

VICINITY MAP "PARAGON PLACE AT BEAR CLAW WAY"

by UNITED FINANCIAL GROUP, INC. 660 W. Ridgeview Drive Appleton, WI 54911

Scale: 1" = 500' (22"X34") Scale: 1" = 1000'(11"X17") Date: 06-06-2019



City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: Paragon Place at Bear Claw Way - Lot 1

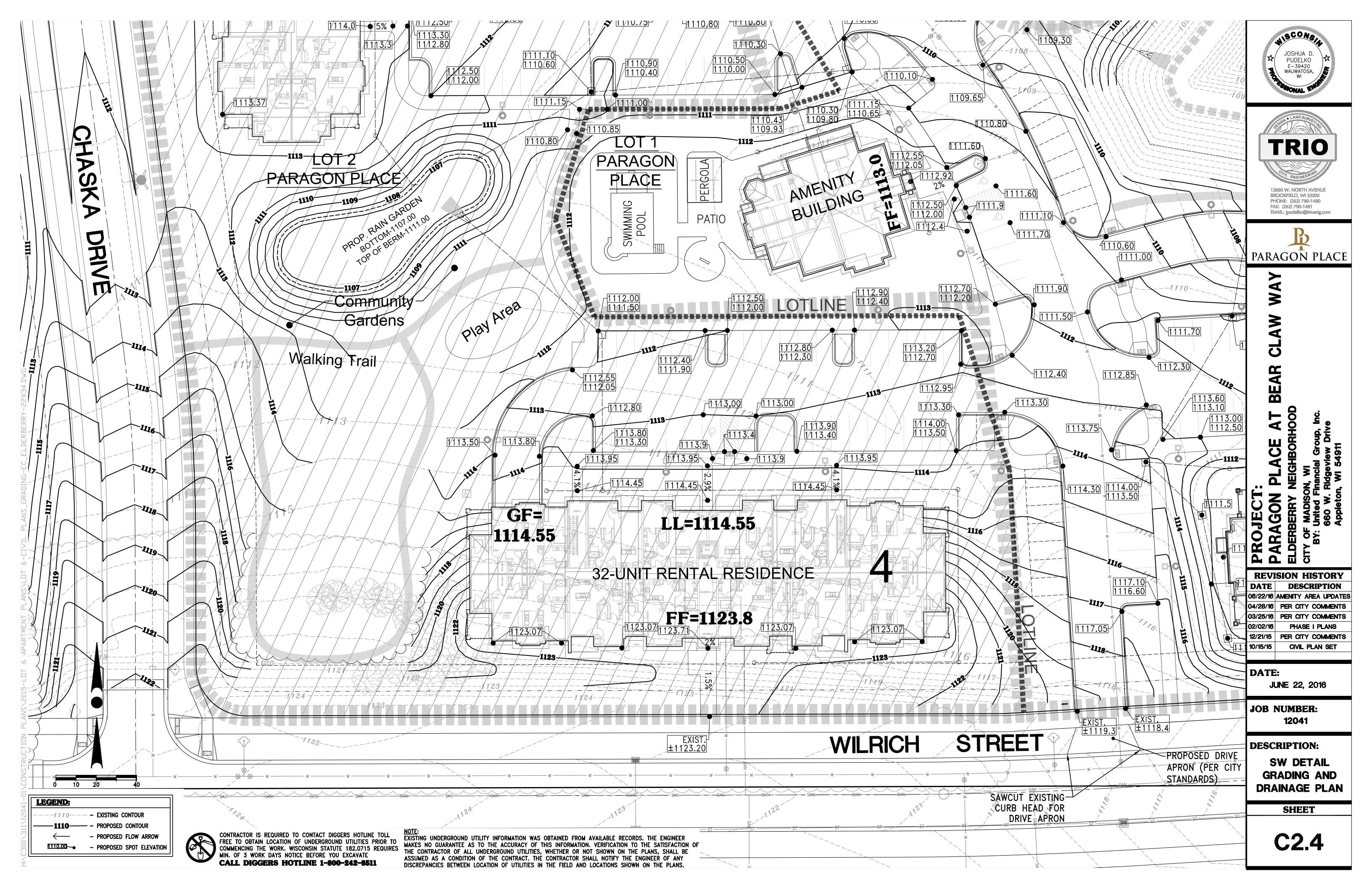
Contact Name & Phone #: Bob Zoelle - (920) 428-7694

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

 Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall? 	Yes Yes Yes	No No No	N/A N/A N/A
 2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13¹/₂-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.) 	 ✓ Yes ✓ Yes ✓ Yes ✓ Yes ✓ Yes ─ Yes ─ Yes ─ Yes 	No No No No No No No No	 □ N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:a) Is the gate a minimum of 20-feet clear opening?b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐ Yes ☐ Yes ☐ Yes	No No No No	N/A N/A N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	Yes Yes	No No	N/A N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	Yes	No No	N/A
	_		
	Yes	No	N/A
 6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) 	Yes Yes Yes Yes Yes	No No No No	□ N/A □ N/A □ N/A □ N/A
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Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2012 Edition Chapter 5 and Appendix D; please see the codes for further information.







