# URBAN DESIGN COMMISSION APPLICATION



City of Madison Planning Division 126 S. Hamilton St. P.O. Box 2985 Madison, WI 53701-2985 (608) 266-4635



FOR OFFICE OSE ONL	Υ:
Paid	Receipt #
Date received	-
Received by	
Aldermanic District	
Zoning District	
Urban Design District	
Submittal reviewed by	

1.	the desired meet  If you need an interplant or other according to the phone  L. Project Information  Address: Loi Title: Th  C. Application Type UDC meeting dat New develop Information  B. Project Type Project in an Project in the Mixed-Use Disting District (EC) Planned Develop General Specific						Urban	_	wed by	
	Add	ress:	Lot 45	, Plat of	f Ch	apel View - 624 Bu	rnt Si	enna D	rive	
	Title	e: _	The Co	ottages	At 0	Chapel View				
2.	UDO	meeting	date re	quested	_	July 17, 2019				
				nt			sting c	or previ		
	ш	informati	onai			Initial approval		=	Finai ap	provai
3.	Proj	ect Type								
		Project in	an Urba	an Desigi	n Dis	trict		Sign	age	
		Mixed-Use Project in Campus Ir	District the Sub estitutio	(UMX), c urban Er	or Mix nplo	District (DC), Urban æd-Use Center District ( yment Center District CI), or Employment Ca	(SEC),	Oth	Signage area, a	chensive Design Review (CDR)  Variance (i.e. modification of signage height, and setback)
	<ul> <li>□ Planned Development (PD)</li> <li>□ General Development Plan (GDP)</li> <li>□ Specific Implementation Plan (SIP)</li> </ul>			olex			Specify Conditional Use - TR-V1 (Reduction of yard setback requirements in a RBC)			
1	Δnn									
4.			ne .	Chad V	Vuel	ben, President				apel View Development Company Inc.
	Stre	et address	-			eider Road				
	If you need an interpriformats or other accorplease call the phone  1. Project Informati Address: Lot Title: The  2. Application Type UDC meeting date New develope Informational  3. Project Type Project in the End Mixed-Use Dist Project in the Secampus Institute District (EC) Planned Devel General End Specific In Planned Multi-  1. Applicant, Agent, Applicant name Street address Telephone Project contact per Street address Telephone	3	608-83				Email	cwuebl	ben@encorehomesinc.com	
	Proj	ect contac	t perso	n San	ne A	s Applicant		Compa	any	
	Stre	et address					uested. Urban Design District  ternate orms,  - 624 Burnt Sienna Drive  W  Requested Date D19  to an existing or previously-approved development of the provious of the provio			
	Tele	phone	64					Email		
	Prop	erty owne	er (if no	t applic	ant)	Same As Applicar	nt			
								City/St	ate/Zip	
	Tele	phone						Email		

Urt	an I	Design Commission Application (continued)	<b>对于自己。1950年</b>		
5. F	Reau	ired Submittal Materials			
	•	Application Form		~	
_		Letter of Intent		1	Each submittal must
_		<ul> <li>If the project is within an Urban Design District, a sum development proposal addresses the district criteria is</li> </ul>	mary of how the required		include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting
	•	<ul> <li>For signage applications, a summary of how the propo tent with the applicable CDR or Signage Variance revie</li> </ul>	sed signage is consis- w criteria is required.		plans (if required) must be full-sized. Please refrain
	1 (	Development plans (Refer to checklist provided below for	plan details)	1	from using plastic covers or
	] F	Filing fee		) .	spiral binding.
	) E	Electronic Submittal*		÷	
b a	e sch ppea	the paper copies and electronic copies <u>must</u> be submitted neduled for a UDC meeting. Late materials will not be acce arance.	pted. A completed app	lication	form is required for each UDC
C	omm	ojects also requiring Plan Commission approval, applicant nission consideration prior to obtaining any formal actior e when reduced.	s must also have subm a (initial or final appro	itted an val) fror	accepted application for Plan n the UDC. All plans must be
p n	ompi rojec ot all	ronic copies of all items submitted in hard copy are requived on a CD or flash drive, or submitted via email to udcall the dideast address, project name, and applicant name. Electronic showed. Applicants who are unable to provide the materials for assistance.	oplications@cityofmacubmittals via file hostir	l <mark>ison.co</mark> i na servid	m. The email must include the
6. A	ppli	cant Declarations			
1	C	Prior to submitting this application, the applicant is requestion staff. This application was discussed with Multiple times beginning January 29,2019	uired to discuss the Janine Glaeser	propose	d project with Urban Design on
2,	ir	the applicant attests that all required materials are inclunformation is not provided by the application deadline, the agenda for consideration.	ded in this submittal application will not be p	and und placed or	erstands that if any required n an Urban Design Commission
А	pplica	ant name Chad Wuebben, President	Relationship to prop	erty Presi	dent of Owner
		rized signature of Property Owner			Date _June 25, 2019
7. A	plic	ration Filing Fees			
of Co	the omm	re required to be paid with the first application for either i combined application process involving the Urban Designon Council consideration. Make checks payable to City Tre 1,000.	n Commission in conju	inction v	with Plan Commission and/or
Pl	ease	consult the schedule below for the appropriate fee for y	our request:		
	U	rban Design Districts: \$350 (per §35.24(6) MGO).	A filing foo is not soon	ired for	the following project
_			A filing fee is not requ	med for	the following project

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150

(per §33.24(6)(b) MGO)

Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)

Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or **Employment Campus District (EC)**
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

#### URBAN DESIGN COMMISSION APPROVAL PROCESS



#### Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

#### **Types of Approvals**

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the
  UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants
  should provide details on the context of the site, design concept, site and building plans, and other relevant information
  to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- <u>Initial Approval</u>. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

#### **Presentations to the Commission**

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. Applicants/presenters are responsible for all presentation materials, AV equipment and easels.

### URBAN DESIGN DEVELOPMENT PLANS CHECKLIST



The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Inform	ational Presentation		
	Locator Map	<b>\</b>	Requirements for All Plan Sheets
	Letter of Intent (If the project is within	}	
	an Urban Design District, a summary of		2. Sheet number
	how the development proposal addresses the district criteria is required)	Providing additional	3. North arrow
	Contextual site information, including photographs and layout of adjacent buildings/structures	information beyond these minimums may generate a greater level of feedback	3. North arrow 4. Scale, both written and graphic ate 5. Date 5. Date 6. Fully dimensioned plans, scaled at 1"= 40' or larger  ** All plans must be legible, including the full-sized landscape and lighting plans (if required)  mmary of uired) ljacent 7. drives, bike 8. drives, bike 9. Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.  ides (include)  ust be legible) op plan if roof-mounted)  plications only)
	Site Plan	from the Commission.	
	Two-dimensional (2D) images of proposed buildings or structures.		the full-sized landscape and lighting
2. Initial A	pproval		
	Locator Map		Ž.
	Letter of Intent (If the project is within a U how the development proposal addresses	rban Design District, a summary the district criteria is required)	of
	Contextual site information, including pho buildings/structures	tographs and layout of adjacent	Providing additional
	Site Plan showing location of existing and lanes, bike parking, and existing trees over	proposed buildings, walks, drive r 18" diameter	s, bike > minimums may generate
	Landscape Plan and Plant List (must be leg	ible)	
	Building Elevations in both black & white a material callouts)	nd color for all building sides (in	clude
	PD text and Letter of Intent (if applicable)		J
3. Final Ap	proval		
All the r	equirements of the Initial Approval (see abo	ve), plus:	
	Grading Plan		
	Proposed Signage (if applicable)		
	Lighting Plan, including fixture cut sheets a	and photometrics plan (must be	legible)
	Utility/HVAC equipment location and scree		= '
	PD text and Letter of Intent (if applicable)		,
	Samples of the exterior building materials	(presented at the UDC meeting)	
4. Compre	hensive Design Review (CDR) and Variand	e Requests (Sianage application	ons only)
	Locator Map		,
	Letter of Intent (a summary of <u>how</u> the pro is required)	posed signage is consistent with	the CDR or Signage Variance criteria
	Contextual site information, including phot project site	ographs of existing signage both	on site and within proximity to the
	Site Plan showing the location of existing si sidewalks, driveways, and right-of-ways	gnage and proposed signage, di	mensioned signage setbacks,
	Proposed signage graphics (fully dimension	ed, scaled drawings, including n	naterials and colors, and night view)
	Perspective renderings (emphasis on pedes		
	Graphic of the proposed signage as it relate	es to what the Ch. 31, MGO wou	ld permit



June 25, 2019

Ms. Janine Glaeser
Staff
Urban Design Commission
City of Madison
215 Martin Luther King Jr Blvd
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V2) - The Cottages At Chapel View

Dear Ms. Glaeser,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

\*\*Please note that this project has received all necessary approvals, subject to staff review, from Plan Commission and Common Council. We are requesting final UDC approval with this application, and have included, at the front of each packet, the changes to our application based on UDC feedback. These changes/updates are as follows:

- 1. Updated landscape plans and plant list/landscape worksheet
- 2. Updated Cottage elevations with consistent window design
- 3. Updated Cottage elevation with re-sized gable detail
- 4. New proposed bike rack style

UPOIDET IO	$\sim$	^
FILLEL LE	~ .	
Project Te	м	

Applicant: Engineer:

Chapel View Development Company Inc.

Wyser Engineering

Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7752

Wade Wyse, Owner
312 East Main Street
Mount Horeb WI 53572
wade.wyse@wyserengineering.com
608-843-3388

#### **General Contractor:**

Encore Homes, Inc.
Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
<a href="mailto:cwwebben@encorehomesinc.com">cwwebben@encorehomesinc.com</a>
608-444-7725

#### **Project Sales:**

Encore Real Estate Services, Inc.
Cari Fuss, Managing Broker
6840 Schneider Road
Middleton WI 53562
cfuss@encorehomesinc.com
608-843-2500

#### **Project Overview**

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V2 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

**Lot 1** 1.93 Acres **84,052** Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	3000 x 15 = 45,000	500 x 15 = 7,500	45,000 + 7,500 = <b>52,500</b>

	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
<mark>13</mark>	$3000 \times 13 = 39,000$	500 x 15 = 6,500	45,000 + 7,500 = <b>45,500</b>

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the "front" yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison's growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.

According to "The Direct Impact of Housing and Remodeling on the U.S. Economy" by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

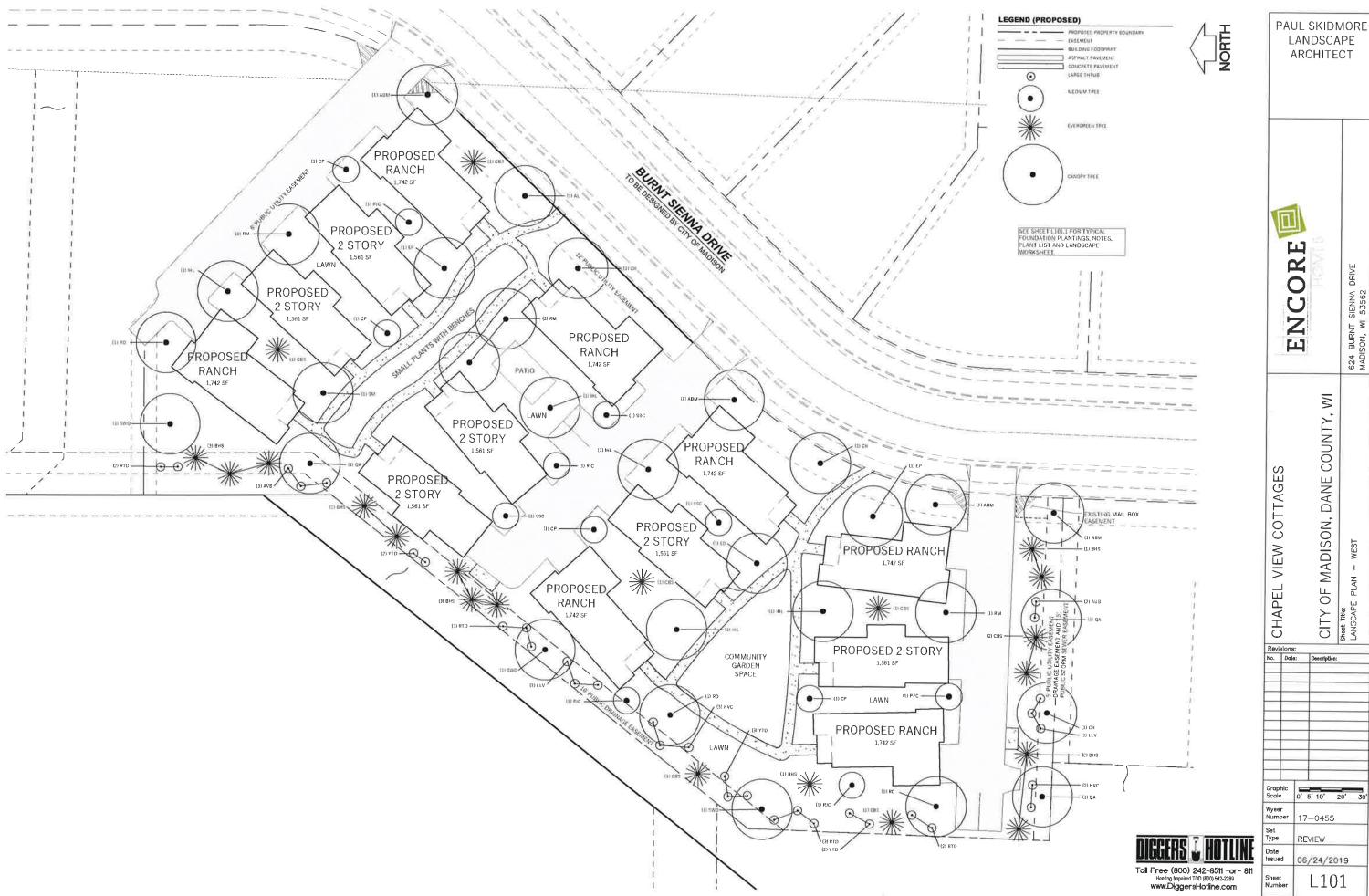
The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of August, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.

Chad Wuebben, President



LANDSCAPE ARCHITECT CITY OF MADISON, DANE COUNTY, WI 0° 5° 10° 20° 30° 17-0455 REVIEW 06/24/2019 L101

#### PLANT LIST - L101

KEY	QUAN	SIZE	COMMON NAME	ROOT
	29		Canopy Trees	
ABM	4	2 1/2"	Autumn Blaze Maple	88
٩L	1	2 1/2"	American Linden	BB
CH	3	2 1/2"	Hackberry	BB
ΞÞ	3	2 1/2"	Exclamation Planetree	BB
HL	4	2 1/2"	Imperial Honeylocust	BB
QΑ	3	2 1/2"	Quaking Aspen	BB
RM	4	2 1/3"	Red Maple	BB
20	3	2 1/2"	Red Oak	BB
M	1	2 1/2"	Sugar Maple	BB
SWO	3	2 1/2"	Swamp White Oak	BB
	44		Low Ornamental Trees	
ABS	32	4'	Autumn Brilliance Serviceberry	BB
CP	4	2"	Callery Pear	BB
PFC	1	2"	Prairie Fire Crab	BB
RJC	4	2"	Red Jade Creb	BB
SSC	3	2°	Spring Snow Crab	BB
	<u>21</u>		Evergreen Trees	
BHS	13	4	Black Hills Spruce	BB
CBS	8	4'	Colorado Blue Spruce	BB
	<u>490</u>		Deciduous Shrubs	
4C	176	18"	Alpine Currant	Pot
HΑ	7	24*	Annabelle Hydrangea	Pot
AVB	5	36*	Arrowood Viburnum	Pot
<b>NS</b>	14	18"	AW Spirea	Pot
3C	45	24°	Black Chokeberry	Pot
OKR	113	18"	Double Knockout Rose	Pot
ON	52	18"	Diablo Ninebark	Pot
3FS	18	18"	Gold Flame Spirea	Pot
1CV	5	36"	Highbush Cranberry Viburnum	Pot
.LV	6	36"	Leatherleaf Viburnum	Pot
ИKL	6	36"	Miss Kim Lilac	Pot
RTD	10	24°	Red Twig Dogwood	Pot
NS	26	24"	White Snowberry	Pot
/TD	7	24*	Yellow Twig Dogwood	Pol
	182		Perennials	
JS	12	1 G	AJ Sedum	Con
H	7	1 G	Hosta	Con
.BS	133	1 G	Little Bluestem Grass	Con
SDD	30	1 G	Stella de Oro Daylily	Con

#### NOTES:

- 1) Lawn areas to receive a minimum of 4" of topsoil, premium bluegrass seed mix,
- 1) Lawn areas to receive a minimum of 4 of topsoir, preliminin bloughass seed mix, starter fertilizer, and straw or straw mart mulch.
  2) Turf areas in drainage swales and slopes 3.1 and greater shall be mulched with erosion control fabric (installed per manufacturer's specifications).
  3) Foundation planting beds to be mulched with shredded hardwood bark to a depth of 31 depth.

- Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3'
   Designated planting beds to be separated from lawn areas with a crisp shovel
- 6) Owner will be responsible for landscape maintenance after completion and

#### LANDSCAPE WORKSHEET - L101

#### Zoning Classification:

#### Landscape Points Required

Developed Area = Landscape Points: 14,886 /300 x 5 =	14,886 S <b>248 poin</b>
Total Landscape Points Required	248 point
Landscape Points Supplied	
Existing canopy trees $-0$ @ $35$ = Proposed canopy trees $-29$ @ $35$ = Existing evergreen trees $-0$ @ $35$ = Proposed evergreen trees $-21$ @ $35$ = Existing ornamental trees $-21$ @ $35$ = Existing ornamental trees $-21$ @ $35$ = Existing ornamental trees $-44$ @ $15$ = Proposed ornamental trees $-44$ @ $15$ = Proposed upright evergreen shrubs $-0$ @ $10$ = Existing deciduous shrubs $-0$ @ $3$ = Proposed deciduous shrubs $-490$ @ $3$ = Existing evergreen shrubs $-0$ @ $4$ = Proposed evergreen shrubs $-0$ @ $4$ = Existing perennials & grasses $0$ @ $2$ = Proposed perennials & grasses $182$ @ $2$ =	0 points 1,015 points 0 points 0 points 0 points 660 points 0 points 0 points 0 points 0 points 1,470 points 0 points 0 points

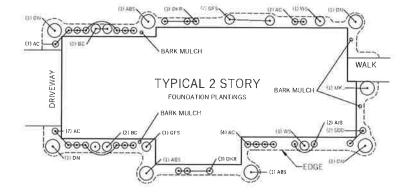
### Total landscape points supplied =

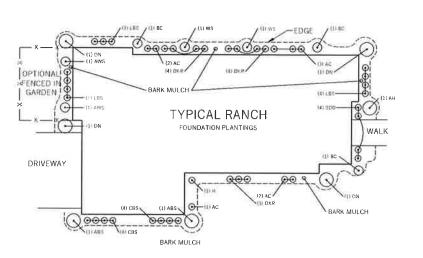
Lot Frontage Landscape Required (Section 28.142(5) Development Frontage Landscaping)

"One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feel of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree."

4,244 points

Burr	nt Siena Drive =	380 LF
	Over story trees required 380'/30' = 12.6 Shrubs required (380'/30') x 5 = 74.8	13 trees 63 shrubs
	Over story trees supplied Ornamental/Evergreen trees supplied Shrubs supplied	8 tree: 10 tree:









# The Primrose - Elevation A Updated



6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

#### EXTERIOR COLORS:

- STANDARD ASSREVIATIONS:

BID SET: FOUNDRLY COTTAGE | - ELEVATION A

OWNER/SPEC SUBDIVISION LOT#

ADDRESS PRIMROSE : ELEVATION A

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XXX

of DAPPS

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HOMES,

INC. AND THE USE OF THE PRINT IS PROHEBITED WITHOUT THE

WAITEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES,

INC. SHALL HAVE CONSTRUCTION LIER RICHTS FOR THE USE OF

THEIR BLUEPRINTS. DRAWINGS, PLANS, AND / OR SPECIFICATIONS



	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/	GRILL	NOTES
A.	6060	2-Wide Single Hung	5'-0" x 5-0"	6.9/16*	10		Piaza	-
B	6054	2-Wide Single Hung	5'-0" x 4-6"	6 9/16"	- 1		Plaza	- 7
С	9054	3-Wide Single Hung w/Eiglicel Transom	7-6" x 4-6"	6 9/16"	1		Plaza	2
D.	6054	2-Wide Single Hung	5'-47 x 4'-6'	6 9/167	- 1		Piaza	2
E	3042	Single Hung	2-6" x 3-6"	6 9/16"	1		Plaza	
F	3042	Single Hung	2.6" x 3.6"	6 9/15*	-1		Plaza	
G	3054	Single Hung	2-6" x 4-6"	6 9/16*	1		Plant	
H	3054	Single Hung	26 : 4-6	6 9/16"	- 1		Plaza	
1	9054	3-Wide Single Hung	7.6° x 4.6°	6 9/16"	1.		Plaza	
1	4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16*	- 1		Plaza	
K	3042	Single Hung	2-6" x 3-6"	4 9/16"	-1		Plaza	
L	6054	2-Wide Single Hung	6-0" x 4-6"	6.9/16"	1		Plaza	
M	3030	Fixed	2-6' x 2-6'	69/16"	- 1		Plaza	
N	3030	Fixed	7.6 . 7.6	6.9/16*	- 1		Plaza	
0								
P								
NOTE								
				_				
	e job start for wind:							
		or leaf and casement swing for Re	rversed plans					
	Tempered Glass Top of window (f) 86	TAFE		_				



# The Primrose - Elevation A Updated



6840 SCHNEIDER ROAD MDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

EXTERIOR COLORS:

O VENT, SUNCE (\* DEPOSINE) =

( SHART CORNER TRH =

( SHART CORN =

( SHART CORNER TRH =

( SHART CORNER TRH =

( SHART CORNER T

STANDARD ABBREVIATIONS

HB HOSE BIB
CO CASED OPENING
DO DATIVALL OPENING
VP WATER PROOF
CPT CARPET
CT CRAHIC TILE
D DATER
VI. WATE
PASSIVE RADON SYSTEM

BUD SET FORMERLY COTTACE 1-ELEVATION A

OWNER/SPEC SUBDIVISION LOT#

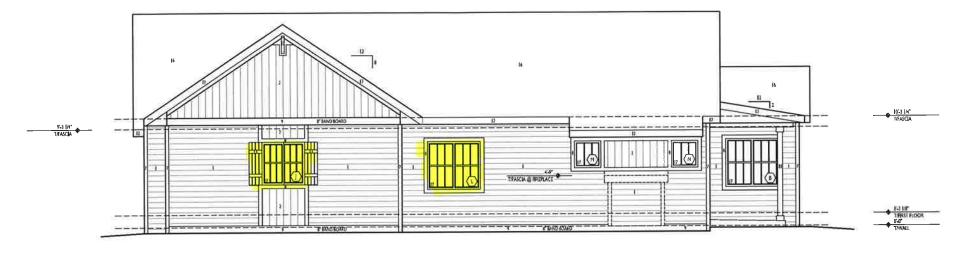
ADDRESS PRIMROSE : ELEVATION A

Drawing Title

Exterior Elevations

XXX A3.1 THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HOMES.

INC. AND THE USE OF THIS PRINT IS RICHIBITED WITHOUT THE
WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES,
INC. SHALL HAVE CONSTRUCTION LIEN RICHIST FOR THE USE OF
THEIR BLUEPRINTS. DRAWINGS, PLANS, AND / OR SPECIFICATIONS.



