

# URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by \_\_\_\_\_  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Urban Design District \_\_\_\_\_  
Submittal reviewed by \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: Lot 1, Plat of Chapel View - 9910 Peach Leaf Lane  
Title: The Cottages At Chapel View

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested July 17, 2019  
☐ New development ☐ Alteration to an existing or previously-approved development  
☐ Informational ☐ Initial approval ☒ Final approval

## 3. Project Type

- ☐ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☐ Planned Development (PD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)  
☒ Planned Multi-Use Site or Residential Building Complex
- Signage**  
☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)
- Other**  
☒ Please specify  
Review of Conditional Use - TR-V1 (Reduction of yard setback requirements in a RBC)

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Chad Wuebben, President **Company** Chapel View Development Company Inc.  
**Street address** 6840 Schneider Road **City/State/Zip** Middleton WI 53562  
**Telephone** 608-836-9601 **Email** cwuebben@encorehomesinc.com  
**Project contact person** Same As Applicant **Company** \_\_\_\_\_  
**Street address** \_\_\_\_\_ **City/State/Zip** \_\_\_\_\_  
**Telephone** \_\_\_\_\_ **Email** \_\_\_\_\_  
**Property owner (if not applicant)** Same As Applicant  
**Street address** \_\_\_\_\_ **City/State/Zip** \_\_\_\_\_  
**Telephone** \_\_\_\_\_ **Email** \_\_\_\_\_

**5. Required Submittal Materials**

- ☐ **Application Form**
- ☐ **Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development plans** (Refer to checklist provided below for plan details)
- ☐ **Filing fee**
- ☐ **Electronic Submittal\***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on Multiple times beginning January 29, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Chad Wuebben, President

Relationship to property President of Owner

Authorized signature of Property Owner

Date June 25, 2019

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☐ **Urban Design Districts:** \$350 (per §35.24(6) MGO).
- ☐ **Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) :** \$150 (per §33.24(6)(b) MGO)
- ☐ **Comprehensive Design Review:** \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ **Minor Alteration to a Comprehensive Sign Plan:** \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ **All other sign requests to the Urban Design Commission, including, but not limited to:** appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

**A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:**

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST



The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☐ Landscape Plan and Plant List (*must be legible*)
- ☐ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☐ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☐ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☐ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit





June 25, 2019

Ms. Janine Glaeser  
Staff  
Urban Design Commission  
City of Madison  
215 Martin Luther King Jr Blvd  
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V2) – The Cottages At Chapel View

Dear Ms. Glaeser,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

**\*\*Please note that this project has received all necessary approvals, subject to staff review, from Plan Commission and Common Council. We are requesting final UDC approval with this application, and have included, at the front of each packet, the changes to our application based on UDC feedback. These changes/updates are as follows:**

1. Updated landscape plans and plant list/landscape worksheet
2. Updated Cottage elevations with consistent window design
3. Updated Cottage elevation with re-sized gable detail
4. New proposed bike rack style

## **Project Team**

### **Applicant:**

Chapel View Development Company Inc.

### **Engineer:**

Wyser Engineering

Chad Wuebben, President  
6840 Schneider Road  
Middleton WI 53562  
[cwuebben@encorehomesinc.com](mailto:cwuebben@encorehomesinc.com)  
608-444-7752

Wade Wyse, Owner  
312 East Main Street  
Mount Horeb WI 53572  
[wade.wyse@wyserengineering.com](mailto:wade.wyse@wyserengineering.com)  
608-843-3388

#### General Contractor:

Encore Homes, Inc.  
Chad Wuebben, President  
6840 Schneider Road  
Middleton WI 53562  
[cwuebben@encorehomesinc.com](mailto:cwuebben@encorehomesinc.com)  
608-444-7725

#### Project Sales:

Encore Real Estate Services, Inc.  
Cari Fuss, Managing Broker  
6840 Schneider Road  
Middleton WI 53562  
[cfuss@encorehomesinc.com](mailto:cfuss@encorehomesinc.com)  
608-843-2500

## Project Overview

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V2 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will be platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

#### **Lot 1    1.93 Acres    84,052 Square Feet**

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	3000 x 15 = 45,000	500 x 15 = 7,500	45,000 + 7,500 = 52,500

**Lot 45**    1.81 Acres    **78,888** Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
13	3000 x 13 = 39,000	500 x 15 = 6,500	45,000 + 7,500 = <b>45,500</b>

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the “front” yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison’s growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.

According to “The Direct Impact of Housing and Remodeling on the U.S. Economy” by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of August, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

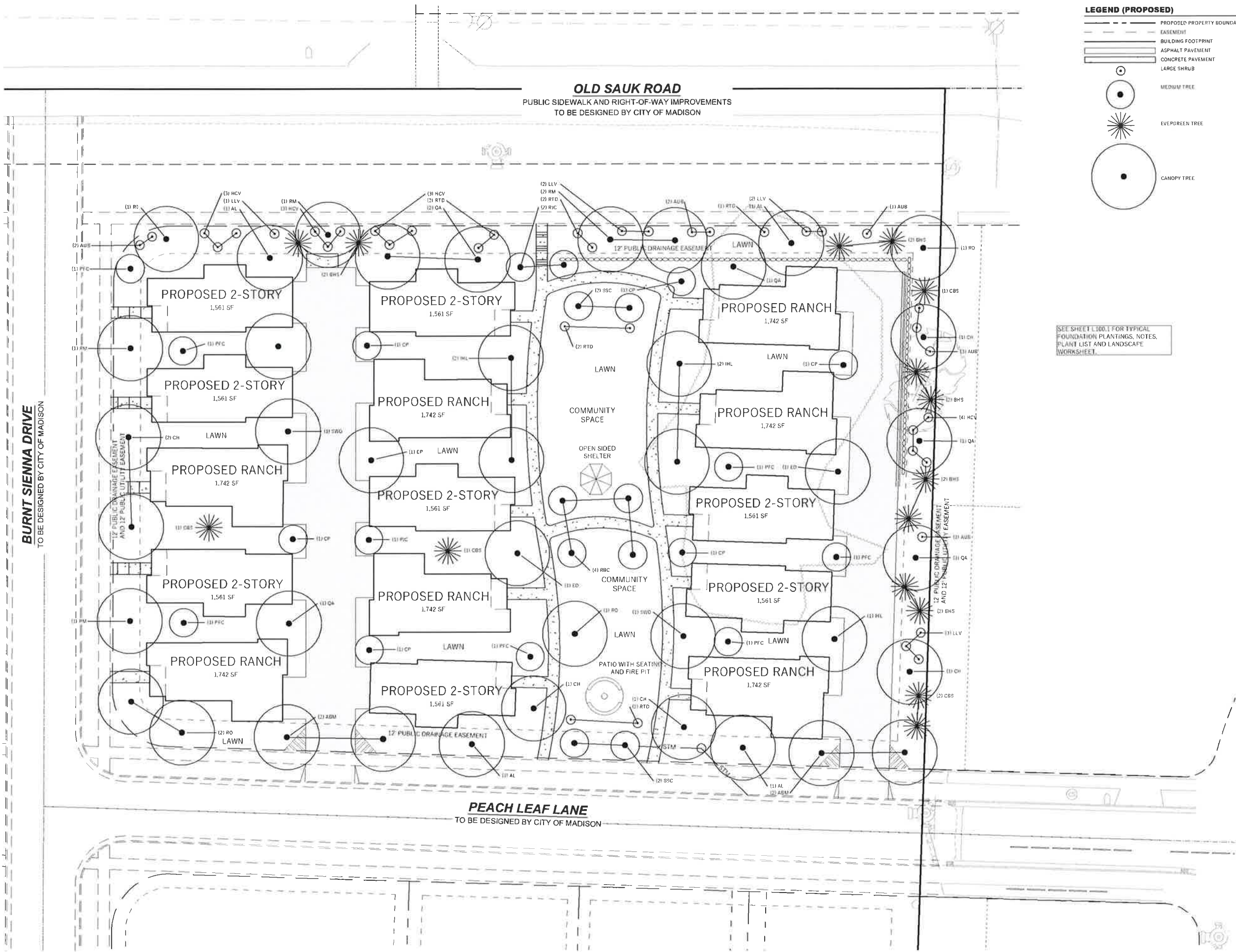
Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.



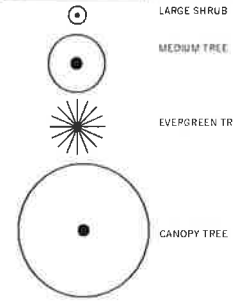
Chad Wuebben, President

**BURNT SIENNA DRIVE**  
TO BE DESIGNED BY CITY OF MADISON



**LEGEND (PROPOSED)**

- - - - - PROPOSED PROPERTY BOUNDARY  
 . . . . . EASEMENT  
 \_\_\_\_\_ BUILDING FOOTPRINT  
 [Hatched Box] ASPHALT PAVEMENT  
 [Stippled Box] CONCRETE PAVEMENT  
 (O with dot) LARGE SHRUB



SEE SHEET L100.1 FOR TYPICAL FOUNDATION PLANTINGS, NOTES, PLANT LIST AND LANDSCAPE WORKSHEET.



PAUL SKIDMORE  
LANDSCAPE  
ARCHITECT

**ENCORE**  
HOMES

MADISON, WI 53562

CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI  
Sheet Title:

LANDSCAPE PLAN

Revisions:

[illegible]

Graphic Scale



0' 5' 10' 20' 30'

Myser Number	17-0455
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Set Type	REVIEW
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Date issued	06/24/2019
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Sheet Number	L100
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**DIGGERS HOTLINE**  
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Hearing Impaired TDD (800) 542-2289  
[www.DiggersHotline.com](http://www.DiggersHotline.com)



KEY	QUAN	SIZE	COMMON NAME	ROOT
	<u>34</u>		<u>Canopy Trees</u>	
ABM	4	2 1/2"	Autumn Blaze Maple	BB
AL	4	2 1/2"	American Linden	BB
CH	6	2 1/2"	Hackberry	BB
EP	2	2 1/2"	Exclamation Planetree	BB
IHL	4	2 1/2"	Imperial Honeylocust	BB
QA	6	2 1/2"	Quaking Aspen	BB
RM	5	2 12"	Red Maple	BB
RO	4	2 1/2"	Red Oak	BB
SM	1	2 1/2"	Sugar Maple	BB
SWO	2	2 1/2"	Swamp White Oak	BB
	<u>63</u>		<u>Low Ornamental Trees</u>	
ABS	38	4'	Autumn Brilliance Serviceberry	BB
CP	6	2"	Gallery Pear	BB
PFC	8	2"	Prairie Fire Crab	BB
RBC	4	10'	River Birch Clump	BB
RJC	3	2"	Red Jade Crab	BB
SSC	4	2"	Spring Snow Crab	BB
	<u>15</u>		<u>Evergreen Trees</u>	
ABS	10	4'	Black Hills Spruce	BB
CBS	5	4'	Colorado Blue Spruce	BB
	<u>576</u>		<u>Deciduous Shrubs</u>	
AC	216	18"	Alpine Currant	Pot
AH	7	24"	Annabelle Hydrangea	Pot
AVB	12	36"	Arrowwood Viburnum	Pot
AWS	14	18"	AW Spirea	Pot
BC	53	24"	Black Chokeberry	Pot
DKR	125	18"	Double Knockout Rose	Pot
DN	60	18"	Diablo Ninebark	Pot
GFS	24	18"	Gold Flame Spirea	Pot
HCV	10	36"	Highbush Cranberry Viburnum	Pot
LLV	8	36"	Leatherleaf Viburnum	Pot
MKL	8	36"	Miss Kim Lilac	Pot
RTD	9	24"	Red Twig Dogwood	Pot
WS	30	24"	White Snowberry	Pot
	<u>200</u>		<u>Perennials</u>	
AJS	16	1 G	AJ Sedum	Con
H	7	1 G	Hosta	Con
LBS	133	1 G	Little Bluestem Grass	Con
SDD	44	1 G	Stella de Oro Daylily	Con

**Zoning Classification:**

Developed Area = 15,421 SF  
Landscape Points:  $15,421/300 \times 5 =$  257 points

### Landscape Points Supplied

Existing canopy trees – 0 @ 3

Existing canopy trees - 0 @ 35 =	0 points
Proposed canopy trees - 34 @ 35 =	1,190 points
Existing evergreen trees - 0 @ 35 =	0 points
Proposed evergreen trees - 15 @ 35 =	525 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees - 63 @ 15 =	945 points
Existing upright evergreen shrubs - 0 @ 10 =	0 points
Existing deciduous shrubs - 0 @ 3 =	0 points
Proposed deciduous shrubs - 576 @ 3 =	1,728 points
Existing evergreen shrubs - 0 @ 4 =	0 points
Proposed evergreen shrubs - 0 @ 4 =	0 points
Existing perennials & grasses - 0 @ 2 =	0 points
Proposed perennials & grasses 200 @ 2 =	200 points

**Total landscape points supplied = 4,788 points**

(Section 28.142(5) Development Frontage Landscaping)

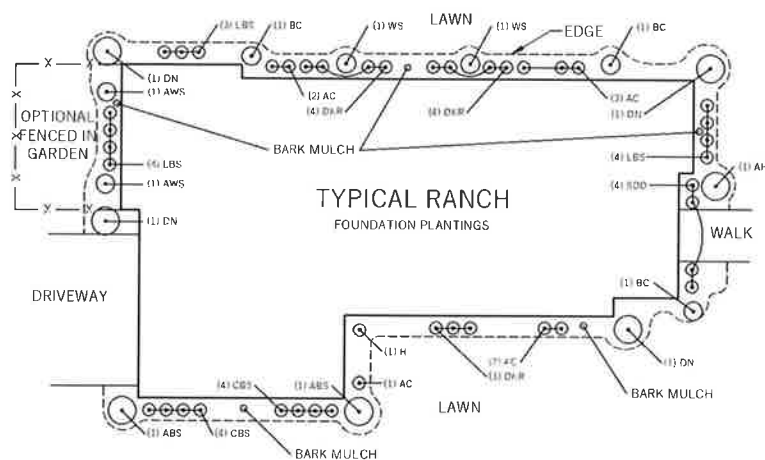
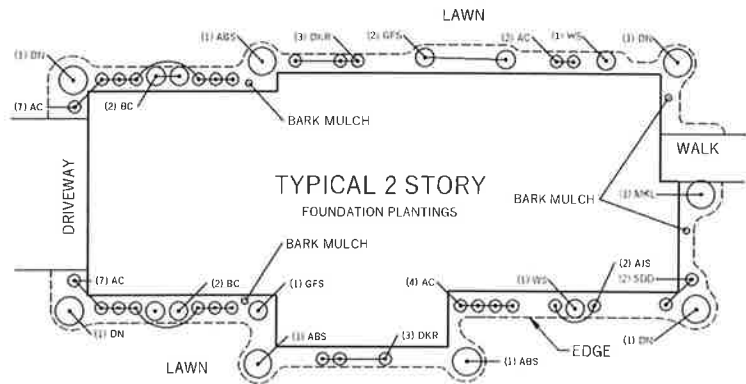
"One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree."

Old Sauk Road, Burn Siena Drive, & Peach Leaf Lane = 960 LF

Over story trees required  $960' / 30' = 32.0$  **32 trees**  
Shrubs required  $(960' / 30') \times 5 = 160.0$  **160 shrubs**

Over story trees supplied	<u>25 trees</u>
Ornamental/Evergreen trees supplied	<u>14 trees</u>
Shrubs supplied	<u>160 shrubs</u>

- 1) Lawn areas to receive a minimum of 4" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw or straw mulch.
- 2) Turf areas in drainage swales and slopes 3:1 and greater shall be mulched with erosion control fabric (installed per manufacturer's specifications).
- 3) Foundation planting beds to be mulched with shredded hardwood bark to a depth of 3".
- 4) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch planting rings (4" diameter) spread to a depth of 3"
- 5) Designated planting beds to be separated from lawn areas with a crisp shovel edge.
- 6) Owner will be responsible for landscape maintenance after completion and acceptance of the project.



**ENCORE**

MADISON, WI 53562

CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

Sheet Title: LANDSCAPE PLAN

Revisions:

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REVIEW

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06/24/2019

Sheet  
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**[www.DiggersHotline.com](http://www.DiggersHotline.com)**

The Primrose - Elevation A  
Updated



6840 SCHNIDER ROAD  
MIDDLETON, WI 53562  
PHONE: (608) 836-9601  
FAX: (608) 836-9691  
www.encorehomes.com

Consultant:

Notes:

EXTERIOR COLORS:

1. VINYL SIDING (1" EXPOSURE) =
2. SHIRT SLEEVES (1" EXPOSURE) =
3. BOARD & BATTEN (1" EXPOSURE) =
4. SHAKES (1" EXPOSURE) =
5. SHAKES (1" EXPOSURE) =
6. VINYL CORNER TRIM =
7. SHIRT CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BANDING =
10. GABLE ACCENTS =
11. COLUMNS =
12. SHUTTERS/SHUTTER (ALUMINUM) =
13. SHUTTERS =
14. RASGROVE =
15. ADON (1" EXPOSURE) =
16. ADON (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

- |     |               |     |               |
|-----|---------------|-----|---------------|
| HB  | HOUSE BATH    | WD  | WOOD          |
| CD  | CASED OPENING | DW  | DISHWASHER    |
| DO  | DOOR          | REF | REFRIGERATOR  |
| VP  | VINYL PAPER   | SO  | SWITCH OUTLET |
| CT  | CURTAIN       | C   | CURB          |
| CT  | CURTAIN       | W   | WASHER        |
| D   | DRIVER        | LPH | LAMINATE      |
| VIL | VINYL         | PS  | PURGING STACK |
| PS  | PURGING STACK |     |               |



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6050	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1	Plaza	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1	Plaza	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1	Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1	Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1	Plaza	
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1	Plaza	
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1	Plaza	
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1	Plaza	
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1	Plaza	
J	4848	2-Wide Single Hung	4'-6" x 4'-0"	4 9/16"	1	Plaza	
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1	Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1	Plaza	
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1	Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1	Plaza	
O							
P							

NOTES:

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



REAR ELEVATION

Revisions:

PRELIMINARY SET:

NO SET: FORMER (COTTAGE) - ELEVATION A

CONSTRUCTION SET:

Project Title:

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE - ELEVATION A

Drawing By: SWE

Drawing Title:

Checked By: KH

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

A3.0

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The Primrose - Elevation A  
Updated

ENCORE  
HOMES

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Consultant:

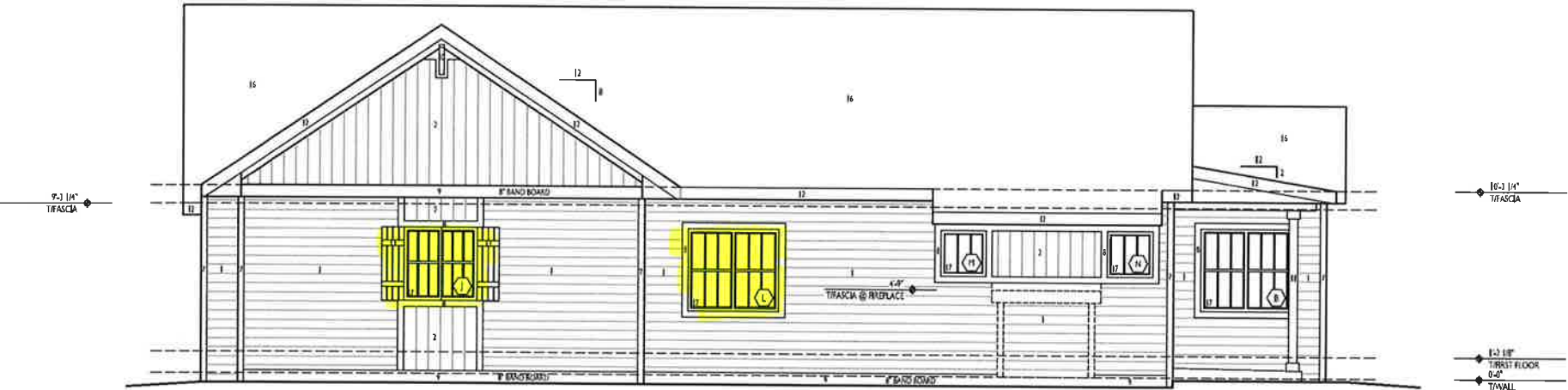
Notes:

EXTERIOR COLORS:

- 0 VINYL SIDING (1" EXPOSURE) =  
1 SHUTTER SIDING (1" EXPOSURE) =  
2 BOARD & BATTEN (ID 3) =  
3 BOARD & BATTEN (ID 3) =  
4 SHAKE (ID 4) =  
5 SHAKE (ID 5) =  
6 VINYL CORNER TRIM =  
7 SHUTTER CORNER TRIM =  
8 WINDOW & DOOR TRIM =  
9 ACCENT BAND =  
10 GABLE ACCENTS =  
11 COLUMNS =  
12 SCOTTISH CLADDING (ALUMINUM) =  
13 SHUTTERS =  
14 FASCIA =  
15 ROOF (SHINGLES) =  
16 WINDOWS =  
17 ENTRY DOOR =  
18 GARAGE DOOR =

STANDARD ABBREVIATIONS:

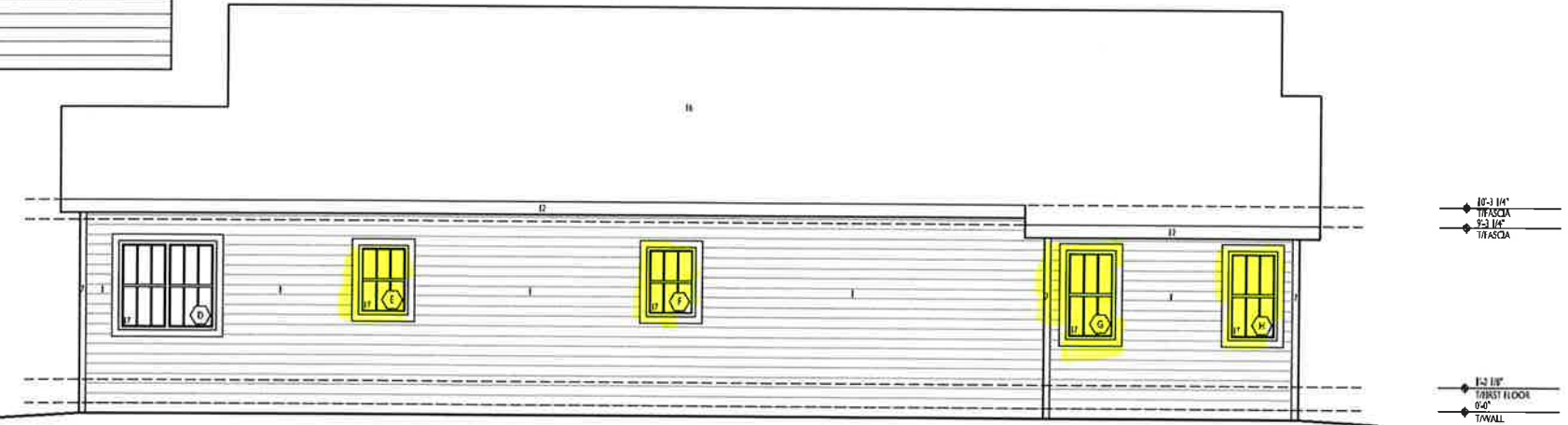
- |     |                  |      |               |
|-----|------------------|------|---------------|
| HS  | HOUSE            | WD   | WOOD          |
| CO  | CASED OPENING    | DW   | DISHWASHER    |
| DO  | DOOR             | REF  | REFRIGERATOR  |
| WP  | WATER PROOF      | SO   | SWITCH/OUTLET |
| CPT | CARPET           | C    | CUPBOARD      |
| CT  | CROWN TRIM       | W    | WASHER        |
| D   | DRYER            | LATE | LAMINATE      |
| V/L | VINYL            | PL   | PUMP/STACK    |
| PS  | PASSEADON SYSTEM |      |               |



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1		Plaza 2
B	6064	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6'-0" x 6"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6'-0" x 6"	1		Plaza
F	3042	Single Hung	2'-6" x 3'-6"	6'-0" x 6"	1		Plaza
G	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		Plaza
H	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		Plaza
I	5054	3-Wide Single Hung	7'-6" x 4'-6"	6'-0" x 6"	1		Plaza
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4'-0" x 6"	1		Plaza
K	3042	Single Hung	2'-6" x 3'-6"	4'-0" x 6"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1		Plaza
M	3030	Fixed	2'-6" x 2'-6"	6'-0" x 6"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6'-0" x 6"	1		Plaza
O							
P							

NOTES:  
\*See job start for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

Revisions

PRELIMINARY SET.

NO SET: FORMERLY COTTAGE 1 - ELEVATION A

CONSTRUCTION SET:

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE - ELEVATION A

Drawn By: SWE

Checked By: KH

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

Project No. Drawing No.

XXX of A3.1

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The Primrose - Elevation B  
Updated



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Consultant

Notes

EXTERIOR COLORS:

1. VINYL SIDING (4" DOORJAMB) =
2. SHIRT SLEEVES (4" DOORJAMB) =
3. BOARD & BATTEN (8" DOOR) =
4. BOARD & BATTEN (8" DOOR) =
5. SHAKE (8" DOOR) =
6. VINYL CORNER TRIM =
7. SHIRT SLEEVES (4" DOORJAMB) =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLLARING =
12. SHIRT SLEEVES (4" DOORJAMB) =
13. SHIRT SLEEVES =
14. MASONRY =
15. ROOF (SHINGLES) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOUSE	WD	WOOD
CO	CASE OPENING	DW	DRAINAGE
DO	DAYWALL OPENING	REF	REFRIGERATOR
VP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VTL	VINYL	PS	PUMPING STACK
PAS	PASSIVE RADON SYSTEM		

WINDOW SCHEDULE - ELEVATION B								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6050	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C	9054	3-Wide Single Hung w/Eligical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza	
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza	
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza	
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza	
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Plaza	
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1		Plaza	
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O								
P								

NOTES:  
\*See job start for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.



FRONT ELEVATION



REAR ELEVATION

Revisions

REVISION SET  
NO SET: HOMES / COTTAGE 1 - ELEVATION AA  
CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE - ELEVATION B

Project No. SWE  
Drawing Title

Checked By: KH

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX  
Project No. Drawing No.

