June 17, 2019

Kevin Firchow, Principal Planner City of Madison, Planning Division 215 Martin Luther King, Jr. Blvd. Madison, WI 53701-2985

Re: Urban Design Commission Application 2201 Zeier Road Madison, WI 53704

Dear Mr. Firchow,

The following documents replace the package sent on 6/11/19 which contained the documents called for by the UDC on 5/29/19 to be added to the original submittal. This submittal includes both the original, as well as the added documents.

callaway

Please find 14 copies of the following documents:

- Cover Letter
- Urban Design Commission Application
- Original Letter of Intent
- Email dated 6/4/19 from Janine Glaeser detailing the additional requirements from the UDC
- Specification section 07-2400 Exterior Insulation and Finish System (with high impact EIFS highlighted)
- Sheet A4.1 A4.1 Exterior Elevations (with high impact EIFS note highlighted)
- Aerial Site Maps
- Site Plan
- Proposed Exterior Elevations in black & white and color
- Existing Landscape Plan of the property from the original construction Changes are being proposed
- Existing Utility Plan No changes are proposed



- Existing HVAC Plan No changes are proposed
- Sheet A4.1 New Exterior Elevations with EIFS Note highlighted
- Sheet L1.0 Landscape Demo Plan dated 6/12/19
- Sheet L1.0 Landscape Demo Plan dated 6/12/19 with colored legend
- Sheet L1.1 Landscape Plan dated 6/12/19.

I understand that we will be heard by the UDC at their regularly scheduled meeting on 6/26/19. I look forward to meeting with the Commission again.

Sincerely,

John Taylor, Sr. Project Manager

URBAN DESIGN COMMISSION APPLICATION

City of Madison Planning Division Madison Municipal Building, Suite 017 215 Martin Luther King, Jr. Blvd. P.O. Box 2985 Madison, WI 53701-2985 (608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid	Receipt #	
Date received		
Received by		
Aldermanic District		
Zoning District		
Urban Design District		
Submittal reviewed by		
Legistar #		

1. Project Information

	Add	lress: 2201 Zei	er Road, Ma	dison, WI 53704		
	Title	e: At Home				
2.		llication Type (cl C meeting date re		apply) and Requested Date 6/26/19	5	
		New developme Informational			•	ously-approved development Final approval
3.	Proj	ject Type				
		Project in an Urb	an Design Dist	trict	Sig	nage
			ect in the Downtown Core District (DC), Urban ed-Use District (UMX), or Mixed-Use Center District (MXC) ect in the Suburban Employment Center District (SEC), npus Institutional District (CI), or Employment Campus rict (EC)			Comprehensive Design Review (CDR) Signage Variance (i.e. modification of signage height,
					area, and setback) Other	
		 General Development Plan (GDP) Specific Implementation Plan (SIP) 		Ø	Please specify Conditional Use Alteration - Zoned CC	
				dential Building Complex		
4.	Арр	olicant, Agent, ai	nd Property	Owner Information		
	Арр	licant name	Bob Athert	on	Сог	npany <u>At Home Stores, LLC</u>
	Stre	et address	1600 E. Plar	no Parkway	City	//State/Zip Plano, TX 75074
	Tele	phone	972-265-62	27	Em	ail batherton@athome.com
	Proj	ect contact perso	on _John Ta	aylor	Со	npany <u>Callaway Architecture</u>
	Stre	et address	1207 Hamp	oshire Lane, Ste. 105	City	//State/ZipRichardson, TX 75080
	Tele	phone	214-368-25	25	Em	ail jtaylor@callawayarchitecture.com
	Pro	perty owner (if n	ot applicant)	Steve Doran		
	Stre	et address	6430 Bridge	e Road, Suite 230	City	//State/Zip Madison, WI 53713
	Tele	phone	608-327-40	00	Em	ail sdoran@galwaycompanies.com

5. Required Submittal Materials

□ Application Form

- □ Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans (Refer to checklist on Page 4 for plan details)
- □ Filing fee
- □ Electronic Submittal*

Each submittal must include fourteen (14) 11" x 17" <u>collated</u> paper copies. Landscape and Lighting plans (if required) must be <u>full-sized and legible</u>. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies <u>must</u> be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to <u>udcapplications@cityofmadison.com</u>. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

6. Applicant Declarations

- 1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with <u>Kevin Firchow, Janine Glaser, and Matt Tucker</u> on 2/26/19
- 2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Bob Atherton

Authorizing signature of property owner

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request: Urban Design Districts: \$350 *(per §35.24(6) MGO)*.

- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- □ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- □ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- □ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

Relationship to property At Home Construction PM

Date

6/11/19

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- <u>Informational Presentation</u>. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- <u>Initial Approval</u>. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. Applicants/presenters are responsible for all presentation materials, AV equipment and easels.

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/ or staff may require additional information in order to have a complete understanding of the project.

Providing additional

information beyond these

minimums may generate

from the Commission.

a greater level of feedback

1. Informational Presentation

- Locator Map
- □ Letter of Intent (If the project is within an Urban Design District, a summary of <u>how</u> the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- □ Two-dimensional (2D) images of proposed buildings or structures.

2. Initial Approval

- Locator Map
- □ Letter of Intent (If the project is within a Urban Design District, a summary of <u>how</u> the development proposal addresses the district criteria is required)
- □ Contextual site information, including photographs and layout of adjacent buildings/ structures
- □ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- □ Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- D PD text and Letter of Intent (if applicable)

3. Final Approval

All the requirements of the Initial Approval (see above), plus:

- □ Grading Plan
- □ Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- D PD text and Letter of Intent (if applicable)
- □ Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- □ Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- □ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- □ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- □ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- □ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

- 1. Title block
- 2. Sheet number
- 3. North arrow
- 4. Scale, both written and graphic
- 5. Date
- Fully dimensioned plans, scaled at 1"= 40' or larger

** All plans must be legible, including the full-sized landscape and lighting plans (if required)

> Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

April 10, 2019

Kevin Firchow, Principal Planner City of Madison, Planning Division 215 Martin Luther King, Jr. Blvd. Madison, WI 53701-2985

Re: Urban Design Commission Application 2201 Zeier Road Madison, WI 53704

Dear Mr. Firchow,

Please find enclosed the following documents to be distributed and used for the upcoming Urban Design Commission Review of this project.

callaway

14 sets of the Application with Exhibits (11 X 17)

- Aerial Site Maps
- Site Plan
- Proposed Exterior Elevations in black & white and color
- Existing Landscape Plan of the property from the original construction. No changes are proposed.
- Existing Utility Plan No changes are proposed.
- Existing HVAC Plans No changes are proposed.

At Home will be acquiring the existing Shopko store at 2201 Zeier Road and performing an adaptive re-use to incorporate its own merchandising brand. At Home is a national Home Décor retailer with approximately 180 stores nationwide. Formerly known as "Garden Ridge", At Home is based in Plano, TX and has been successfully promoting the brand through new construction and renovations such as the one being proposed in this application. It is important, as an emerging retailer, to present a consistent and identifiable prototype image. This consistency will develop brand recognition just as the iconic images of companies such as Target, Best Buy and others enjoy within the consumer public.

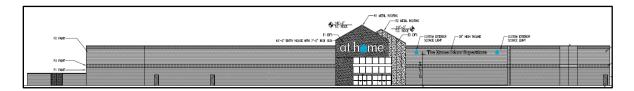


The At Home brand, as it relates to the image is represented in the "Entry House". This element, which is a stylized gable form, defines the image of the brand and reflects the company name. Important to the success of this branding image, and the visual strength of the "House", is supported by the signage and the simple façade of the balance of the building.

At our initial meeting on February 26, 2019, we focused on the process for obtaining administrative approval for our project. Your team indicated that type of approval would be contingent on at least two issues: not repainting the brick and not including tag line signage. At Home has since determined those two branding issues are important enough to justify the additional time required for a UDC hearing. They fully understand that one or both of those issues may not receive UDC approval.

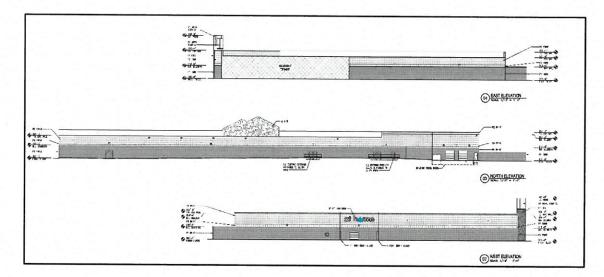


Above is the existing front elevation of the Shopko building



The proposed revision to the exterior replaces the Shopko entry branding with the At Home "House". The existing expansive EIFS entry element will be replaced with new brick to match the existing. The At Home sign will be a part of the House and a tagline with custom decorative sconces will be placed to one side.





The side Elevations will further delineate the brand and offer to break up the expansive building façade with vertical elements on the corners.

Callaway Architecture is pleased to have this opportunity to present this project to the Urban Design Commission and look forward to working with you and your team.

Sincerely,

ANG

John Taylor, Sr. Project Manager



John Taylor

From:	Glaeser, Janine <jglaeser@cityofmadison.com></jglaeser@cityofmadison.com>
Sent:	Tuesday, June 04, 2019 3:14 PM
То:	John Taylor
Cc:	Scott Stone; Cleveland, Julie; Firchow, Kevin
Subject:	RE: At Home - Madison East - UDC Approval

Good afternoon John, thank you for your email. The UDC granted "Initial Approval" at the May 29th meeting which means that the project must return for "Final Approval" with more information on the landscaping plan and elevation material updates. We will have the meeting report available at the end of this week and can send a copy when it's available.

A few clarifications on the additional information UDC requested.

- The Commission requested that the exterior elevations show the EIFS material only above 6' and a durable material at the base.
- Regarding the landscape plan, the commission would like to see some landscaping added to the area where the outdoor garden center will be removed and documentation on what landscaping materials currently exist versus what was approved in 1987. They want to know how the property will be re-landscaped to meet the original approval plan.

Can your team submit updated materials by next Wednesday, June 12th for a June 26th UDC meeting?

Please feel free to contact us with any questions. Thank you,



Janine Glaeser, AIA, LEED AP Architect, Urban Design Planner Department of Planning & Community & Economic Development 215 Martin Luther King Jr. Blvd., Suite 017 (Lower Level) Madison, WI 53703 jglaeser@cityofmadison.com T: 608.267.8740

From: John Taylor <JTaylor@callawayarchitecture.com> Sent: Tuesday, June 04, 2019 10:52 AM To: Glaeser, Janine <JGlaeser@cityofmadison.com> Cc: Scott Stone <SStone@callawayarchitecture.com> Subject: At Home - Madison East - UDC Approval

Hi Janine,

Will we be receiving written UDC approval / conditions from our hearing last week for the At Home project at 2201 Zeier Road?

Thanks!

John Taylor Sr. Project Manager



1207 HAMPSHIRE LANE SUITE 105 RICHARDSON, TX 75080 OFFICE: 214.368.2525 (105) MOBILE: 469.680.9799

JTaylor@callawayarchitecture.com Enjoy The Journey Oth a ar logs is with as it or winite

SECTION 07 2400

EXTERIOR INSULATION AND FINISH SYSTEM

PART 1 GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Moisture barrier.
 - 2. Rigid insulation.
 - 3. Reinforcing mesh.
 - 4. Finish coat.
 - 5. Trim and accessories.
- B. Related Sections:
 - 1. Division 01: Administrative, procedural, and temporary work requirements.

1.2 REFERENCES

- A. ASTM International (ASTM):
 - 1. C144 Standard Specification for Aggregate for Masonry Mortar.
 - 2. C847 Standard Specification for Metal Lath.
 - 3. C926 Standard Practice for Application of Portland Cement-Based Plaster.
 - 4. C1513 Standard Specification for Steel Tapping Screws for Cold-Formed Steel Framing Connections.
 - 5. E84 Standard Test Method for Surface Burning Characteristics of Building Materials.
 - 6. E2098 Standard Test Method for Determining Tensile Breaking Strength of Glass Fiber Reinforcing Mesh for Use in Class PB Exterior Insulation and Finish Systems (EIFS) after Exposure to a Sodium Hydroxide Solution.
- B. National Association of Architectural Metal Manufacturers (NAAMM) ML/SFA 920 Guide Specifications for Metal Lathing and Furring.

1.3 SYSTEM DESCRIPTION

A. Fire Hazard Classification: Maximum flame spread/smoke developed rating of 25/450, tested to ASTM E84.

1.4 SUBMITTALS

- A. Submittals for Review:
 - 1. Shop Drawings: Indicate joint layout and dimensions, system penetration details, and termination details.
 - 2. Product Data: Include primary and secondary product descriptions, application instructions, performance criteria, and list of sealants approved for use with system.
 - 3. Samples:
 - a. 12 x 12 inch finish coat samples in specified color and texture.
 - b. 6 inch long trim samples.
 - 4. Warranty: Sample warranty form.
- B. Quality Control Submittals:
 - 1. Certificates of Compliance:
 - a. Manufacturer's certification that installed system complies with requirements of Contract Documents.
 - b. Certificate of approval by Code authorities having jurisdiction over Project.
 - c. Certification from an independent testing laboratory that system meets fire hazard classification requirements.

1.5 QUALITY ASSURANCE

- A. Furnish EIFS system components from single manufacturer.
- B. Installer Qualifications: Minimum 2 years documented experience in work of this Section.

1.6 DELIVERY, STORAGE AND HANDLING

A. Store materials in protected, dry area until used, at temperature between 40 and 90 degrees F.

1.7 PROJECT CONDITIONS

- A. Do not apply adhesives and coatings if:
 - 1. Ambient temperature is below 40 degrees F, or is expected to fall below that temperature within 24 hours after application.
 - 2. Relative humidity is above 85 percent and surface temperature is lower than 5 degrees F below dew point.
 - 3. Wind velocity is over 20 MPH.

1.8 WARRANTIES

A. Furnish manufacturer's 5 year warranty providing coverage against air and water leakage through EIFS system.

PART 2 PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable Manufacturers/Vendors: Refer to Section 01 1119 Vendor/National Accounts List.
- B. Substitutions: Not permitted.

2.2 MATERIALS

- A. Moisture Barrier: Fluid-applied type; system manufacturer's standard product.
- B. Adhesive: Type recommended by system manufacturer.

C. Rigid Insulation:

- 1. ASTM C578, Type I, molded polystyrene, slotted on back side for drainage.
- 2. Edges: Square.
- 3. Minimum thickness: 1-1/2 inches.
- 4. Thermal resistance: Minimum LTTR value of 5.0 per inch.
- D. Reinforcing: Glass fiber mesh, balanced open weave, alkaline resistant, treated for improved bond with coating, tested to ASTM E2098 and classified to EIMA impact classification.
 - 1. Standard impact mesh: Minimum 4.5 ounces per square yard.
 - 2. High impact mesh: Minimum 14.0 ounces per square yard.
 - 3. Corner mesh: Minimum 20.5 ounces per square yard.
- E. Finish Coat: EIMA Class PB, system manufacturer's standard product; refer to Drawings for color and texture.

2.3 ACCESSORIES

- A. Trim:
 - 1. Extruded PVC, perforated attachment flanges, of longest practical length.
 - 2. Corner bead: Beaded edge, size and profile to suit application.
 - 3. Casing bead: Thickness governed by system thickness, square edge.

- 4. Drainage casing: Thickness governed by system thickness, square edge, perforated for drainage.
- B. Fasteners: ASTM C1513, hot-dip galvanized or fluoropolymer coated steel, minimum [5/8] inch penetration into framing.
- C. Water: Clean and potable.

2.4 MIXES

A. Finish Coat: Mix in accordance with manufacturer's instructions.

PART 3 EXECUTION

- 3.1 APPLICATION OF MOISTURE BARRIER
 - A. Apply 4 inch wide reinforcing mesh centered over sheathing joints and 9 inch wide reinforcing mesh centered on interior and exterior corners. Apply adhesive completely covering mesh; trowel level and smooth.
 - B. Apply moisture barrier in accordance with manufacturer's instructions to continuous and uniform coverage.

3.2 APPLICATION OF INSULATION AND REINFORCING

- A. Install system in accordance with ANSI/EIMA 99A and manufacturer's instructions.
- B. Install insulation in most economical manner, with joints offset joints from those in substrate. Stagger end joints in adjacent rows minimum 12 inches. Cut panels to fit at perimeter and around penetrations.
- C. Adhere insulation to substrate with beads of adhesive placed vertically for moisture drainage.
- D. Apply minimum 1/16 inch layer of adhesive over insulation board.
- E. Fully embed reinforcement in adhesive, wrinkle free.
- F. Lap ends and edges 2 inches minimum.
- G. Wrap reinforcement and adhesive around insulation edge at reveals, control joints and where system abuts dissimilar materials or stops with edge exposed, except at bottom edges.
- H. Install high impact mesh up to 8 feet above grade or paving.

. Install comer mesh for minimum 12 inches on both sides of external corners.

J. Install drainage casing at wall base and over openings in walls. Seal corners and intersections.

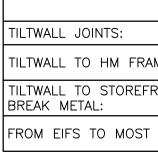
3.3 APPLICATION OF FINISH COAT

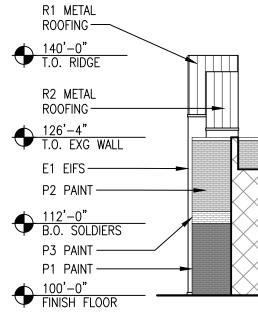
- A. Apply in accordance with manufacturer's instructions.
- B. Work in continuous operation in each panel formed by trim and intersections to ensure even texture.
- C. Cut edges in clean and sharp where work joins other materials.
- D. Apply to uniform texture and color without streaks, laps, heavy buildups, and missed areas.
- E. Ensure consistent application and uniform appearance.