	WINDOW SO	HEDULE - ELE	ATION	A		_		RIGHT ELEV	THOR	
SIZE	STYLE	ROUGH OPENING	JAMB		ACTIVE/ HINGE		NOTES	$\circ$		
6000	2-Wide Single Hung	5'-0" x 5"0"	6.9/16	1		Piaza	- 2			
6054	2-Wido Single Hung	5-0" x 4'-6"	6 9/16*	1		Plaza	2			
9054	3-Wide Single Hung w/Eliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2			
6054	2-Wide Single Hung	5-0'x 4-6"	6 9/16"	- 1		Plaza	2			
3042	Single Hung	7.6" x 3.6"	6 9/16"	1		Plaza				
3042	Single Hung	2.6° x 3.6°	6.9/16"	1		Plaza				
3954	Single Hung	7.6' x 4'-6"	6.9/16"	1		Plaza				
3654	Single Hung	26 x 46	6.9/16*	1		Plaza				
9054	3-Wide Single Hung	T-6" x 4"-6"	6 9/16"			Plaza				
4848	2-Wide Single Hung	4.0° x 4.0°	4.9/16	1		Piaza				
3042	Single Hung	2.6° x 3.6°	4 9/16"	1		Plaze				
6054	2-Wide Single Hung	5'0" x 4"-6"	6 9/16"	1		Plaza				
3030	Foxed	2.6° x 2.6°	6 8/16"	- 1		Plaza				
1030	Fixed	2.6° x 2.6°	6.9/16*	1		Plaza				
						-				
	K.					_				
start for winds	w colors									
sclive patro do	or leaf and casemers swing for Re	winsed plans								
ered Glass										
ered Glass										
ered Glass									K	
ered Glass					ř				<u> </u>	
ered Glass					Ī				ű	
ered Glass									ü	
ered Glass									<b>*</b>	
ered Glass									ü	
ered Glass									û .	
ered Glass									ü	
ered Glass								D.		
ered Glass						-1		R.		
ered Glass										
ered Glass										
ered Glass										
ered Glass										12
ered Glass										12
ered Glass							Ш			12
ered Glass						,				
ered Glass						,	Ш			12
ered Glass							Ш			12
ered Glass							Ш			n n
ered Glass							Ш			12
red Glass							Ш			n n

LEFT ELEVATION

# The Primrose - Elevation B Updated



6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

EXTERIOR COLORS:

O WRYLENDER CHEVORARE | 1
SWALTSONOG PROPOSARE | 1
SWALTSONOG PROPOSARE | 1
SWALTSONOG PROPOSARE | 1
SWALTSON CHEVORARE | 1
SWALTSON CHEV

STANDARD ABBREVIATIONS:

WD WOOD
DW DISHWASHER
REF REFRICENATION
SO SWITCH OUTLET
C CURRIE
W WASHER
LIMI LAMINATE
PS PLUMBING STACK

HB HOSE BB
CO CASED OFENING
DO DATWALL OPENING
W/P WATER PROOF
CFT CARRET
CT CEMANCE TILE
D DRIFE
V/L MRYTL
PRS PASSIVE RADON SYSTEM

NID SET: FORMERLY COTTAGE ( - BLEVATION AA

CONSTRUCTION SET.

OWNER/SPEC SUBDIVISION LOT#

> ADDRESS PRIMROSE : ELEVATION B

**Exterior Elevations** 

 
 Scale:
 1/4" = 1'-0"
 Date:
 XX/XX/XXXX

 Project No.
 Drawing No.
 A3.0 XXX

THIS PRINT AND JOR SET IS THE PROPERTY OF ENCORE HOMES.
INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOUT THE
WRITTEN CONSIST OF ENCORE HOMES, INC. ENCORE HOMES,
INC. SHALL HAVE CONSTRUCTION LIBER RIGHTS OR THE USE OF
THEIR BLUEPRINTS. DRAWINGS, PLANS, AND JOR SPECIFICATIONS









ACTIVE/ HINGE GRILL NOTES Plaza Plaza 2

Plaza

WINDOW SCHEDULE - ELEVATION B

7'-6" x 4'-6"

6060 6054

9054

ROUGH OPENING JAMB QTY
5-0" + 5-0" 69-16" 1
5-0" + 4-6" 69-16" 1

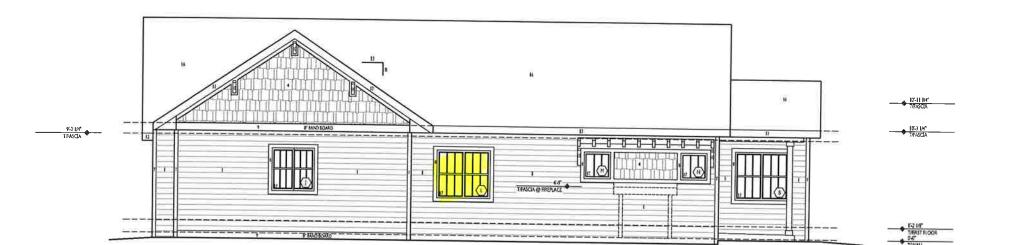
6 9/16"

# The Primrose - Elevation B Updated

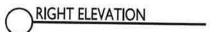


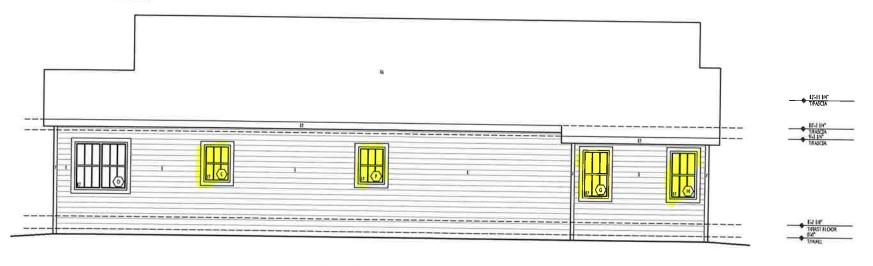
6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE (608) 836-9691 FAX (608) 836-9691 www.encorebuildsmadison.com

Contilitant



0	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6.9/16*	1		Plaza	
В	6054	2-Wide Single Hung	51-CT X 41-CT	6.9/16*	- 1		Plaza	2
С	9054	3-Wide Single Hung w/Eliptical Transom	7'-6" x 4'-6"	0 9/16*	1		Plaza	2
D	6054	2-Wide Single Hung	5'0' x 4'6'	8 9/10°	1		Piaza	2
E	3042	Single Hung	2-6" x 3-6"	6 9/16*	1		Plaza	
F	3042	Single Hung	7-6" x 3-6"	6 9:16"	.5		Plaza	
G	9054	Single Hung	7.6 x 6.6°	6 0/16"	1		Piaza	
н	3054	Single Hung	26 x 46	6 9/16"	- 1		Placa	
1	9054	3-Wide Single Hung	7-6" x 4-6"	6.9/16*	1		Piaza	
4	4848	2-Wide Single Hung	4-0" x 4-0"	4 9/16*	1		Piaza	
K	3042	Single Hung	2.6° x 3.6°	4.9/10*	- 1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16*	- 1		Piaza	
M	3036	Fixed	2.6" x 2.6"	6.9/10"	- 21		Piaza	
N	3030	Fixed	2.6' x 2.6'	69/16"			Plaza	
0	100000			-				
р								
NO	TES:							
	'See job start for windo		and the second s					
-	*Switch active patio doc 1 - Tempered Glass	or leaf and casement swing for Re	exersed plans				_	
	2 - Top of window @ 84	AF.F.				_		_





LEFT ELEVATION

EX	TERIOR COLORS;	
8	MINYL SIDING (4" EXPOSURE)	
L:	SMART SIDING 6" EXPOSURE) :	
1	FOR MITTAR & CANON	
11	CANDA SATTINGO ILE	
4	SHAKE (ID 4) =	
\$	SHAKE (IID 5) =	
٠	VINYL CORNER TRIM =	
7.	SMART CORNER TRIM =	
В '	MINDOW & DOOR TRUE	
9 :	ACCENT BAND =	
ID	GABLE ACCENTS =	
H.	COLUMNS =	
12	SOFFITIFASCIA/GUTTER (ALUF	MINUN) =
13	SHUTTERS =	
14	MASONRY =	
15.	ROOF (4f) =	
16.	ROOF (SHINGLES) =	
17	WINDOWS =	
18	ENTRY DOOR =	
19.	GARAGE DOOR #	

HB	HOSE BJB	WD	MOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DINYVALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	c	CUBME
CT	CERVANIC TILE	W	WASHER
D	DEVEN	LAM	LAMINATE
٧n	YNYL	PS	PLUMBING STACE
PRS	PASSIVE RADION SYSTEM		.,

Renderion
PREMINENT SET:

8D SEF: FORMERLY COTTAGE | - BEPATION AA

CONSTRUCTION SET.

Project Ties

OWNER/SPEC SUBDIVISION LOT#

PRIMBOSE - ELEVATIO

	. 9712	Ungcoood gir, Art
Drawing T	itle	
Ex	cterior Elev	ations .
Scale:	1/4" = 1'-0"	Date:XX/XX/XXX

XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HOMES.

INC. AND THE USE OF THIS PRINT IS PROPERTY OF WITHOUT THE
WATERS CONSIST OF ENCORE HOMES, INC. ENCORE HOMES,
INC. SHALL HAVE CONSTRUCTION LEVER RIGHTS OF THE USE OF
THER BLUEPRINTS. DRAWINGS, PLANS, AND / OR SPECIFICATIONS.

# The Primrose - Elevation c Updated



6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

EXTERIOR COLORS:

EXTENSION COLONS:

0. WITH SIDING OF DODUMES =
1. SHART SUPING OF DODUMES =
2. SOAND & BUTTON (D 2) =
1. SHOULD BUTTON (D 2) =
4. SHARE D 2) =
4. SHARE D 2) =
5. SHARE D 20 =
5. SHARE D 20 =
7. SHARE D 20 =

WD V/OOD
DW DSH-MASHER
REF REFNICERATOR
SO SYNTCH OUTLET
C CUBBLE
W WASHER
LAM LAMINATE
PS PLUMBANG STACK

HB HOSE BB
CO CASED OPENING
DO DRIVALL OPPRING
VP WATER PROOF
CT CAPET
CT CRAMIC TILE
D CALL
VII. WINT.
PRS PASSIVE RADON SYSTE

BID SET: FORMERLY COTTAGE ( - ELEVATION 6 CONSTRUCTION SET

OWNER/SPEC **SUBDIVISION** LOT#

> ADDRESS HU-ROSE ELEVATION C

Exterior Elevations

<u>Scale: 1/4" = 1'-0" Date:XX/XX/XXXX</u>
Project No.



FRONT ELEVATION

		WINDOW SC	CHEDULE - ELEV	AHON	C			
0	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6.9/16	1		Colonial	
В	6054	2-Wide Single Hung	5'0" x 4'-6"	6.9/16*	1		Colonial	2:
С	9054	3-Wids Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
b	6054	2-Wide Single Hung	56° x 4'6°	6 9/16"	1	1	Colonial	2
£	3042	Single Hung	75136	6.9/16*	1		Colonial	-
F	3042	Single Hung	2.6" x 3"6"	6.9/16*	1		Colonial	
G	3064	Single Hung	26145	6.0/16"	1		Colonial	
H	3054	Single Hung	26'x 4'6'	6.9/16*	1		Colonial	
1	9054	3-Wide Single Hung	7.6' x 4'6'	6 9/16	1		Colonial	
J	4848	2-Wide Single Hung	4.0" x 4.0"	4 9/16*	1		Colonial	
K	3042	Single Hung	7-6' x 3-6'	4 9/16*	1		Colonial	
L	6054	2-Wide Single Hung	5'0" x 4'6"	6.9/16*	1		Colonial	
M	3084	2-26"x36" Mulled Fixed	2:6' x 7:0'	6 9/16*	.1		Colonual	
N	3084	2-26'x36' Mulled Fixed	26170	6 9/16"	1		Colonial	
0	1618	Fixed	1'6' x 1'6'	6.9/16*	1		Colonial	
p	2430	Fixed	2.0° x 2.6°	6 9/16	-1	-	Colonial	
NO	TES:							
	'See job start for wind	kw colors						
		oor leaf and casement swing for Re-	versed plans					
	1 - Tumpered Glass		CONTRACTOR OF THE PARTY OF THE					
	2 - Ton of window 50 i	MA E E						



# The Primrose - Elevation c Updated



6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691

Considerat



R	evisions
	PRELIMINARY SET:

BID SET: FORMERLY COTTAGE 1 - ELEVATION B
CONSTRUCTION SET:

OWNER/SPEC SUBDIVISION LOT #

ADDRESS

PRIMROSE : ELEVATION C

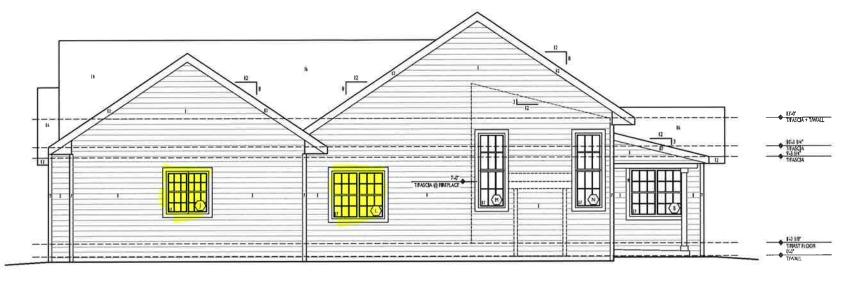
Drawing Tide
Exterior Elevations

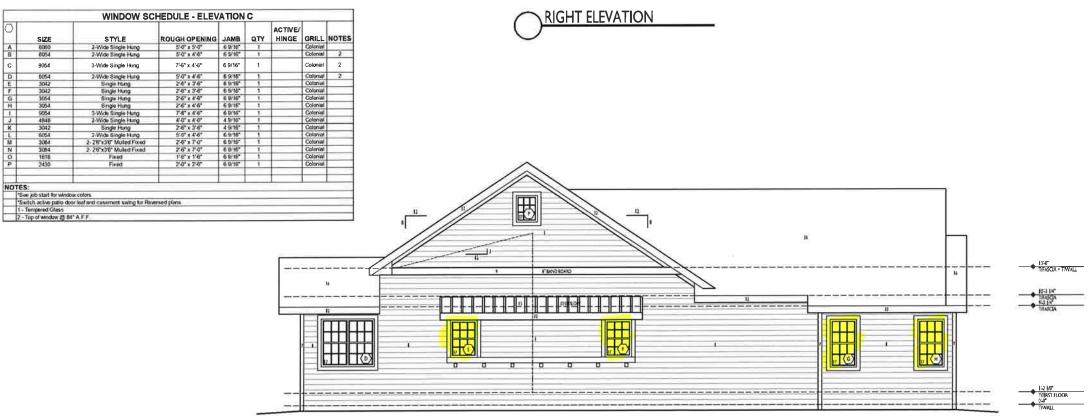
Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

Project No.

THIS PRINT AND / OR SET IS THE PROPERTY OF BUCCRE HOMES.

INC. AND THE USE OF THE PRINT IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES INC. SHACL HAVE CONSTRUCTION USE NIGHT, SOR IT HE USE OF THEIR BLUEPRINTS. DRAWINGS, PLANS, AND / OR SPECIFICATIONS.





LEFT ELEVATION

# The Primrose - Elevation D Updated



6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9691 FAX: (608) 836-9691 www.encorebuildsmadison.com

Consultant

EXTERIOR COLORS

E VINNI SIDING 4ª PA

S VINYL SIDING (4" EXPOSUR SHART SIDING 6" EXPOSUR 2 BOARD & BATTON (ID 2) 1 BOARD & BATTON (ID 2)

SHAKE (ID 5) =
WINYL CORNER TRIM:
SMART CORNER TRIM

# ACCENT BAND =

## GABLE ACCENTS =

## COLUMNS =

|3 SHUTTERS = |4 MASQNRY = |5 ROOF (!!?) =

I7. WINDOWS =
IR. ENTRY DOOR =
I9. GARAGE DOOR =

19. GARAGE DOOR = STANDARD ABBREVIATIONS

HOSE BIB WD WOOD
CASED OPENING DW DISHWASH
DRITWALL OPENING RF REPLICERA
WATER PROOF SO SWITCH O
CARPAIN TEE W WASHER

WATER PROOF SO SWITCH C CUBBE C CUBBE W WASHER DRYER LAM LAMINATI PS PLUMENCO MATCHE PARCETEM PS PARCETEM

VR VINTL PRS PASSIVE I

Revisions HELPPLANTES

> MDST HOMBUT COTTAGE 1-SEVATION MA CONSTRUCTION SET

.

OWNER/SPEC SUBDIVISION LOT#

> ACORESS PRIMROSE : ELEVATION

SWE Checked By: KH

Exterior Elevations

 Scale:
 1/4" = 1'-0"
 Date: XX/XX/XXXX

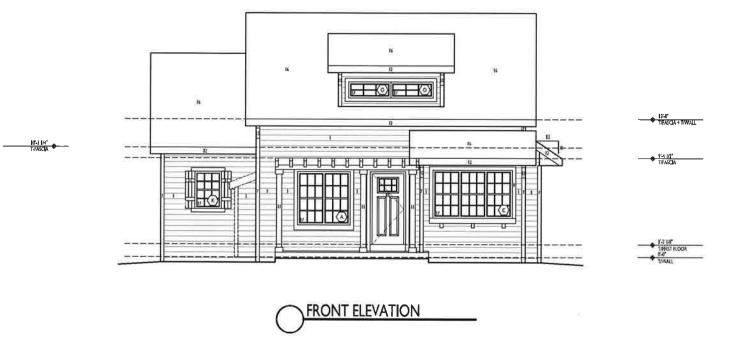
 Project No.
 Drawing No.

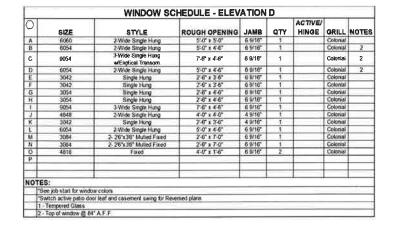
 XXX
 A3.0

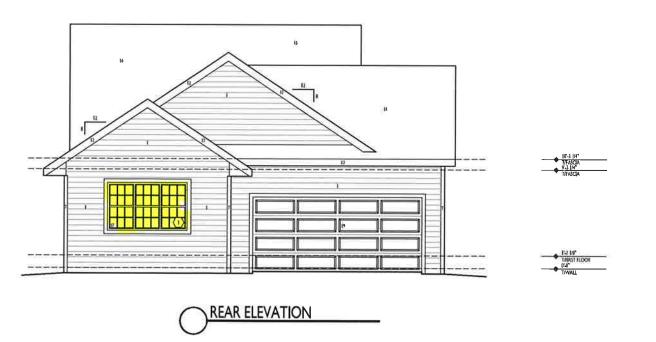
"

"SE " NIES

INC. AND THE USE OF THIS PRINT IS POHERTED WITHOUT THE
WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES,
INC. SHALL HAVE CONSTRUCTION LIER MIGHTS OF THE USE OF
THEIR BLUEPRINTS. DRAWINGS, PLANS, AND / OR SPECIFICATIONS

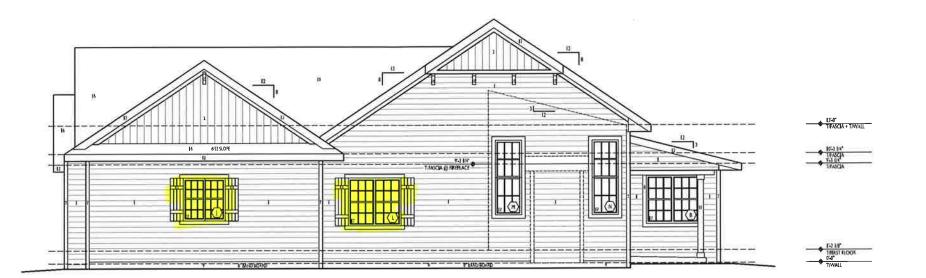


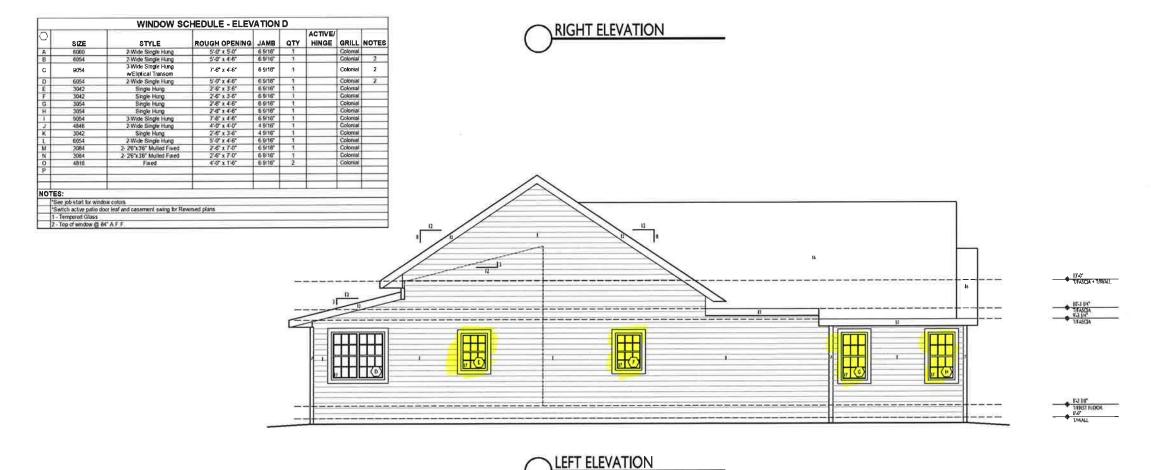




# The Primrose - Elevation D

Updated







6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9691 FAX: (608) 836-9691 www.encorebuildsmadison.com

Considera

PASSINE AADON SYSTEM

PRELIMENARY SET:

BID SET: FORMERLY COTTAGE 1 - ELEVATION BB CONSTRUCTION SET:

Project T

OWNER/SPEC SUBDIVISION LOT#

ADDRESS
HAIPSIDSE : ELEVATION D

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX
Project No.

Project No. Drawin

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HOMES, INC. AND THE USE OF THE PRINT IS PROHIBITED WITHOUT THE WRITTEN CONSIST OF ENCORE HOMES, INC. ENCORE HOMES, INC. SHALL HAVE CONSTRUCTION USEN BIGHTS FOR THE USE OF THE ENCORE HOMES, PLANS, AND / OR SPECIFICATIONS OF THE USE OF TH

# The Willow - Elevation A

# Updated

NOTES:

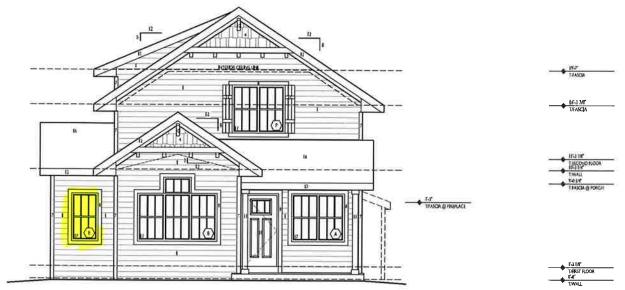
Tide pip start te window colors

Tides pip start te window colors

Tidenth active palio door iral and colorment siving for Roversed plans

1 - Tempered Glass

2 - Bisting Place Color to be installed in 6 firsts\* pents



$\overline{}$	FRONT ELEVATION	
( )	TROIT ELLIATION	
$\cup$		



REAR ELEVATION



Contuito

No	les
	EXTERIOR COLORS:
	0. YMYL SIDING (4" EXPOSURE) =
	( SMART SIDING (6" EXPOSURE) =
	2. BOARD & BATTEN (ID 2) =
	3 BOARD & BATTEN (ID 3) =
	1 SHAKE (ID 4) =
	5 SHAKE (ID 5) =
	6. VINYL CORNER TRIM =
	7. SMART GORNER TRIM =
	B WINDOW & DOOR TRIM = 9. ACCENT BAND =
	GAME ACCENTS =
	II COUMNS =
	11. SOFITIFASCIA/GUITTER (ALUMINUM) =
	13 SHUTTERS =
	14 MASONRY =
	15 ROOF (*!f) =
	(6. ROOF (SHENGLES) =
	I7. WINDOWS =

	NTRY DOOR = ARAGE DOOR =	
STAND	OARD ABBREVIATIONS:	
нв	HOSE BIB	WD

HOSE BIB	WD	WOOD
CASED OPENING	DW	DISHWASHER
DRYWALL OPENING	REF	REFRICERATOR
WATER PROOF	SO	SWITCH OVILLET
CAMPLY	C	CUBBLE
CERANIC TILE	W	WASHER
DRYER	LAM	<b>LAMINATE</b>
VINYI.	65	PLUMBING STACE
PASSIVE EADON UNITEH		

.