EAST ELEVATION



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WEST ELEVATION
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SCALE: 1/8" = 1'-0"

Paragon Place at Bear Claw Way Approved Building #4, Three/Two Story, 32 Unit Madison, Wisconsin

ELEV. • 132-4 7/8 -

- 12" SOLDIER COURSE PROJECT 3/8"

FLOOR LINE -



05 Jan 2016



Paragon Place at Bear Claw Way Approved Building #4, Three/Two Story, 32 Unit Madison, Wisconsin

NORTH COURTYARD ELEVATION

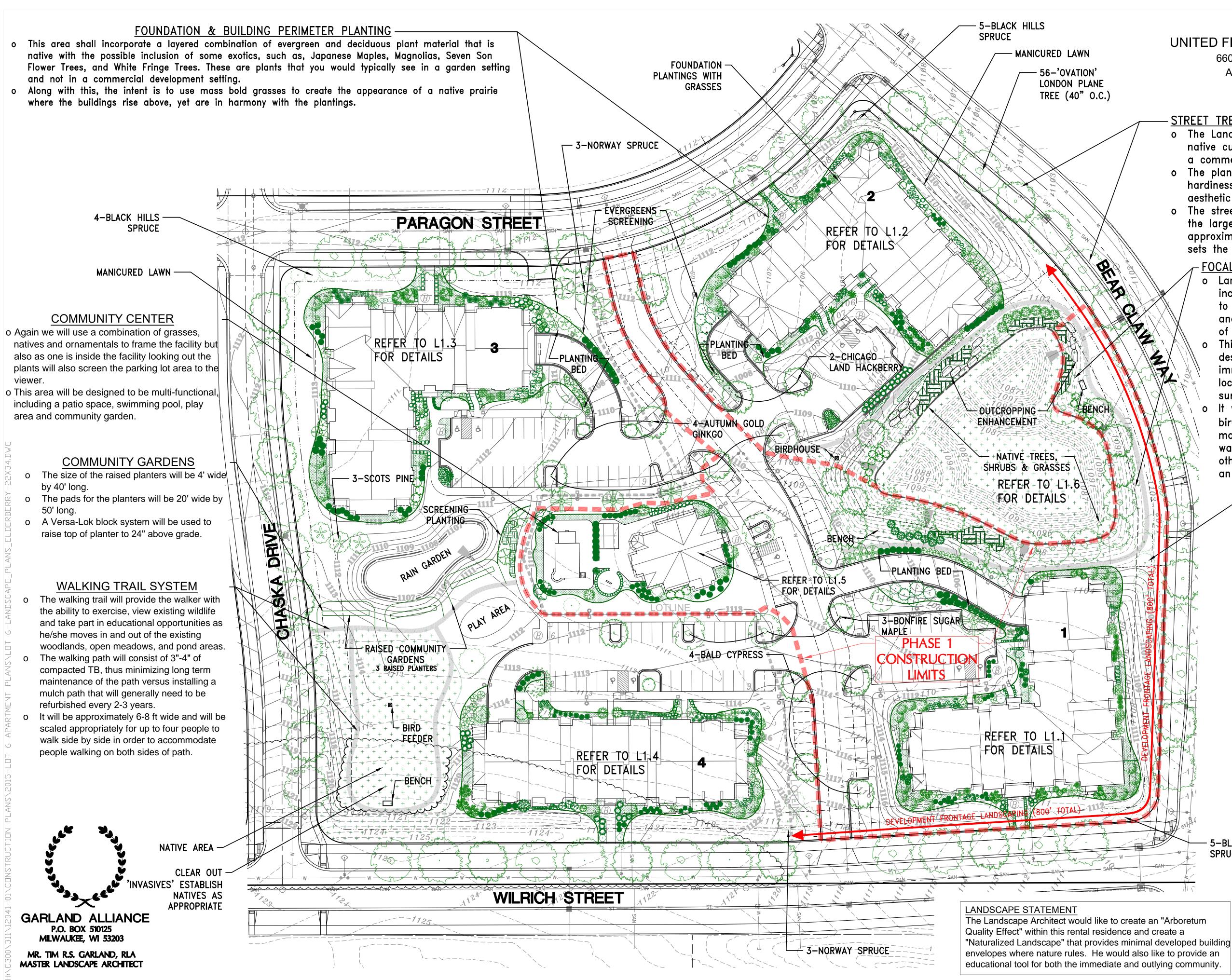
5CALE: 1/8" = 1'-0"



05 Jan 2016

THIRD FLOOR TOP OF SUB FLOOR ELEV 121-11 3/4 -
12" SOLDIER COURSE PROJECT 3/8"
SECOND FLOOR

- native with the possible inclusion of some exotics, such as, Japanese Maples, Magnolias, Seven Son and not in a commercial development setting.
- where the buildings rise above, yet are in harmony with the plantings.