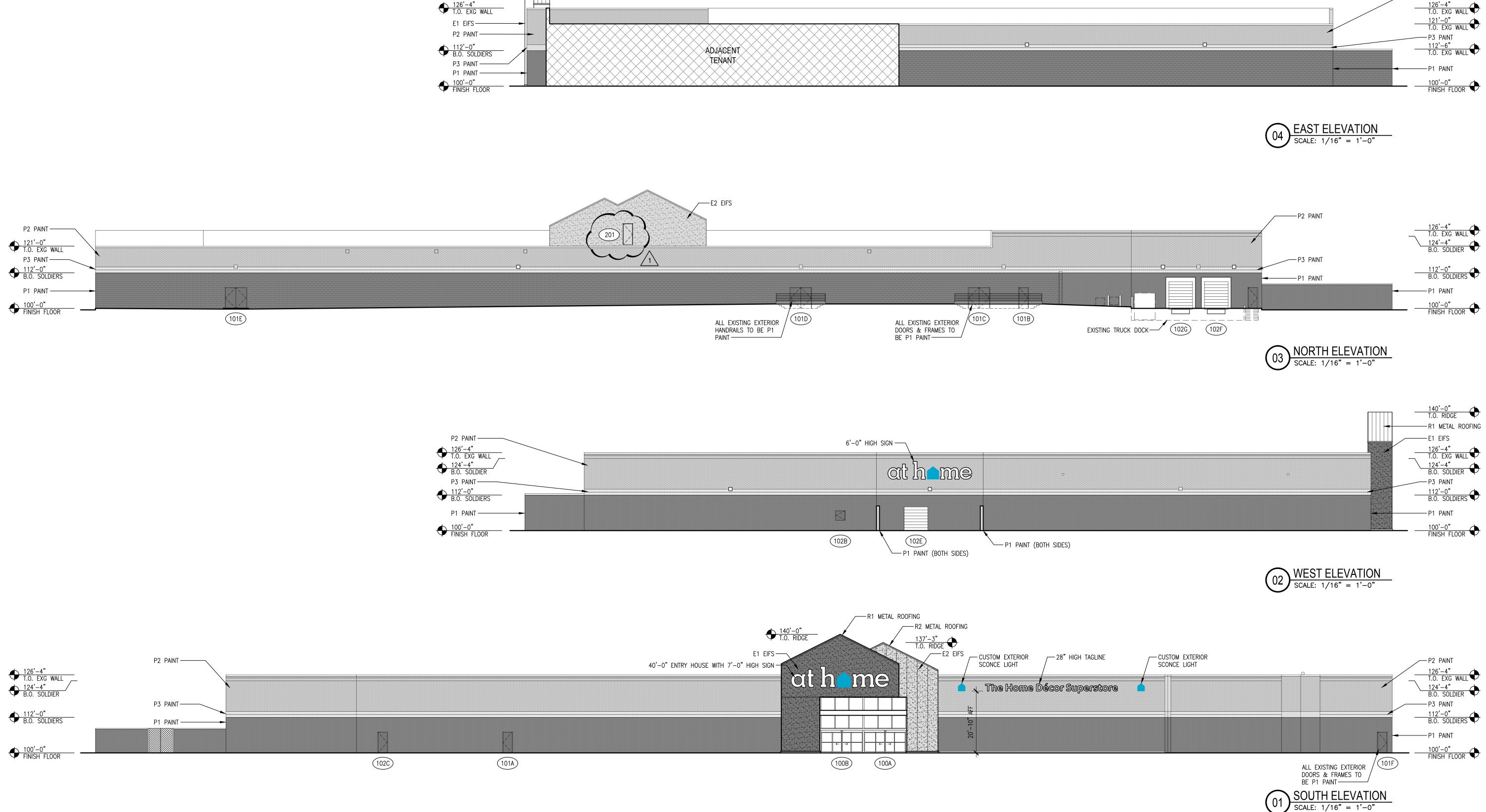
3.4 ADJUSTING

A. Touch up finish coat as required to obtain uniform texture.

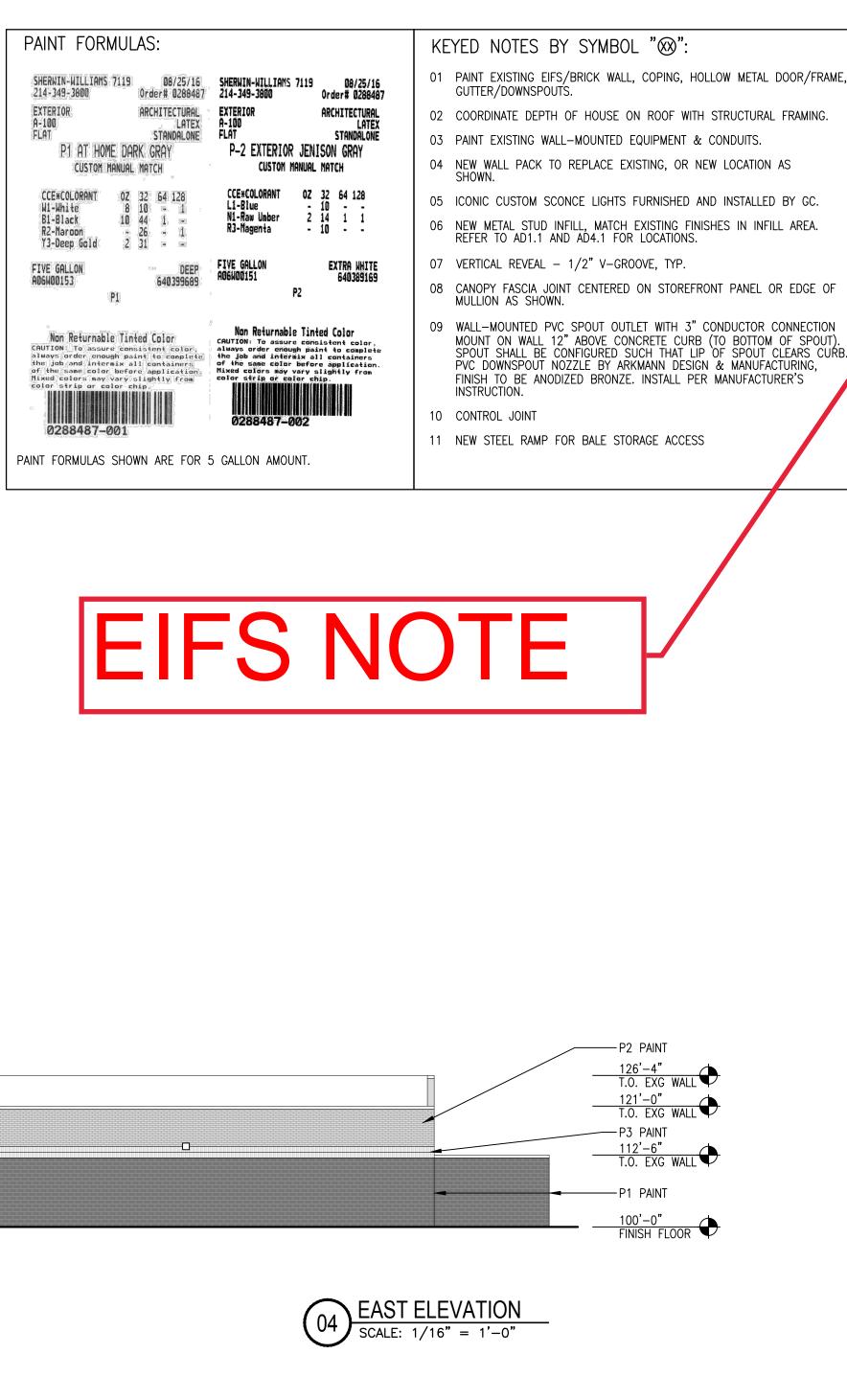
END OF SECTION

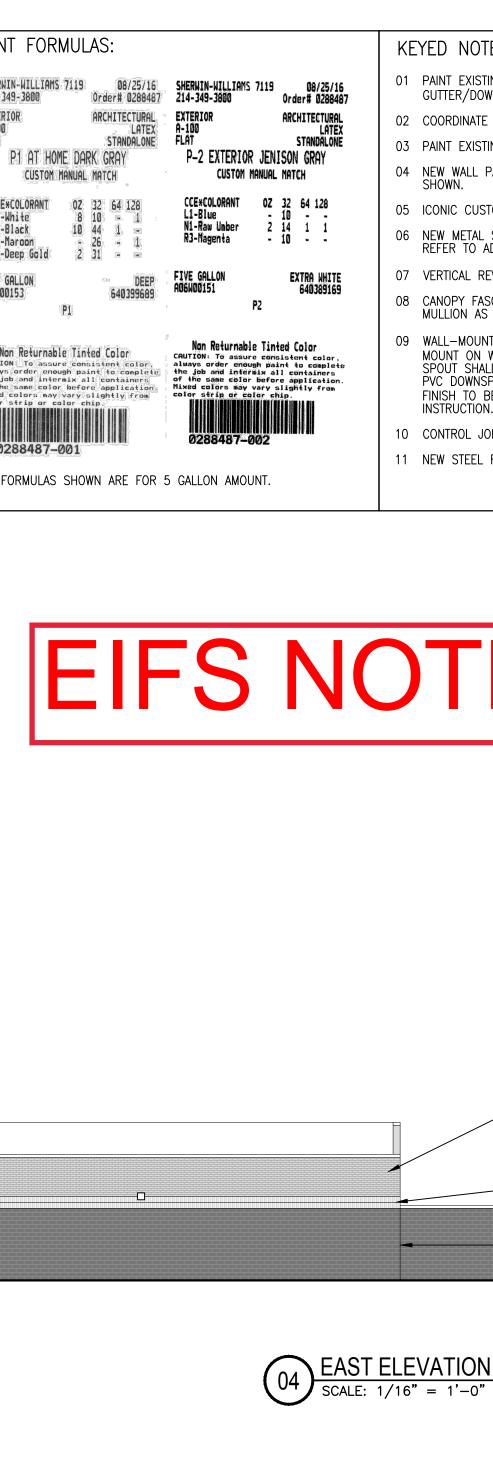






EXTER	IOR SEALANT SCHEDULE
	TREMCO DYNOMIC 100 NON-SAG POLYURETHANE SEALANT
AMES:	TREMCO DYMERIC 240 FC MULTI-COMPONENT POLYURETHANE SEALANT
RONT AND	TREMCO DYMERIC 240 FC MULTI-COMPONENT POLYURETHANE SEALANT
MATERIALS:	TREMCO SPECTREM 1 SINGLE COMPONENT SILICONE SEALANT





- EXTERIOR ELEVATION GENERAL NOTES: A. DO NOT SCALE DRAWINGS. 01 PAINT EXISTING EIFS/BRICK WALL, COPING, HOLLOW METAL DOOR/FRAME,
 - DIMENSIONS ARE FROM COLUMN LINES, FACE OF EXTERIOR FINISH, OR ROUGH OPENING, UNLESS NOTED OTHERWISE.
 - PAINT ALL BOLLARDS, HANDRAILS, GUARDRAILS, AND OTHER SIMILAR SITE FEATURES TO MATCH ADJACENT STORE WALL COLOR, UNLESS NOTED
 - ANY EXTERIOR INSULATION & FINISH SYSTEM (EIFS) USED BELOW 10'-A.F.F. OR IN A HORIZONTAL APPLICATION SHALL BÉ HIGH-IMPACT RESISTANT CLASS.
 - WATCH LATS FOR THE DALE STORAGE FENCE SHALL BE THE MANUF CTURER'S STANDARD GREY COLOR WHICH MOST CLOSELY MATCH S THE AT HOME EXTERIOR PAINT COLOR(S).
 - PROVIDE 1/2" FIRE RETARDANT TREATED PLYWOOD SHEATHING BEHIND SIGNAGE ON FRAMED ENTRY WALLS.
 - EXTERIOR DOOR FRAMES SHALL BE PAINTED TO MATCH DOOR COLOR. METAL ROOF FASTENERS, FLASHING, AND CLOSURES SHALL MATCH THE COLOR/FINISH OF METAL ROOF PANELS.

EXTERIOR MATERIALS/FINISHES BY SYMBOL "XXI": A1 MATERIAL: ALUMINUM STOREFRONT/DOORS/CURTAINWALL

- COLOR/FINISH: CLEAR MILL FINISH A2 MATERIAL: ALUMINUM BREAK METAL ASSEMBLIES/COMPONENTS
- COLOR/FINISH: PRE-FINISHED TO MATCH STOREFRONT/DOORS A3 MATERIAL: PRE-FINISHED SHEET METAL FABRICATIONS COLOR/FINISH: PRE-FINISHED TO MATCH ADJACENT EXTERIOR WALL COLOR, UNLESS NOTED OTHERWISE.
- A4 MATERIAL: PRE-FINISHED SHEET METAL FABRICATIONS (COPINGS, CAPS) COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "SHASTA WHITE".
- B1 MATERIAL: THIN & FULL BRICK MANUFACTURER: GLEN–GERY; "KLAYCOAT" #K17–3700 "AT HOME" DARK MATERIAL: MORTAR MANUFACTURER: ARGOS; MAGNOLIA DARK
- B2 MATERIAL: THIN & FULL BRICK MANUFACTURER: GLEN-GERY; "KLAYCOAT" #K17-3705 "AT HOME" JENISON GRAY MATERIAL: MORTAR MANUFACTURER: SPECTRUM; GRAY-N
- B3 MATERIAL: THIN & FULL BRICK MANUFACTURER: GLEN-GERY; "KLAYCOAT" #K13-3056 "AT HOME" SW GREEK VILLA MATERIAL: MORTAR MANUFACTURER: ARGOS; WHITE
- BR1 MATERIAL: CMU 'QUIK-BRIK' OLD CASTLE COMPANY COLOR/FINISH: SHADOW GRAY, TYPE A MATERIAL: MORTAR MANUFACTURER: ARGOS: MAGNOLIA DARK
- BR2 MATERIAL: CMU 'QUIK-BRIK' OLD CASTLE COMPANY COLOR/FINISH: MONUMENT WHITE, TYPE B MATERIAL: MORTAR MANUFACTURER: SPECTRUM; GRAY-N
- BR3 MATERIAL: CMU 'QUIK–BRIK' OLD CASTLE COMPANY COLOR/FINISH: ELITE WHITE, TYPE C MATERIAL: MORTAR MANUFACTURER: ARGOS; WHITE

— P2 PAINT

- I MATERIAL: DRYVIT EIFS ATHO-01-1022-AT HOME EXTERIOR DARK GRAY FINISH: SANDPEBBLE
- E2 MATERIAL: DRYVIT EIFS ATHO-02-1022-AT HOME EXTERIOR JENISON GRAY FINISH: SANDPEBBLE
- E3 MATERIAL: DRYVIT EIFS ATHO-03-1022-AT HOME SW 7551 GREEK VILLA FINISH: SANDPEBBLE
- MATERIAL: STO CORP. EIFS NA 18-0006 COLOR/ FINISH: "AT HOME EXTERIOR DARK GRAY"; FINISH: MEDIUM STOLIT.
- E2 MATERIAL: STO CORP. EIFS NA 17-0002 COLOR/ FINISH: "AT HOME EXTERIOR JENISON GRAY"; FINISH: MEDIUM STOLIT. E3 MATERIAL: STO CORP. EIFS NA 17–0004 COLOR/ FINISH: "SW 7551 GREEK VILLA"; FINISH: MEDIUM STOLIT.
- MATERIAL: FORMLINERS COLOR/FINISH: 8"X16" SPLIT FACE BLOCK PATTERN (COLOR AS DETERMINED BY PAINT).
- G1 MATERIAL: GLASS/GLAZING BASIS OF DESIGN: INSULATED GLASS (TEMPERED AS REQUIRED BY CODE) SURFACE; SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: CLEAR
- G2 MATERIAL: GLASS/GLAZING BASIS OF DESIGN: SINGLE PANE GLASS (TEMPERED AS REQUIRED BY CODE) SURFÁCE; SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: CLEAR
- G3 MATERIAL: GLASS/GLAZING @ MAIN ENTRANCE BASIS OF DESIGN: 'OLD CASTLE BUILDING ENVELOPE' SPANDREL SINGLE PANE GLASS SURFACE; SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: WARM GRAY
- G4 MATERIAL: GLASS/GLAZING @ MAIN ENTRANCE BASIS OF DESIGN: 'OLD CASTLE BUILDING ENVELOPE' SPANDREL INSULATED PANE GLASS SURFACE; SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: WARM GRAY
- G5 MATERIAL: GLASS/GLAZING @ PSUEDO WINDOWS BASIS OF DESIGN: 'OLD CASTLE BUILDING ENVELOPE' SPANDREL SINGLE PANE GLASS SURFACE; SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: GUN METAL
- G6 MATERIAL: GLASS/GLAZING @ PSUEDO WINDOWS BASIS OF DESIGN: 'OLD CASTLE BUILDING ENVELOPE' SPANDREL INSULATED PANE GLASS SURFACE; SHGC AS REQUIRED BY CODES IN EFFECT COLOR/FINISH: GUN METAL
- 1 MATERIAL: EXTERIOR PAINT COLOR/FINISH: SW COLOR "AT HOME EXTERIOR DARK GRAY"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
- P2 MATERIAL: EXTERIOR PAINT BASIS OF DESIGN: SHERWIN WILLIAMS COLOR/FINISH: SW COLOR "AT HOME EXTERIOR JENISON GRAY"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
- P3 MATERIAL: EXTERIOR PAINT BASIS OF DESIGN: SHERWIN WILLIAMS COLOR/FINISH: SW COLOR "SW 7551 GREEK VILLA"; (HEAVY SAND, FLAT FINISH FOR CONCRETE PANELS/WALLS)
- R1 MATERIAL: STANDING SEAM METAL ROOFING COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "ZINC GRAY".
- R2 MATERIAL: STANDING SEAM METAL ROOFING COLOR/FINISH: PRE-FINISHED BERRIDGE COLOR "SHASTA WHITE".