XXX A3.0

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The Primrose - Elevation B  
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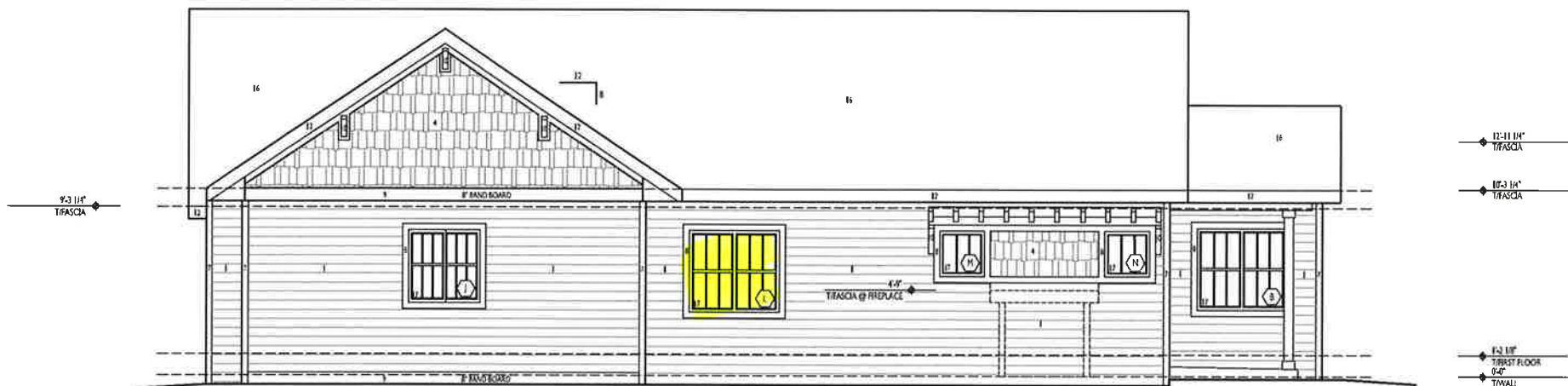
Notes:

EXTERIOR COLORS:

1. VINYL SIDING (4" EXPOSURE) =
2. SHIRT SLEEVES (4" EXPOSURE) =
3. BOARD & BATTEN (4" D) =
4. SQUARE (4" D) =
5. SHAKE (4" D) =
6. VINYL CORNER TRIM =
7. SHIRT CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SHUTTERS =
13. SHUTTERS (ALUMINUM) =
14. MASONRY =
15. ROOF (11" D) =
16. ROOF (11" D) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

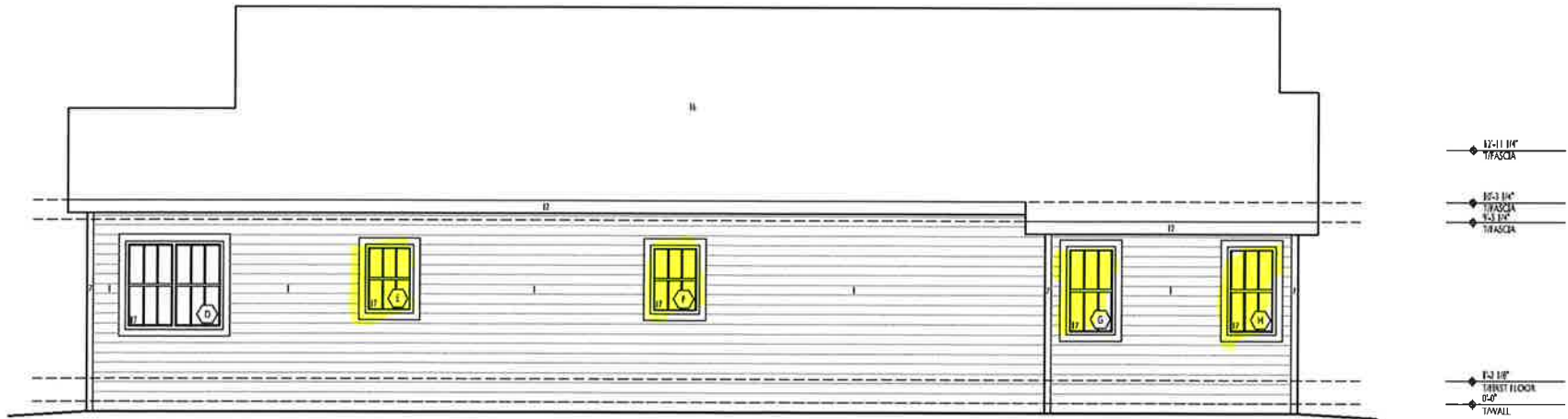
HS	HOSE BIB	WD	WOOD
CO	CAVED OPENING	DW	DISHWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CHIMNEY	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DOOR	LAM	LAMINATE
VIL	VINYL	PS	PLUMBING STACK
PAS	PASSIVE RADON SYSTEM		



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 6'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
C	6054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Plaza
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Plaza
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Plaza
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1		Plaza
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:  
\*See job start for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

Revisions:

- PROPOSED SET:  
NO SET: FORMER (COTTAGE) - ELEVATION AA  
CONSTRUCTION SET

Project Title:

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS

PROJECT: ELEVATION BB

Drawing Br. SWE

Checked By: KH

Drawing Title:

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

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The Primrose - Elevation c  
Updated



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Consultant:

Notes:

EXTERIOR COLORS:

0. VINYL SIDING (4" EXPOSURE) =  
1. SHARP SIDING (4" EXPOSURE) =  
2. BOARD & BATTEN (ID 3) =  
3. BOARD & BATTEN (ID 3) =  
4. SHAKE (ID 4) =  
5. SHAKE (ID 5) =  
6. VINYL CORNER TRIM =  
7. SHARP CORNER TRIM =  
8. WINDOW & DOOR TRIM =  
9. ACCENT BAND =  
10. CABLE ACCENTS =  
11. COLUMNS =  
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =  
13. SHUTTERS =  
14. HUSKIES =  
15. ROOF (SH) =  
16. ROOF (SHINGLES) =  
17. WINDOWS =  
18. ENTRY DOOR =  
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB ROSE BB VDD VWOOD  
CO CASED OPENING DMY DEHWASHER  
DO DRYWALL OVERLAP REF REFRIGERATOR  
WP WATER PROOF SD SWITCH OUTLET  
CPT CARPET C CURB  
CT CERAMIC TILE W WALKER  
D DRYER LMT LAMINATE  
V/L VINYL PS PLUMBING STACK  
PRS PASSIVE RADON SYSTEM

Revisions:

PRELIMINARY SET:

ADD SET: FORMERLY COTTAGE 1 - ELEVATION B

CONSTRUCTION SET:

Project Title:

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE - ELEVATION C

Drawn By: SWE

Checked By: KM

Drawing Title:

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No:

Drawing No:

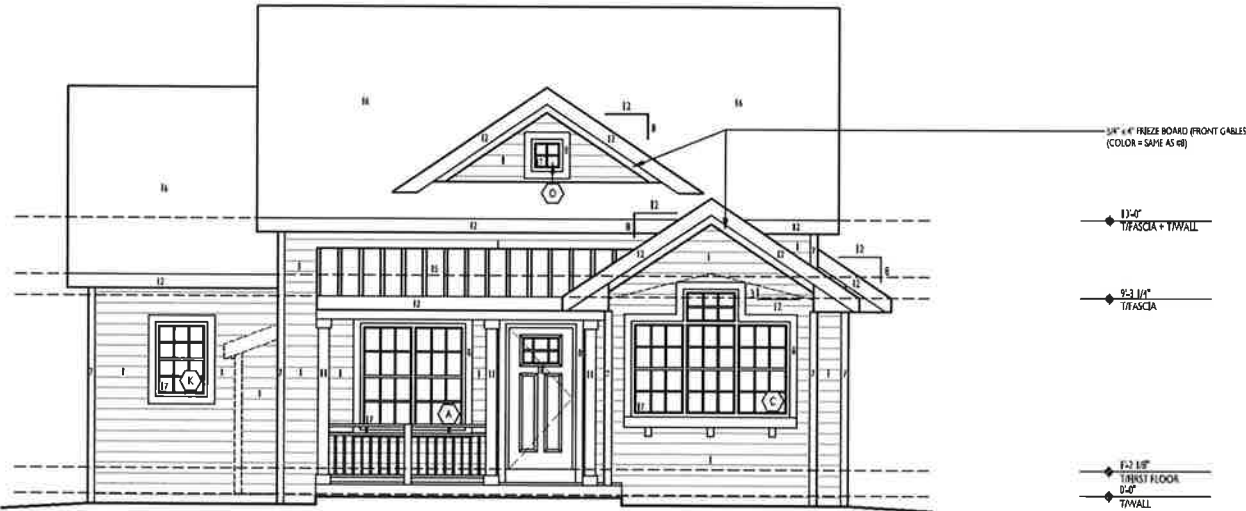
XXX

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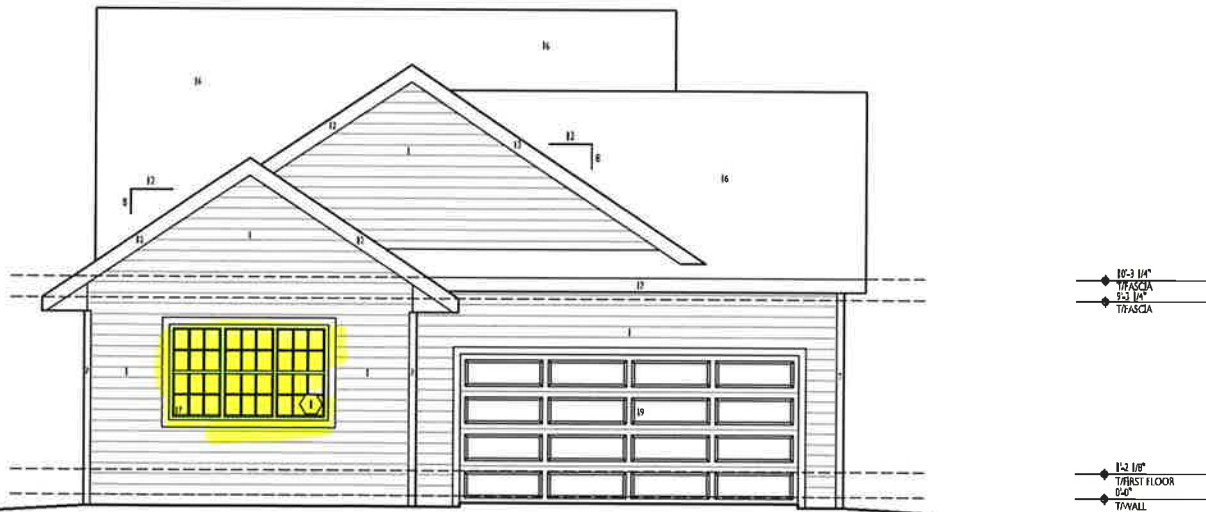
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WINDOW SCHEDULE - ELEVATION C							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6000	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonial
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonial
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial
J	4848	2-Wide Single Hung	4'-0" x 4'-6"	4 9/16"	1		Colonial
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial
L	6054	3-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial
M	3084	2-26"x30" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2-26"x30" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial
P	2430	Fixed	2'-0" x 2'-6"	6 9/16"	1		Colonial

NOTES:  
\*See job start for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.



FRONT ELEVATION



REAR ELEVATION

The Primrose - Elevation c  
Updated



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Consultant

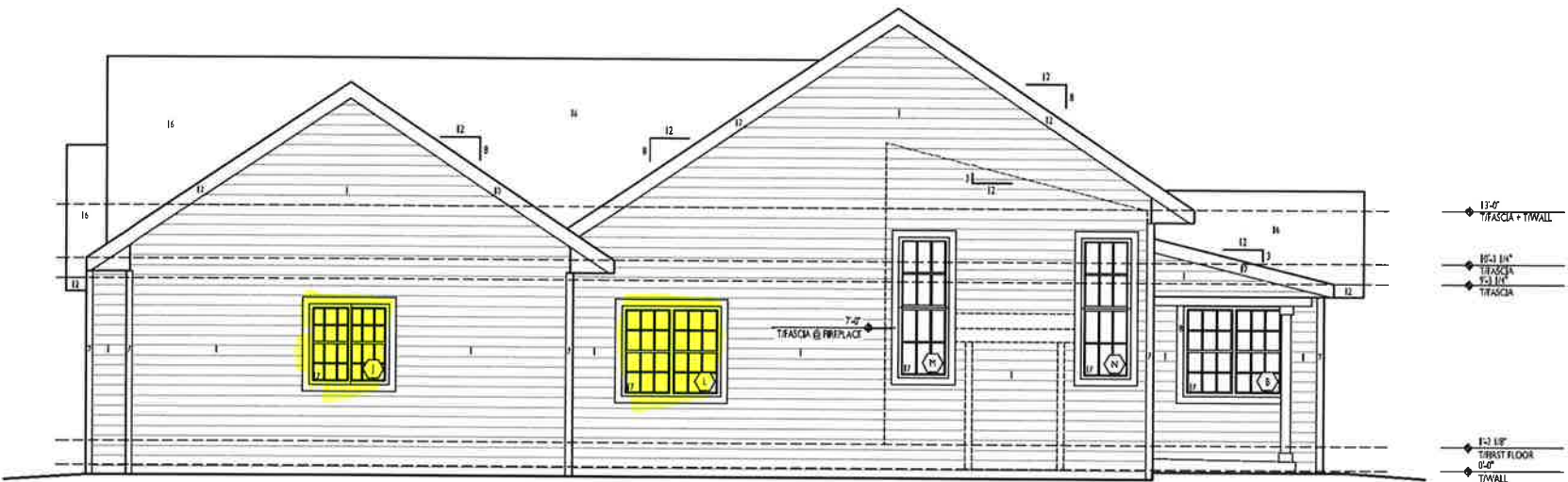
Notes

EXTERIOR COLORS:

1. VINYL SIDING (4" EXPOSURE) =
2. SHIRT SLEEVES (4" EXPOSURE) =
3. BOARD & BATTEN (ID 1) =
4. SHAKE (ID 4) =
5. SHAKE (ID 5) =
6. VINYL CORNER TRIM =
7. SHIRT CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. CABLE ACCENTS =
11. COLUMNS =
12. SOFT FASCIA/CUTTER (ALUMINUM) =
13. SHUTTERS =
14. FUSIONITE =
15. ROOF (SH) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

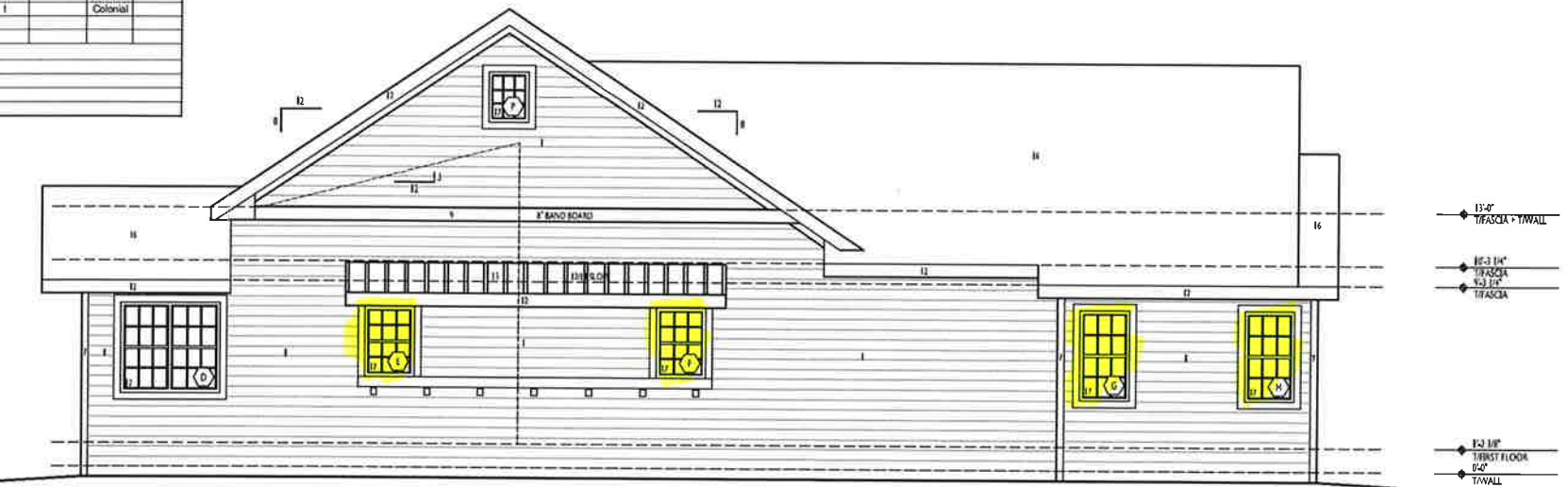
HB	ROSE BIR	WD	WOOD
CO	CASED OPENING	DW	DEHWASHER
DO	DRYWALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CLIMB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LMT	LUMINATE
V/L	VINYL	PS	PLUMBING STACK
FAS	PASIVE RADON SYSTEM		



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION C							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	
B 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C 9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E 3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial	
F 3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial	
G 3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonial	
H 3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonial	
I 9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	
J 4948	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1		Colonial	
K 3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial	
L 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	
M 3084	2-28"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
N 3084	2-28"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
O 1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial	
P 2430	Fixed	2'-0" x 2'-6"	6 9/16"	1		Colonial	

NOTES:  
1 - See job start for window colors.  
2 - Switch active patio door leaf and casement swing for Reversed plans.  
3 - Tempered Glass  
4 - Top of window @ 84" A.F.F.



LEFT ELEVATION

Revisions

REVISIONARY SET:

AD SET: FORMER COTTAGE 1-ELEVATION B

CONSTRUCTION SET:

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE - ELEVATION C

Drawn By: SWE

Checked By: KH

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

A3.1

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The Primrose - Elevation D  
Updated



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Consultant:

Notes:

EXTERIOR COLORS:

1. VINYL SIDING (4" EXPOSURE) =
2. SMART SIDING (4" EXPOSURE) =
3. BOARD & BATTEN (6" J) =
4. SHAKE (6" J) =
5. SHAKE (6" J) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. CABLE ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/CUTTER (ALUMINUM) =
13. SHUTTERS =
14. HUSKERY =
15. ROOF (15) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CABINET	C	CUBES
CT	CERAMIC TILE	W	WASHER
D	DRAIN	LMT	LAMINATE
VT	VINT	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

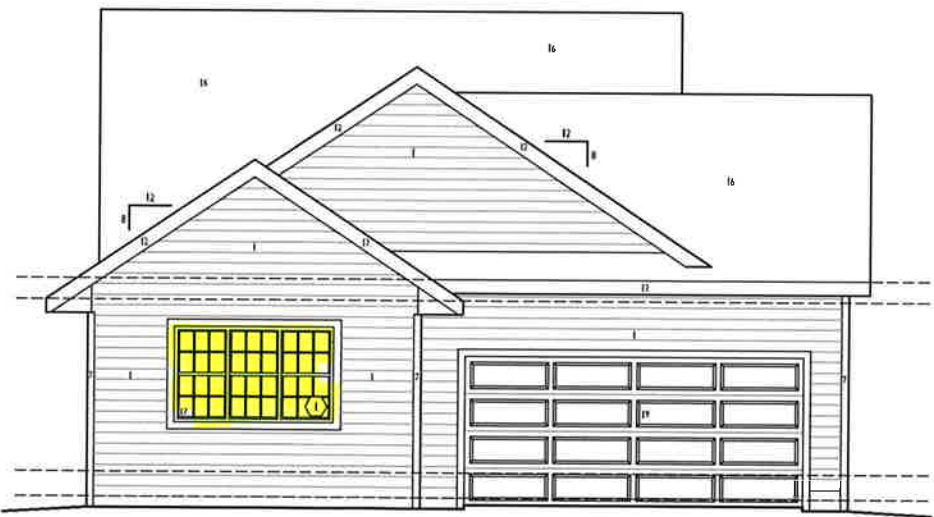


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION D							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6090	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial
C	9054	3-Wide Single Hung w/Eligical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonial
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		Colonial
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4 9/16"	1		Colonial
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial
M	3084	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial
P							

NOTES:

- \*See job start for window colors.
- \*Switch active patio door leaf and casement saving for Reversed plans.
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



REAR ELEVATION

Revisions:

PRELIMINARY SET:

AD SET: FORMERLY COTTAGE 1 - ELEVATION 1B

CONSTRUCTION SET:

Project Title:

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE - ELEVATION D

Drawn By: SWE

Checked By: KKH

Drawing Title:

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX

A3.0

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The Primrose - Elevation D  
Updated

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FAX: (608) 836-7691  
www.encorebuildingsolutions.com

Consultant

Notes

EXTERIOR COLORS:

1. VINYL SIDING (4" EXPOSURE) =  
2. SHIRT SLEEVES (4" EXPOSURE) =  
3. SHIRT SLEEVES (4" EXPOSURE) =  
4. SHIRT SLEEVES (4" EXPOSURE) =  
5. SHIRT SLEEVES (4" EXPOSURE) =  
6. SHIRT SLEEVES (4" EXPOSURE) =  
7. SHIRT SLEEVES (4" EXPOSURE) =  
8. SHIRT SLEEVES (4" EXPOSURE) =  
9. SHIRT SLEEVES (4" EXPOSURE) =  
10. SHIRT SLEEVES (4" EXPOSURE) =  
11. SHIRT SLEEVES (4" EXPOSURE) =  
12. SHIRT SLEEVES (4" EXPOSURE) =  
13. SHIRT SLEEVES (4" EXPOSURE) =  
14. SHIRT SLEEVES (4" EXPOSURE) =  
15. SHIRT SLEEVES (4" EXPOSURE) =  
16. SHIRT SLEEVES (4" EXPOSURE) =  
17. SHIRT SLEEVES (4" EXPOSURE) =  
18. SHIRT SLEEVES (4" EXPOSURE) =  
19. SHIRT SLEEVES (4" EXPOSURE) =

STANDARD ABBREVIATIONS:

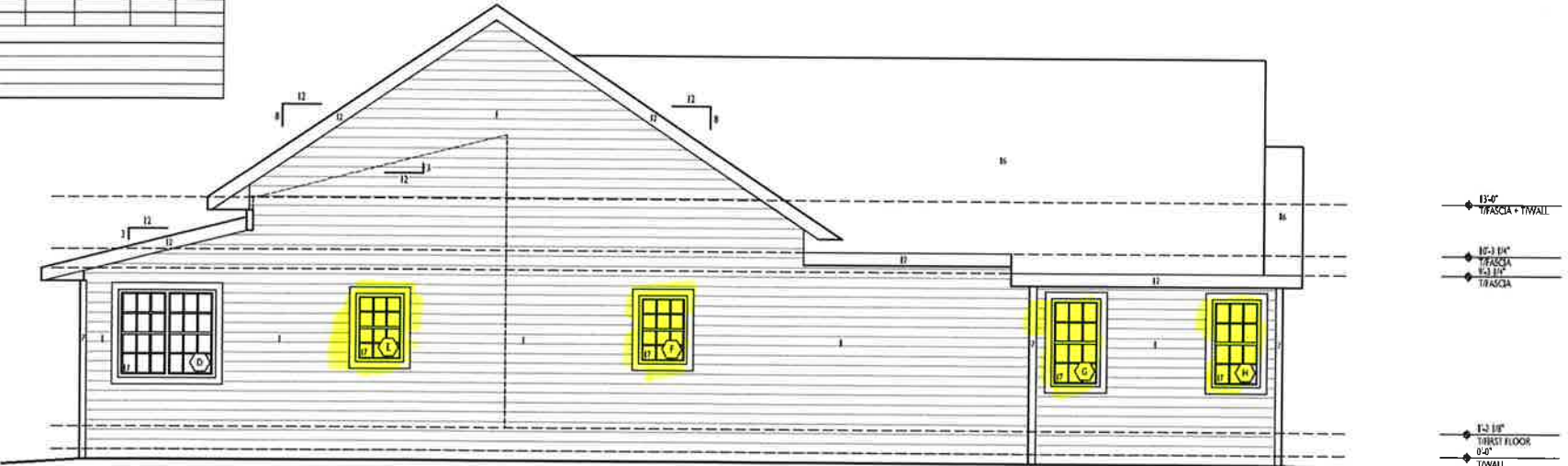
HB	ROSE BB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRY WALL OPENING	RF	REFRIGERATOR
WF	WATER PROOF	SO	SWITCH/OUTLET
CT	CABINET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRAIN	LH	LAPINATE
YVL	VINYL	PS	PLUMBING TRACK
PS	PASSENGER SYSTEM		



WINDOW SCHEDULE - ELEVATION D							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL/NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-9 1/8"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6'-9 1/8"	1		Colonial
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial
E	3042	Single Hung	2'-6" x 3'-6"	6'-9 1/8"	1		Colonial
F	3042	Single Hung	2'-6" x 3'-6"	6'-9 1/8"	1		Colonial
G	3054	Single Hung	2'-6" x 4'-6"	6'-9 1/8"	1		Colonial
H	3054	Single Hung	2'-6" x 4'-6"	6'-9 1/8"	1		Colonial
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6'-9 1/8"	1		Colonial
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4'-9 1/8"	1		Colonial
K	3042	Single Hung	2'-6" x 3'-6"	4'-9 1/8"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial
M	3094	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6'-9 1/8"	1		Colonial
N	3084	2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6'-9 1/8"	1		Colonial
O	4818	Fixed	4'-0" x 1'-0"	6'-9 1/8"	2		Colonial
P							

NOTES:  
\*See job start for window colors  
\*Sketch active patio door leaf and casement, saving for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.

RIGHT ELEVATION



LEFT ELEVATION

Revisions

PRELIMINARY SET:

AND SET: FORMERLY COTTAGE 1 - ELEVATION 06

CONSTRUCTION SET:

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE - ELEVATION D

Drawing By: SWE

Checked By: KH

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

Drawing No.

XXX of . pages A3.1

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The Willow - Elevation A  
Updated

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www.encorebuildings.com

Complete

Notes

EXTERIOR COLORS:

- 1 VINYL SIDING (4" EXPOSURE) =  
2 SHUNT SIDING (4" EXPOSURE) =  
3 BOARD & BATTEN (4" D) =  
4 SHAKE (4" D) =  
5 SHAKE (4" D) =  
6 VINYL CORNER TRIM =  
7 SHUNT CORNER TRIM =  
8 WINDOW & DOOR TRIM =  
9 ACCENT BAND =  
10 GABLE ACCENTS =  
11 COLUMNS =  
12 SOFFIT/ASCIA/CUTTER (ALUMINUM) =  
13 SHUTTERS =  
14 HAZARD =  
15 ROOF (SH) =  
16 ROOF (SHINGLES) =  
17 WINDOWS =  
18 ENTRY DOOR =  
19 GARAGE DOOR =

STANDARD ABBREVIATIONS:

H8	HOSE BB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CT	CABINET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LH	LAMINATE
VIL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

Revisions

PRELIMINARY SET:

NO SET: FORMERLY COTTAGE 2 - ELEVATION A

CONSTRUCTION SET:

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE

Checked By: KH

Drawing Title

Exterior Elevations

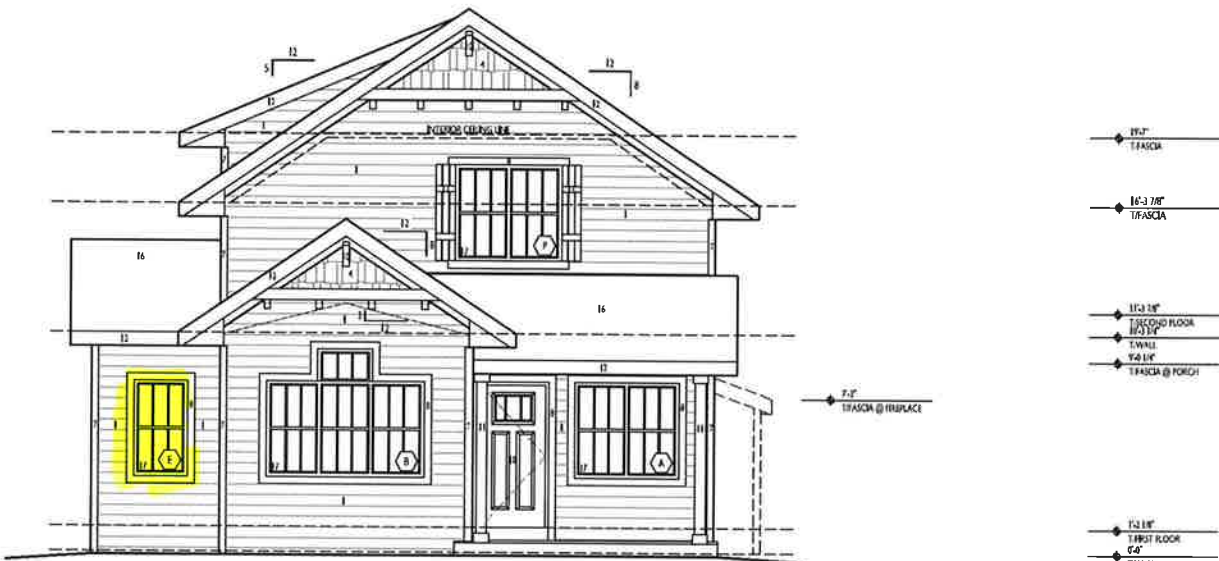
Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

Project No.

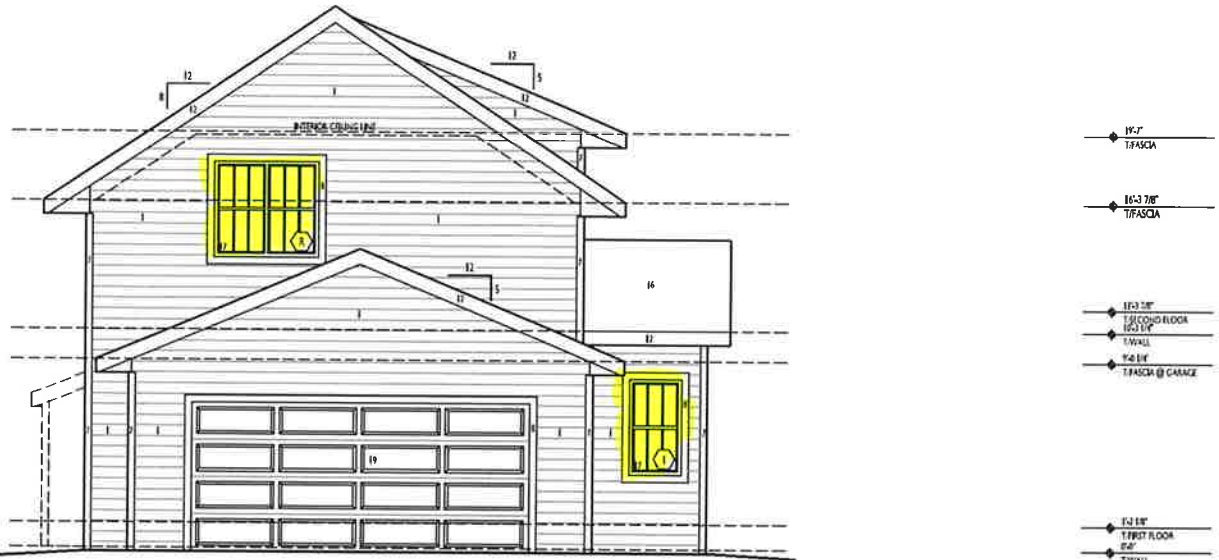
Drawing No.