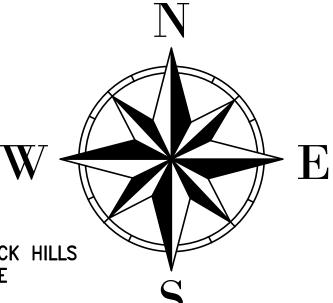
UNITED FINANCIAL GROUP, INC. 660 W. Ridgeview Drive Appleton, WI 54911

STREET TREE PLANTING

- o The Landscape Architect chooses to select native cultivars that are unique in use for a commercial setting.
- o The plants will be selected for their hardiness, their urban tolerance and their aesthetic value.
- o The street tree planting, in effect, creates the large scale outdoor room of this approximately 9 acre development and it sets the stage for the gardens within.
 - FOCAL POND FEATURE o Landscape Architect will incorporate plantings specifically to the pond to further enhance and create a major focal element of this lot.
 - o This will ultimately become a destination point for the immediate community, the overall local community, and the surrounding wildlife.
 - o It will be enhanced with benches, bird feeders/houses and plant material that will attract not only waterfowl but also songbirds and other wildlife typically found in an arboretum setting.

- 5-NORWAY SPRUCE





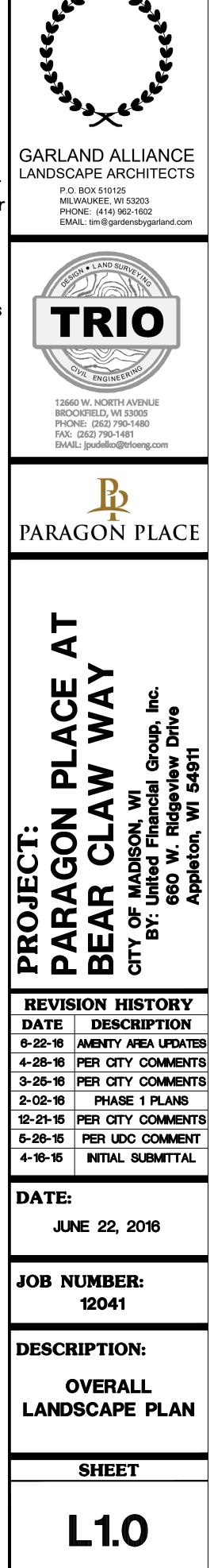
20 40 80

Scale: 1" = 40' (22"X34")

Scale: 1" = 80' (11"X17")