AT HOME-SITE AERIAL MADISON (EAST), WI SCALE: N.T.S.



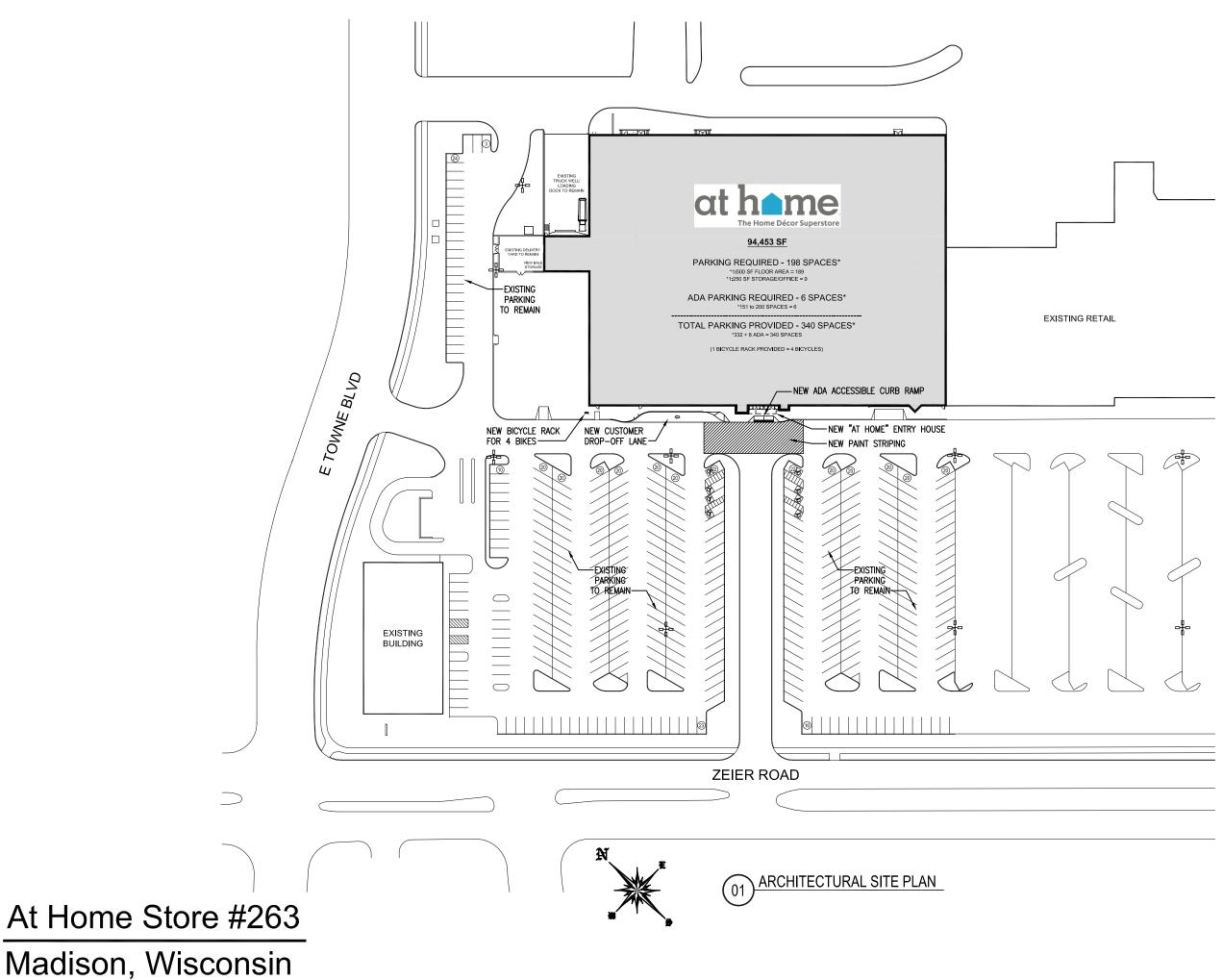




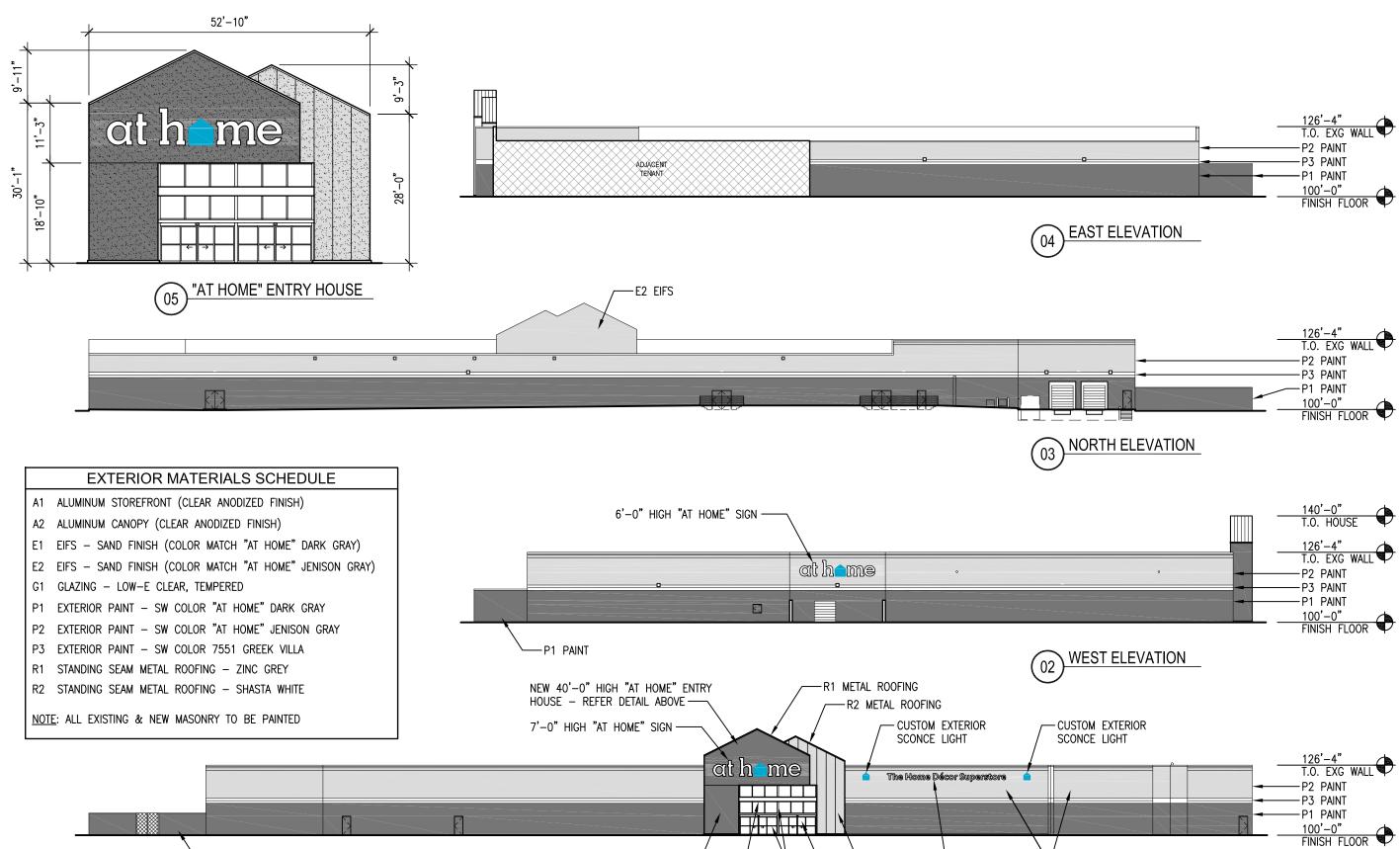
AT HOME-ENLARGED SITE MADISON (EAST), WI SCALE: N.T.S.

Callaway architecture 1207 HAMPSHIRE LN, STE 105 RICHARDSON, TX-75080

PHONE: 214.368.2525 PROJECT#19009 DATE:03.24.2019







E1 EIFS-

A2-

└_A1

—G1

-E2 EIFS

-28" HIGH

TAGLINE

01

At Home Store #263

-P1 PAINT

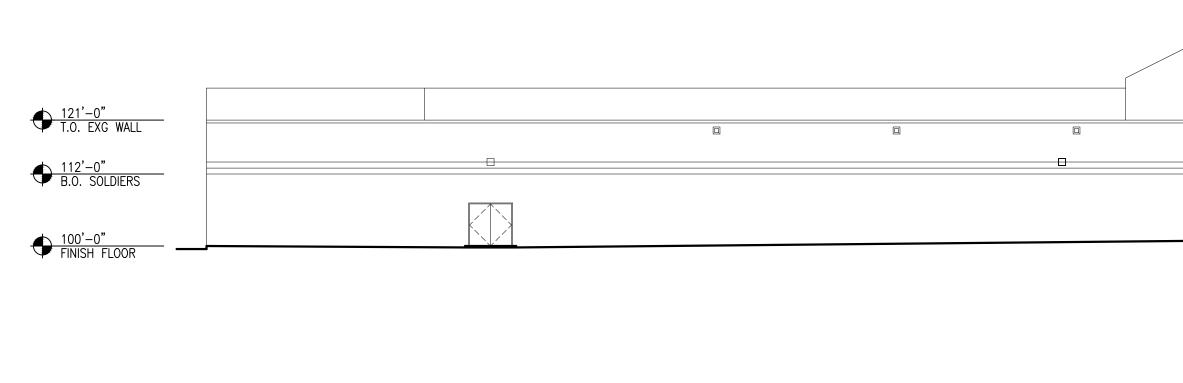
Madison, Wisconsin

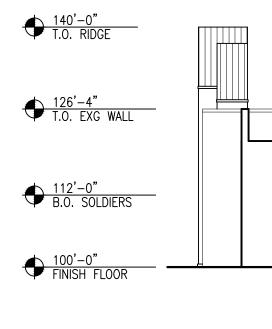
-REMOVE EXISTING STUCCO BAND & REPLACE WITH NEW BRICK TO MATCH EXISTING

SOUTH ELEVATION









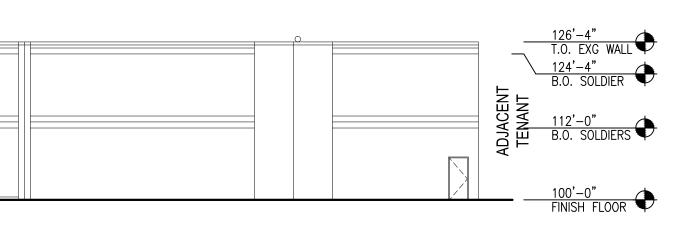
		126'-4" T.O. EXG WALL 121'-0" T.O. EXG WALL ↓
ADJACENT TENANT		$\frac{112'-6''}{\text{T.O. EXG WALL}}$
	ADJACENT TENANT	100'-0" FINISH FLOOR
	04 EAST ELEVATION SCALE: 1/16" = 1'-0"	-
		126'-4" T.O. EXG WALL 124'-4" B.O. SOLDIER
		112'-0" B.O. SOLDIERS

	at home	0

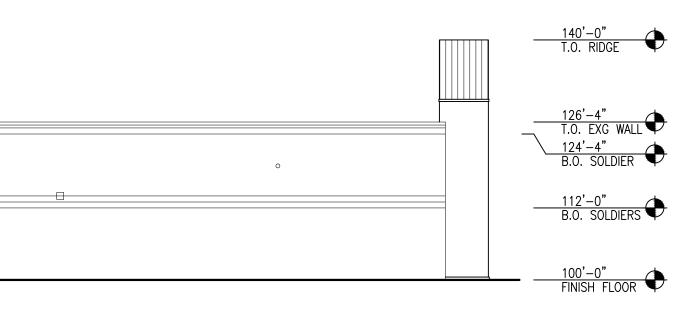
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140'-0" T.O. RIDGE T.O. RIDGE	
Otthome Image: Superstore	

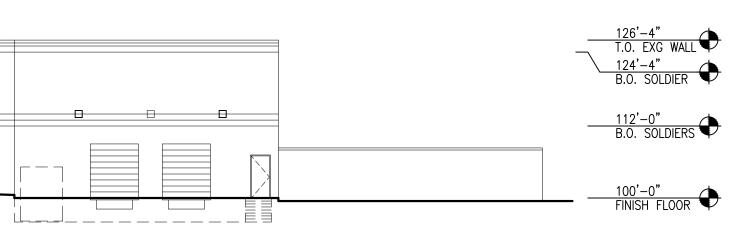






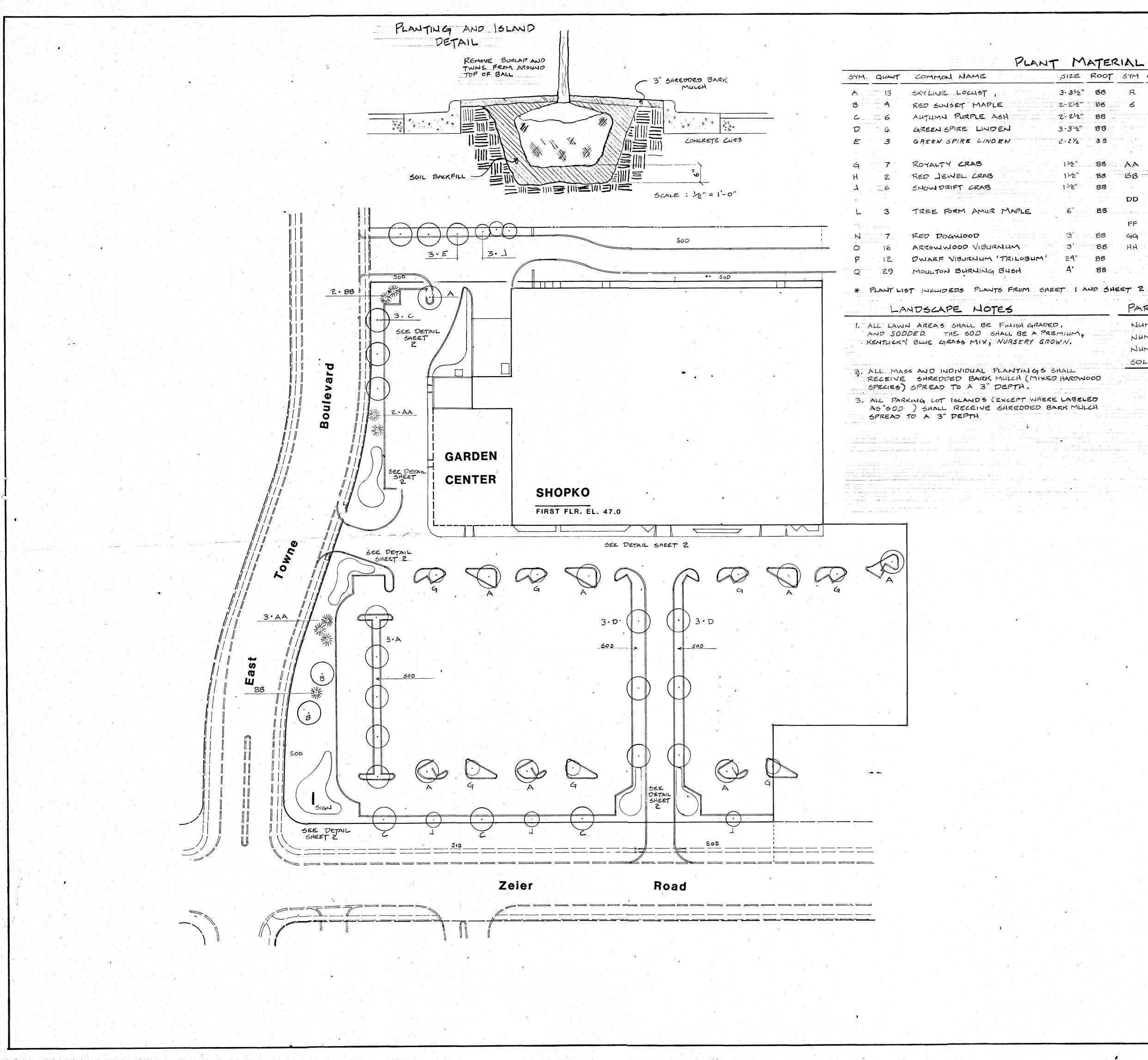












24" B BB

112" B 11/2" B В

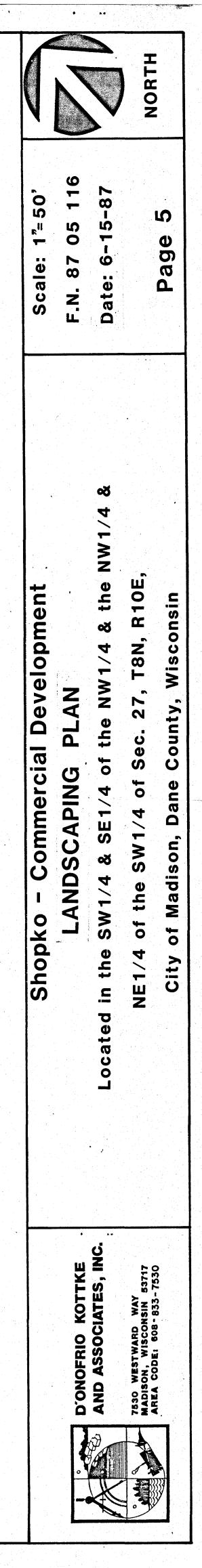
OOT	SYM	QUANT.	COMMON NAME	SIZE	ROOT
3B	R	14	PEKING COTONEASTER	24"	POT
35	6	114	FROEBEL SPIREA	18",	Pot
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BB	AA	5	SCOTCH PINE	7	BB
Bß	BB	3	BLACKHILLS SPRUCE	5.	BB
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	FF	33	COMPACT PRITZER JUNIPER	Zgal	CONT
BB	GG	26	BLUE SARGENT JUNIPER	Zgal	CONT
вв	HH	16	PROCUMBEN JUNIPER	Zgul	CONT