BID SET: FORMERLY COTTAGE 2 - ELEVATION A

Project Tide

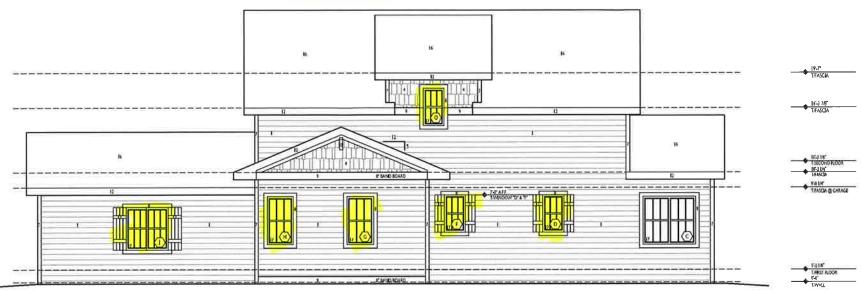
OWNER/SPEC SUBDIVISION LOT#

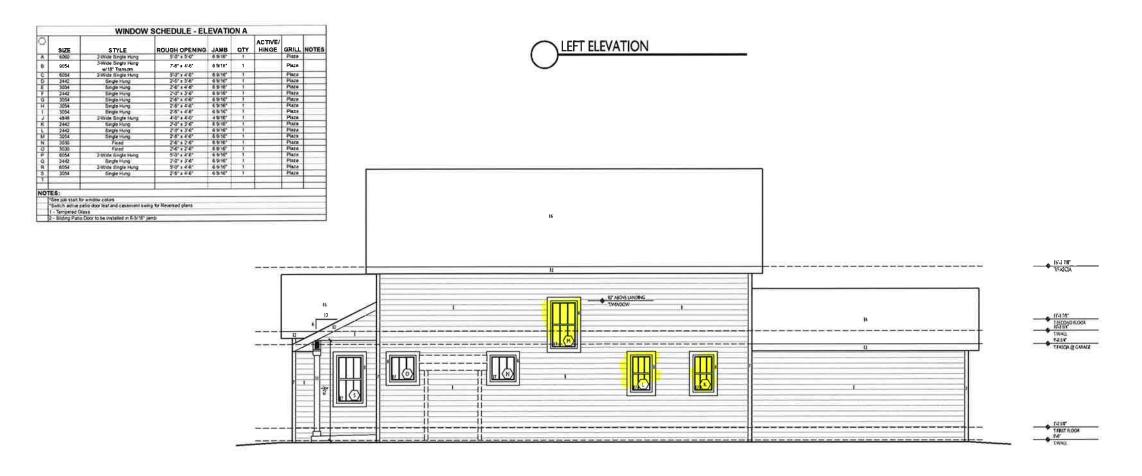
ADDRESS WILLOW: ELEVATION A

Exterior Elevations

## The Willow - Elevation A

## Updated







6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

Cont

Revisions
PREPARTY ST.

BD ST: PORMERY COTTAGE 2 - ELEVATION 4

CONSTRUCTION SET

Project Tit

OWNER/SPEC SUBDIVISION LOT #

> ADDRESS WILLOW: ELEVATION A

Br. SWE

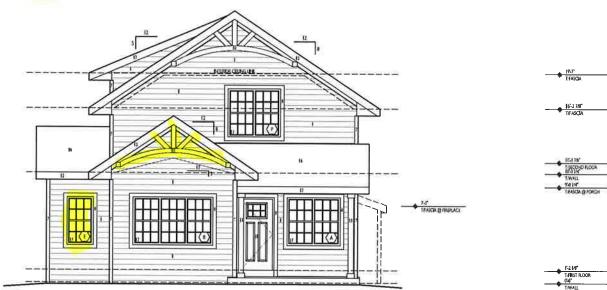
Exterior Elevations

THIS PRINT AND JOR SET IS THE PROPERTY OF ENCORE HOMES.
INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOUT THE
WRITTEN COHESINT OF ENCORE HOMES, INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE USE OF
THER BLUEPRINTS. DRAWINGS, PLANS, AND JOR SPECIFICATIONS.

RIGHT ELEVATION

# The Willow - Elevation B

### Updated



NOTES	FRONT ELEVATION
=	

NOTES:

See you shart for window a class "See you shart for window a class "See you shart for window a class "See you shart for the process of the see you share the process of the proces







6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

Cons

9	Notes		_	
	Nues			
	EX	TERIOR COLORS		
		VINYL SIDING (4" EXPOSUR		
		MART SIDING (6" EXPOSUR	UE) =	
		BOARD & BATTEN (ID 2) =		
	3.	BOARD & DATTEN (ID 3) =		
		SHAKE (ND 4) =		
	. 1	SHAKE (IID S) =		
	. 6	VINT. CORNER TRUM =		
	7.	SMART CORNER TRIM =		
		MINDOW & DOOR TRUM =		
		ACCENT BAND =		
	13	CAME ACCOUNTS		
	- 11	COLUHNS =		
	12	SOFFITIFASCIA/GUTTER (A	LUMMUN] =	
	11	SHUTTERS =		
		MASONRY =		
	13.	ROOF (!!f) =		
	16.	ROOF (SHINGLES) =		
	11.	MINDOWS =		
	18.	ENTRY DOOR =		
	11	GARAGE DOOR +		
	STAN	DARD ABBREVIATION	NS:	
	HB	HOSEBIB	WD	WOOD

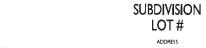
1701	DAKD ABBKENIA HOWS:		
В	HOSEBIB	WD	WOOD
0	CASED OPENING	DY/	DISHWASHER
ю	DRYWALL OPENING	REF	REFRICERATION
VP	WATER PROOF	SO	SWITCH OUTLET
PT	CARPET	c	CUBME
	CERIAMIC TILE	W	WASHER
•	DRYER	LAM	LAMINATE
'L	YINYI.	PS	PLUMBING STACK
ıs	PASSIVE RADION SYSTEM		

Revisions	
PRELIMINARY SET:	

CONSTRUCTION SET:







WILLOW: ELEVATION B

OWNER/SPEC

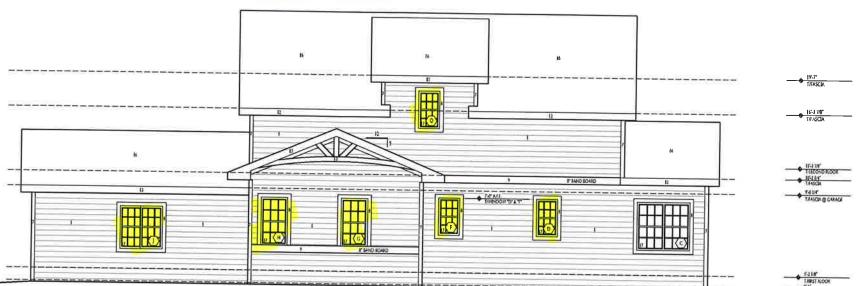
Drawing Title	Checker Inc. KH
Exterior Elev	ations
Scale: 1/4" = 1'-0"	Date:XX/XX/XXXX
Project No.	Drawing No.

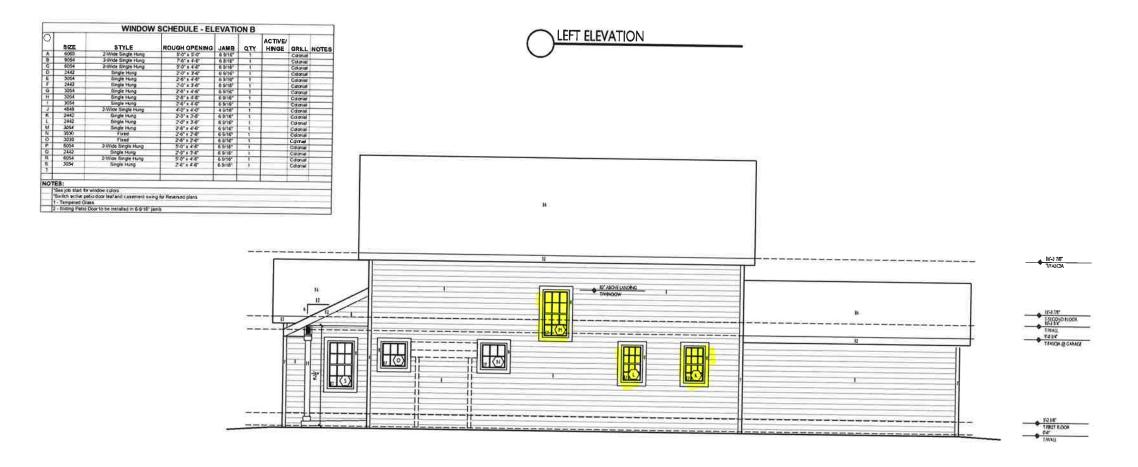
THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HOMES.

INC. AND THE USE OF THIS THE PROPHERTED WITHOUT THE
WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES,
INC. SHALL HAVE CONSTRUCTION USEN RIGHTS FOR THE USE OF
THEIR BLUEPRINTS. DRAWINGS, PLANS, AND / OR SPECIFICATIONS

# The Willow - Elevation B

## Updated









6840 5CHINEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

#### EXTERIOR COLORS:

- EXTENDRIC CULIONS:

  0. WITH SIDING OF ENDOSING:
  1. SHARED DANG OF ENDOSING:
  1. SHARED DANG OF ENDOSING:
  1. SHARED DANG
  1. SHARED SHARED
  1. SHARED SHARED
  1. SHARED SHARED
  1. SHARED SHARED
  1. S

- WD WOOD
  DW DESTWASHER
  EFF REFRICERATION
  SO SWITCH OUTLET
  C CURBE
  W WASHER
  LAM LAMINATE
  PS PRUMBING STACK
- HB HOSE BB
  CO CASED OPENING
  DO DATIVALL OPENING
  WP WATER PROOF
  CPT CARRET
  CT CERANIC TILE
  D ORDER
  VILL
  VINTL
  PIC WASSIVE RADON SYSTEM

Revisions PREMINARY SET:

CONSTRUCTION SET:

#### OWNER/SPEC SUBDIVISION LOT#

ADDRESS

**Exterior Elevations** 

Scale: 1/4" = 1'-0" Date: XX/XX/XXX

XXX

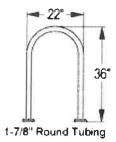
THIS MINIT AND J CRIST IS THE PROPERTY OF ENCORE HOMES, INC. AND THE USE OF THIS PRINIT IS PROMIBITED WITHOUT THE WAITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES, INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE USE OF THEIR BLUBPRINTS. DRAWINGS, HANS, AND J OR SPECIFICATIONS.

### **Updated Proposed Bike Racks**



### Traditional Inverted 'U'

Ubiquitous to many urban areas, the inverted 'U' bike rack has become the de facto bike rack for streetscapes everywhere. It's easy to understand why—with its simplistic, compact design and small footprint it is perfectly suited for high traffic areas. The 'U' rack provides ample space for two bikes to both properly secure wheel and frame.



#### **URBAN DESIGN COMMISSION APPLICATION**



City of Madison **Planning Division** 



FOR OFFICE USE ONLY:

Madison Municipal Building, Suite 017 \_\_\_\_\_ Receipt #\_\_\_\_\_ 215 Martin Luther King, Jr. Blvd. Date received \_\_\_\_\_ P.O. Box 2985 Madison, WI 53701-2985 Received by (608) 266-4635 Aldermanic District \_\_\_\_\_ Zoning District \_\_\_\_\_ Complete all sections of this application, including the desired meeting date and the action requested. Urban Design District If you need an interpreter, translator, materials in alternate Submittal reviewed by \_\_\_\_\_ formats or other accommodations to access these forms, please call the phone number above immediately. 1. Project Information Lots 1 and 45, Plat of Chapel View, Madison WI Address: The Cottages At Chapel View 2. Application Type (check all that apply) and Requested Date May 29, 2019 UDC meeting date requested ☐ New development ☐ Alteration to an existing or previously-approved development ☐ Informational Initial approval ☐ Final approval 3. Project Type Project in an Urban Design District Signage ☐ Project in the Downtown Core District (DC), Urban ☐ Comprehensive Design Review (CDR) Mixed-Use District (UMX), or Mixed-Use Center District (MXC) Signage Variance (i.e. modification of signage height, Project in the Suburban Employment Center District (SEC), area, and setback) Campus Institutional District (CI), or Employment Campus Other District (EC) Please specify ☐ Planned Development (PD) ☐ General Development Plan (GDP) Review of Conditional Use - TR-V1 ☐ Specific Implementation Plan (SIP) (Reduction of yard setback requirements Planned Multi-Use Site or Residential Building Complex in a Residential Building Complex) 4. Applicant, Agent, and Property Owner Information Chad Wuebben, President Company Chapel View Development Company Inc **Applicant name** 6840 Schneider Road City/State/Zip \_\_Middleton WI 53562 Street address cwuebben@encorehomesinc.com 608-836-9601 Telephone Email Project contact person \_\_\_Same As Applicant Company \_\_\_\_\_ Street address City/State/Zip Telephone Property owner (if not applicant) Same As Applicant Street address City/State/Zip \_\_\_\_\_

Email

Telephone

Each submittal must include

fourteen (14) 11" x 17" collated

paper copies. Landscape and

Lighting plans (if required)

must be full-sized and legible.

Please refrain from using

plastic covers or spiral binding.

#### 5. Required Submittal Materials

#### **Application Form**

#### N Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Z Development plans (Refer to checklist on Page 4 for plan details)

Filing fee NA M

囟 **Electronic Submittal\*** 

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to <u>udcapplications@cityofmadison.com</u>. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

#### 6. Applicant Declarations

1.	Commission s	itting this application, the application was dis 23, 2019				ban Design on
2.		ttests that all required materials a by the application deadline, the				
lame o	f applicant	Chad Wuebben Presid	dent Re	lationship to property_	President of	Owner
uthori	zing signature o	of property owned//		Date	April 3,	2019

#### 7. Application Filing Fees

Authorizing signature of property owner

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX): \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)
- \* A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

Date

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or **Employment Campus District (EC)**
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

### **URBAN DESIGN COMMISSION APPROVAL PROCESS**



#### Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

#### **Types of Approvals**

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the
  UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants
  should provide details on the context of the site, design concept, site and building plans, and other relevant information
  to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

#### **Presentations to the Commission**

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels**.

#### **URBAN DESIGN DEVELOPMENT PLANS CHECKLIST**



The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1	Inf	forma	tional	Presen	tation
4.	4417	villa	LIVIIAI	LIESEI	Lalivii

Ц	Locator Map
	Letter of Intent (If the project is within an Urban Design District, a summary of

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

#### Requirements for All Plan Sheets

- 1. Title block
- 2. Sheet number
- 3. North arrow
- 4. Scale, both written and graphic
- 5. Date
- 6. Fully dimensioned plans, scaled at 1" = 40' or larger

\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)

#### 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of <a href="how">how</a> the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/ structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (must be legible)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

#### 3. Final Approval

All the requirements of the Initial Approval (see above), plus:

- Grading Plan
- ☐ Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

#### 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

Locator Map
Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
Contextual site information, including photographs of existing signage both on site and within proximity to the project site
Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.



April 4, 2019

Ms. Natalie Erdman
Director
Department of Planning & Community & Economic Development
City of Madison
215 Martin Luther King Jr Blvd
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V1) - The Cottages At Chapel View

Dear Ms. Erdman,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

#### **Project Team**

#### **Applicant:**

Chapel View Development Company Inc.
Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7752

#### **Engineer:**

Wyser Engineering
Wade Wyse, Owner
312 East Main Street
Mount Horeb WI 53572
wade.wyse@wyserengineering.com
608-843-3388

#### **General Contractor:**

Encore Homes, Inc.
Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7725

#### **Project Sales:**

Encore Real Estate Services, Inc. Cari Fuss, Managing Broker 6840 Schneider Road Middleton WI 53562 cfuss@encorehomesinc.com 608-843-2500

#### **Project Overview**

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V1 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

Lot 1 1.93 Acres 84,052 Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	3000 x 15 = 45,000	500 x 15 = 7,500	45,000 + 7,500 = <b>52,500</b>

**Lot 45** 1.81 Acres **78,888** Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
13	3000 x 13 = 39,000	500 x 15 = 6,500	45,000 + 7,500 = <b>45,500</b>

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the "front" yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In

essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison's growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.

According to "The Direct Impact of Housing and Remodeling on the U.S. Economy" by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of June, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.

Chad Wuebben, President



# **The Cottages At Chapel View – Site Location**





Site View Looking North from White Fox Lane at Dragon Willow Lane



Middleton Community Church - West of Site



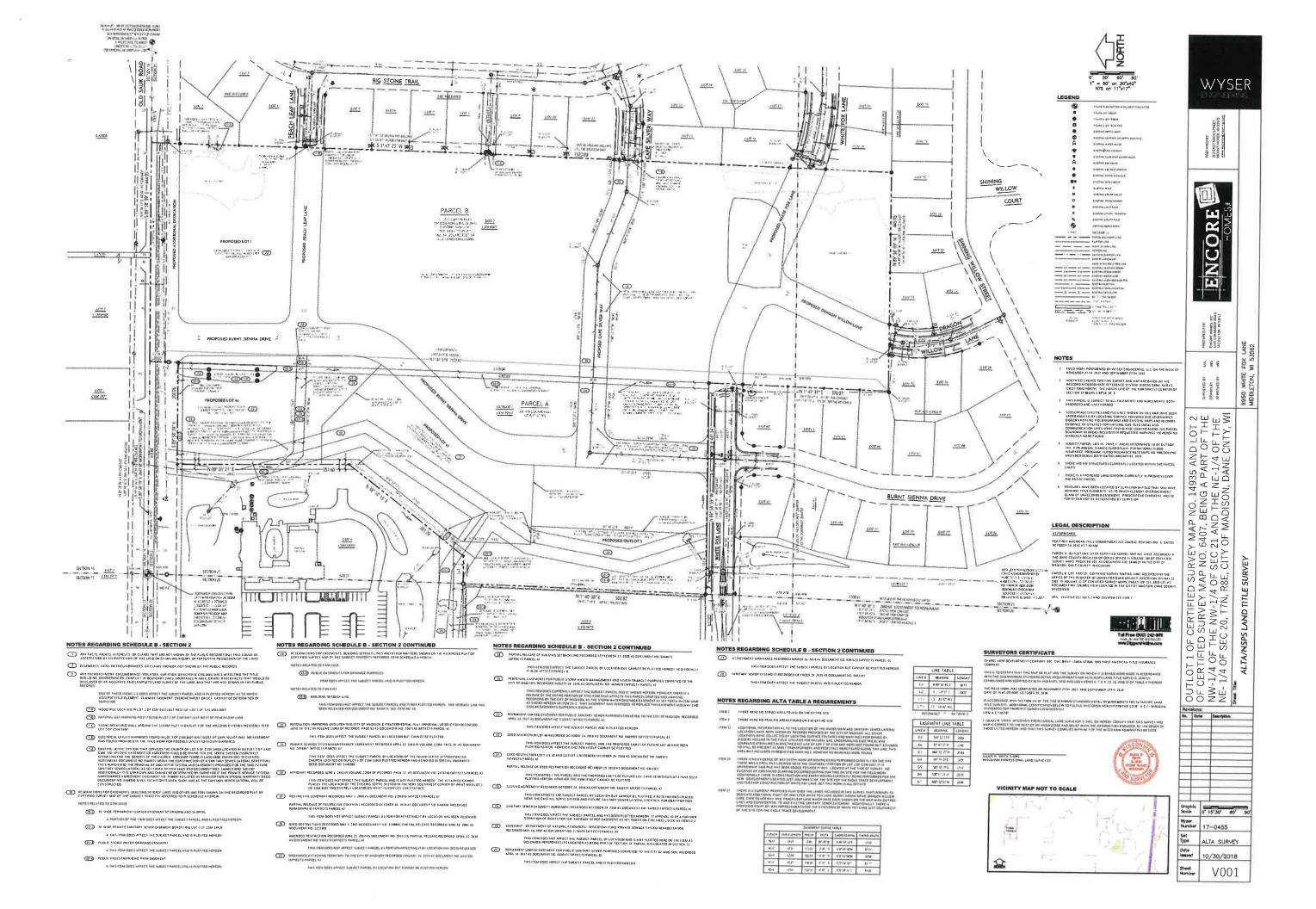
Homes in the Willows Neighborhood - East of Site

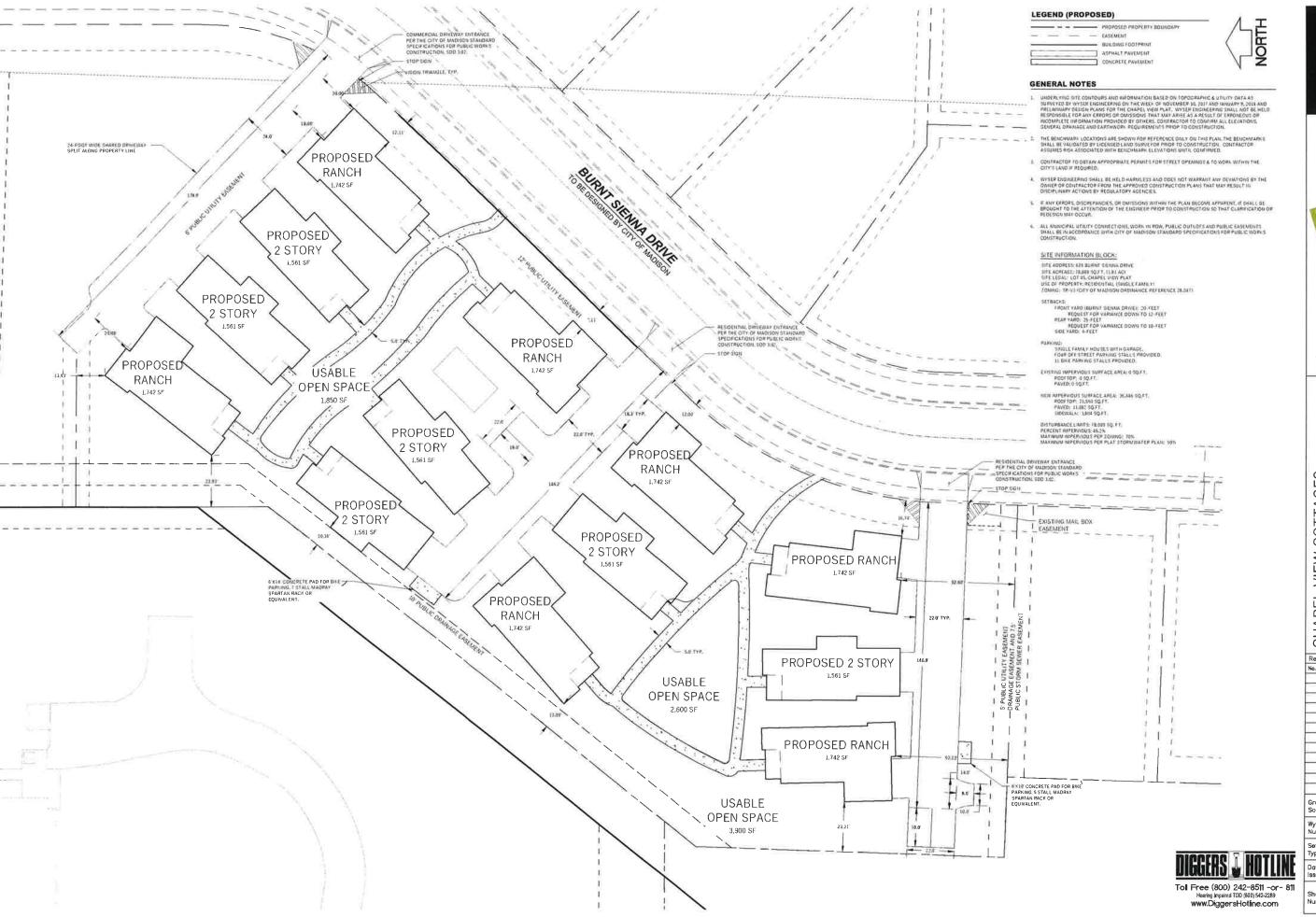
Layout Plat Proposed View Chapel At Cottages

