 9/16"	1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1		Plaza	
M	3030	Fixed	2'-6" x 2'-6"	6' 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6' 9/16"	1		Plaza	
O								
P								

NOTES:
*See job start for window colors
*Switch active patio door leaf and casement swing for Reversed plans
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

Updated



Constant

Notes

EXTERIOR COLORS:

0. VINYL SIDING 4' EXPOSURE =
1. SMART SIDING 6' EXPOSURE =
2. BOARD & BATTEN (ID 2) =
3. BOARD & BATTEN (ID 3) =
4. SHAKE (ID 4) =
5. SHAKE (ID 5) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SHUTTERFASCIA/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. MASONRY =
15. ROOF (H) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
VP	WATER PROOF	SO	SWITCH OUTLET
CT	CARPET	C	CUBINE
CP	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VFL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

Revisions

PRELIMINARY SET:

BID SET: FORMERLY COTTAGE I - ELEVATION B

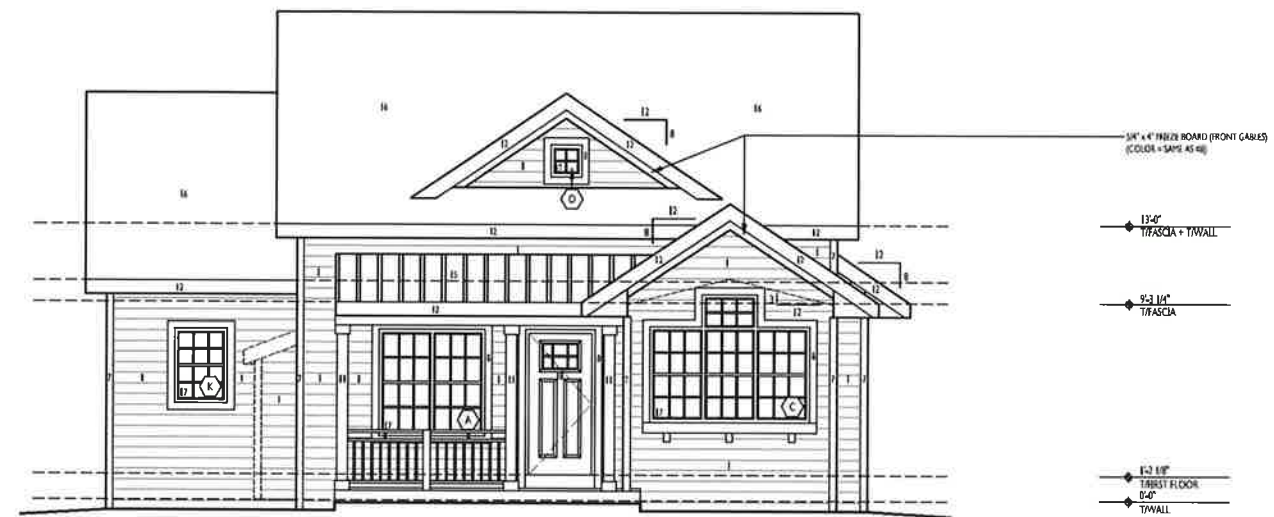
CONSTRUCTION SET:

CONSTRUCTION SET:

WINDOW SCHEDULE - ELEVATION C								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTE
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonist	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonist	2
C	6054	3-Wide Single Hung	7'-8" x 4'-6"	6 9/16"	1		Colonist	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonist	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonist	
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonist	
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonist	
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonist	
I	3054	3-Wide Single Hung	7'-8" x 4'-6"	6 9/16"	1		Colonist	
J	4188	2-Wide Single Hung	4'-0" x 6'-0"	4 9/16"	1		Colonist	
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonist	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonist	
M	3084	2 - 27" x 36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonist	
N	3084	2 - 27" x 36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonist	
O	1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonist	
P	2430	Fixed	2'-0" x 2'-6"	6 9/16"	1		Colonist	
NOTES:								
1- See job start for window colors.								
2-Switch active patio door leaf and casement swing for Reversed plans								
1 - Tempered Glass								
2 - Top of window @ 85" A.F.F.								

NOTES:

*See job start for window colors
*Switch active patio door leaf and casement swing for Reversed plans
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.



FRONT ELEVATION



REAR ELEVATION

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
FRIMROSE ELEVATION INC

Orange Br. SWE

Refined By: KM

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No. _____

Drawing No.

XXX

A3.0

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The Primrose - Elevation c
Updated



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Consultant:

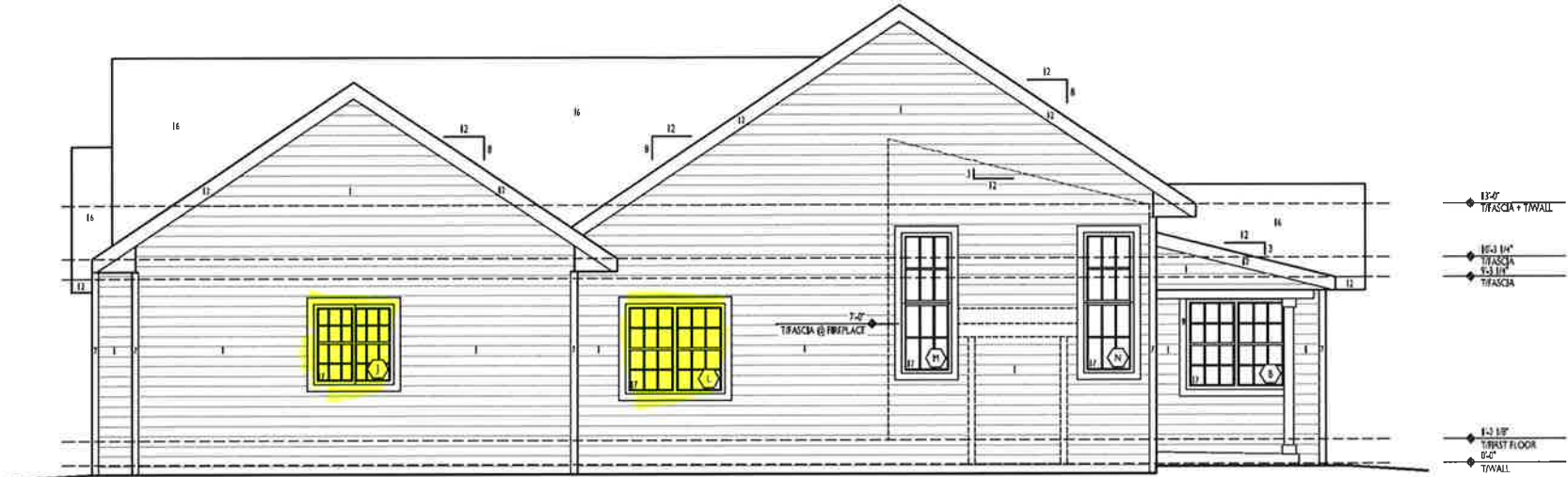
Notes

EXTERIOR COLORS:

- 1 VINYL SIDING (1" PROFILES) =
- 2 SMART SIDING (1" PROFILES) =
- 3 BOARD & BATTEN (1" 2) =
- 4 SHAKES (1" 4) =
- 5 SHAKES (1" 8) =
- 6 VINYL CORNER TRIM =
- 7 SMART CORNER TRIM =
- 8 WINDOW & DOOR TRIM =
- 9 ACCENT BAND =
- 10 CABLE ACCENTS =
- 11 COLUMNS =
- 12 SHUTTER ASIA/CUTTER (ALLUMINUM) =
- 13 SHUTTERS =
- 14 MASONRY =
- 15 ROOF (1" 8) =
- 16 ROOF (SHINGLES) =
- 17 WINDOWS =
- 18 ENTRY DOOR =
- 19 GARAGE DOOR =

STANDARD ABBREVIATIONS:

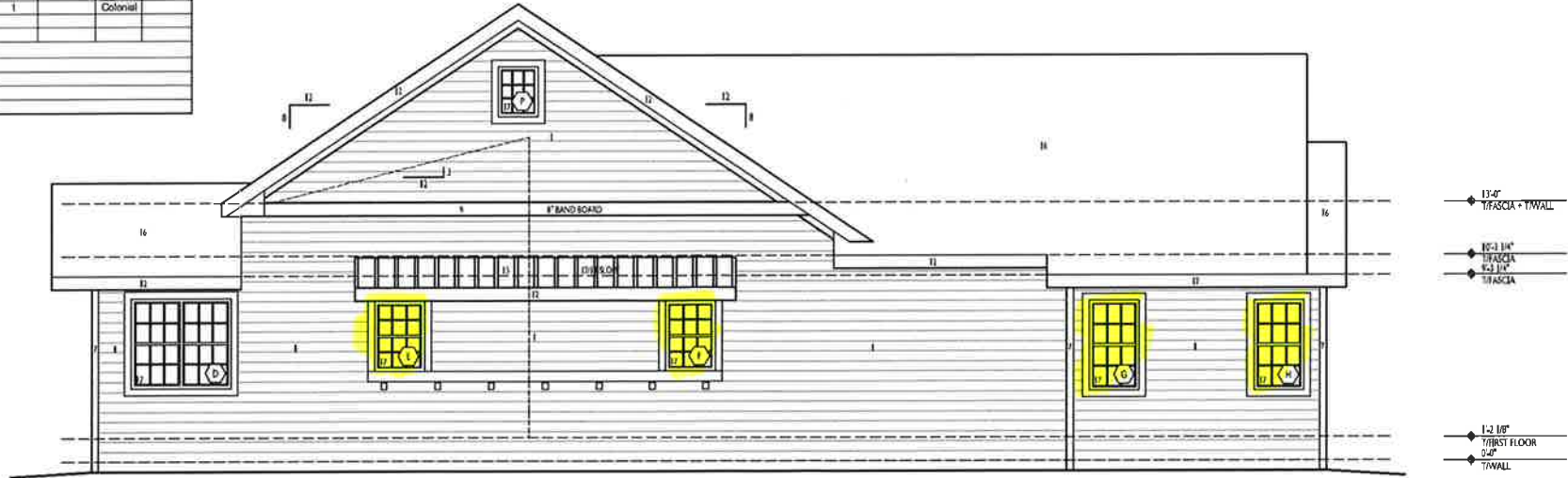
- HB HOSE BIB
- CO CASD OPENING
- DO DRYWALL OPENING
- WP WATER PROOF
- CPT CEMENT
- CT CERAMIC TILE
- D DRYER
- VTL VINYL
- PS PASSIVE RADON SYSTEM
- WV WOOD
- DW DRYWALL
- REF REFRIGERATOR
- SO SWITCH OUTLET
- C CUBES
- W WASHES
- LAM LAMINATE
- PS PLUMBING STACK



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION C									
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES		
A 6000	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1	Colonial				
B 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1	Colonial				
C 9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1	Colonial				
D 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1	Colonial				
E 3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1	Colonial				
F 3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1	Colonial				
G 3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1	Colonial				
H 3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1	Colonial				
I 9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1	Colonial				
J 4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1	Colonial				
K 3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1	Colonial				
L 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1	Colonial				
M 3084	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1	Colonial				
N 3084	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1	Colonial				
O 1818	Fixed	1'-6" x 1'-6"	6 9/16"	1	Colonial				
P 2430	Fixed	2'-0" x 2'-6"	6 9/16"	1	Colonial				

NOTES:
*See job start for window colors
*Switch active patio door leaf and casement swing for Reversed plans
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

Revisions

- PRELIMINARY SET:
- NO SET: FORMERLY COTTAGE 1 - ELEVATION B
- CONSTRUCTION SET:

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
PRIMROSE - ELEVATION C

Drawn By: SWE

Checked By: KH

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

A3.1

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Updated



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www.encombuildsmadison.com

Constant

Notes

EXTERIOR COLORS

- 1 VINYL SIDING (4' EXPOSURE) =
- 2 SMART SIDING (4' EXPOSURE) =
- 3 BOARD & BATTEN (ID 2) =
- 4 BOARD & BATTEN (ID 2) =
- 5 SHAKE (ID 4) =
- 6 SHAKE (ID 3) =
- 7 VINYL CORNER TRIM =
- 8 SMART CORNER TRIM =
- 9 WINDOW & DOOR TRIM =
- 10 ACCENT BAND =
- 11 GABLE ACCENTS =
- 12 COLUMNS =
- 13 SOFT BRASS GUTTER (ALUMINUM) =
- 14 SHUTTERS =
- 15 MASONRY =
- 16 ROOF (RT) =
- 17 ROOF (SHINGLES) =
- 18 WINDOWS =
- 19 ENTRY DOOR =
- 20 GARAGE DOOR =

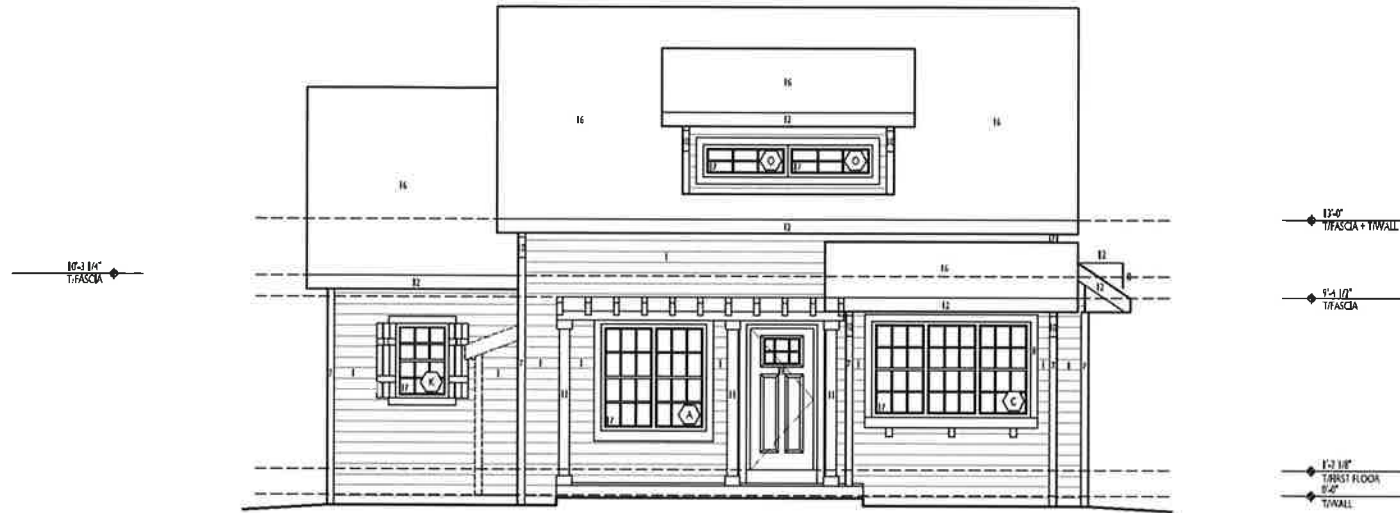
STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DESHWASHER
DO	DAYLIGHT OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CT	CARPET	C	CURBIE
CPT	CERAMIC TILE	W	WASHER
DR	DRYER	LAM	LAMINATE
VR	VINYL	PS	PLUMBING STACK
FRS	PASSIVE RADON SYSTEM		

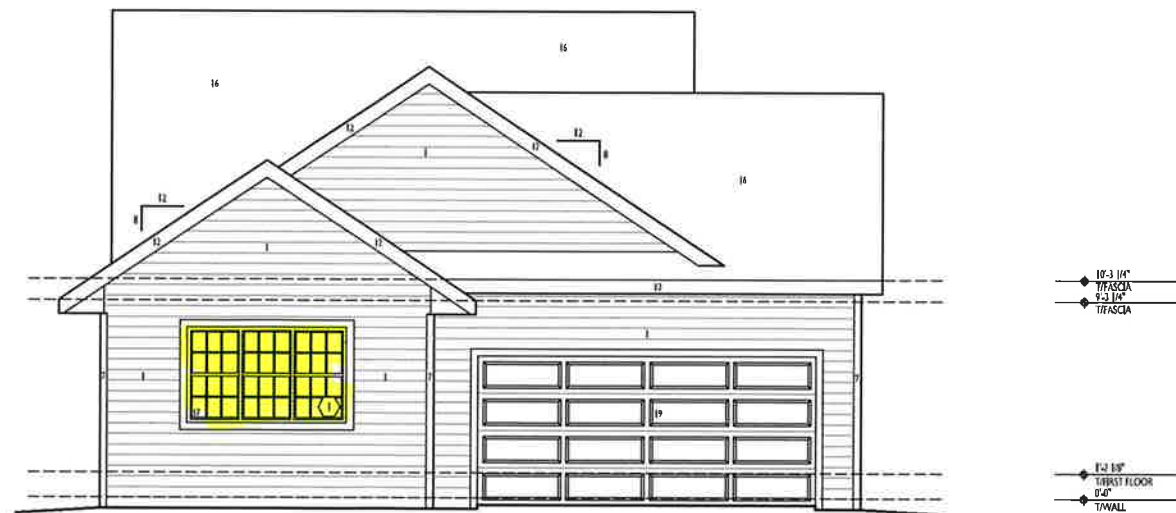
WINDOW SCHEDULE - ELEVATION D								
○	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'0" x 5'0"	6 1/8"	1		Colonial	
B	6054	2-Wide Single Hung	5'0" x 4'6"	6 1/8"	1		Colonial	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'6" x 4'6"	6 1/8"	1		Colonial	2
D	6054	2-Wide Single Hung	5'0" x 4'6"	6 1/8"	1		Colonial	
E	3042	Single Hung	2'6" x 3'6"	6 1/8"	1		Colonial	
F	3042	Single Hung	2'6" x 3'6"	6 1/8"	1		Colonial	
G	3054	Single Hung	2'6" x 4'6"	6 1/8"	1		Colonial	
H	3054	Single Hung	2'6" x 4'6"	6 1/8"	1		Colonial	
I	5054	3-Wide Single Hung	7'6" x 4'6"	6 1/8"	1		Colonial	
J	4848	2-Wide Single Hung	4'0" x 4'0"	4 9/16"	1		Colonial	
K	3042	Single Hung	2'6" x 3'6"	4 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'0" x 4'6"	6 1/8"	1		Colonial	
M	3084	2-26" x 36" Mullied Fixed	2'6" x 7'0"	6 1/8"	1		Colonial	
N	3084	2-26" x 36" Mullied Fixed	2'6" x 7'0"	6 1/8"	1		Colonial	
O	4818	Fixed	4'0" x 1'6"	6 1/8"	2		Colonial	
P								
NOTES:								
*See job start for window colors								
*Switch active patio door leaf and casement swing for Reversed plans								
1 - Tempered Glass								
2 - Top of window @ 84" A.F.F.								

NOTES:

*See job start for window colors
*Switch active patio door leaf and casement swing for Reversed plans.
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.



FRONT ELEVATION



REAR ELEVATION

Revisions

HILF-JAY ME.

END SET: HONERLY COTTAGE 1 - ELEVATION 08

CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS

PRIMROSE : ELEVATION D

Drawing By: SYNE

Drawing Title

Checked By: KH

Exterior Elevations

Scale: $1/4" = 1'-0"$

Date: XX/XX/XXXX

Project No. _____

Drawing No.

XXX

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Updated



NOTES:

1	See job start for window colors
2	Switch active patio door leaf and casement swing for Reversed plants
1	Tempered Glass
2	Finishing Patio Door to be installed in 6-ft/16" jamb

○



EXTERIOR COLORS:

- STANDARD ABBREVIATIONS:

HR	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DAYWALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PAS	PASSIVE RADON SYSTEM		

PRELIMINARY SET:

BID SET: FORMERLY (

CONSTRUCTION SET

[illegible]

Project Title

ADDRESS

WILLOW : ELEVATION A

Drying Br. SWE

Checked By: KH

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

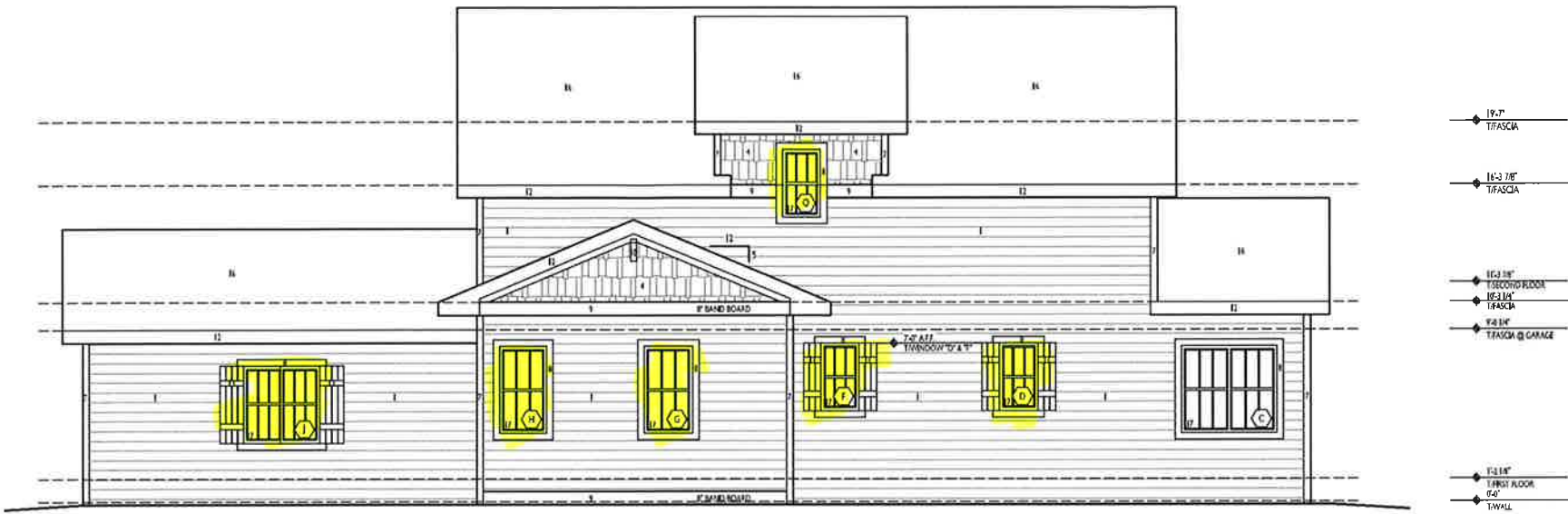
Project No. _____

Drawing No.

XXX A3.0

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The Willow - Elevation A
Updated



EXTERIOR COLORS:

- 1. VINYL SIDING (4" EXPOSURE) =
- 2. BOARD & BATTEN (2" x 2) =
- 3. BOARD & BATTEN (2" x 2) =
- 4. SHAKE (D 4) =
- 5. SHAKE (D 5) =
- 6. VINYL CORNER TRIM =
- 7. SHUTTER CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SHUTTER FASCIA CUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. MASONRY =
- 15. ROOF (PT) =
- 16. ROOF (SHINGLES) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

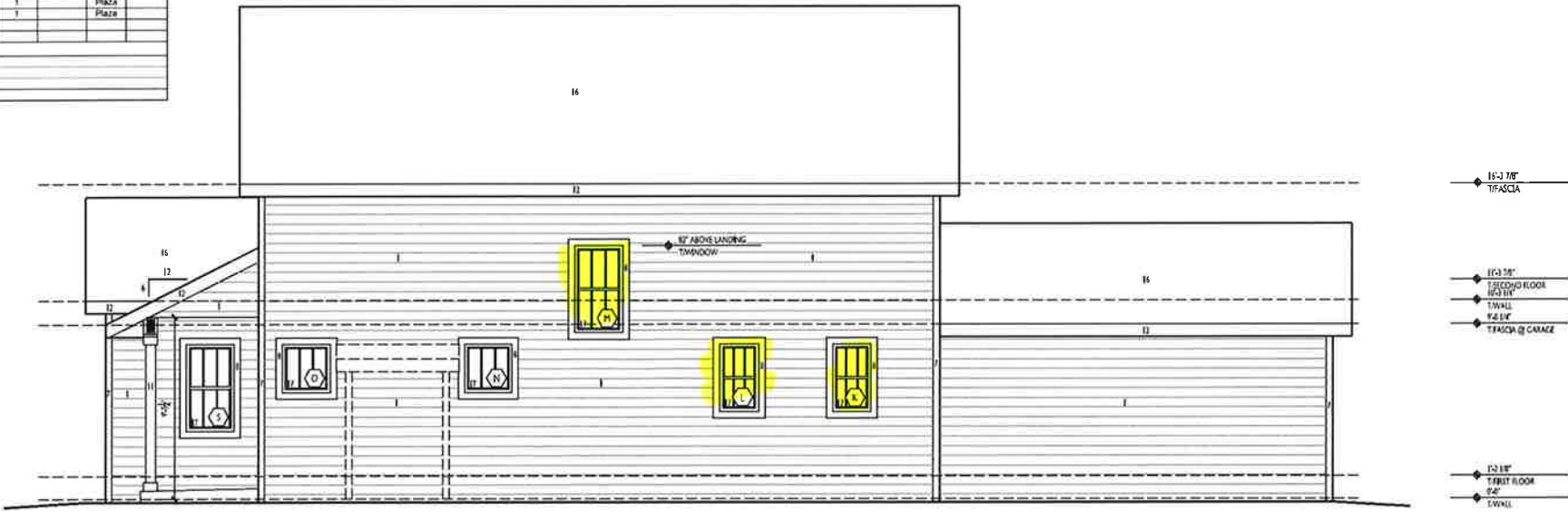
STANDARD ABBREVIATIONS:

HB	HOUSE	VD	VIDEO
CO	CASED OPENING	DW	DEWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CFT	CAVITY	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VTL	VINYL	PS	PUMPING STACK
PXS	PASSIVE RADON SYSTEM		

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6050	2 Wide Single Hung	3'-0" x 3'-6"	6 9/16"	1		Plaza
B	9054	3 Wide Single Hung w/ 18" Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza
C	6054	2 Wide Single Hung	3'-0" x 4'-6"	6 9/16"	1		Plaza
D	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1		Plaza
E	3054	Single Hung	2'-0" x 4'-6"	6 9/16"	1		Plaza
F	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1		Plaza
G	3054	Single Hung	2'-0" x 4'-6"	6 9/16"	1		Plaza
H	3054	Single Hung	2'-0" x 4'-6"	6 9/16"	1		Plaza
I	3054	Single Hung	2'-0" x 4'-6"	6 9/16"	1		Plaza
J	4848	2 Wide Single Hung	4'-0" x 4'-0"	4 6/16"	1		Plaza
K	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1		Plaza
L	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1		Plaza
M	3054	Single Hung	2'-0" x 4'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
P	6054	2 Wide Single Hung	3'-0" x 4'-6"	6 9/16"	1		Plaza
Q	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1		Plaza
R	6054	2 Wide Single Hung	3'-0" x 4'-6"	6 9/16"	1		Plaza
S	3054	Single Hung	2'-0" x 4'-6"	6 9/16"	1		Plaza
T							

NOTES:
1. Free job start for window colors.
2. Switch active patio door leaf and casement using for Reversed plans.
3. 1 - Tempered Glass
4. 2 - Sliding Patio Door to be installed in 6'-3/16" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions:
PRELIMINARY SET.
NO SET: FORMERLY COTTAGE 2 - ELEVATION A
CONSTRUCTION SET

Project Title
**OWNER/SPEC
SUBDIVISION
LOT #**
ADDRESS
WILLOW - ELEVATION A

Drawn By: SHE
Drawing Title
Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX
Project No. Drawing No.