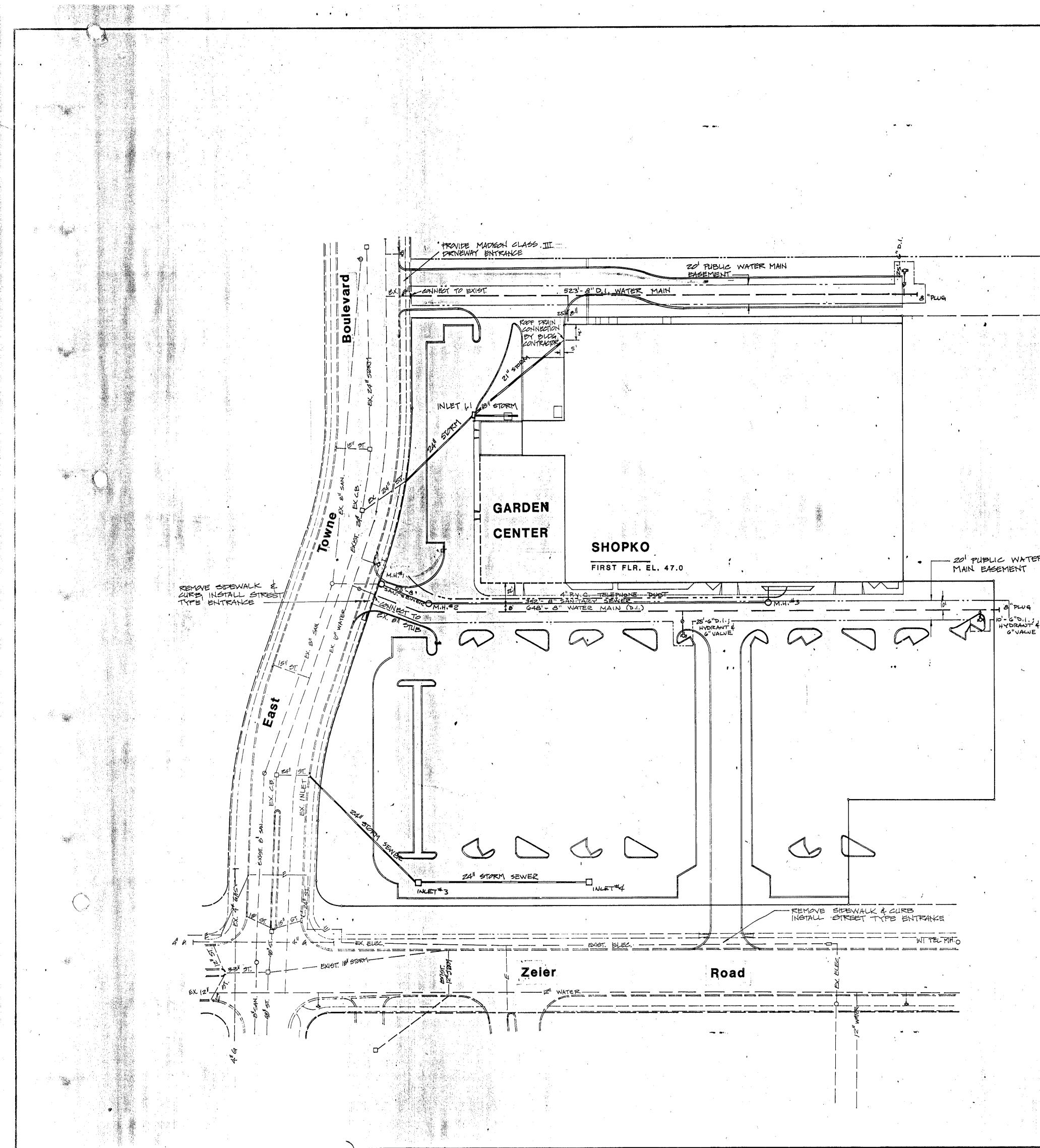
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NUMBER OF PARKING STALLS	AII
NUMBER OF 2" CAL, SHADE TREES REQUIRED	24
NUMBER OF LANDSCAPE POINTS REQUIRED	1456
SOLUTION:	
8 - SHAPE TREES @ 75 POINTS EACH	600
18 - ORNAMENTAL TREES @ 30 POINTS EACH	540
8 - CONIFERS @ 30 POINTS EACH	240
60 - EVERGREEN SHRUBS @ 5 POINTS EACH	300
142- DECIDUOUS SHRUBS O 3 POINTS EACH	426

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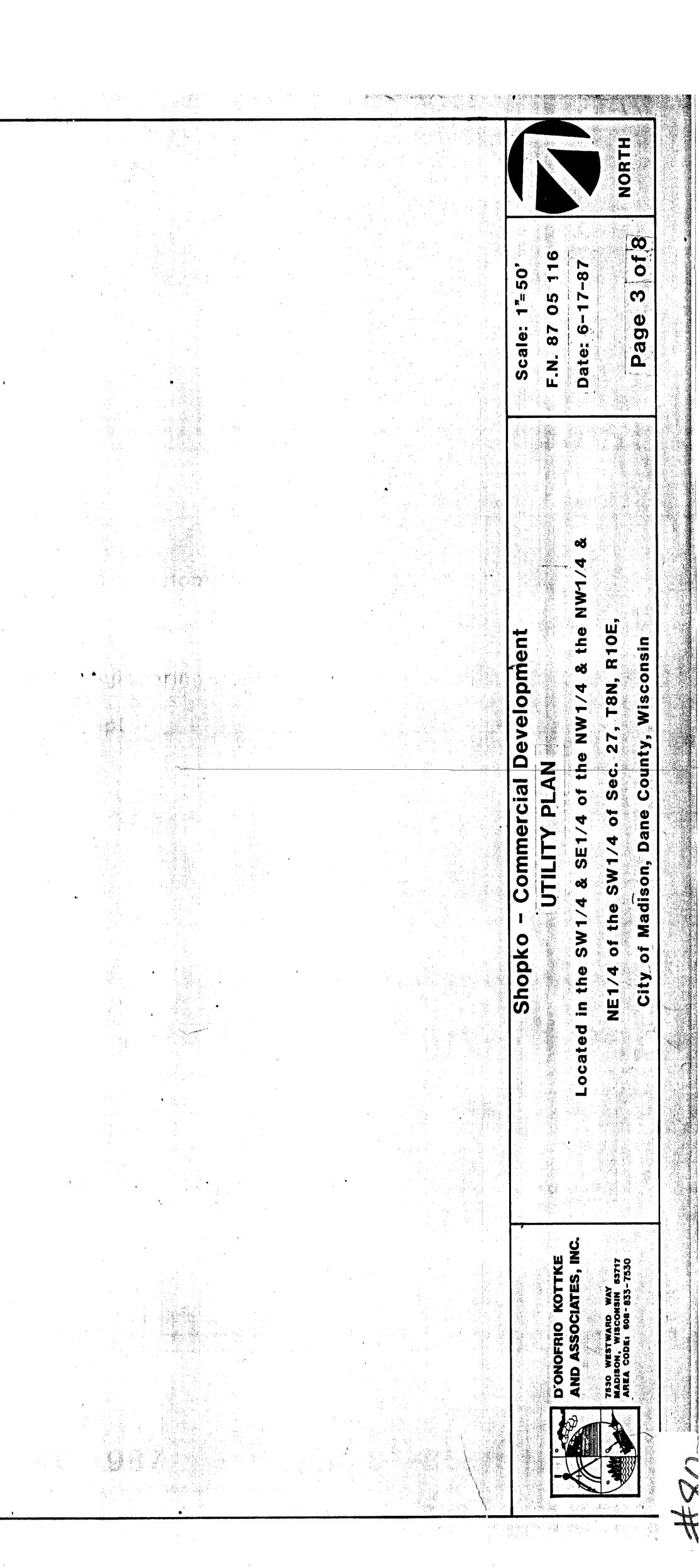


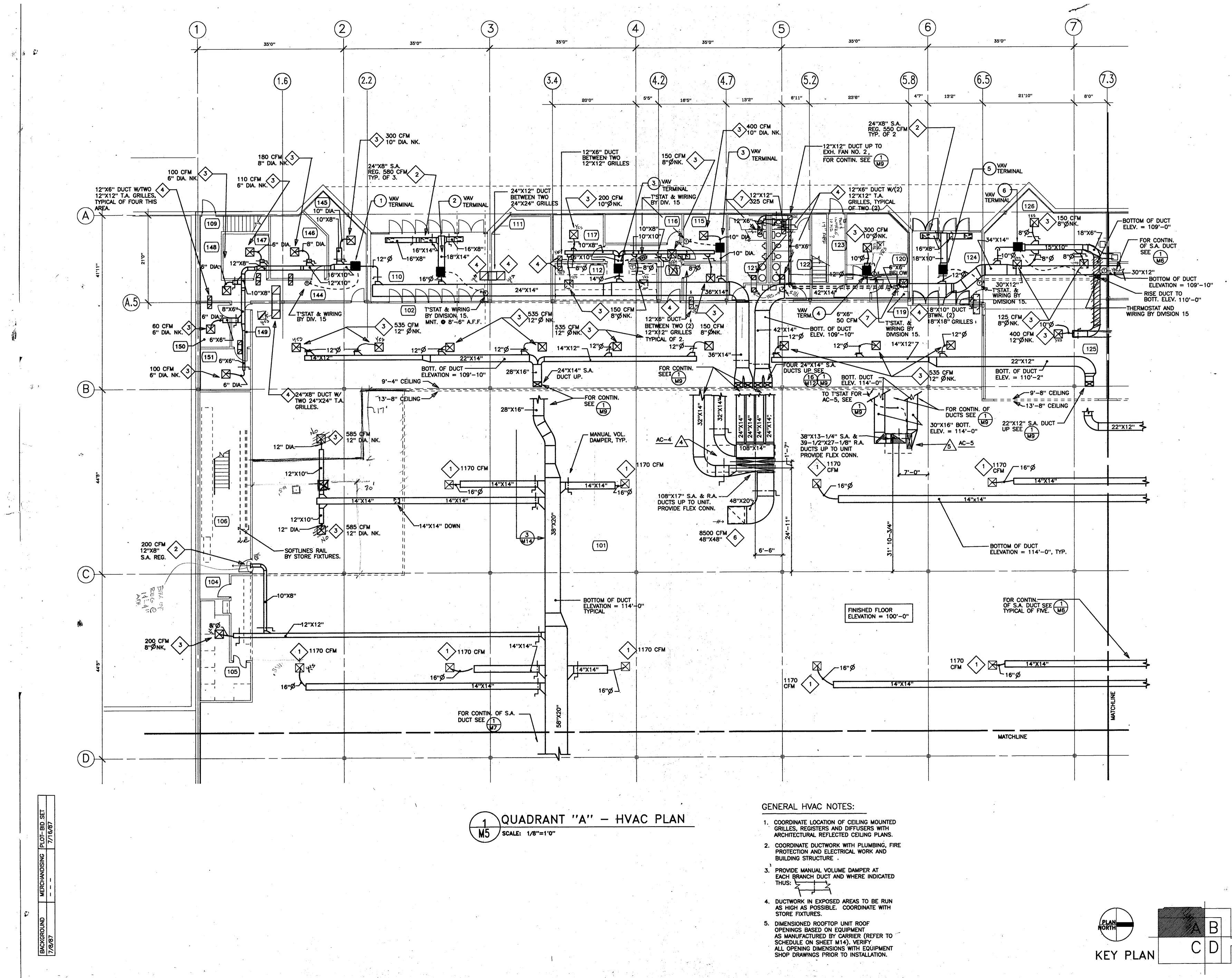


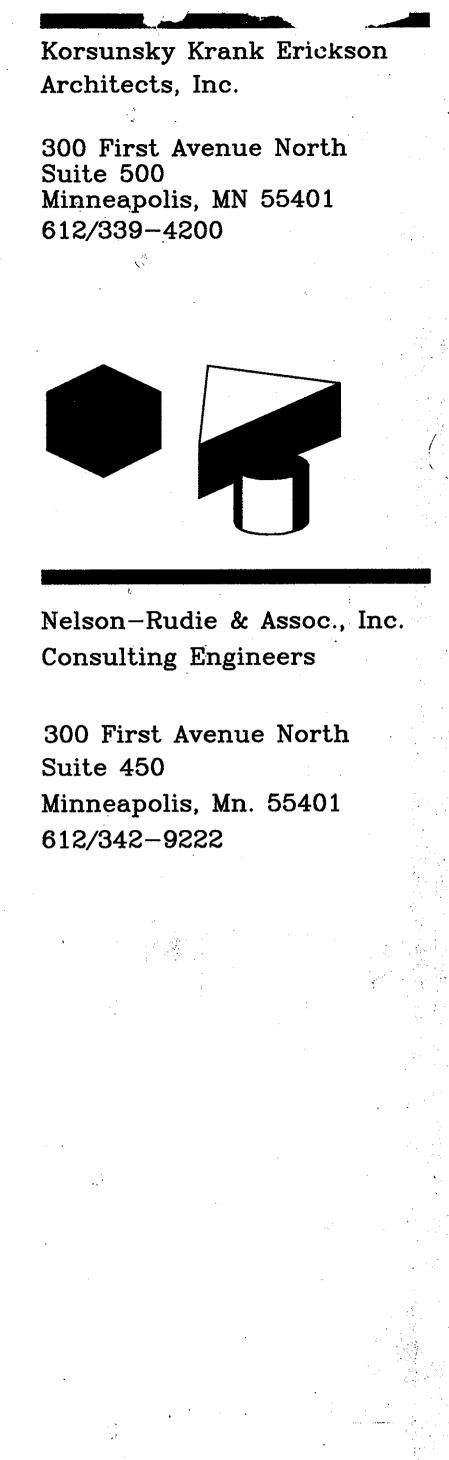
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----- 201 PUBLIC WATER MAIN EASEMENT

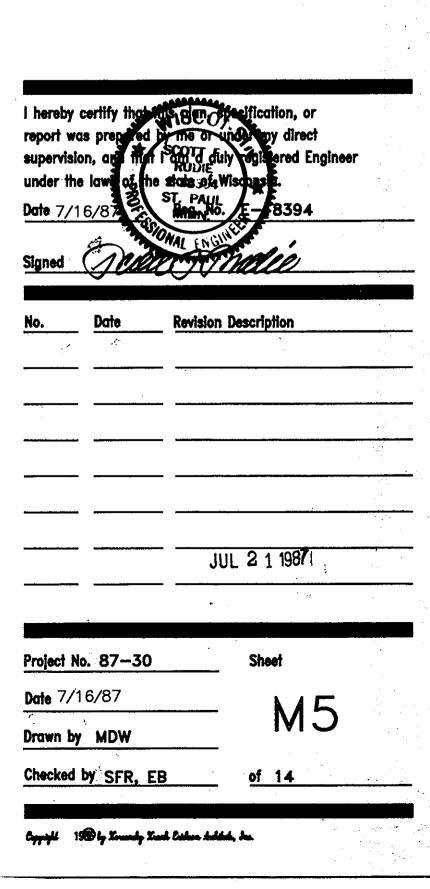


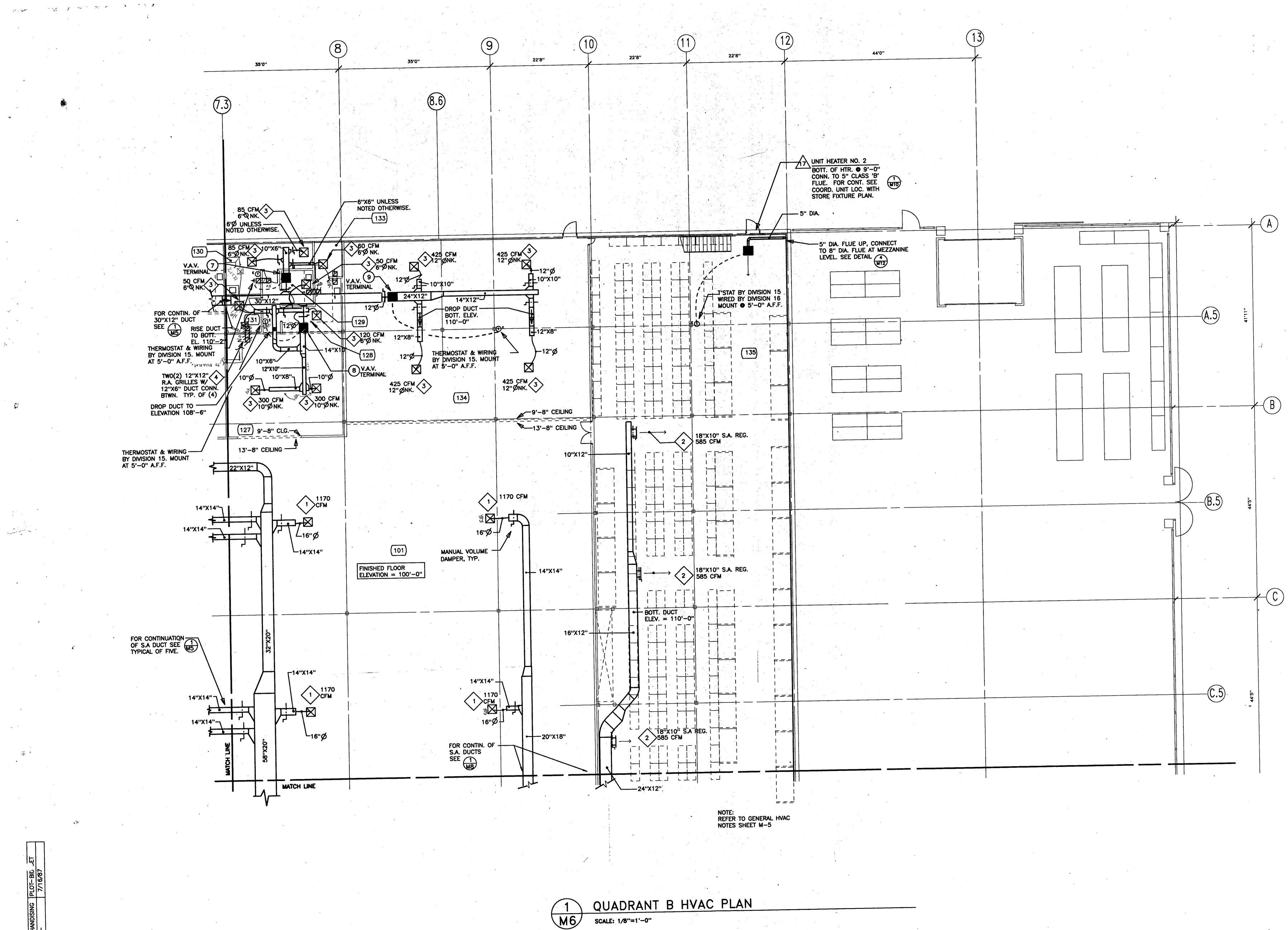




SHOPKO STORE # 80 MADISON, WISCONSIN PROTOTYPE P94

HVAC PLAN QUAD "A"