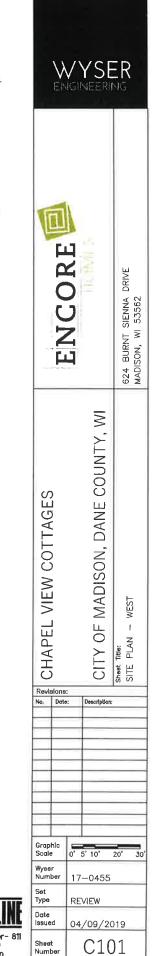


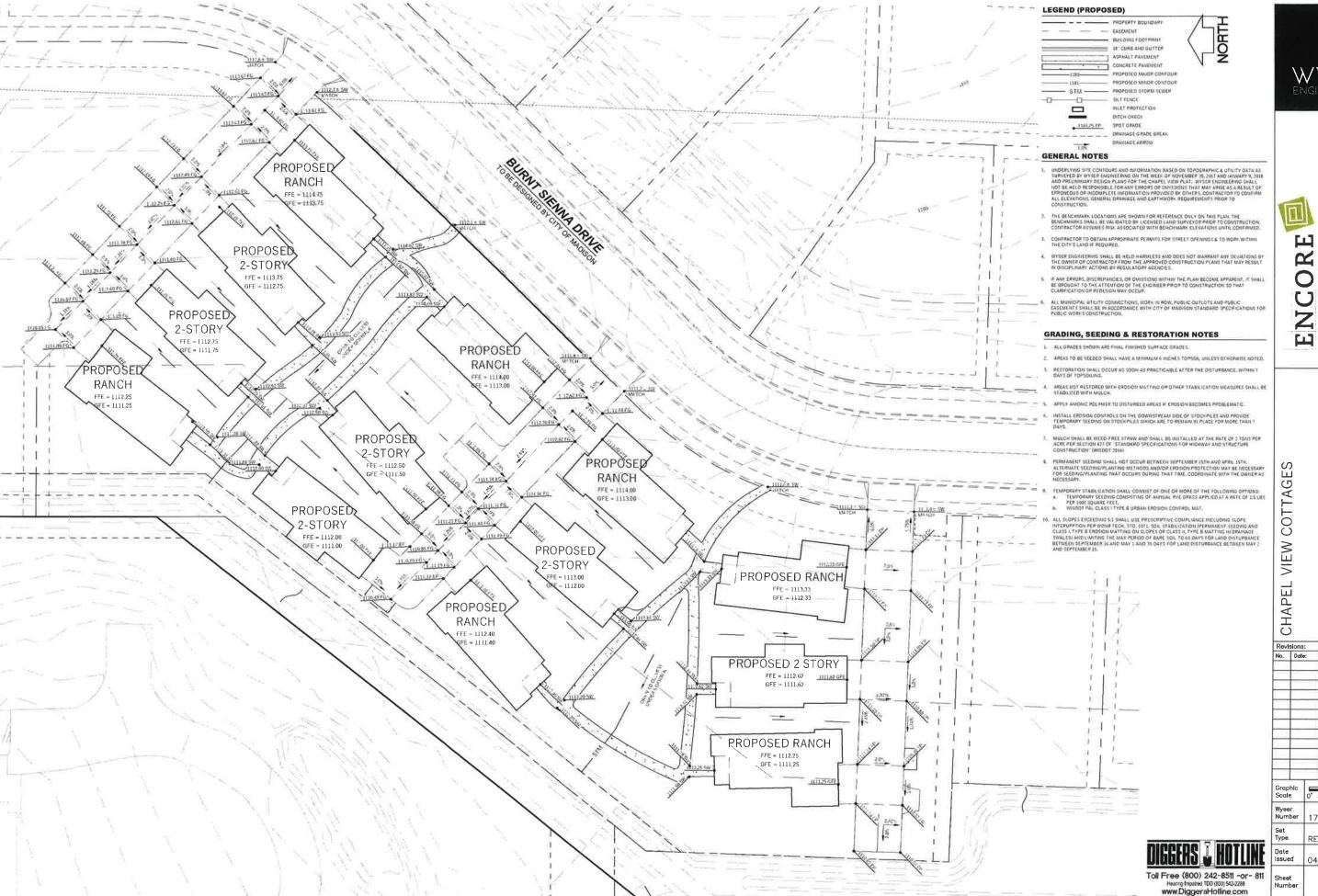
Layout Plat Proposed Chapel at Cottages















COUNTY, DANE MADISON, 0F

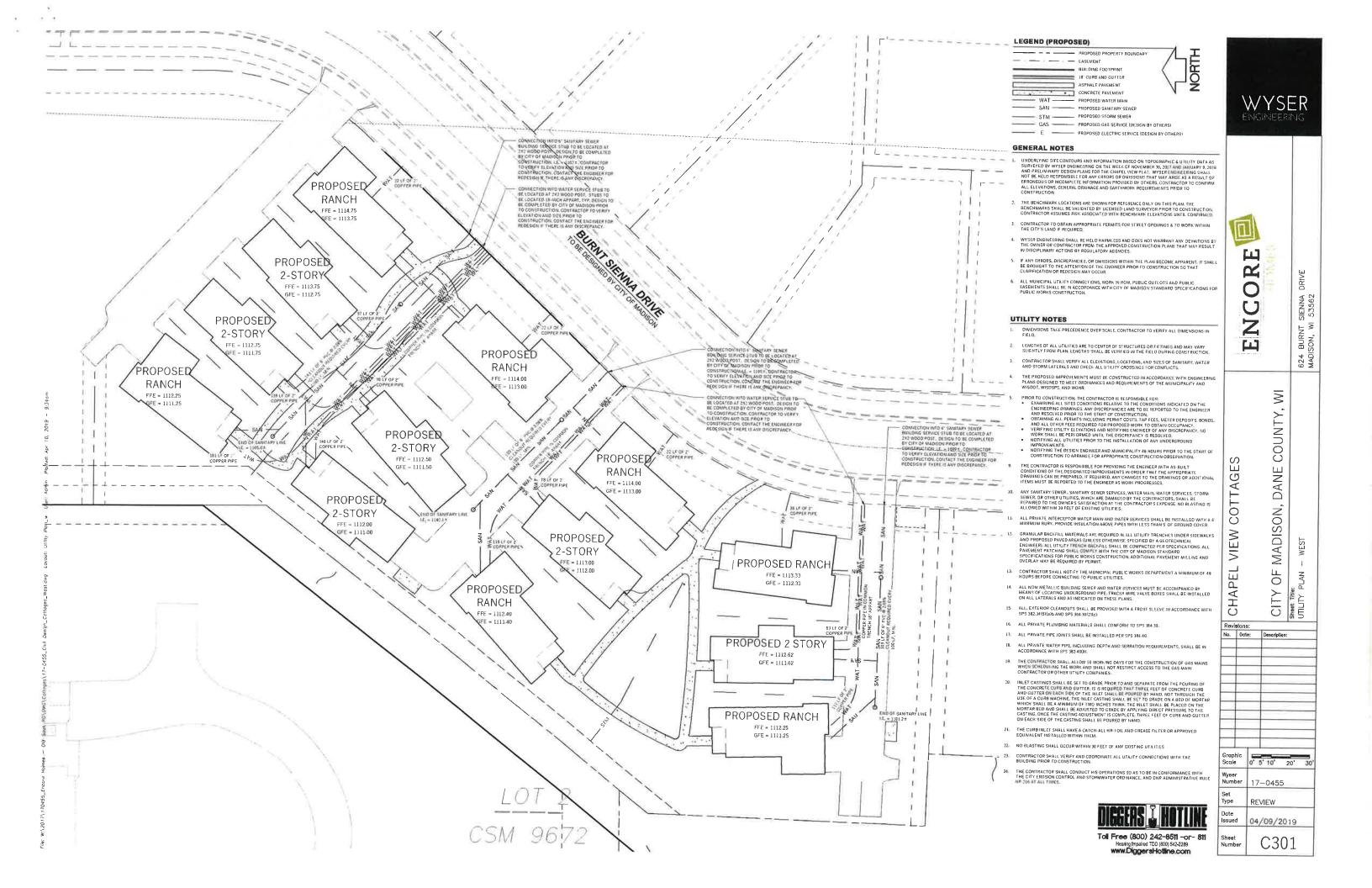
 $\leq$ 

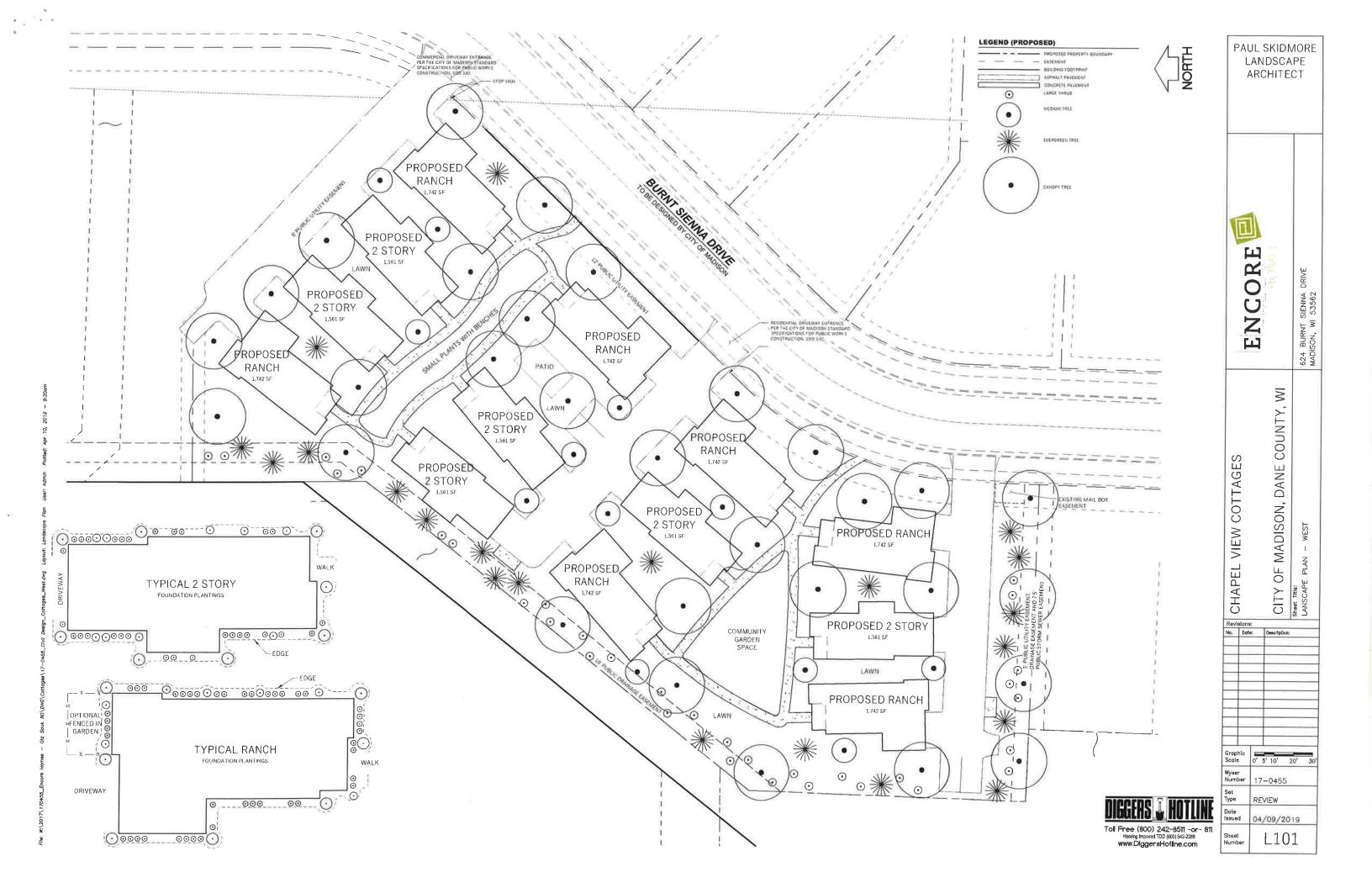
0' 5' 10' 20' 30 17-0455

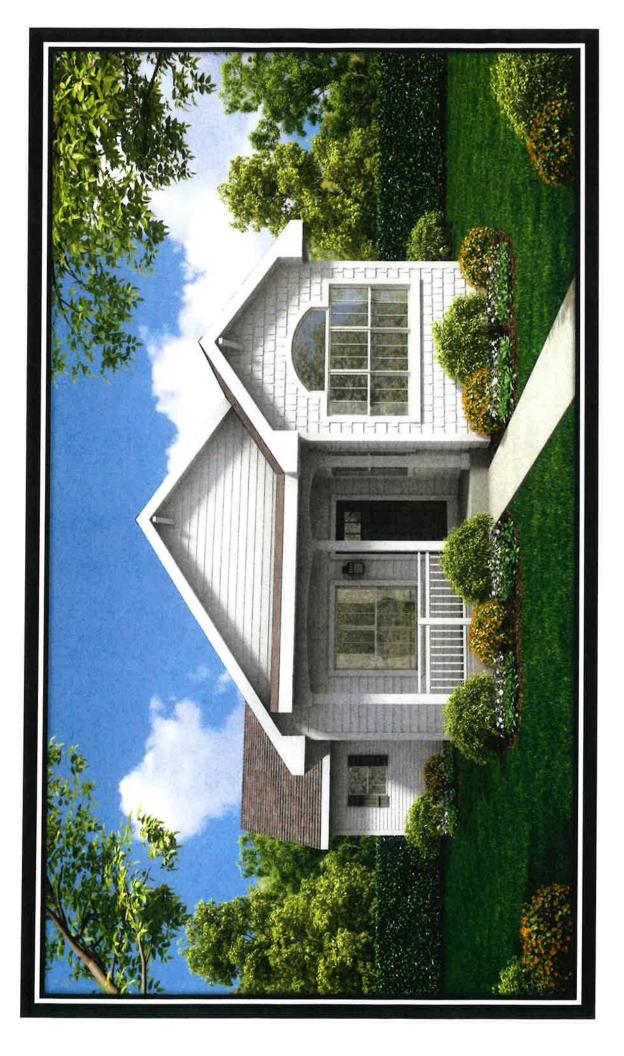
CITY

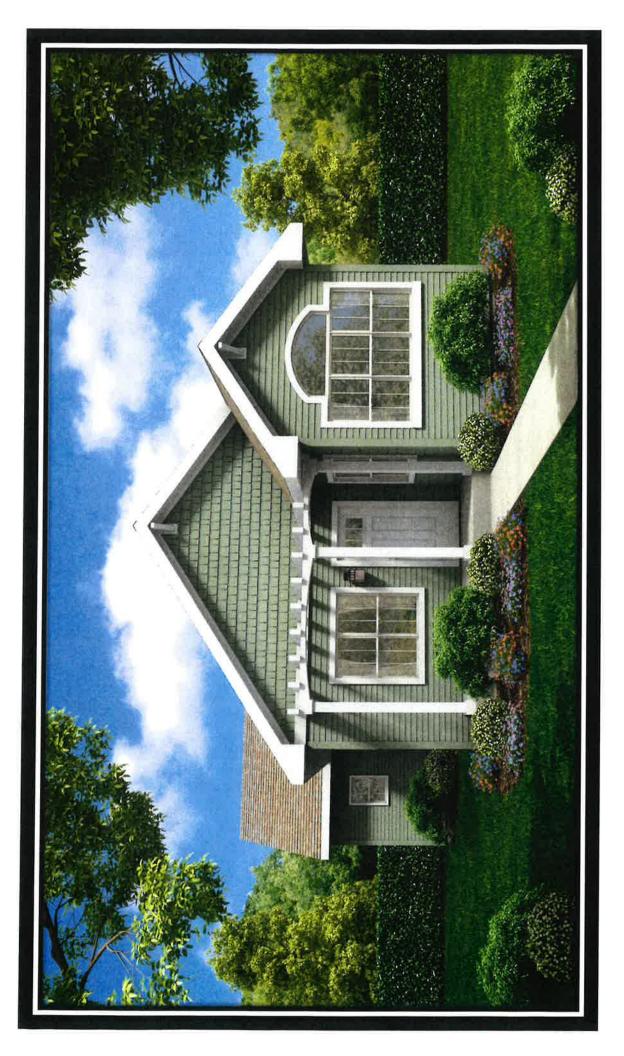
04/09/2019 C201

REVIEW

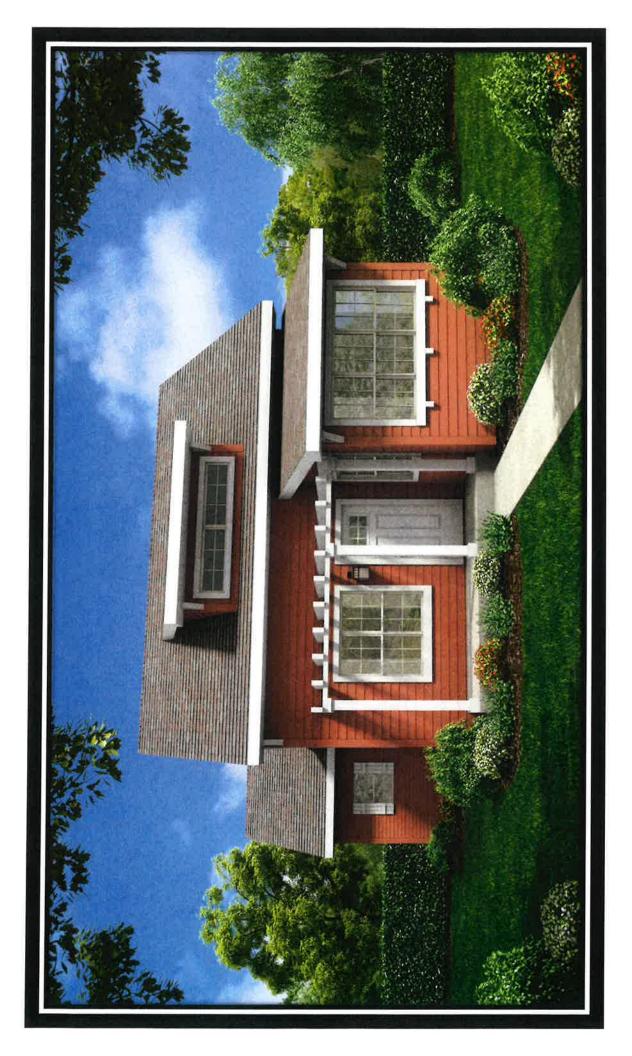














# The Cottages At Chapel View "The Primrose" Elevations A, B, C, & D



FOOTING FI = 2'x 2' + 1' (T OF = 7-9') F2 - 1'4' x 8' (T OF = 7-9')

SWP TO BE 4'0" WIDE SWP. NAILING PATTERN EDGE NAILING SHALL BE 60 NAILS 8" O.C. 2. FRED NAILING SHALL BE 60 NAILS 8" O.C.

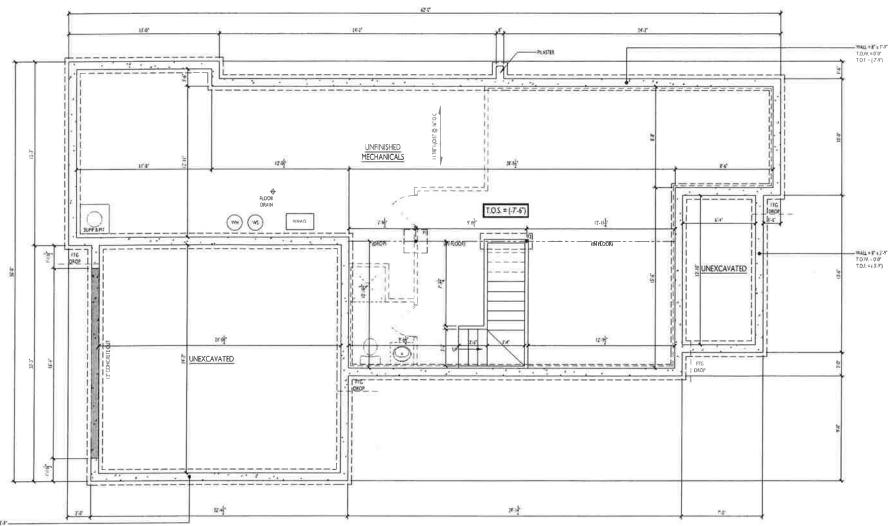
STANDARD ABBREVIATIONS:

BID SET: FORMERLY COTTAGE I RELIVATION A

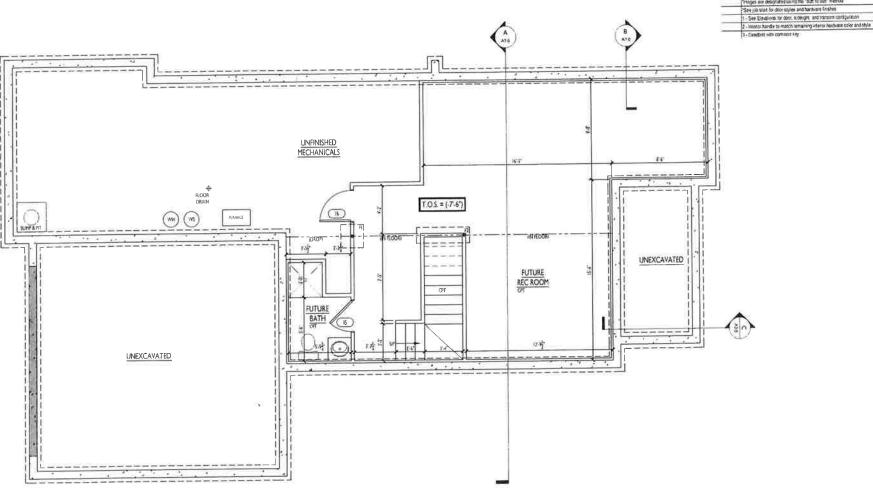
OWNER/SPEC SUBDIVISION LOT#

Foundation Plan

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HOMES.