XXX of . . . A3.0

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FRONT ELEVATION



REAR ELEVATION

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6060	2 Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1			Place
B 9054	3 Wide Single Hung w/ 18" Transom	7'-4" x 4'-4"	6'-0" x 6"	1			Place
C 6034	2 Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			Place
D 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			Place
E 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			Place
F 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			Place
G 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			Place
H 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			Place
I 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			Place
J 4848	2 Wide Single Hung	4'-0" x 4'-0"	4'-0" x 4"	1			Place
K 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			Place
L 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			Place
M 2054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			Place
N 3030	Fixed	2'-0" x 2'-0"	6'-0" x 6"	1			Place
O 3030	Fixed	2'-0" x 2'-0"	6'-0" x 6"	1			Place
P 6054	2 Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			Place
Q 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			Place
R 6054	2 Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			Place
S 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			Place
T							

NOTES:  
1 - See job start for window colors.  
2 - Switch active patio door trim and casement using for Reversed plans.  
3 - Tempered Glass.  
4 - Insulating Glass Unit to be installed in 6'-0" x 6" jambs.



The Willow - Elevation A  
Updated



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Consult

Notes

EXTERIOR COLORS:

- 0 VINYL SIDING (1" EXPOSURE) =  
1 SMART SIDING (1" EXPOSURE) =  
2 BOARD & BATTEN (ID 2) =  
3 BOARD & BATTEN (ID 3) =  
4 SHANK (ID 4) =  
5 SHANK (ID 5) =  
6 WHITE CORNER TRIM =  
7 SMART CORNER TRIM =  
8 WINDOW & DOOR TRIM =  
9 ACCENT BAND =  
10 GABLE ACCENTS =  
11 COLUMNS =  
12 SHUTTERFACE/CUTTER (ALUMINUM) =  
13 SHUTTERS =  
14 MASONRY =  
15 ROOF (H) =  
16 ROOF (SHINGLES) =  
17 WINDOWS =  
18 ENTRY DOOR =  
19 GARAGE DOOR =

STANDARD ABBREVIATIONS:

HS	HOSE SH	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOOR	REF	REFRIGERATOR
VP	VINYL POOR	SO	SWITCH OUTLET
CPT	CERAMIC TILE	C	CUBSE
CT	CERAMIC TILE	W	WASHER
D	DOOR	LAM	LAMINATE
VTL	VINYL	PS	PLUMBING STACK
FAS	FAS		

Revisions

PRELIMINARY SET

NO SET FORMERLY COTTAGE 2 - ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW, ELEVATION A

Drawing By: SWE

Checked By: KH

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

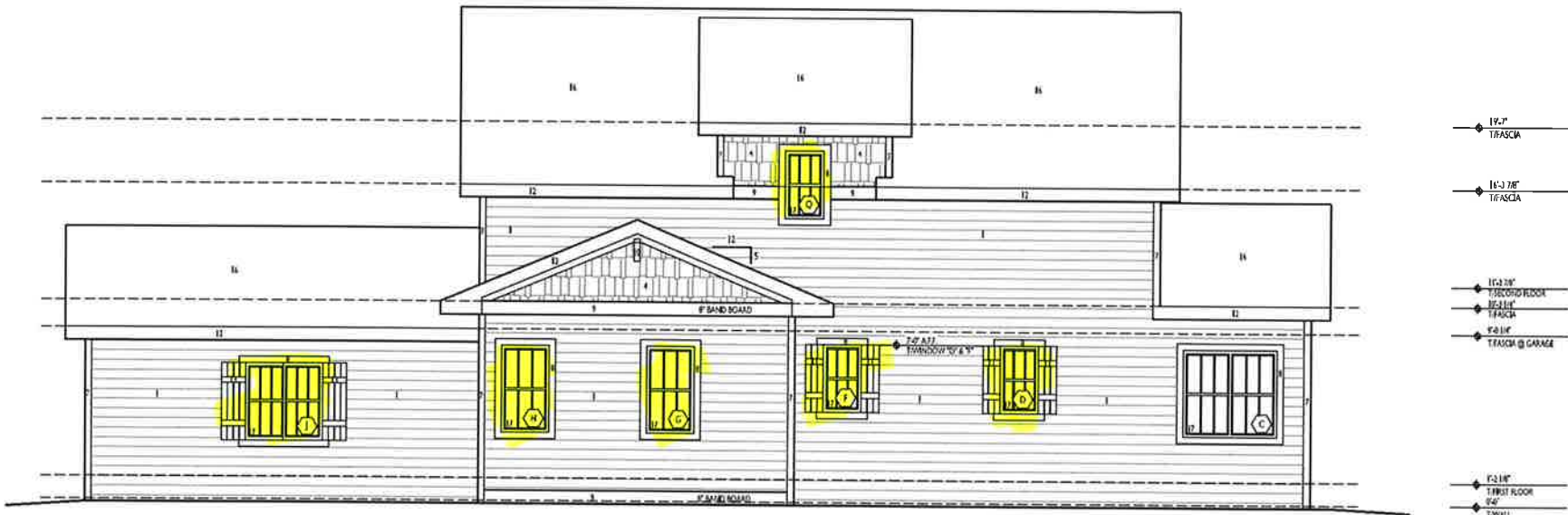
Project No.

Drawing No.

XXX

A3.1

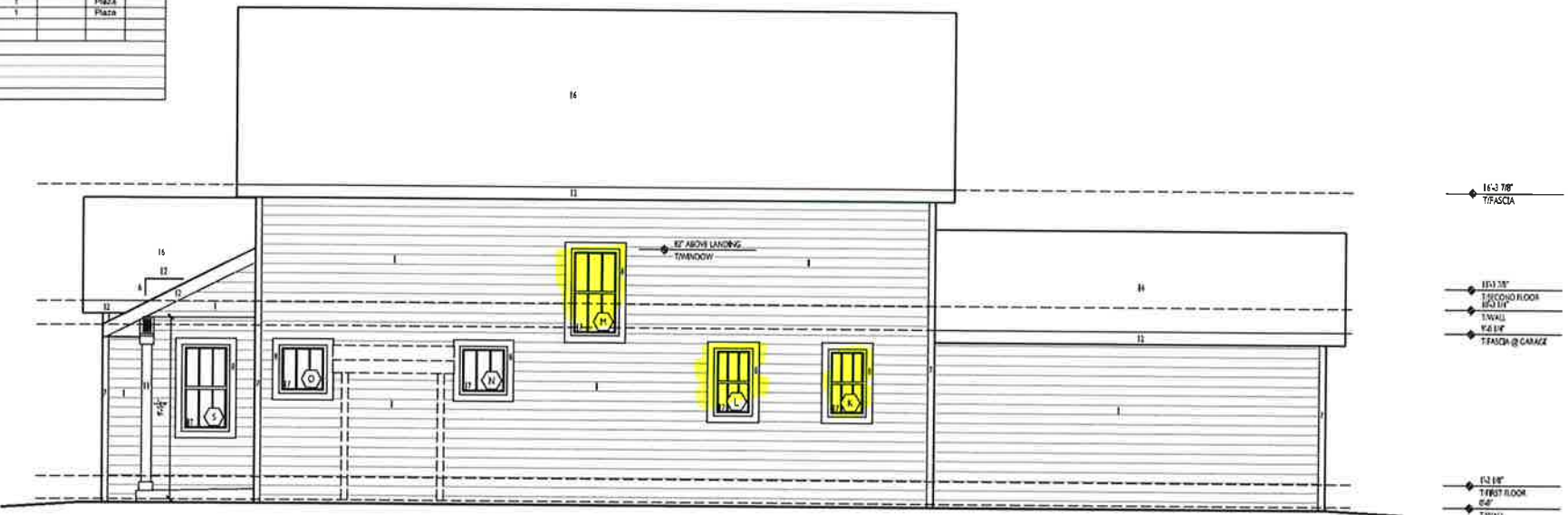
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LEFT ELEVATION

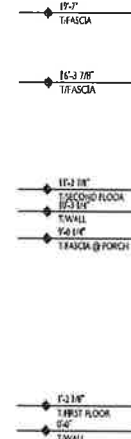
WINDOW SCHEDULE - ELEVATION A									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES	
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 16"	1			Plaza	
B	9054	3-Wide Single Hung w/ 18" Transom	7'-4" x 4'-6"	8'-0" x 16"	1			Plaza	
C	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 16"	1			Plaza	
D	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1			Plaza	
E	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
F	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1			Plaza	
G	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
H	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
I	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
J	4848	2-Wide Single Hung	4'-0" x 4'-0"	4'-0" x 16"	1			Plaza	
K	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1			Plaza	
L	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1			Plaza	
M	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
N	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
O	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
P	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 16"	1			Plaza	
Q	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1			Plaza	
R	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 16"	1			Plaza	
S	3054	Single Hung	2'-6" x 4'-6"	6'-0" x 16"	1			Plaza	
T									

NOTES:  
1- See job start for window colors  
2- Switch action patio door leaf and casement swing for Revised plans  
3- Tempered Glass  
4- Insulating Glass Unit to be installed in 6'-0" x 16" units



RIGHT ELEVATION

## Updated

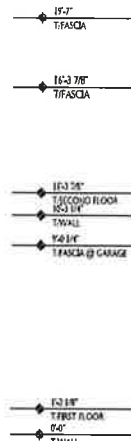


6. VINYL SIDING (4" EXPOSURE) =
7. SHARP SIDING (8" EXPOSURE) =
2. BOARD & BATTEN (12 1/2" =
3. BOARD & BATTEN (10 1/2" =
4. SHAKE (12 1/4" =
5. SHAKE (10 1/2" =
6. VINYL CORNER TRIM =
7. SHARP CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SOFTLINE GUTTER (ALUMINUM) =
13. SHUTTERS =
14. FASIGNURE =
15. ROOF (110) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBLE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
V/L	VINYL	PS	PLUMBING STACK
PLS	PASSIVE RADON SYSTEM		

**NOTES:**

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Rising Patio Door to be installed in 6-9'16" jamb



Project Title

ADDRESS  
WILLOW ELEVATION B

### Exterior Elevations

Scale: 1/4" = 1'-0"      Date: XX/XX/XXXX

XXX A3.0

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The Willow - Elevation B  
Updated

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HOMES

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FAX: (608) 836-9691  
www.encorebuildingsolutions.com

Consultant

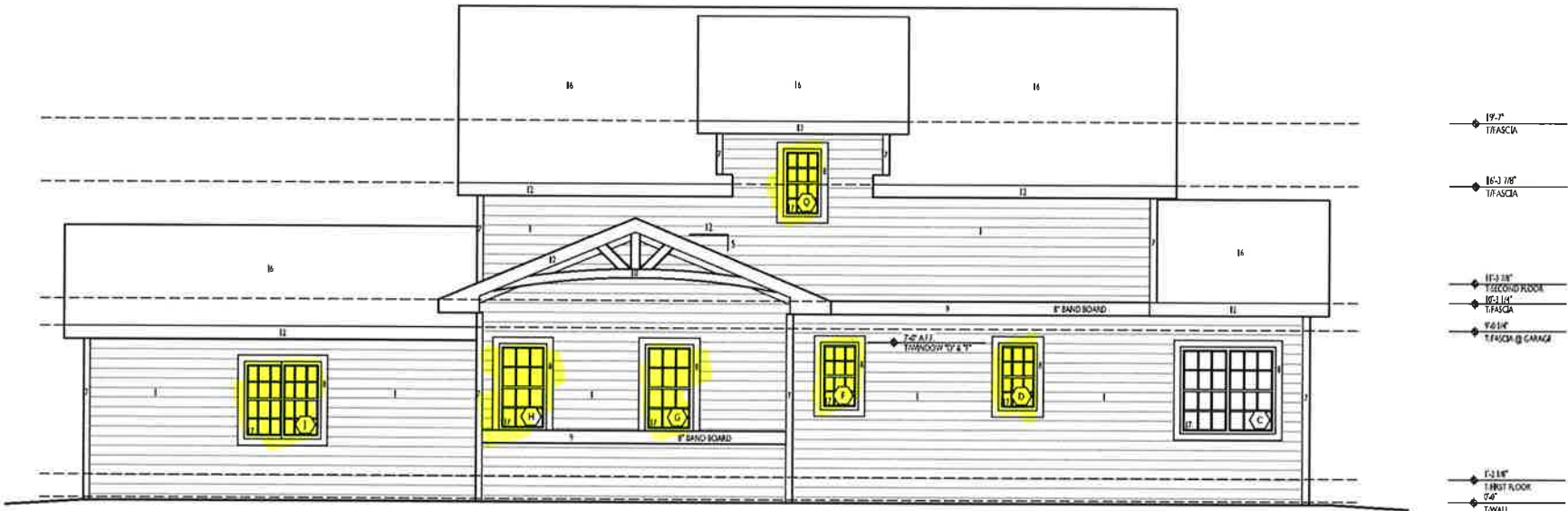
Notes

EXTERIOR COLORS:

- 1 VINYL SIDING (H' EXPOSURE) =  
2 SHIRT SIDING (H' EXPOSURE) =  
3 BOARD & BATTEN (H' D) =  
4 SHAVE (H' D) =  
5 SHAVE (H' D) =  
6 VINYL CORNER TRIM =  
7 SHIRT CORNER TRIM =  
8 WINDOW & DOOR TRIM =  
9 ACCENT BAND =  
10 GABLE ACCENTS =  
11 COLUMNS =  
12 SHIRT SIDING/GUTTER (ALUMINUM) =  
13 SHUTTERS =  
14 FASCIA =  
15 ROOF (H' D) =  
16 ROOF (SHINGLES) =  
17 WINDOWS =  
18 ENTRY DOOR =  
19 GARAGE DOOR =

STANDARD ABBREVIATIONS:

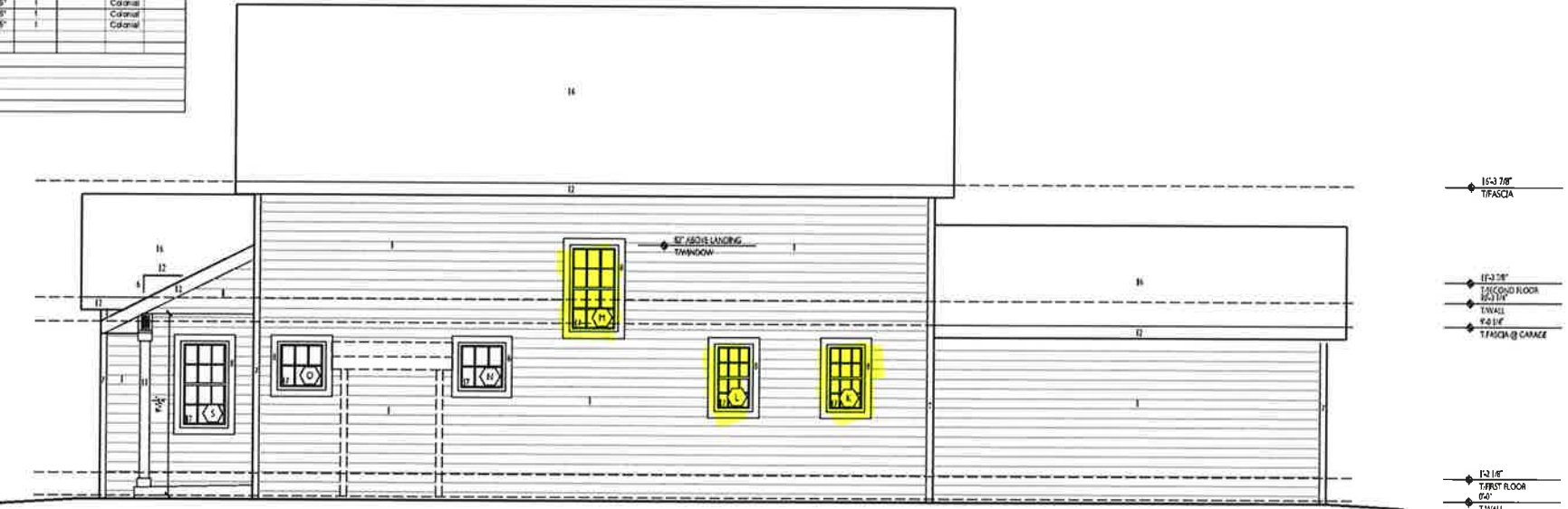
- |     |                      |     |                |
|-----|----------------------|-----|----------------|
| HB  | ROSE BB              | WD  | WOOD           |
| CO  | CASED OPENING        | DW  | DISH WASHER    |
| DO  | DAYWALL OPENING      | REF | REFRIGERATOR   |
| WP  | WATER PROOF          | SO  | SWITCH OUTLET  |
| CT  | CABINET              | C   | CURB           |
| CY  | CERAMIC TILE         | W   | WASHER         |
| D   | DRYER                | LH  | LAMP           |
| V/L | VENT                 | PL  | PLUMBING STACK |
| PS  | PASSIVE RADON SYSTEM |     |                |



WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A 6000	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1	Colonial		
B 8054	3-Wide Single Hung	7'-6" x 4'-6"	8'-0" x 6"	1	Colonial		
C 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1	Colonial		
D 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1	Colonial		
E 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1	Colonial		
F 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1	Colonial		
G 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1	Colonial		
H 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1	Colonial		
I 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1	Colonial		
J 4848	2-Wide Single Hung	4'-0" x 4'-0"	4'-0" x 6"	1	Colonial		
K 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1	Colonial		
L 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1	Colonial		
M 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1	Colonial		
N 3030	Fixed	2'-0" x 3'-0"	6'-0" x 6"	1	Colonial		
O 3030	Fixed	2'-0" x 3'-0"	6'-0" x 6"	1	Colonial		
P 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1	Colonial		
Q 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1	Colonial		
R 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1	Colonial		
S 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1	Colonial		
T							

NOTES:  
1 - See job start for window colors.  
2 - Switch active patio door leaf and casement swing for Reversed plans.  
3 - Tempered Glass.  
4 - Existing Patio Door to be installed in 6'-0" x 6" jamb.

LEFT ELEVATION



RIGHT ELEVATION

Revisions  
PREPARED BY SET:  
80 SET: FORMERLY COTTAGE 2 - ELEVATION AA  
CONSTRUCTION SET:

Project Title  
OWNER/SPEC  
SUBDIVISION  
LOT #  
ADDRESS  
WILLOW - ELEVATION B

Drawing By: SWE  
Drawing Title  
Exterior Elevations  
Project No.  
Drawing No.

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

XXX of XXX pages A3.1

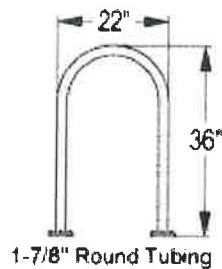
THIS PRINT AND / OR SET IS THE PROPERTY OF ENCORE HOMES, INC. AND THE USE OF THIS PRINT IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ENCORE HOMES, INC. ENCORE HOMES, INC. SHALL HAVE CONSTRUCTION LIEN RIGHTS FOR THE USE OF THEIR BLUEPRINTS, DRAWINGS, PLANS, AND / OR SPECIFICATIONS.

## Updated Proposed Bike Racks



### Traditional Inverted 'U'

Ubiquitous to many urban areas, the inverted 'U' bike rack has become the de facto bike rack for streetscapes everywhere. It's easy to understand why—with its simplistic, compact design and small footprint it is perfectly suited for high traffic areas. The 'U' rack provides ample space for two bikes to both properly secure wheel and frame.



# URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_  
Date received \_\_\_\_\_  
Received by \_\_\_\_\_  
Aldermanic District \_\_\_\_\_  
Zoning District \_\_\_\_\_  
Urban Design District \_\_\_\_\_  
Submittal reviewed by \_\_\_\_\_  
Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

### 1. Project Information

Address: Lots 1 and 45, Plat of Chapel View, Madison WI  
Title: The Cottages At Chapel View

### 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested May 29, 2019

- ☐ New development ☐ Alteration to an existing or previously-approved development  
☐ Informational ☒ Initial approval ☐ Final approval

### 3. Project Type

- ☐ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☐ Planned Development (PD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)  
☒ Planned Multi-Use Site or Residential Building Complex

#### Signage

- ☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)

#### Other

- ☒ Please specify  
Review of Conditional Use - TR-VI  
(Reduction of yard setback requirements in a Residential Building Complex)

### 4. Applicant, Agent, and Property Owner Information

Applicant name Chad Wuebben, President  
Street address 6840 Schneider Road  
Telephone 608-836-9601

Project contact person Same As Applicant  
Street address \_\_\_\_\_  
Telephone \_\_\_\_\_

Property owner (if not applicant) Same As Applicant  
Street address \_\_\_\_\_  
Telephone \_\_\_\_\_

Company Chapel View Development Company Inc  
City/State/Zip Middleton WI 53562  
Email cwuebben@encorehomesinc.com

Company \_\_\_\_\_  
City/State/Zip \_\_\_\_\_  
Email \_\_\_\_\_

**5. Required Submittal Materials**

- ☒ **Application Form**
- ☒ **Letter of Intent**
- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development plans** (Refer to checklist on Page 4 for plan details)
- ☒ **Filing fee** *NA*
- ☒ **Electronic Submittal\***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on January 23, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Chad Wuebben, President Relationship to property President of Owner

Authorizing signature of property owner  Date April 3, 2019

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☒ Urban Design Districts: \$350 (per §35.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)
- \* A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
  - Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
  - Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
  - ☒ Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

UDC

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☒ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit





April 4, 2019

Ms. Natalie Erdman  
Director  
Department of Planning & Community & Economic Development  
City of Madison  
215 Martin Luther King Jr Blvd  
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V1) – The Cottages At Chapel View

Dear Ms. Erdman,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

## **Project Team**

### **Applicant:**

Chapel View Development Company Inc.  
Chad Wuebben, President  
6840 Schneider Road  
Middleton WI 53562  
[cwuebben@encorehomesinc.com](mailto:cwuebben@encorehomesinc.com)  
608-444-7752

### **Engineer:**

Wyser Engineering  
Wade Wyse, Owner  
312 East Main Street  
Mount Horeb WI 53572  
[wade.wyse@wyserengineering.com](mailto:wade.wyse@wyserengineering.com)  
608-843-3388

### General Contractor:

Encore Homes, Inc.  
Chad Wuebben, President  
6840 Schneider Road  
Middleton WI 53562  
[cwuebben@encorehomesinc.com](mailto:cwuebben@encorehomesinc.com)  
608-444-7725

### Project Sales:

Encore Real Estate Services, Inc.  
Cari Fuss, Managing Broker  
6840 Schneider Road  
Middleton WI 53562  
[cfuss@encorehomesinc.com](mailto:cfuss@encorehomesinc.com)  
608-843-2500

## Project Overview

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V1 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will be platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

#### **Lot 1    1.93 Acres    84,052 Square Feet**

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	$3000 \times 15 = 45,000$	$500 \times 15 = 7,500$	$45,000 + 7,500 = 52,500$

#### **Lot 45    1.81 Acres    78,888 Square Feet**

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
13	$3000 \times 13 = 39,000$	$500 \times 15 = 6,500$	$45,000 + 7,500 = 52,500$

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the "front" yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In



essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison's growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.

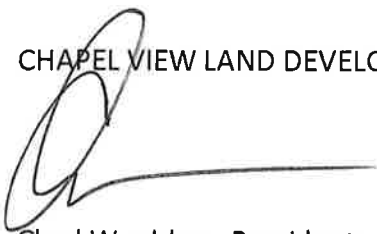
According to "The Direct Impact of Housing and Remodeling on the U.S. Economy" by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of June, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.

A handwritten signature in black ink, consisting of a stylized 'C' followed by a horizontal line.