XXX A3.1

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The Willow - Elevation B
Updated



6840 SCHNEIDER ROAD
MIDDLETON, WI 53562
PHONE: (608) 836-9601
FAX: (608) 836-9691
www.encorebuildings.com

Consultant

Notes

EXTERIOR COLORS:

1. VINYL SIDING (4" EXPOSURE) =
2. SMART SIDING (6" EXPOSURE) =
3. BOARD & BATTEN (6" J) =
4. SHAKE (6" J) =
5. SHAKE (6" J) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. CAME ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. RASORRY =
15. ROOF (SH) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HS	HOUSE	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOOR	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CTE	CARPET	C	CUBIC
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VTL	VINYL	PS	PUMPING STACK
PLS	PLASTER RADIUM SYSTEM		

Revisions

PRELIMINARY SET:

NO SET: FORMERLY COTTAGE 2 - ELEVATION AA

CONSTRUCTION SET:

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS

WILLOW - ELEVATION B

Drawing By: SWE

Checked By: KH

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

A3.0

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FRONT ELEVATION



REAR ELEVATION

WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-5 1/8"	1			Colonial
B 6054	3-Wide Single Hung	7'-0" x 4'-0"	6'-5 1/8"	1			Colonial
C 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-5 1/8"	1			Colonial
D 2442	Single Hung	2'-0" x 3'-0"	6'-5 1/8"	1			Colonial
E 3054	Single Hung	2'-0" x 4'-0"	6'-5 1/8"	1			Colonial
F 2442	Single Hung	2'-0" x 3'-0"	6'-5 1/8"	1			Colonial
G 3054	Single Hung	2'-0" x 4'-0"	6'-5 1/8"	1			Colonial
H 3054	Single Hung	2'-0" x 4'-0"	6'-5 1/8"	1			Colonial
I 3054	Single Hung	2'-0" x 4'-0"	6'-5 1/8"	1			Colonial
J 4848	2-Wide Single Hung	4'-0" x 4'-0"	4'-5 1/8"	1			Colonial
K 2442	Single Hung	2'-0" x 3'-0"	6'-5 1/8"	1			Colonial
L 2442	Single Hung	2'-0" x 3'-0"	6'-5 1/8"	1			Colonial
M 3054	Single Hung	2'-0" x 4'-0"	6'-5 1/8"	1			Colonial
N 3050	Fixed	2'-0" x 2'-0"	6'-5 1/8"	1			Colonial
O 3030	Fixed	2'-0" x 2'-0"	6'-5 1/8"	1			Colonial
P 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-5 1/8"	1			Colonial
Q 2442	Single Hung	2'-0" x 3'-0"	6'-5 1/8"	1			Colonial
R 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-5 1/8"	1			Colonial
S 3054	Single Hung	2'-0" x 4'-0"	6'-5 1/8"	1			Colonial
T							

NOTES:

- 1. See job start for window colors.
- 2. Switch active patio door leaf into casement swing for finished plans.
- 3. 1" Tempered Glass.
- 4. 2" Sliding Patio Door to be installed in 6'-5 1/8" jamb.

The Willow - Elevation B
Updated



6840 SCHNEIDER ROAD
MIDDLETON, VA 23042
PHONE: (800) 836-9601
FAX: (800) 836-9601
www.encorebuildings.com

Consultant:

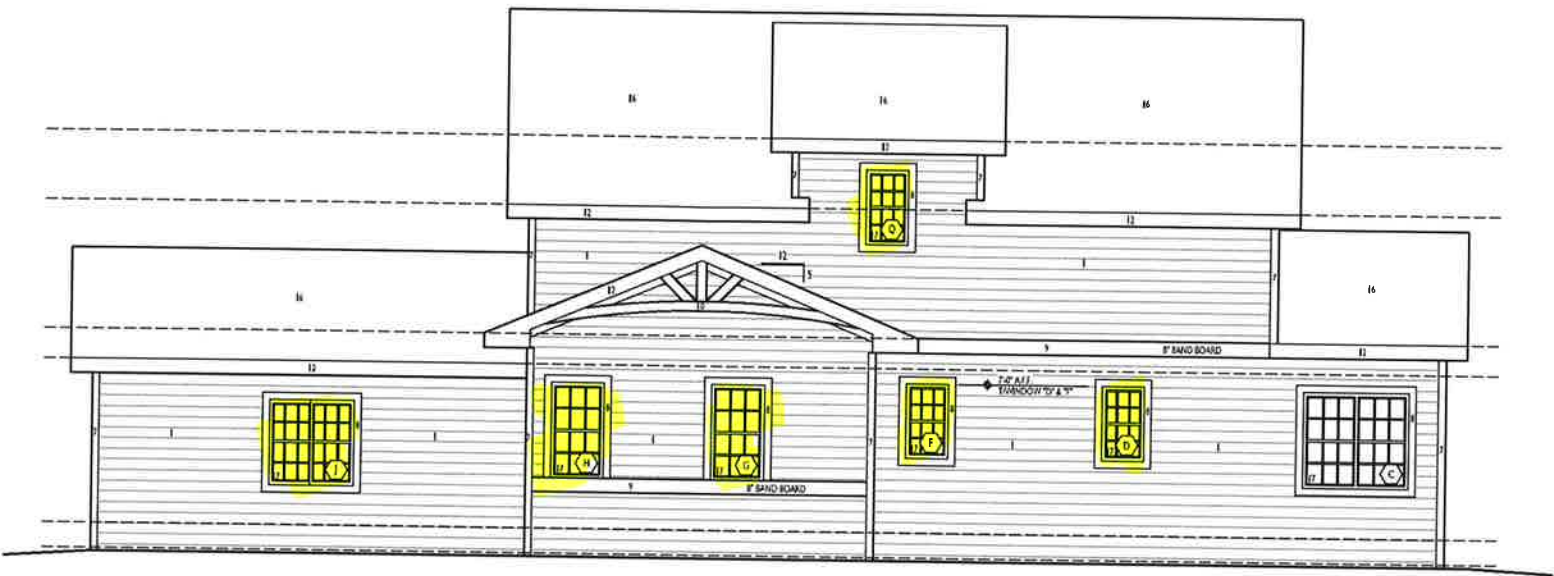
Notes:

EXTERIOR COLORS:

1. VINYL SIDING (EXPOSURE) =
2. SMART SIDING (EXPOSURE) =
3. BOARD & BATTEN (ID 1) =
4. SHAKES (ID 4) =
5. SHAKES (ID 5) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCTV BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SHUTTERS/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. PLYWOOD =
15. ROOF (ID) =
16. ROOF (SHAKES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DOORWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
VP	WATER PROOF	SO	SWITCH OUTLET
CT	CARPET	C	CUBES
CT	CERAMIC TILE	W	WASHER
D	DRYER	LPH	LAPWATER
VTL	VINYL	PS	PULPING STACK
PS	PASSEADON SYSTEM		



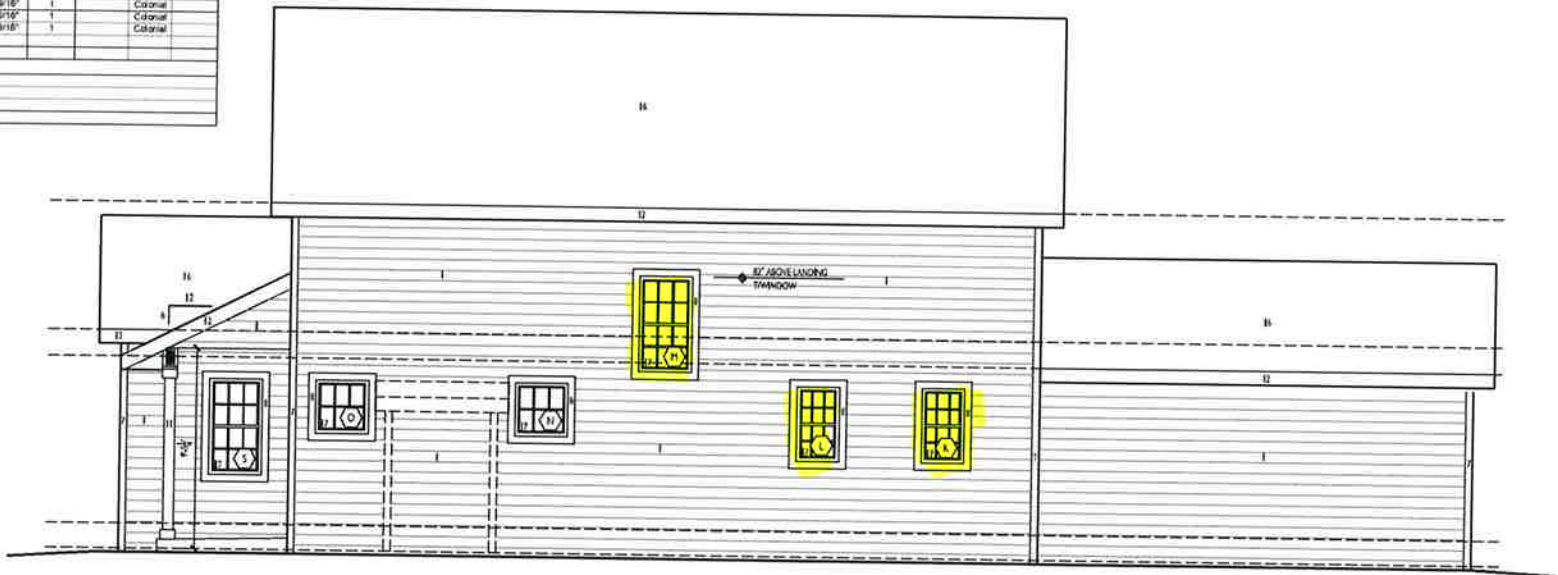
- 19'-7" TRUSCA
- 15'-3 7/8" TRUSCA
- 15'-3 3/8" SECOND FLOOR
- 15'-1 1/2" TRUSCA
- 14'-6 1/4" TRUSCA @ GARAGE

- 15'-3 1/8" FIRST FLOOR
- 14'-6 1/4" TRUSCA

WINDOW SCHEDULE - ELEVATION B									
QTY	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES	
A	6055	2-Wide Single Hung	5'-0" x 5'-0"	6'-9 1/8"	1		Colonial		
B	6054	3-Wide Single Hung	7'-6" x 4'-6"	6'-9 1/8"	1		Colonial		
C	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
D	2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1		Colonial		
E	3054	Single Hung	2'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
F	2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1		Colonial		
G	3054	Single Hung	2'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
H	3054	Single Hung	2'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
I	2054	Single Hung	2'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
J	4548	2-Wide Single Hung	4'-0" x 4'-0"	6'-9 1/8"	1		Colonial		
K	2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1		Colonial		
L	2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1		Colonial		
M	3054	Single Hung	2'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
N	3030	Fixed	2'-0" x 3'-0"	6'-9 1/8"	1		Colonial		
O	3030	Fixed	2'-0" x 3'-0"	6'-9 1/8"	1		Colonial		
P	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
Q	2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1		Colonial		
R	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
S	3054	Single Hung	2'-0" x 4'-6"	6'-9 1/8"	1		Colonial		
T									

NOTES:
1 - See job start for window colors
2 - Switch active patio door leaf and casement saving for Hinged plans
3 - Tempered Glass
4 - Fixed Patio Door to be installed in 6'-9 1/8" jamb

LEFT ELEVATION



- 15'-3 7/8" TRUSCA
- 15'-3 3/8" SECOND FLOOR
- 15'-1 1/2" TRUSCA
- 14'-6 1/4" TRUSCA @ GARAGE

- 15'-3 1/8" FIRST FLOOR
- 14'-6 1/4" TRUSCA

RIGHT ELEVATION

Revisions:

PRELIMINARY SET:

BD SET: FORMERLY COTTAGE 2 - ELEVATION AA

CONSTRUCTION SET:

Project Title:

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
WILLOW - ELEVATION B

Drawn By: SWE

Drawing Title:

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.:

Drawing No.:

XXX

A3.1

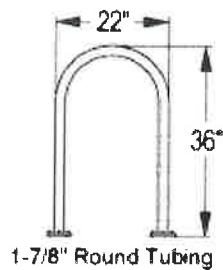
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Updated Proposed Bike Racks



Traditional Inverted 'U'

Ubiquitous to many urban areas, the inverted 'U' bike rack has become the de facto bike rack for streetscapes everywhere. It's easy to understand why—with its simplistic, compact design and small footprint it is perfectly suited for high traffic areas. The 'U' rack provides ample space for two bikes to both properly secure wheel and frame.



URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: _____ Lots 1 and 45, Plat of Chapel View, Madison WI

Title: _____ The Cottages At Chapel View

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested _____ May 29, 2019

- ☐ New development ☐ Alteration to an existing or previously-approved development
☐ Informational ☒ Initial approval ☐ Final approval

3. Project Type

- ☐ Project in an Urban Design District
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
☐ Planned Development (PD)
 ☐ General Development Plan (GDP)
 ☐ Specific Implementation Plan (SIP)
☒ Planned Multi-Use Site or Residential Building Complex

Signage

- ☐ Comprehensive Design Review (CDR)
☐ Signage Variance (i.e. modification of signage height, area, and setback)

Other

- ☒ Please specify
 _____ Review of Conditional Use - TR-V1
 (Reduction of yard setback requirements in a Residential Building Complex)

4. Applicant, Agent, and Property Owner Information

Applicant name _____ Chad Wuebben, President

Street address _____ 6840 Schneider Road

Telephone _____ 608-836-9601

Project contact person _____ Same As Applicant

Street address _____

Telephone _____

Property owner (if not applicant) _____ Same As Applicant

Street address _____

Telephone _____

Company _____ Chapel View Development Company Inc

City/State/Zip _____ Middleton WI 53562

Email _____ cwuebben@encorehomesinc.com

Company _____

City/State/Zip _____

Email _____

City/State/Zip _____

Email _____

5. Required Submittal Materials☒ **Application Form**☒ **Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

☒ **Development plans** (Refer to checklist on Page 4 for plan details)☒ **Filing fee** NA☒ **Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on January 23, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Chad Wuebben, President Relationship to property President of Owner

Authorizing signature of property owner  Date April 3, 2019

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

☐ Urban Design Districts: \$350 (per §35.24(6) MGO).

☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)

☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

* A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

— Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

— Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

— Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)

✓ Planned Multi-Use Site or Residential Building Complex

URBAN DESIGN COMMISSION APPROVAL PROCESS



Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- **Informational Presentation.** Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- **Initial Approval.** Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- **Final Approval.** Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☒ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



April 4, 2019

Ms. Natalie Erdman
Director
Department of Planning & Community & Economic Development
City of Madison
215 Martin Luther King Jr Blvd
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V1) – The Cottages At Chapel View

Dear Ms. Erdman,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

Project Team

Applicant:

Chapel View Development Company Inc.
Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7752

Engineer:

Wyser Engineering
Wade Wyse, Owner
312 East Main Street
Mount Horeb WI 53572
wade.wyse@wyserengineering.com
608-843-3388

General Contractor:

Encore Homes, Inc.
 Chad Wuebben, President
 6840 Schneider Road
 Middleton WI 53562
cwuebben@encorehomesinc.com
 608-444-7725

Project Sales:

Encore Real Estate Services, Inc.
 Cari Fuss, Managing Broker
 6840 Schneider Road
 Middleton WI 53562
cfuss@encorehomesinc.com
 608-843-2500

Project Overview

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V1 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will be platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

Lot 1 1.93 Acres 84,052 Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	3000 x 15 = 45,000	500 x 15 = 7,500	45,000 + 7,500 = 52,500

Lot 45 1.81 Acres 78,888 Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
13	3000 x 13 = 39,000	500 x 15 = 6,500	45,000 + 7,500 = 45,500

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the "front" yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In

essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison's growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.

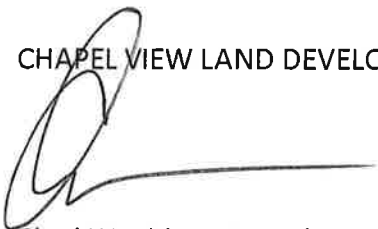
According to "The Direct Impact of Housing and Remodeling on the U.S. Economy" by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of June, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.



Chad Wuebben, President

Old Sauk Road

Intergenerational
Center

Burnt Sienna Drive

Peach Leaf Lane

Big Stone Trail

Burnt Sienna Drive

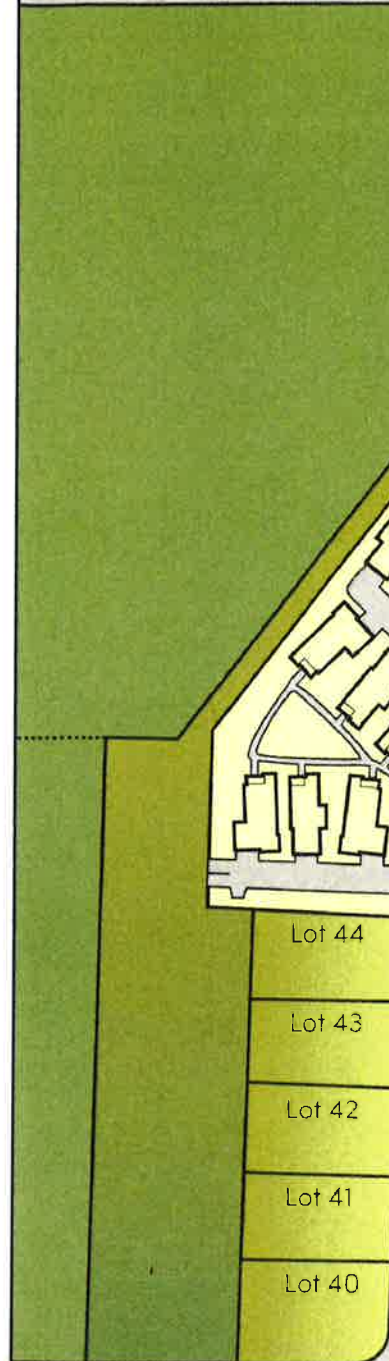
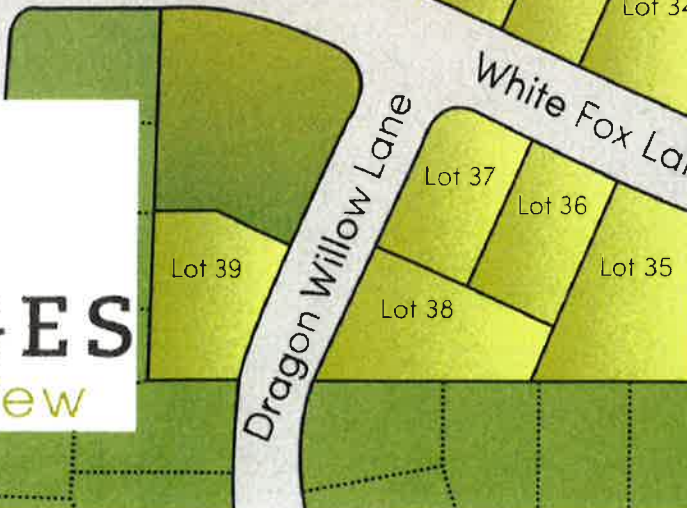
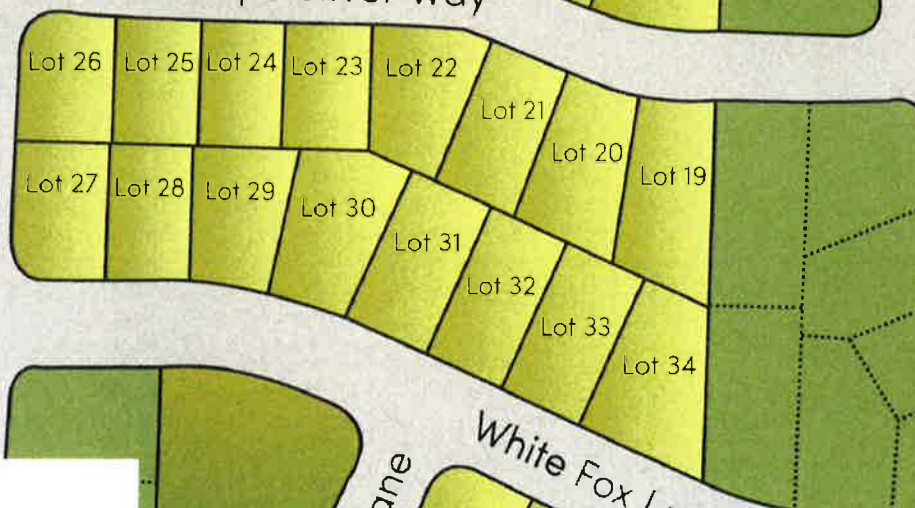
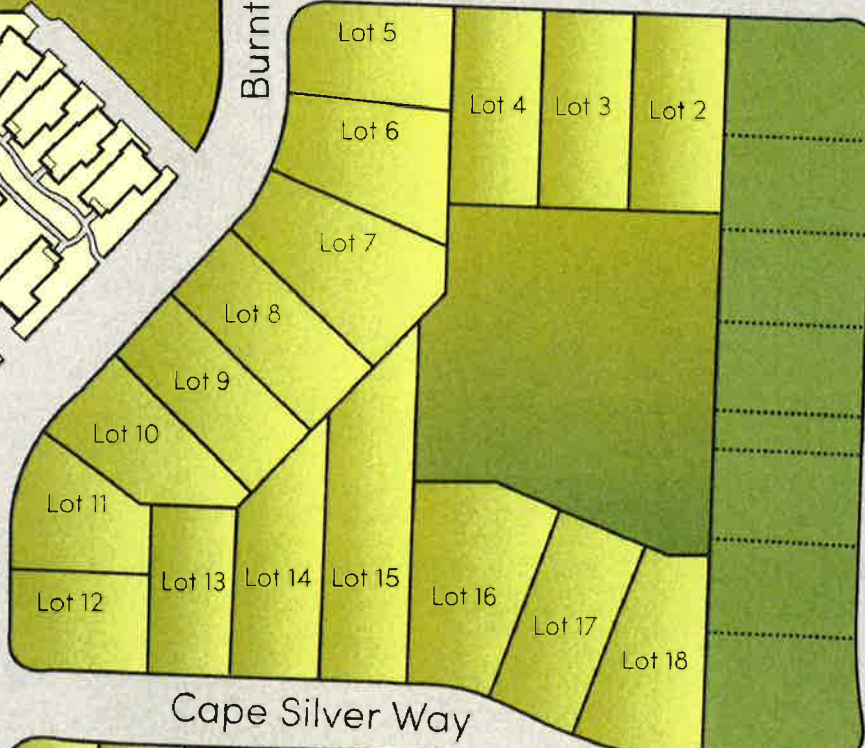
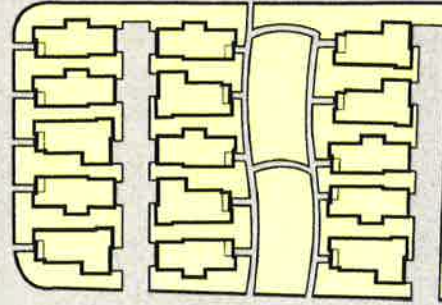
Cape Silver Way