T.O.W = 0'-0'



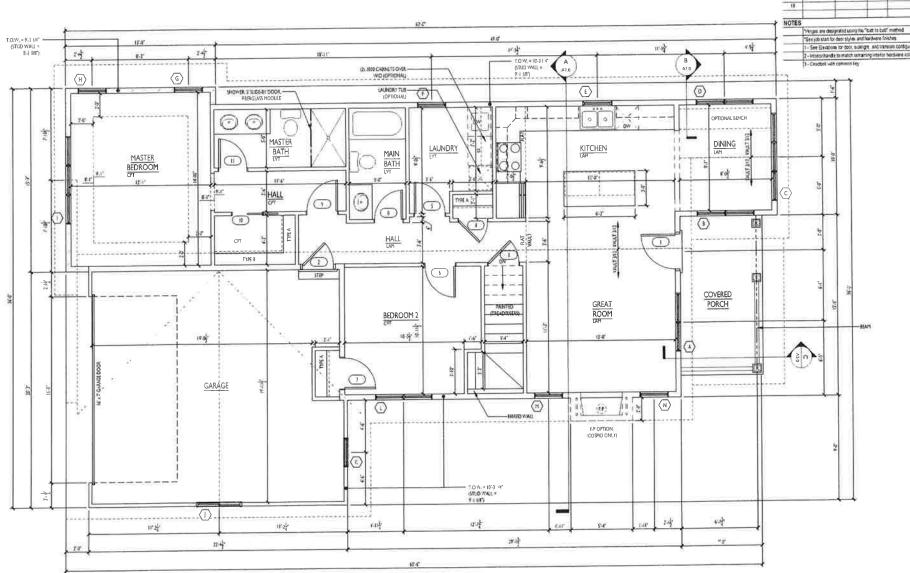
### DOOR SCHEDULE

0	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NO
1	3-0° x 6-8	38 3/8 x 82 1/2	6 9/16"	Sleet Inswing valught	Я	Handleret will int Passage Deadbolt	Wall Spring	1
2	28:88	30 30 + 82 92	588	20 min Steel Inswing	1 L	Passage, Deadbalf	HogePut	
÷	74 :54	34 1/2 x 82 1/2	43/901	Solid Wood	L	Passage	Hinge Pin	
1	28.184	32 W2 v 82 W2	43/18	Solid Wood	R	Passage	Hinge Pin	
5	2'8" x 6'-8'	34 9/2 × 82 1/2	19%	Solid Wood	1	Passage	Wall Spring	
5	28185	34 10 + 82 10	4.9/28"	Solid Wood	L	Passage	Hinge Pin	
7	28 x 84	34 1/2 x 32 1/2	49%	Sold Wood	R	Passage	Wall Speng	
÷	2-6" x 6-8"	32 1/2 + 82 1/2	43/16"	Solid Wood	R	Pinacy	Wall Spring	П
3	2-8" 4 6-8"	34 1/2 - 82 1/2	4 9/15"	Solid Wood	R	Passage	Wat Spring	
10	28 165	95.116.45.15	4 3718"	Wood Pocket	-	Passage		
11	Z-8" x 6-8"	34 1/2 = 3/2 1/2	49/10	Selid Wood	L	Privacy	Wat Spring	
12								
12								L
16								$\perp$
								_

### ALTERNATES/LOWER LEVEL DOOR SCHEDULE

0	SIZE	RD	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
14	78 (85	34 1/2 x 82 1/2	1400	Solid Wood	1	Printer	Wall Stop	
18		24 1/2 4 82 92		Solid Wood	T.	Passage	Hinge Pin	
17								
18:								-
19.								-
								1

title in our monteredades	manager Transport to teach and though

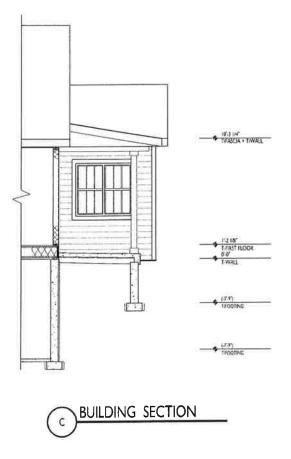


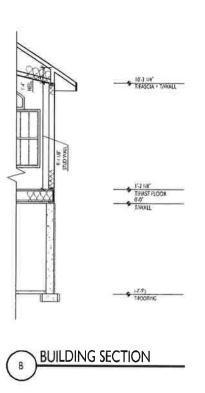
### DOOR SCHEDULE

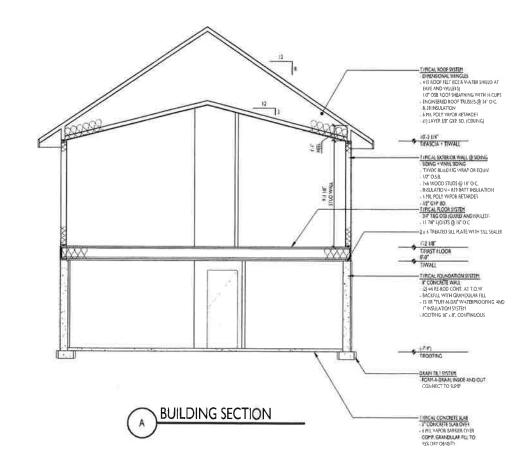
RO 3/8 x 8/2 t/C	BMAL			LOCKSET	DOOR STOP	NO
	6 9/16"	Steel Inswing volught	R	Handatel of hit Paleage, Deathol	Wall Spring	t
39 - 82 10	59HE	20 man Steel Intering	L	Passage, Deadtott	Hange Pim	
10 - 82 10	49/10"	Solid Wood	L	Passage	Hoge Pie	
10.+ 82.90	4 9/10	Sold Wood	R	Passage	Hige Fitt	
10:4210	1915	Sold Wood	L	Passage	Wall Spring	
1/2 × 82 1/2	43/16	Solid Wood	L	Passage	Hings Pin	
102 x 82 102	4 9 nF	Solid Wood	R.	Patrage	Wat Spang	
1/2 / 82 1/2	1816	Sold Most	· R	Princy	Walt Speng	
10 - 12 10	4.9/15	Solid Wood	R	Passy	Wat Spang	
CHACOLINICS.	49%	Wood Packet		Fassage		
10:12:10	4916	Solid Wood	L	Pringry	Walt Spring	
						1

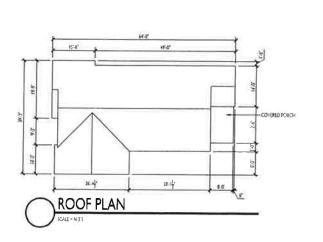
### ALTERNATES/LOWER LEVEL DOOR SCHEDULE

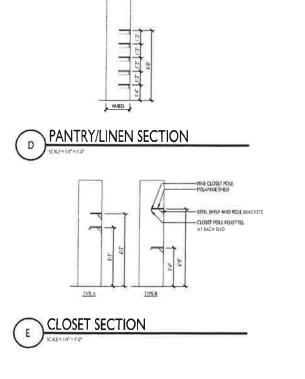
6	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	28 155	34 1/2 x 82 1/2	4995	Solid Wood	l l	Privacy	Wall Stop	
16	2'-8" 1 6'-8"	3# 1/2 v 82 1/2		Solid Wood	L	Passage	Hage Pin	
17								_
18								_
tR								-
		1			1 1			







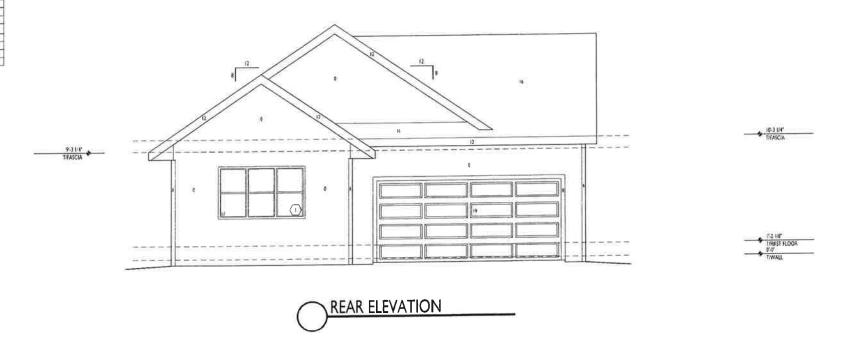




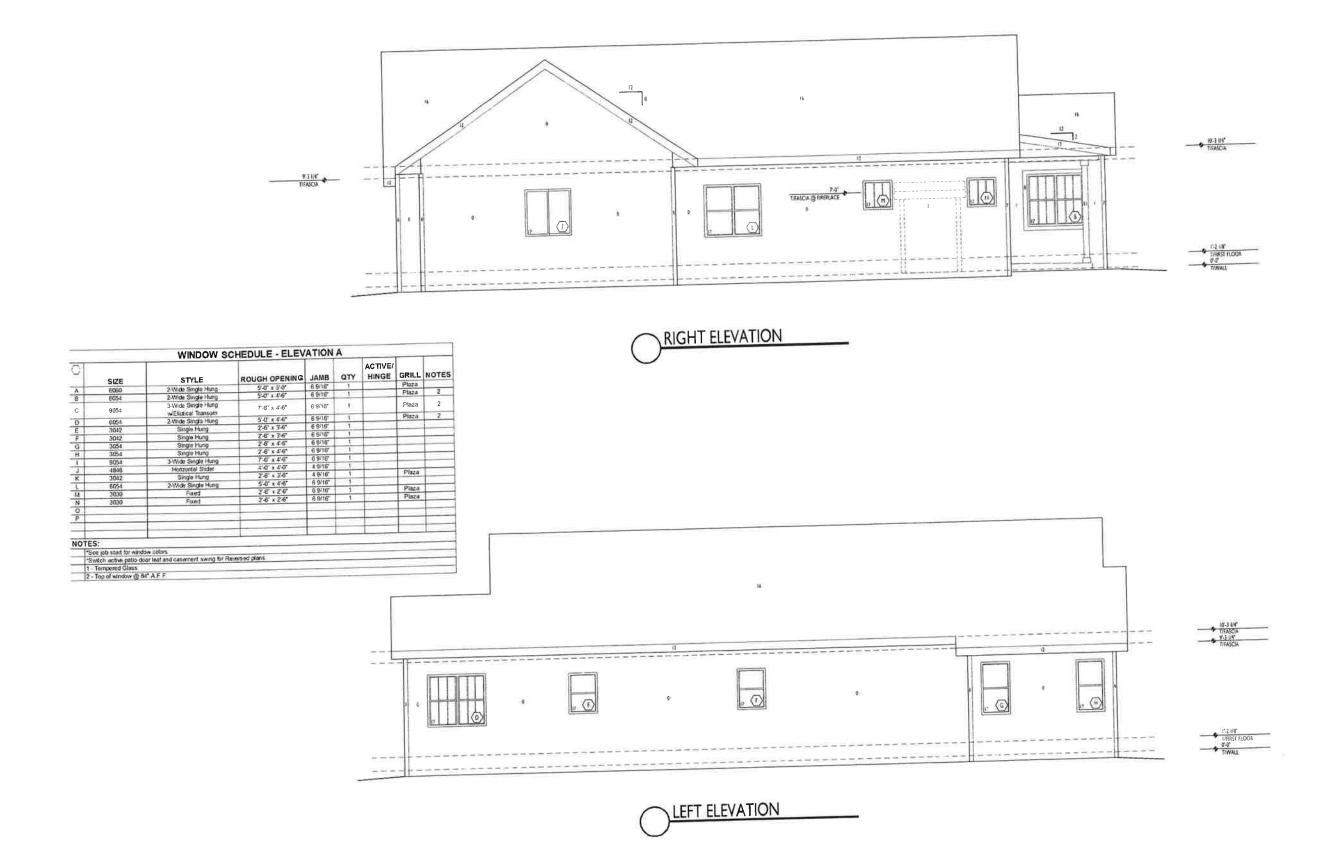
## The Primrose - Elevation A



	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE		NOTES
A	6060	2-Wide Single Hung	5-0' x 5-0'	6.9/16"	1		Plaza	
8	6054	2-Wide Single Hung	5-0" x 4"-6"	69/16	- 1		Plaza	2
С	9054	3-Wide Single Hung w/Ellotical Transom	7'-6' x 4'-6"	6 9/16°	t.		Plaza	2
0	6054	2-Wide Single Hung	5.0° x 4'-6"	6.9716	1		Plaza	2
D E	3042	Single Hung	2'-6" x 3'-6"	6 9:16	_3			
F:	3042	Single Hung	2-6 x 3-6*	6 9/16"	1			
G	3054	Single Hung	2.6" x 4".6"	6 9:15	- 1			
H	3054	Single Hung	2'-6" x 4'-6"	69/16"	1			
1	9054	3-Wide Single Hung	7-6" x 4"-6"	8 9/16	1	F		
J	4848	Honzontal Stider	4'-0' x 4'-0'	4.9/16"	1.1			
K	3012	Single Hung	2-6" x 3-6"	49/16	- 1		Plaza	
1	5054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	110			
M	3030	Fixed	2'-6' < 2'-6"	6.9/16"	- 1		Plaza	
N	3030	Fixed	2-5 x 2-6*	6.9/16"	1		Plaza	
0								
P								
NOTE	S:							

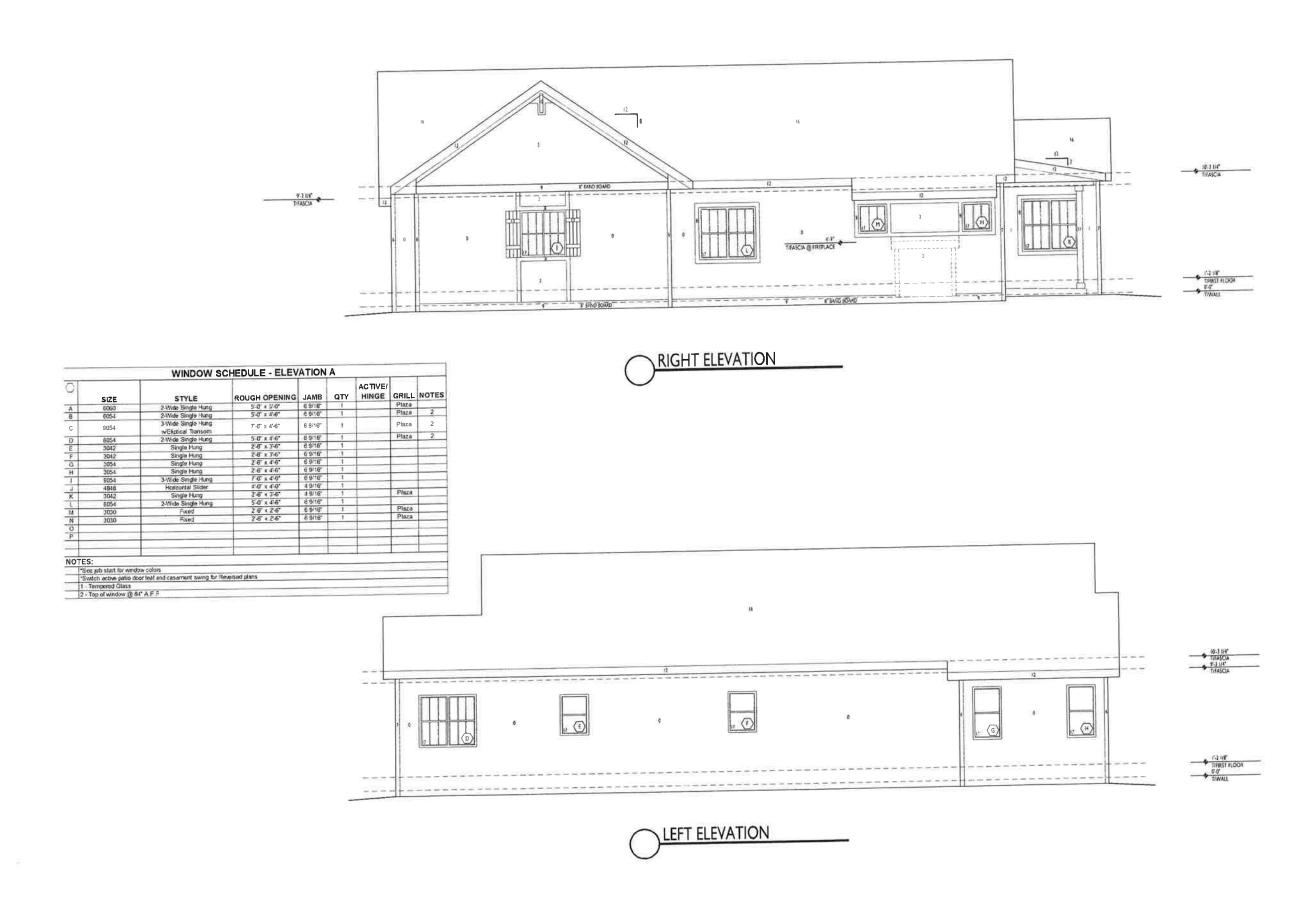


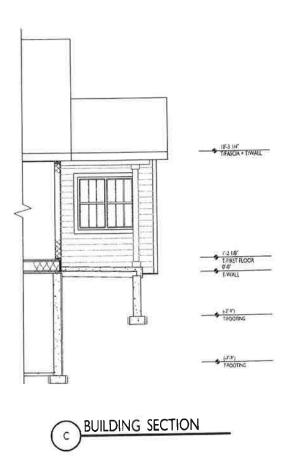
# The Primrose - Elevation A



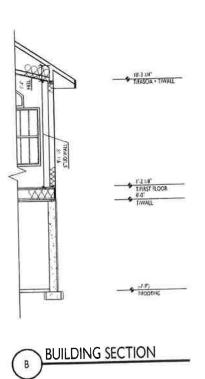
## The Primrose - Elevation A

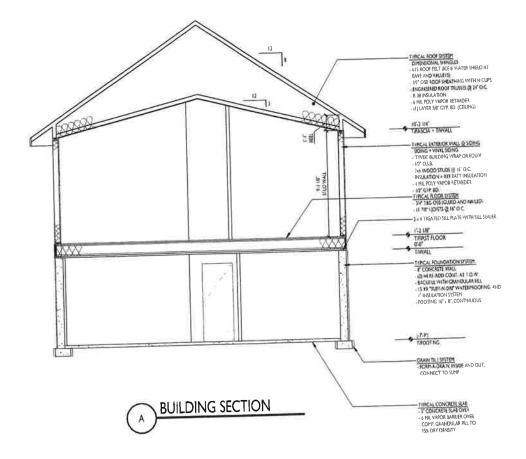
Side Elevation when facing Middleton Community Church or a Public Street

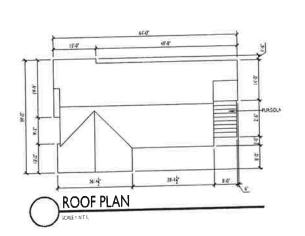


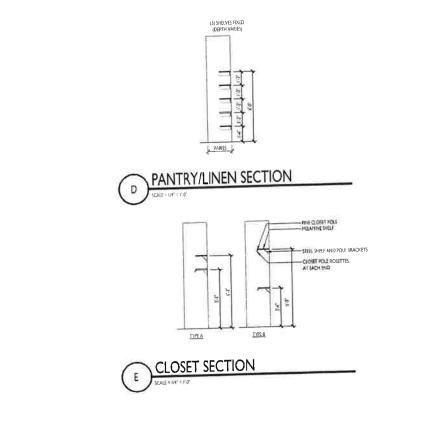


20 994





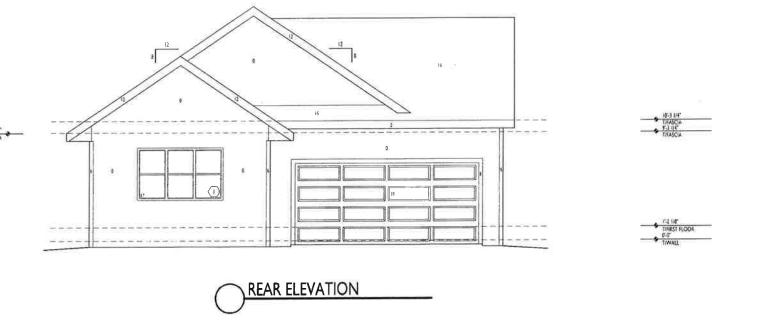




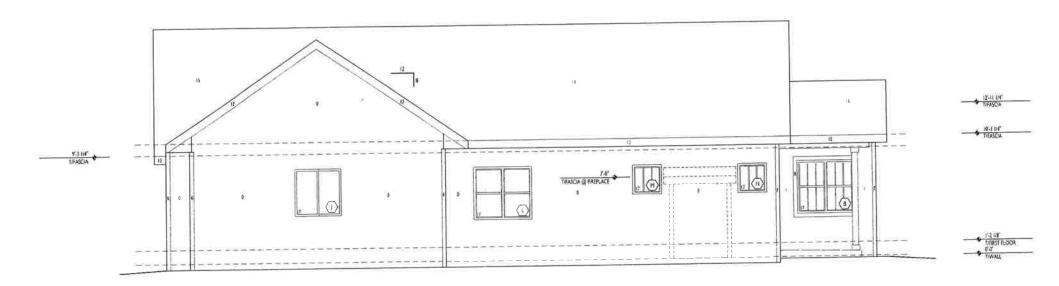
## The Primrose - Elevation B



2	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	and the best series	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	- 1		Plaza	
B	6054	2-Wide Single Hung	5-0" x 4"-6"	6 9/16"	1		Plaza	2
С	9054	3-Wide Single Hung #Eliptical Transom	7"-6" x 4"-6"	6 9/16"	1		Plaza	2
D	6054	2-Wids Single Hung	5'-0" x 4'-6"	6.9/16*	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	- 1			
F	3042	Single Hung	2.6° x 3'-5°	5.9/16°	1			
G	3054	Single Hung	2.6" x 4.6"	6 9/16"	- 1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9'10"	t:			
1	9054	3-Wide Single Hung	7"-6" x 4"-6"	6 9/16"	- 1			
1	4848	Horizontal Slider	4'-0" x 4'-0"	4 9'16'	- 1			
K	3042	Single Hung	2'-6" x 3'-6"	4.9/16*	1		Plaza	
	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	- 1			
u l	3030	Fixed	2'-6" x 2'-6"	6.9/18*	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	9 5/16.	1		Plaza	
0								
P								_
==						-		
OTE	Si					"		
1.84	ne job start for windo	av colors						
		or leaf and casement awing for Fe	sversed plans					

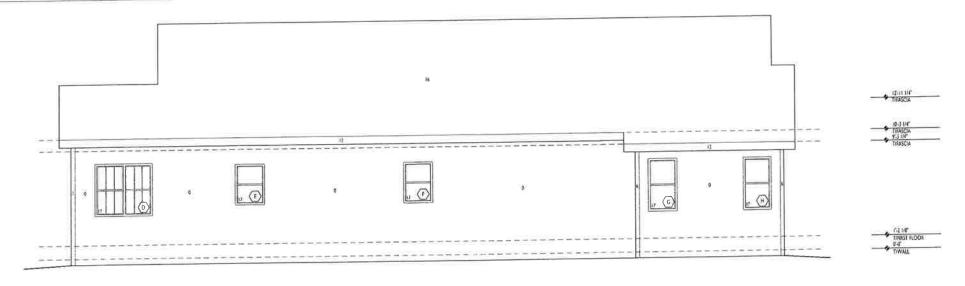


## The Primrose - Elevation B



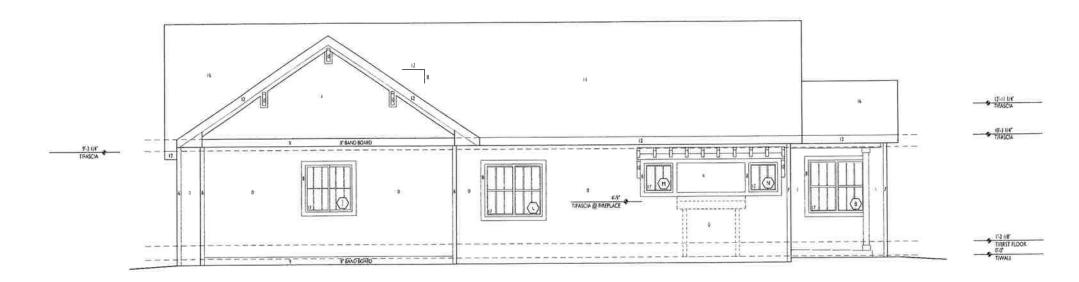
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE		NOTE
A	6060	2/Wide Single Hung	5'-0" x 5'-0"	6.9/16"	1		Plaza	
В	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	_1_		Plaza	2
С	9054	3-Wide Single Hung w'Eliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
0	6054	2-Wide Single Hung	5'-0" x 4"-6"	6.9/16*	1		Piaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6.9/10"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
6	3054	Single Hung	2-6" # 4-6"	6 9/16"	_ 1			
н	3054	Single Hung	2'-6" x 4'-6"	6 9/15"	1_			
1	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	_1_			
3	4848	Horizontal Stider	4'-0" x 4'-0"	4 9/15*	1			
ĸ	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
	6054	2-Wide Single Hung	5'-0" x -1'-6"	6.9/16"	- 1		1000	
M	3030	Fixed	2'-6" x 2'-6"	6 9:16	1_		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	5.9/16*	1		Pinza	
								_
O P						-		-

RIGHT ELEVATION



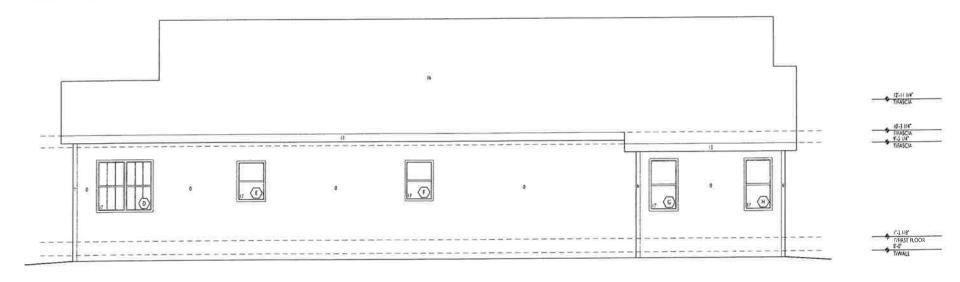
## The Primrose - Elevation B

Side Elevation when facing Middleton Community Church or a Public Street

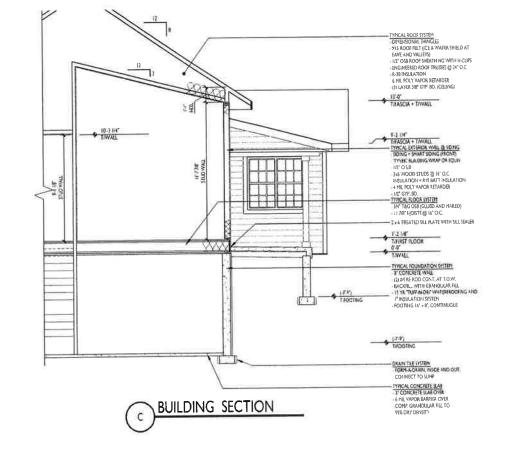


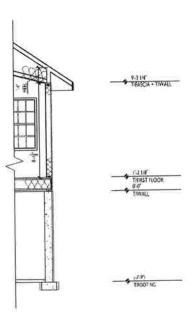
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5-0" x 5-0"	6 9/16"	1		Plaza	
8	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
С	9054	3-Wide Single Hung w/Eliptical Transom	7'-6" × 4'-6"	6 9/16"	1		Plaza	2
0	6054	2-Wide Single Hung	5-0° x 4'-6"	6.9/16"	1.		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9 16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2.6, 1.6,	6 9/16"	- 1			
н	3054	Single Hung	2.6" x 4"-6"	6 9/16"	1.			
1	9054	3-Wide Single Hung	7'-6" x 4'-6"	6.9/18*	1			
4	4848	Horizontal Slider	4'-0" x 4'-0"	4 9 16	1			
K	3042	Single Hung	2'6" x 3'-6"	4 9/16"	- 1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4"-6"	6 9:16"	1			
M	3030	Fixed	2.6° x 2.6°	6 9,16,	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9 16"	- 1		Plaza	
0								
p.						-		
-								
NOTE	S:		-					
I*S	ee job start for windo	w cotors						
18	witch active patro do	or leaf and casement awing for Ri	eversed plans					
	Tempered Glass							