KEY PLAN



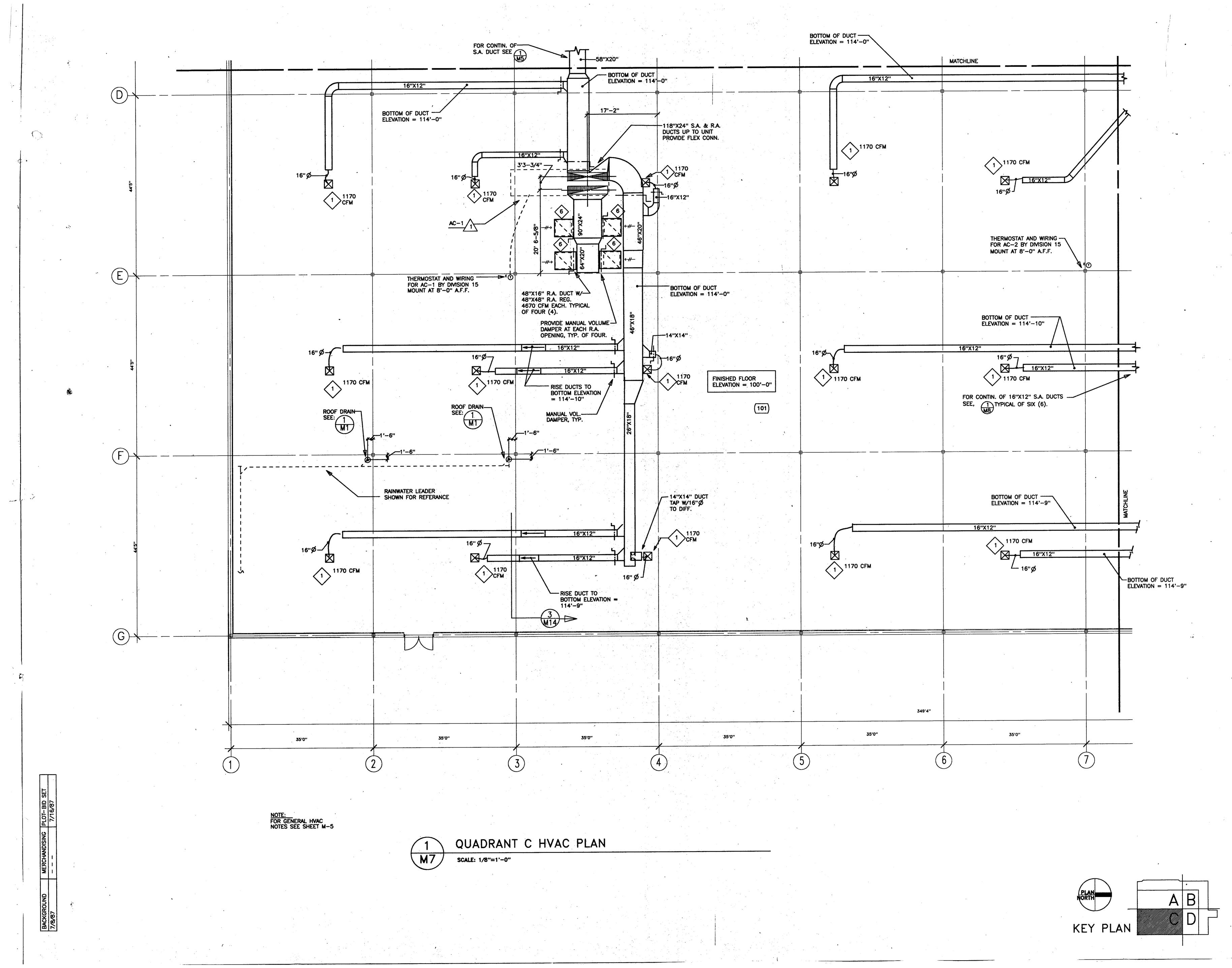
300 First Avenue North Suite 450 Minneapolis, Mn. 55401 612/342-9222

SHOPKO STORE # 80 MADISON, WISCONSIN PROTOTYPE P94

HVAC PLAN QUAD "B"

Revision Description

Drawn by MDW Checked by SFR, EB	- Мб
Date 7/16/87	
Project No. 87–30	Sheet
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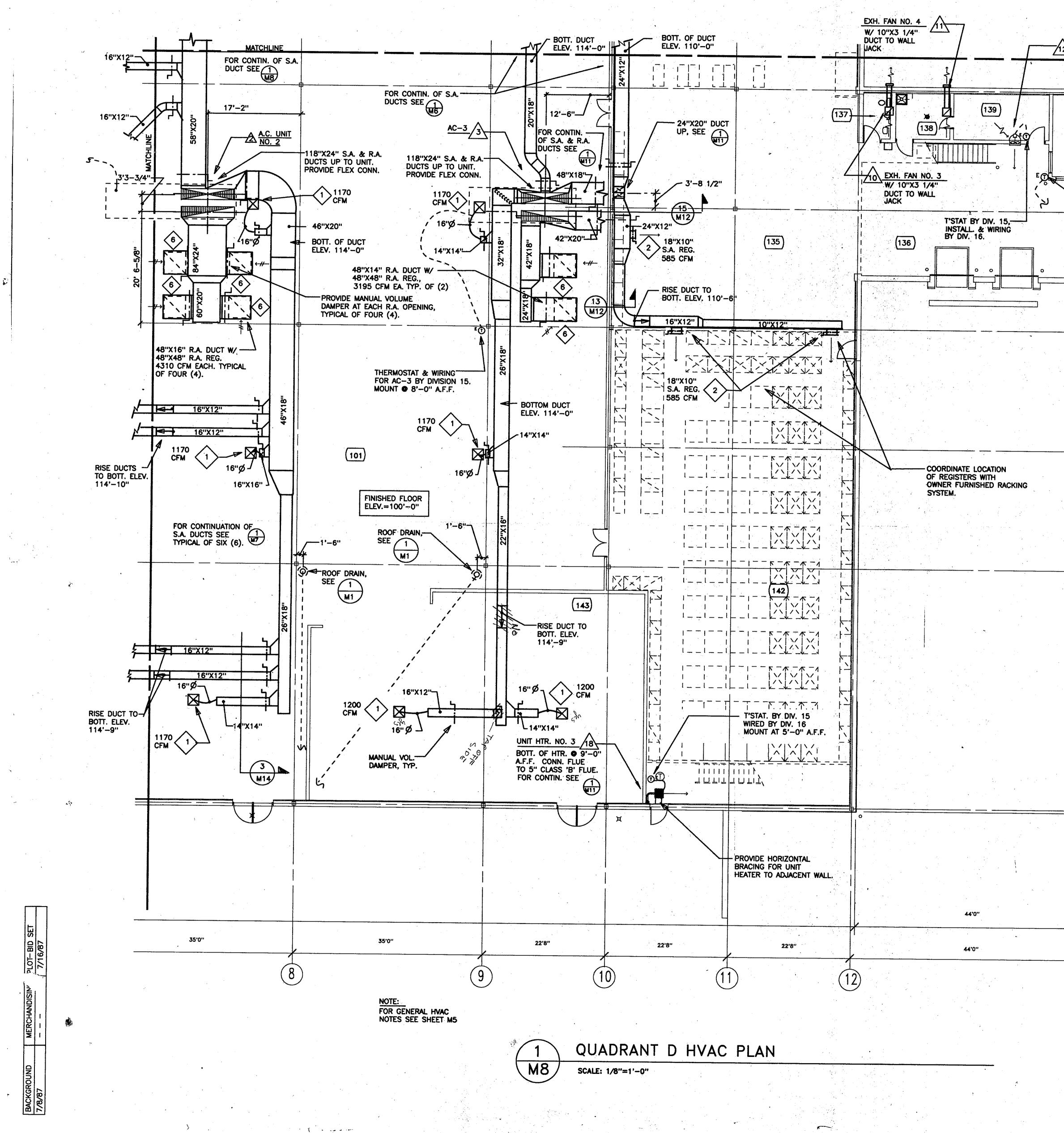
Nelson-Rudie & Assoc., Inc. Consulting Engineers

300 First Avenue North Suite 450 Minneapolis, Mn. 55401 612/342-9222

SHOPKO STORE # MADISON, WISCONSIN PROTOTYPE P94

HVAC PLAN QUAD ''C''

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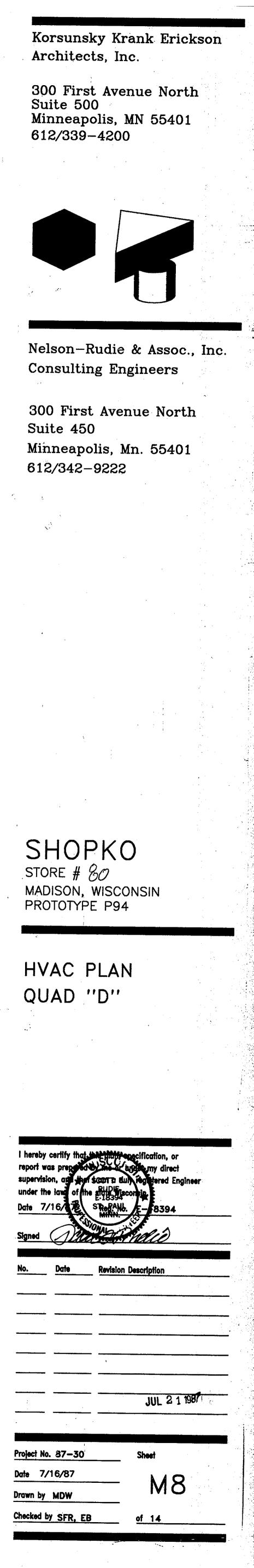


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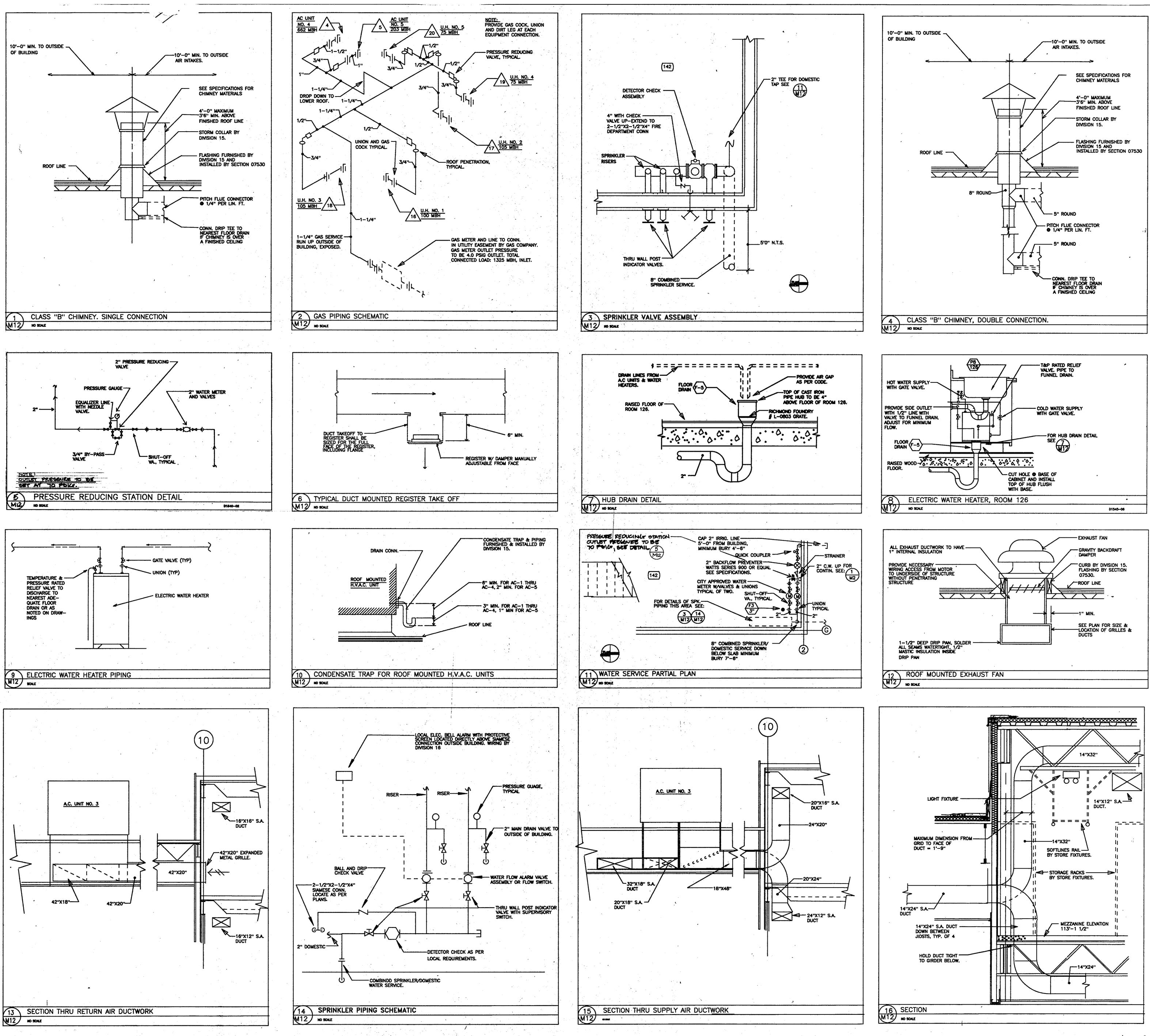
FAN NO. 5							•	-	
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	NING BY G.C. F UNIT © 3'6"	' A.F.F.				56			•
THERMOSTAT FOR UN HEATER NO.1 • 5'- A.F.F., PROVIDED BY DIVISION 15, WIRED DIVISION 16.	NIT O'' BY						(D.5)	44'5"	i. Maria
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KEY PLAN

A B







Korsunsky Krank Erickson Architects, Inc. 300 First Avenue North Suite 500 Minneapolis, MN 55401 612/339-4200 Nelson-Rudie & Assoc., Inc Consulting Engineers 300 First Avenue North Suite 450 Minneapolis, Mn. 55401 612/342-9222