White Fox Lane

Dragon Willow Lane



COTTAGES
at Chapel View



The Cottages At Chapel View – Site Location





Site View Looking
North from White Fox
Lane at Dragon
Willow Lane

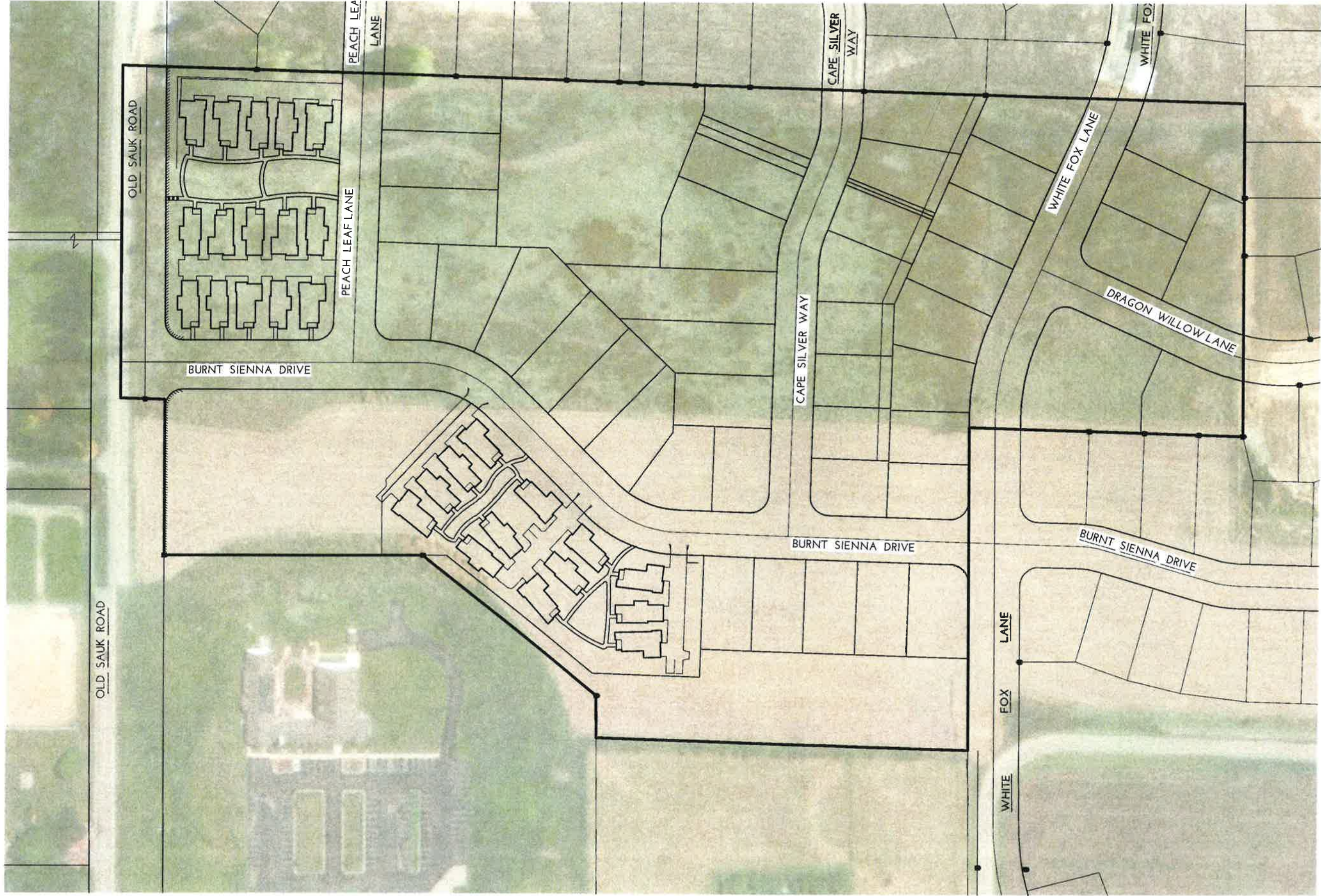


Middleton Community
Church - West of
Site



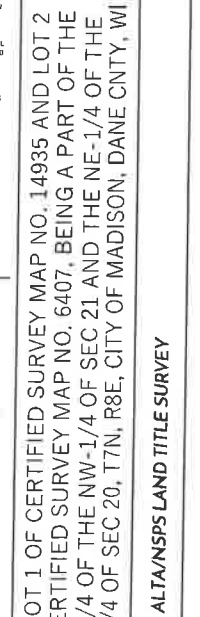
Homes in the Willows
Neighborhood - East
of Site

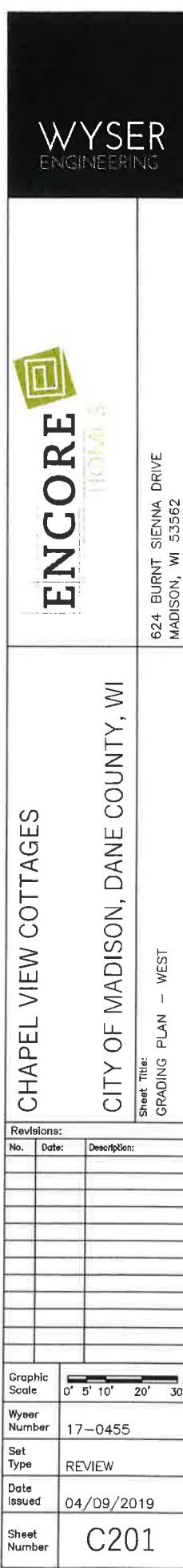
Cottages At Chapel View - Proposed Plat Layout



Cottages at Chapel View - Proposed Plat Layout







The Primrose – Elevation A



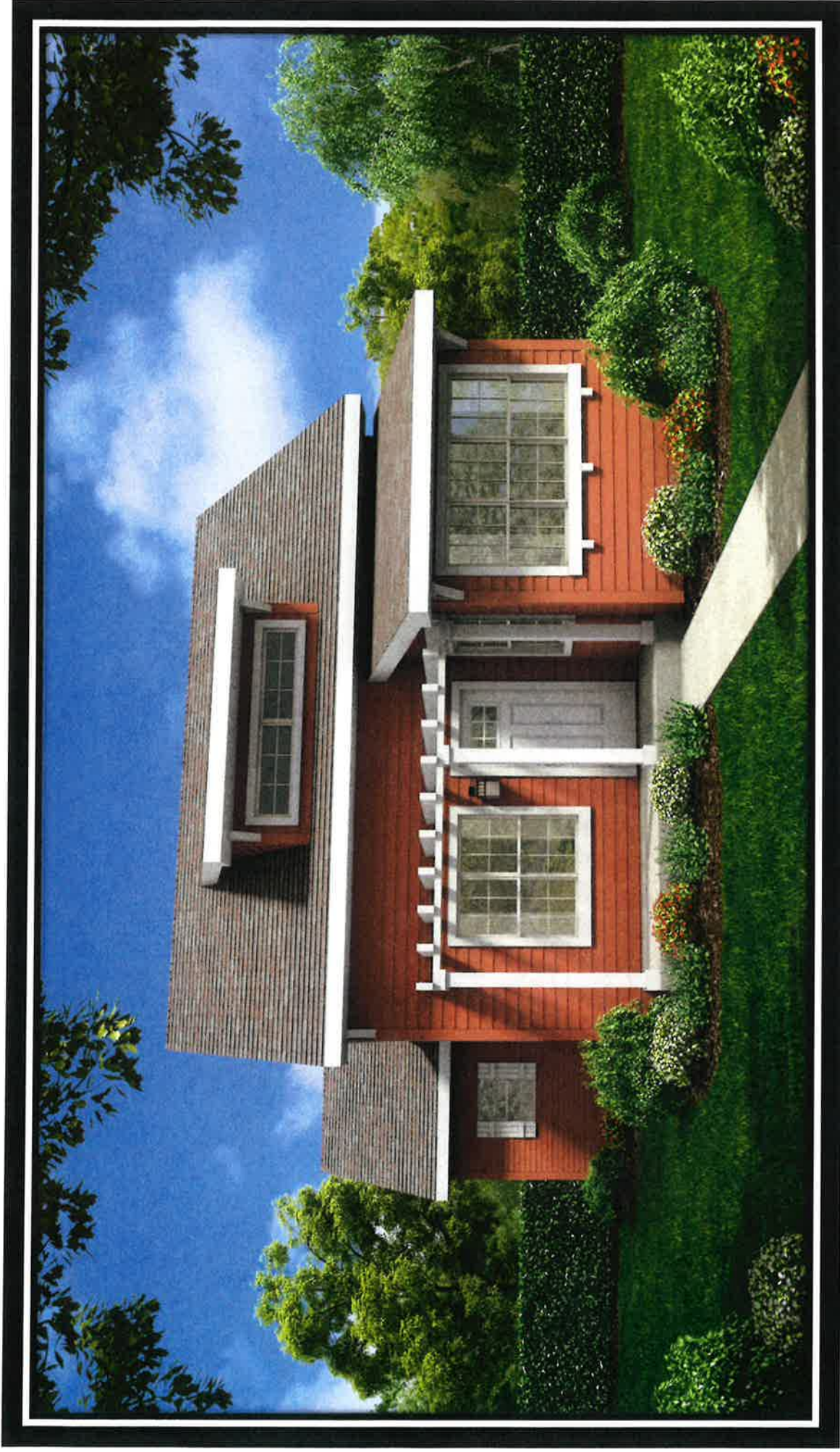
The Primrose – Elevation B



The Primrose – Elevation C



The Primrose – Elevation D



Notes

FOOTING
H: 2' x 2' + 1' (1' GF + 1' F)
H: 1' x 1' + 1' (1' GF + 1' F)

SWP TO BE # 0" INGE
SWP NAILING PATTERN:
1. EDGE NAILING SHALL BE 6" NAILS 16" O.C.
2. FIELD NAILING SHALL BE 6" NAILS 18" O.C.

STANDARD ABBREVIATIONS:

HB	NOTE BB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRY WALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBSE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
YVL	YORK	PS	PLUMBING SYSTEM
PRS	PASSIVE RADON SYSTEM		

Revisions

PRELIMINARY SET
80 SET: FORMERLY COTTAGE 1 - ELEVATION A
CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #
ADDRESS
PRIMROSE ELEVATION A

Drawing By: SWE

Checked By: KJH

Drawing Title

Foundation Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

XXX

Drawing No.

F1.0

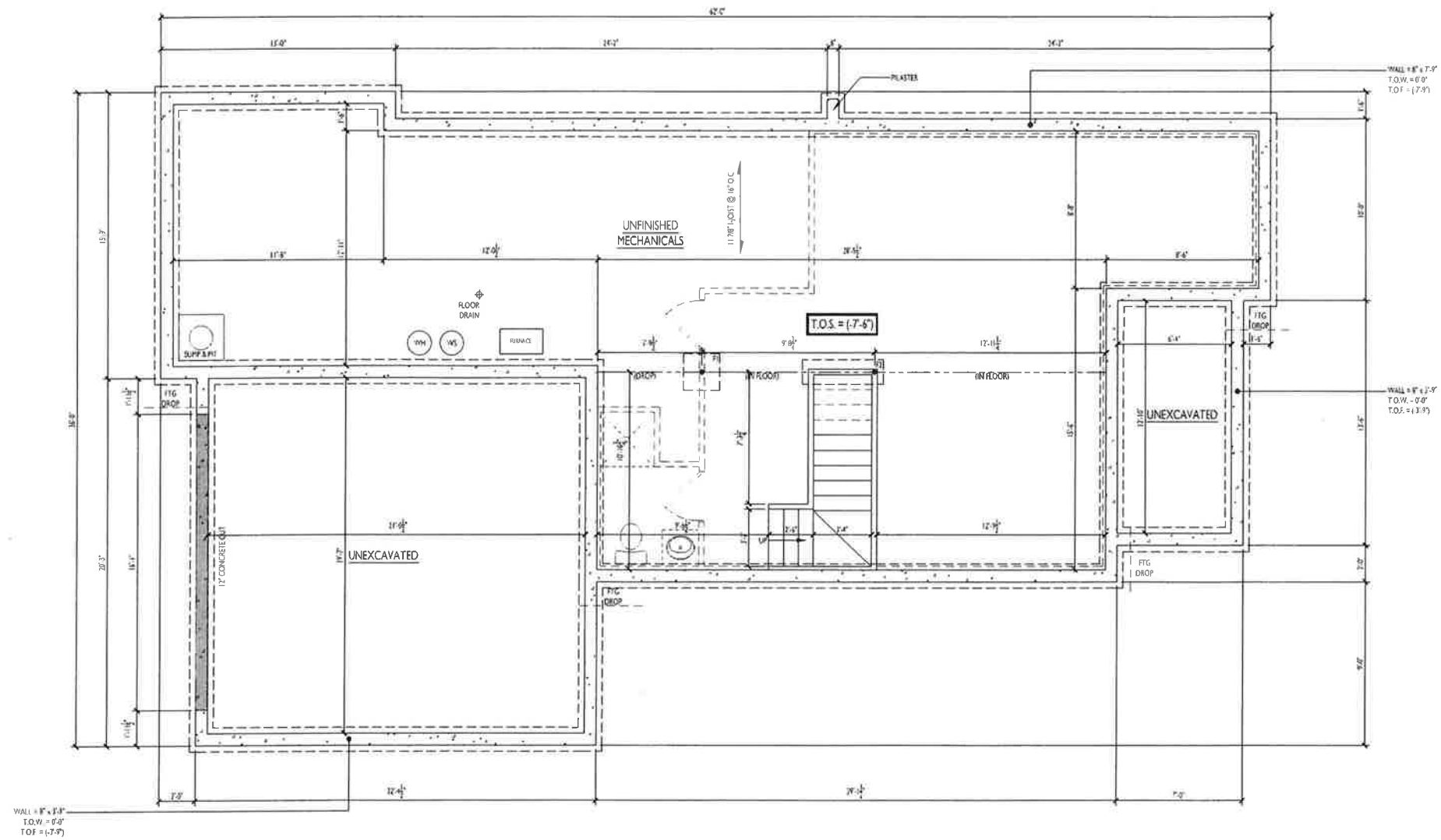
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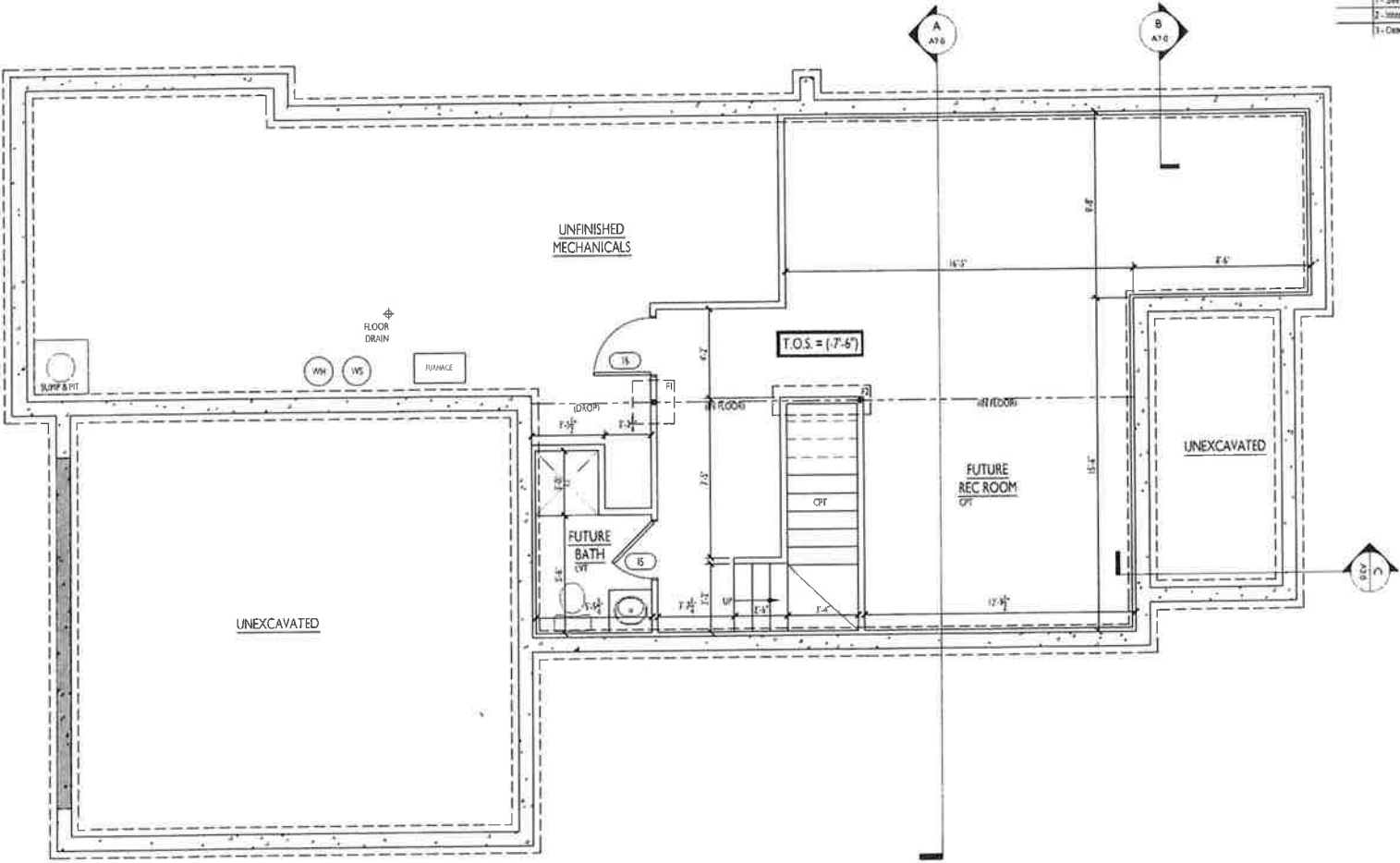


The Cottages At Chapel View

"The Primrose"

Elevations A, B, C, & D





DOOR SCHEDULE

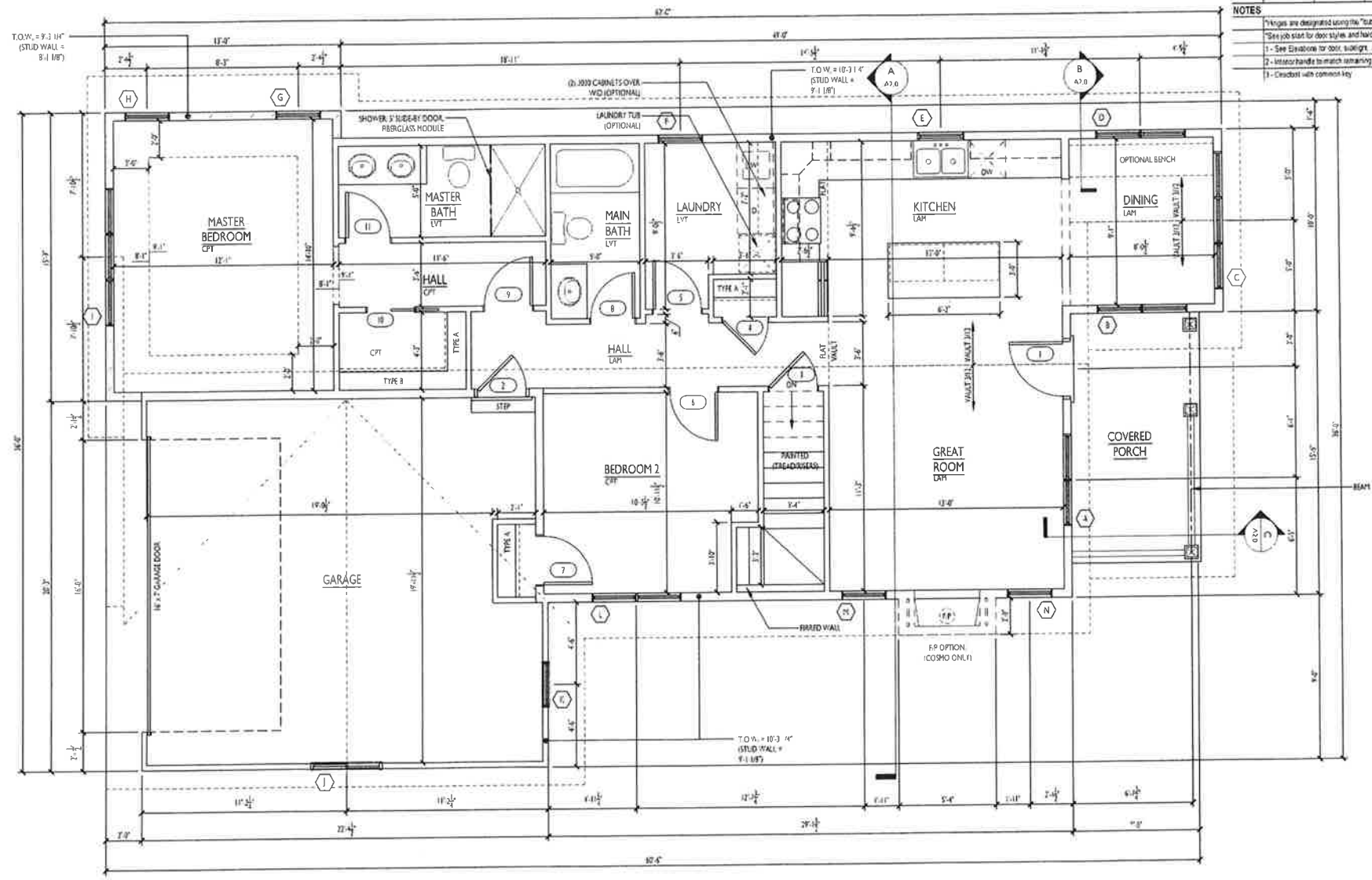
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
1	3'-0" x 6'-0"	3/8 3/8 x 42 1/2	6 3/8 1/2	Steel Inswing w/Light	R	Handset w/ Int. Passage Deadbolt	Wall Spring	1,2,3
2	2'-0" x 6'-0"	3/8 3/8 x 42 1/2	6 3/8 1/2	20 mil Steel Inswing	L	Passage, Unadorned	Hinge Pin	1
3	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	L	Passage	Hinge Pin	
4	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	R	Passage	Wall Spring	
5	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	L	Passage	Hinge Pin	
6	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	L	Passage	Wall Spring	
7	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	R	Privacy	Wall Spring	
8	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	R	Privacy	Wall Spring	
9	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	R	Passage	Wall Spring	
10	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Wood Pocket		Passage		
11	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	L	Privacy	Wall Spring	
12								
13								
14								

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	L	Privacy	Wall Stop	
16	2'-0" x 6'-0"	3/4 1/2 x 42 1/2	4 3/8 1/2	Solid Wood	L	Passage	Hinge Pin	
17								
18								
19								

NOTES

- *Hinges are designated using the "leaf to butt" method
- *See also sheet for door styles and hardware finishes
- 1 - See Elevations for door, window, and transom configuration
- 2 - Interior hardware to match remaining interior hardware color and style
- 3 - Operated with common key



DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
1	3'-0" x 6'-4"	38 5/8 x 82 1/2	0 9/16"	Steel Inswing w/Light	R	Handset w/ Int Passage Deadbolt	Wall Spang	1,2,3
2	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	20 min Steel Inswing	L	Passage Deadbolt	Hinge Pin	
3	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	L	Passage	Hinge Pin	
4	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	R	Passage	Hinge Pin	
5	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	L	Passage	Wall Spang	
6	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	L	Passage	Hinge Pin	
7	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	R	Passage	Wall Spang	
8	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	R	Privacy	Wall Spang	
9	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	R	Passage	Wall Spang	
10	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Wood Pocket		Passage		
11	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	L	Privacy	Wall Spang	
12								
13								
14								

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	L	Privacy	Wall Stop	
16	2'-0" x 6'-4"	34 5/8 x 82 1/2	0 9/16"	Solid Wood	L	Passage	Hinge Pin	
17								
18								
19								

- NOTES
- *Hinges are designated using the "butt to butt" method
 - *See job start for door styles and hardware finishes
 - 1 - See Elevations for door, window, and transom configuration
 - 2 - Interior handle to match remaining interior hardware color and style
 - 3 - Deadbolt with common key



The Primrose - Elevation A



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6050	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza 2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung w/Elliptical Transom	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

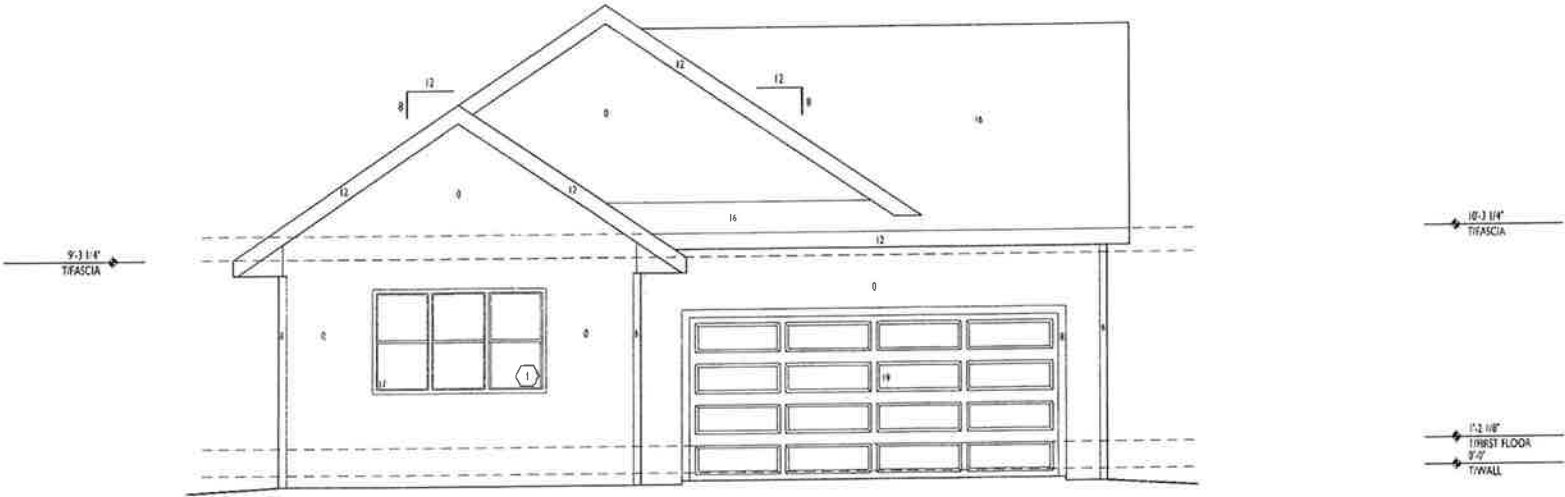
NOTES:

*See job start for window colors

*Switch active patio door leaf and casement swing for Reversed plans

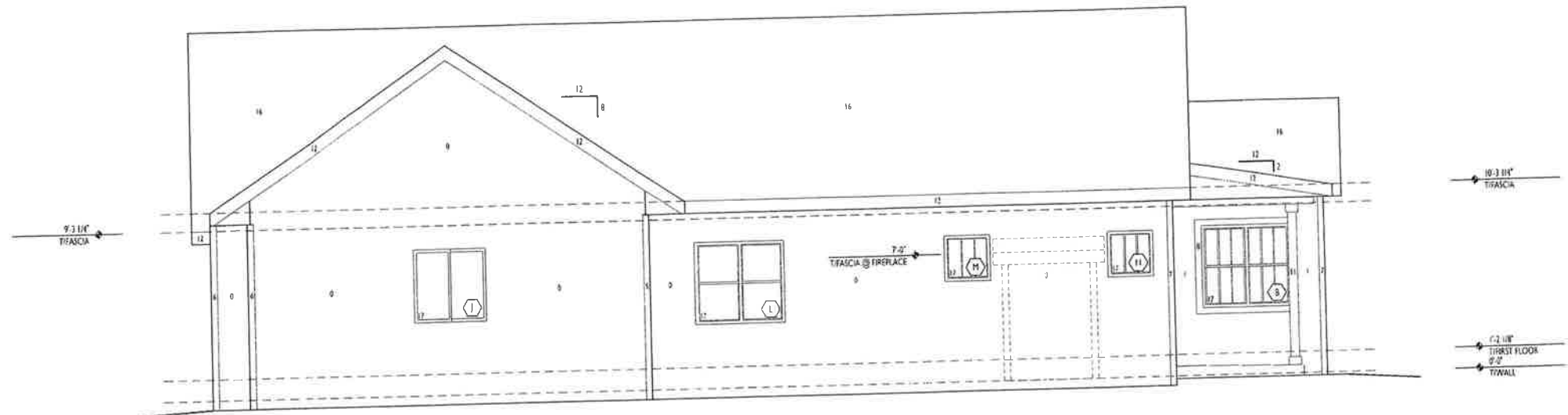
1 - Tempered Glass

2 - Top of window @ 84" A.F.F.