RIGHT ELEVATION

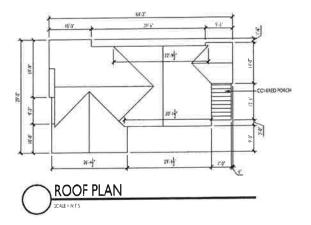


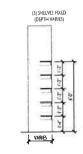




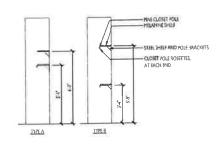


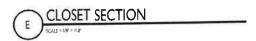




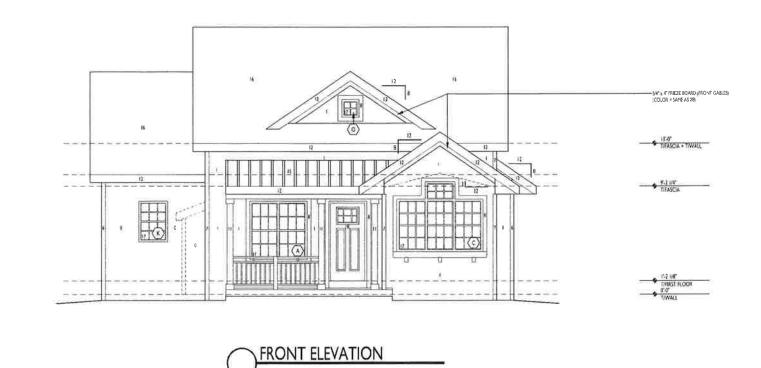








## The Primrose - Elevation C

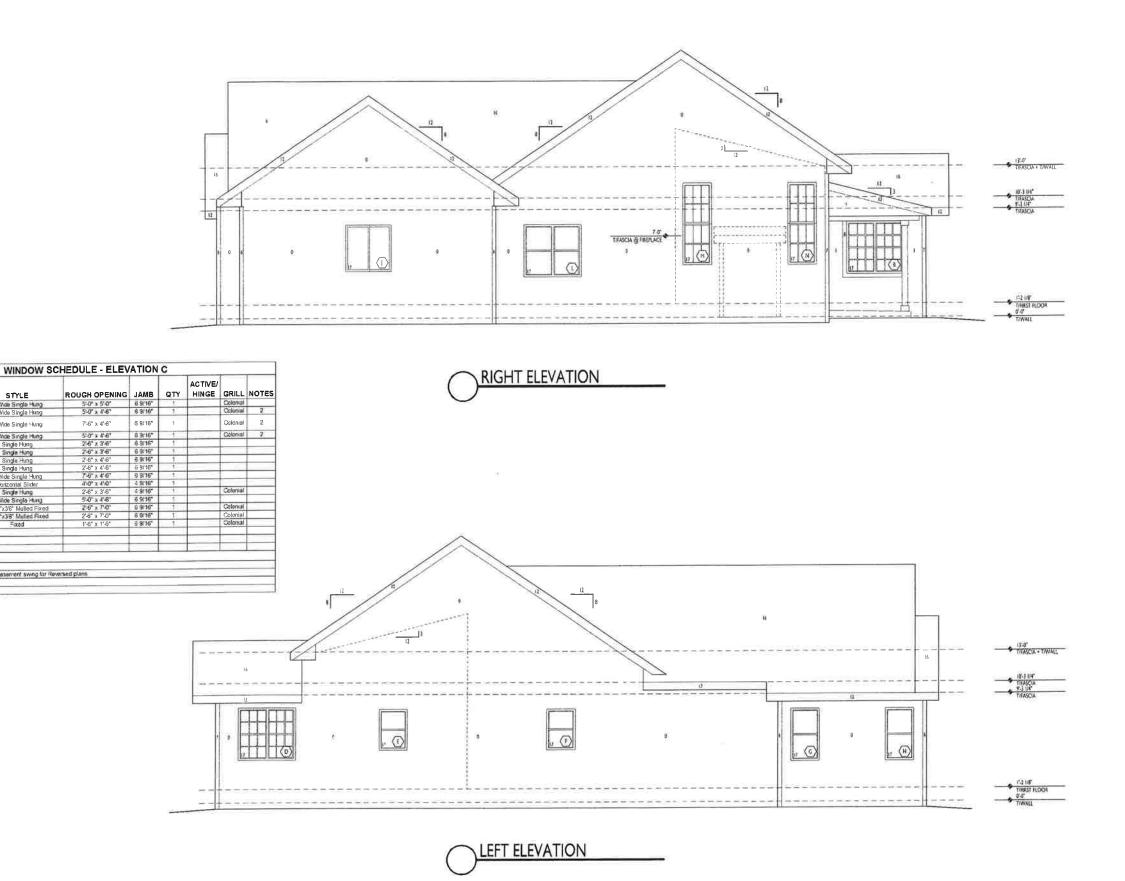


	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTE
A	6060	2-Wide Single Hung	5'-0" r 5'-0"	6.9/16*	1		Cotonial	
8	6054	2-Wide Single Hung	5'-0" x 4'-6"	6.9/18*	3		Colonial	2
С	9054	3-Wide Single Hung	7"-6" x 4"-6"	6 9/16"	1		Calonial	2
0	6054	2-Wide Single Hung	5.0" v 4'6"	6 9/16*	- 1		Cotonial	2
E	3042	Single Hung	2.6" x 3.6"	8.9/16*	1			
F	3042	Single Hung	2-6" x 3-6"	6 9/16*	1			
G	3054	Single Hung	2'6" x 4'6"	6 9/16*	- 1			
н	3054	Single Hung	Z-6" x 4"6"	6 9/16	1			
T	9054	3-Wide Single Hung	7.6 44.6	69/16*	- 1			
3	4848	Honzoetal Silder	4'-0" € 4'-0"	4 9/16*	1			
К	3042	Single Hung	2'-6" x 3'-6"	4 9/16*	-1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16*	1.			
M	3084	2-26'x36' Mulled Fixed	2°-6° × 7°-0°	6.9/16*	1		Colonial	
N	3084	2-26 x36 Mulled Food	2'-6" x 7'-0°	6 9/16*	- 1		Colonial	
0	1818	Fixed	118" x 116"	6.9/16"	- 1.		Colonial	
P							-	_
+		-						
OTE	S:		-					
T-S	ee job start for wind	bw colors						
		or leaf and casement swing for Rev	ersed plans		_			

TFASON •



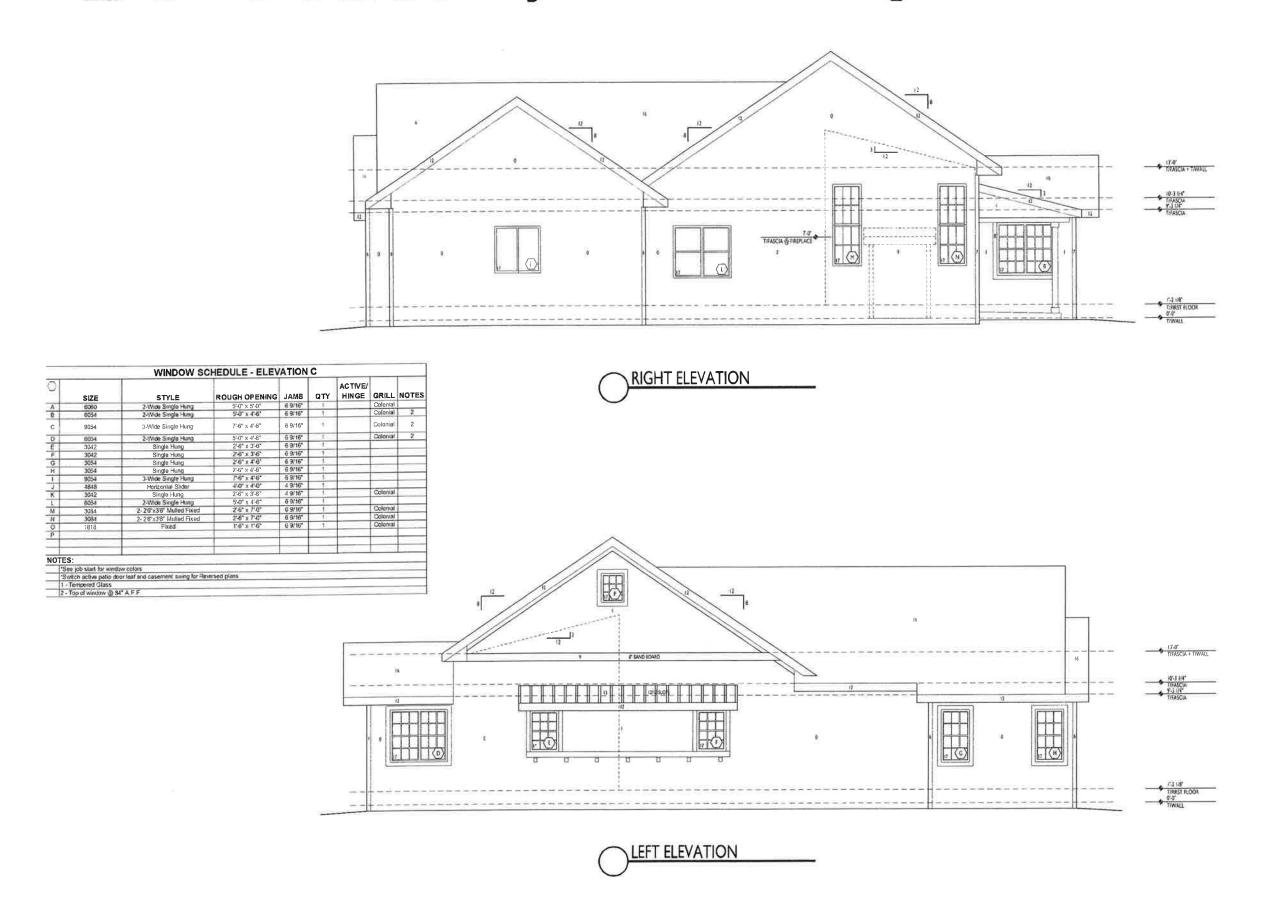
## The Primrose - Elevation C

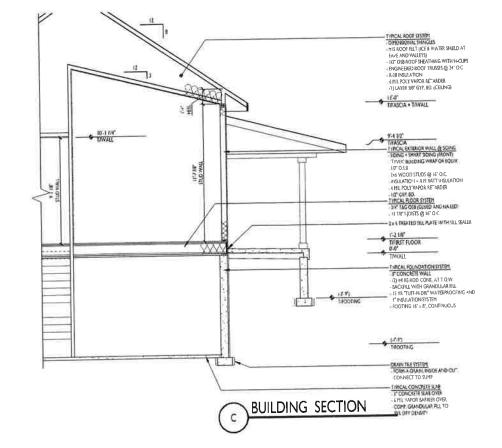


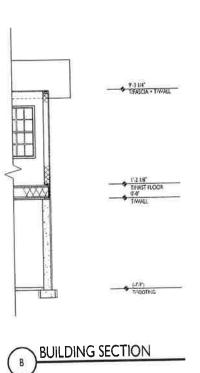
3-Wide Single Hung

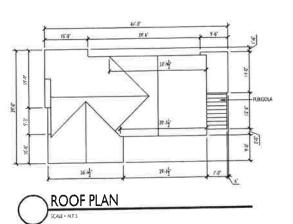
## The Primrose - Elevation C

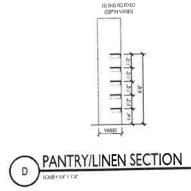
Side Elevation when facing Middleton Community Church or a Public Street

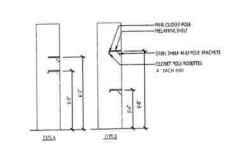


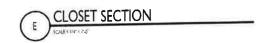












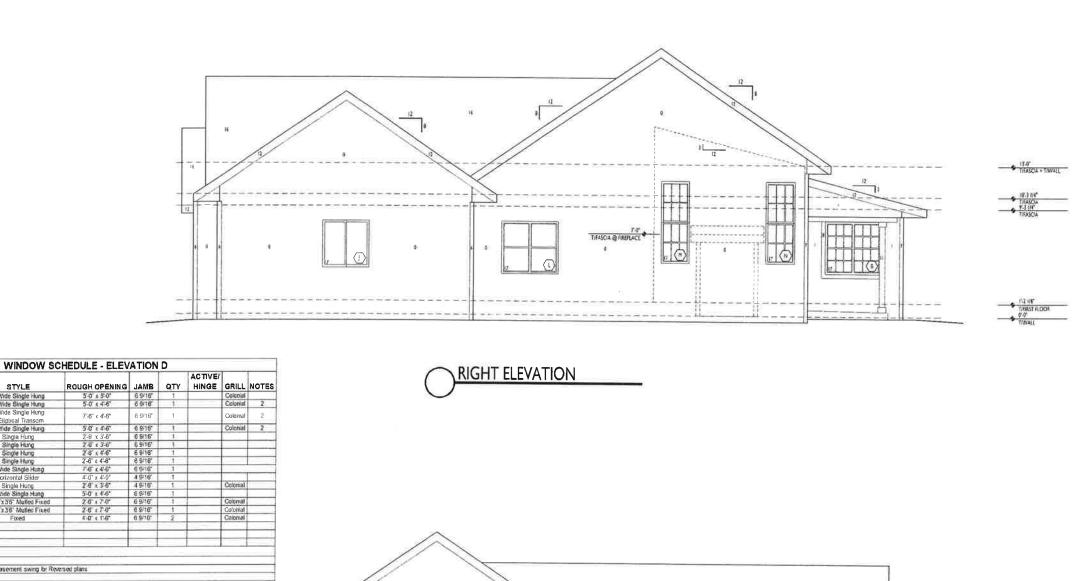
## The Primrose - Elevation D

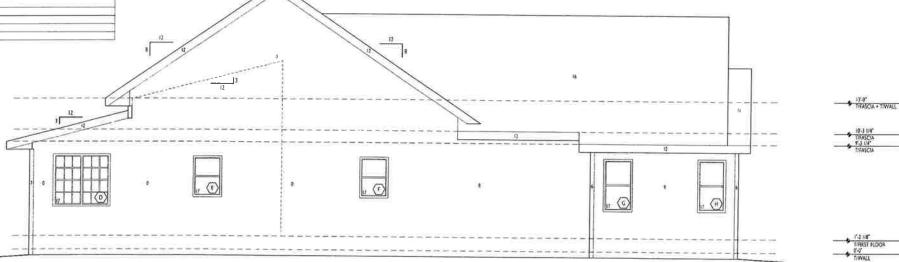


0	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE		NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16	- 1		Colonial	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16	.1		Colonial	2
C	9054	3-Wide Single Hung w Eliotical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5.0° x 4'-6"	6 9/16"	- 1		Coloniat	2
E	3042	Single Hung	2.6 x 3.6	6.9/16"	1			
F	3042	Single Hung	2 6 x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2.6 14.6	6 9/16"	- 3			
H	3054	Single Hung	2-8" x 4'-8"	6.9/16	1			
1	9054	3-Wide Single Hung	7'-6' x 4'-6"	6 9/16	- 1			
3	4848	Horizontal Slider	£.0" x 4"-0"	4 9 16"	1			
K	3042	Single Hung	2.6 1 3.6*	4 9/16	- 1		Colonial	
L	6054	2-Wide Single Hung	5'-0' x 4'-6"	6 9/16"	- 31			
M	3084	2: 26"x36" Mulled Fixed	2-8 x 7-0*	8 9/10	- 1		Colonial	
N	3084	2- 26'x3'6 Mulleo Fixed	2'-6" x 7'-0"	6 9/16	- 1		Colonial	
0	4818	Fixed	4'-0" x 1'-6"	6.9116	:2		Colomal	
Р								
IOTES								



## The Primrose - Elevation D



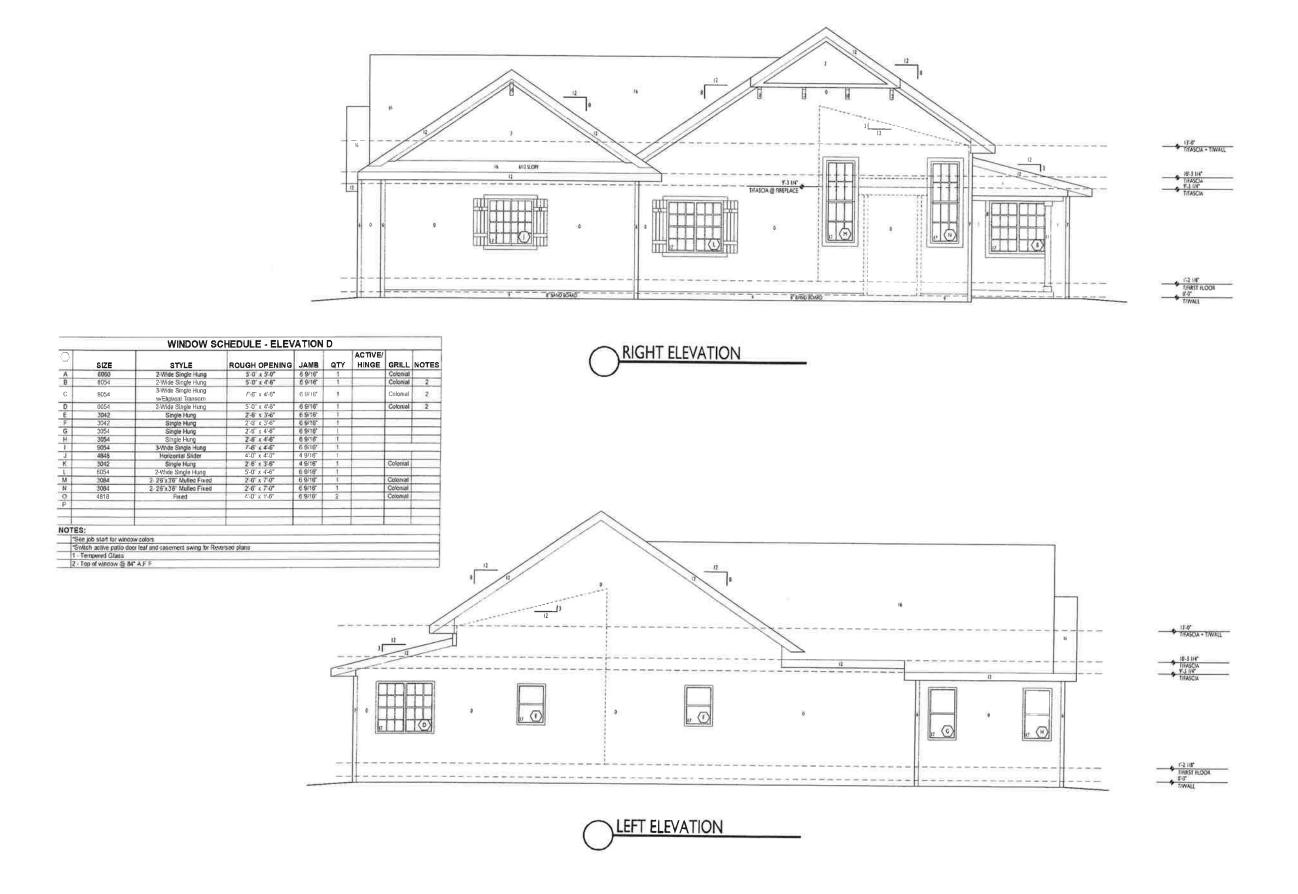


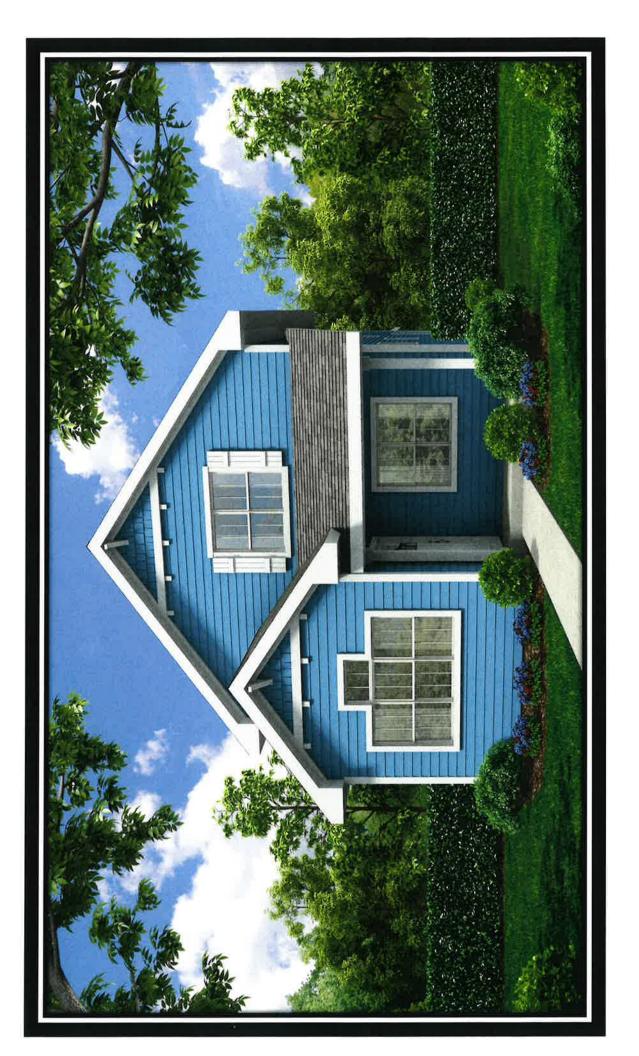


7'-6" < 4'-6"

## The Primrose - Elevation D

Side Elevation when facing Middleton Community Church or a Public Street









# The Cottages At Chapel View "The Willow" Elevations A & B



6840 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691

SWR. TO BE 4-0" WIDE SWR. NAILING PATTERN I EDOE NAILING SKALL SE MINALS STOC TELD NAILING SKALL SE MINALS STOC

### STANDARD ABBREVIATIONS

Hall	HOSESS	WD	W000
co	CASID-ORDANG	DW	DOMENAS
00	DRYWALL OPENING	REF	REFRIGETA
WP	WATER PROOF	SO	SWITCH ON
CPT	CARPET	C	CUBB/E
CT	CERAMIC TILE	W	WASHER
D	DRIER	LAM	LAMINATE
YYL	VINYL	PS	PLUMBING:
PRS	PASSIVE RADON SYSTEM		
PRS	PASSIVE RADON SYSTEM		

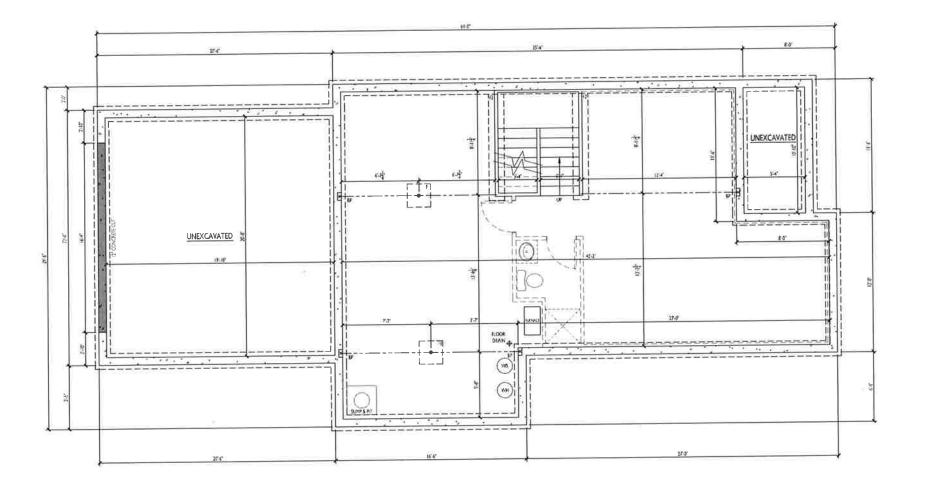
CONSTRUCTION SET:

OWNER/SPEC **SUBDIVISION** LOT#

Foundation Plan

of pages

INC. AND THE USE OF THIS PRINT BY PROPERTY OF BUCKER HOMES.
INC. AND THE USE OF THIS PRINT BY PROHIBITED WITHOUT THE
WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES.
INC. SHALL, HAVE CONSTRUCTION USE RIGHTS FOR THE USE OF
THEIR BLUEFRINTS. DRAWINGS, PLANS. AND / OR SPECIFICATIONS.