DATE: 06-22-2016

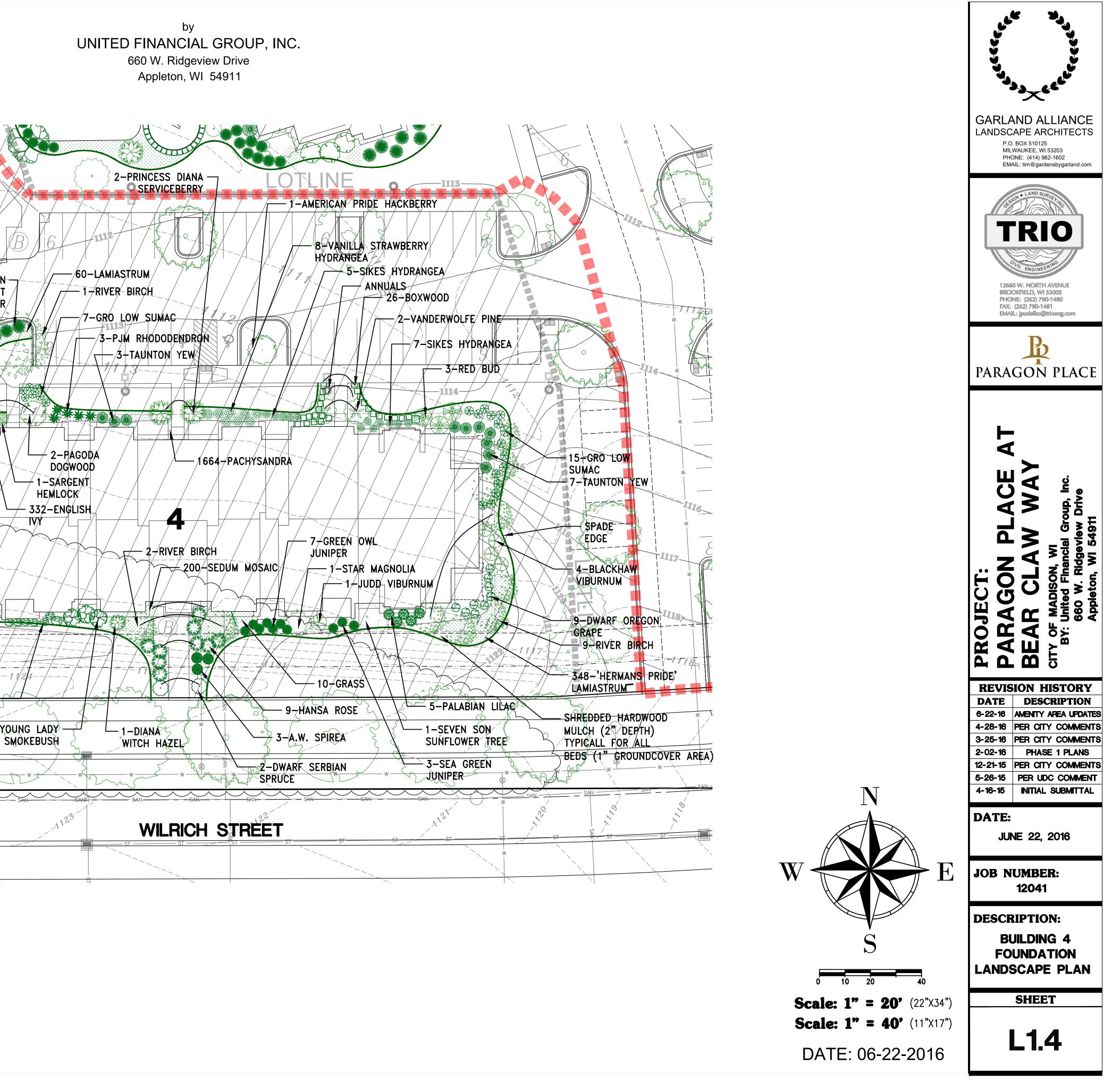
5-BLACK HILLS SPRUCE



AREA oLAY 1≠BLUĘ∕ SHIŅ∕ER SPRUCE 5-GREEN SARGENT JUNIPER 60#GRASSES [⊢]7—∕RÉD WING -[≁]VIBU⁄ŔNUM⁄/ 1-∕BLACK -- 🛛 / $\tau \nabla$ TUPELO 30+FROSTY MORN SEDUM /7-PURPLE /PAVEMENT ROSĘ ∕†00–ØRNIMÉNTAL∕ GRA\$S · 3-TINA/CRABAPPLE -144-ALL GOLD HAKONECHLOA GRASS 3-RIVER BIRCH 11 1-JAPANESE TREE /LILAC/ Z—FÍNE WÍN∦ WEIGELA \sim 1125-3-YOUNG LADY -0

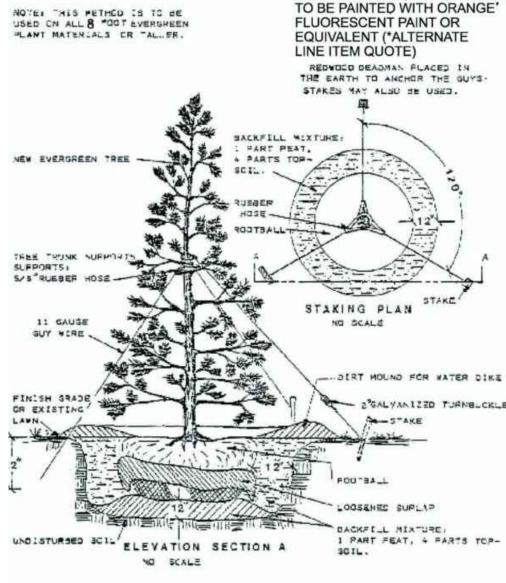


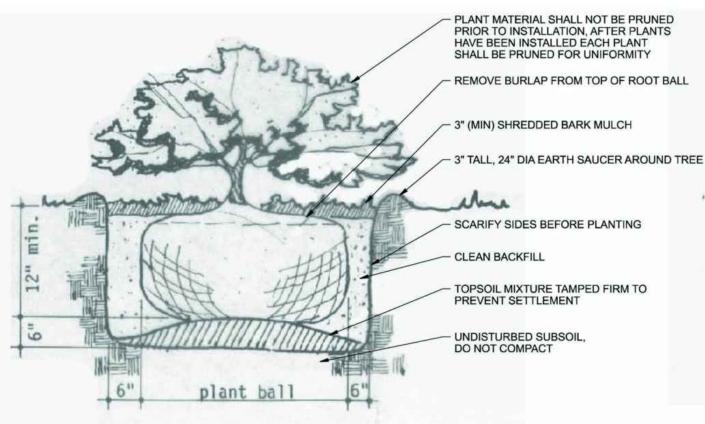
by 660 W. Ridgeview Drive





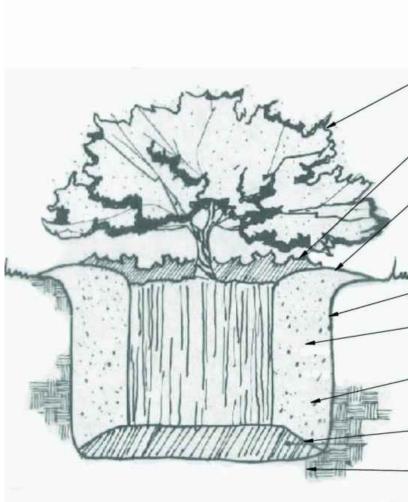
EVERGREEN TREE PLANTING DETAIL





B&B SHRUB PLANTING DETAIL

CONTAINER SHRUB DETAIL



OF CONTAINER TOPSOIL MIXTURE TAMPED FIRM TO PREVENT SETTLEMENT (6" TYP)