REAR ELEVATION

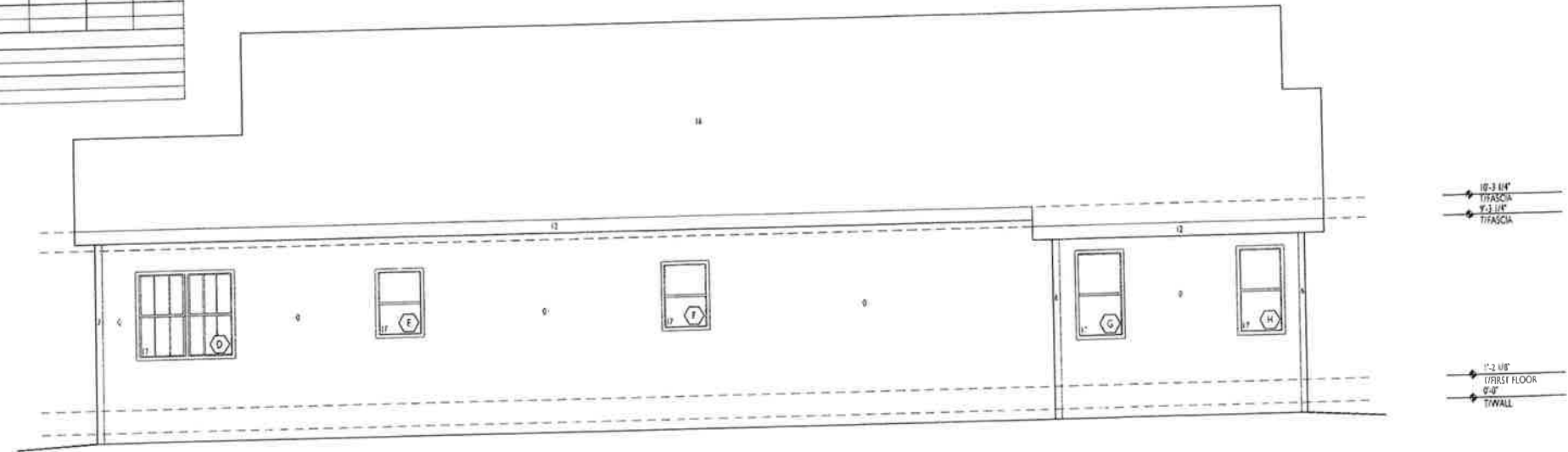
The Primrose - Elevation A



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

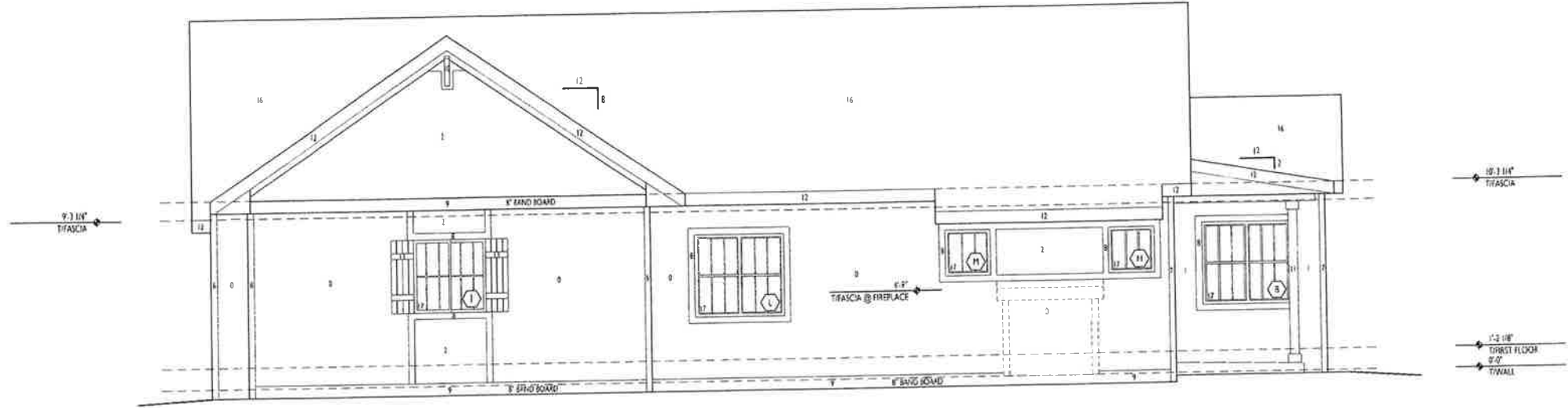
NOTES:
*See job start for window colors.
*Switch active patio door leaf and casement swing for Reversed plans.
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

The Primrose - Elevation A

Side Elevation when facing Middleton Community Church or a Public Street



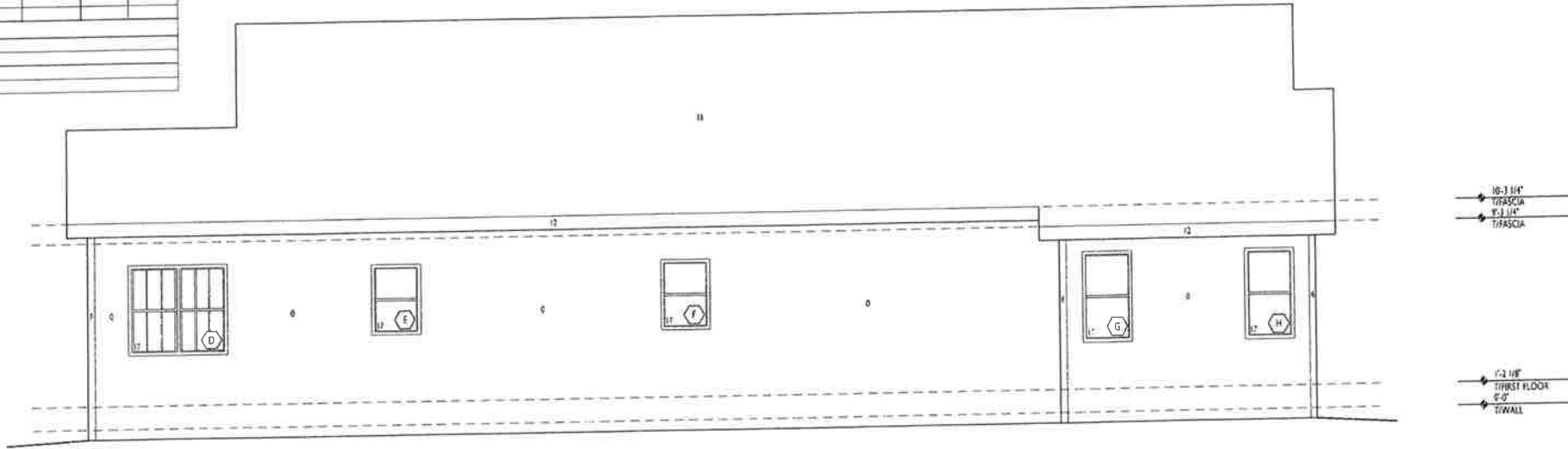
RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION A

	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O								
P								

NOTES:

- *See job start for window colors
- *Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 81" A.F.F.



LEFT ELEVATION



The Primrose - Elevation B



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	8054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

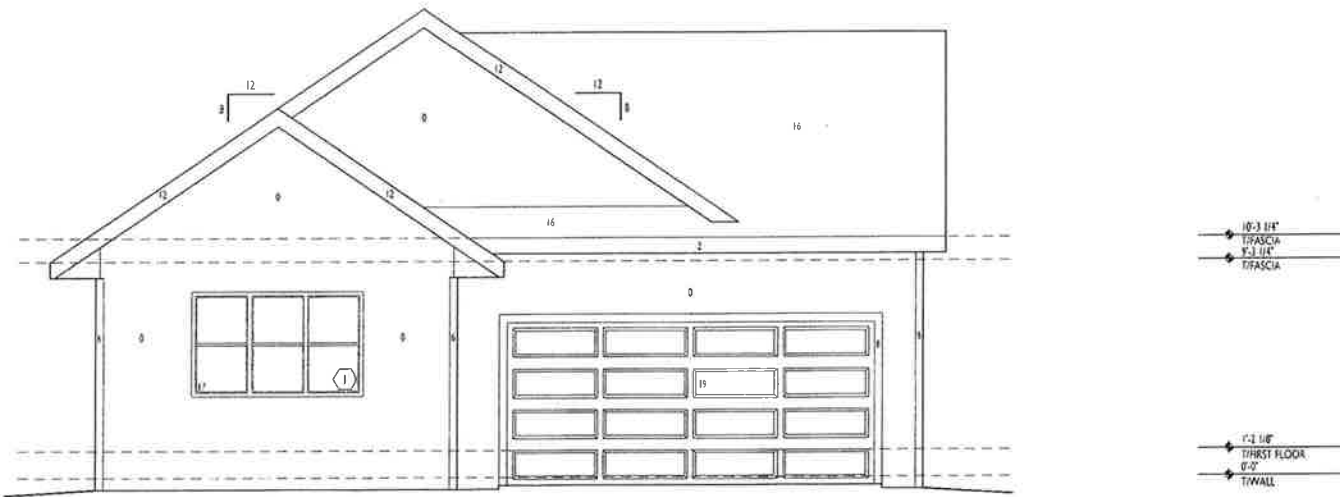
NOTES:

*See job start for window colors

*Sketch active patio door leaf and casement swing for Reversed plans

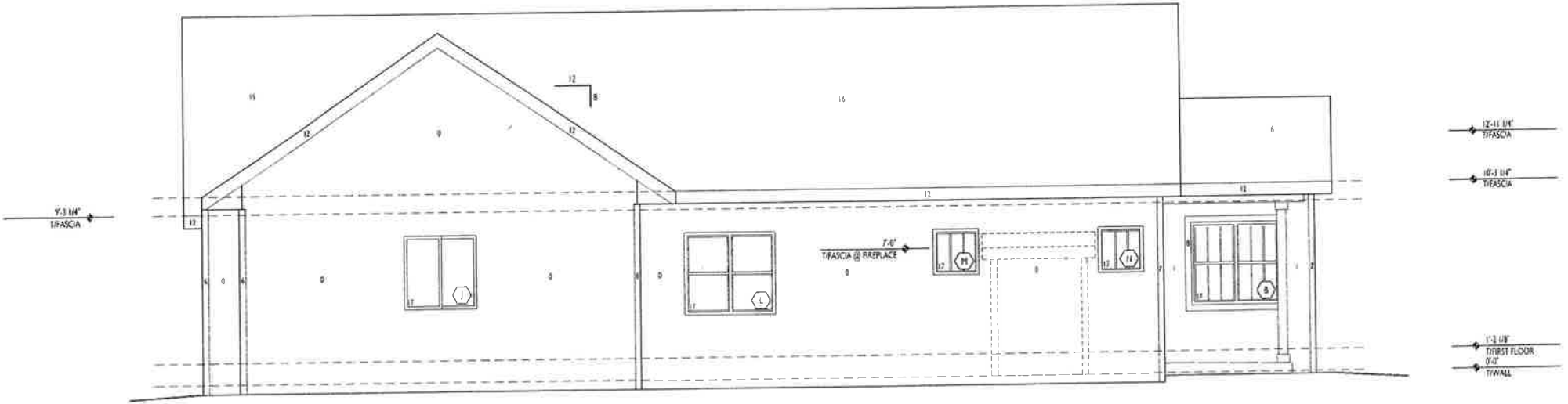
1 - Tempered Glass

2 - Top of window @ 84" A.F.F.



REAR ELEVATION

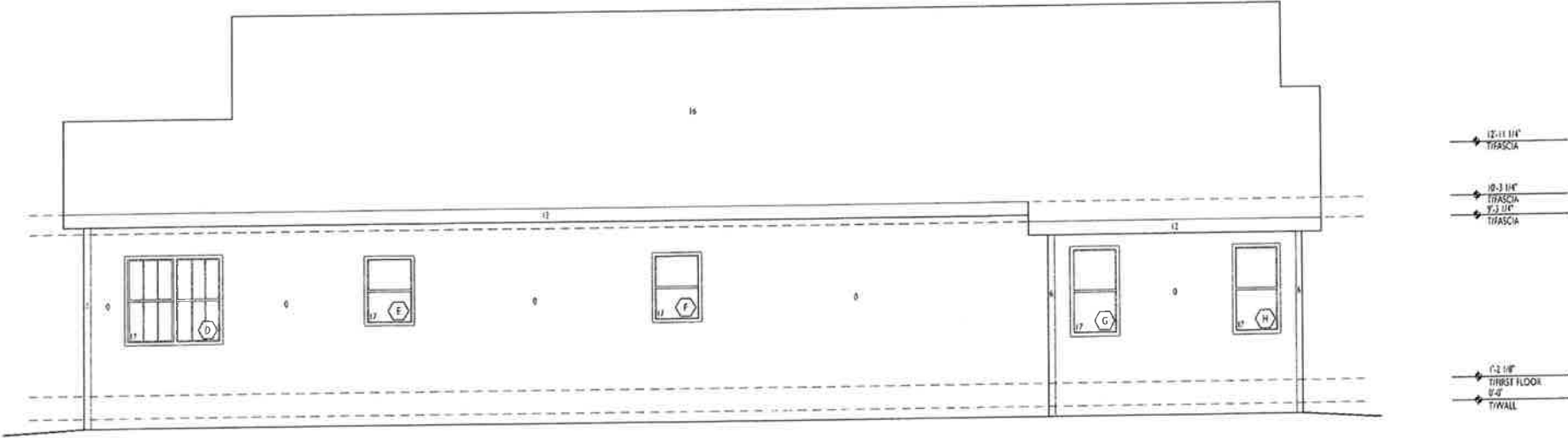
The Primrose - Elevation B



WINDOW SCHEDULE - ELEVATION B								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza	2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C	9054	3-Wide Single Hung w/Elipical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		Plaza	
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1			
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O								
P								

NOTES:
*See job start for window colors
*Switch active patio door leaf and casement swing for Reversed plans
1 - Tempered Glass
2 - Top of window @ 34" A.F.F.

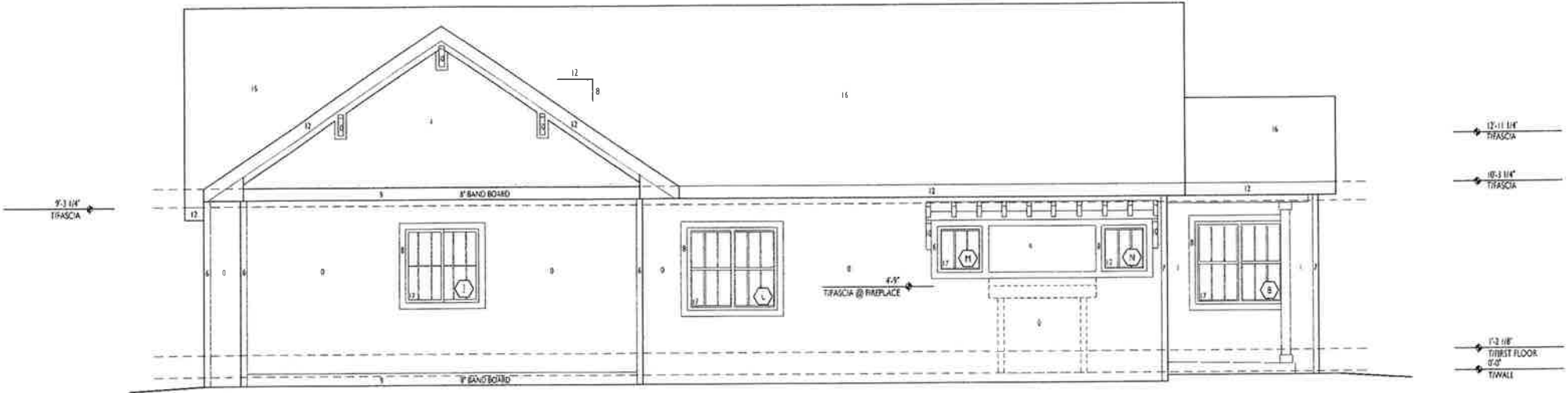
RIGHT ELEVATION



LEFT ELEVATION

The Primrose - Elevation B

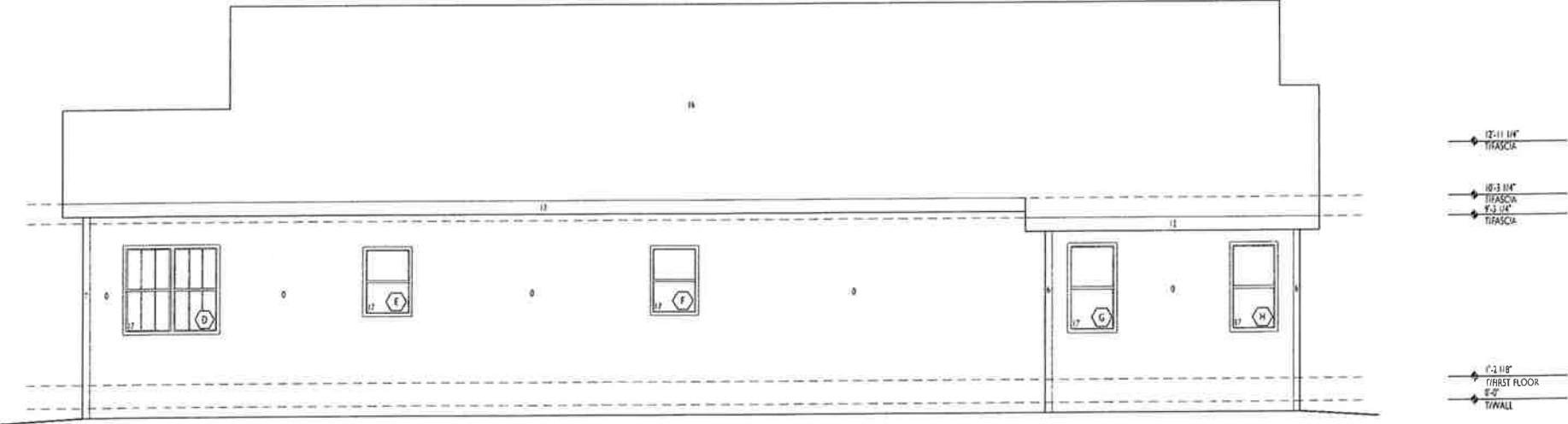
Side Elevation when facing Middleton Community Church or a Public Street



WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-9 1/16"	1		Plaza 2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elipical Transom	7'-6" x 4'-8"	6'-9 1/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6'-9 1/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6'-9 1/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6'-9 1/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6'-9 1/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-0"	6'-9 1/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4'-9 1/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4'-9 1/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/16"	1		Plaza
M	3030	Fixed	2'-6" x 2'-6"	6'-9 1/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6'-9 1/16"	1		Plaza
O							
P							

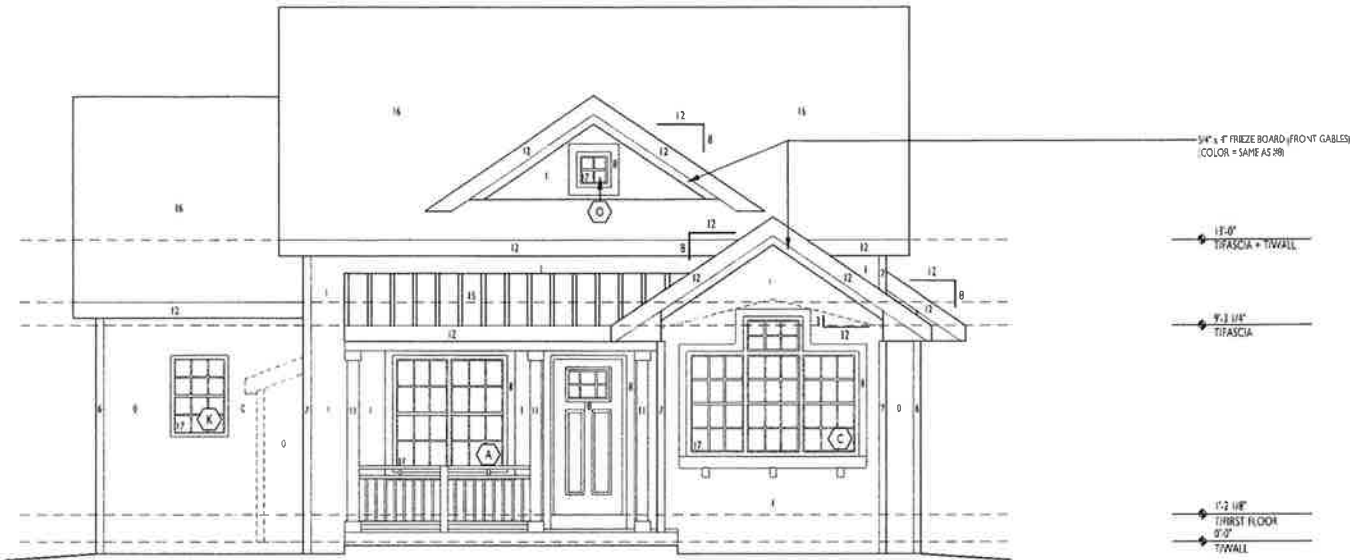
NOTES:
*See job start for window colors
*Switch active patio door leaf and casement saving for Reversed plans
1 - Tempered Glass
2 - Top of window @ 84" A.F.F