Chad Wuebben, President

Old Sauk Road

Intergenerational  
Center

Burnt Sienna Drive

Peach Leaf Lane

Big Stone Trail

Burnt Sienna Drive

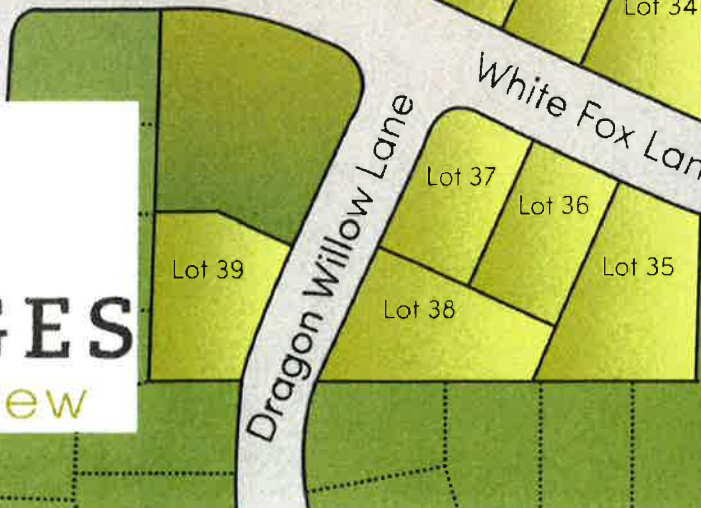
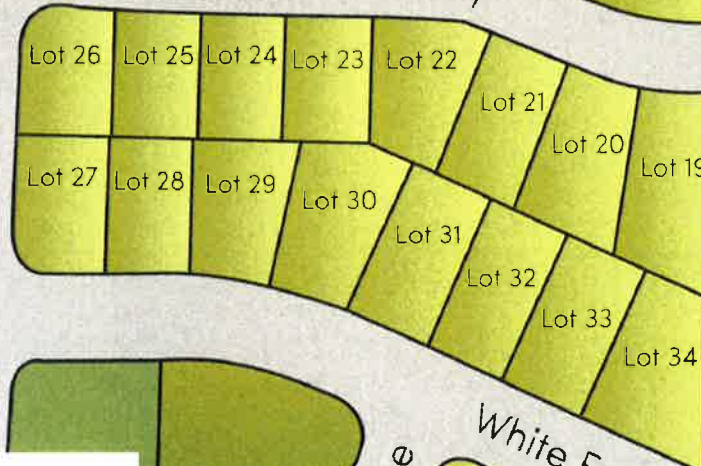
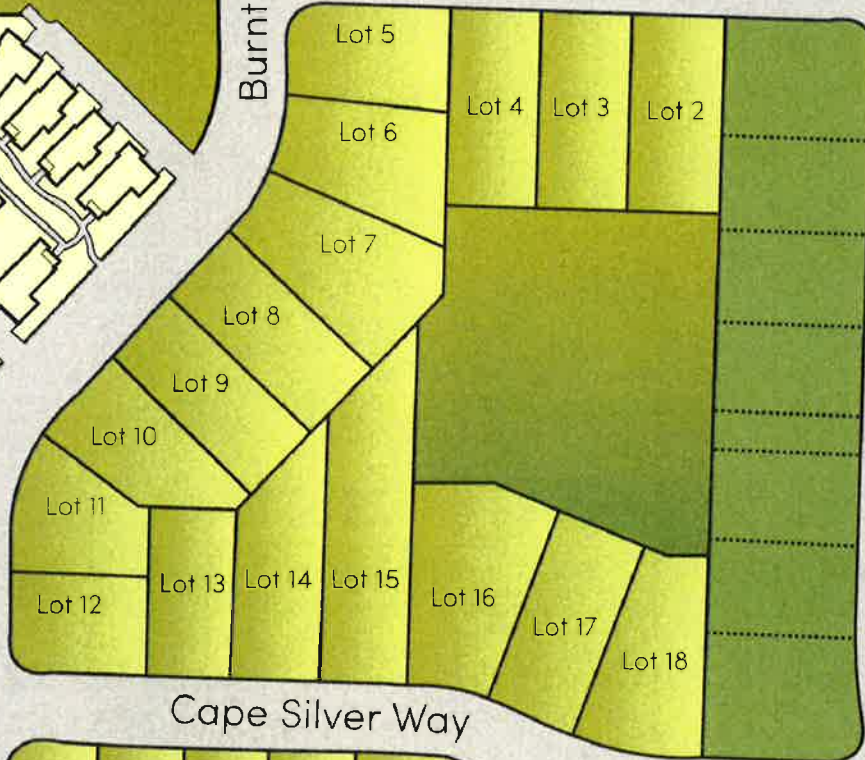
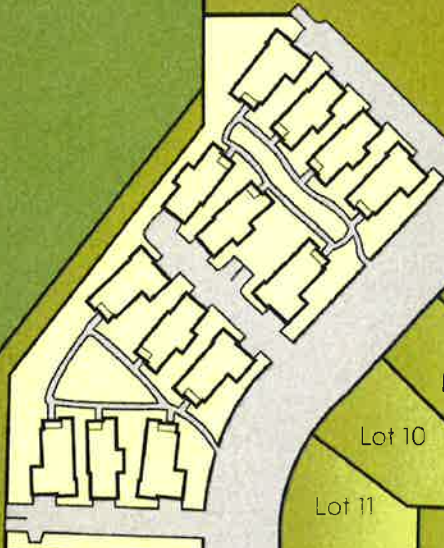
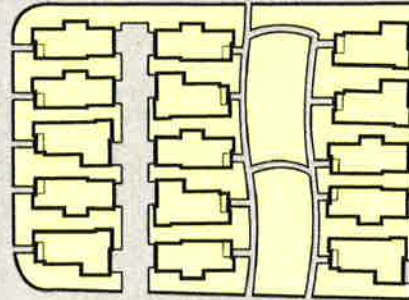
Cape Silver Way

White Fox Lane

Dragon Willow Lane



**COTTAGES**  
at Chapel View





## The Cottages At Chapel View – Site Location





Site View Looking  
North from White Fox  
Lane at Dragon  
Willow Lane



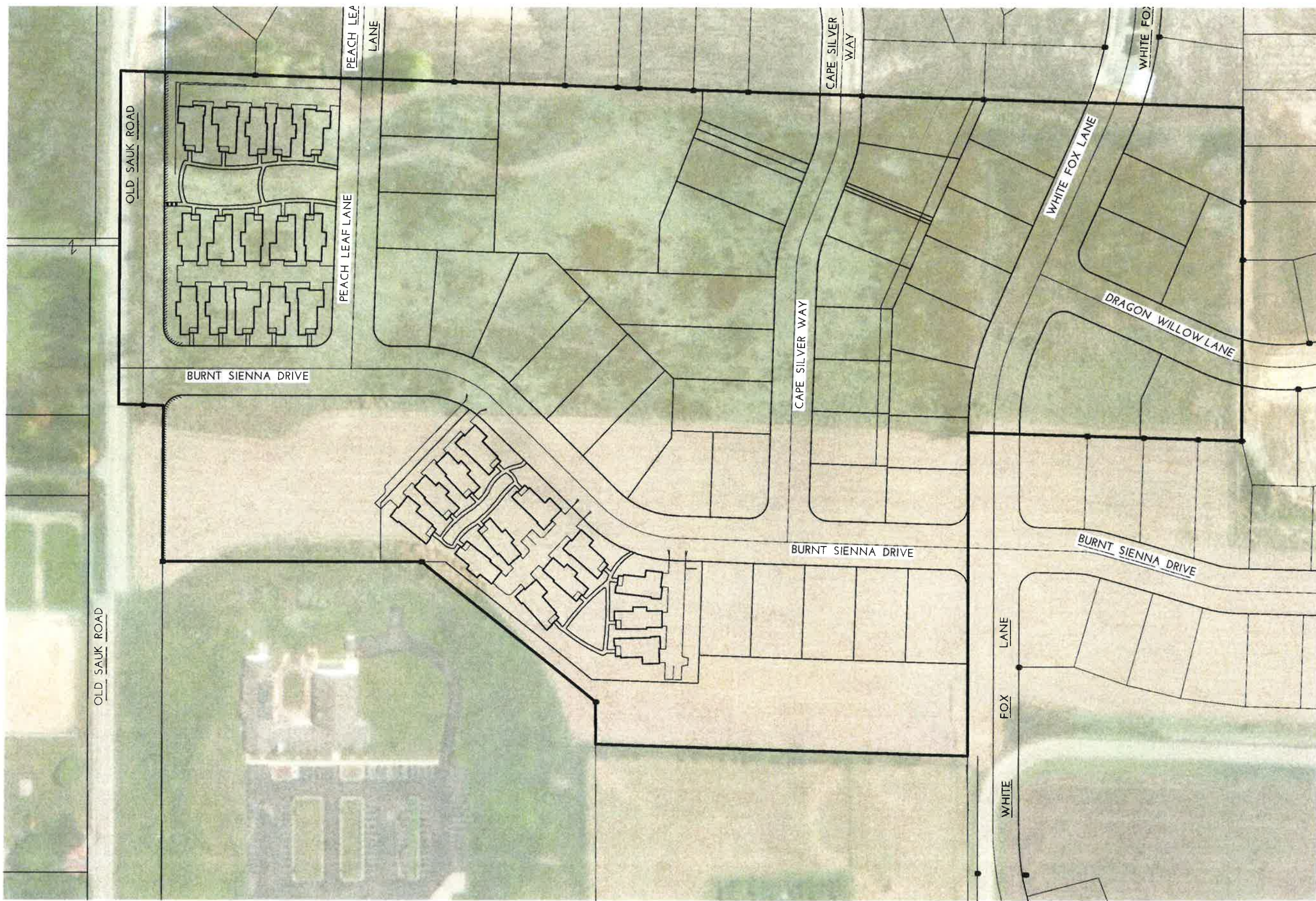
Middleton Community  
Church - West of  
Site



Homes in the Willows  
Neighborhood - East  
of Site



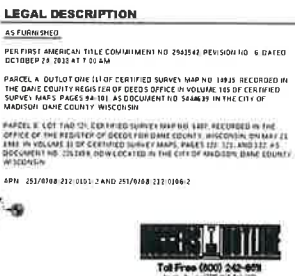
# Cottages At Chapel View - Proposed Plat Layout











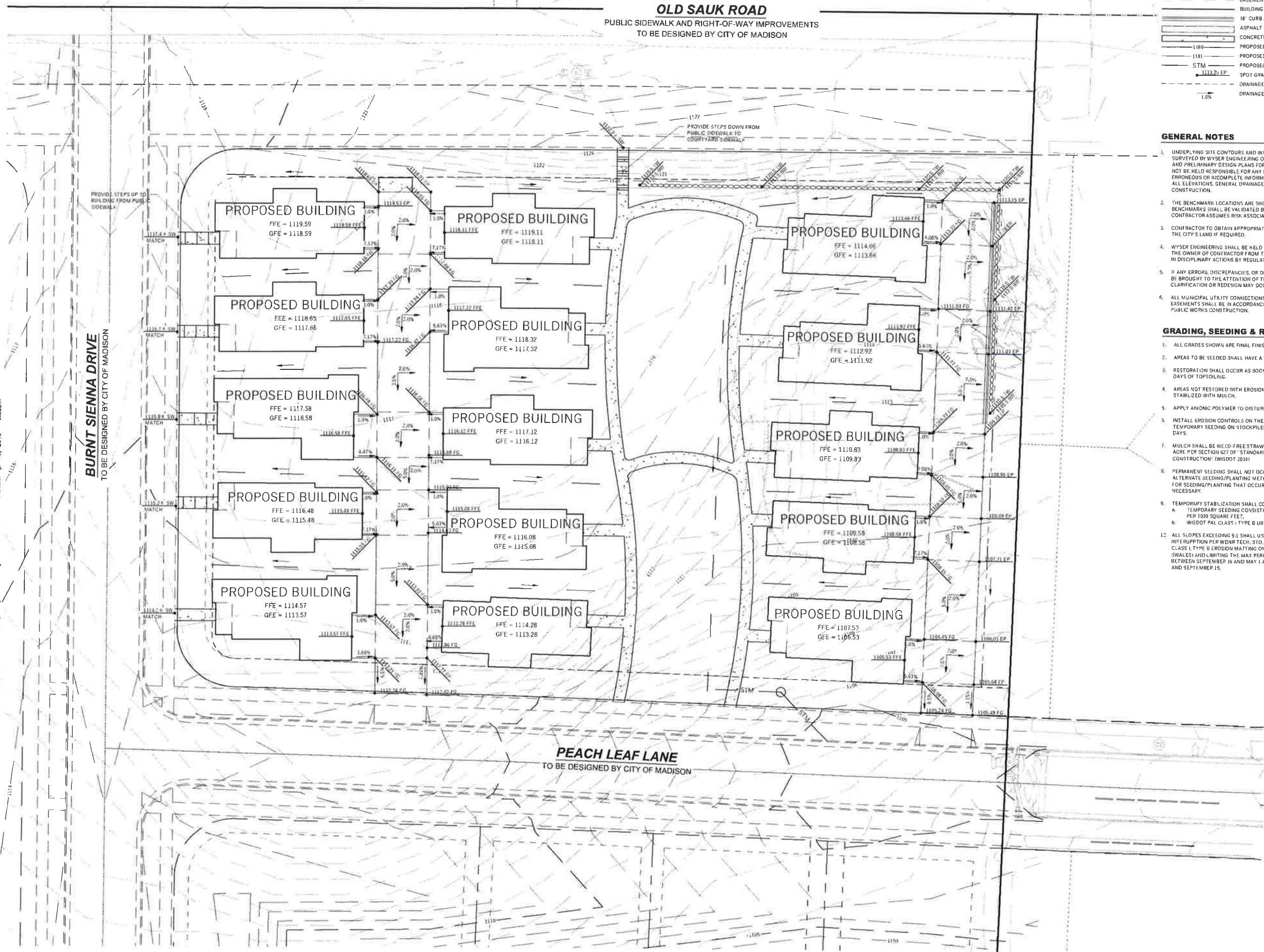
ALTA/NSPS I AND TITLE SURVEY







File: W:\2017\170455\_Encore Homes - Old Sauk RD\DWG\Cottages\17-0455\_Civil\_Design\_Cottages\_North.dwg Layout: Grading Plan User: Admin Plotted: Apr 10, 2019 - 9:35am



#### LEGEND (PROPOSED)

	PROPERTY BOUNDARY
	EASEMENT
	BUILDING FOOTPRINT
	18' CURBS AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	STM
	1113.2' EP
	SPOT GRADE
	DRAINAGE GRADE BREAK
	DRAINAGE ARROW



#### GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 30, 2017 AND JANUARY 9, 2018 AND PRELIMINARY DESIGN PLANS FOR THE CHAPEL VIEW PLAN. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

#### GRADING, SEEDING & RESTORATION NOTES

- ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
- AREAS TO BE SEEDDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
- RESTORATION SHALL OCCUR AS SOON AS PRACTICABLE AFTER THE DISTURBANCE, WITHIN 7 DAYS OF TOPSOILING.
- AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
- MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION (WISDOT 2014).
- PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
- TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
  - TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
  - WISDOT PAL CLASS 1 TYPE B URBAN EROSION CONTROL MAT.
- ALL SLOPES EXCEEDING 5:1 SHALL USE PRESCRIPTIVE COMPLIANCE INCLUDING SLOPE INTERRUPTION PER WCDNR TECH. STD. 101.1, SOIL STABILIZATION (PERMANENT SEEDING AND CLASS 1 TYPE B EROSION MATTING ON SLOPES OR CLASS II TYPE B MATTING IN DRAINAGE SWALES) AND LIMITING THE MAX PERIOD OF BARE SOIL TO 60 DAYS FOR LAND DISTURBANCE BETWEEN SEPTEMBER 16 AND MAY 1 AND 30 DAYS FOR LAND DISTURBANCE BETWEEN MAY 2 AND SEPTEMBER 15.



CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

Sheet Title:  
GRADING PLAN

9910 PEACH LEAF LANE  
MADISON, WI 53562

#### Revisions:

No.	Date:	Description:

Graphic Scale: 0' 5' 10' 20' 30'

Wysen Number: 17-0455

Set Type: REVIEW

Date Issued: 04/09/2019

Sheet Number: C200

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511 or- 811  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com



PUBLIC SIDEWALK AND RIGHT-OF-WAY IMPROVEMENTS  
TO BE DESIGNED BY CITY OF MADISON



UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 30, 2017 AND JANUARY 9, 2018 AND PRELIMINARY DESIGN PLANS FOR THE CHAPEL VIEW PLAT. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.

- ### UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDO, WISDOPS, AND WODNR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
11. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6 MINIMUM BURST, PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5 OF GROUND COVER
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
13. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
14. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
15. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.38(2)(c).
16. PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
17. PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
18. ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(b).
19. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
20. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IT IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
21. THE CURB INLET SHALL HAVE A CATCH ALL HR-1 OIL AND GREASE FILTER OR APPROVED EQUIVALENT INSTALLED WITHIN THEM.
22. NO BLASTING SHALL OCCUR WITHIN 30 FEET OF ANY EXISTING UTILITIES.
23. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
24. THE CONTRACTOR SHALL CONDUCT HR OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND OMR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

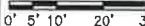
**ENCORE**  
JOURNAL OF THE  
ENCORE SOCIETY

9910 PEACH LEAF LANE  
MADISON, WI 53562

## CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

Sheet Title: UTILITY PLAN

Revisions:		
No.	Date:	Description:
Graphic Scale		
Wyser Number	17-0455	
Set Type	REVIEW	
Date Issued	04/09/2019	
Sheet Number	C300	



File in 2017\70455-Enoche-Horne--Gib-Seuk-Balaban-Cottage\17-0455-Civil Design\_Cottages\_NORTH.dwg User: Admin Plotted: Apr 10, 2019 - 9:35am





PUBLIC SIDEWALK AND RIGHT-OF-WAY IMPROVEMENTS  
TO BE DESIGNED BY CITY OF MADISON

PEACH LEAF LANE

TO BE DESIGNED BY CITY OF MADISON



99910 PEACH LEAF LANE  
MADISON, WI 53562

CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

Sheet Title: LANDSCAPE PLAN

[illegible]

Graphic Scale 0' 5' 10' 20'

Wyber Number	17-0455
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Set Type	REVIEW
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Date Issued	04/09/2019
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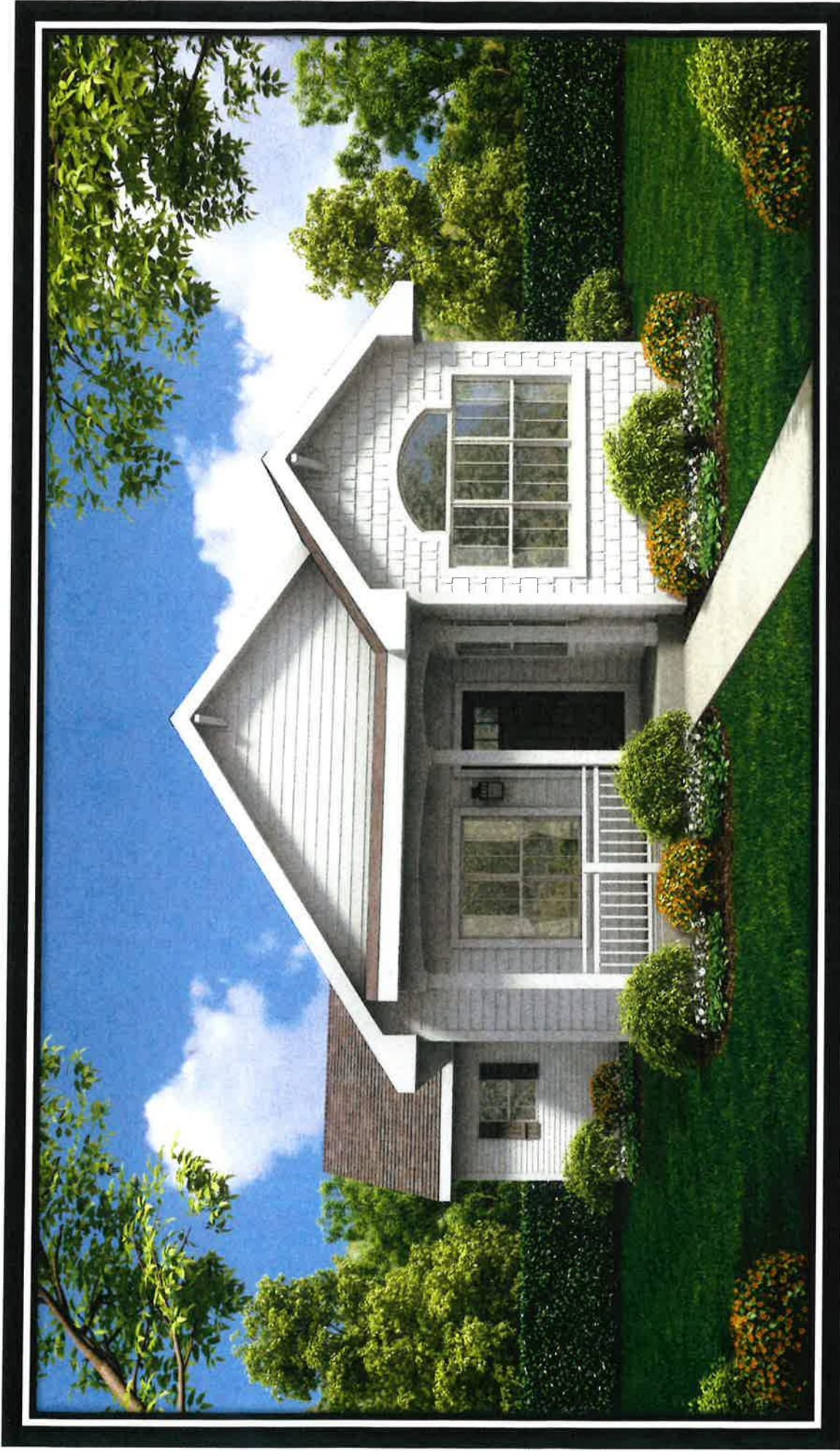
Sheet Number	L100
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## DIGGERS HOTLINE

Toll Free (800) 242-8511 -or- 811  
Hearing Impaired TDD (800) 542-2289  
[www.DiggersHotline.com](http://www.DiggersHotline.com)



# The Primrose – Elevation A





# The Primrose – Elevation B



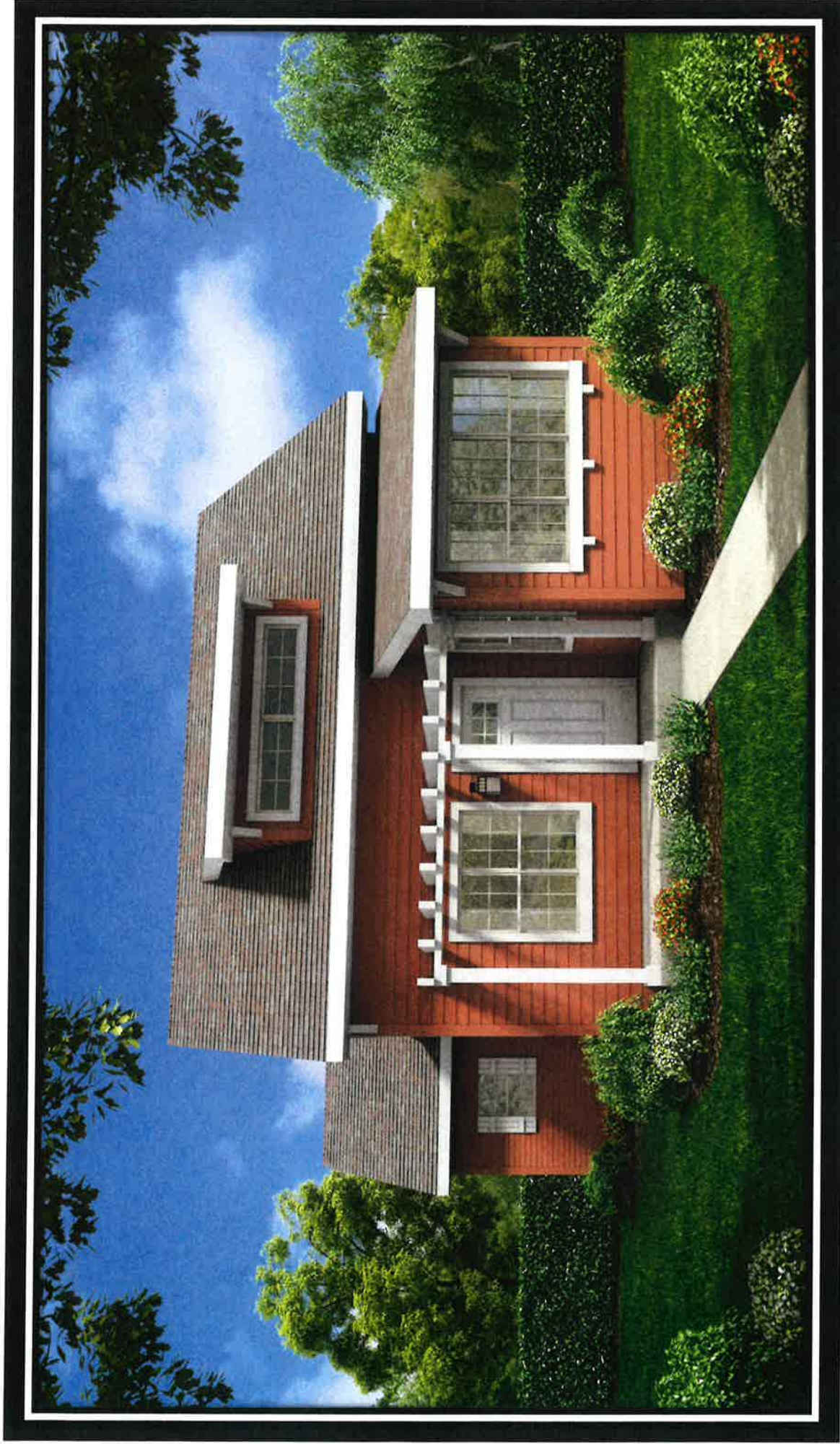


# The Primrose – Elevation C





# The Primrose – Elevation D





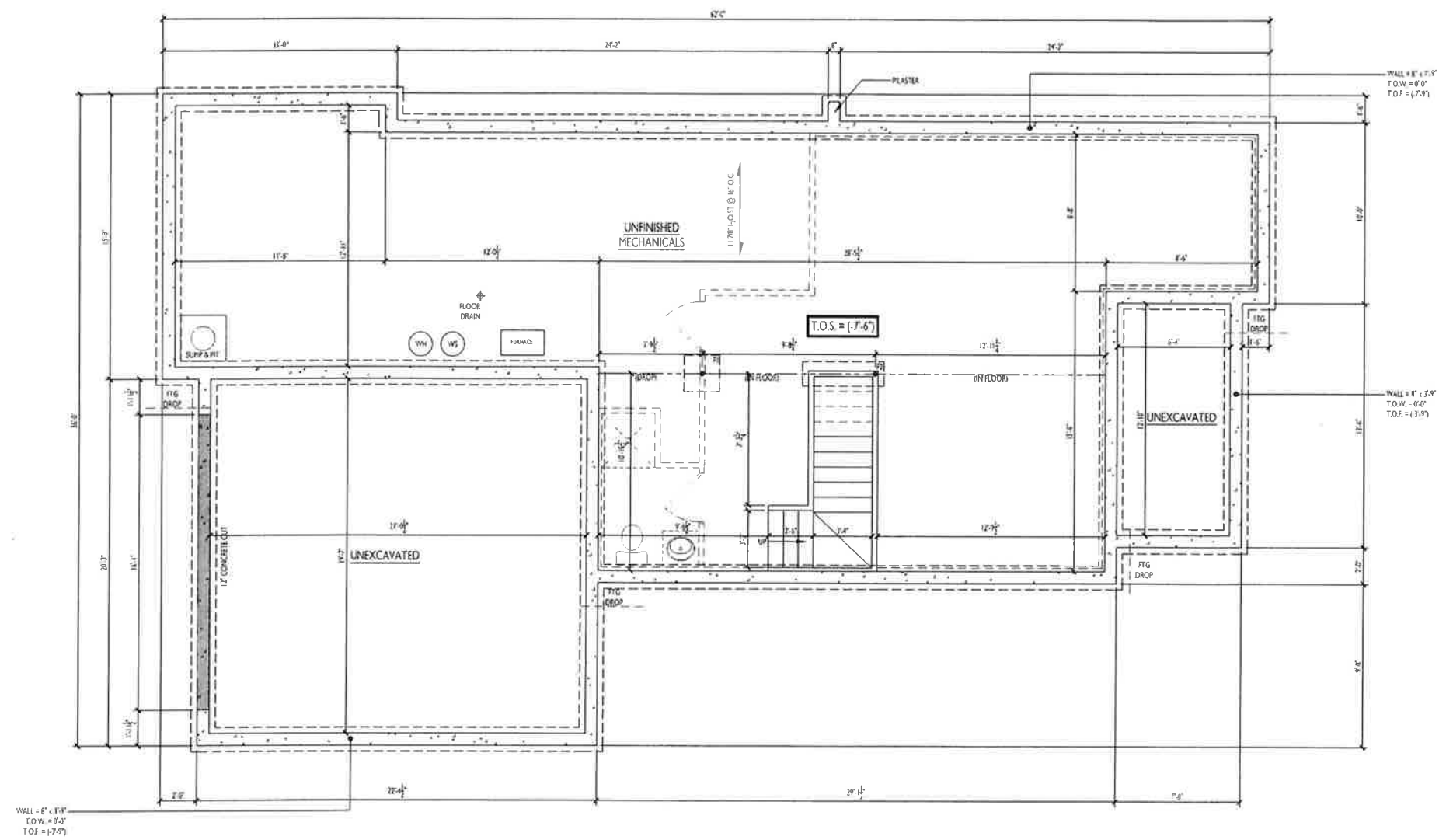
HB	HOUSE B	WD	WOOD
CO	CEILING OPENING	DM	DISMANTLER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH/OUTLET
CT	CERAMIC TILE	C	CURB
CT	CERAMIC TILE	V	VANISH
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

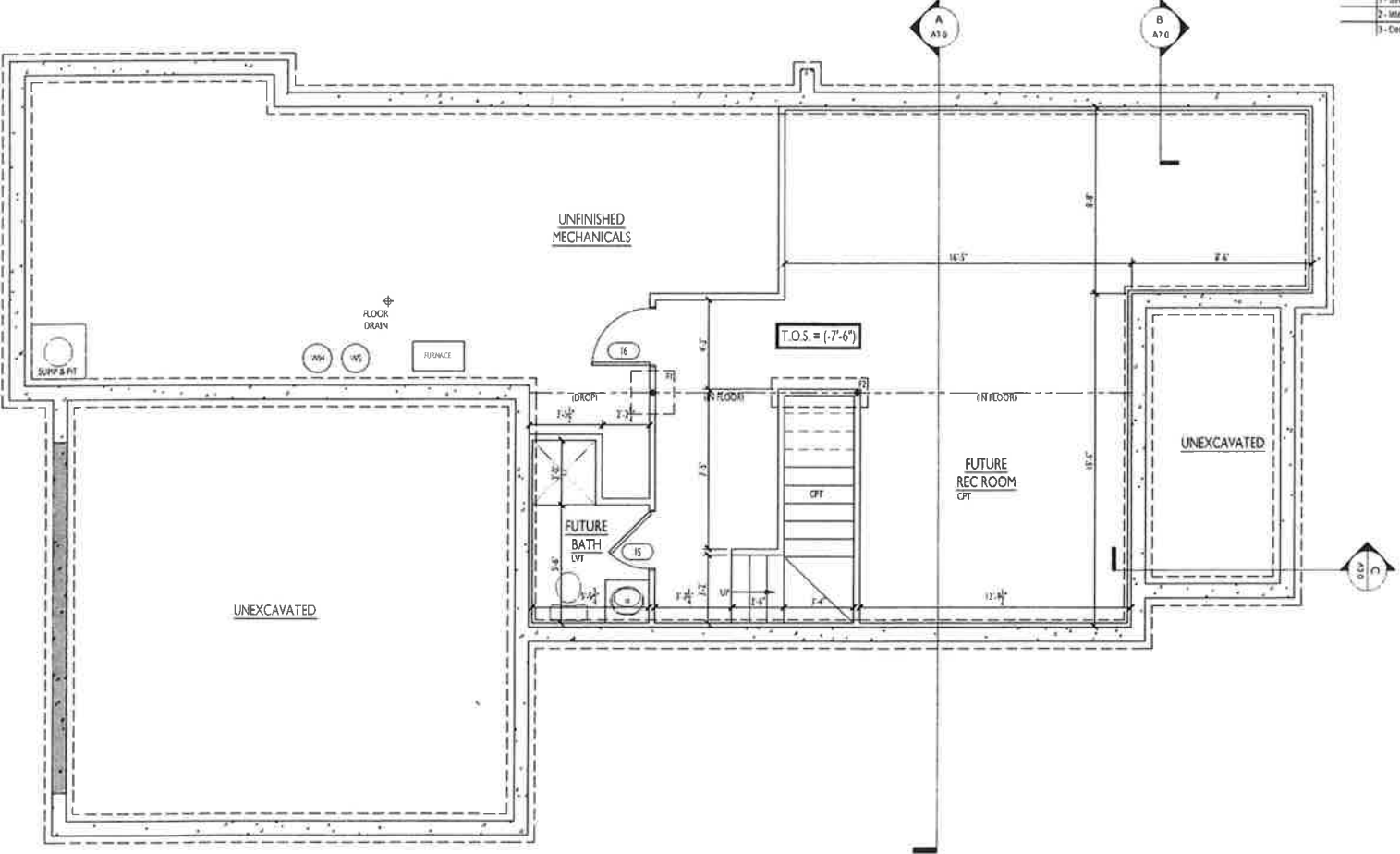


# The Cottages At Chapel View

## "The Primrose"

### Elevations A, B, C, & D





DOOR SCHEDULE								
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
1	2'-0" x 6'-8"	34 3/8 x 82 1/2	4 9/16"	Steel Inswing w/Light	R	Handset w/ int Passage	Wall Spring	1,2,3
2	2'-0" x 6'-8"	34 3/8 x 82 1/2	4 9/16"	30 min Steel Inswing	L	Passage, Deadbolt	Hinge Pin	3
3	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
4	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin	
5	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	
6	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
7	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring	
8	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Privacy	Wall Spring	
9	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring	
10	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Wood Pocket		Passage		
11	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Spring	
12								
13								
14								