F 200



6840 SCHNEIDER ROAD MIDDLETON, VI 53362 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

FOOTING FI - 2' × 2' × 1' (T<sub>1</sub>O F = (-7'.9')

S.W.F. TO BE 4'-0' WIDE S.W.F. MAILING PATTERN I EDGE NAILING SHALL BE 84 NAILS 8' O.C. I MED NAILING SHALL BE 84 NAILS 8' O.C.

### STANDARD ABBREVIATIONS:

НВ	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DÓ	DRYWALL OPENING	REF	REFRIGERATO
WP	WATER PROOF	50	SMITCH OF
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
WL	VINYL	PS	PLUMBING 5
300	MALLIA DE LA CACALA EN LO SA CACALA EN LO SA CACALA		

Revisions PRELIMINARY SET

BID SET\_FORMERLY COTTAGE 2+ BLEVATION A

CONSTRUCTION SET

Project Title

### OWNER/SPEC SUBDIVISION LOT#

WILLOW: ELEVATION A

Foundation Plan

| Scale: 1/4" = 1'-0" | Date: XX/XX/>
| Project No | Draw

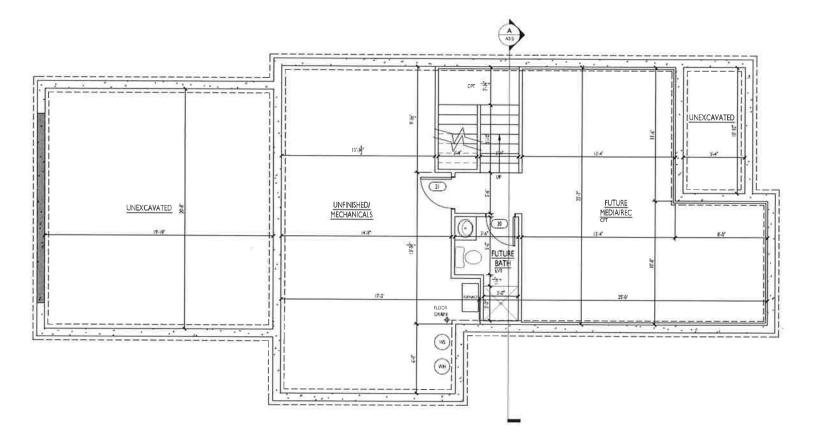
XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOU WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HE INC. SHALL HAVE CONSTRUCTION LEN RIGHTS FOR THE U.

				DOOR SCHEI	DULE			
0	SIZE	RO	JAMO	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
1	30166	36.5/6×62.5/2	6.9/10	Steel Inswing of Light	4	Hardesel wind Petage Deletet	Hoge Fin	1,2(3)
2	25.00	34 36 x 52 1/2	6.1910	20 min Steel Irwaing	:R:-	Pannage, Dradott	Hinge Pin	:3
3	25'165	22 1/2 1 42 1/2	49%	Bold Wood	泉	Fds44je	Hinge Pin	
4	24'104	34 1/2 4 42 1/2	4 9/10	Said Wind	i k	Fast-on	Will Spring	
5	20'155	25 1/2 v 32 1/2	49/10	Solid Wood	- 8	Passage:	Wall Spirition	
6	75.185	32 102 x 42 1/2	45/16	SoidWast	1	Press	Wat Solving	
)	2.5 49.6		4.3/36	Wood Packet		Paseage		
8	24.188	30 ff2 x 62 ff2	4.918	Gold Woot	- 8	Francisco	Hoge Pin	
9	74 165	34 1/2 + 82 1/2	4996	Sold Wholf	1.4	Participa	War Spring	
0	24 164	-	4.9/10	Wood Pocket		Pessage		
11	25 105	34 1/2 x 82 1/2	4 9/10	\$64 West		Pawa	HingePin	
12	24.00	34 1/2 x 62 1/2	49/10	Sold Wret	L.	Pannage	Will Spring	
13	26'156	34 1/2 5 82 1/2	4 9/10	Sala Wrod	L	Passage	Hinge Pin	
16	28165	34.0/2 x 52.1/2	4 9/10	Sold Wood	R	Passage	Hinge Pin	
1	25164	31 1/2 > 52 1/2	45/10	Sold Wood	L	Fassage	Hinge Pio	
il.	25 165	34 02+ 52 02	4 9 %	Solid Wood	- 8	Princy	Hoge Pin	
17	24 164	30 1/2 v 82 1/3	4918	Edid Wood	R	Passage	Wat board	
				100000000000000000000000000000000000000				
		-						
= 1								

0	SIZIE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOT
20	25.65	33 1/2 + 43 1/2	2 978°	Sold Wood		Prints	Wal Spring	-
21	24164	M 1/21 82 1/2	49%	Tolid Wood	L	Passage	Wall Spitro	
_		-			+-+		+	
		-	-		+-+		_	-
OTES							1	

	(Megas are daygrafed using the built to built method
Τ	"See job start for door styles and hardware finishes:
	1 - Sec Einstein ta dur cortginaur
	2 - Internal basels to match remaining interior handware color and style:
	3 - Deadkall with agranter key





6840 SCHNEIDER ROAD MIDDLETON, V/I 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

= SHEAR WALL LOCATIONS B PANTAY UNEN SECTION

C CLOSET SECTION

= WOOD RAILING WITH METAL OR WOOD SPINDLES □ □ □ □ = DRYV/ALL RETURNS 3 SIDES

SUP. NO BE 4.0° WIDE
SUP. NAUING PATTERA:
I DOSENULING SPALLE BENNEST OC.
2. FIELD NAUING SHALL BE 86 NAUS 10° O.C.

### STANDARD ABBREVIATIONS:

НВ	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATO
WP	WATER PROOF	SO	SWITCH OUTI
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	AIMAL	PS	PLUMBING STA



PRELIMINARY SET

BID SET FORMERLY COTTAGE 2 REEVATION A

CONSTRUCTION SET:

OWNER/SPEC SUBDIVISION LOT#

> ADDRESS WILLOW: ELEVATION A

Future Lower Level Plan

Scale: 1/4" = 1'-0" Date:XX/XX/>

XXX

OF BIRST
THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE
INC. AND THE USE OF THIS RINN'T IS PROHIBITED WITHOUT
WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HE
INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE
INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE

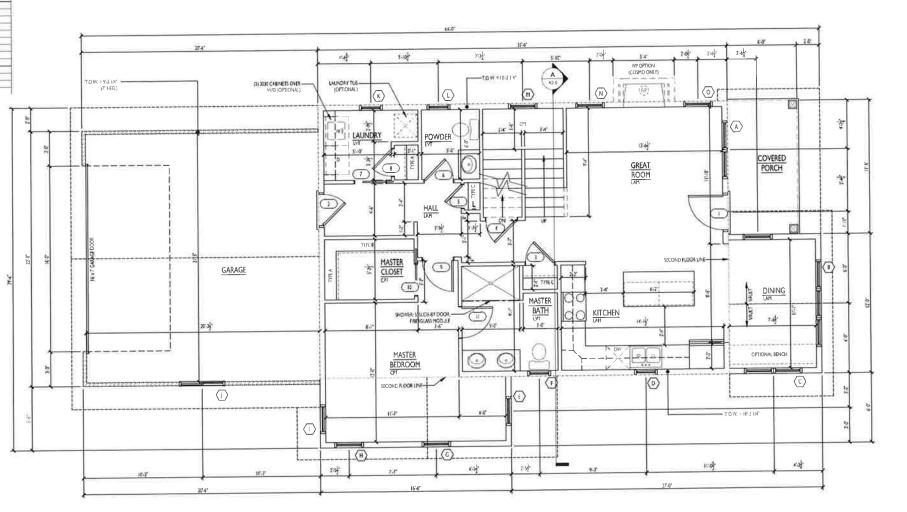
0	SIZE	RO	JAMB	BOOR	HINGE	LOCKSET	DOOR STOP	NOTE
1	30'x66	39 3/6 x 62 1/2	0 9:10	Steet insoing Willight	1,	Pardinet will Passage Desicted	Hinge Pie	123
:	24 464	34 SE x 62 1/2	6 \$110	20 min Store YWWed	I R	Printer Diamon	Hinge Pin	- 2
3	25:05	32 1/2 × 62 1/2	4375	#and Wood	- 6	Palisipi	HogePin	
4	28 188	34 92 5 62 172	49/10	Saint Wood	1	Painton	Wint Spring	
5	20'108	26 1/2 + 82 1/2	4 2-10	Sala Wood	8	Рамари	Wall String	
	25.465	32 103 x 82 103	452	Sight Wood	U	Precy	Wat Soling	
1	28.184	-	4916	Wrios Facket		Patenge	-	
5	24 168	30 92 + 82 10	45/56	Geed Wood	- 14	Passage	Hange Pin	
9	28 185	34 57 - 52 10	4 9/16"	Sold Wood	L.	Varsage	West Spring	
10.	26'+64	1	4.916	WijotPockif		Mesnage		
55	28 488	34 1/2 x 82 1/2	4 (1)	Sold Wood	L	Photo	Hrige Pin	
12	28'456	34 V2 x 62 V7	4.910	56/a Wood	L	Pansage	Wat Spens	
13	2-5' x 5-6'	34 1/2 x 52 1/2	4.9/10	SolidWood	1	Paulage	Hnge Pie	
14	28 165	34 1/2 x 42 1/2	45/2	Solid Wood	N	Paikage	HigePin	
15	25.05	34 1/2 1 52 1/2	4.9/58	Solid Wood	1	Passage	Hinge Pin	
15	25.155	M 107+ 52 107	45/56	Sold Wood	1 4	Pigo	Hoge Pin	
17	24.144	30 1/2 x 82 1/2	4998	Solid Wood	- 8	Fossign	WW Sping	
			-		-		-	-
-								-
		_						

ALTERNATES/LOWER LEVE	L DOOR SCHEDULE
-----------------------	-----------------

70	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOT
20	25 164	30 1/2 / 52 1/2	4 0110	Suit West	4	Private	Well figures	
21	24144	34 101 82 10	4916	Boild Wood	1 6 1	Passayi	Will Spring	
-								
								-
								-
								-

NOTES

(F) (S#1)(F)





6840 SCHNEIDER ROAD MIDDLETON, VVI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

ALL HEADERS TO BE (2) 7 x 10 UNLESS NOTED OTHERWISE

= SHEAR WALL LOCATIONS



= WOOD RAILING WITH METAL OR WOOD SPINDLES
= = = = = DRYWALL RETURNS J.SIDES

S,W.P. TO BE 4'0' WIDE S.W.P. NAILING PATTERN: ) EDGE NAILING SHALL BE 86 NAILS 8' O.C. 2. FIELD NAILING SHALL BE 86 NAILS 10' O.C.

STANDARD ABBREVIATIONS:

HB HOSE BIB
CO CASED OPENING
DO DYSWALL OPPNING
WATER PROOF
CPT CARPLET
CT CRAMIC TILE
D DYSER
VIL VINU.
PRS PASSIVE RADON SYSTEM WD WOOD
DW DISHWASHER
REF REFRICENATOR
SO SWITCH OUTLE
C CUBRIE
W WASHER
LAMI LAHINATE
PS PLUMBING STAC

> AREA: FIRST FLOOR: 1,041 SECOND FLOOR: 834 1,875 TOTAL:

Revisions PRELIMINARY SET

BID SET FORMERLY COTTAGE 2 - BLEVATION A

CONSTRUCTION SET:

OWNER/SPEC SUBDIVISION LOT#

> ADDRESS WILLOW ELEVATION A

First Floor Plan

Scale: 1/4" = 1'-0" Date:XX/XX/>

XXX

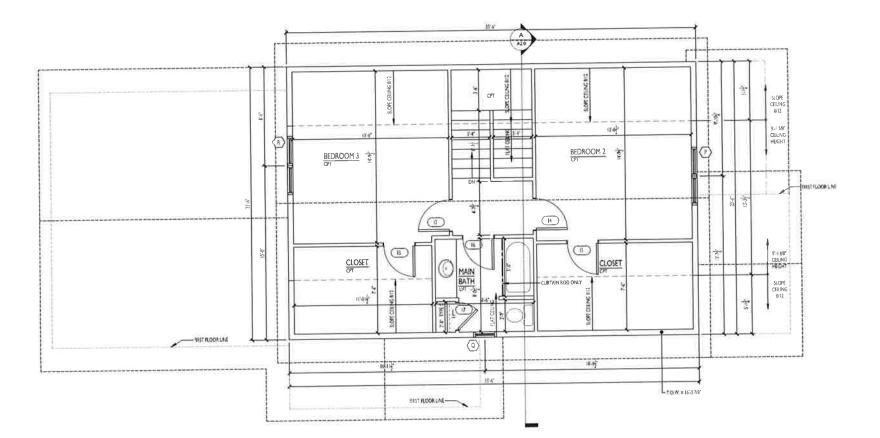
THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE INC. AND THE USE OF THIS RINN'T IS PROHIBITED WITHOUT WHITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HE INC. SHALL HAVE CONSTRUCTION USE RIGHTS FOR THE USE OF THE CONSTRUCTION.

SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
10.104	38 38 x 62 1/2	6.910	Steel Interng of Eight	ı.	Planteset or the Postage Develop	Hinge Pie	1,2,3
24.464	34.96 x 82.92	4-5/1C	20 min Steel Francis	. A	Prinage, Dracket		- 3
25'155	32 1/2 + 82 1/2	4915	Sold Wood	R	Passign		
241.64	31 1/2 1 62 1/2	4.9(10)	Brisk Wood	1.	Pensipi		
20.00	28 1/2 × 52 1/2	4 3/15	Saut Wood	R	Passage		
28188	30 1/2 1 12 1/2	4 5/16	Sold Wood	1	Press	Wai Spira	
25.164		6.3/16	Whod Packet	1	Panage		
24 155	30 02 + 12 10	4996	Bold Wood	A	Paisage	Hirgh Pile	
24.00	34 1/2 v 82 1/2	4916	Sold Wred	1.	Parsage	WW Spiring	
28.64	1	4915	Wood Pocket		Message		
28 104	34 192 x 82 192	4215	Solid Ward	1 1	Printy	Hinge Pin	
28 464	34.1/2 x 62.1/2	4.9/10	Solit Wood	- 1	Passage	WW Spring	
24'154	34 1/2 x 62 1/2	4910	Sond Wood		Fawage	Hinge Pin	
28 105	36 1/2 x 82 1/2	4 9/15	Sold Wood		Faisage	Hinge Pin	
25 104	34 1/2 x 82 1/2	49/16	Sold Wood	1,	Passage	Hinge Pin.	
75 155	34 1/2 + 82 1/2	43/16	Soird Wood	9	Press	Hrge:Pitt	
24×64	30 1/2 + 82 1/7	45/10	Gird Woot	8	Passage	Mai phuô	
				-			
	30 (64 25 164 26 164 27 166 27 166 27 168 24 160 24 160 26 160	30 x 64 3 30 3 30 x 64 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	30° x 64 38 38 38 32 30 6 500 20° x 64 48 30 20° x 64 500	3 0" x 6 4 30 39 3 4 10 4 5 9 10 20 20 20 20 20 20 20 20 20 20 20 20 20	3 0" x 0" 2 30 30 4 32 102 6 510 5 564 Needig of Light 3 0" x 6" 3 529 x 52 0 5 510 5 564 Needig of Light 3 0" x 6" 3 529 x 52 0 5 510 5 564 Needig of Light 3 0" x 6" 3 10 2 x 52 0 5 540 5 564 Need 3 10 2 x 52 0 5 64 Need 3 10 2 x 52 0 5 64 Need 5 644 Need 5 0" x 6" 3 10 2 x 52 0 7 4 Need 5 0" x 6" x 6" 3 10 2 x 52 0 7 4 Need 5 0" x 6" x 6" 3 10 2 x 52 0 7 4 Need 5 0" x 6" x 6" 3 10 2 x 52 0 7 4 Need 5 0" x 6" x 6" 3 10 2 x 52 0 7 4 Need 5 0" x 6" x	30° c 64° 20° 28° 42° 12° 6 010° Steel Priesting of Light	20   12   25   25   25   25   25   25   25

	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	HOICO
28 164	32 1/2 = 52 1/2	4.6/10	Schid Wilma	B.	Privaty	Wat Spring	
25.55	34 1/2 1 82 1/2	49/16	Balla Wood	L	Faster	Will Syding	
							_
							-
				_			_
	-						
	_						
						25 CO 1 10 CO 10 C	26 200 100 100 100 100 100 100 100 100 100

м	o	15

	1 Pringes and designation steing time, body to true. Interest
Τ	"See job start for door styles and handwise final-co.
Ξ	1 - See Elevations for over configuration
	2 - Premise handle to martin remaining interver hardware coop and style
_	





6840 SCHNEIDER ROAD MIDDLETON, VII 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

= SHEAR WALL LOCATIONS



= HALF WALL WITH WOOD CAP

= WOOD RAILING WITH METAL OR WOOD SPINDLES

SW.F. TO BE 4-C WIDE SW.P. NAILING PATTERN: I. EDGE NAILING SHALL BE BUNAILS B' O C 2. FIELD NAILING SHALL BE BUNAILS IO O.C.

### STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATO
WP	WATER PROOF	50	SWITCH OUT
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYI.	VINYL	PS	PLUMBING ST
P85	PASSIVE RADON SYSTEM		

AREA: SECOND FLOOR: 834

Revisions PRELIMINARY SET

BID SET, FORMERLY COTTAGE 3 - PLEVATION A

CONSTRUCTION SET

Project Title

### OWNER/SPEC SUBDIVISION LOT#

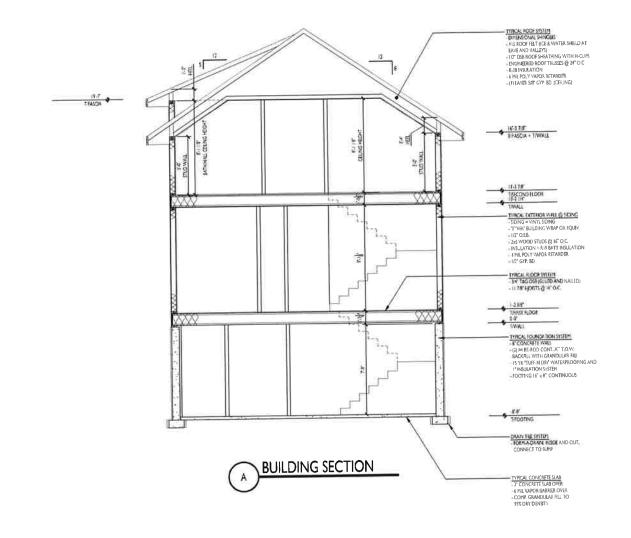
ADDRESS WILLOW : ELEVATION A

Second Floor Plan

Scale: 1/4" = 1'-0" Date: XX/XX/>
Project No. Date: XX/XX/

XXX .

OF DIRECT THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE INC. AND THE USE OF THIS PRINT IS PROHIBED WITHOUT WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HE INC. SHALL HAVE CONSTRUCTION LIDER RIGHTS FOR THE USE OF T





6840 SCHNEIDER ROAD MIDDLETON, VVI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

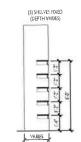
STANDARD ABBREVIATIONS:

HOSE BIB
CASED OPENING
DAYWALL OPENING
WATER PROOF
CARPET
CERAMIC TILE
DAYER
VINYL
PASSIVE RADON SYSTEM WD WOOD
DW DISHWASHER
REF REFRIGHENTOR
SO SWITCH DUTLE
C CUBPLE
W WASHER
LAM LAHINATE
PS PLUMBING STAC

Revisions PRELIMINARY SET

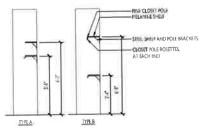
BID SET: FORMERLY COTTAGE 2 - PLEVATION A

CONSTRUCTION SET



PANTRY/LINEN SECTION

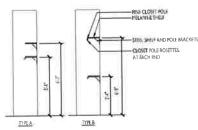
SCALE + 14" + E-E"



CLOSET SECTION

SCALE # 141" # 1-4"

ROOF PLAN



### OWNER/SPEC SUBDIVISION LOT#

ADDRESS WILLOW: ELEVATION A

Drawing Br: SWE
Drawing Trite
Building Sections

Scale: 1/4" = 1'-0" | Date: XX/XX/>
Project No. | Draw XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HIS
INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOUT
WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HIS
INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE

## The Willow - Elevation A

WINDOW SCHEDULE - ELEVATION A

2-6\* x 4-5\* 6 5916\* 1
2-6\* x 3-6\* 0 4916\* 1

9054

NOTES:

Tides job start for subscore colors:

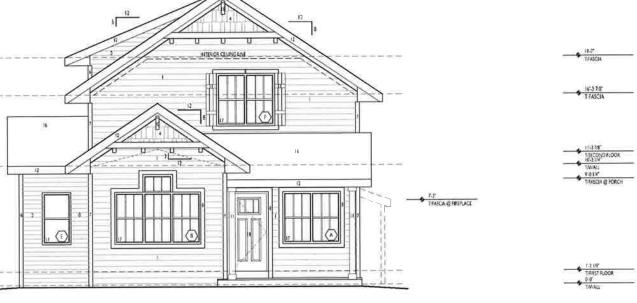
Sustain active part of door leaf and caserrent subsy for Revensed glans:

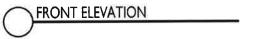
1. Temperat of door.