RIGHT ELEVATION



LEFT ELEVATION

The Primrose - Elevation C

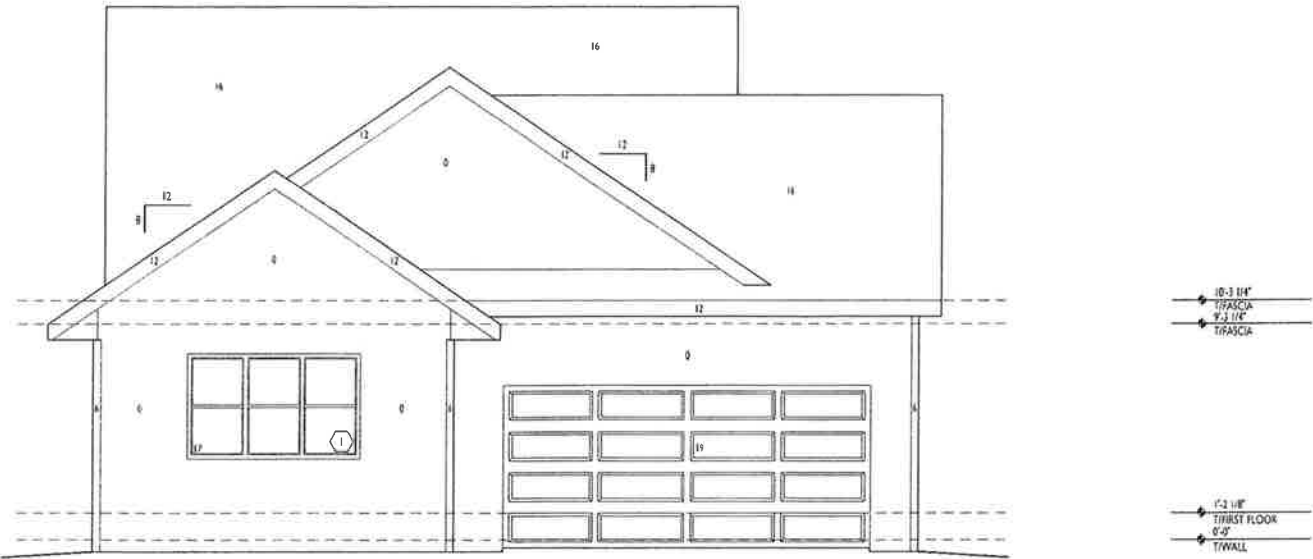


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION C							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	1 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	1 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3084	2-26" x 36" Multi-Pane Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2-26" x 36" Multi-Pane Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	1018	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial
P							

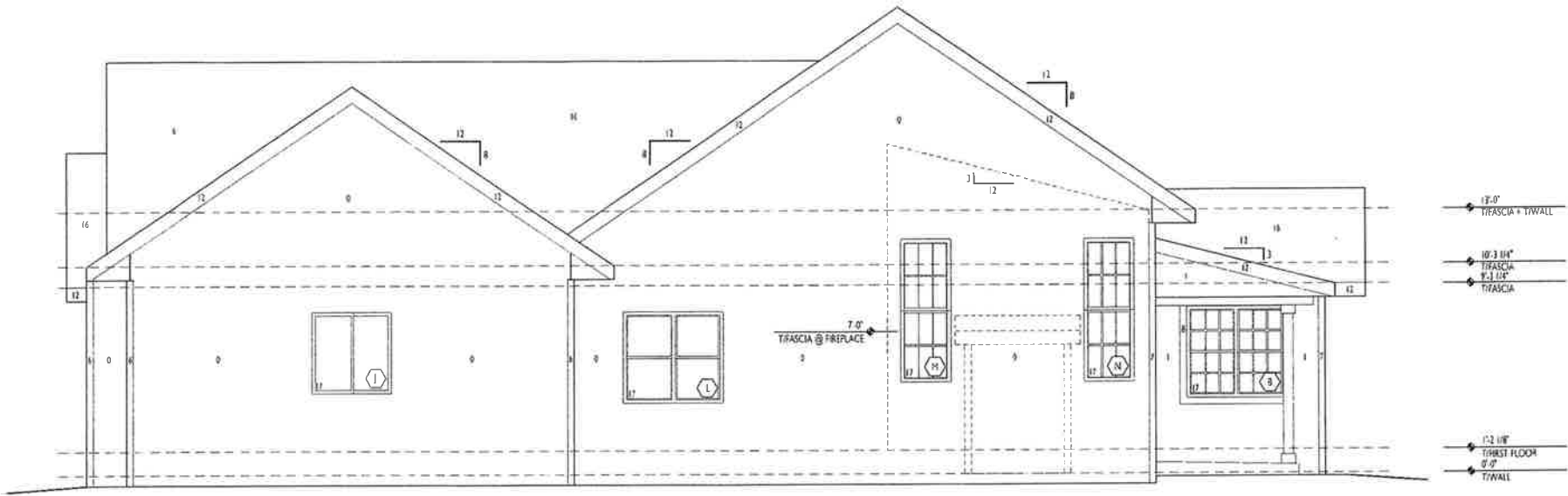
NOTES:

- *See job start for window colors
- *Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 34" A.F.F.



REAR ELEVATION

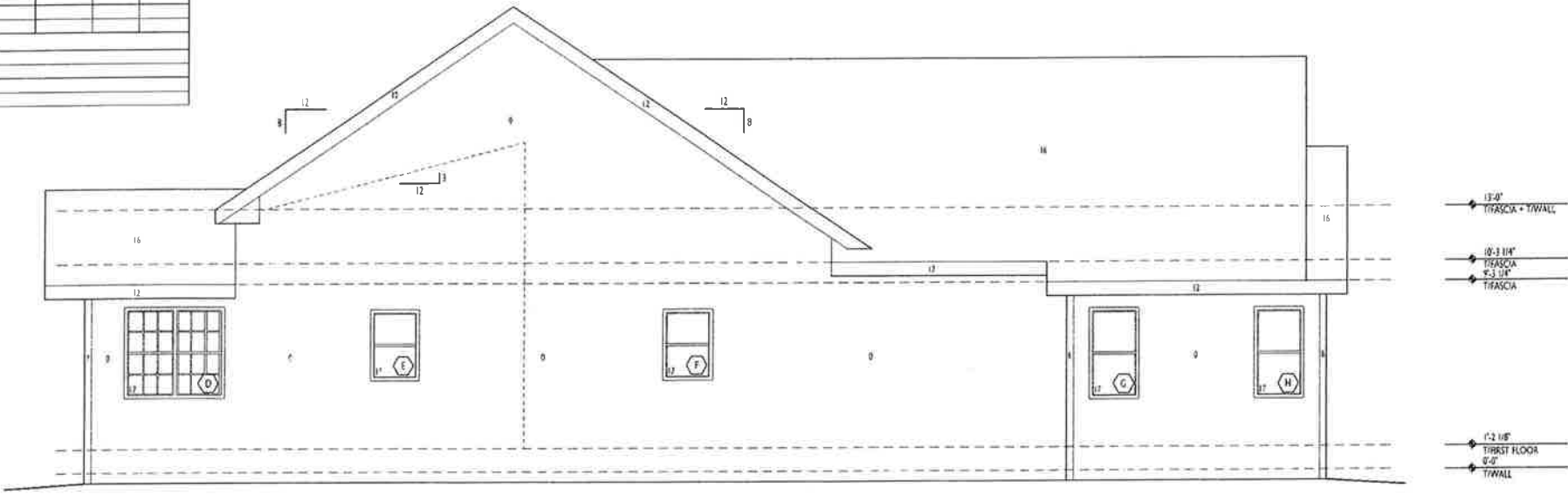
The Primrose - Elevation C



WINDOW SCHEDULE - ELEVATION C								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	6 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084	2'-2 1/2"x3'-6" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
N	3084	2'-2 1/2"x3'-6" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
O	1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial	
P								

NOTES:
*See job start for window colors
*Switch active patio door leaf and casement swing for Reversed plans
1 - Tempered Glass
2 - Top of window @ 84" A.F.F

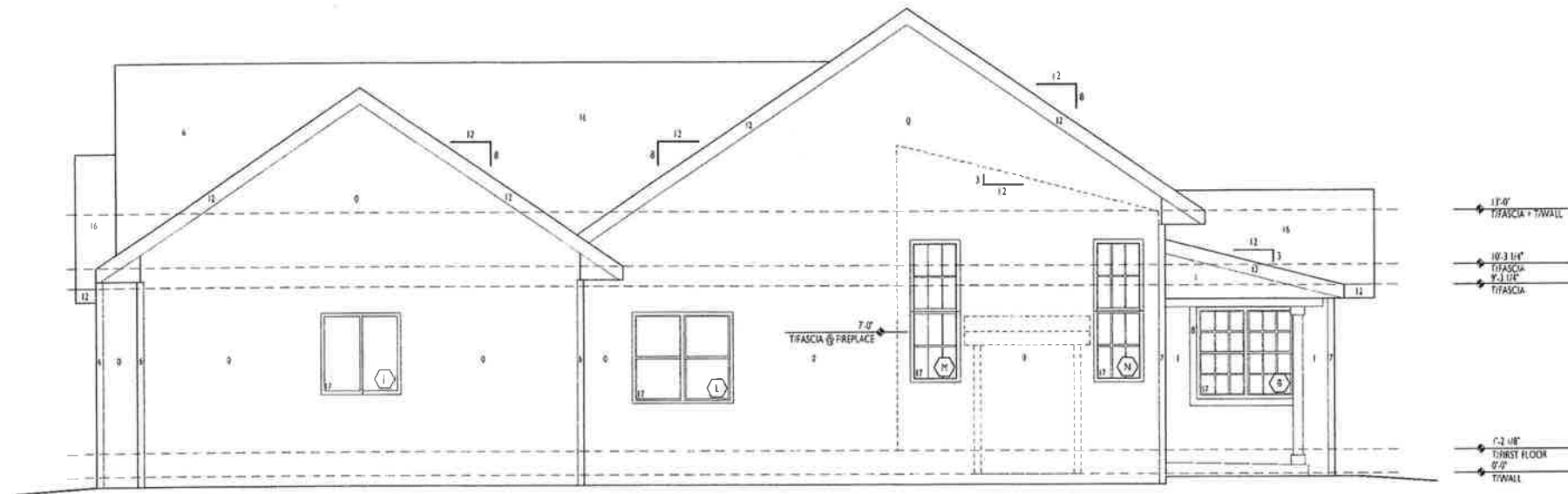
RIGHT ELEVATION



LEFT ELEVATION

The Primrose - Elevation C

Side Elevation when facing Middleton Community Church or a Public Street

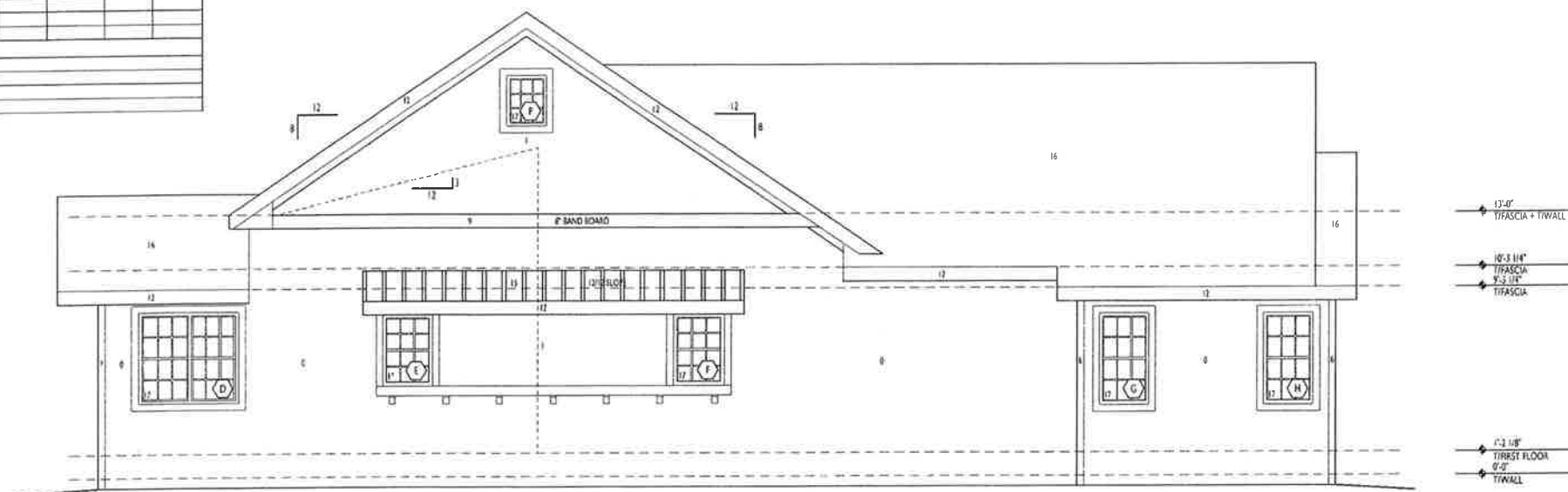


WINDOW SCHEDULE - ELEVATION C							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 3/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 3/16"	1		Colonial
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 3/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 3/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 3/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 3/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 3/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 3/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 3/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 3/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 3/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 3/16"	1		
M	3084	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 3/16"	1		Colonial
N	3084	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 3/16"	1		Colonial
O	1818	Fixed	1'-6" x 1'-6"	6 3/16"	1		Colonial
P							

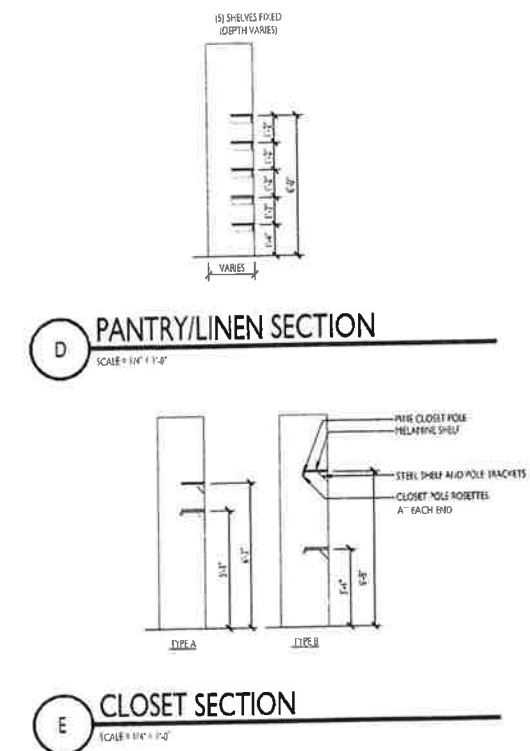
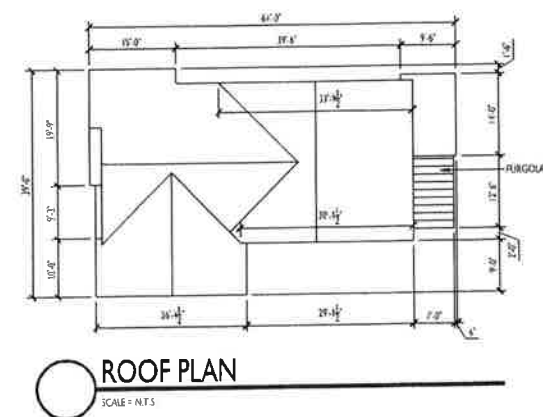
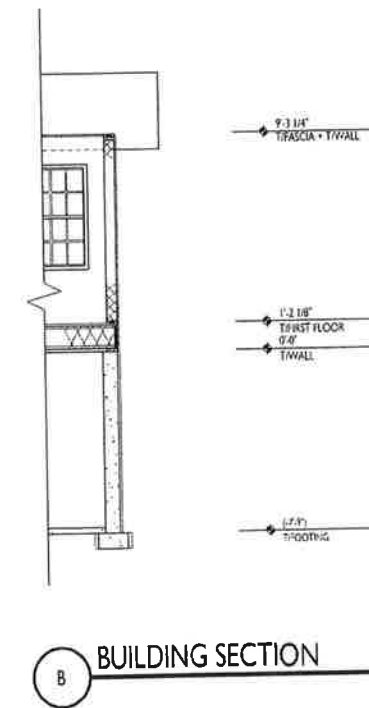
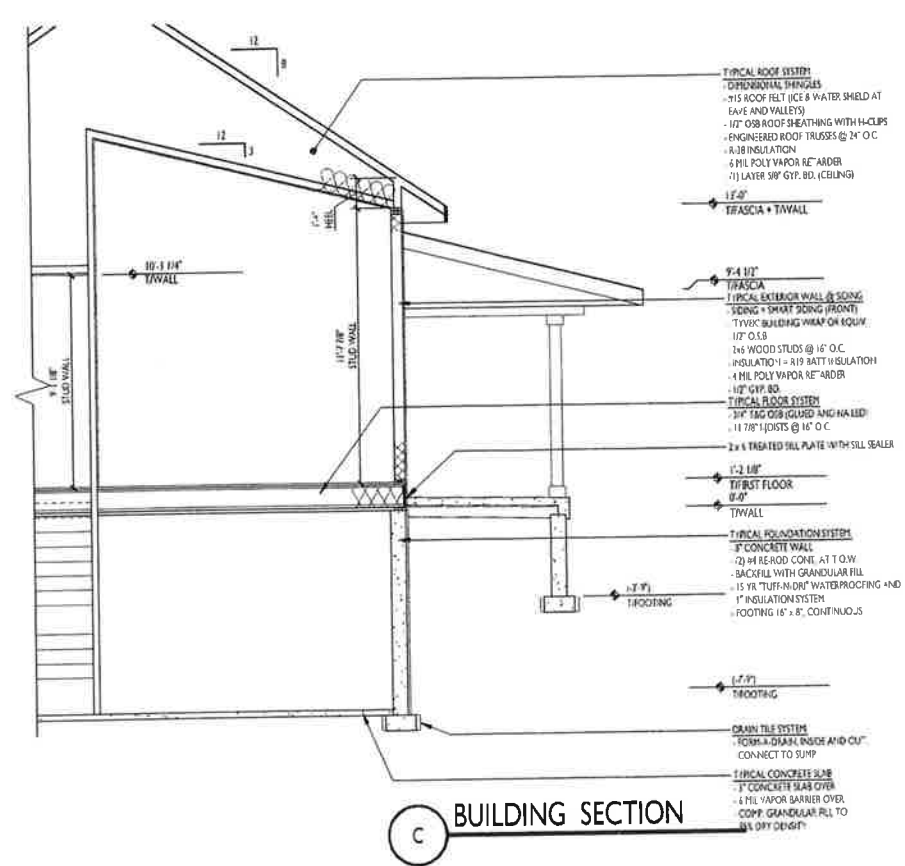
NOTES:

- *See job start for window colors
- *Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.

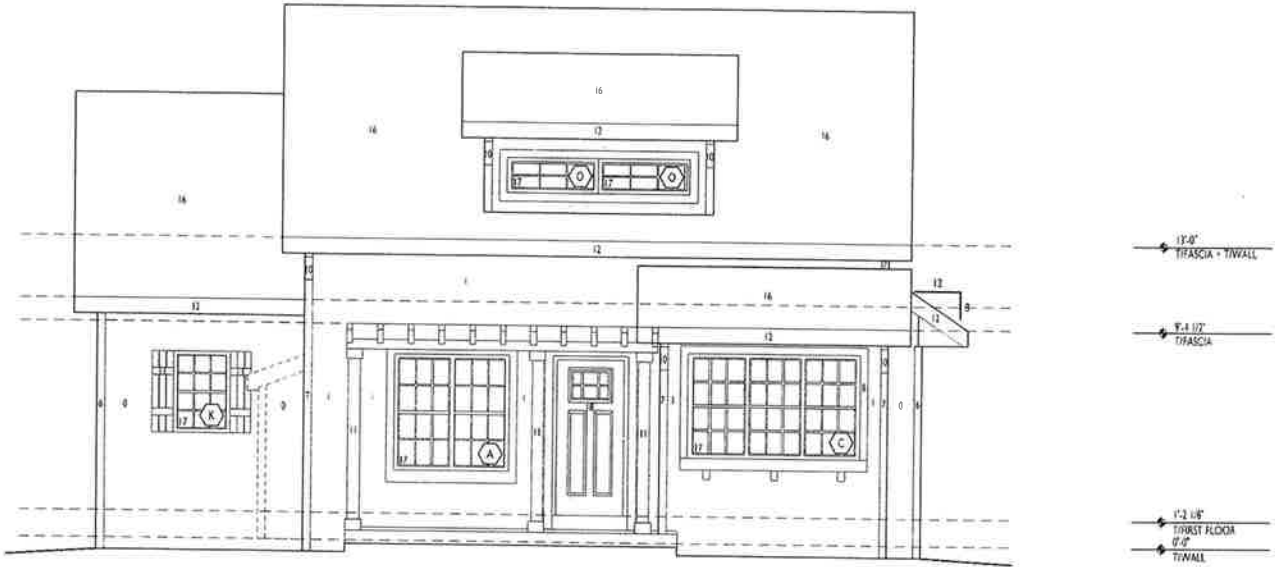
RIGHT ELEVATION



LEFT ELEVATION



The Primrose - Elevation D



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION D							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Colonial
B	6064	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	9054	3-Wide Single Hung w/Eligical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4846	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3084	2'-20"x36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial
N	3084	2'-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial
P							

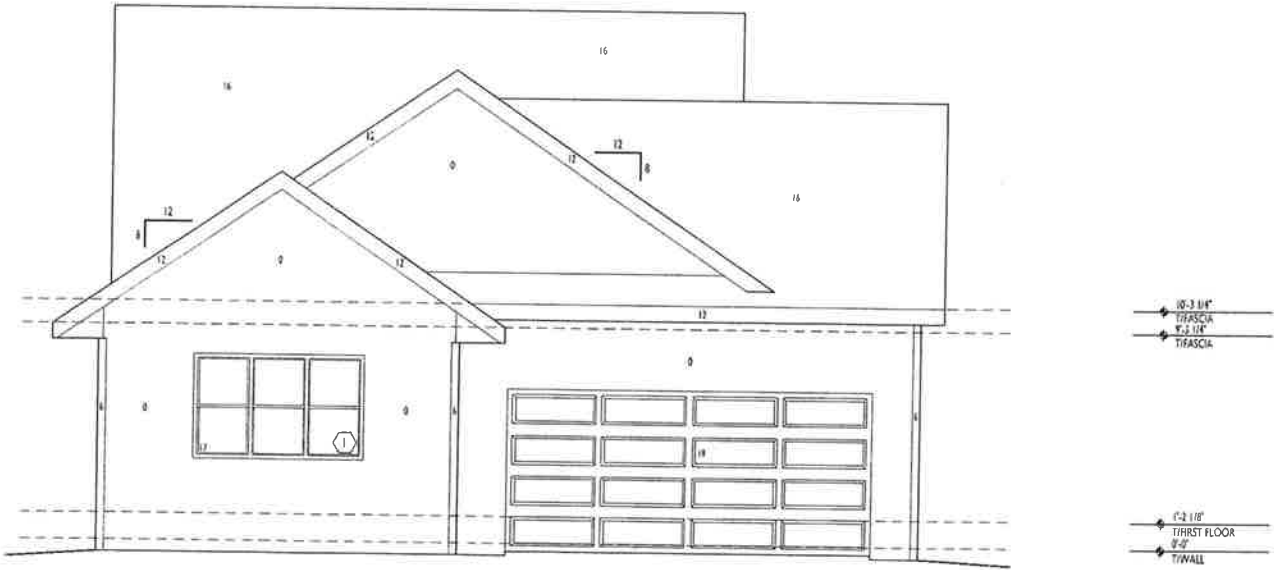
NOTES:

*See job start for window colors

*Switch active patio door leaf and casement swing for Reversed plans

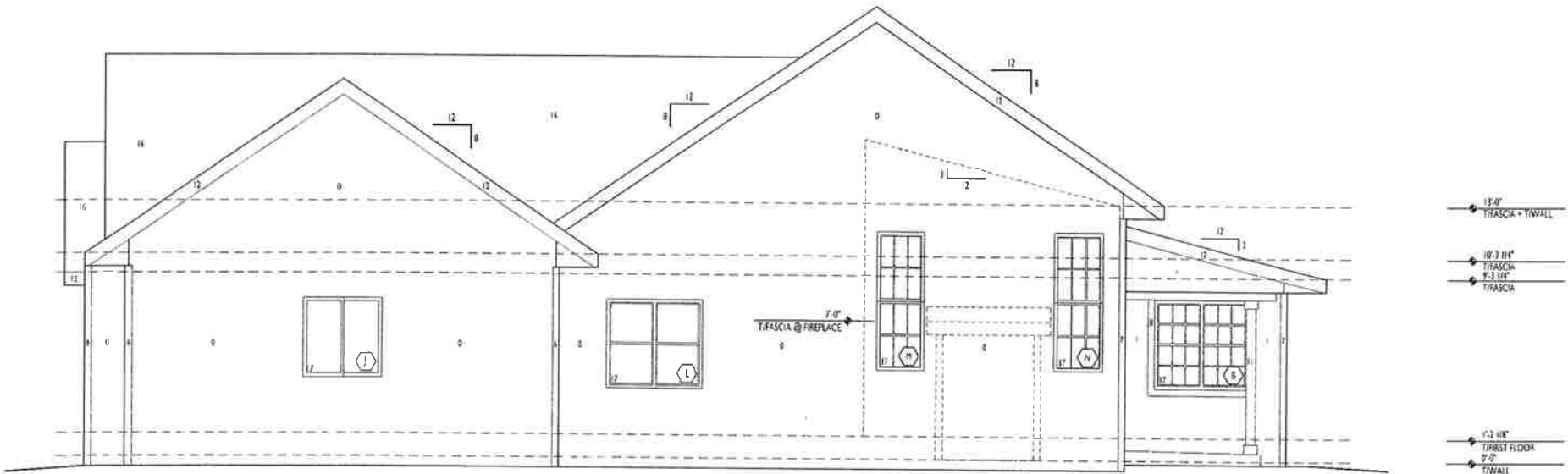
1 - Tempered Glass

2 - Top of window @ 84" A.F.F.