SHOPKO STORE # MADISON, WISCONSIN PROTOTYPE P94

MECHANICAL DETAILS

report superv under Date	by certify the was preparision, and the laws of 7/16/87	and anglanduly registered Engineer	•
Signed	(J Ula		• . • .
No.	Date	Revision Description	
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			PMENT SC			TIES LISTED ARE ACTUAL	· ·	I THROUGH AC-5 SHALL URNISHED BY OWNER STALLED BY DIVISION 15	AIR CON	DITIONING	UNIT SCH	ILDULE AIR QL	JANTITIES ARE AC	
MOTOI NO. <u>/</u> 1 2 3	$ \begin{array}{c c} R \\ UNIT TYPE \\ \hline AC-1 \\ AC-2 \\ AC-3 \\ AC-4 \\ \end{array} $	MODEL 			FI ECTRICA	-CYCREMARKS/60SEE A.C. UNIT SCHEDULE/60SEE A.C. UNIT SCHEDULE/60SEE A.C. UNIT SCHEDULE	SYSTEM	EQUIPMENT # AREA SERVED UNIT LOCATION MODEL # UNIT WEIGHT	15850 AC-1 NORTH SALES AREA ROOF MOUNTED 	AC-2 CENTRAL SALES ROOF MOUNTED	15850 AC3 SOUTH SALES AREA ROOF MOUNTED 	15850 AC4 FRONT END ROOF MOUNTED	15850 AC5 MEZZ STK. RM. ROOF MTD. 	15780 AC-6 RECEIVING THRU-WALL 52BQA5144 160 #
+ 5 + 6 7 - 8 - 9	AC-4 AC-5 AC-6 OMIT OMIT EXHAUST FAN NO. 2		ROOF 3400 - 140 315 - - - - - - - - - - - - -		- 480/3/ - 277/1/ 	/60 SEE A.C. UNIT SCHEDULE /60 SEE A.C. UNIT SCHEDULE	FAN DATA	AIR QUANTITY EXTERNAL S.P. ("WC) TOTAL S.P. ("WC) HORSEPOWER, HP(BHP)	20750 1.25 CONSTANT VOL.	19150 1.25 CONSTANT VOL.	15100 1.25 CONSTANT VOL.	12000 2.00 VARIABLE VOL.	3400 .6 CONSTANT VOL.	315 1/6
10 11 12 13 14	EXHAUST FAN NO. 3 EXHAUST FAN NO. 4 EXHAUST FAN NO. 5 OMIT OMIT	SP17	137 120 .1 138 160 .1		02 120/1 02 120/1 03 120/1 	/60 W/ TIME DELAY SWITCH		FUEL INPUT, BTUH OR KW OUTPUT, BTUH # OF STAGES	ELEC. 80 KW 273040 TWO	ELEC. 80 KW 273040 TWO	ELEC. 80 KW 273040 TWO	NAT. GAS 662,000 496,000 TWO	NAT. GAS 203,000 160,000 ONE	ELEC. 5.0 KW 17065 ONE
15 16 17 18 19	OMIT UNIT HEATER NO.1 UNIT HEATER NO.2 UNIT HEATER NO.3 UNIT HEATER NO.4	XL105 XL105 XL75	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		05 120/1 05 120/1 05 120/1 05 120/1 03 120/1	/60SEE UNIT HTR. SCHEDULE/60SEE UNIT HTR. SCHEDULE/60SEE UNIT HTR. SCHEDULE	×	ENT. AIR TEMP., DB/WB LVG. AIR TEMP., DB/WB CAPACITY BTUH (TOTAL) COIL: FINS PER IN.	79.2/65.9 DEG F 617996 	79.2/65.9 DEG F 570343	79.2/64.6 DEG. F 449722 	79.2/64.7 DEG F 260706 	79.2/63.2 DEG. F 70,704 	80/61 DEG. F. 14,000
20 21 22 23 24 25 37 26 27 28	UNIT HEATER NO.5 ELEC. WTR. COOLER ELEC. WTR. COOLER ELEC. WTR. COOLER ELEC. WTR. HTR. NO ELEC. WTR. HTR. NO ELEC. WTR. HTR. NO OMIT EXHAUST FAN NO	NO.2 ESWA8 NO.3 ESWA8 0.1 ELJF4 0.2 ELJF6 0.3 ELJF2 - - .9 SP-17	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		03 120/1 2 120/1 17 120/1 17 120/1 17 120/1 17 120/1 17 120/1 17 120/1	/60 SEE PLBG. FIXT. # P-11 /60 SEE PLBG. FIXT. # P-10 /60 SEE PLBG. FIXT. # P-10 /60 SEE PLBG. FIXT. # P-10 /60 4.5 KW I/60 1.5 KW I/60 4.5 KW I/60 I/60	COOLING DAT	COMPRESSORS, # & H.P.	AIR COOLED	AIR COOLED	 AIR COOLED 	 AIR COOLED 	 AIR COOLED 	 AIR COOLED 1 • 1.25 HP. FRAC. 100-OFF
<u>29</u> <u>30</u>	ELEC. WTR. COOLER ELEC. WTR. COOLER	NO.5 ESWA-	8 209		- <u>.17</u> 120/1 - <u>.17</u> 120/1	/60 SEE PLBG. FIXT. # P-10	AIR DATA	FILTER CABINET STYLE FILTER TYPE FILTER AREA, SQ. FT. RELIEF FAN	MEDIUM CAPACITY FARR 30/30	MEDIUM CAPACITY FARR 30/30 	MEDIUM CAPACITY FARR 30/30	MEDIUM CAPACITY FARR 30/30	FACTORY STD. FARR 30/30 	 Factory Std. Washable
HEATER NO 1 2 	RADIANT C PROPELLER X	MODEL # DTH40-100N	100 90 105 84	CFM H.P. V FRAC. 12 1200 .05 12	/-PH-CYC F 20/1/60 T* 20/1/60 T*	•	RETURN	CFM S.P. ("WC) FAN MOTORS # & HP. OUTSIDE AIR INTAKE	17,000 .25 	17,000 .25 	15,000 .25 	10,000 .25 	 10% 340 CFM	
4 5	PROPELLER >	(L75 (L75	75 60	850 .03 12	20/1/60 1'S	STAT BY DIV. 15, WIRING BY DIV. 16 STAT BY DIV. 15, WIRING BY DIV. 16		MIN. CFM DAMPER OPERATION UNIT CURB	10% 2075 CFM ECONOMIZER 14" HIGH	10% 1915 CFM ECONOMIZER 14" HIGH	10% 1510 CFM ECONOMIZER 14" HIGH	10% 1200 CFM ECONOMIZER 14" HIGH	ECONOMIZER	MANUAL
							SORIES *	DISCONNECT SWITCH THERMOSTAT CONDENSATE TRAP	BY DIVISION 15 NO BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15 BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15	INTEGRAL NO
SYMBOL 1 2	TYPE M SUPPLY DIFF. A SUPPLY REG. A	MFR. ANEMOSTAT ANEMOSTAT	MODEL # DP, 24"X24" PANEL S2V0	FINISH MATCH CEILING OFF WHITE	REMARKS WITH SQUARE IN WALLS AN	E TO ROUND ADAPTER, 18"X18" NECK D DUCTS	ACCES	LOW VOLTAGE & SINGLE PHASE PROTECTION	BY DIVISION 15	BY DIVISION 15	BY DIVISION 15			FURNISHED W/EQUIPMENT
3 4 5 6	RETURN GRILLEARETURN GRILLEA	NEMOSTAT	EPLD, 24"x 24" PAN GC5L RC3HD GC5OL	MATCH CEILING MATCH CEILING OFF WHITE MATCH CEILING	IN CEILINGS			ARCHITECTURAL GRILLE SMOKE DETECTOR ELECTRIC FULL LOAD	BY DIVISION 15	BY DIVISION 15	BY DIVISION 15	BY DIVISION 15	HEAT DETECTOR BY DIVISION 15	NO
7 8	EXHAUST REG.	NEMOSTAT	GC50L S3HOD	MATCH CEILING OFF WHITE	IN CEILINGS	D DUCTS	ELECTRICAL	AMPS.		* REFER TO SPE DESCRIPTION C	CIFICATION FOR F ACCESSORIES.		1	
	ARIABLE A	IR VOL	UME BOX	SCHEDU		QUANITIES LISTED ARE ACTUAL S (ACFM)								
BOX NO.	LOCATION (ROOM NO.)	MODEL # MI	CFM S.P. N. MAX. ("WC)	K.W. TEMP HEATING RISE	FOF V-PH	H-CYC REMARKS			MBING FIX	TURE SCI	HEDULE			
2 3 4	CASH UP (112) LOUNGE (120)	35BC 6 44 35BC 4 20 35BC 2 7	0 1750 .21 0 800 .13 5 300 .08	13.0 31.6 0 24.0 50.4F 0 6.0 27.3F 0 3.0 13.8F 0 18.0 60.1F 0	TWO 480- ONE 277- ONE 277-	-3-60 T'STAT & WIRING BY DIV. 15 -3-60 T'STAT & WIRING BY DIV. 15 -1-60 T'STAT & WIRING BY DIV. 15 -1-60 T'STAT & WIRING BY DIV. 15 -3-60 T'STAT & WIRING BY DIV. 15	Р- Р-	2 WATER CLOSET	WASTE VENT TRA 4" 2" 4" 2" 2" 1 1/4"	- 1/2" FLR.	ARKS MTD.,FLUSH TANK MTD., FLUSH TANK, HO HUNG, FLUSH VALVE			· · ·
6		35BC 5 27 35BC 4 20 35BC 2 6	0 800 .13	18.0 60.1F 6.0 27.5F 2.4 32.6F	ONE 277-	-3-60 T'STAT & WIRING BY DIV. 15 -1-60 T'STAT & WIRING BY DIV. 15 -1-60 T'STAT & WIRING BY DIV. 15	P- P- P-	4 URINAL	2" 1 1/4"		HUNG, FLUSH VALVE,			

		AIR QUANTITIES LISTED AF	RE ACTUAL AC- BE & I	-1 THROUGH AC-5 SHALL FURNISHED BY OWNER INSTALLED BY DIVISION 15	AIR CONDITIONING UNIT SCHEDULE REFER TO MOTOR SCH. FOR ELEC. REQUIREM						
	EQUIPMENT SCHE	DULE	SF	PECIFICATION SECTION			15850	15850	15850	15780	
$ \begin{array}{c c} \text{MOTOR} \\ \text{NO.} & \\ \hline 1 & \text{AC-1} \\ \hline 2 & \text{AC-2} \\ \hline 3 & \text{AC-3} \\ \hline 4 & \text{AC-4} \\ \end{array} $	MODEL LOC CFM SP GPM ROOF 20750 - ROOF 19150 - ROOF 15100 - ROOF 12000 -	480/3/60 SEE A.C. 480/3/60 SEE A.C.	RKS . UNIT SCHEDULE . UNIT SCHEDULE . UNIT SCHEDULE	EQUIPMENT # AREA SERVED UNIT LOCATION MODEL # UNIT WEIGHT	AC-1 NORTH SALES AREA ROOF MOUNTED 	AC-2 CENTRAL SALES ROOF MOUNTED	AC3 SOUTH SALES AREA ROOF MOUNTED	AC4 FRONT END ROOF MOUNTED	AC-5 MEZZ STK. RM. ROOF MTD. 	AC-6 RECEIVING THRU-WALL 52BQA5144 160 #	
+ AC-4 5 AC-5 6 AC-6 7 OMIT - 8 OMIT - - 9 EXHAUST FAN NO. 2	ROOF 3400 - 140 315 - - - - - - 140 315 - - - - - - - - - - - - GB-18-4 ROOF 1450 .5 - -	480/3/60 SEE A.C. 277/1/60 SEE A.C. 	UNIT SCHEDULE	AIR QUANTITY EXTERNAL S.P. ("WC) TOTAL S.P. ("WC) HORSEPOWER, HP(BHP)	20750 1.25 CONSTANT VOL.	19150 1.25 CONSTANT VOL.	15100 1.25 CONSTANT VOL.	12000 2.00 VARIABLE VOL.	3400 .6 CONSTANT VOL.	315 1/6	
10 EXHAUST FAN NO. 3 11 EXHAUST FAN NO. 4 12 EXHAUST FAN NO. 5 13 OMIT 14 OMIT	SP17 1 37 1 20 .1 SP17 1 38 1 60 .1 SDE-10-24-D 1 39 400 .1	02 120/1/60 W/ TIM 03 120/1/60 W/REVE 	E DELAY SWITCH E DELAY SWITCH ERSE ACTING T-STAT	FUEL INPUT, BTUH OR KW OUTPUT, BTUH # OF STAGES	ELEC. 80 KW 273040 TWO	ELEC. 80 KW 273040 TWO	ELEC. 80 KW 273040 TWO	NAT. GAS 662,000 496,000 TWO	NAT. GAS 203,000 160,000 ONE	ELEC. 5.0 KW 17065 ONE	
15OMIT16UNIT HEATER NO.117UNIT HEATER NO.218UNIT HEATER NO.319UNIT HEATER NO.4	- DTH40-100N 136 - XL105 135 1200 - XL105 142 1200 - XL105 217 850 -	05 120/1/60 SEE UN 05 120/1/60 SEE UN 05 120/1/60 SEE UN 03 120/1/60 SEE UN	NIT HTR. SCHEDULE	ENT. AIR TEMP., DB/WB LVG. AIR TEMP., DB/WB CAPACITY BTUH (TOTAL) COIL: FINS PER IN.	79.2/65.9 DEG F 617996 	79.2/65.9 DEG F 570343	79.2/64.6 DEG. F 449722 	79.2/64.7 DEG F 260706 	79.2/63.2 DEG. F 70,704 	80/61 DEG. F. 14,000 	
20UNIT HEATER NO.521ELEC. WTR. COOLER NO.22ELEC. WTR. COOLER NO.23ELEC. WTR. COOLER NO.24ELEC. WTR. HTR. NO.125(ELEC. WTR. HTR. NO.2)	2 ESWA-8 209 - 3 ESWA-8 136 - ELJF-40 212 -	2 120/1/60 SEE PL 17 120/1/60 SEE PL 17 120/1/60 SEE PL 17 120/1/60 SEE PL 208/1/60 4.5 KW		ROWS DEEP FACE AREA, SQ. FT. FACE VEL., FT./MIN. 1ST STAGE LOC. IN COIL 2ND STAGE LOC. IN COIL				 		 AIR COOLED	
25 ELEC. WTR. HTR. NO.2 26 ELEC. WTR. HTR. NO.3 27 OMIT 28 EXHAUST FAN NO. 9 29 ELEC. WTR. COOLER NO. 30 ELEC. WTR. COOLER NO.	ELUF-0 120 $-$ ELJF-20 138 $ -$ SP-17 219 160 1 $-$ 4 ESWA-8 108 $ -$	208/1/60 4.5 KW 	ERSE ACTING T'STAT. BG. FIXT. # P-10	CONDENSER SECTION: COMPRESSORS, # & H.P. FAN MOTORS, # & H.P. CAP. REDUCTION STEPS	AIR COOLED	AIR COOLED	AIR COOLED	AIR COOLED	AIR COOLED	AIR COOLED 1 0 1.25 HP. FRAC. 100-OFF 	
			AIR DATA	FILTER CABINET STYLE FILTER TYPE FILTER AREA, SQ. FT. RELIEF FAN	MEDIUM CAPACITY FARR 30/30 	MEDIUM CAPACITY FARR 30/30 	MEDIUM CAPACITY FARR 30/30 	MEDIUM CAPACITY FARR 30/30	FACTORY STD. FARR 30/30 	FACTORY STD. WASHABLE	
TYPE MODE	0-100N 100 90	H.P. V-PH-CYC REMARKS FRAC. 120/1/60 FSTAT BY DIV. 15	5, WIRING BY DIV. 16	CFM S.P. ("WC) FAN MOTORS # & HP.	17,000 .25 	17,000 .25 	15,000 .25 	10,000 .25 			
2PROPELLERXL103PROPELLERXL104PROPELLERXL755PROPELLERXL75	5 105 84 1200 75 60 850	.05 120/1/60 T'STAT BY DIV. 15 .03 120/1/60 T'STAT BY DIV. 15	5, WIRING BY DIV. 16 5, WIRING BY DIV. 16 5, WIRING BY DIV. 16 5, WIRING BY DIV. 16	OUTSIDE AIR INTAKE MIN. CFM DAMPER OPERATION	10% 2075 CFM ECONOMIZER	10% 1915 CFM ECONOMIZER	10% 1510 CFM ECONOMIZER	10% 1200 CFM ECONOMIZER	10% 340 CFM ECONOMIZER 12" HIGH	10% 63 MANUAL	
			ES *	UNIT CURB DISCONNECT SWITCH	14" HIGH BY DIVISION 15 NO BY DIVISION 15	14" HIGH BY DIVISION 15 BY DIVISION 15	14" HIGH BY DIVISION 15 BY DIVISION 15	14" HIGH BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15		
MBOL TYPE MFR.	MODEL # FIN	DIFFUSERS SCHE	ACC	CONDENSATE TRAP LOW VOLTAGE & SINGLE PHASE PROTECTION	BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15	NO 	
	OSTAT S2VO OFF OSTAT EPLD, 24"x 24" PANEL MAT OSTAT GC5L MAT	CH CEILING WITH SQUARE TO ROUND AD WHITE IN WALLS AND DUCTS CH CEILING WITH MANUAL VOLUME DAMP CH CEILING IN CEILINGS WHITE IN WALLS AND DUCTS		ARCHITECTURAL GRILLE SMOKE DETECTOR	BY DIVISION 15	BY DIVISION 15	BY DIVISION 15	BY DIVISION 15	– – HEAT DETECTOR BY DIVISION 15	FURNISHED W/EQUIPMENT	
6RETURN REG.ANEM7EXHAUST REG.ANEM	OSTAT GC50L MAT OSTAT GC50L MAT	CH CEILING IN CEILINGS CH CEILING IN CEILINGS WHITE IN WALLS AND DUCTS		ELECTRIC FULL LOAD AMPS.		+ REFER TO SPE	IFICATION FOR		· · · · · · · · · · · · · · · · · · ·	18.5	
VARIABLE AIR	VOLUME BOX SC	HEDULE AIR QUANITIES LIST CFM'S (ACFM)			I					•	
	DEL # CFM S.P. K.W. MIN. MAX. ("WC) HEATING	TEMP # OF G RISE STAGES V-PH-CYC REMAR	RKS			TURE SCH					