UNDISTURBED SUBSOIL

DO NOT COMPACT

* MINIMUM 2"x2"x6' TREATED WOOD STAKE, 2 PER TREE DRIVE STAKE AT ANGLE AND DRAW VERTICAL, TOP OF STAKES

EXCAVATE SHRUB WELL 1-1/2 TIMES SIZE

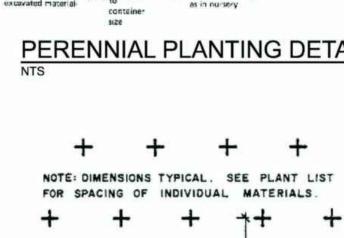
- CLEAN BACKFILL

SCARIFY SIDES BEFORE PLANTING

" TALL 24" DIA EARTH SAUCER **ROUND PLANT**

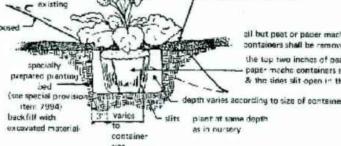
PRIOR TO INSTALLATION, AFTER PLANTS HAVE BEEN INSTALLED EACH PLANT SHALL BE PRUNED FOR UNIFORMITY " (MIN) SHREDDED BARK MULCH REMOVE CONTAINER

PLANT MATERIAL SHALL NOT BE PRUNED



GROUNDCOVER PLANTING DETAIL

PERENNIAL PLANTING DETAIL

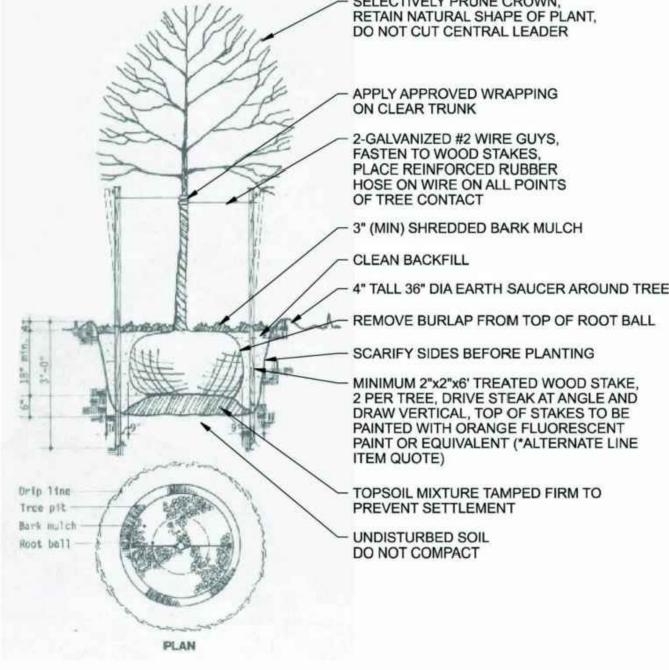


's" death at stems 2" depth batween plants all but peat or paper mache

shredded pine back muleh

containers shall be removed completely the top two inches of paat or paper mecha containers shall be remove & the sides slit open in three places

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SELECTIVELY PRUNE CROWN, RETAIN NATURAL SHAPE OF PLANT, DO NOT CUT CENTRAL LEADER

APPLY APPROVED WRAPPING ON CLEAR TRUNK

2-GALVANIZED #2 WIRE GUYS, FASTEN TO WOOD STAKES, PLACE REINFORCED RUBBER HOSE ON WIRE ON ALL POINTS OF TREE CONTACT

- 3" (MIN) SHREDDED BARK MULCH

- CLEAN BACKFILL

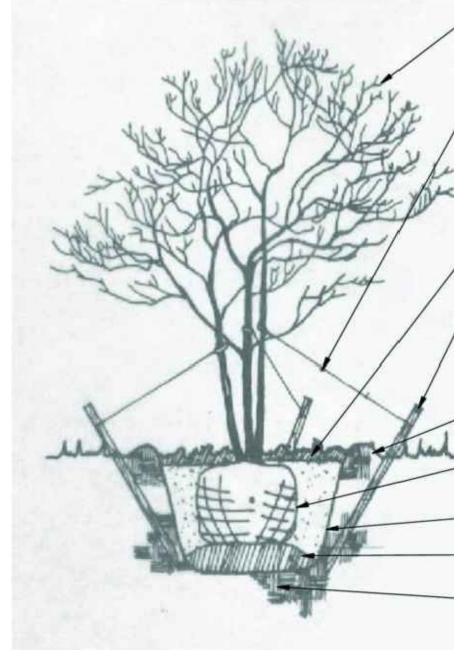
- REMOVE BURLAP FROM TOP OF ROOT BALL

SCARIFY SIDES BEFORE PLANTING

MINIMUM 2"x2"x6' TREATED WOOD STAKE, 2 PER TREE, DRIVE STEAK AT ANGLE AND DRAW VERTICAL, TOP OF STAKES TO BE PAINTED WITH ORANGE FLUORESCENT PAINT OR EQUIVALENT (*ALTERNATE LINE ITEM QUOTE)