REAR ELEVATION

The Primrose - Elevation D

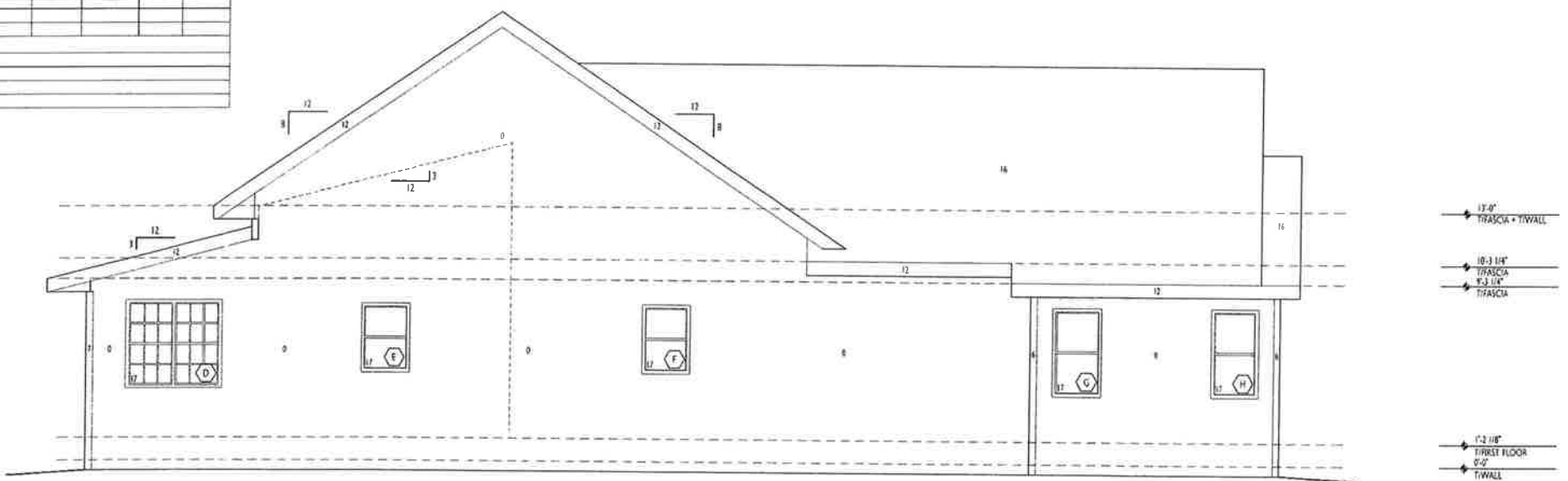


WINDOW SCHEDULE - ELEVATION D									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES	
A	6030	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	2	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2	
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2	
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2	
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1				
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1				
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial		
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1				
M	3084	2'-26" x 36" Muller Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial		
N	3084	2'-26" x 36" Muller Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial		
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial		
P									

NOTES:

- *See job start for window colors
- *Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 54" A.F.F.

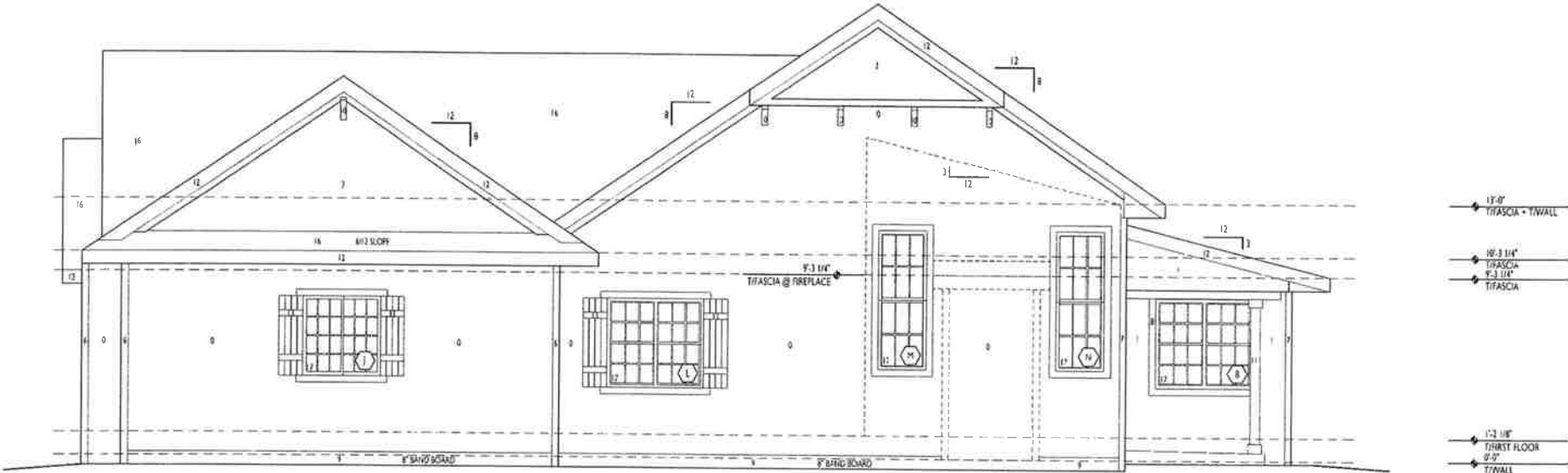
RIGHT ELEVATION



LEFT ELEVATION

The Primrose - Elevation D

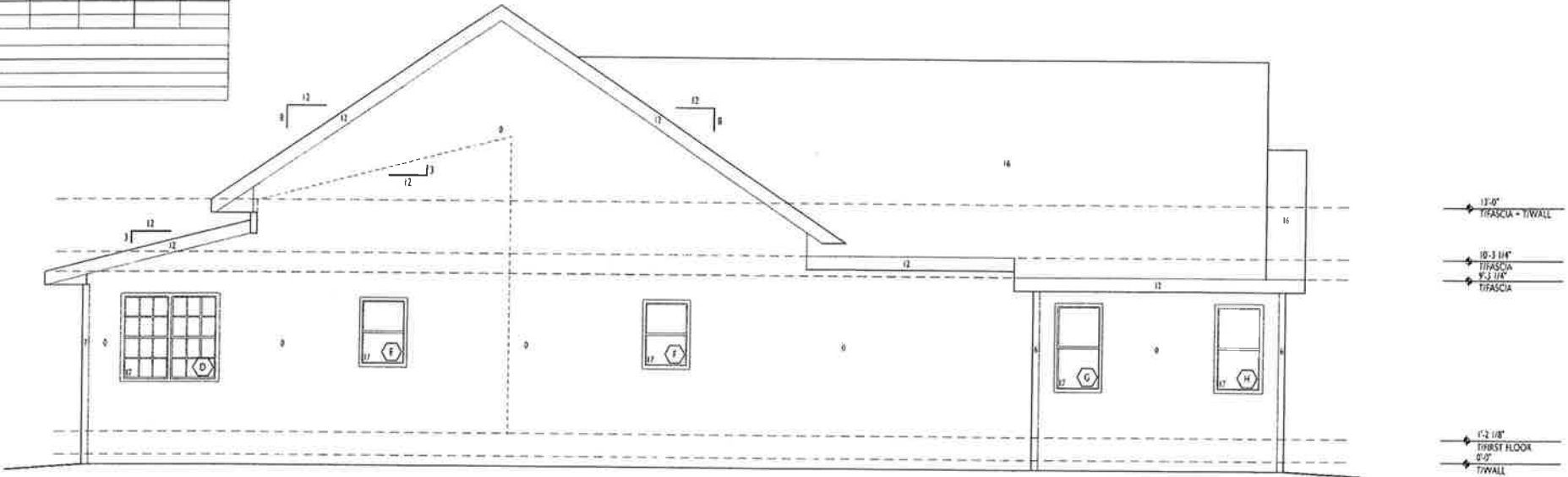
Side Elevation when facing Middleton Community Church or a Public Street



WINDOW SCHEDULE - ELEVATION D							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6050	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	9054	3-Wide Single Hung w/Eligical Transom	7'-6" x 4'-0"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3084	2-26"x36" Mullion Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2-26"x36" Mullion Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial
P							

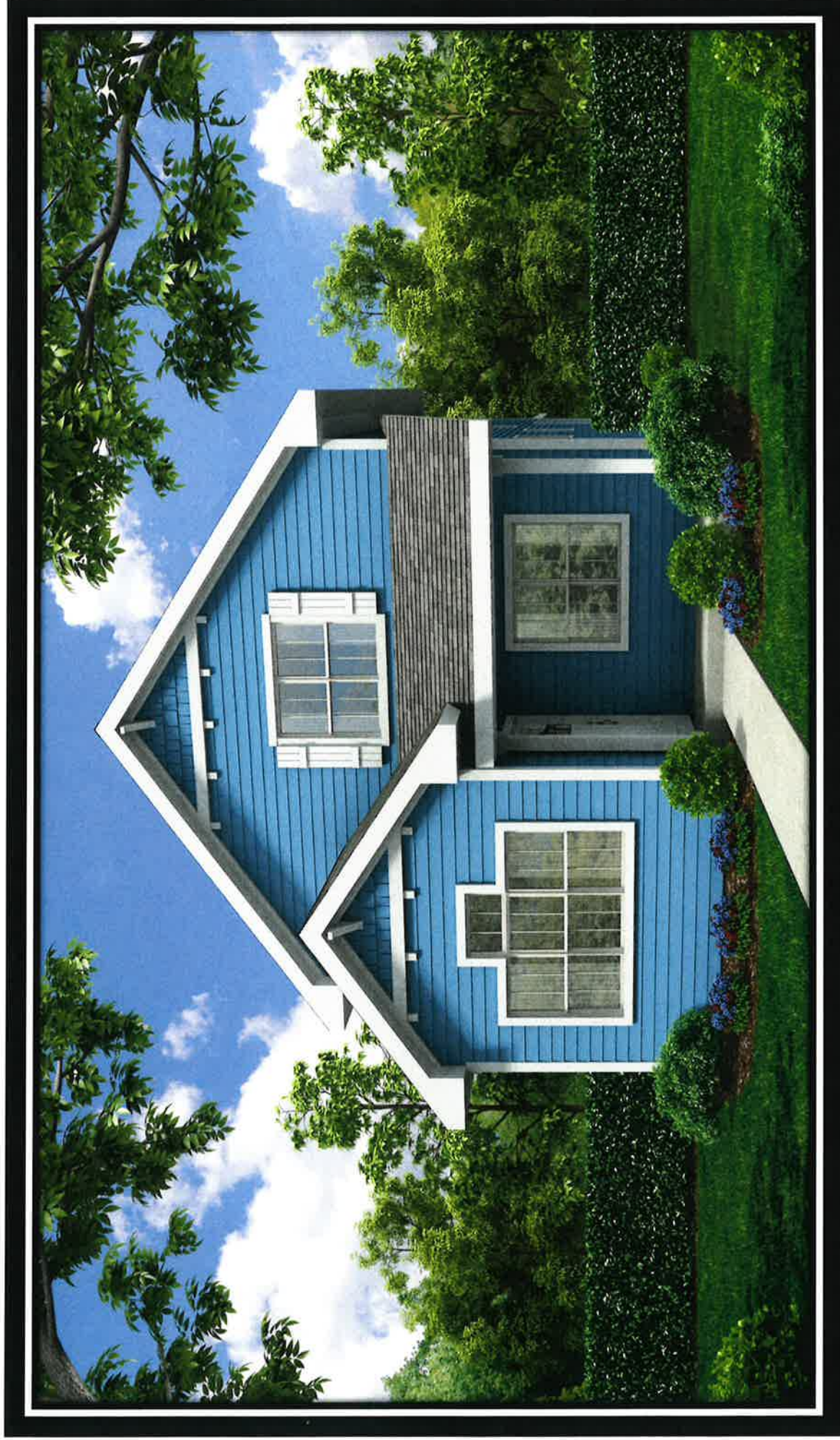
NOTES:
*See job spec for window colors
*Switch active patio door leaf and casement swing for Reversed plans
1 - Tempered Glass
2 - Top of window @ 84" A.F.F.

RIGHT ELEVATION



LEFT ELEVATION

The Willow – Elevation A



The Willow – Elevation B



Notes

FOOTING:
H = 2 x T + 1' (E.O.F. = 1' 8")

S.W.F. TO BE 4'-0" WIDE
S.W.F. LAYING PATTERN:
1. EDGE NAILING SHALL BE MINIMUM 18" O.C.
2. FIELD NAILING SHALL BE MINIMUM 18" O.C.

STANDARD ABBREVIATIONS:

HB	HOUSE BUB	WD	WOOD
CO	CASIO OVERHUNG	DW	DRAINAGE DRAIN
DO	DRY WALL OPENING	RP	REINFORCED
WP	WATER PROOF	SO	SWITCH-OUTLET
CPT	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRAIN	LAM	LAMINATE
YVL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

Revisions:

PRELIMINARY SET

REV. SET. FORMERLY COTTAGE 2 - ELEVATION A

CONSTRUCTION SET.

Project Title

OWNER/SPEC
SUBDIVISION
LOT #
ADDRESS
WILLOW - ELEVATION A

Drawing By: SWE

Checked By: KH

Drawing Title

Foundation Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

of

PAGES

F1.0

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The Cottages At Chapel View

"The Willow"

Elevations A & B

Consultant

Notes

FOOTING:
F1 - 2' x 2' x 1' (LOF) = (7.9')

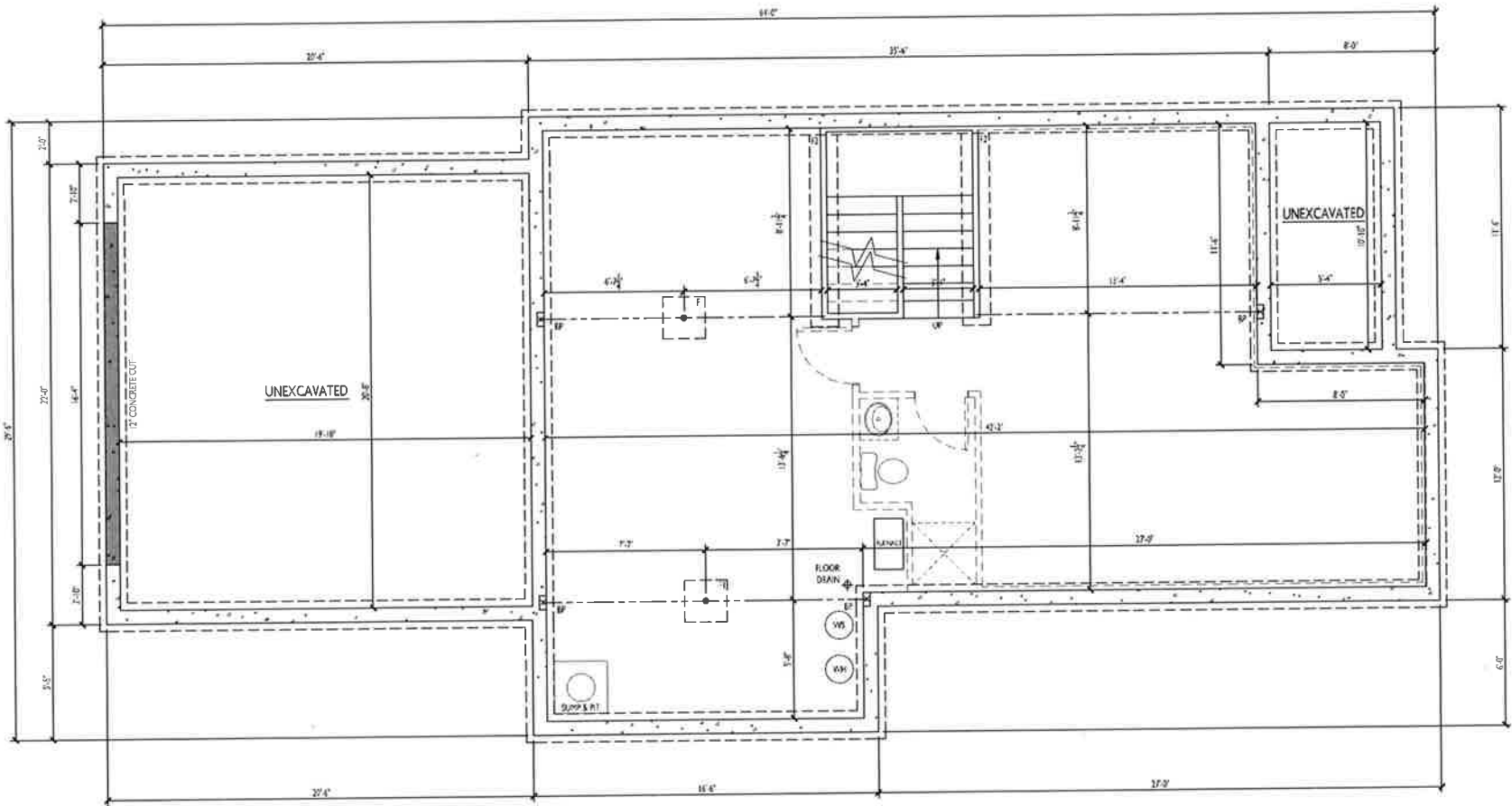
5/8" F. TO BE 4'-0" WIDE
S.W.F. NAILING PATTERN:
1. EDGE NAILING SHALL BE 8" NAILS @ 12" O.C.
2. FIELD NAILING SHALL BE 8" NAILS @ 18" O.C.

STANDARD ABBREVIATIONS:

HB	HOIS BB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CFT	CERAMIC TILE	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VNL	VINYL	PS	PLUMBING STACK
PAS	PASSIVE RADON SYSTEM		

Revisions

PRELIMINARY SET:
BID SET, FORMERLY COTTAGE 2 - ELEVATION A
CONSTRUCTION SET



Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

Foundation Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

of pages

F

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DOOR SCHEDULE									
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	3'0" x 6'6"	34 1/2 x 82 1/2	6 5/16	Steel Insulating Light	L	Handset w/ rd Passage Deadbolt	Hinge Pin	1,2,3	
2	2'6" x 6'6"	34 1/2 x 82 1/2	6 5/16	20 gage Steel Insulating	R	Passage, Deadbolt	Hinge Pin	3	
3	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	R	Passage	Hinge Pin		
4	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Passage	Wall Spring		
5	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	R	Passage	Wall Spring		
6	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Privacy	Wall Spring		
7	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Wood Pocket		Passage			
8	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	R	Passage	Hinge Pin		
9	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Passage	Wall Spring		
10	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Wood Pocket		Passage			
11	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Privacy	Hinge Pin		
12	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Passage	Wall Spring		
13	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Passage	Hinge Pin		
14	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	R	Passage	Hinge Pin		
15	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Passage	Hinge Pin		
16	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	R	Privacy	Hinge Pin		
17	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	R	Passage	Wall Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
20	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Privacy	Wall Spring	
21	2'6" x 6'6"	34 1/2 x 82 1/2	4 5/16	Solid Wood	L	Passage	Wall Spring	

NOTES

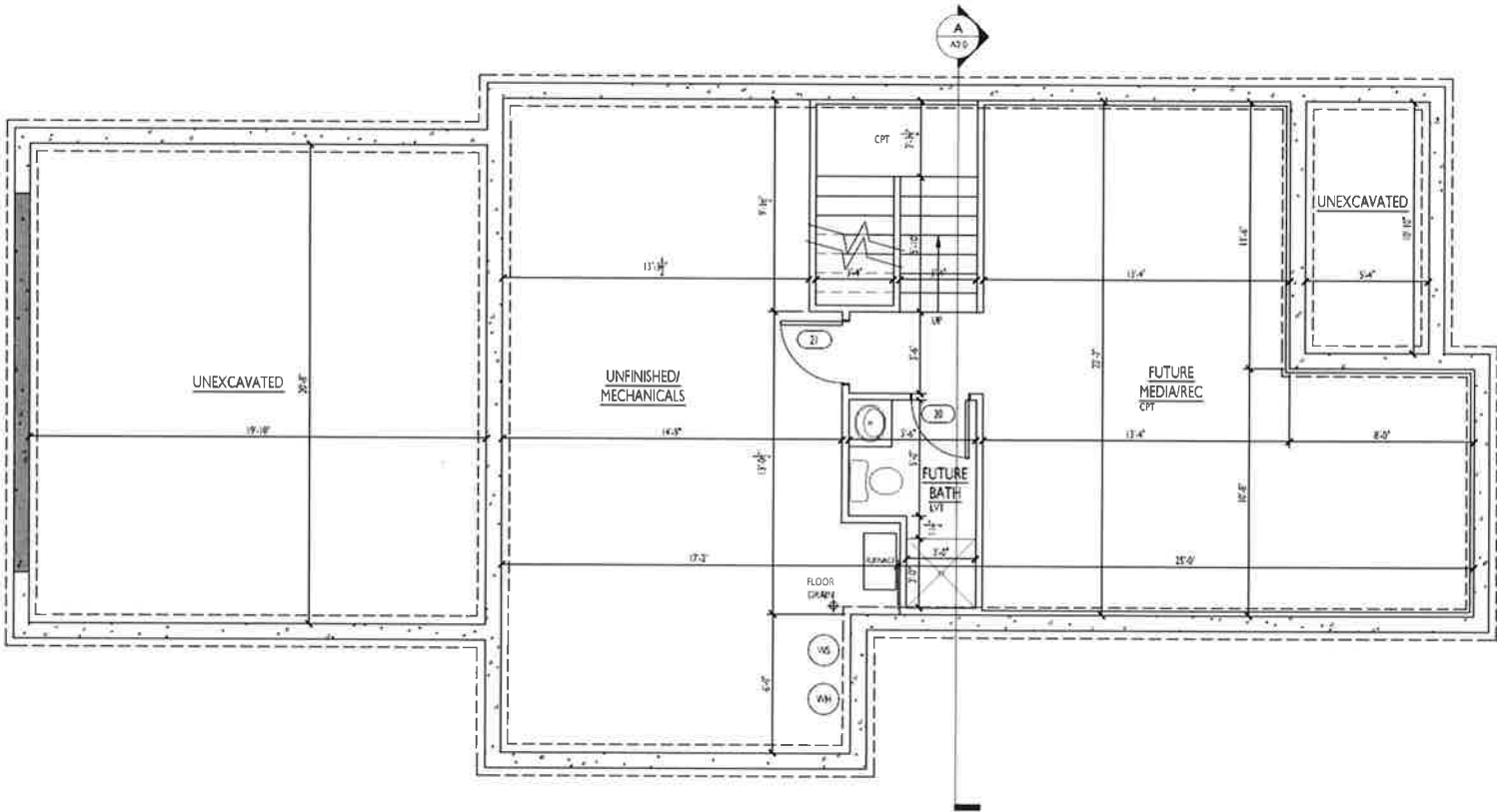
1. Hinges are designated using the "text to bolt" method

2. See job start for door styles and hardware finishes

3. See Elevations for door configuration

4. Interior handle to match remaining exterior hardware color and style

5. Deadbolt with apartment key



Notes

ALL HEADERS TO BE (2) 1 x 10 UNLESS NOTED OTHERWISE
SHAW WALL LOCATIONS

B PARTITION SECTION

C CLOSET SECTION

HALF WALL WITH WOOD CAP

WOOD RAILING WITH METAL OR WOOD SPINDLES
DRYWALL RETURNS J-GOES

SHIP TO BE 4" WIDE
S.W. NAILING PATTERN:
1. EDGE NAILING SHALL BE 6d NAILS 16" O.C.
2. FIELD NAILING SHALL BE 6d NAILS 10" O.C.