								ISTED ARE ACTUAL		1 THROUGH AC-5 SHALL FURNISHED BY OWNER ISTALLED BY DIVISION 15	AIR	CON	DITIONING	; UNIT SCH	IEDULE AIR QU	IN MOTOR SCH.	FOR ELEC. REQU
		EQUI	PMENT	r scł	HEDUI	_E ^{CFM'S (}	ACTMJ			ECIFICATION SECTION	15850		15850	15850	15850	15850	15780
2	UNIT TYPE AC-1 AC-2 AC-3	MODE	L LOC (ROOF 20 ROOF 19 ROOF 15	CFM SP 750 - 150 - 100 -		ELECT HP V- 48 48 48 48	-PH-CYC 0/3/60 0/3/60 0/3/60	SEE A.C. UNIT SCHEDULE SEE A.C. UNIT SCHEDULE SEE A.C. UNIT SCHEDULE	SYSTEM	EQUIPMENT # AREA SERVED UNIT LOCATION MODEL # UNIT WEIGHT	AC-1	ALES AREA	AC-2 CENTRAL SALES ROOF MOUNTED	AC3 SOUTH SALES AREA ROOF MOUNTED 	AC-4 FRONT END ROOF MOUNTED	AC-5 MEZZ STK. RM. ROOF MTD. 	AC-6 RECEIVING THRU-WALL 52BQA5144 160 #
4 5 46 7 8	AC-4 AC-5 AC-6 OMIT			00 – 5 – – –		48 27	0/3/60 7/1/60 -	SEE A.C. UNIT SCHEDULE SEE A.C. UNIT SCHEDULE SEE A.C. UNIT SCHEDULE	FAN DATA	AIR QUANTITY EXTERNAL S.P. ("WC) TOTAL S.P. ("WC)	20750 1.25 		19150 1.25 	15100 1.25 	12000 2.00 	3400 .6 	315 1/6
9 10 11 12 13	EXHAUST FAN NO EXHAUST FAN NO EXHAUST FAN NO EXHAUST FAN NO OMIT	. 3 SP17 . 4 SP17	B-4 ROOF 14 137 12 138 16 24-D 139 40 	20 .1 50 .1 60 .1		02 12 03 12	20/1/60 20/1/60	W/ TIME DELAY SWITCH W/ TIME DELAY SWITCH W/REVERSE ACTING T-STA	HTG. DATA	HORSEPOWER, HP(BHP) FUEL INPUT, BTUH OR KW OUTPUT, BTUH # OF STAGES	ELEC. 80 KW 273040 TWO	T VOL.	CONSTANT VOL. ELEC. 80 KW 273040 TWO	CONSTANT VOL. ELEC. 80 KW 273040 TWO	VARIABLE VOL. NAT. GAS 662,000 496,000 TWO	CONSTANT VOL. NAT. GAS 203,000 160,000 ONE	ELEC. 5.0 KW 17065 ONE
14 15 16 17	OMIT OMIT UNIT HEATER NO. UNIT HEATER NO.	1 DTH40-		••••••••••••••••••••••••••••••••••••••			 20/1/60	SEE UNIT HTR. SCHEDULE SEE UNIT HTR. SCHEDULE	- -	ENT. AIR TEMP., DB/WB LVG. AIR TEMP., DB/WB		.9 DEG F		79.2/64.6 DEG. F	79.2/64.7 DEG F 260706	79.2/63.2 DEG. F	
19	UNIT HEATER NO. UNIT HEATER NO. UNIT HEATER NO. ELEC. WTR. COOL	3 XL105 4 XL75 5 XL75	142 12 217 85 216 85	200 – 50 – 50 –		05 12 03 12 03 12	20/1/60 20/1/60	SEE UNIT HTR. SCHEDULE SEE UNIT HTR. SCHEDULE SEE UNIT HTR. SCHEDULE SEE PLBG. FIXT. # P-11		CAPACITY BTUH (TOTAL) COIL: FINS PER IN. ROWS DEEP	617996		570343 	449722 		70,704 	14,000
	ELEC. WTR. COOL ELEC. WTR. COOL ELEC. WTR. HTR.	ER NO.2 ESWA- ER NO.3 ESWA- NO.1 ELJF-	-8 209 -8 136 40 212			17 12 17 12 2	20/1/60 20/1/60 08/1/60	SEE PLBG. FIXT. # P-10 SEE PLBG. FIXT. # P-10 SEE PLBG. FIXT. # P-10 4.5 KW 1.5 KW		FACE AREA, SQ. FT. FACE VEL., FT./MIN. 1ST STAGE LOC. IN COI 2ND STAGE LOC. IN COI	11	••••					
27 28 29	ELEC. WTR. HTR. ELEC. WTR. HTR. OMIT EXHAUST FAN ELEC. WTR. COOL	NO.3 ELJF- NO. 9 SP-1 ER NO.4 ESWA	7 219 1 -8 108 -	 60 1 		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	08/1/60 	4.5 KW W/REVERSE ACTING T'STAT SEE PLBG. FIXT. # P-10		CONDENSER SECTION: COMPRESSORS, # & H. FAN MOTORS, # & H.P. CAP. REDUCTION STEPS		DLED	AIR COOLED	AIR COOLED	AIR COOLED	AIR COOLED	AIR COOLED 1 0 1.25 HP. FRAC. 100-OFF
30	ELEC. WTR. COOL	ER NO.5 ESWA	-8 209 -			17 12	20/1/60	SEE PLBG. FIXT. # P-10	2 DATA	FILTER CABINET STYLE FILTER TYPE FILTER AREA, SQ. FT.	MEDIUM FARR 30	CAPACITY 0/30	MEDIUM CAPACITY FARR 30/30 	MEDIUM CAPACITY FARR 30/30	MEDIUM CAPACITY FARR 30/30	FACTORY STD. FARR 30/30 	FACTORY STD. WASHABLE
	TYPE	MODEL #	UNIT I MBH ME INPUT OU			CHEDUI		۲KS	Return Alf	RELIEF FAN CFM S.P. ("WC) FAN MOTORS # & HP.	17,000 .25 		17,000 .25 	15,000 .25 	10,000 .25 		
2 3 4	RADIANT PROPELLER PROPELLER PROPELLER PROPELLER	DTH40-100N XL105 XL105 XL75 XL75	100 90 105 84 105 84 75 60 75 60	12	- FRAC. 200 .05 200 .05 50 .03 50 .03	120/1/60 120/1/60 120/1/60 120/1/60 120/1/60	T'STAT B T'STAT B T'STAT B	Y DIV. 15, WIRING BY DIV. 16 Y DIV. 15, WIRING BY DIV. 16		OUTSIDE AIR INTAKE MIN. CFM DAMPER OPERATION	10% 207 ECONOM		10% 1915 CFM ECONOMIZER	10% 1510 CFM ECONOMIZER	10% 1200 CFM ECONOMIZER	10% 340 CFM ECONOMIZER	10% 63 MANUAL
										UNIT CURB DISCONNECT SWITCH	14" HIGH BY DIVIS		14" HIGH BY DIVISION 15	14" HIGH BY DIVISION 15	14" HIGH BY DIVISION 15	12" HIGH BY DIVISION 15	· · · · · · · · · · · · · · · · ·
	GR	ILLES, I	REGIST	ERS	& DI	FUSEF	RS S(CHEDULE	CESSORIES	THERMOSTAT CONDENSATE TRAP LOW VOLTAGE & SINGLE PHASE PROTECTION	by division by division by division	ON 15	BY DIVISION 15 BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15 BY DIVISION 15	BY DIVISION 15 BY DIVISION 15 BY DIVISION 15	NO
SYMBOL 1 2 3	TYPE SUPPLY DIFF. SUPPLY REG.	MFR. ANEMOSTAT ANEMOSTAT ANEMOSTAT	MODEL # DP, 24"X24" S2V0 FPLD 24"x		OFF WHITE	REMAR	JARE TO R		AC	PROTECTION ARCHITECTURAL GRILLE		• • •				· · · · · · · · · · · · · · · · · · ·	FURNISHED W/EQUI
4 5 6 7	SUPPLY DIFF. RETURN GRILLE RETURN GRILLE RETURN REG.	ANEMOSTAT ANEMOSTAT ANEMOSTAT ANEMOSTAT ANEMOSTAT	GC5L RC3HD GC5OL GC5OL		MATCH CEI OFF WHITE MATCH CEI	LING IN CEILIN IN WALLS LING IN CEILIN LING IN CEILIN	GS AND DUC GS	· · · · · · · · · · · · · · · · · · ·		ELECTRIC FULL LOAD	BY DIVIS	SION 15	BY DIVISION 15	BY DIVISION 15	BY DIVISION 15	HEAT DETECTOR BY DIVISION 15	
	EXHAUST REG. EXHAUST REG	ANEMOSTAT	S3HOD		OFF WHITE			TS	ELECTRICAL				* REFER TO SPE DESCRIPTION (CIFICATION FOR OF ACCESSORIES.		•	· · · · ·
					 < <u>с</u> игі		R QUANIT	IES LISTED ARE ACTUAL FM)									
	LOCATION (ROOM NO.) REG. OFFICES (108)	MODEL #		S.P. K. (''WC) H	.W. TEM EATING RISE	P # OF STAGES V	-PH-CYC	FM) REMARKS T'STAT & WIRING BY DIV. 15	FIX		JMBIN		TURE SCI				

			<u> </u>			~~			AIR QUANIT	TES LISTED ARE ACTUAL			11					an Anna Anna Anna Anna
	ARIABLE A	AIR VO	JLUI	MEI	ROX	SC	HED	ULE	CFM'S (ACI				· · · · · · · · · · · · · · · · · · ·	··· 			< .	
BOX NO.	LOCATION (ROOM NO.)	MODEL #	MIN.	FM MAX.	S.P. (''WC	K.W. HEATING	TEMP RISE	# OF STAGES	V-PH-CYC	REMARKS		PLU	MBIN	NG F	ͲϪͳ	UR	ES	SCHEDULE
1	REG. OFFICES (108)	35BC 5	325	1300	.15	13.0	31.6	ONE	480-3-60	T'STAT & WIRING BY DIV. 15	FIXT.	FIXTURE TYPE	WASTE	VENT	TRAP	C.W.	н.w.	REMARKS
$\frac{2}{3}$	MAIN ENTRY (110) CASH UP (112)	35BC 6 35BC 4	440	1750 800	.21	24.0 6.0	50.4F 27.3F	TWO ONE	277-1-60	T'STAT & WIRING BY DIV. 15 T'STAT & WIRING BY DIV. 15		WATER CLOSET	4"	2"		1/2"		FLR. MTD.,FLUSH TANK
, 4	LOUNGE (120)	35BC 2	75	300	.08	3.0		ONE		T'STAT & WIRING BY DIV. 15	P-2	WATER CLOSET	4"	2"		1/2"	— — .*	FLR. MTD., FLUSH TANK, HCPD.
5	2nd ENTRY (124)	35BC 5	275	1100	.11	18.0	60.1F	TWO	480-3-60	T'STAT & WIRING BY DIV. 15	P-3	URINAL	2"	1 1/4'	·	3/4"		WALL HUNG, FLUSH VALVE
6	PHARMACY (126)	35BC 4	200	800	.13	6.0	27.5F	ONE	277-1-60	T'STAT & WIRING BY DIV. 15	P-4	URINAL	2"	1 1/4				WALL HUNG, FLUSH VALVE, HCPD.
7	OPTICAL, EXT. (129)	35BC 2	60	230	.07	2.4	32.6F	ONE		T'STAT & WIRING BY DIV. 15	P-5	LAVATORY	1 1/4"	1 1/4'				COUNTER MTD.
8	OPTICAL, INT. (127)	35BC 4	190	760	.03					T'STAT & WIRING BY DIV. 15	P-6	LAVATORY	1 1/4"	1 1/4'				WALL HUNG
	ELECTRONICS (134)	35BC 5	425	1700	.05					T'STAT & WIRING BY DIV. 15	P-7	COUNTER SINK	1 1/2"	1 1/4'				25"X21" SINGLE COMP. S.S.
	INVENTORY (115)	35BC 3	100	400	.02					T'STAT & WIRING BY DIV. 15	P-8	COUNTER SINK	1 1/2"	1 1/4'	1 1/2			15"X15" SINGLE COMP. S.S.
11	OFFICES (206)	35BC 3	160	650	.11	6.0	33.9F	ONE	277-1-60	T'STAT & WIRING BY DIV. 15	P-9	FLOOR SINK	3"		' 3"		3/4"	
12	OPEN OFFICES (206)	35BC 5	275	1100	.11	10.2	29.4F	TWO	480-3-60	T'STAT & WIRING BY DIV. 15		ELEC. WATER COOLER	1 1/4"		1 1/4			WALL MOUNTED
	LOUNGE (207)	35BC 6	400	1600	.13	13.9	27.5F	TWO	480-3-60	T'STAT & WIRING BY DIV. 15	P-11	ELEC. WATER COOLER	1 1/4"	1 1/4'	1 1/4			WALL MOUNTED, HCPD.
								·			P-12	INSIDE HOSE BIBB				3/4"		
		· · · · · · · · · · · · · · · · · · ·	+	+		+	+		· · · · · · · · · · · · · · · · · · ·		P-13	WALL HYDRANT				3/4"		EXTERIOR NON-FREEZE
		ļ	1			<u> </u>	<u></u>				P-14	VENDING MACHINES			·	1/2"		W/SHUT-OFF VALVE & VACUUM BREAKER
						<u> </u>					P-15	WATER CLOSET	4"	2"	*	1/2"		FLR. MTD., FLUSH TANK-REAR OUTLET
			L					1						,			· · ·	

NO. DRAIN TYPE WASTE VENT IRAP REMARKS F-1 2" FLOOR DRAIN, ON GRADE 2" 2" JOSAM # 306026A WITH TRAP F-2 2" FLR. DRN. ABOVE GRADE 2" 2" JOSAM # 30000-6A W/ TRAP & FLAS F-3 3" FLOOR DRAIN, ON GRADE 2" 2" JOSAM # 30603-6A WITH TRAP F-4 ROOF DRAIN 8" JOSAM # 21500-1-22 F-5 HUB DRAIN 2" 2" RICHMOND FOUNDRY GRATE #L-0603	DRAIN					SCHEDULE
F-2 2" FLR. DRN. ABOVE GRADE 2" 2" JOSAM # 30000-6A W/ TRAP & FLAS F-3 3" FLOOR DRAIN, ON GRADE 3" 3" JOSAM # 30603-6A WITH TRAP F-4 ROOF DRAIN 8" JOSAM # 21500-1-22 F-5 HUB DRAIN 2" 2" RICHMOND FOUNDRY GRATE #L-0603	- 1	DRAIN TYPE	WASTE	VENT	TRAP	REMARKS
F-3 3" FLOOR DRAIN, ON GRADE 3" 3" JOSAM # 30603-6A WITH TRAP F-4 ROOF DRAIN 8" JOSAM # 21500-1-22 F-5 HUB DRAIN 2" 2" RICHMOND FOUNDRY GRATE #L-0603	F-1	2" FLOOR DRAIN, ON GRADE	2"		2"	
F-4 ROOF DRAIN 8" JOSAM # 21500-1-22 F-5 HUB DRAIN 2" 2" RICHMOND FOUNDRY GRATE #L-0603	F-2	2" FLR. DRN. ABOVE GRADE	2"		2"	JOSAM # 30000-6A W/ TRAP & FLASHING
F-5 HUB DRAIN 2" 2" RICHMOND FOUNDRY GRATE #L-0603	F-3	3" FLOOR DRAIN, ON GRADE	3"		3"	
	F-4	ROOF DRAIN	8"			JOSAM # 21500-1-22
F-6 AREA DRAIN 4" JOSAM # 36100 W/BACKWATER VALVE	F-5	HUB DRAIN	2"	_ ~	2"	RICHMOND FOUNDRY GRATE #L-0603 IN 3" C.I.
	F-6	AREA DRAIN	4"			JOSAM # 36100 W/BACKWATER VALVE
			-	·		

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5 BY DIVISION 15 BY I	DIVISION 15 INTEGRAL	
	DIVISION 15 NO	
5 BY DIVISION 15 BY	DIVISION 15	
		DEPTH VARIES SEE STRUCTURAL. STEEL DECK
		SEE STRUCTURAL STEEL DECK
		6"(<u>+</u>)
	FURNISHED W/EQUIPMENT	
15 BY DIVISION 15 HEA	AT DETECTOR NO DIVISION 15	HEAD HEAD
BI		
	- 18.5	
		==== ============================
		SPRINKLER BRANCH, SIZE VARIES.
S.		
		LIGHT TO BE MOUNTED AT 11" BELOW BOTTOM
		LIGHT FIXTURE
		SEE ELECTRICAL MUST BE GOURDINATED WITH ELECTRICAL
		STOCK BOOM SEDENIKI ER HEAD DETAIL
		2 STOCK ROOM SPRINKLER HEAD DETAIL
and the second	I	M14 NO SONE
<u>an an a</u>		
· · · · · · · · · · · · · · · · · · ·		
NK		
NK, HCPD.		
VALVE		
VALVE, HCPD.		
······································		
· · · · · · · · · · · · · · · · · · ·		- CENTER LINE OF SPRINKLER PIPING AT ELEV. = 116'-6"
MP. S.S.		
MP. S.S.		
PD.		
E7E		
EZE		
& VACUUM BREAKER		
NK-REAR OUTLET		
		$\frac{1}{1} = \frac{1}{1} = \frac{1}$
	2011-281 SA DUCT	
	20"x38" S.A. DUCT	ייס / AT BOTTOM ELEVATION \ 16"X12" S.A. DUCT
	DUITOM ELEVATION = 114 -	/ 114 – U, ITPICAL. (INKU GIKUEK AL
		/ BOTTOM ELEVATION
- :	FINISHED SALES FLOOR CEILING	18°X20° S.A
	ELEV. = $113'-8''$	DUCT BOTTOM ELEV. = $114'-0''$
	3 SALES FLOOR SECTION	
	M14 NO SCALE	
المراجعة المستعمل المراجع المر المراجع المراجع		
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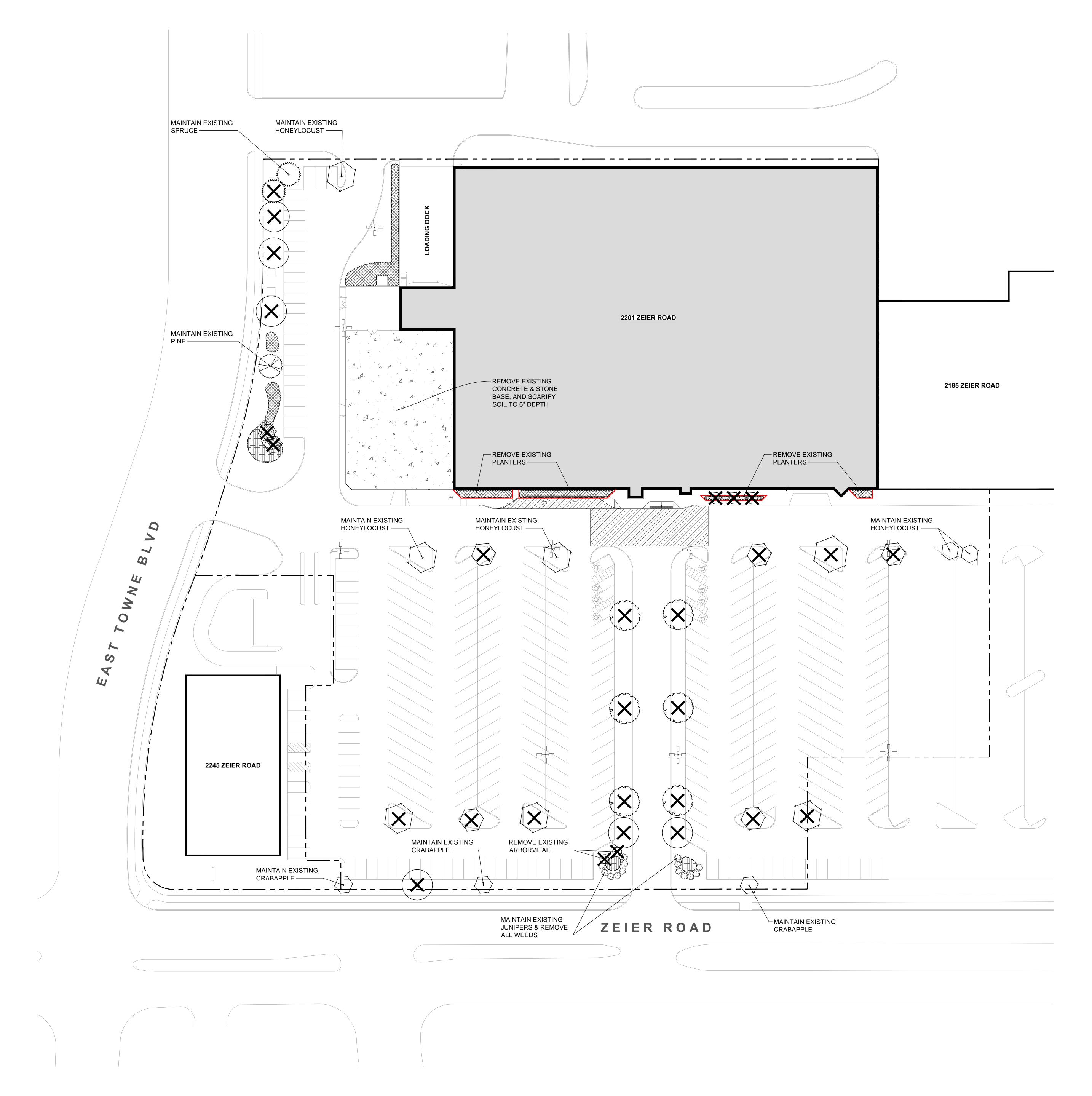
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OMIT