TOPSOIL MIXTURE TAMPED FIRM TO PREVENT SETTLEMENT

- UNDISTURBED SOIL DO NOT COMPACT



SMALL TREE PLANTING DETAIL

NTS

THE LANDSCAPE CONTRACTOR SHALL VERIFY GRADES ESTABLISHED DURING FINAL SOIL PREPARATION AS BEING TRUE TO FINISH CONTOURS SHOWN, AND SHALL MAINTAIN SUCH AREAS UNTIL THE EFFECTIVE DATE TO BEGIN SODDING AND/OR SEEDING OPERATIONS. IN SUCH INSTANCES WHERE A SPLIT RESPONSIBILITY EXISTS BETWEEN GRADING AND GRASSING CONTRACTORS, IT SHALL BE THE RESPONSIBILITY OF THE GRASSING CONTRACTOR TO MAINTAIN A SUITABLE GRADE FOR GRASSING ONCE HE HAS ACCEPTED THE GRADE PROVIDED TO HIM. IN ALL CASES, THE GROUND SHALL BE HAND RAKED IMMEDIATELY PRIOR TO BEING SODDED TO REMOVE ANY IRREGULARITIES IN THE GRADE.

GUARANTEE PERIOD FOR PLANT MATERIALS SHALL BE AS FOLLOWS

3 MONTHS
3 MONTHS
12 MONTHS
12 MONTHS
90 DAYS FROM INTRODUCTION
LAND NOT GIVEN FULL 90 DAYS OF GUARANTEE PERIOD, OR IF NOT THAT TIME, CONTINUE GUARANTEE THE FOLLOWING SPRING UNTIL
ISHED.
D BE LINED WITH A MINIMUM OF 3" SHREDDED BARK MULCH (NO PLASTIC SE OF ALL TREES (MIN. 3' DIA.).

A 10/10/10 FERTILIZER MIXTURE SHALL BE APPLIED AT 20#/1000 SF WORKED INTO THE LAWN BED BEFORE SEEDING OR SODDING.

TYPICAL SEED FIXTURE: ed KENTUCKY BLUEGRASS 50% RED FESCUE

PERENNIAL RYE GRASS 20%

PROPOSED TREES TO BE OPTIONALLY STAKED AS PER PLANTING DETAILS. (PLEASE SPECIFY LINE ITEM IN PROPOSAL FOR STAKING).

ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY. ANY TREES MISPLACED WILL BE SUBJECT TO REJECTION.

UPON ACCEPTANCE OF THE LANDSCAPE INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A COMPLETE AND ADEQUATE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE JOB DURING THE GUARANTEE PERIOD TO DETERMINE IF PROPER MAINTENANCE IS BEING GIVEN.

IT SHALL BE UNDERSTOOD THAT IN ACCORDANCE WITH THE TERMS OF THE GUARANTEE THAT THE LANDSCAPE CONTRACTOR MUST PROMPTLY INFORM THE OWNER IF PROPER MAINTENANCE IS NOT BEING GIVEN TO THE INSTALLATION. SUCH NOTICE SHALL BE IN WRITING, OUTLINING CORRECTIVE MEASURES TO BE TAKEN, WITH A COPY TO THE LANDSCAPE ARCHITECT. AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO REPLACE ALL PLANTS THAT ARE DEAD OR IN UNSATISFACTORY CONDITION OF GROWTH. ALL REPLACEMENT PLANTS SHALL BE OF LIKE SIZE AND KIND OF THE PLANTS REMOVED. ANY SEED AREAS OVER ONE FOOT SQUARE NOT COVERED BY TURF SHALL BE RESEEDED BY THE CONTRACTOR. ANY SODDED AREAS OVER ONE FOOT SQUARE THAT ARE DEAD OR DYING SHALL BE RESODDED BY THE LANDSCAPE CONTRACTOR. ALL REPLACEMENTS INCLUDED WITHIN THE GUARANTEE SHALL BE THE LANDSCAPE CONTRACTOR'S EXPENSE

ANY ALTERATIONS TO THE LANDSCAPE PLAN WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE LANDSCAPE CONTRACTORS ARE RESPONSIBLE FOR MAKING SURE ALL TREE BALLS. ARE MOIST AT THE CORE, WHEN TREES ARE INSTALLED.

LAWN EDGES THAT ABUT PARKING LOTS WITH NO CURBING SHALL BE DOUBLE SEEDED TO A WIDTH OF 5'-0". HERBICIDE (TREFLAN OR EQUIVALENT) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY. THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.

MULTI-TRUNK TREE PLANTING NTS

PLANTING AND LANDSCAPE NOTES

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COORDINATION OF PLANTING OPERATIONS AND RELATED CONTRACTUAL OPERATIONS WITH THE OTHER CONTRACTORS ON THE JOB. REPAIR OF DAMAGE TO PLANTS, GRADES, LAWNS, ETC., DURING INSTALLATION SHALL NOT BE CONSIDERED AS AN EXTRA, AND NOT CHARGEABLE TO THE OWNER. DAMAGE CAUSED BY OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF SAID CONTRACTOR.

THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, SOIL, AND/OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. CONTRACTOR SHALL CLEAN BEHIND HIS WORK IMMEDIATELY AND SHALL TAKE NECESSARY PRECAUTIONS TO KEEP CONCRETE, BRICK AND OTHER PAVING MATERIAL CLEAN OF SOIL.