STANDARD ABBREVIATIONS:

HB HOSE BIB
CO CASED OPENING
DO DRYWALL OPENING
WP WATER PROOF
CPT CARPET
CT CERAMIC TILE
D DRYER
VNL VINYL
PRS PASSIVE RADON SYSTEM
WD WOOD
DW DISHWASHER
REF REFRIGERATOR
SO SWITCH OUTLET
C CUBBY
W WASHER
LHM LAMINATE
PS PLUMBING STAC

AREA:
FIRST FLOOR: 1,041
SECOND FLOOR: 834
TOTAL: 1,875

Revisions

PRELIMINARY SET
BD SET: FORMERLY COTTAGE 2 - ELEVATION A
CONSTRUCTION SET:

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

First Floor Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

A

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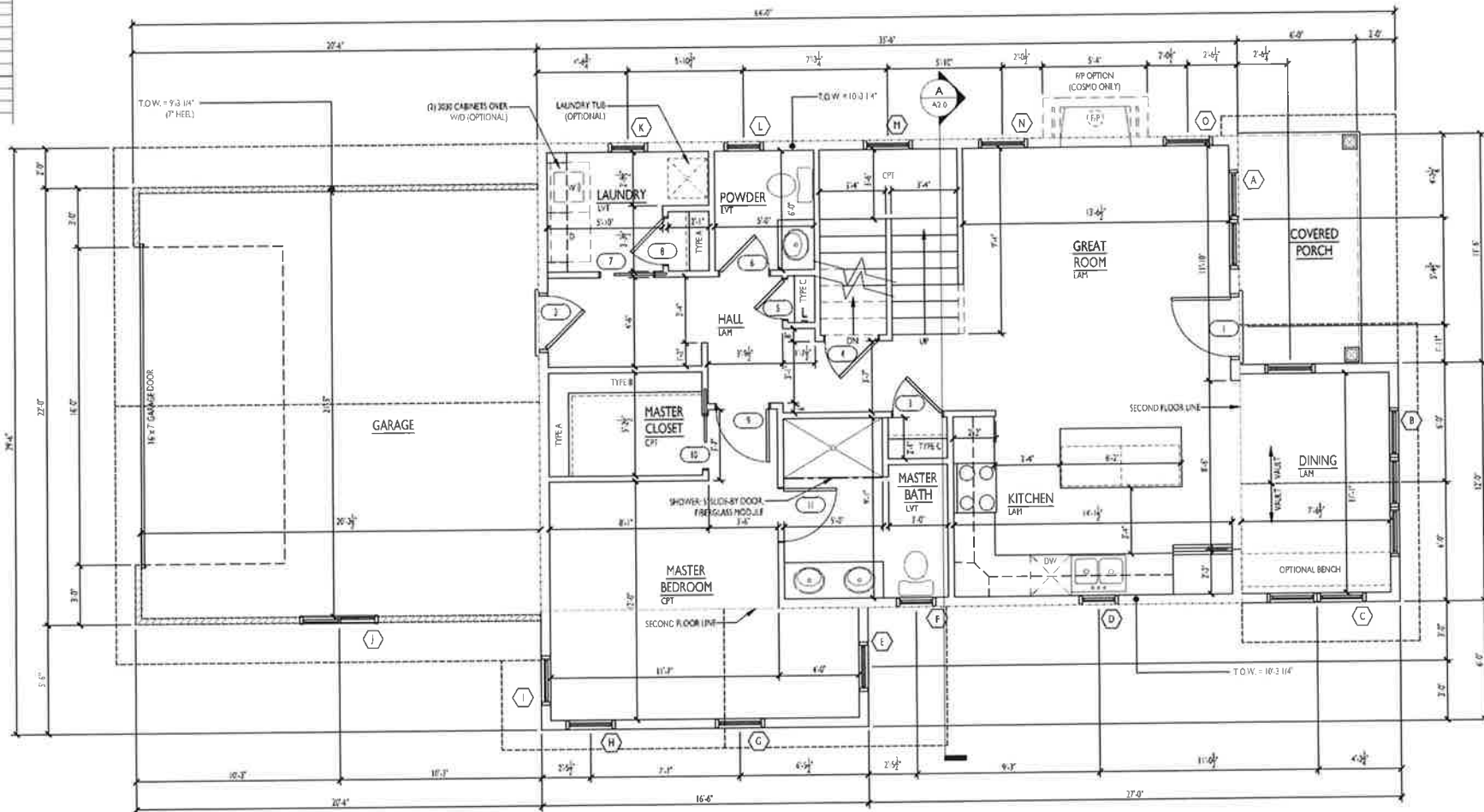
DOOR SCHEDULE							
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP
1	3'0" x 6'6"	30 2/8 x 62 1/2	6 9/10	Steel Insulating w/ Light	L	Passage w/ 1st Passage	Hinge Pin
2	2'4" x 6'6"	34 5/8 x 62 1/2	6 9/10	28mm Steel Insulating	R	Passage, Double	Hinge Pin
3	2'4" x 6'6"	32 1/2 x 62 1/2	4 9/10	Solid Wood	R	Passage	Hinge Pin
4	2'4" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	L	Passage	Wall Spring
5	2'0" x 6'6"	26 1/2 x 62 1/2	4 9/10	Solid Wood	R	Passage	Wall Spring
6	2'6" x 6'6"	30 1/2 x 62 1/2	4 9/10	Solid Wood	L	Privacy	Wall Spring
7	2'6" x 6'6"	30 1/2 x 62 1/2	4 9/10	Wood Pocket	R	Passage	Hinge Pin
8	2'4" x 6'6"	30 1/2 x 62 1/2	4 9/10	Solid Wood	R	Passage	Wall Spring
9	2'6" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	L	Passage	Wall Spring
10	2'6" x 6'6"	34 1/2 x 62 1/2	4 9/10	Wood Pocket	R	Passage	Hinge Pin
11	2'6" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	L	Privacy	Hinge Pin
12	2'6" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	L	Passage	Wall Spring
13	2'4" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	R	Passage	Hinge Pin
14	2'6" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	R	Passage	Hinge Pin
15	2'6" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	L	Passage	Hinge Pin
16	2'6" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	R	Privacy	Hinge Pin
17	2'4" x 6'6"	30 1/2 x 62 1/2	4 9/10	Solid Wood	R	Passage	Wall Spring

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP
20	2'4" x 6'6"	30 1/2 x 62 1/2	4 9/10	Solid Wood	L	Privacy	Wall Spring
21	2'4" x 6'6"	34 1/2 x 62 1/2	4 9/10	Solid Wood	L	Passage	Wall Spring

NOTES

1. Dimensions are designated with the "Text to Note" method.
2. See Elevation A for door configuration.
3. Interior handle to match remaining exterior hardware color and style.
4. Deadbolt with corner key.



Consultant

Notes

- = SHEAR WALL LOCATIONS
- B
A2.0
PANTRY/LINEN SECTION
- C
A3.0
CLOSET SECTION
- = HALF WALL WITH WOOD CAP
- = WOOD RAILING WITH METAL OR WOOD SPINDLES
- = DRYWALL RETURN & SIDES

- SW/P. TO BE 4'-0" WIDE
- SW/P. NAILING PATTERN:
1. EDGE NAILING SHALL BE 8d NAILS 8" O.C.
 2. FIELD NAILING SHALL BE 8d NAILS 16" O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VNL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

AREA:
SECOND FLOOR: 834

Revisions

- PRELIMINARY SET:
- BID SET: FORMERLY COTTAGE 2 - ELEVATION A
- CONSTRUCTION SET:

Project Title

OWNER/SEC
SUBDIVISION
LOT #

ADDRESS
WILLOW : ELEVATION A

Drawn By: SWE Checked By:
Drawing Title

Second Floor Plan

Scale: 1/4" = 1'-0" Date: XX/XX/XX
Project No. Draw

XXX

A

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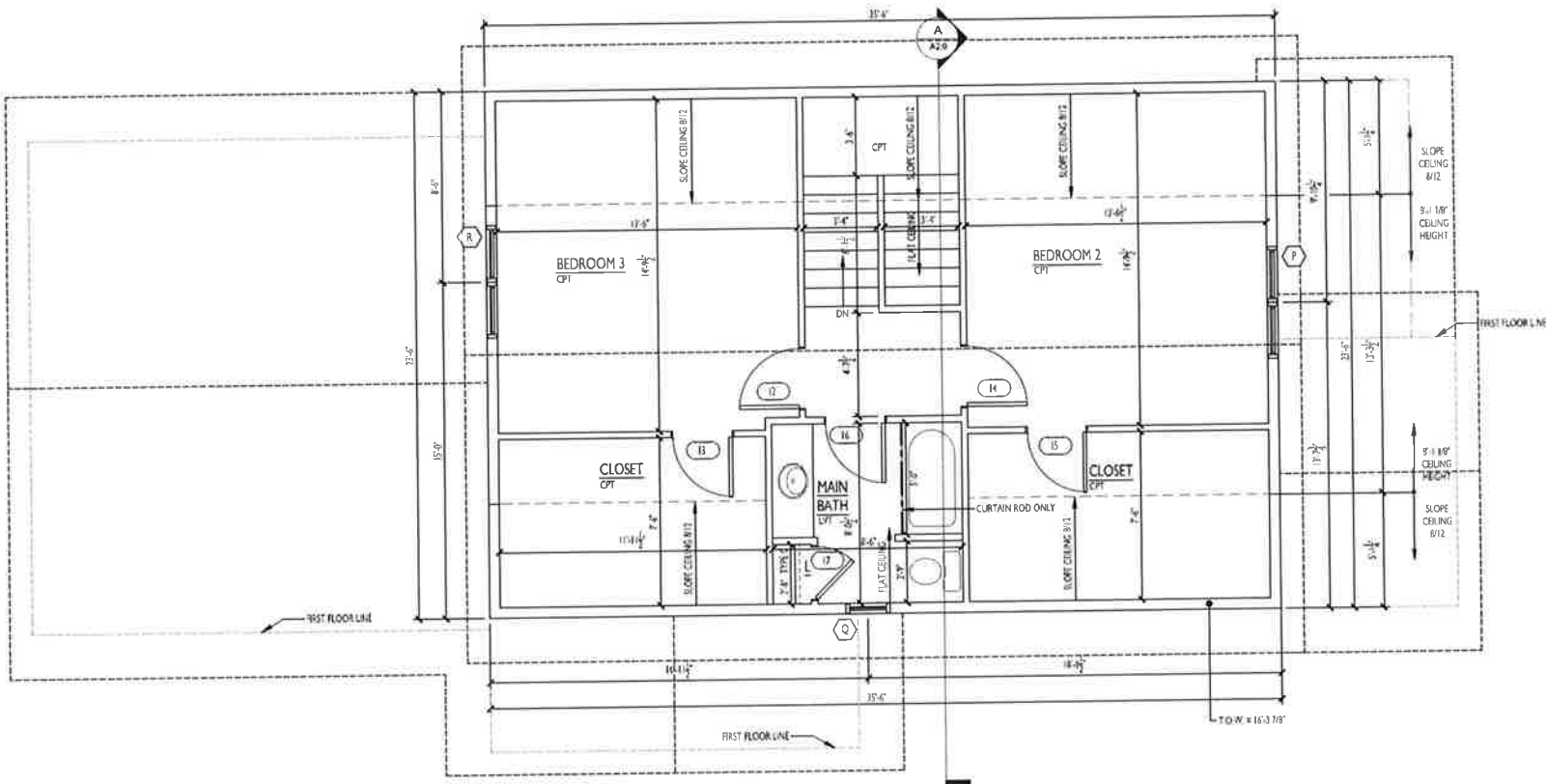
DOOR SCHEDULE									
	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	3'-0" x 6'-6"	30 1/2 x 82 1/2	6 5/16"	Steel Inswing w/ Light	L	Handset w/ 10 Passage Deadbolt	Hinge Pin	1, 2, 3	
2	2'-6" x 6'-6"	34 1/2 x 82 1/2	6 5/16"	20 mm Steel Inswing	R	Passage Deadbolt	Hinge Pin	3	
3	2'-6" x 6'-6"	32 1/2 x 82 1/2	4 5/16"	Solid Wood	R	Passage	Hinge Pin		
4	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Passage	Hinge Pin		
5	2'-6" x 6'-6"	30 1/2 x 82 1/2	4 5/16"	Solid Wood	R	Passage	Wall Spring		
6	2'-6" x 6'-6"	30 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Privacy	Wall Spring		
7	2'-6" x 6'-6"	30 1/2 x 82 1/2	4 5/16"	Wood Pocket		Passage			
8	2'-6" x 6'-6"	30 1/2 x 82 1/2	4 5/16"	Solid Wood	R	Passage	Hinge Pin		
9	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Passage	Wall Spring		
10	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Wood Pocket		Passage			
11	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Privacy	Hinge Pin		
12	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Passage	Wall Spring		
13	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Passage	Hinge Pin		
14	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	R	Passage	Hinge Pin		
15	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Passage	Hinge Pin		
16	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	R	Privacy	Hinge Pin		
17	2'-6" x 6'-6"	30 1/2 x 82 1/2	4 5/16"	Solid Wood	R	Passage	Wall Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
20	2'-6" x 6'-6"	30 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Privacy	Wall Spring		
21	2'-6" x 6'-6"	34 1/2 x 82 1/2	4 5/16"	Solid Wood	L	Passage	Wall Spring		

NOTES

- 1 - Primes are designated using the "butt to butt" method.
- 2 - See job start for door styles and hardware finishes.
- 3 - See Elevation for door configuration.
- 4 - Interior handle to match remaining interior hardware color and style.
- 5 - Deadbolt with control key.



Notes

H8	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLE
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
YL	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		

CONSTRUCTION SET

ADDRESS
WILLOW : ELEVATION A

A

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The Willow - Elevation A

Consultant

Notes

EXTERIOR COLORS:

- 0 VINYL SIDING (#1 EXPOSURE) =
1 SMART SIDING (#2 EXPOSURE) =
2 BOARD & BATTEN (#3) =
3 SHAKES (#4) =
4 VINYL CORNER TRIM =
5 SMART CORNER TRIM =
6 WINDOW & DOOR TRIM =
7 ACCENT BAND =
8 GABLE ACCENTS =
9 COLUMNS =
10 SMART FASCIA/GUTTER (ALUMINUM) =
11 SHUTTERS =
12 MASONRY =
13 ROOF (#1) =
14 ROOF (#2) =
15 WINDOWS =
16 ENTRY DOOR =
17 GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOLE RIB	WD	WOOD
CO	CASED OPENING	DW	DISH WASHER
DO	DOOR	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CT	CARPET	C	CUBICLE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PLS	PASSIVE RADON SYSTEM		

WINDOW SCHEDULE - ELEVATION A									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES	
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1			Place	
B	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			Place	
C	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			Place	
D	2442	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
E	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
F	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
I	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
J	4646	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1				
K	2442	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
L	2442	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
M	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1			Place	
O	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1			Place	
P	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1				
Q	2442	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
R	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1				
S									
T									

NOTES:
1 - See job start for window colors
2 - Button active put on door leaf and casement using for Reversed plans
3 - Tempered Glass
4 - Glazing Panel Door to be installed in 6-9-16" jamb

FRONT ELEVATION



REAR ELEVATION

Revision

PRELIMINARY SET:

BID SET: FORMERLY COITAGE 2 - ELEVATION A

CONSTRUCTION SET:

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

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The Willow - Elevation A

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www.encorebuildsmadison.com

Consultant

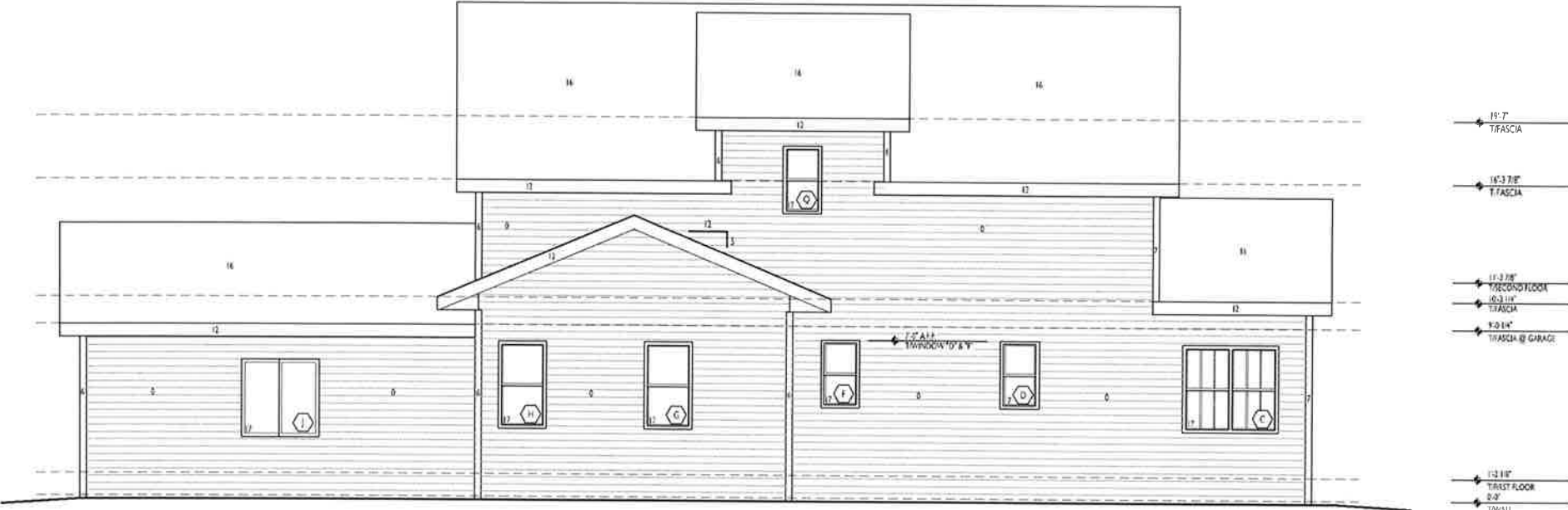
Notes

EXTERIOR COLORS:

- 0. VINYL SIDING (4" EXPOSURE) =
- 1. SMART SIDING (6" EXPOSURE) =
- 2. BOARD & BATTEN (ID 2) =
- 3. BOARD & BATTEN (ID 3) =
- 4. SHAKE (ID 4) =
- 5. SHAKE (ID 5) =
- 6. VINYL CORNER TRIM =
- 7. SMART CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. MASONRY =
- 15. DOOR (H) =
- 16. ROOF (SHINGLES) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

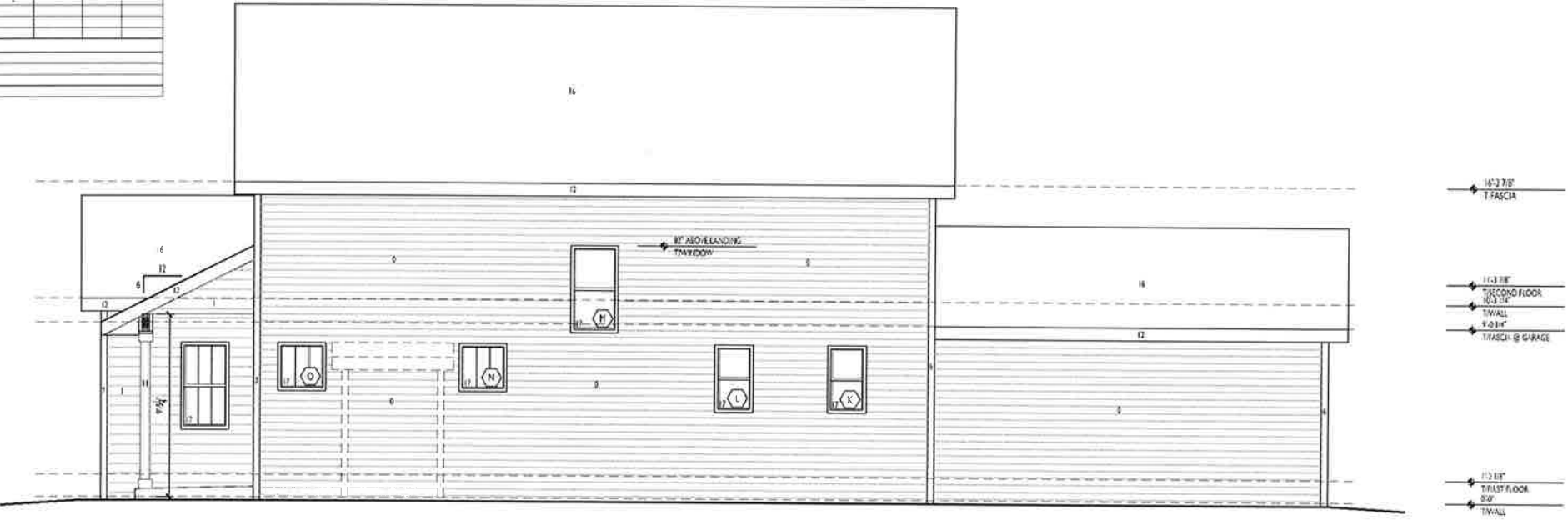
HB	HOTEL	WD	WOOD
CO	CARD OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CT	CERAMIC TILE	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DOOR	LAM	LAMINATE
VTL	VINYL	PS	PLUMBING STACK
PS	PASSIVE RADON SYSTEM		



WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6060	2-Window Single Hung	8'-0" x 5'-0"	6'-0" x 5'-0"	1			Plaza
B 9054	2-Window Single Hung	7'-6" x 4'-0"	6'-0" x 4'-0"	1			Plaza
C 6054	2-Window Single Hung	5'-0" x 4'-0"	6'-0" x 4'-0"	1			Plaza
D 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-6"	1			
E 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 4'-0"	1			
F 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 4'-0"	1			
G 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 4'-0"	1			
H 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 4'-0"	1			
I 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 4'-0"	1			
J 4648	Horizontal Slat	4'-0" x 4'-0"	6'-0" x 4'-0"	1			
K 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-6"	1			
L 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-6"	1			
M 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 4'-0"	1			
N 3054	Fixed	2'-0" x 2'-0"	6'-0" x 2'-0"	1			Plaza
O 3054	Fixed	2'-0" x 2'-0"	6'-0" x 2'-0"	1			Plaza
P 6054	2-Window Single Hung	5'-0" x 4'-0"	6'-0" x 4'-0"	1			
Q 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-6"	1			
R 6054	2-Window Single Hung	5'-0" x 4'-0"	6'-0" x 4'-0"	1			
S							
T							

NOTES:
1 - See job spec for window color
2 - See active patio door leaf and casement siding for Reversed plans
3 - Temporary Glass
4 - See Job Spec for door to be installed in 6'-0" x 10'-0" space

LEFT ELEVATION



RIGHT ELEVATION

Revisions

- PRELIMINARY SET:
- BID SET: FORMERLY COTTAGE 2, ELEVATION A
- CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No

Draw

XXX

of

01/01/01

A

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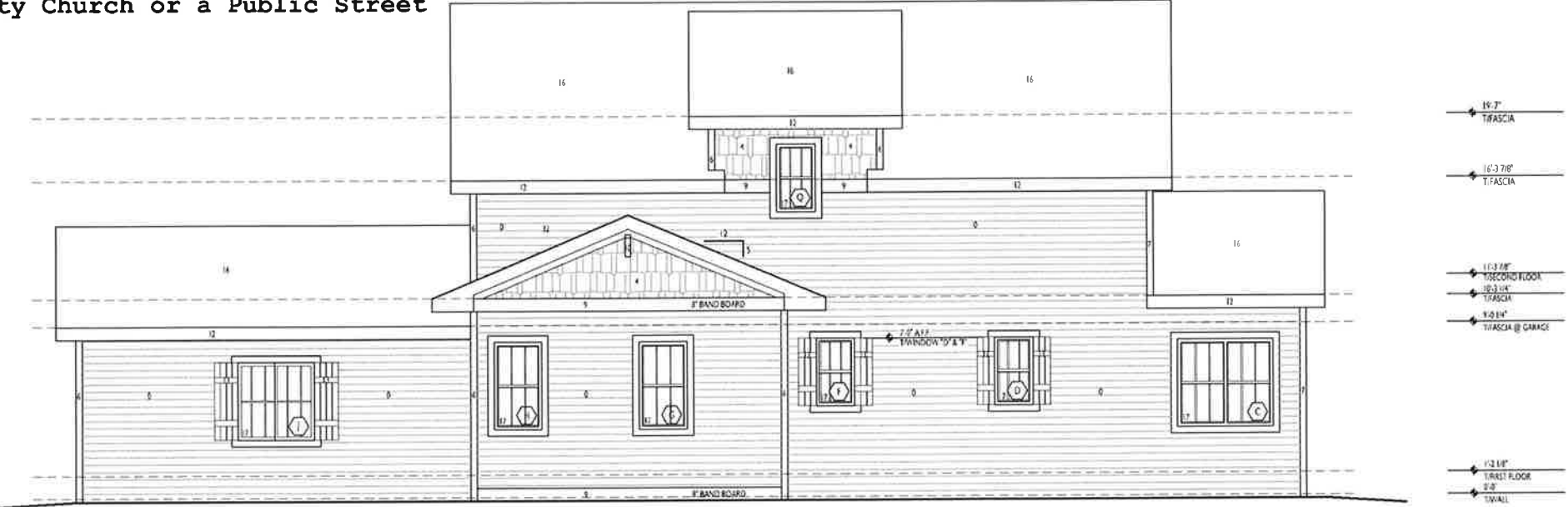
The Willow - Elevation A

Side Elevation when facing Middleton Community Church or a Public Street

ENCORE HOMES

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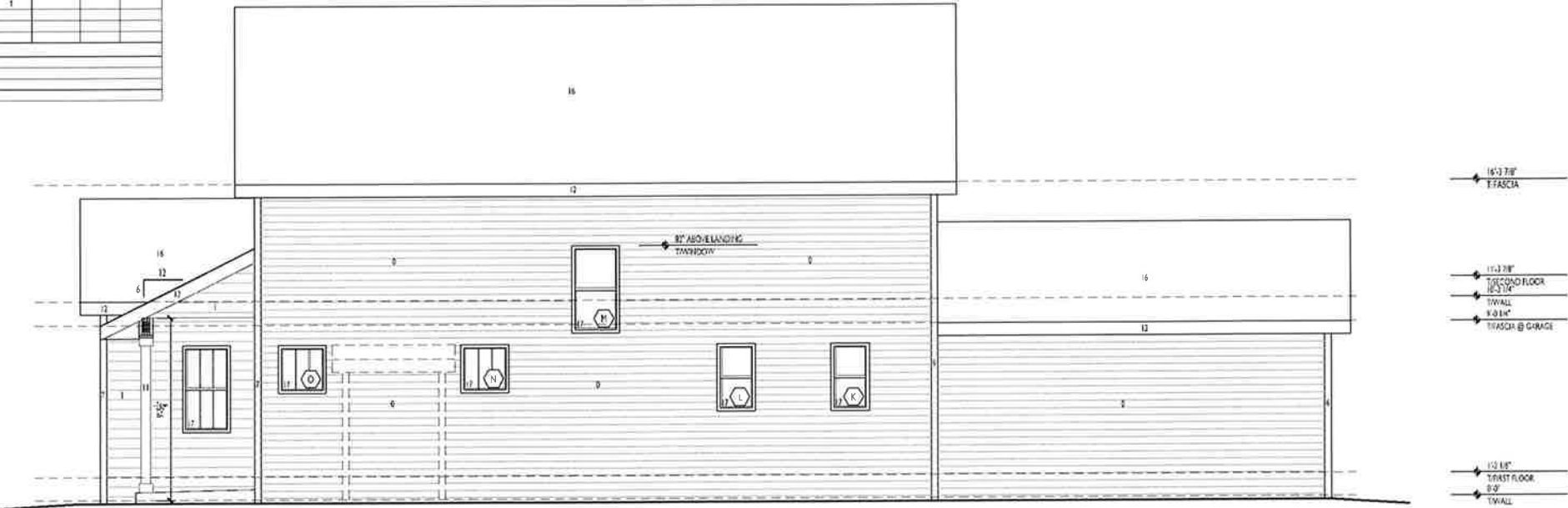
- Notes
- EXTERIOR COLORS:
- 0 VINYL SIDING (H/EXPOSURE)
 - 1 SMART SIDING (H/EXPOSURE)
 - 2 BOARD & BATTEN (D2)
 - 3 SHAKE (D4)
 - 4 SHAKE (D4)
 - 5 SHAKE (D5)
 - 6 VINYL CORNER TRIM
 - 7 SMART CORNER TRIM
 - 8 WINDOW & DOOR TRIM
 - 9 ACCENT BAND
 - 10 GABLE ACCENTS
 - 11 COLUMNS
 - 12 SHUTTER/FASCIA/GUTTER (ALUMINUM)
 - 13 SHUTTERS
 - 14 MASONRY
 - 15 ROOF (P)
 - 16 ROOF (SHINGLES)
 - 17 WINDOWS
 - 18 ENTRY DOOR
 - 19 GARAGE DOOR
- STANDARD ABBREVIATIONS:
- | | | | |
|-----|----------------------|-----|---------------|
| HB | HOSE BIB | WD | WOOD |
| CO | CASED OPENING | D/W | DISHWASHER |
| DO | DAYWALL OPENING | REF | REFRIGERATOR |
| WP | WATER PROOF | SO | SWITCH OUTLET |
| CT | CASET | C | CURB |
| CT | CERAMIC TILE | W | WASHER |
| D | DYER | LPH | LAMINATE |
| VYL | VINYL | PS | PUMPING STAC |
| PKS | PASSIVE RADON SYSTEM | | |

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 8060	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 10"	1		Place	
B 9054	3-Wide Single Hung w/ 18" Transom	7'-4" x 4'-6"	6'-9" x 10"	1		Place	
C 8054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 10"	1		Place	
D 2442	Single Hung	2'-0" x 3'-6"	6'-9" x 10"	1			
E 3054	Single Hung	2'-6" x 4'-6"	6'-9" x 10"	1			
F 3054	Single Hung	2'-6" x 4'-6"	6'-9" x 10"	1			
G 3054	Single Hung	2'-6" x 4'-6"	6'-9" x 10"	1			
H 3054	Single Hung	2'-6" x 4'-6"	6'-9" x 10"	1			
I 3054	Single Hung	2'-6" x 4'-6"	6'-9" x 10"	1			
J 4646	Horizontal Slider	4'-0" x 4'-0"	4'-9" x 10"	1			
K 2142	Single Hung	2'-0" x 3'-6"	6'-9" x 10"	1			
L 2142	Single Hung	2'-0" x 3'-6"	6'-9" x 10"	1			
M 3054	Single Hung	2'-6" x 4'-6"	6'-9" x 10"	1			
N 3030	Fixed	2'-6" x 2'-6"	6'-9" x 10"	1		Place	
O 3030	Fixed	2'-6" x 2'-6"	6'-9" x 10"	1		Place	
P 8054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9" x 10"	1		Place	
Q 2142	Single Hung	2'-0" x 3'-6"	6'-9" x 10"	1			
R 8054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9" x 10"	1			
S							
T							

NOTES:

- 1 - See job start for window colors
- 2 - See active patio door leaf and placement notes for Revere plans
- 3 - Temporary Glass
- 4 - Gliding Patio Door to be installed in 6'-0" x 10" jamb

LEFT ELEVATION



Revisions

PRELIMINARY SET

BIO SET - FORMERLY COTTAGE 2 - ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC SUBDIVISION LOT #

ADDRESS

WILLOW - ELEVATION A

Drawing By: SWE

Checking By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No.