PIPE LEGE	END	
SERVICE	ABB.	SYMBOL
COLD WATER	CW	
HOT WATER	HW	·
RECIRCULATING HOT WATER	СН₩	
WASTE PIPE ABOVE GRADE	w	W
VENT PIPE ABOVE GRADE	v	V
WASTE PIPE BELOW GRADE	w	
RAIN WATER LEADER	RWL	RWL
STORM PIPE BELOW GRADE	SD	SD SD
FIRE SPRINKLER LINE	FSL	FSL
NATURAL GAS	G	G
VENT PIPE BELOW GRADE	V .	
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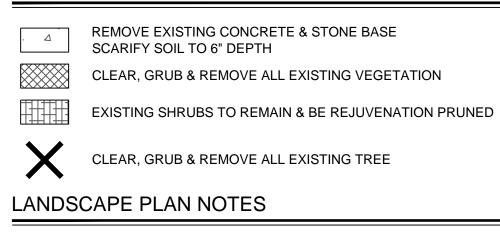
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Korsunsky Krank Erickson Architects, Inc. 300 First Avenue North Suite 500 Minneapolis, MN 55401 612/339-4200 Nelson-Rudie & Assoc., Inc. **Consulting Engineers** 300 First Avenue North Suite 450 Minneapolis, Mn. 55401 612/342-9222 . . , • • • • • • SHOPKO STORE # MADISON, WISCONSIN PROTOTYPE P94 MECHANICAL SCHEDULES & DETAILS Date 7/16/87 Signed () Date Revision Description JUL 2 1 1987 Project No. 87-30 Date 7/16/87 M14 Drawn by MDW Checked by SFR, EB of 14 Cognight (1986 by Xoundy Xoak Calum Architede, In.

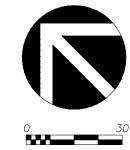


GROUND COVER LEGEND

ORDINANCE.

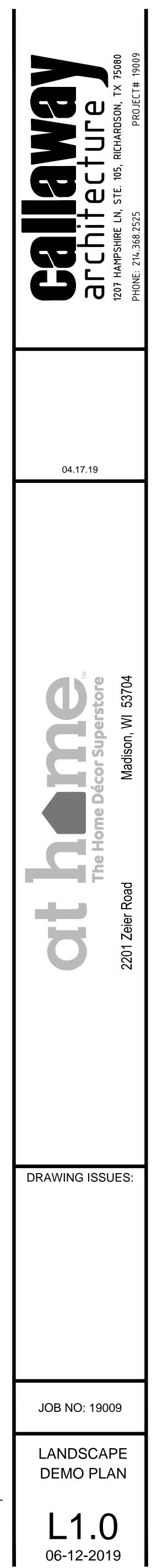


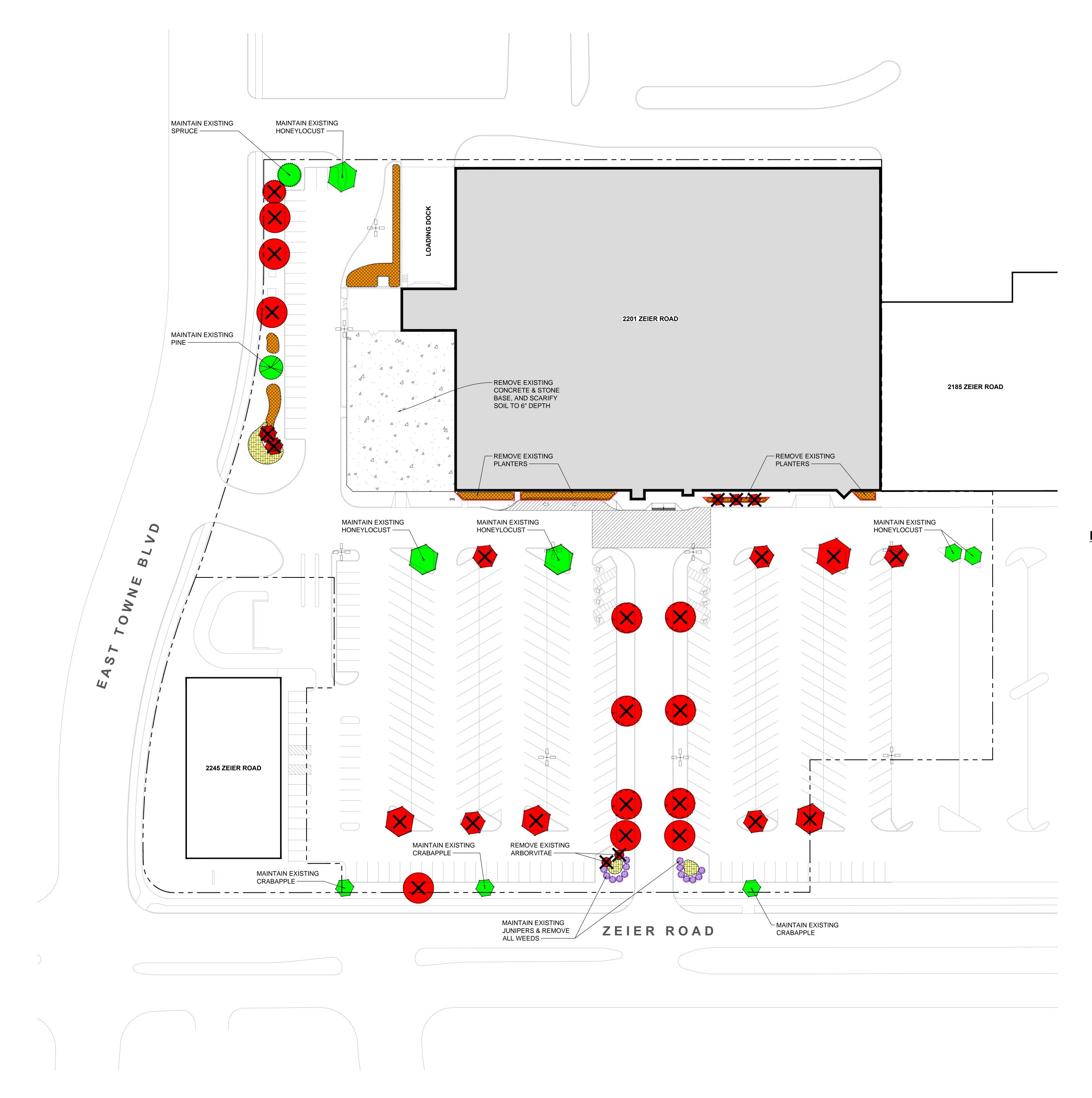
- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE
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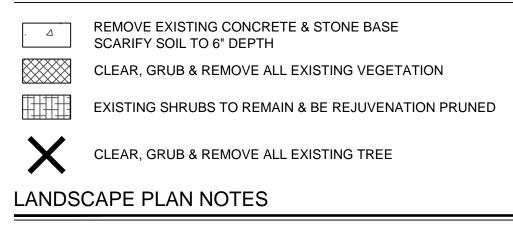
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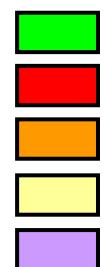


GROUND COVER LEGEND

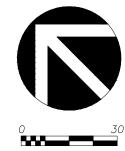


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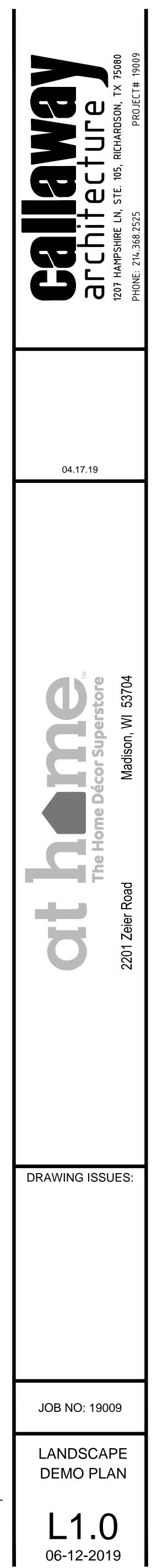
Existing Plant Health Legend



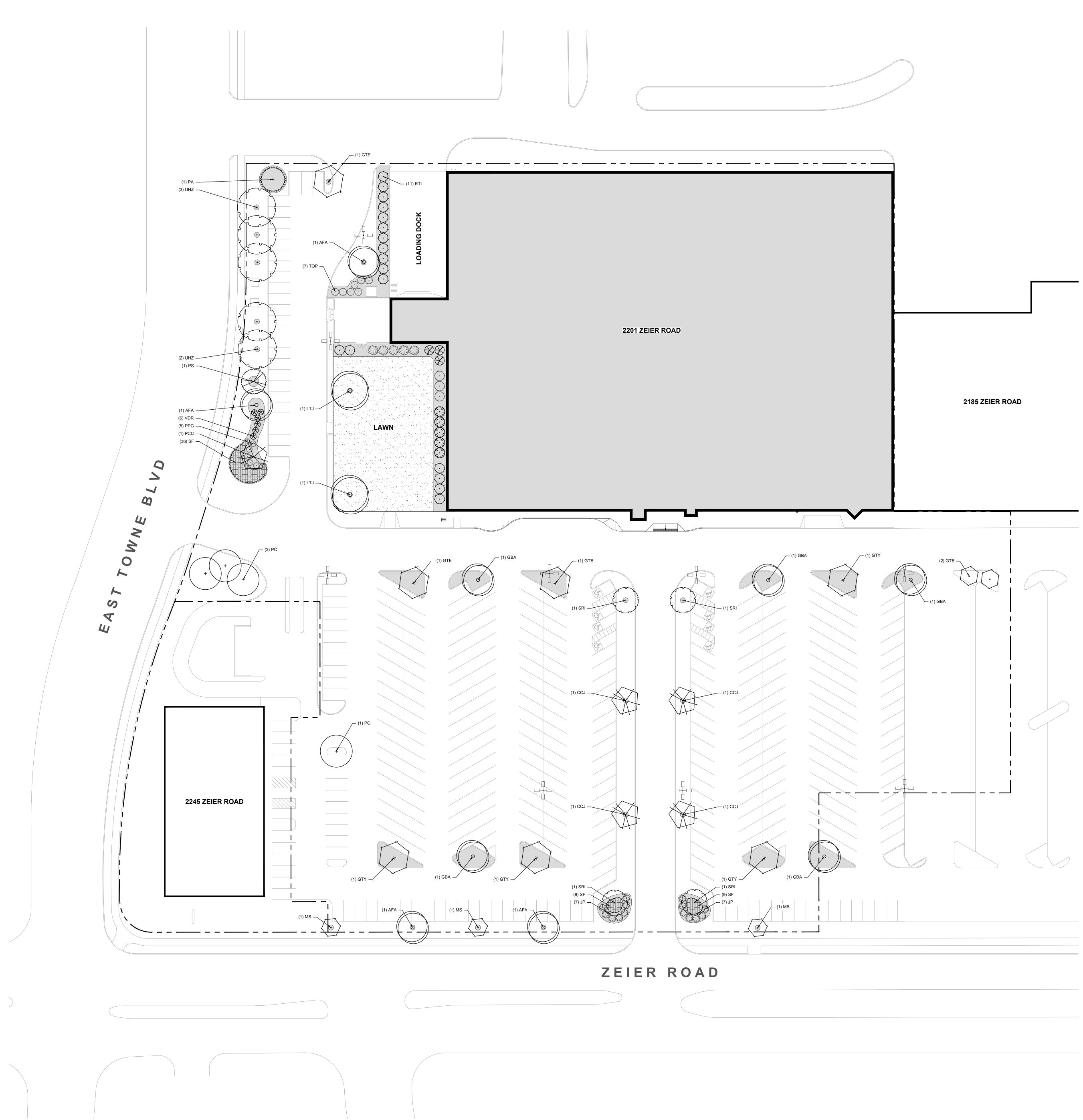
Healthy Appearance - needs pruning Diseased, dying, damaged, or severely mis-shaped Shrubs overgrown and/or over taken by undesirables Healthy appearance shrubs - rejuvenation needed Healthy appearance shrubs - weeds intermixed



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PLANT SCHEDULE

					ROOT	
	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	COND	NOTES
OVER	STORY DECIDUOUS TREES					
	Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	4	2.5"	B&B	
GBA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	5	2.5"	B&B	
	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	5			EXISTING
GTY	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	4	2.5"	B&B	
LTJ	Liriodendron tulipifera 'JFS Oz'	Emerald City Tuliptree Poplar	2	2.5"	B&B	
PC	Pyrus calleryana	Callery Pear	4			EXISTING
PCC	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	1	2.5"	B&B	
UNH	Ulmus 'New Horizon'	New Horizon Elm	5	2.5"	B&B	
ORNA	MENTAL TREE		•			
CCJ	Carpinus caroliniana 'JN Strain'	JN Strain Musclewood	4	6' TALL	B&B	
MS	Malus 'Snowdrift'	Snowdrift Crabapple	3			EXISTING
SRI	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	4	4' TALL	B&B	
EVER	GREEN TREES	1 -			· ·	
PGA	Picea abies	Norway Spruce	1			EXISTING
PS	Pinus stylvestris	Scotch Pine	1			EXISTING
DECIL	DUOUS SHRUB					
ΗV	Hammemelis virginiana	Witchhazel	3	24" TALL	POT	
POD	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	5	24" TALL	POT	
RTL	Rhus typhina 'Laciniata'	Cutleaf Staghorn Sumac	17	36" TALL	POT	
	Spirea 'Froebeli'	Freobel Spirea	54			EXISTING
VDR	Viburnum dentatum 'Ralph Senior'	Autumn Jazz Viburnum	6	24" TALL	POT	
EVER	GREEN SHRUB					
JP	Juniperus 'Pfitzer'	Pfitzer Juniper	14			EXISTING
	Juniperus scopulorum 'Moonglow'	Moonglow Juniper	5	36" TALL		
PPG	Picea pungens 'Globosa'	Dwarf Globe Blue Spruce	5	24" TALL		
	Thuja occidentalis 'Pyramidalis'	Pyramidal Arborvitae	7	36" TALL		
TOT	Thuja occidentalis 'Techny'	Techny Arborvitae	3	36" TALL	POT	

GROUND COVER LEGEND

LAWN SEED

EXISTING SHRUBS TO REMAIN & BE REJUVENATION PRUNED

LANDSCAPE PLAN NOTES

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- START OF WORK. 3. ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD MULCH
- CONTAINED BY LANDSCAPE EDGING. 4. LANDSCAPE EDGING SHALL BE 4" DEPTH MACHINE CUT TRENCHED EDGE.
- 5. ALL DECIDUOUS TREES IN TURF AREAS SHALL HAVE A 4' DIAMETER CIRCLE CONSISTING OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING. 6. ALL PROPOSED EVERGREEN TREES IN TURF AREAS SHALL HAVE A 8' DIAMETER MINIMUM
- CIRCLE CONSISTING OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING. 7. ALL EXISTING EVERGREEN TREES IN TURF AREAS SHALL HAVE A CIRCLE OF THE SAME SIZE AS
- THE TREE'S DRIPLINE CONSISTING OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
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