ALTERNATES/LOWER LEVEL DOOR SCHEDULE								
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Stop	
16	2'-0" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
17								
18								
19								

NOTES

1 - Hinges are designated using the "butt to butt" method

2 - See job spec for door styles and hardware finishes

3 - See Elevations for door, sublight, and trimout configuration

4 - Material handle to match remaining interior hardware color and style

5 - Deadbolt with common key



DOOR SCHEDULE

NO	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
1	3'0" x 6'8"	38 3/8 x 82 1/2	8 9/16"	Steel Inswing w/Light	R	Handset w/ Pin Passage	Wall Spring	1, 2, 3
2	2'8" x 6'8"	34 29 x 82 1/2	8 9/16"	20 mm Steel Inswing	L	Passage, Checkbolt	Hinge Pin	3
3	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
4	2'8" x 6'8"	32 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin	
5	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	
6	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
7	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring	
8	2'8" x 6'8"	32 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Privacy	Wall Spring	
9	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring	
10	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Wood Pocket		Passage		
11	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Spring	
12								
13								
14								

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Stop	
16	2'8" x 6'8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
17								
18								
19								

NOTES

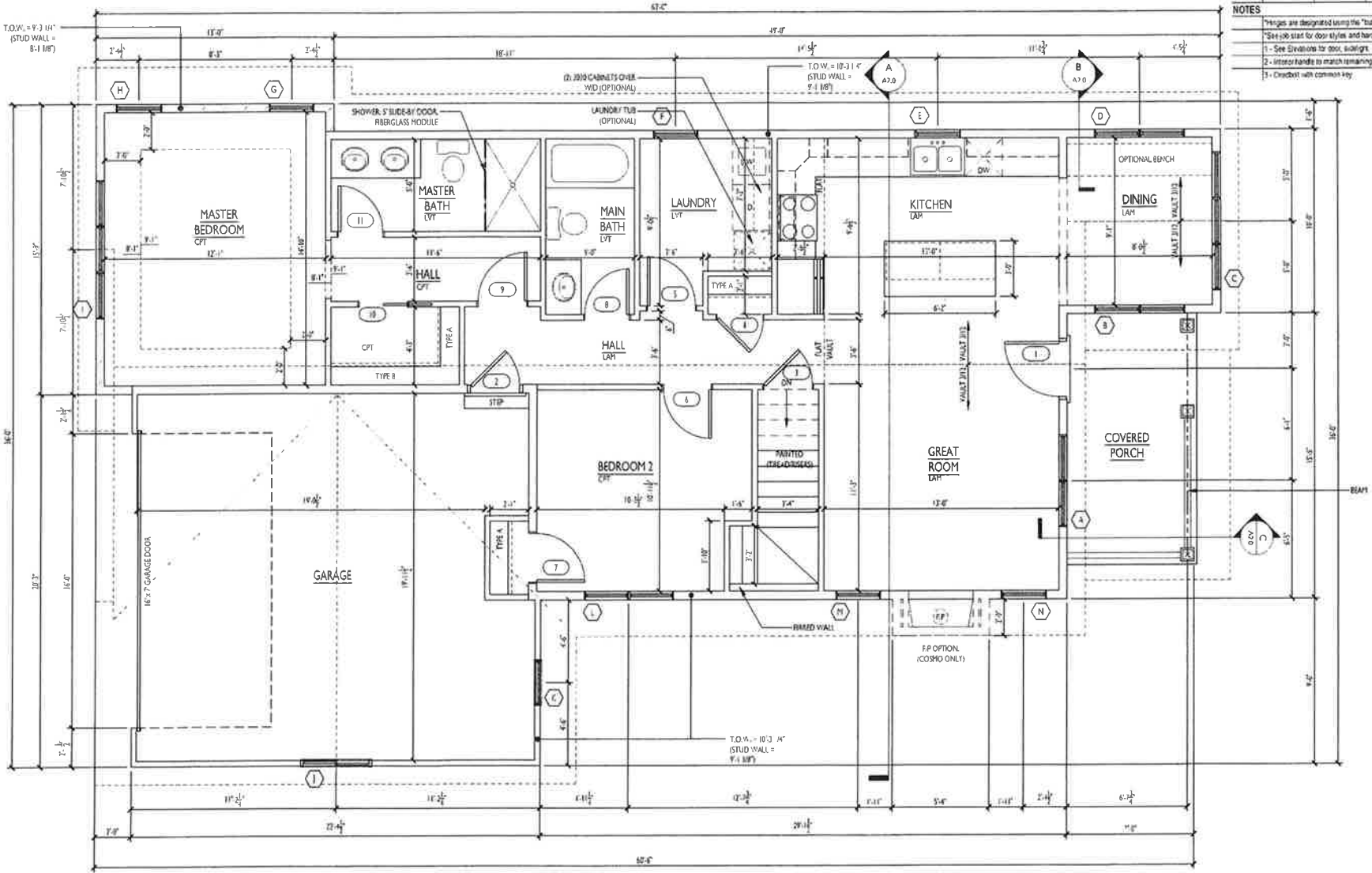
1 - Hinges are designated using the "butt to butt" method

2 - See 100 series for door styles and hardware finishes

3 - See Elevations for door, window, and transom configuration

4 - Interior handle to match remaining interior hardware color and style

5 - Checklist with common key





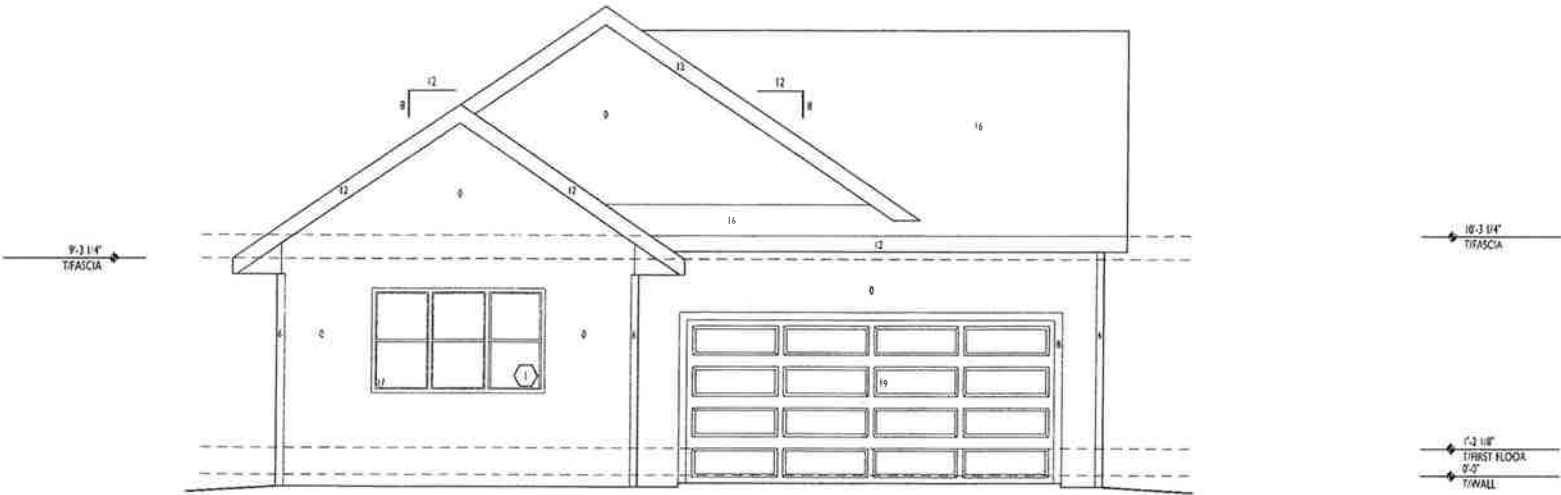
The Primrose - Elevation A



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION A								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-8"	6 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-8"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	
M	9030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O								
P								

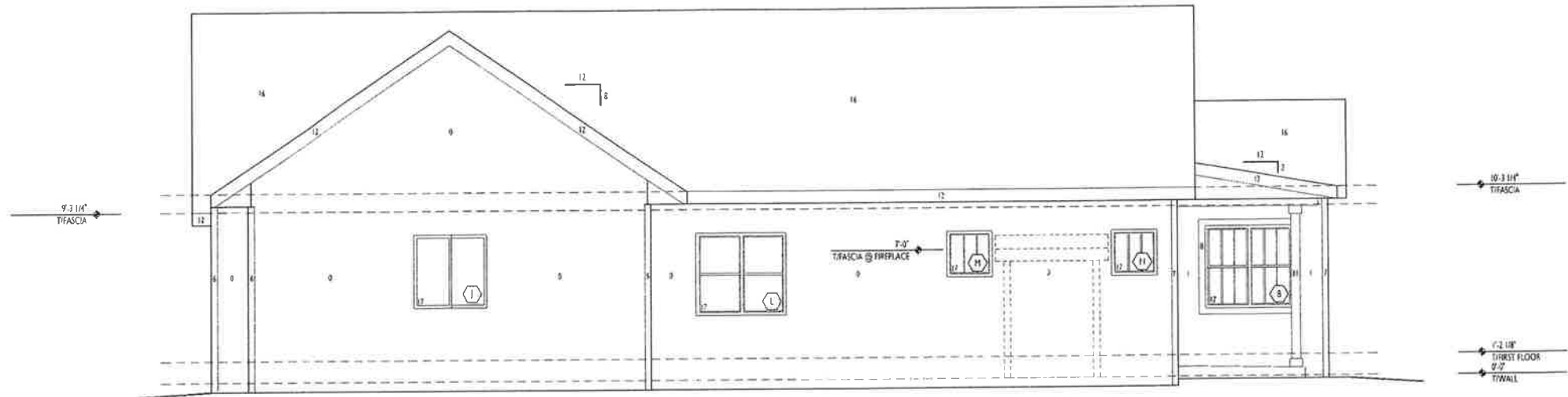
NOTES:  
\*See job spec for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.



REAR ELEVATION



# The Primrose - Elevation A

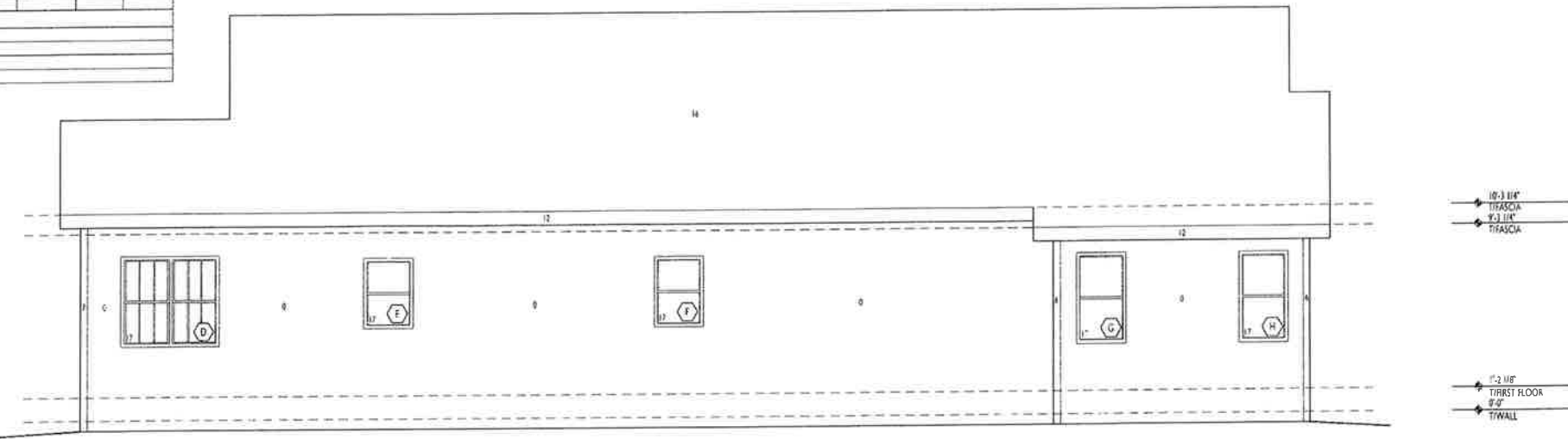


RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza 2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 5'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4548	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:

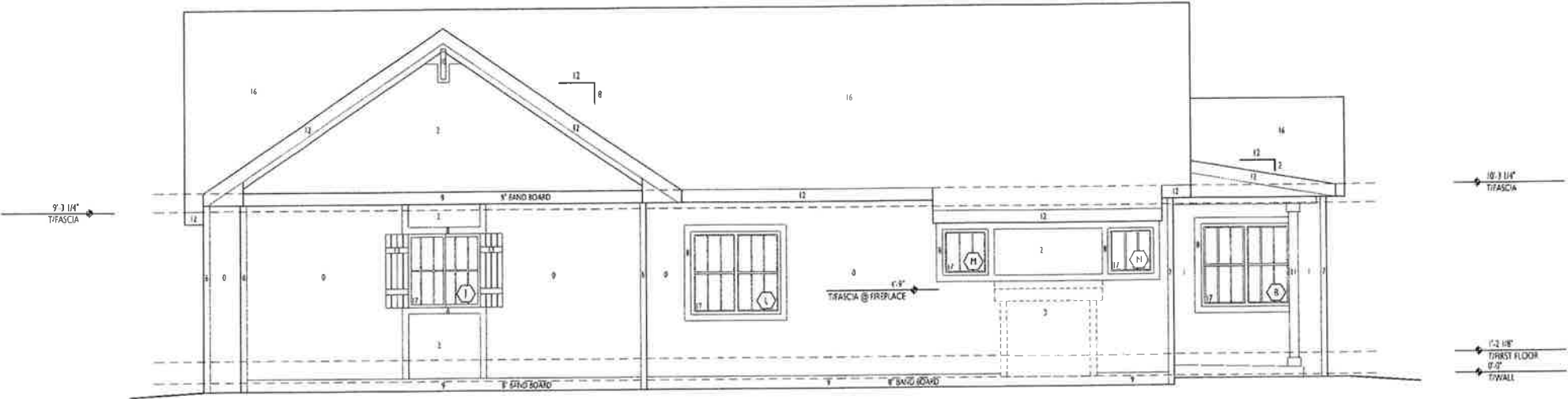
- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

# The Primrose - Elevation A

Side Elevation when facing Middleton Community Church or a Public Street

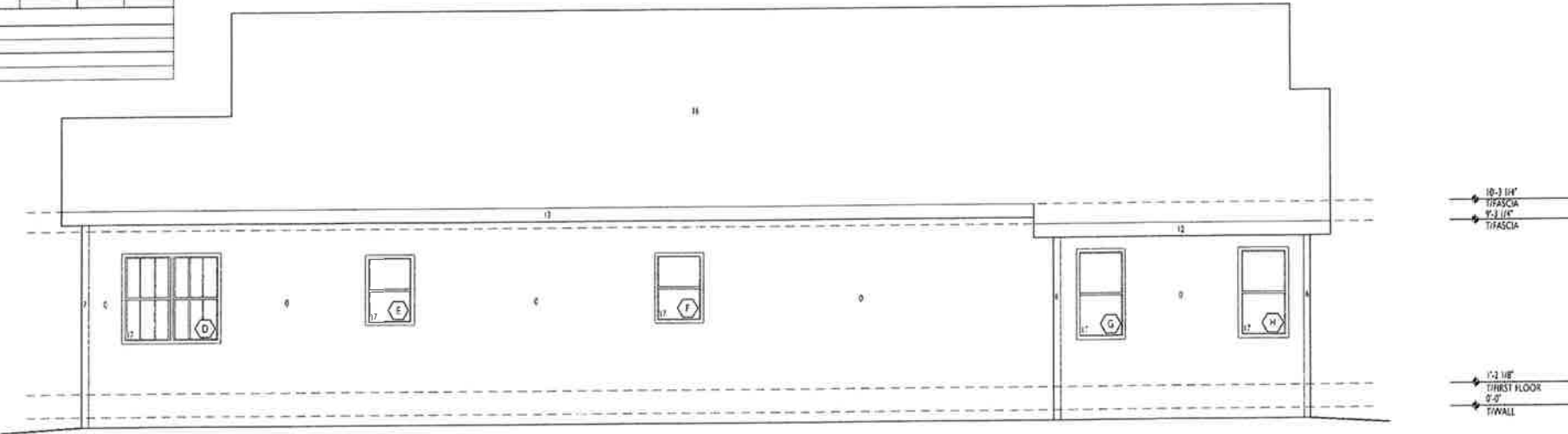


RIGHT ELEVATION

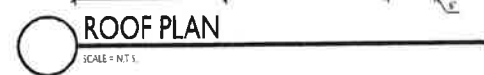
WINDOW SCHEDULE - ELEVATION A									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES	
A	6050	2-Wide Single Hung	5'-0" x 2'-0"	6 9/16"	1		Plaza	2	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2	
C	9054	3-Wide Single Hung w/Classical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2	
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2	
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1				
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1				
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza		
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1				
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza		
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza		
O									
P									

NOTES:

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



LEFT ELEVATION





The Primrose - Elevation B

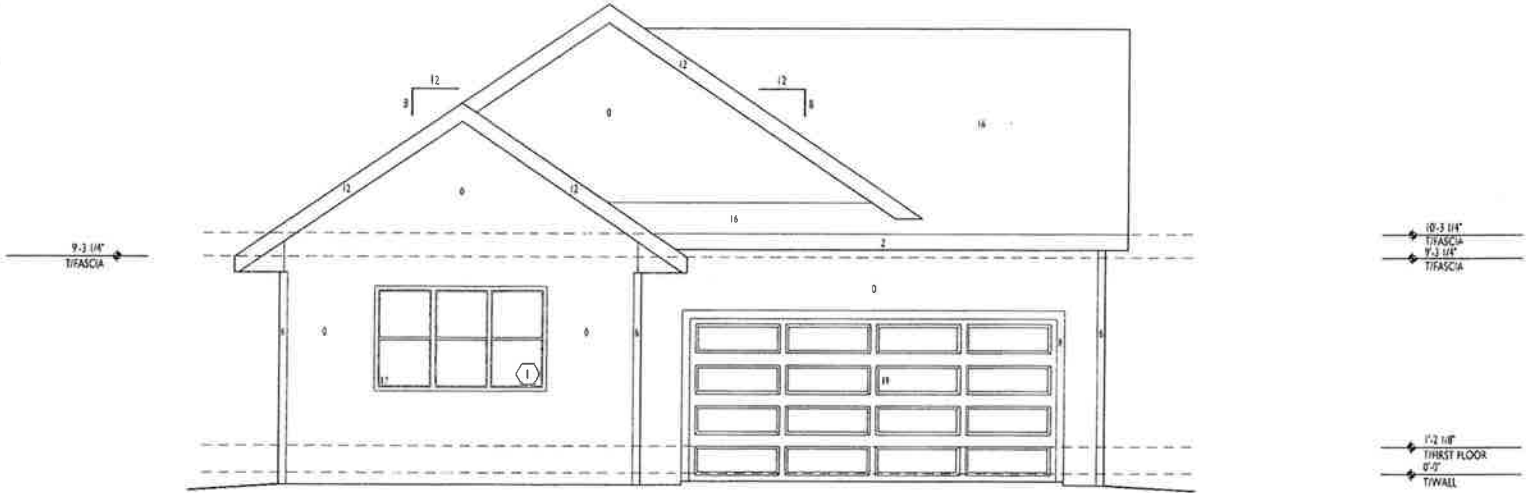


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza 2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	3'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

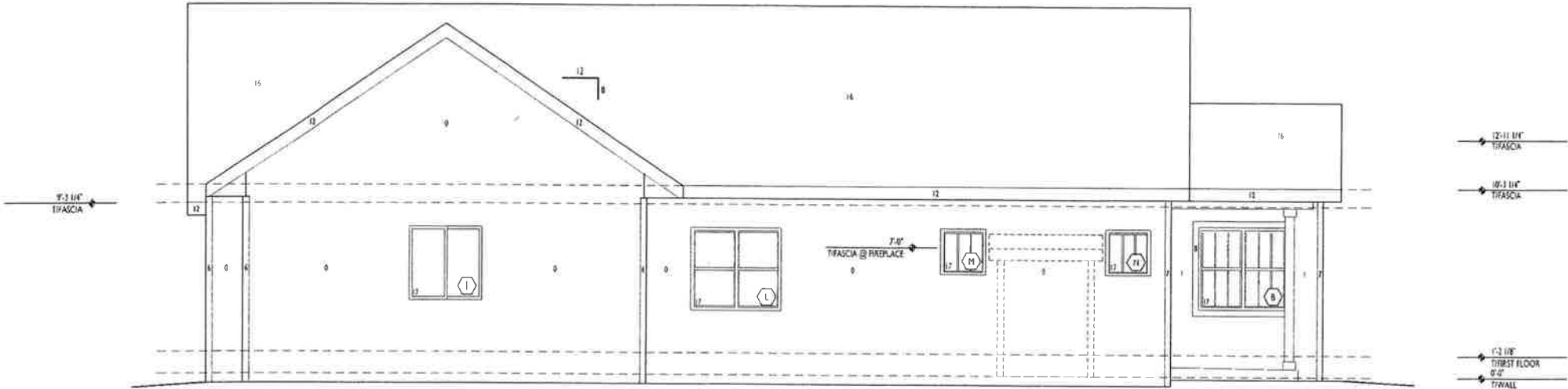
NOTES:

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 34" A.F.F.



REAR ELEVATION

The Primrose - Elevation B



WINDOW SCHEDULE - ELEVATION B								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza	2
B	8054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-2"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-2"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-0" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-2"	4 9/16"	1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O								
P								

NOTES:

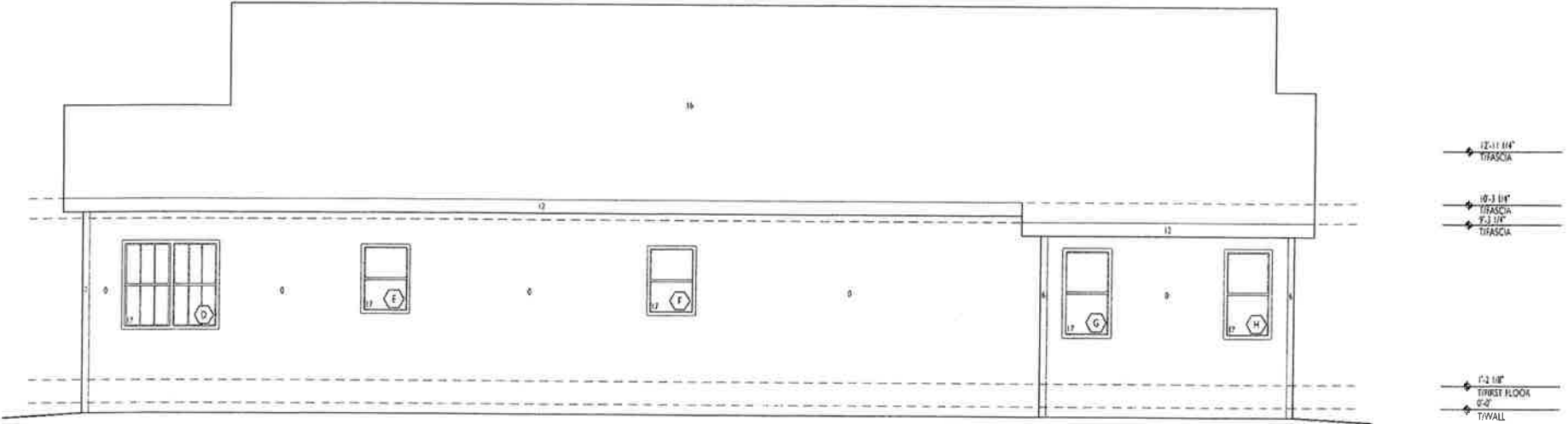
\*See job start for window colors

\*Switch active patio door leaf and casement swing for Reversed plans

1 - Tempered Glass

2 - Top of window @ 84" A.F.F.