2. Costing Pat o Door to be unstated in 6-9-16" jamo.

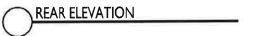
TOUGH OPENING JAMB QTY HINGE GRILL NOTES
5-6' x 5-6' 6 2'15' 1 Place
5-6' x 5-6' 1 Close













MIDDLETON, VVI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691

EXTERIOR COLORS:

O. VINYL SIDING HI EXPOSURE) .

0. VINTL SIDNOL OF DODOLRE) =

1. BOAND LEATTON (2) =

4. SPAKE (1) 4 |=

5. SHARE (2) 4 |=

5. SHARE (2) 5 |=

5. SHARE (2) 5 |=

5. SHARE CONNET TIME |

7. SHARE CONNET TIME |

7. SHARE CONNET TIME |

8. WINDOWS 2 DOOR TIME |

1. SHATTENS 4

1. SHATTENS 4

1. SHATTENS 4

1. SHATTENS 4

1. PASONN' =

15. ROOF (47) =

16. ROOF (47) =

16. ROOF (47) =

17. WINDOWS =

18. ROOF (47) =

19. SHARE ODOR =

19. GARAGE DOOR =

19. GARAGE DOOR =

19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

WOOD
DISHWASHER
REFRIGERATION
SWITCH OLITLE
CUBBIE
WASHER
LAMINATE
PLUMBING STAC

HOSE BIB
CASED OFFNING
DRYWALL OPENING
WATER PROOF
CARPET
CERAPHIC TILE
DRYER
VINYL
PASSIVE RADON SYSTEM

Revisions PRELIMINARY SET-

CONSTRUCTION SET:

OWNER/SPEC **SUBDIVISION** LOT#

> ADDRESS WILLOW: ELEVATION A

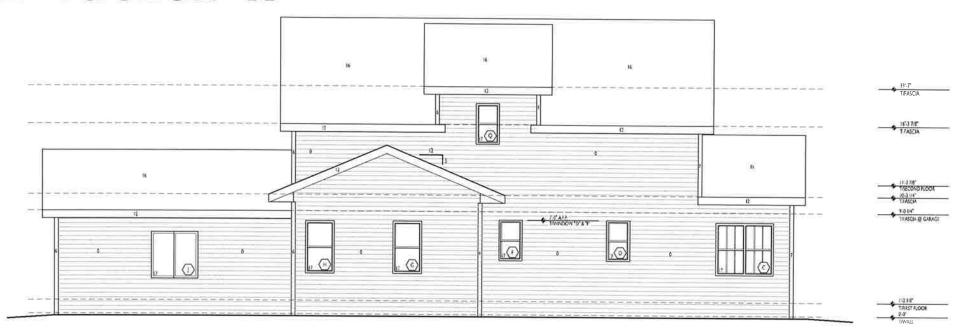
**Exterior Elevations** 

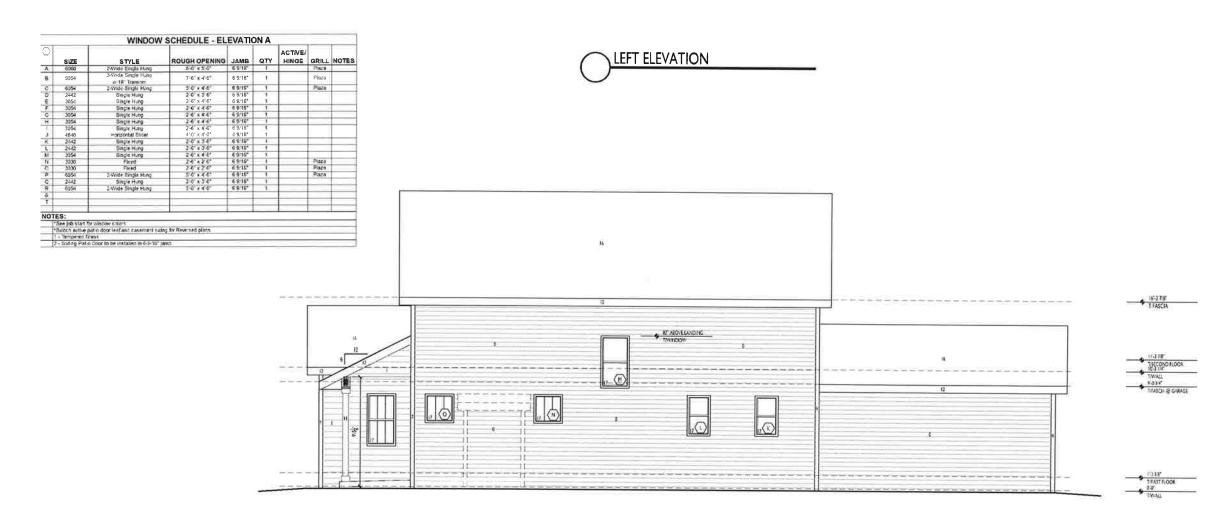
Scale: 1/4" = 1'-0" Date: XX/XX/>

XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOU WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HIS INC. ENCORE HIS INC. SHALL HAVE CONSTRUCTION LIER RIGHTS FOR THE L

### The Willow - Elevation A





RIGHT ELEVATION



MIDDLETON, V/I 53562 PHONE: (608) 836-9691 FAX: (608) 836-9691

EXTERIOR COLORS:

O. VINIL SDING (I\* TXPOSURE) =

10. NANT SDING (I\* TXPOSURE) =

12. BOAND B BATTEN (ID 2) =

13. BOAND B BATTEN (ID 2) =

14. SHAKE (ID 4) =

15. SHAKE (ID 4) =

15. SHAKE (ID 4) =

15. SHAKE (ID 4) =

16. WHICH CORNER TRIM =

19. WHICH CORNER TRIM =

10. WHICH CORNER TRIM =

10. GRIBLE ACCENTS =

11. COLUMNS :

11. COLUMNS :

12. SOFTIFIASCURGUITER (ALUMINUM) #

13. SHUTTES :

14. MASONEY =

15. RODO (SHAKE) E)

16. RODO (SHAKE) E)

17. WHICH CORNE =

19. GRAKE DOOR =

19. G

MB HOSE BIB
CO CASED DEMIND
DO DYWALL OPENING
WY WATER PROOF
CFT CARPET
CT CRAPICTILE
D DAYER
VIL VALVE
PRS PASSIVE RADON SYSTEM

BID SET FORMERLY COTTAGE 2 ELEVATION A

CONSTRUCTION SET

OWNER/SPEC **SUBDIVISION** LOT#

> ADDRESS WILLOW: ELEVATION A

**Exterior Elevations** 

WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HI INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE L

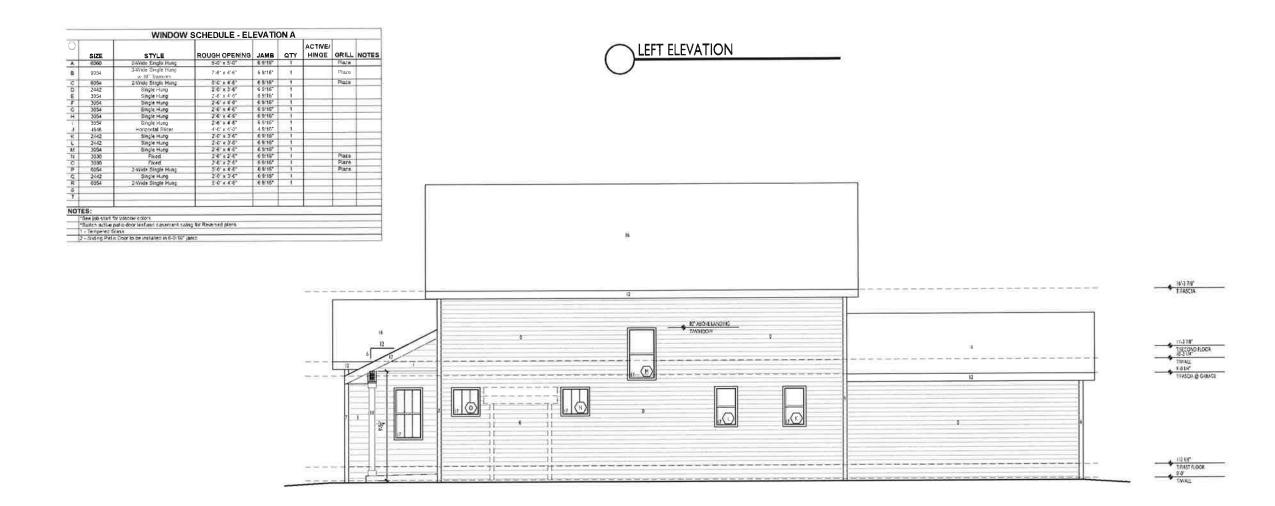
Scale: 1/4" = 1'-0" Date: XX/XX/>

XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOU

## The Willow - Elevation A







6840 SCHNEIDER ROAD MIDDLETON, V/I 53562 PHONE: (60B) 836-9601 FAX: (60B) 836-9691

### EXTERIOR COLORS:

- 0. VINYL SIDING (4" EXPOSURE) = 1. SNART SIDING (6" EXPOSURE) =

- STATE SUBJECT ON THE SUBJECT ON THE

### STANDARD ABBREVIATIONS:

HOSE 8/B
CASED OPENING
DAYWALL OPENING
WATER PROOF
CARPET
CERAPHC TILE
DAYER
VENTL
PASSIVE RADON SYSTEM

PRELIMINARY SET BID SET FORMERLY COTTAGE 2= BLEVATION A

### OWNER/SPEC **SUBDIVISION** LOT#

ADDRESS WILLOW : ELEVATION A

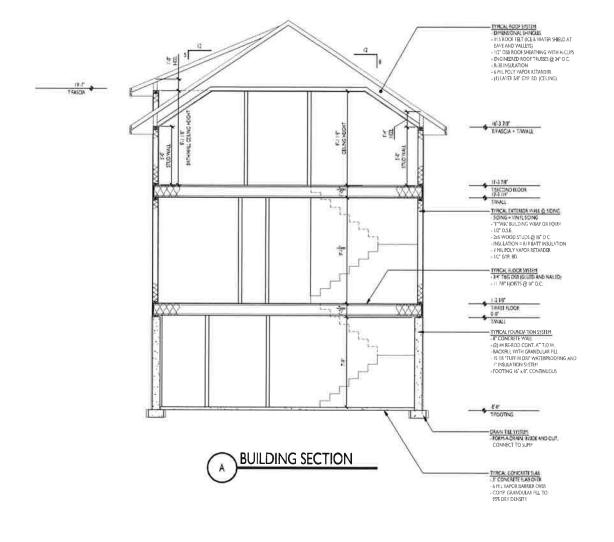
**Exterior Elevations** 

Scale: 1/4" = 1'-0" Date:XX/XX/>

XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE H INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOU WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HE INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE L

RIGHT ELEVATION





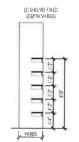
6940 SCHNEIDER ROAD MIDDLETON, WI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691 www.encorebuildsmadison.com

STANDARD ARREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHW
DO	DRYWALL OPENING	REF	REFRIGE
WP	WATER PROOF	50	SWITCH
CPT	CARPET	Ç	CUBBIE
CT	CERAMIC TILE	W	WASHE
D	DRYER	LAM	LAMINA
AJL	VINYL	PS PS	PLUMB!
PR5	PASSIVE RADION SYSTEM		

PREUMINARY SET-

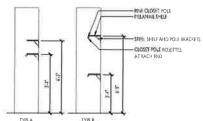
BIO SET: FORMERLY COTTAGE 2= BLEVATION AA





ROOF PLAN

PANTRY/LINEN SECTION



CLOSET SECTION

OWNER/SPEC SUBDIVISION LOT#

> ADDRESS WILLOW: FLEVATION B

Building Sections

Scale: 1/4" = 1'-0" Date: XX/XX/>
Project No. Draw

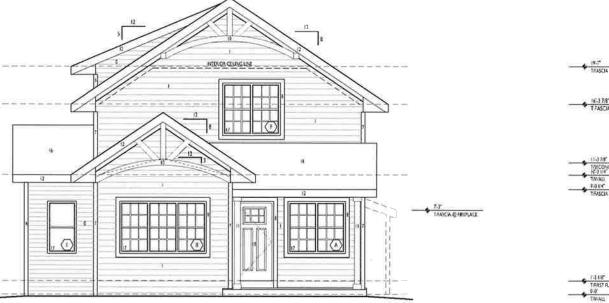
XXX

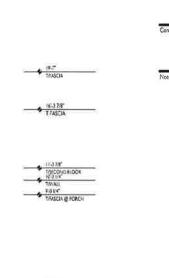
## The Willow - Elevation B



FRONT ELEVATION

REAR ELEVATION







**ENCORE** 

MIDDLETON, VVI 53562 PHONE: (608) 836-9601 FAX: (608) 836-9691

EXTERIOR COLORS:

BID SET FORMERLY COTTAGE 2 - BLEVATION AA

CONSTRUCTION SET

12 S STEPOS CES ME LIM	18.7° TRACIA
	16-3 7/8" TRASCIA
	TOSCON FLOOR TOWNS
	THIS TROOM  OF  THANKI



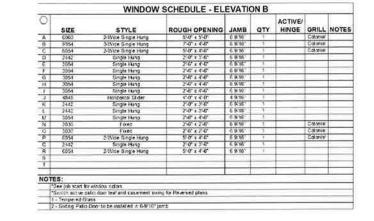
OWNER/SPEC SUBDIVISION LOT#

> ADDRESS WILLOW : ELEVATION B

Drawing Time	
Exterior	<b>Elevations</b>

XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOU WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HE



## The Willow - Elevation B



6840 SCHNEIDER ROAD MIDDLETON, VII 53562 PHONE: (608) 836-9691 FAX: (608) 836-9691



### EXTERIOR COLORS.

- O. VINIT. SIDENG (\* EXPOSURE) = 1
  SINART SIDENG (\* EXPOSURE) = 2
  .0 DOARD 5 BAFTEN ||D 2) = 3
  .0 DOARD 5 BAFTEN ||D 3) = 4
  .5 SHAKE (D 4) = 5
  .5 SHAKE (D 5) = 6
  .5 SHAKE (D 5) = 6
  .5 SHAKE (D 5) = 16
  .5 SHAKE (D 6) = 17
  .5 SHAKE (D 6) = 18
  .5 WINIT CORNER TRIM = 8
  .5 WINIT CORNER TRIM = 10
  .5 SHAKE CORNER TRIM = 10
  .5 SHAKE CORNER TRIM = 10
  .5 SHAKE CORNER TRIM = 11
  .5 KODY (20) = 11
  .5

STAN	IDARD ABBREVIATIONS:		
НВ	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWA
DO	DRYWALL OPENING	REF	REFRIGE
WP	WATER PROOF	SO	SWITCH
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHE
D	DRYER	LAM	LAMINA
VYL	VINYL	PS.	PLUMBIN
FRS	PASSIVE RADON SYSTEM		

PRELIMINARY SET

BID SET FORMERLY COTTAGE 24 ELEVATION AA

CONSTRUCTION SET

### OWNER/SPEC SUBDIVISION LOT#

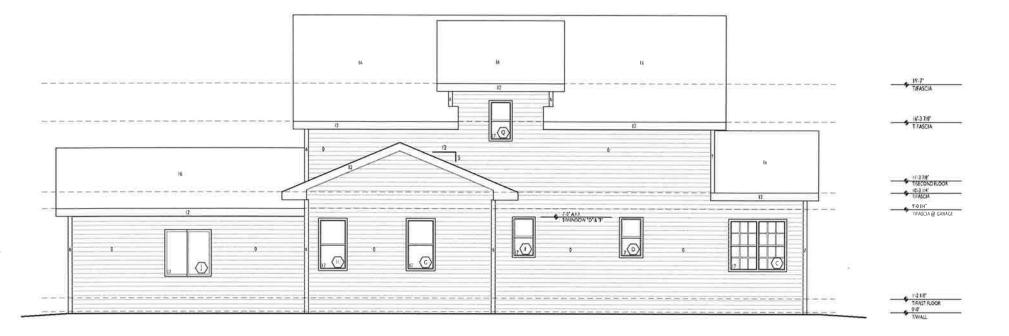
ADDRESS WILLOW: ELEVATION B

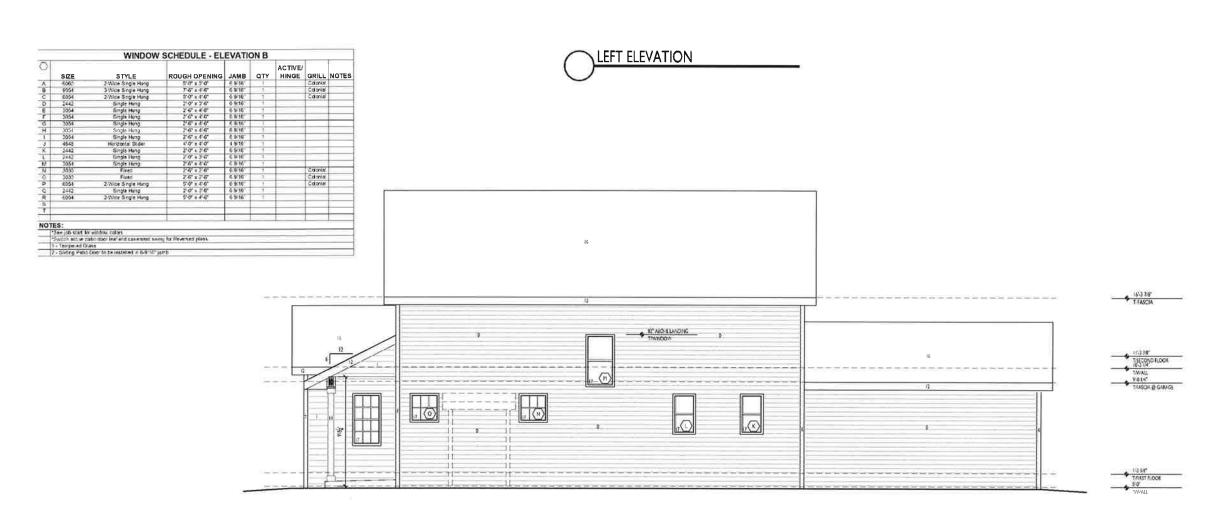
entransia di Americano	
Drawing Title	
Evterior	Flevation

Scale: 1/4" = 1'-0" Date:XX/XX/>

XXX

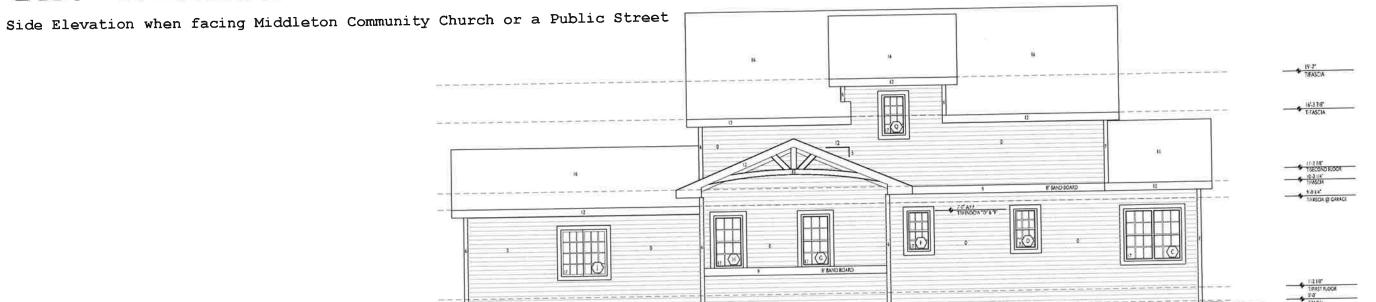
THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HE INC. AND THE USE OF THIS PRINT IS PROHEBITED WITHOU WAITEN CONSENT OF ENCORE HOMES, INC. ENCORE HE INC. AND THE USE OF ENCORE HOMES, INC. ENCORE HE INC. ENCORE HE

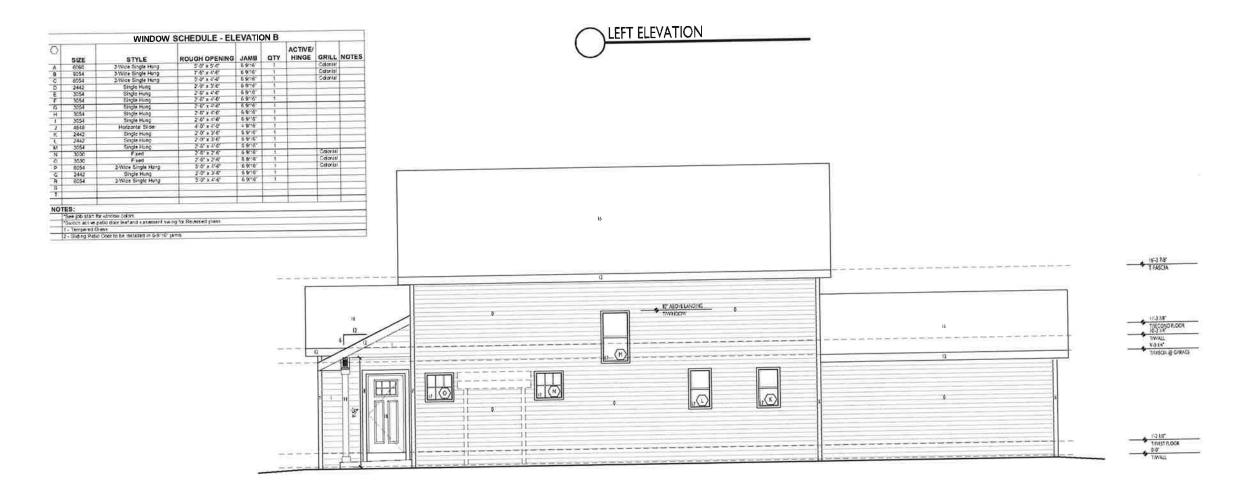


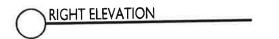




## The Willow - Elevation B









6840 SCHNEIDER ROAD MIDDLETON, V/I 53562 PHONE: (608) 836-9601 FAX: (608) B36-9691 www.encorebuildsmadison.co

EXTERIOR COLORS:

2 NNAT SDING (\* EXPOSURE) =
3 NNAT SDING (\* EXPOSURE) =
2 BOARD & BATTEN ID 2) =
3 BOARD & BATTEN ID 2) =
4 SPAKE (D 4) =
5 SHALE (D 5) =
6 NWAT (CORNER TRIM =
7 SHALE ORDER TRIM =
8 WINDOW & DOOR TRIM =
8 WINDOW & DOOR TRIM =
10 GABLE ACCENTS =
11. COLUMNS
11. COLUMNS
12. SOPTIFISACIAIGUITER (ALUMNUM)
15. ROOT (E) HINGORY =
16. ROOT (SHINGLE) =
17. WINDOWS
18 ENTAY DOOR =
19. GARAGE DOOR =
5 STANDDARD ABBREVIATIONS:

HOSE BIB
CASED OPENING
DYWALL DRENING
WATER PROOF
CARPE!
CERANIC TILE
DYYER
VINYL
PASSIVE RADON SYSTEM

BID SET | FORMERLY COTTAGE 2 | BLEVATION AA

CONSTRUCTION SET

OWNER/SPEC **SUBDIVISION** LOT#

> ADDRESS WILLOW : ELEVATION B

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/>

XXX

THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HINC. AND THE USE OF THIS PRINT IS PROHISTED WITHOUT WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HINC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE USE OF THE CONSTRUCTION LIEN RIGHTS FOR THE USE OF THE

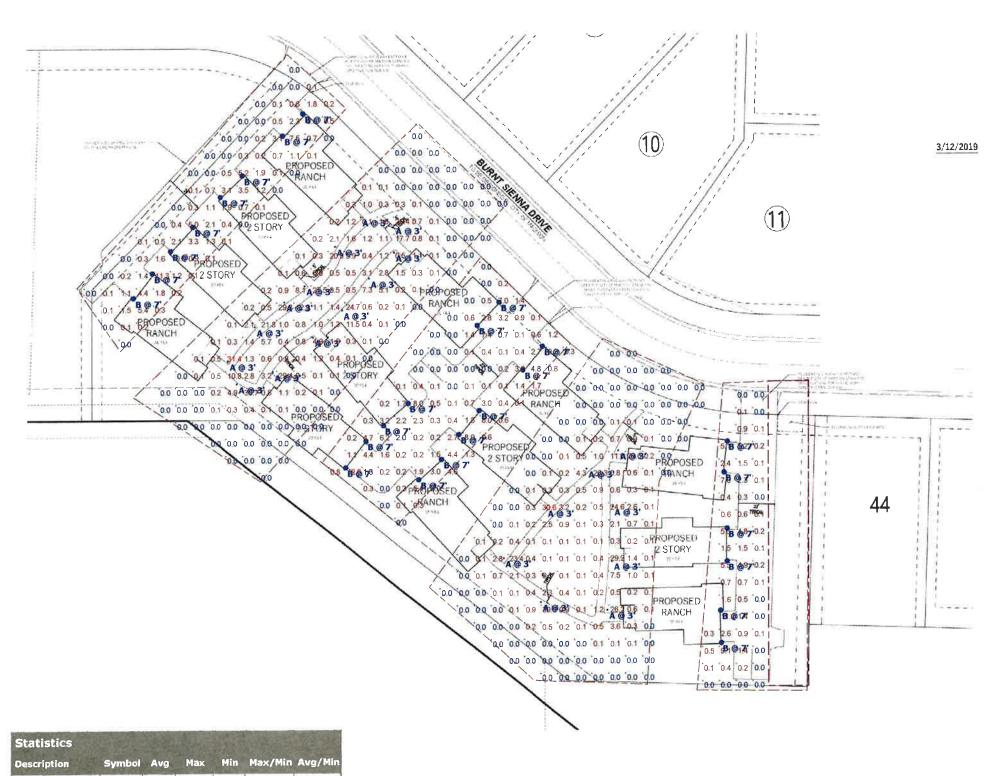
ENCORE LOT 45

Designer MB, CED Date 4/3/2019 Scale Not to Scale

Drawing No.

Summary

1 of 2



**Plan View** Scale - 1" = 50ft

Statistics						HE HO	
Description	Symbol	Avg	Мах	Min	Max/Min	Avg/Min	
BOLLARD ZONE 1	+	2.2 fc	31.4 fc	0.0 fc	N/A	N/A	
BOLLARD ZONE 2	+	1.6 fc	30.6 fc	0.0 fc	N/A	N/A	
WALL PACK ZONE 1	+	1.3 fc	11.3 fc	0.0 fc	N/A	N/A	
WALL PACK ZONE 2	+	1.6 fc	12.6 fc	0.0 fc	N/A	N/A	
WALL PACK ZONE	+	1.5 fc	11.2 fc	0.0 fc	N/A	N/A	

### Proposed Bike Racks

### Park-It Powder-Coated Steel Bike Racks



Click to Zoom