MATERIALS PLANTED AND DAMAGED OR DESTROYED BY ANY PHENOMENA CONSIDERED AS AN ACT OF GOD, E.G., VANDALISM, WIND, FIRE, FLOOD, FREEZE, THEFT, RAIN, HAIL, ETC., SHALL BELONG TO THE OWNER AND SHALL BE HIS RESPONSIBILITY. MATERIALS STORED ON-SITE AS YET NOT PLANTED ARE NOT COVERED BY THIS CLAUSE AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE NO. 1 GRADE OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS. THE LANDSCAPE ARCHITECT RESERVES ALL RIGHTS TO DETERMINE ACCEPTABILITY OF PLANT MATERIAL SUBMITTED FOR PLANTING.

ALL PLANTS SHALL BE PLANTED IN PITS, CENTERED AND SET ON SIX-INCHES OF COMPACTED TOPSOIL TO SUCH A DEPTH THAT THE FINISH GRADE LEVEL AT THE PLANT AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. ALL PLANTING AREAS SHALL RECEIVE ADEQUATE FERTILIZATION WITH "EEEESY GROW" 1-YEAR (1 OZ.) FERTILIZER PACKETS OR EQUIVALENT, OR AGREED UPON GRANULAR FERTILIZER AS DISCUSSED WITH LANDSCAPE ARCHITECT.

APPLICATION RATES SHALL BE AS FOLLOWS:

1-1/2" TO 3" CAL .: 2 PACKETS, ONE EACH SIDE GREATER THAN 3": 1 PACKET PER 1" CAL. (I.E. 4"=4 PACKETS)

SHRUBS 1 PACKET FOR EVERY 12" HEIGHT OR SPREAD. (SPACE EVENLY IF 2 OR MORE PACKETS IS REQUIRED.)

CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTS DURING THE DURATION OF THE INSTALLATION.

PERFORM ALL WORK NECESSARY FOR INSTALLING SOD AND/OR SEED AS SHOWN ON THE DRAWINGS OR INFERABLE THEREFROM AND/OR AS SPECIFIED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IMMEDIATELY PRIOR TO SEEDING, THE GROUND SHALL BE MECHANICALLY SCARIFIED AND RAKED TO A FRIABLE FINE TEXTURE. LAWN AREAS SHALL BE SEEDED WITH A MECHANICAL SPREADER AT THE RATE OF 5#/100SF. AFTER SEEDING, ALL AREAS SHALL BE RAKED AND ROLLED TO SATISFACTORILY COVER SEED, AND THEN THOROUGHLY WATERED, AND COVERED WITH TREATED SHREDDED PAPER MULCH OR STRAW MULCH. THE METHOD OF SEEDING MAY BE VARIED BY THE CONTRACTOR BY HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH UNIFORM TURF. INSTALL EROSION CONTROL FABRIC ON EMBANKMENTS THAT EXCEED 1:3 SLOPE.

SEED SHALL BE TRUE TO SPECIE AS CALLED FOR ON THE SEEDING PLAN. ALL SEED SHALL BE DELIVERED TO THE JOB SITE IN PACKS PLAINLY MARKED AND CERTIFIED AS TO CONTENT.

SOD SHALL BE PLACED WHEN THE GROUND IS IN WORKABLE CONDITION AND TEMPERATURES ARE LESS THAN 90 DEGREES FAHRENHEIT.

LANDSCAPE CONTRACTOR SHALL WATER SOD IMMEDIATELY AFTER INSTALLATION TO PREVENT EXCESSIVE DRYING DURING PROGRESS OF THE WORK. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET.

SELECTIVELY PRUNE CROWNS, RETAIN NATURAL SHAPE OF PLANT

3-GALVANIZED #2 WIRE GUYS, SPACED EQUIDISTANTLY AT **45 DEGREE ANGLE TO FINISH** GRADE W/ MULTITRUNK PLANTS, ATTACH GUYS TO VARIOUS LIMBS, PLACE REINFORCED RUBBER HOSE ON WIRE AT ALL POINTS OF TREE CONTACT

- 3" (MIN) SHREDDED BARK MULCH

MINIMUM 2"x2"x3'-6" TREATED WOOD STAKE, POSITION TO SECURELY STABILIZE TREE TOP OF STAKES TO BE PAINTED WITH ORANGE FLUORESCENT PAINT OR EQUIVALENT (*ALTERNATE LINE ITEM QUOTE)

- 4" TALL 36" DIA EARTH SAUCER AROUND TREE
- REMOVE BURLAP FROM TOP OF ROOT BALL
- SCARIFY SIDES BEFORE PLANTING

TOPSOIL MIXTURE TAMPED FIRM TO PREVENT SETTLEMENT UNDISTURBED SOIL DO NOT COMPACT

DATE: 06-22-2016



PARAGON PLACE- SHEET L1.0 FEBRUARY 02, 2016

Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
3	Acer saccharum "Bonfire"	Bonfire sugar Maple	2-1/2"	B&B	
2	Celtis occidentalis "Chicagoland"	Chicagoland Hackberry	2-1/2"	B&B	
4	Ginkgo biloba "Autumn gold"	Autumn Gold Ginkgo	2-1/2"	B&B	
0	Gymnocladus dioica	Kentucy Coffeetree	2-1/2"	B&B	Noted on sheet L1.5
5	Larix	Amreican Larch	10-12'	B&B	
56	Plantanus x acerifolia	Ovation Planetree	2-1/2"	B&B	
4	Taxodium distichum	Bald Cypress	8-10'	B&B	
1	Nyssa sylvatica	Black tupelo	2-1/2"	B&B	Noted on sheet L1.4
11	Picea abies	Norway Spruce	6-7'	B&B	
14	Picea pungens densata	Black Hills Spruce	5-6'	B&B	
3	Pinus sylvestris	Scot Pine	6-7'	B&B	