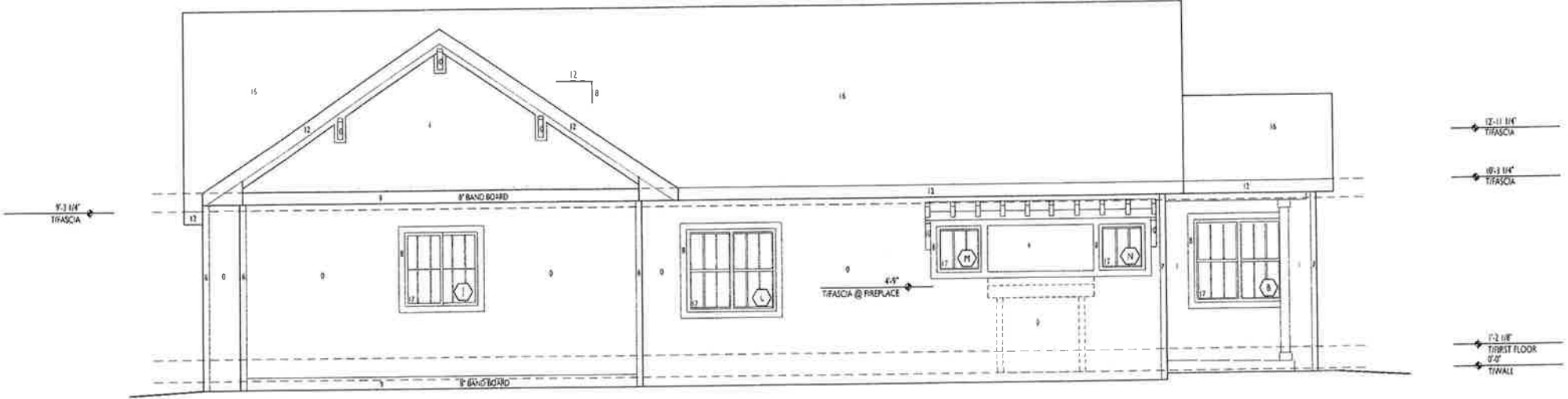
RIGHT ELEVATION



LEFT ELEVATION

# The Primrose - Elevation B

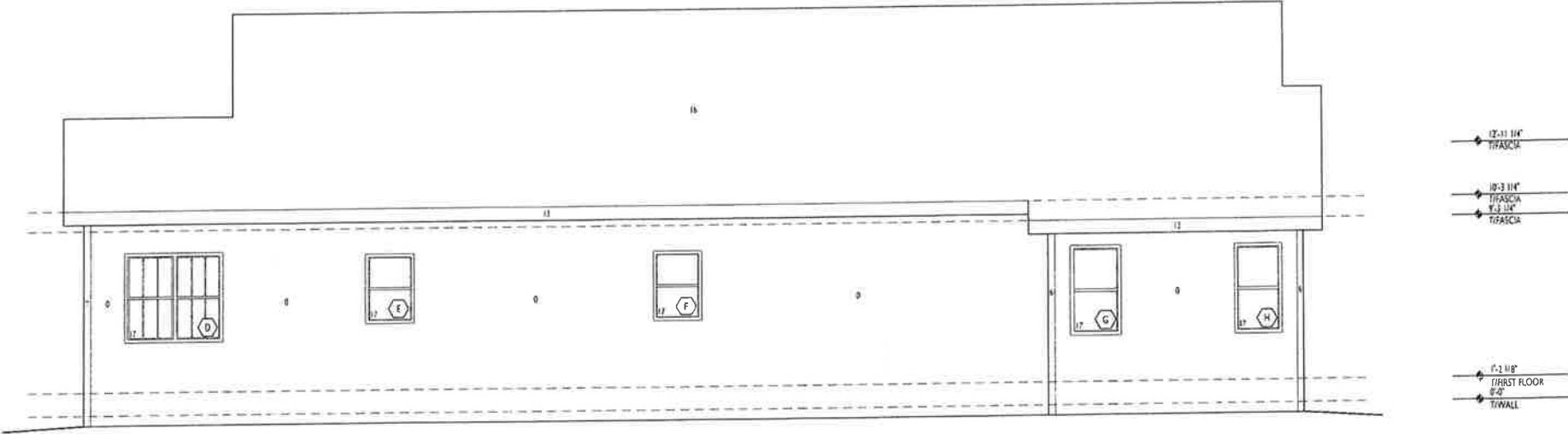
Side Elevation when facing Middleton Community Church or a Public Street



WINDOW SCHEDULE - ELEVATION B									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES	
A	6060	2-Wide Single Hung	5'-0" x 3'-0"	6' 9" 16"	1		Plaza		
B	6054	2-Wide Single Hung	5'-0" x 4'-0"	6' 9" 16"	1		Plaza	2	
C	9054	3-Wide Single Hung	7'-6" x 4'-0"	6' 9" 16"	1		Plaza	2	
D	6054	2-Wide Single Hung	5'-0" x 4'-0"	6' 9" 16"	1		Plaza	2	
E	3042	Single Hung	2'-6" x 3'-0"	6' 9" 16"	1				
F	3042	Single Hung	2'-6" x 3'-0"	6' 9" 16"	1				
G	3054	Single Hung	2'-6" x 4'-0"	6' 9" 16"	1				
H	3054	Single Hung	2'-6" x 4'-0"	6' 9" 16"	1				
I	9054	3-Wide Single Hung	7'-6" x 4'-0"	6' 9" 16"	1				
J	4848	Horizontal Slider	4'-0" x 4'-0"	4' 9" 16"	1		Plaza		
K	3042	Single Hung	2'-6" x 3'-0"	4' 9" 16"	1				
L	6054	2-Wide Single Hung	5'-0" x 4'-0"	6' 9" 16"	1		Plaza		
M	3030	Fixed	2'-6" x 2'-0"	6' 9" 16"	1		Plaza		
N	3030	Fixed	2'-6" x 2'-0"	6' 9" 16"	1		Plaza		
O									
P									

NOTES:  
\*See job start for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.

RIGHT ELEVATION

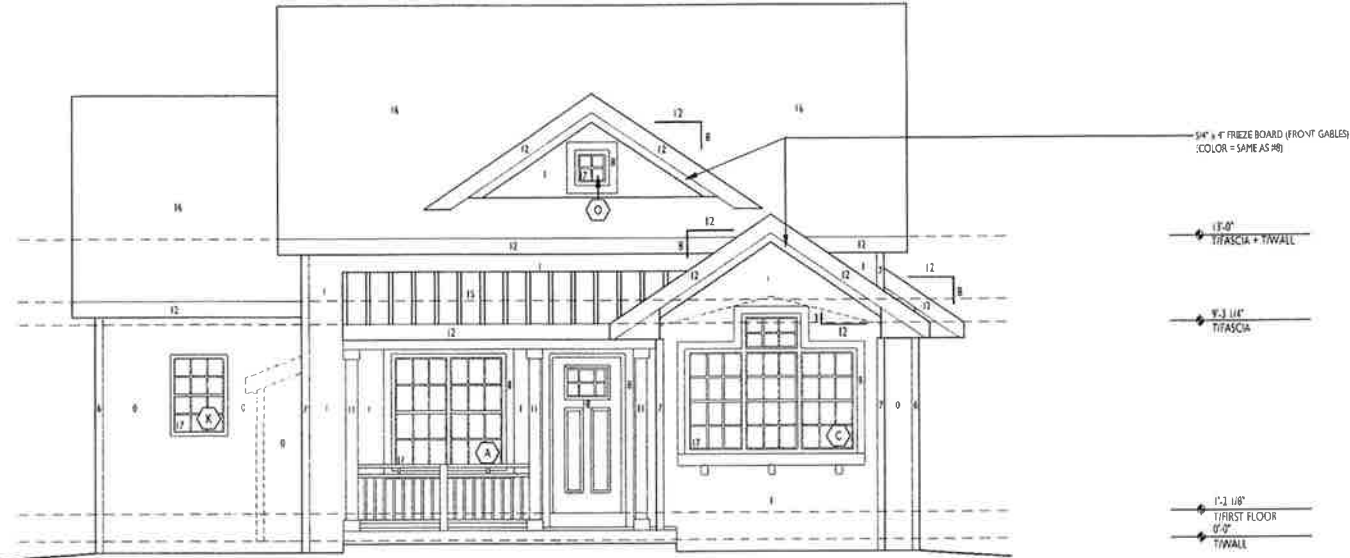


LEFT ELEVATION





The Primrose - Elevation C

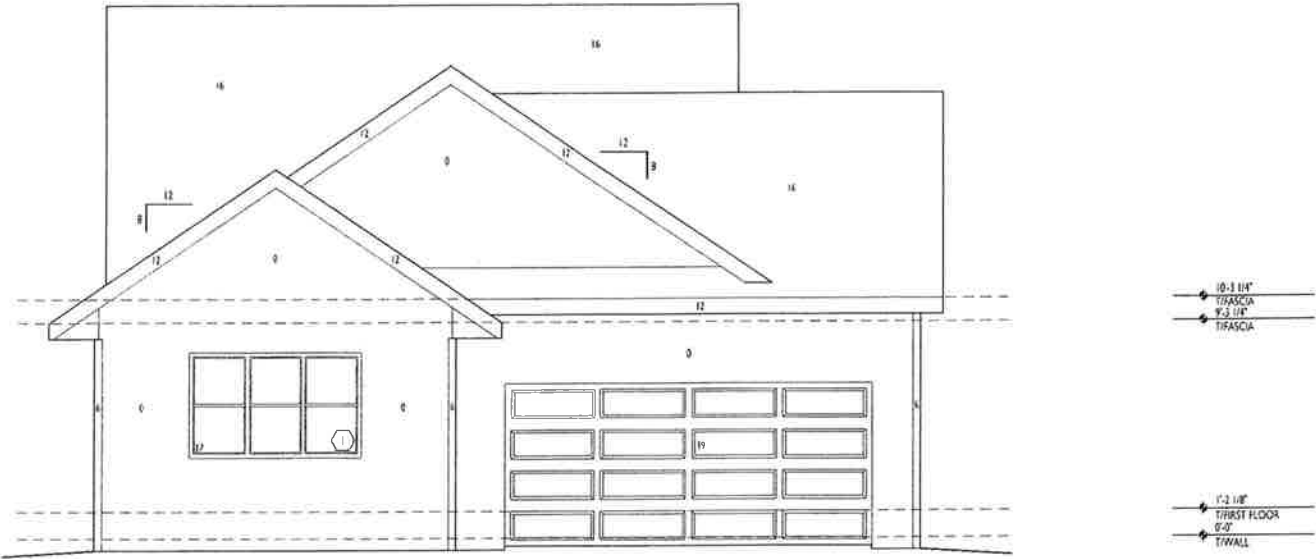


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION C								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6050	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084	2'-26" x 36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
N	3084	2'-26" x 36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
O	1818	Fixed	1'-0" x 1'-6"	6 9/16"	1		Colonial	
P								

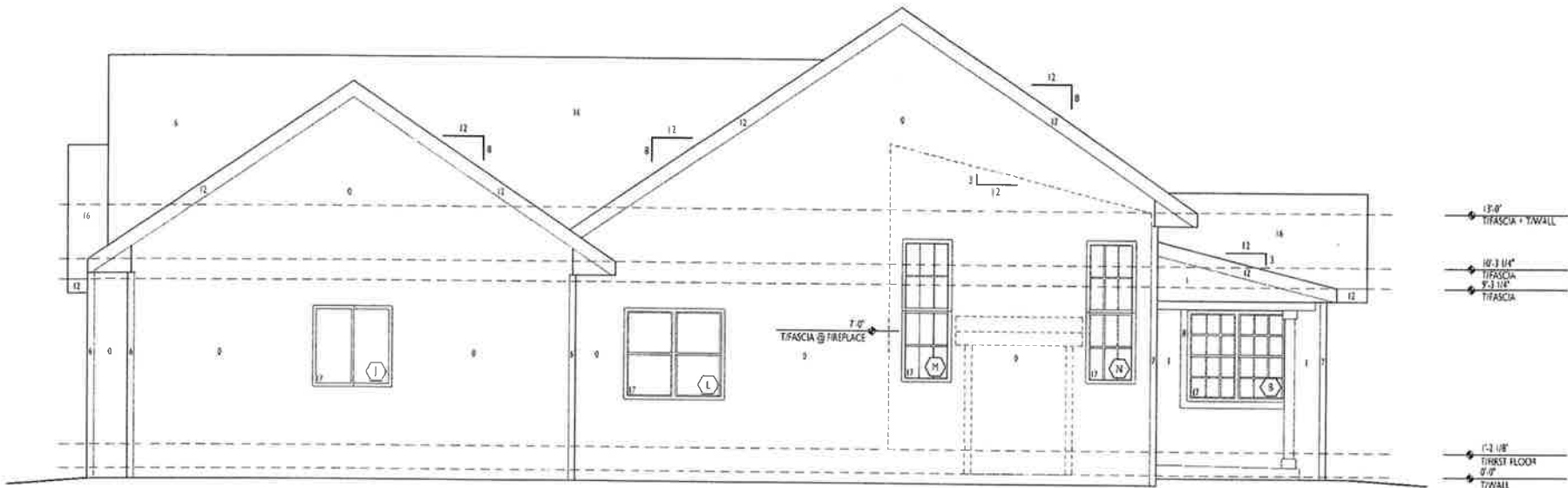
NOTES:

- \*See job start for window colors
- \*Sketch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 94" A.F.F.



REAR ELEVATION

The Primrose - Elevation C

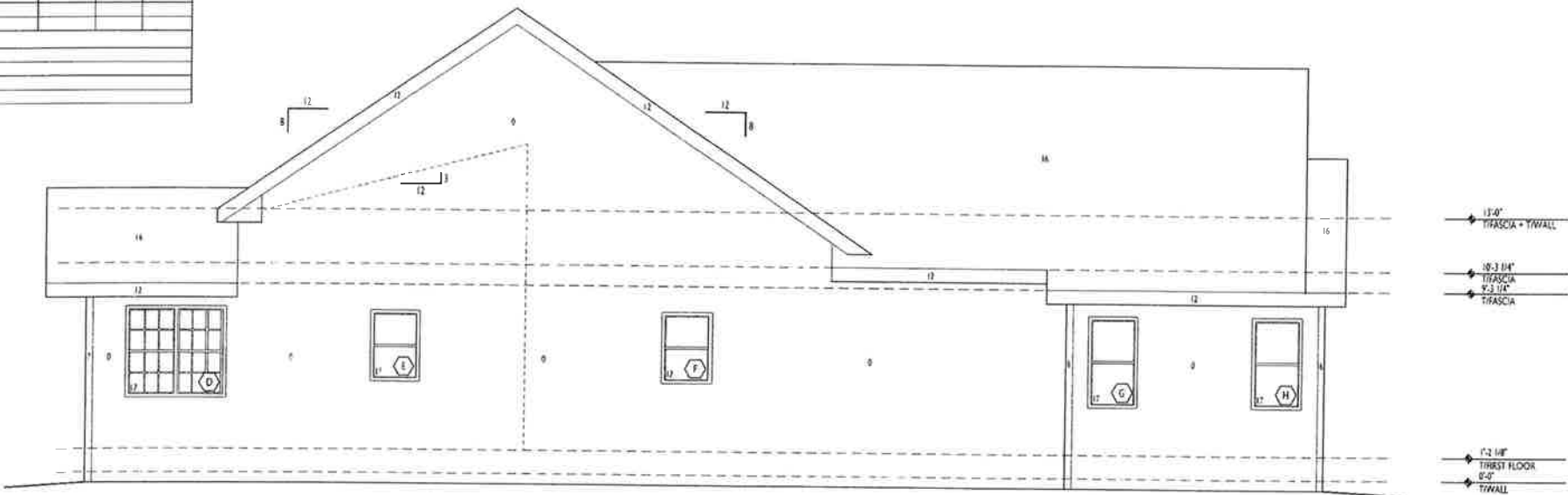


WINDOW SCHEDULE - ELEVATION C									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES	
A	6080	2-Wide Single Hung	5'-0" x 6'-0"	6' 9/16"	1		Colonial		
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1		Colonial	2	
C	9054	1-Wide Single Hung	7'-6" x 4'-6"	6' 9/16"	1		Colonial	2	
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1		Colonial	2	
E	3042	Single Hung	2'-6" x 3'-6"	6' 9/16"	1				
F	3042	Single Hung	2'-6" x 3'-6"	6' 9/16"	1				
G	3054	Single Hung	2'-6" x 4'-6"	6' 9/16"	1				
H	3054	Single Hung	2'-6" x 4'-6"	6' 9/16"	1				
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6' 9/16"	1				
J	4848	Horizontal Slider	4'-0" x 4'-0"	4' 9/16"	1				
K	3042	Single Hung	2'-6" x 3'-6"	4' 9/16"	1		Colonial		
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1				
M	3084	2-20"x30" Mullied Fixed	2'-6" x 7'-0"	6' 9/16"	1		Colonial		
N	3084	2-26"x38" Mullied Fixed	2'-6" x 7'-0"	6' 9/16"	1		Colonial		
O	1818	Fixed	1'-6" x 1'-6"	6' 9/16"	1		Colonial		
P									

NOTES:

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 94" A.F.F.

RIGHT ELEVATION

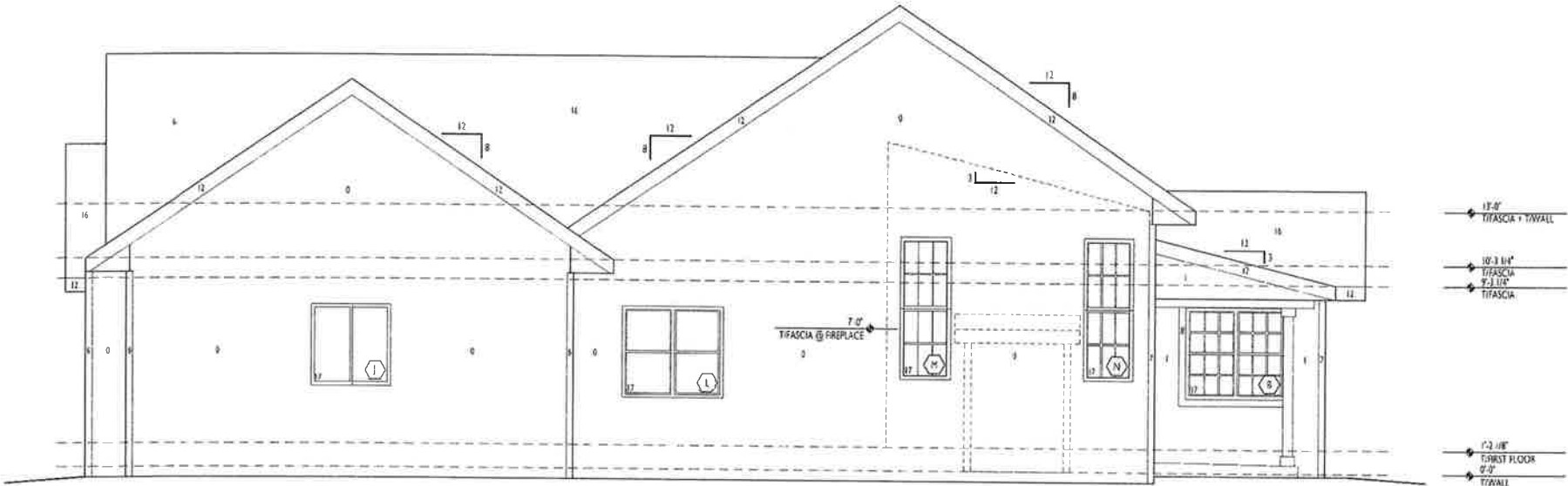


LEFT ELEVATION



# The Primrose - Elevation C

Side Elevation when facing Middleton Community Church or a Public Street

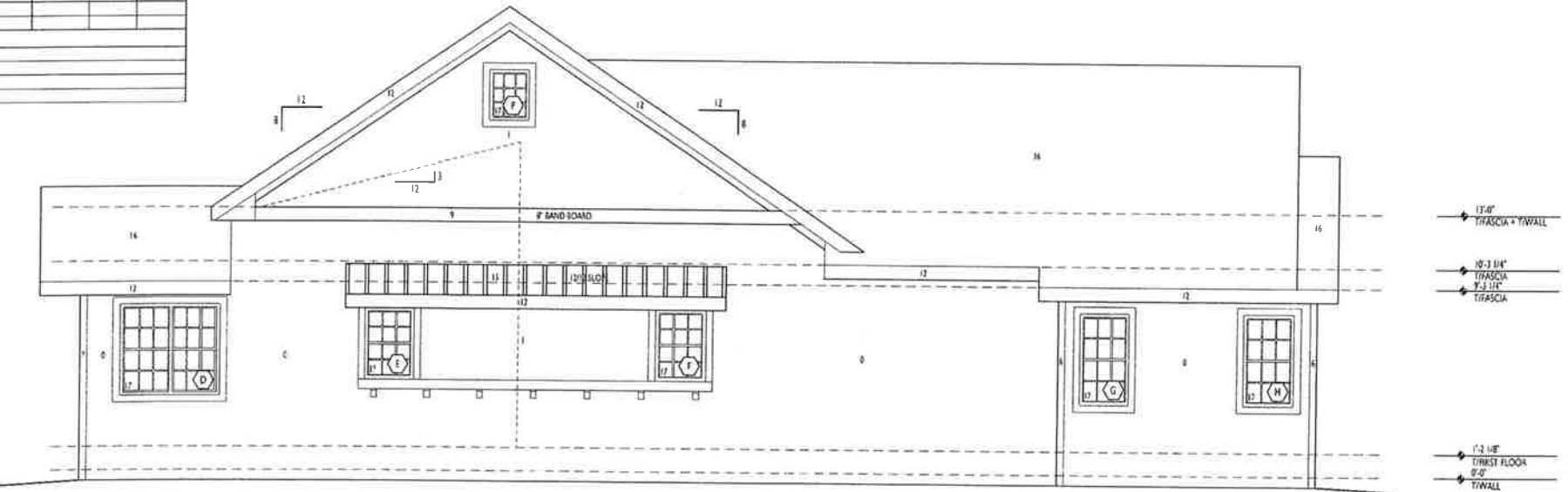


WINDOW SCHEDULE - ELEVATION C									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES	
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	2	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2	
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	2	
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2	
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1				
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1				
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial		
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1				
M	3054	2-20"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial		
N	3054	2-20"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial		
O	1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial		
P									

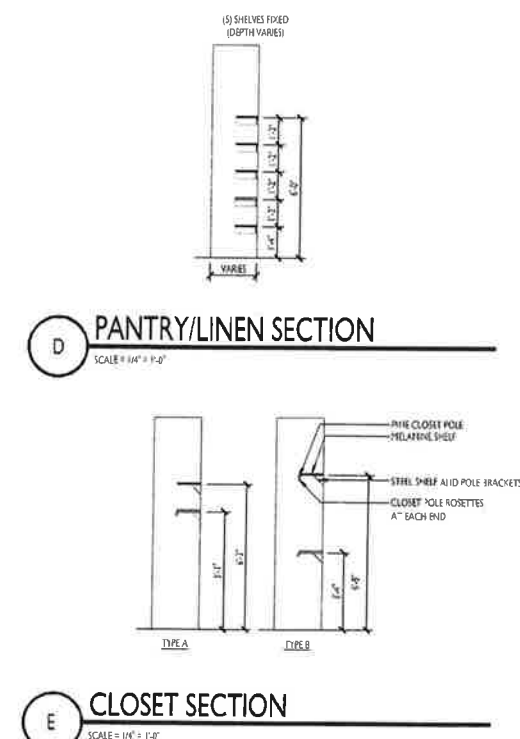
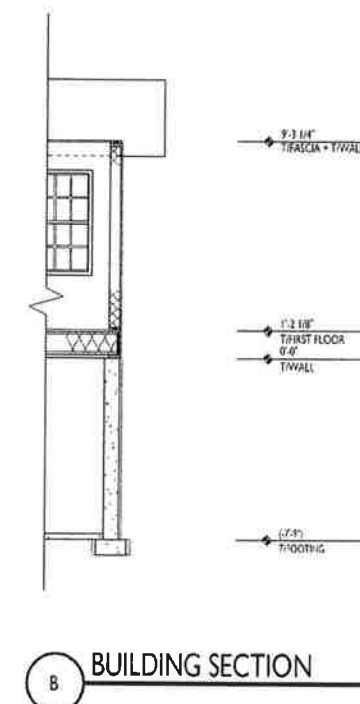
NOTES:

- \*See job sheet for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.

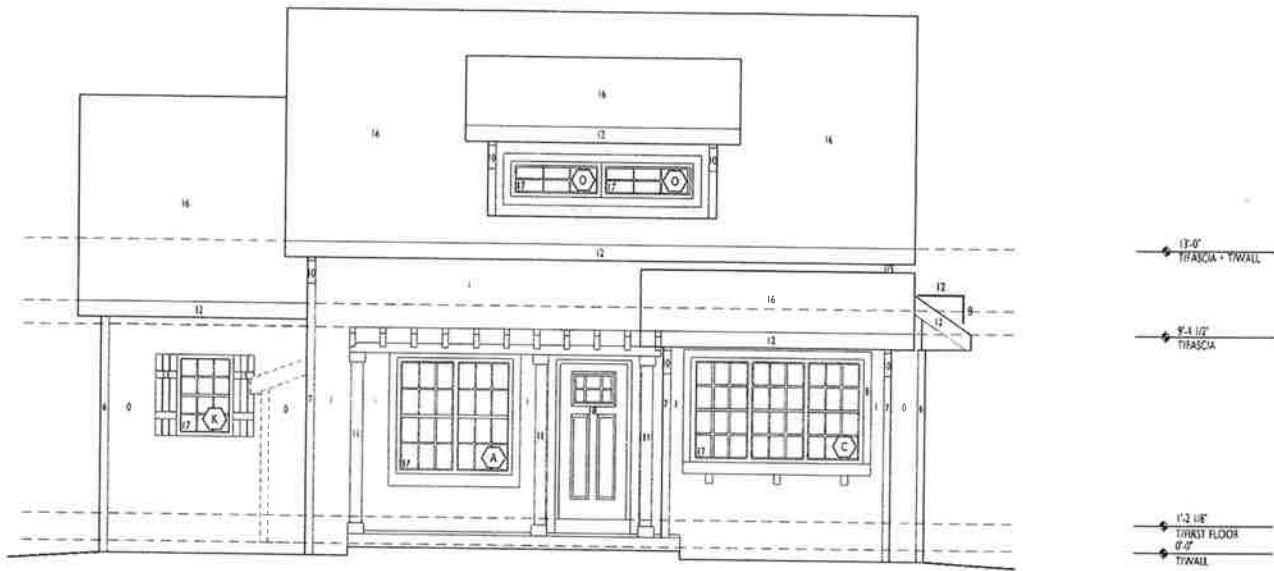
RIGHT ELEVATION



LEFT ELEVATION



# The Primrose - Elevation D

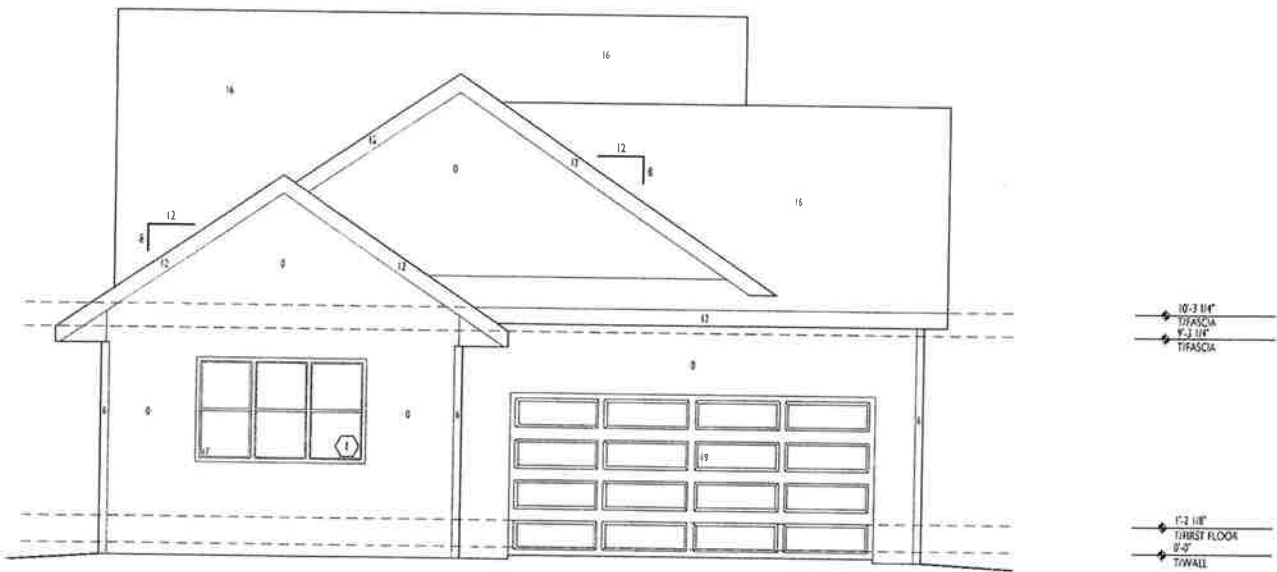


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION D								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6090	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054	3-Wide Single Hung w/Eligical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084	2- 20" x 36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
N	3084	2- 20" x 36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial	
P								

NOTES:

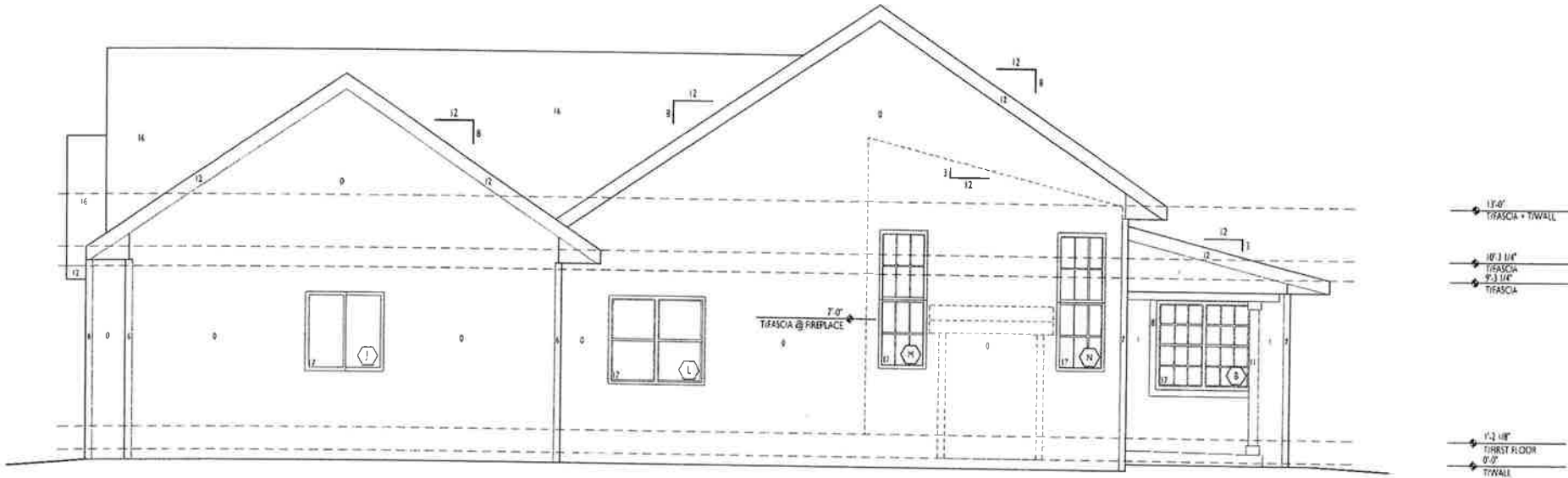
- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



REAR ELEVATION



The Primrose - Elevation D

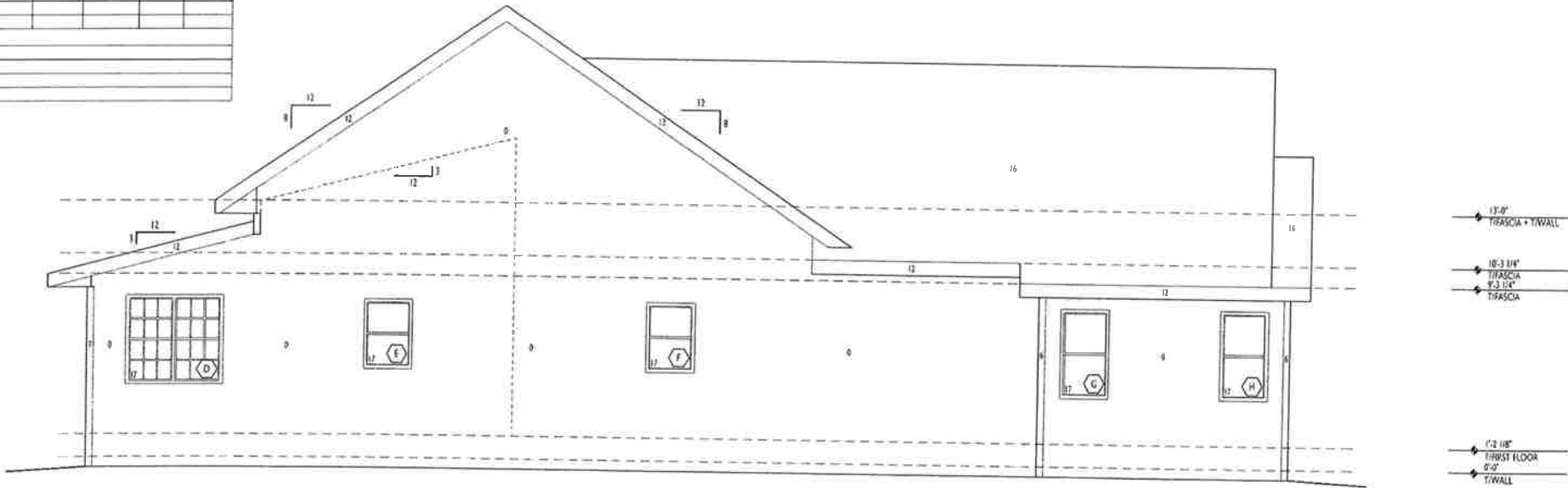


WINDOW SCHEDULE - ELEVATION D								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6030	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084	2'-26"x36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
N	3084	2'-26"x36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial	
P								

NOTES:

- \*See job sheet for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.