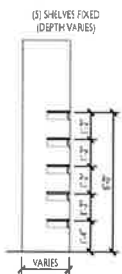
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A

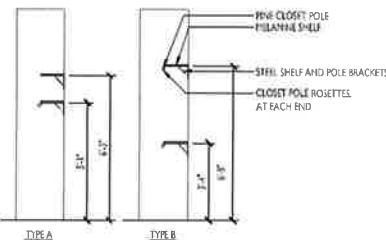
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RIGHT ELEVATION

 BUILDING SECTION

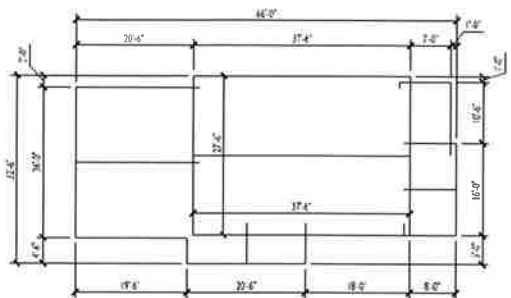
PANTRY/LINEN SECTION

SCA1# = 1/4" = 1'-0"



CLOSET SECTION

SCALE = 1/4" = 1'-0"



ROOF PLAN

SCALE = N.T.5

The Willow - Elevation B

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MIDDLETON, VA 23042
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FAX: (800) 836-9691
www.encorebuild.com

Consent

Notes

EXTERIOR COLORS:

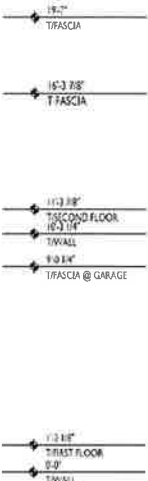
- 0 VINYL SIDING (K' EXPOSURE) =
- 1 SMART SIDING (K' EXPOSURE) =
- 2 BOARD & BATT (K' ID 2) =
- 3 BOARD & BATT (K' ID 3) =
- 4 SHAKES (K' ID 4) =
- 5 SHAKES (K' ID 5) =
- 6 VINYL CORNER TRIM =
- 7 SMART CORNER TRIM =
- 8 WINDOW & DOOR TRIM =
- 9 ACCENT BAND =
- 10 GABLE ACCENTS =
- 11 COLUMNS =
- 12 SOFT/FASCIA/GUTTER (ALUMINUM) =
- 13 SHUTTERS =
- 14 MASONRY =
- 15 ROOF (K' ID) =
- 16 ROOF (SHINGLES) =
- 17 WINDOWS =
- 18 ENTRY DOOR =
- 19 GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DYWALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBES
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VNL	VINYL	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		



FRONT ELEVATION



REAR ELEVATION

WINDOW SCHEDULE - ELEVATION B								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HNGE	GRILL	NOTES
A	6060	2-Way Single Hung	5'-0" x 5'-0"	6'-0" 16"	1			Colonade
B	3054	3-Way Single Hung	7'-0" x 4'-0"	6'-0" 16"	1			Colonade
C	6054	2-Way Single Hung	5'-0" x 4'-0"	6'-0" 16"	1			Colonade
D	2442	Single Hung	2'-0" x 3'-6"	6'-0" 16"	1			
E	3054	Single Hung	2'-6" x 4'-0"	6'-0" 16"	1			
F	3054	Single Hung	2'-0" x 4'-0"	6'-0" 16"	1			
G	3054	Single Hung	2'-6" x 4'-0"	6'-0" 16"	1			
H	3054	Single Hung	2'-6" x 4'-0"	6'-0" 16"	1			
I	3054	Single Hung	2'-6" x 4'-0"	6'-0" 16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	6'-0" 16"	1			
K	2442	Single Hung	2'-0" x 3'-6"	6'-0" 16"	1			
L	2442	Single Hung	2'-0" x 3'-6"	6'-0" 16"	1			
M	3054	Single Hung	2'-6" x 4'-0"	6'-0" 16"	1			
N	3030	Fixed	2'-6" x 2'-6"	6'-0" 16"	1			Colonade
O	3048	Fixed	2'-6" x 2'-6"	6'-0" 16"	1			Colonade
P	6054	2-Way Single Hung	5'-0" x 4'-0"	6'-0" 16"	1			Colonade
Q	2442	Single Hung	2'-0" x 3'-6"	6'-0" 16"	1			
R	6054	2-Way Single Hung	5'-0" x 4'-0"	6'-0" 16"	1			
S								
T								
NOTES:								
1- See job start for window colors								
2- Screen action sales door leaf and casement lining for Powered plans								
3- Inexpedient and								
4- Sliding Patio Door to be installed in 6'-0" 16" Jamb								

NOTES:
*See job spec for window notes.
*Grill active patio door and casement using for Reversed plans.
1 - Tempered Glass
2 - Glazing Patio Door to be installed in GARAGE jamb

Revisions

- PRELIMINARY SET
- REV SET FORMERLY COTTAGE 2 - ELEVATION AA
- CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS
WILLOW - ELEVATION B

Drawing By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No

Draw

XXX

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FAX: (608) 836-9691
www.enconetec.com/sdson.com

Consultant

Notes

EXTERIOR COLORS.

2. VINYL SIDING (4' EXPOSURE) =
3. SMART SIDING (4' EXPOSURE) =
2. BOARD & BATTEN (2' J) =
3. BOARD & BATTEN (2' J) =
4. SHAKE (1' 4") =
5. SHAKE (1' 5") =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. MASONRY =
15. ROOF (1") =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HOSE BIB	WD	WOOD
CASED OPENING	DW	DISHWASHER
DIY WALL OPENING	REF	REFRIGERATOR
WATER PROOF	SO	SWITCH OUTLET
CARPET	C	CURBIE
CERAMIC TILE	W	WASHER
DRYER	LAM	LAMINATE
VINYL	PS	PLUMBING STAC
PASSIVE RADON SYSTEM		

LEFT ELEVATION

NOTES:

- 1 - See job start for window colors
- 2 - Switch active patio door leaf and sash element swing for Reversed plans
- 1 - Tempered Glass
- 2 - Sliding Patio Door to be installed in 6'6" 1/2" jamb

 RIGHT ELEVATION

Revisions

PRELIMINARY SET

BID SET: FORMERLY COTTAGE 2: ELEVATION AA

CONSTRUCTION COST: \$1.5 million.

CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #

ADDRESS

LOW : ELEVATION B

Printed By: SWE

oked by:

Exterior Elevations

Scale: $1/4" = 1'-0"$ Date: XX/XX/XX

Project No.

24

XX

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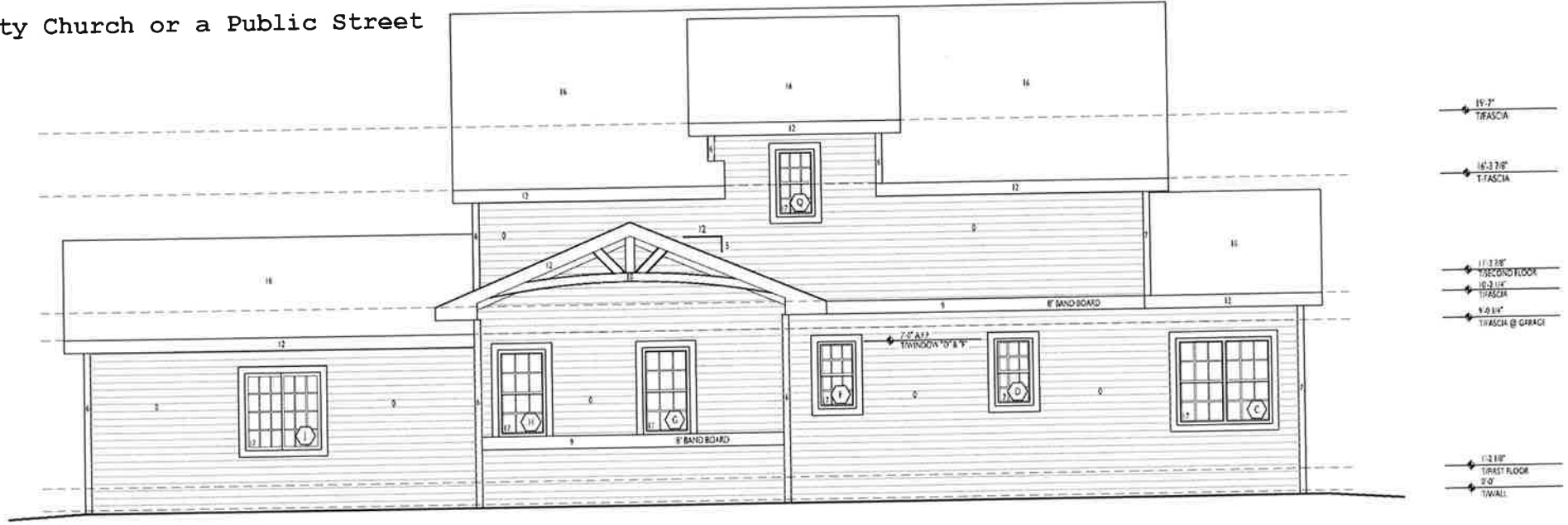
The Willow - Elevation B

Side Elevation when facing Middleton Community Church or a Public Street

ENCORE HOMES

6840 SCHNEIDER ROAD
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PHONE: (608) 836-9601
FAX: (608) 836-9691
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Consultant



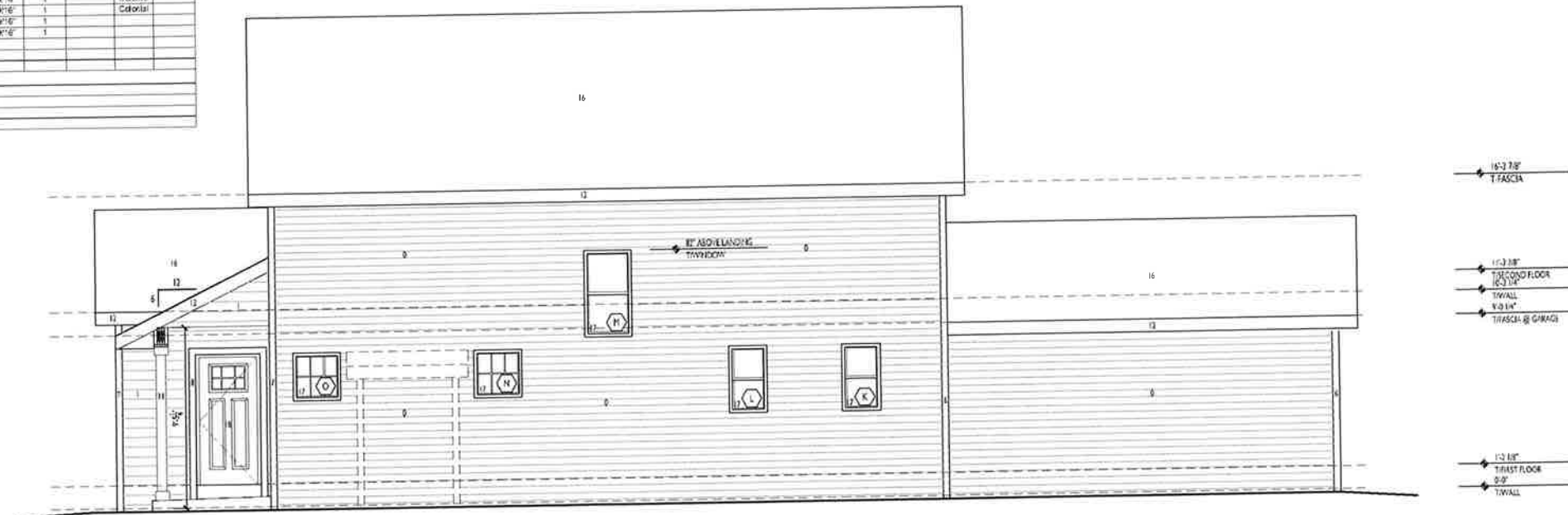
- Notes
- EXTERIOR COLORS:
- 1 VINYL SIDING (EXPOSURE) =
 - 2 SHIRT SING (EXPOSURE) =
 - 3 BOARD & BATTEN (ID 2) =
 - 4 SHAKE (ID 1) =
 - 5 SHAKE (ID 1) =
 - 6 VINYL CORNER TRIM =
 - 7 SHIRT CORNER TRIM =
 - 8 WINDOW & DOOR TRIM =
 - 9 ACCENT BAND =
 - 10 GABLE ACCENTS =
 - 11 COLUMNS =
 - 12 SOFT FASCIA/GUTTER (ALUMINUM) =
 - 13 SHUTTERS =
 - 14 MASONRY =
 - 15 ROOF (ID 1) =
 - 16 ROOF (CHANGES) =
 - 17 WINDOWS =
 - 18 ENTRY DOOR =
 - 19 GARAGE DOOR =
- STANDARD ABBREVIATIONS:
- | | | | |
|-----|----------------------|-----|---------------|
| HB | HOSE BIB | WD | WOOD |
| CO | CASED OPENING | DW | DISHWASHER |
| DO | DOORWAY OPENING | REF | REFRIGERATOR |
| WP | WATER PROOF | SO | SWITCH OUTLET |
| CF | CERAMIC TILE | C | CUBICLE |
| CT | CERAMIC TILE | W | WASHER |
| D | DRYER | LAM | LAMINATE |
| VNL | VINYL | PS | PLUMBING STAC |
| PLS | PASSIVE RADON SYSTEM | | |

WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1			Colonial
B 6054	3-Wide Single Hung	7'-0" x 4'-0"	6'-0" x 6"	1			Colonial
C 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			Colonial
D 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
E 3054	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
F 3054	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
G 3054	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
H 3054	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
I 3054	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
J 4848	Horizontal Slider	4'-0" x 4'-0"	4'-0" x 6"	1			
K 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
L 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
M 3054	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			Colonial
N 3030	Fixed	2'-0" x 3'-0"	6'-0" x 6"	1			Colonial
O 3030	Fixed	2'-0" x 3'-0"	6'-0" x 6"	1			Colonial
P 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			
Q 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
R 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			
S							
T							

NOTES:

- 1 - See job spec for window colors
- 2 - Shown as an patio door leaf and a casement wing for Referred plans
- 3 - Tempered Glass
- 4 - Sliding Glass Door to be installed in 6'-0" x 6" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions

PRELIMINARY SET

NO SET - FORMERLY COTTAGE 2 - ELEVATION AA

CONSTRUCTION SET

Project Title

OWNER/SPEC SUBDIVISION LOT #

ADDRESS

WILLOW - ELEVATION B

Drawing By: SWE Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. Draw

XXX A

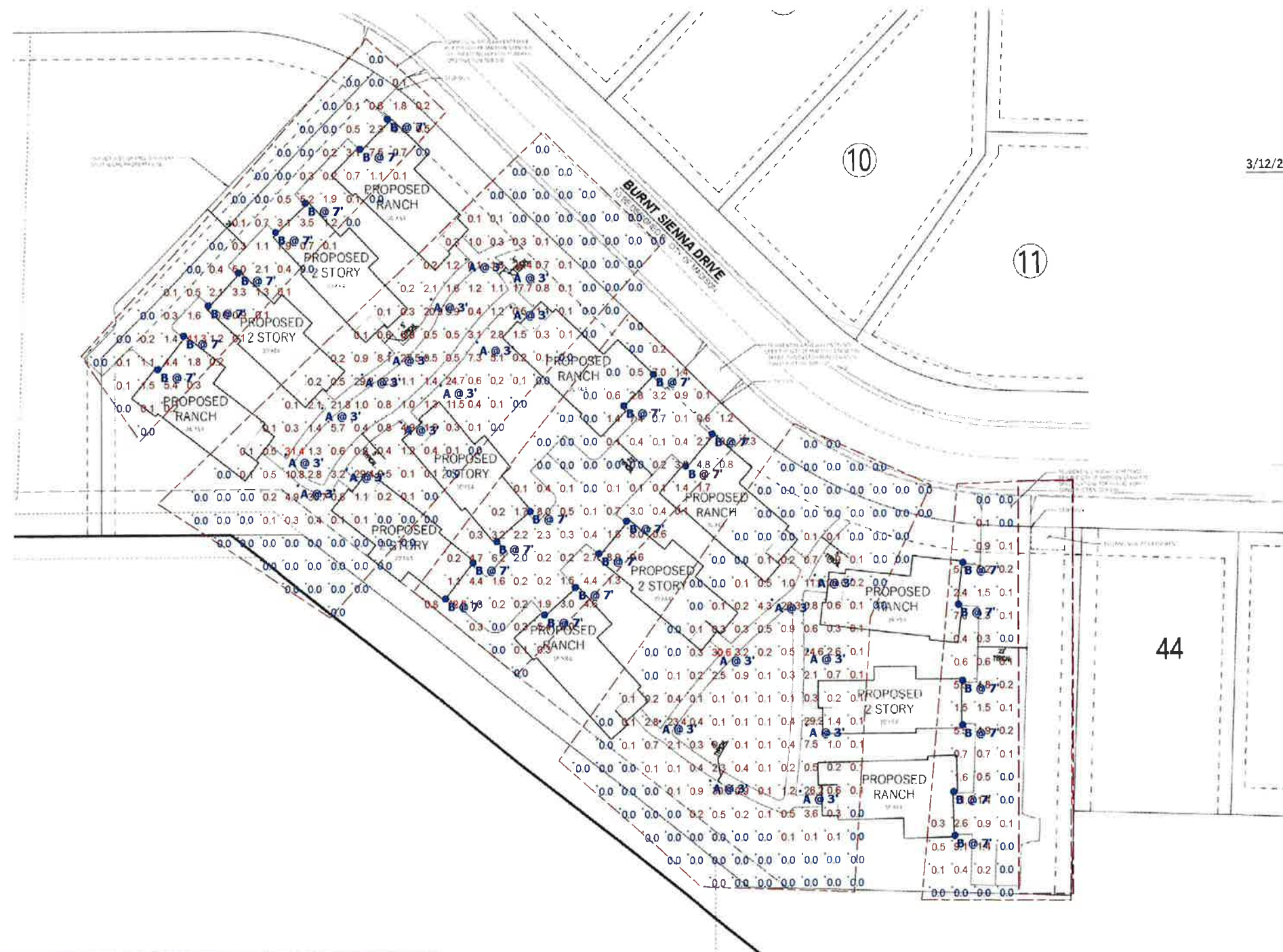
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3/12/2019

ENCORE
LOT 45

Plan View
Scale - 1" = 50ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOLLARD ZONE 1	+	2.2 fc	31.4 fc	0.0 fc	N/A	N/A
BOLLARD ZONE 2	+	1.6 fc	30.6 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 1	+	1.3 fc	11.3 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 2	+	1.6 fc	12.6 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 3	+	1.5 fc	11.2 fc	0.0 fc	N/A	N/A



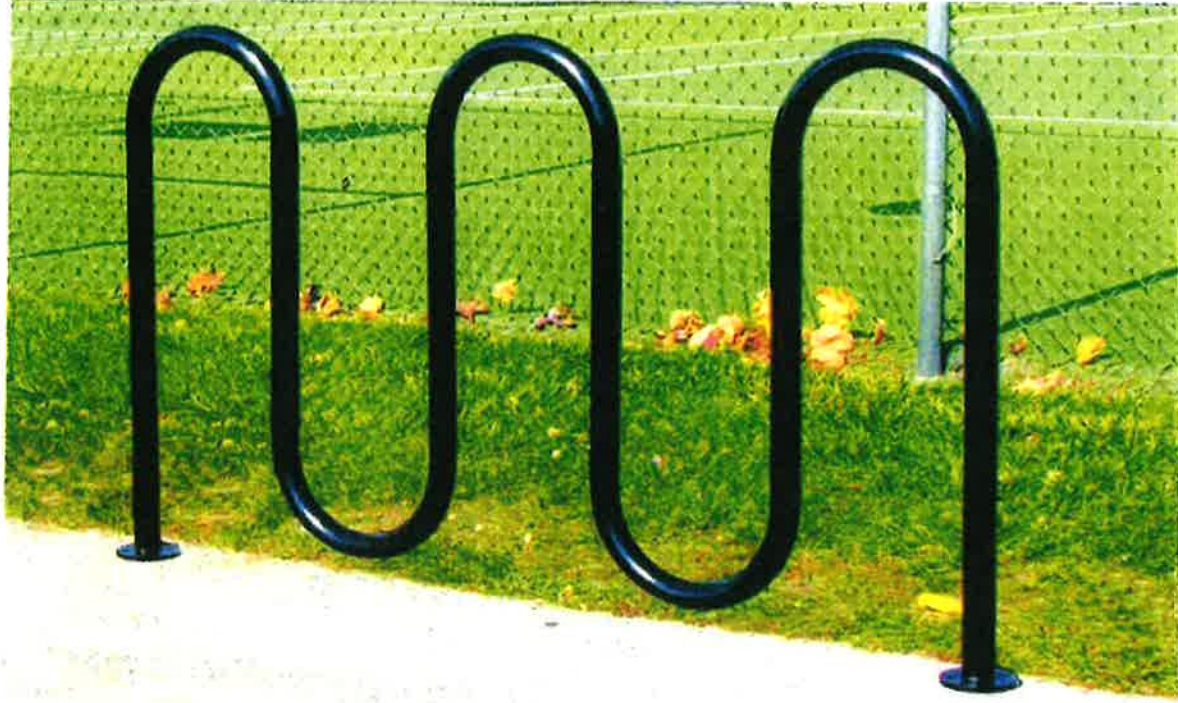
Designer
MB, CED
Date
4/3/2019
Scale
Not to Scale
Drawing No.

Summary

Proposed Bike Racks

Park-It Powder-Coated Steel Bike Racks

Parent SKU: TBR-01A



[Click to Zoom](#)



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