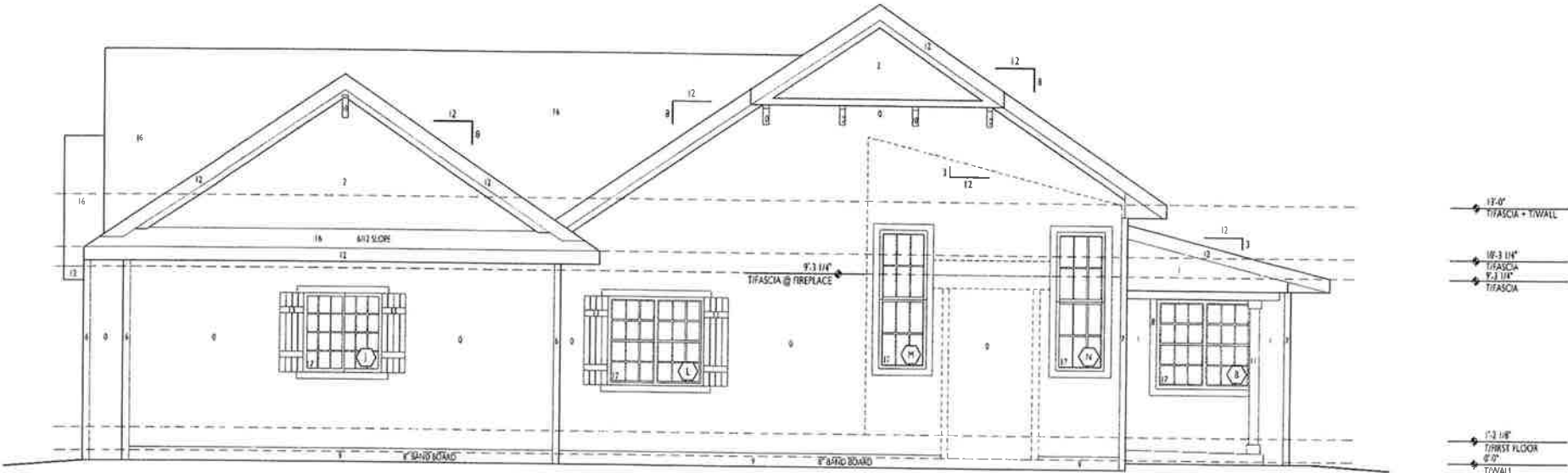
RIGHT ELEVATION



LEFT ELEVATION

# The Primrose - Elevation D

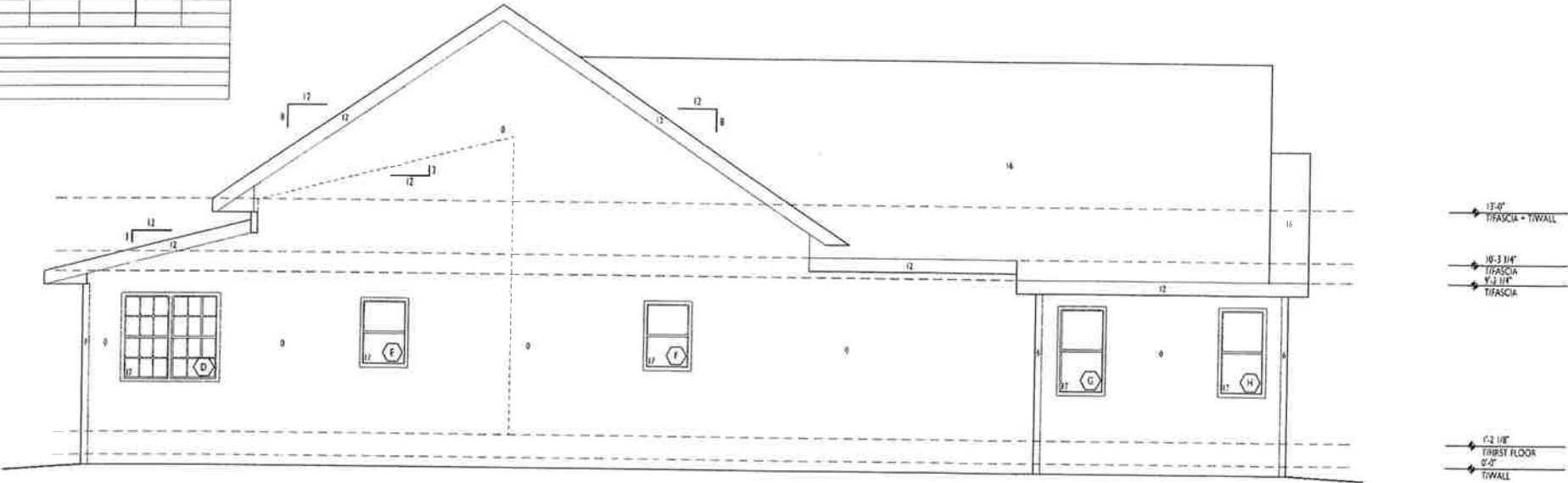
Side Elevation when facing Middleton Community Church or a Public Street



WINDOW SCHEDULE - ELEVATION D								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6090	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 5/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 5/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084	2-28"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
N	3084	2-28"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial	
P								

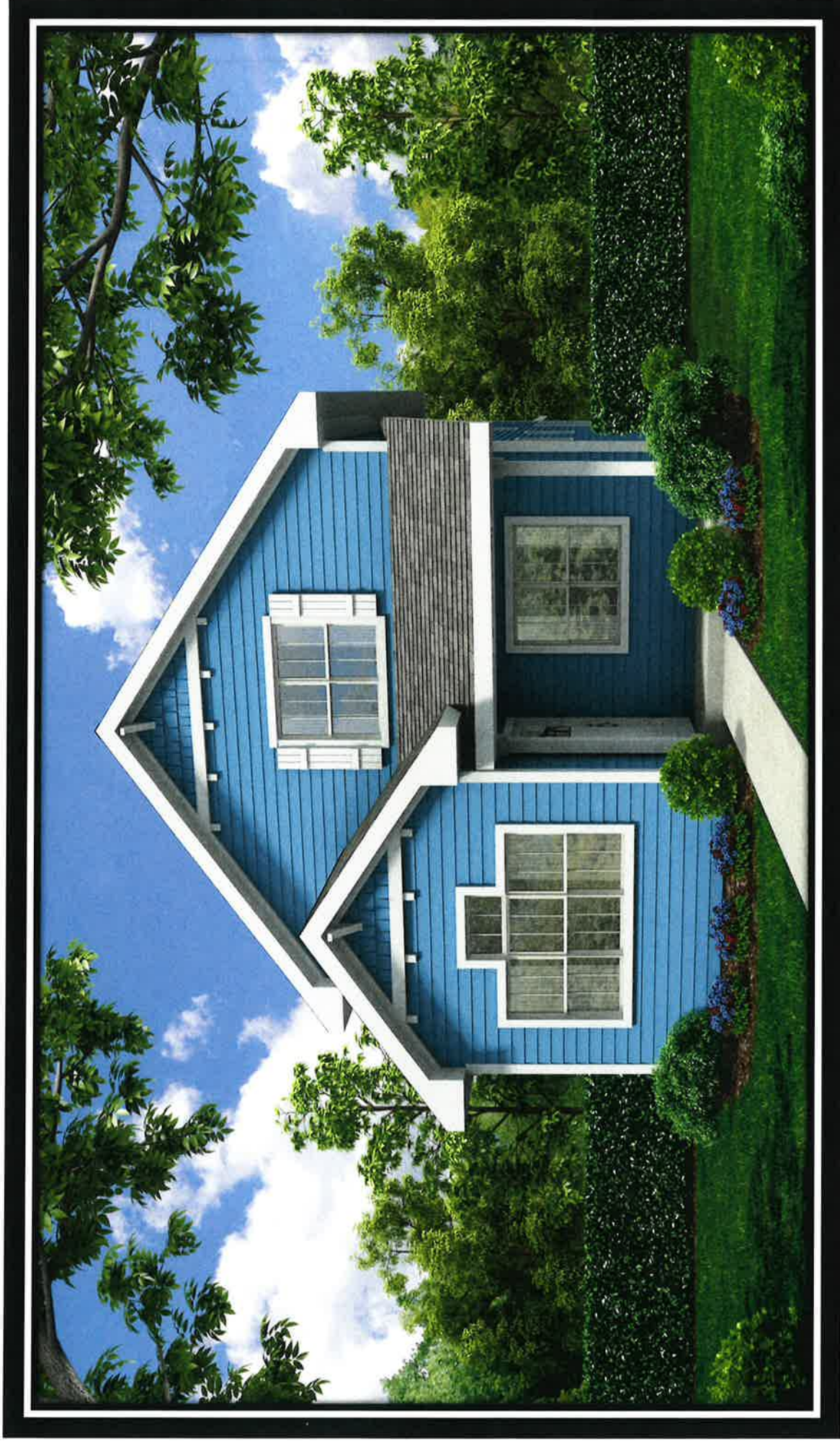
NOTES:  
1- See job start for window colors  
2- Switch active patio door leaf and casement swing for Reversed plans  
3- Tempered Glass  
4- Top of window @ 84" A.F.F.

RIGHT ELEVATION



LEFT ELEVATION

# The Willow – Elevation A





# The Willow – Elevation B



BB	BOTLE/B	WD	WOOD
CO	CASED OPENING	DM	DISBURSER
DO	DOOR/WALL OPENING	RS	REINFORCATOR
WP	WATER PROOF	SO	SWITCH/OUTLET
CPT	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LPM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Foundation Plan

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

XXX of . pages F1.0

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# The Cottages At Chapel View

## "The Willow"


### Elevations A & B





Notes

Diagram showing shear wall locations on a floor plan. The legend indicates that the symbol represents SHEAR WALL LOCATIONS.



PANTRY LINEN SECTION

**A25**

**C**

**© 2015 SECTION**

 CLOSET SECTION

 = WOOD RAILING WITH METAL BALUSTERS

--- = DRYWALL RETURNS 2 SIDES

--- -- -- -- - UNTV ALL RETURNS J-JUL-03

ΣWP TO BE 4'-0" WIDE

S.W.P. NAILING PATTERN:

1. EDGE NAILING SHALL BE 8d NAILS 8" O.C.
2. FIELD NAILING SHALL BE 8d NAILS 10" O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DEF	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CURBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

AREA:  
LOWER LEVEL: 519

### Revisions

PRELIMINARY SET

BID SET: FORMERLY COTTAGE 2- ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS

WILLOW : ELEVATION A

Drawn By: SWE

Checked By: \_\_\_\_\_

Drawing Title

## Future Lower Level Plan

Scale:  $1/4" = 1'-0"$

Date: XX/XX/

Project No.

Draw

XXX

A

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AREA:	
FIRST FLOOR:	1,041
SECOND FLOOR:	834
TOTAL:	1,875

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW ELEVATION A

First Floor Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

XXX

A

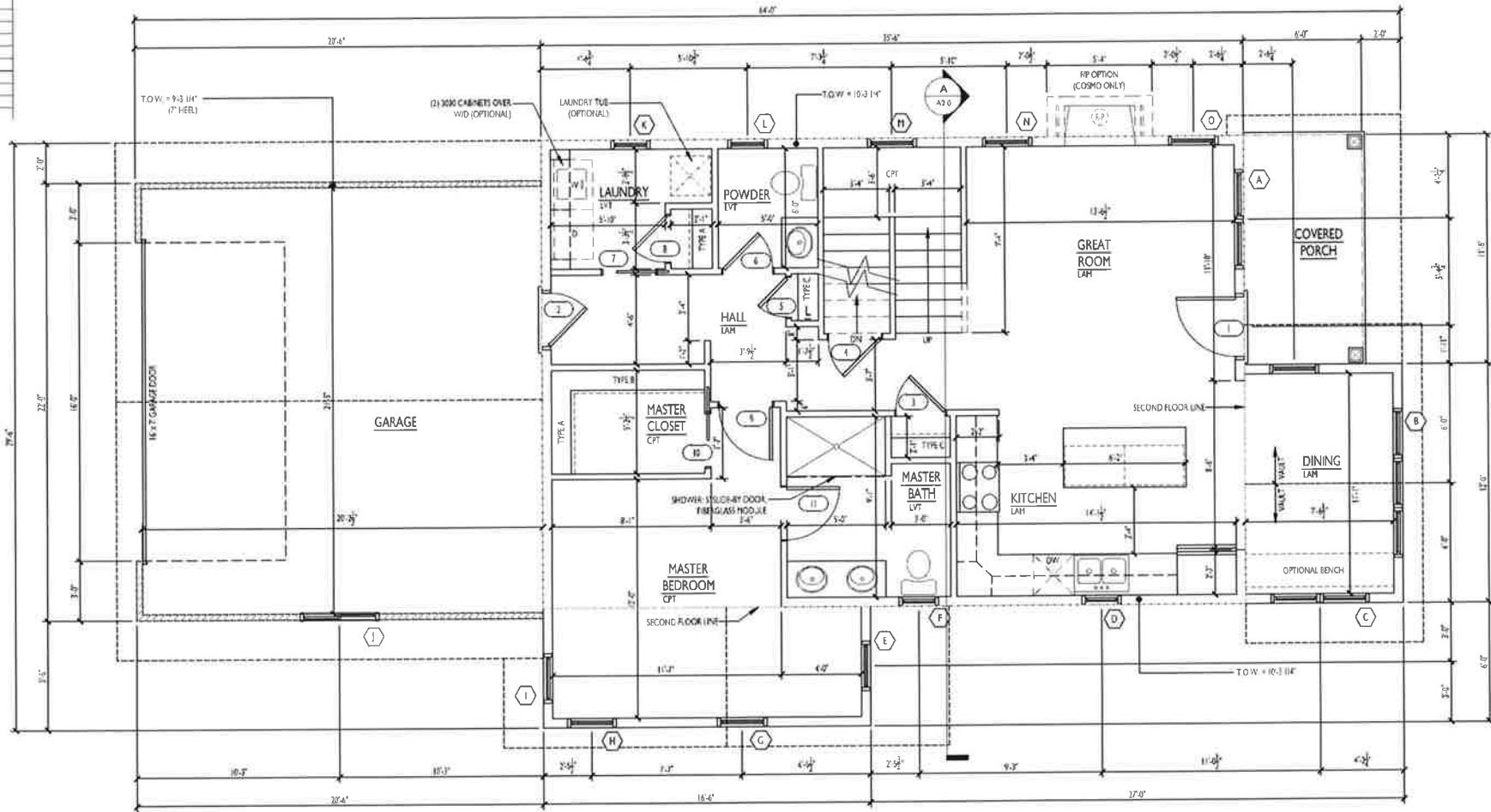
DOOR SCHEDULE									
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	3'-0" x 6'-8"	38 3/8 x 82 1/2	6 9/16"	Steel Insulating w/ Light	L	Handset w/ In Passage Deadbolt	Hinge Pin	1, 2, 3	
2	2'-6" x 6'-8"	34 3/8 x 82 1/2	6 9/16"	Steel Insulating	R	Passage, Deadbolt	Hinge Pin		
3	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
4	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
5	2'-0" x 6'-8"	30 1/2 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Wall Spring		
6	2'-6" x 6'-8"	30 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Spring		
7	2'-6" x 6'-8"	30 1/2 x 82 1/2	4 9/16"	Wood Pocket		Passage			
8	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
9	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
10	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Wood Pocket		Passage			
11	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Hinge Pin		
12	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
13	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
14	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
15	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
16	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Privacy	Hinge Pin		
17	2'-6" x 6'-8"	30 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
20	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Spring	
21	2'-6" x 6'-8"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	

NOTES

- Doors are designated using the "built to suit" method.
- Notes list notes for door styles and hardware finishes.
- See Elevation for door configuration.
- Interior hardware to match remaining exterior hardware color and style.
- Doors set with common key.



Consultant

Notes

--- = SHEAR WALL LOCATIONS

B  
A2.0  
PANTY/LINEN SECTION

C  
A2.0  
CLOSET SECTION

--- = HALF WALL WITH WOOD CAP

--- = WOOD RAILING WITH METAL OR WOOD SPINDLES

--- = DRYWALL RETURNS 3 SIDES

SW.F. TO B2 4'-6" WIDE  
SW.F. RAILING PATTERN:  
1. EDGE NAILING SHALL BE 8d NAILS 8" O.C.  
2. FIELD NAILING SHALL BE 8d NAILS 18" O.C.

STANDARD ABBREVIATIONS:

HB	HOT/BB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VNL	VINYL	PS	PUMPING STAC
PRS	PASSIVE RADON SYSTEM		

AREA:  
SECOND FLOOR: 834

Revisions

PRELIMINARY SET

BID SET: FORMERLY COITAGE 7; ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW : ELEVATION A

Drawing By: SWE

Checked By:

Drawing Title

Second Floor Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

A

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DOOR SCHEDULE							
	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP NOTES
1	2'0" x 6'6"	38 3/8 x 82 1/2	6 9/16"	Steel Insulating w/ Light	L	Passage, Deadbolt	Hinge Pin 1, 2, 3
2	2'4" x 6'6"	34 3/8 x 82 1/2	6 9/16"	20 mm Steel Insulating	R	Passage, Deadbolt	Hinge Pin 3
3	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin
4	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring
5	2'0" x 6'6"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring
6	2'0" x 6'6"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring
7	2'0" x 6'6"	38 1/2 x 82 1/2	4 9/16"	Wood Pocket	R	Passage	
8	2'4" x 6'6"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin
9	2'0" x 6'6"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring
10	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Wood Pocket	R	Passage	
11	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin
12	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring
13	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin
14	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin
15	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin
16	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin
17	2'4" x 6'6"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP NOTES
20	2'0" x 6'6"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring
21	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring

NOTES

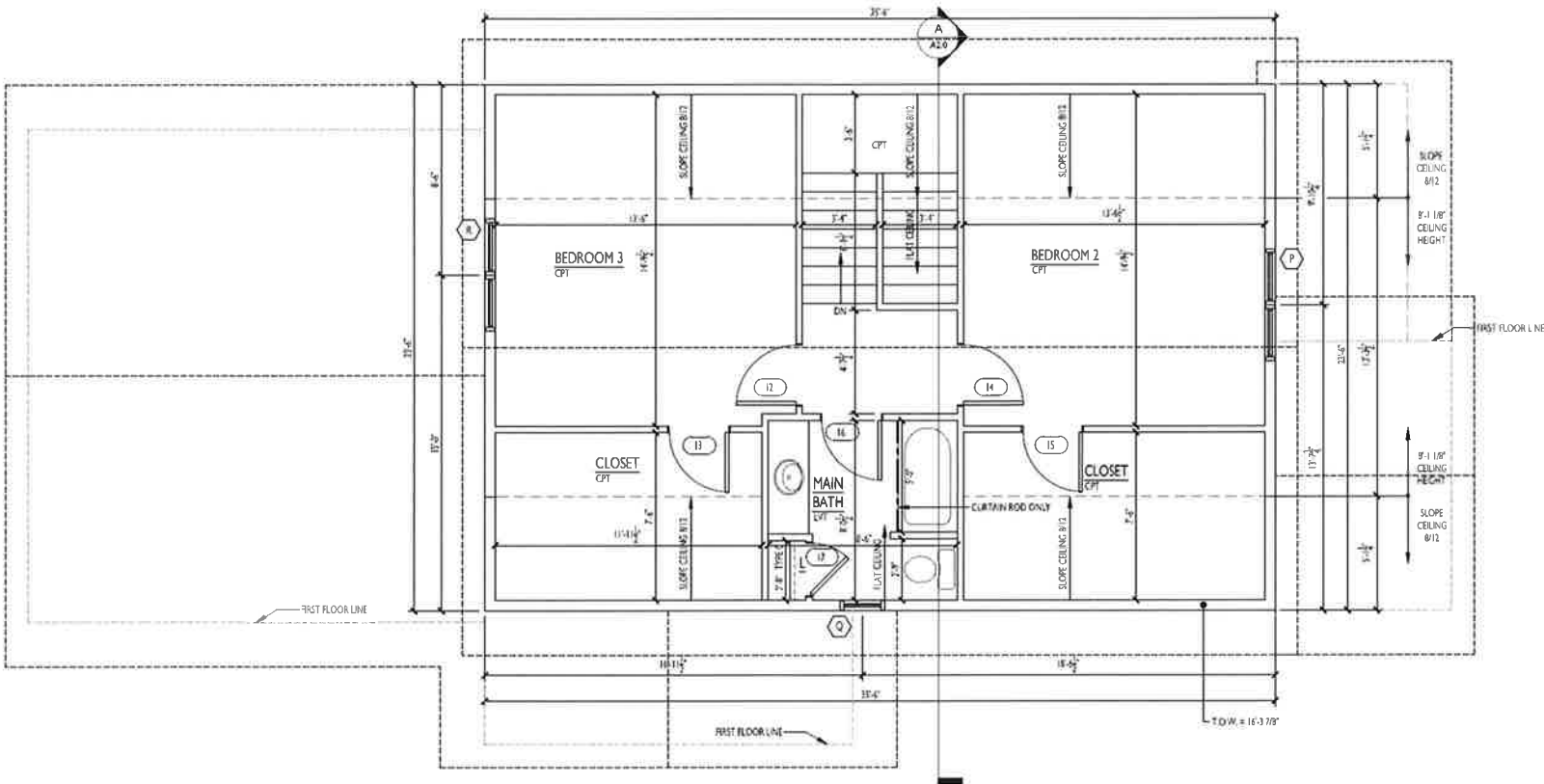
\*Hinges are designated using the "butt to butt" method

\*See job start for door styles and hardware finishes

1 - See dimensions for door configuration

2 - Interior handle to match remaining interior hardware color and style

3 - Deadbolt with common key





STANDARD ABBREVIATIONS:

MB	HOLE B	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VVL	VINYL	PS	PUMPING STATION
PRS	PASSIVE RADON SYSTEM		

Revisions:

PRELIMINARY SET:  
BIO SET: FORMERLY COTTAGE 2; ELEVATION A  
CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW: ELEVATION A

Drawing By: SWE

Checked By:

Drawing Title

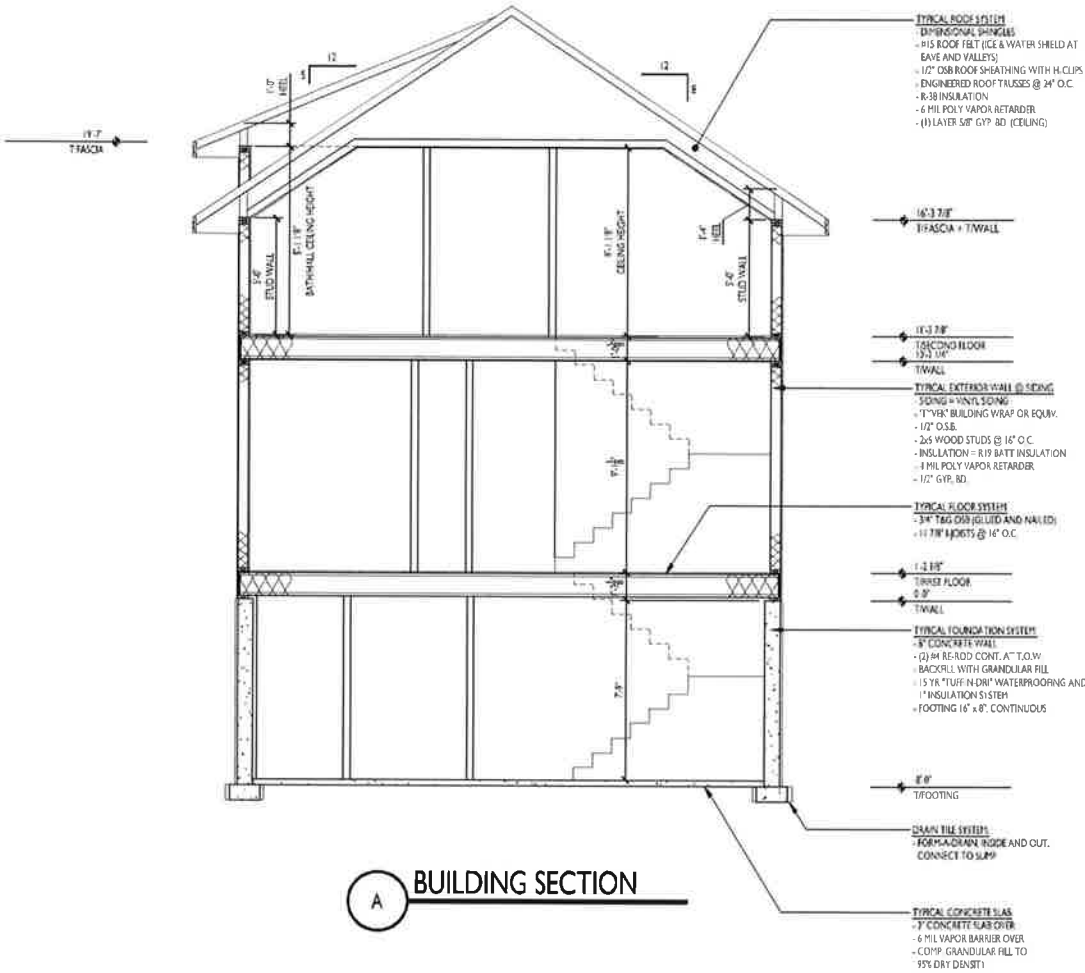
Building Sections

Scale: 1/4" = 1'-0" Date: XX/XX/XX

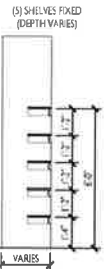
Project No. Draw

XXX \* ed \* BOSES A'

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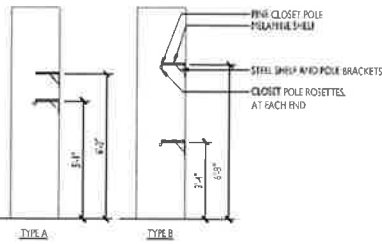


A BUILDING SECTION



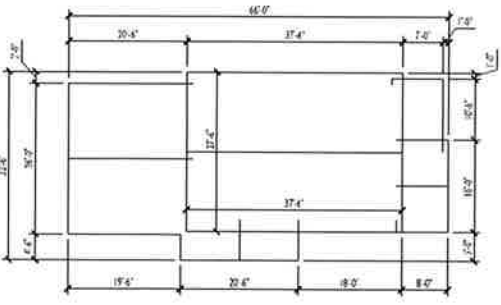
B PANTRY/LINEN SECTION

SCALE: 1/4" = 1'-0"



C CLOSET SECTION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: N.T.S.

The Willow - Elevation A

6840 SCHNEIDER ROAD  
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PHONE: (608) 836-9401  
FAX: (608) 836-9691  
www.encorebuildings.com

Consultant

Notes

EXTERIOR COLORS:

- 0 VINYL SIDING (W/ EXPOSURE)
- 1 SMART SIDING (W/ EXPOSURE)
- 2 BOARD & BATTEN (1/2")
- 3 BOARD & BATTEN (1/2")
- 4 SHAKES (1/4")
- 5 SHAKES (1/2")
- 6 VINYL CORNER TRIM
- 7 SMART CORNER TRIM
- 8 WINDOW & DOOR TRIM
- 9 ACCENT BAND
- 10 GABLE ACCENTS
- 11 COLUMNS
- 12 SHUTTER/FASCIA/GLUTTER (ALUMINUM)
- 13 SHUTTERS
- 14 MASONRY
- 15 ROOF (SHINGLES)
- 16 ROOF (SHINGLES)
- 17 WINDOWS
- 18 ENTRY DOOR
- 19 GARAGE DOOR

STANDARD ABBREVIATIONS:

HB	NOTE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CFT	CARPET	C	CUBES
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VNL	VINYL	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		



- 19'-0" T/FASCIA
- 16'-3 7/8" T/FASCIA
- 11'-3 7/8" T/FASCIA
- 10'-0" T/FASCIA
- 9'-0" T/FASCIA
- 7'-3" T/FASCIA @ PORCH
- 11'-3 7/8" T/FASCIA
- 10'-0" T/FASCIA
- 9'-0" T/FASCIA
- 7'-3" T/FASCIA @ PORCH

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 0060	2-Wide Single Hung	5'-0" x 3'-0"	6'-0" x 1'-0"	1		Plaza	
B 9054	3-Wide Single Hung	7'-0" x 4'-0"	6'-0" x 1'-0"	1		Plaza	
C 0054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 1'-0"	1		Plaza	
D 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 1'-0"	1			
E 2054	Single Hung	2'-0" x 4'-0"	6'-0" x 1'-0"	1			
F 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 1'-0"	1			
G 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 1'-0"	1			
H 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 1'-0"	1			
I 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 1'-0"	1			
J 4648	Horizontal Slider	4'-0" x 4'-0"	4'-0" x 1'-0"	1			
K 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 1'-0"	1			
L 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 1'-0"	1			
M 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 1'-0"	1			
N 3030	Fixed	2'-0" x 2'-0"	6'-0" x 1'-0"	1		Plaza	
O 3030	Fixed	2'-0" x 2'-0"	6'-0" x 1'-0"	1		Plaza	
P 0054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 1'-0"	1		Plaza	
Q 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 1'-0"	1			
R 0054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 1'-0"	1			
S							
T							

NOTES:  
1 - See job spec for window color  
2 - Batch active pull in door leaf and casement using for Revised plans  
3 - Tempered Glass  
4 - Glazing Patch Door to be installed in 6-8-10" jamb

FRONT ELEVATION



- 19'-0" T/FASCIA
- 16'-3 7/8" T/FASCIA
- 11'-3 7/8" T/FASCIA
- 10'-0" T/FASCIA
- 9'-0" T/FASCIA
- 7'-3" T/FASCIA @ PORCH
- 11'-3 7/8" T/FASCIA
- 10'-0" T/FASCIA
- 9'-0" T/FASCIA
- 7'-3" T/FASCIA @ PORCH

REAR ELEVATION

Revisions

- PRELIMINARY SET
- BID SET FORMERLY COITAGE 2 - ELEVATION A
- CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

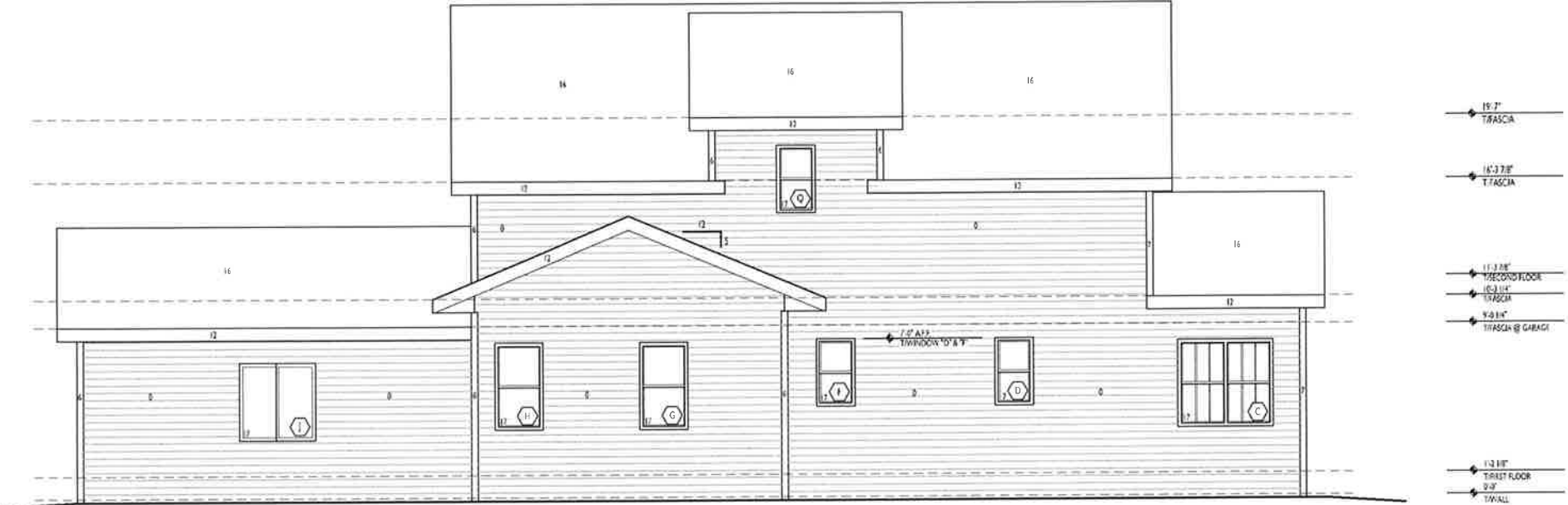
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The Willow - Elevation A



- Notes
- EXTERIOR COLORS:
- 1. VINYL SIDING w/ EXPOSURE =
  - 2. SMART SIDING (2' EXPOSURE) =
  - 3. BOARD & BATT EN (ID 2) =
  - 4. BOARD & BATT EN (ID 3) =
  - 5. SHAKE (ID 4) =
  - 6. VINYL CORNER TRIM =
  - 7. SMART CORNER TRIM =
  - 8. WINDOW & DOOR TRIM =
  - 9. ACCENT BAND =
  - 10. GABLE ACCENTS =
  - 11. COLUMNS =
  - 12. SOFTFASCIA/GUTTER (ALUMINUM) =
  - 13. SHUTTERS =
  - 14. MASONRY =
  - 15. ROOF (1/4\"/>
  - 16. ROOF (SHINGLES) =
  - 17. WINDOWS =
  - 18. ENTRY DOOR =
  - 19. GARAGE DOOR =
- STANDARD ABBREVIATIONS:
- |     |                      |     |               |
|-----|----------------------|-----|---------------|
| HB  | NOTE BIB             | WD  | WOOD          |
| CO  | CASED OPENING        | DW  | DISH WASHER   |
| DO  | DOOR                 | REF | REFRIGERATOR  |
| WP  | WATER PROOF          | SO  | SWITCH OUTLET |
| CT  | CASSET               | C   | CURB          |
| CT  | CERAMIC TILE         | W   | WASHER        |
| D   | DRYER                | LAM | LAMINATE      |
| VTL | VINYL                | PS  | PLUMBING STAC |
| FRS | PASSIVE RADON SYSTEM |     |               |

WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL
A	6000	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 10"	1		Place
B	9054	3-Wide Single Hung	7'-6" x 4'-6"	6'-0" x 16"	1		Place
C	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 10"	1		Place
D	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1		
E	3054	Single Hung	2'-0" x 4'-6"	6'-0" x 16"	1		
F	3054	Single Hung	2'-0" x 4'-6"	6'-0" x 16"	1		
G	3054	Single Hung	2'-0" x 4'-6"	6'-0" x 16"	1		
H	3054	Single Hung	2'-0" x 4'-6"	6'-0" x 16"	1		
I	3054	Single Hung	2'-0" x 4'-6"	6'-0" x 16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4'-0" x 16"	1		
K	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1		
L	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1		
M	3054	Single Hung	2'-0" x 4'-6"	6'-0" x 16"	1		
N	3030	Fixed	2'-0" x 2'-6"	6'-0" x 16"	1		Place
O	3030	Fixed	2'-0" x 2'-6"	6'-0" x 16"	1		Place
P	6054	3-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 16"	1		Place
Q	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 16"	1		
R	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 16"	1		
S							
T							

NOTES:

- 1 - See job spec for window color
- 2 - Switch active put in door leaf and statement ruling for Reversed plans
- 3 - Temporary Glass
- 4 - Griding Panel Door to be installed in 6-18-15" jabs

LEFT ELEVATION



RIGHT ELEVATION



Side Elevation when facing Middleton Community Church or a Public Street



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## Conclusion

Notes

### EXTERIOR COLORS

0. VINYL SIDING (4" EXPOSURE) =
1. SMART SIDING (6" EXPOSURE) =
2. BOARD & BATTEN (JD 2) =
3. BOARD & BATTEN (JD 3) =
4. SHAKE (D 4) =
5. SHAKE (D 5) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/GUTTER (ALUMINUMUM) =
13. SHUTTERS =
14. MASONRY =
15. ROOF (F) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SD	SWITCH OUTLET
CT	CARPET	C	CURBIE
CD	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PRU	PASSIVE RADON SYSTEM		

LEFT ELEVATION

NOTES:

**NOTES:**

- \* See job start for window colors
- \* Switch active part of door leaf and casement rating for Reversed plans.
- 1 - Tempered Glass
- 2 - Add no Plate prior to be installed in 6-8-10" jamb



## Revisions

### PRELIMINARY SET

BID SET: FORMERLY COTTAGE 2 - ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS

WILLOW : ELEVATION A

Drawing By: SWE

Checked By:

Drawing Title

## Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/

Project No. \_\_\_\_\_

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HB	HOSE BIB	WD	WOOD
CO	CASD OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CURBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STA
FRS	PASSIVE RADON SYSTEM		

CONSTRUCTION SET

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW : ELEVATION 1

10

## Building Sections

Scale: 1/4" = 1'-0"

Date: XX/XX/

Project N

Draw

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The Willow - Elevation B

Consultant:

Notes

EXTERIOR COLORS

1. VINYL SIDING (H' EXPOSURE) =  
2. SMART SIDING (H' EXPOSURE) =  
3. BOARD & BATTEN (D 2) =  
4. SHAKES (D 4) =  
5. SHAKES (D 5) =  
6. VINYL CORNER TRIM =  
7. SMART CORNER TRIM =  
8. WINDOW & DOOR TRIM =  
9. ACCENT BAND =  
10. GABLE ACCENTS =  
11. COLUMNS =  
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =  
13. SHUTTERS =  
14. MASONRY =  
15. ROOF (PLY) =  
16. ROOF (SHINGLES) =  
17. WINDOWS =  
18. ENTRY DOOR =  
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBIE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VL	VINYL	PS	PUSHING STAC
PRS	PASSIVE RADON SYSTEM		



- 19.7" TRASCIA  
14.3.75" T.FASCIA  
11.3.88" SECOND FLOOR  
12.3.114" T.WALL  
7.9.14" TRASCIA @ PORCH  
7.7" TRASCIA @ PORCH  
11.3.88" TRASCIA FLOOR  
6.3" T.WALL

WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	2-Wide Single Hung	5'-0" x 5'-0"	6'-9 1/2"	1			Colonial
B	2-Wide Single Hung	7'-0" x 4'-0"	6'-9 1/2"	1			Colonial
C	2-Wide Single Hung	5'-0" x 4'-0"	6'-9 1/2"	1			Colonial
D	Single Hung	2'-0" x 3'-0"	6'-9 1/2"	1			
E	Single Hung	2'-0" x 4'-0"	6'-9 1/2"	1			
F	Single Hung	2'-0" x 4'-0"	6'-9 1/2"	1			
G	Single Hung	2'-0" x 4'-0"	6'-9 1/2"	1			
H	Single Hung	2'-0" x 4'-0"	6'-9 1/2"	1			
I	Single Hung	2'-0" x 4'-0"	6'-9 1/2"	1			
J	Horizontal Slider	4'-0" x 4'-0"	6'-9 1/2"	1			
K	Single Hung	2'-0" x 3'-0"	6'-9 1/2"	1			
L	Single Hung	2'-0" x 3'-0"	6'-9 1/2"	1			
M	Single Hung	2'-0" x 4'-0"	6'-9 1/2"	1			
N	Fixed	2'-0" x 2'-0"	6'-9 1/2"	1			Colonial
O	Fixed	2'-0" x 2'-0"	6'-9 1/2"	1			Colonial
P	2-Wide Single Hung	5'-0" x 4'-0"	6'-9 1/2"	1			Colonial
Q	Single Hung	2'-0" x 3'-0"	6'-9 1/2"	1			
R	2-Wide Single Hung	5'-0" x 4'-0"	6'-9 1/2"	1			
S							
T							

NOTES:  
1 - See job sheet for window colors.  
2 - Rough active patio door leaf and casement saving for Reversed plans.  
3 - Tempered Glass.  
4 - Siding Patio Door to be installed in 6'-9 1/2" jamb.

FRONT ELEVATION



- 19.7" TRASCIA  
14.3.75" T.FASCIA  
11.3.88" SECOND FLOOR  
12.3.114" T.WALL  
7.9.14" TRASCIA @ GARAGE  
11.3.88" TRASCIA FLOOR  
6.3" T.WALL

REAR ELEVATION

Revisions

- PRIMARY SET  
BIO SET - FORMERLY COTTAGE 2 - ELEVATION AA  
CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION B

Drawing By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No.

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Consistent

## Notes

### EXTERIOR COLORS

0. VINYL SIDING (4' EXPOSURE) =
1. SMART SIDING (6' EXPOSURE) =
2. BOARD & BATTEN (2) =
3. BOARD & BATTEN (3) =
4. SHAKE (1 D 4) =
5. SHAKE (2 D 5) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOWS & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. PASONIC® =
15. ROOF (17) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPI	CARPET	C	CUBIE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VTL	VINYL	PS	PLUMBING STAG
PRS	PASSIVE RADON SYSTEM		

○ LEFT ELEVATION

C

RIGHT ELEVATION

○

### Revisions

PRELIMINARY SET

BID SET: FORMERLY COTTAGE 2 - ELEVATION AA

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW : ELEVATION 8

Drawing By: SWE

Checked By:

### Drawing Tide

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Scale: 1/4" = 1'-0"

Date: XX/XX/XX

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The Willow - Elevation B

Side Elevation when facing Middleton Community Church or a Public Street

Consultant

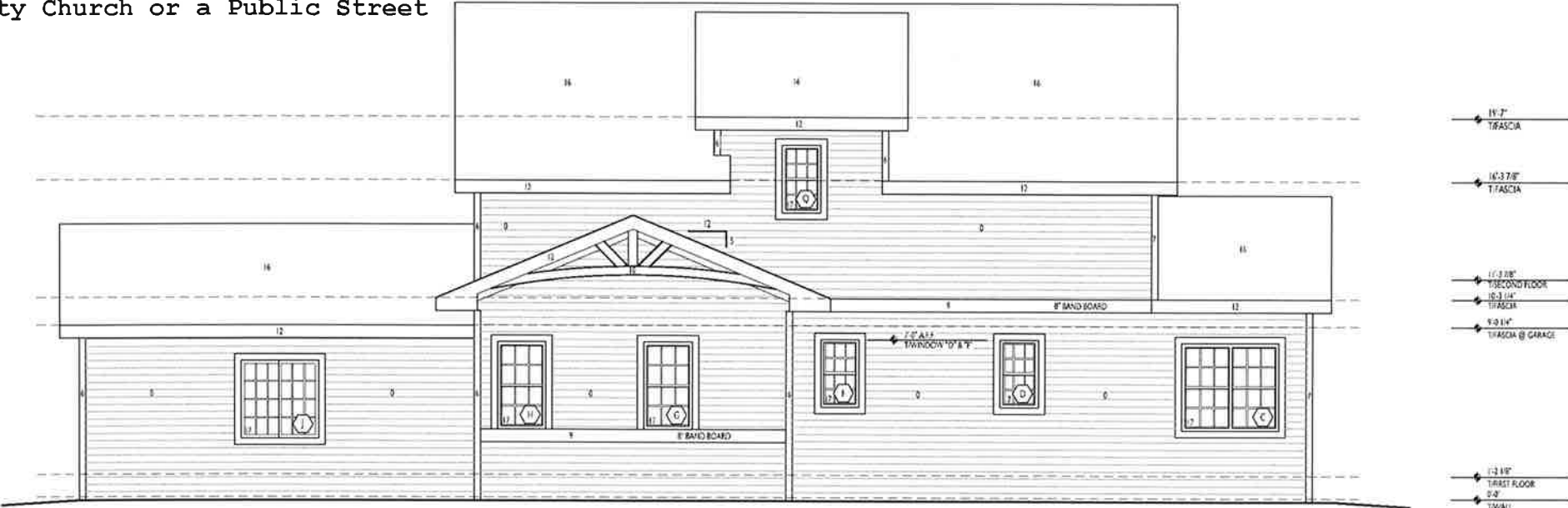
Notes

EXTERIOR COLORS:

- 8. VINYL SIDING (4" EXPOSURE) =
- 1. SMART SIDING (4" EXPOSURE) =
- 2. BOARD & BATTEN (4" ID) =
- 3. BOARD & BATTEN (4" ID) =
- 4. SHAKES (4" ID) =
- 5. SHAKES (4" ID) =
- 6. VINYL CORNER TRIM =
- 7. SMART CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. PASONA =
- 15. ROOF (1/2") =
- 16. ROOF (SHINGLES) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

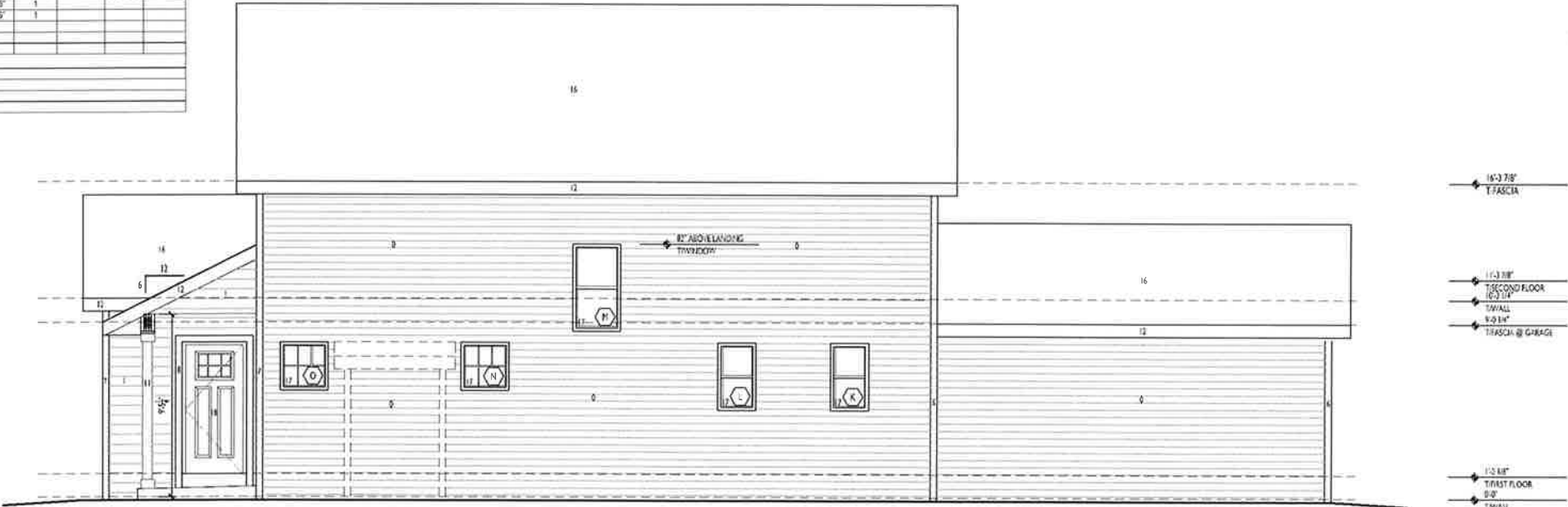
HB	HOSE BIB	WD	WOOD
CO	CASE OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CURBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VNL	VINYL	PS	PLUMBING STAC
FRS	PASSIVE RADON SYSTEM		



WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6050	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1			Colonial
B 6051	3-Wide Single Hung	7'-0" x 4'-0"	6'-0" x 6"	1			Colonial
C 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			Colonial
D 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
E 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			
F 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			
G 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			
H 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			
I 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			
J 4848	Horizontal Slide	4'-0" x 4'-0"	6'-0" x 6"	1			
K 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
L 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
M 3054	Single Hung	2'-0" x 4'-0"	6'-0" x 6"	1			
N 3030	Fixed	2'-0" x 2'-0"	6'-0" x 6"	1			Colonial
O 3030	Fixed	2'-0" x 2'-0"	6'-0" x 6"	1			Colonial
P 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			Colonial
Q 2442	Single Hung	2'-0" x 3'-0"	6'-0" x 6"	1			
R 6054	2-Wide Single Hung	5'-0" x 4'-0"	6'-0" x 6"	1			
S							
T							

NOTES:  
\*See job MFR for window colors  
\*Switch active/passive door leaf and casement swing to Revised plans  
1 = Tempered Glass  
12 = Sliding Glass Door to be installed in 6'-0" x 6" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions

- PRELIMINARY SET
- BID SET - FORMERLY COITAGE 2 - ELEVATION AA
- CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION B

Drawing By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

of

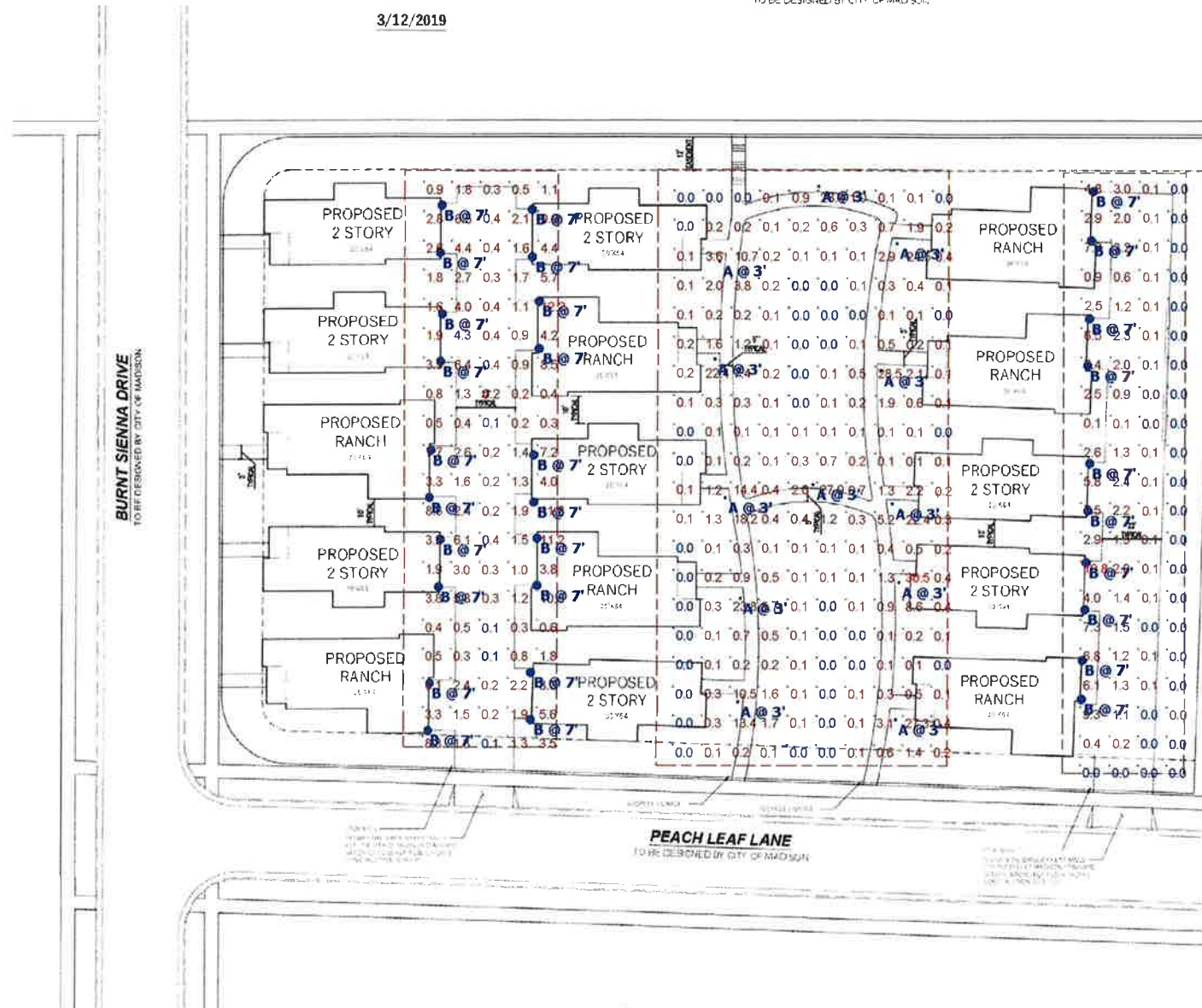
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**OLD SAUK ROAD**  
PUBLIC SIDEWALK AND RIGHT OF WAY IMPROVEMENTS  
TO BE DESIGNED BY CITY OF MADISON

3/12/2019



**ENCORE  
LOT 1**

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOLLARD ZONE 3	+	2.0 fc	30.5 fc	0.0 fc	N/A	N/A
WALLPACK ZONE 4	+	2.7 fc	12.2 fc	0.1 fc	122.0:1	27.0:1
WALLPACK ZONE 5	+	1.6 fc	10.8 fc	0.0 fc	N/A	N/A

Schedule								
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage
	A	33	BOLLARD1A/038UNV830/R8R/BZ	Bollards	1	3610	1	38.15
	B	56	SLMWP1A-013UNV740-CO-XX-X	SLIM WALL PACK 13W 4000K	1	1394	1	12.71

**Designer**  
MB, CED  
**Date**  
4/3/2019  
**Scale**  
Not to Scale  
**Drawing No.**

**Summary**



# Proposed Bike Racks

## Park-It Powder-Coated Steel Bike Racks

Parent SKU: TBR-01A



[Click to Zoom](#)



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