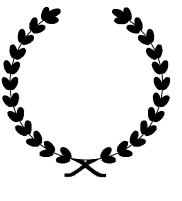
PARAGON PLACE- SHEET L1.1 FEBRUARY 02, 2016

2 Acer psinsutarium "Bladagoot" Bloodgood Japan ese Maple 6-7" 886 Multi-trunk 2 Acer psinsutarium "Bloodgood" Bloodgood Japan ese Maple 6-7" 886 Multi-trunk 2 Carpinus caroliniana Blue Beech 6-7" 886 Multi-trunk 2 Carbacys arus gall incrmis Thomless Cocksput Newthorn 2-12" 886 Multi-trunk 3 Cratacys arus gall incrmis Thomless Cocksput Newthorn 2-12" 886 Multi-trunk 3 Fagus Sylvatica Red Obelick Red Obelick Reech 2-12" 88.6 Multi-trunk 1 Catacyse Sprenger' Professor Sprenger Carb 5-6" 88.8 Multi-trunk 1 Malues 'Professor Sprenger' Professor Sprenger Carb 5-6" 88.8 Multi-trunk 2 Magonlas Ann' An Megonla 5-6" 88.8 Multi-trunk 1 Malues 'Professor Sprenger Carb S-5" 88.8 Multi-trunk 5-6" 88.8 1 Malues 'Rod Proved' Fodd Hewel Carb 5-6" 88.8					1	
2 Accr pamatum Bioosgood" Biodgeod Igance: Napic 6-7" 88.8 Multi-trunk 20 Betula nigar Horitage" Heritage Rver Birch 10:12 88.8 Multi-trunk 2 Carprines carolinitana Blue Beech 6-7" 88.8 Multi-trunk 1 Catalogus rus gall incrmis Thoritess cockpart Hawthern 6-7" 88.8 Multi-trunk 1 Catalogus rus gall incrmis Thoritess cockpart Hawthern 6-7" 88.8 Multi-trunk 1 Fague sylvatia Red Coblisk Red O Bilsk Beech 2-1/2" 88.8 Multi-trunk 2 Magnolia X-han' Ann Magnolia 6-7" 88.8 Multi-trunk 1 Malue X-Inné The Starting Starting 7-1/2" 88.8 Multi-trunk 2 Magnolia X-han' Ann Magnolia X-han' 5-6" 88.8 Multi-trunk 1 Malue X-Inné Red Jewel Y Red Jewel Y 86.8 Multi-trunk 1 Malue X-Inné Set Jewel Y Set Jewel Y 88.8 Multi-trunk		Botanical Name	Common Name	Size	Root Cnd	Comments
20 Bertulanigar Mentage/ Heritige RuerBinch 10:27 28.88 Multi-trunk 1 Cladastris lutes Yellowwood 2:127 88.8 Multi-trunk 3 Cratecges crus gell inermis Thomless Codespur Juny Work 88.8 Multi-trunk 3 Fagus sylvatics iffee Obelisk' Ref Obelisk Beech 2:127 88.8 Multi-trunk 3 Fagus sylvatics iffee Obelisk' Ref Obelisk Beech 2:127 88.8 Multi-trunk 1 Lindeerdon Micolodies Seven Son Flower Tree 7:87 88.8 Multi-trunk 1 Malux X Ref level (2nd 1 10.7 Ann Magnolia 5:67 88.8 Multi-trunk 1 Malux X Ref level (2nd SeVel 88.8 Multi-trunk 1 1 Malux X Ref level (2nd SeVel Sevel (2nd Seve		•	•	-		
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630 Euonymus fortunei coloratus Wintercreeper 3" cont.						
			-	-		
	40	Sapphire Blue Oats Grass	Grass	1 gal	cont.	
60 River Mist Nothern Sea Oats Grass 1 gal cont.				1		
72 Bronze Veil Deschampsia Grass 1 gal cont.		· · · · ·				
620 Carex Sedges 1 gal cont.						
36 Ornamentl Grasses Grass 1 gal cont. 239 Comprise Big Loof Desempired Big Loof Comprise 4.1/2// cont.						
228Geranium 'Big Leaf'Perennial Big Leaf Geranium4-1/2"cont.300SedumAssorted Groundcover Sedum4-1/2"cont.						
300 Sedum Assorted Groundcover Sedum 4-1/2" cont.	500	Seuum	Assorted droundcover sedum	4-1/2 ^{°°}	L CONT.	

Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
4	Acer psuedo	Fullmoon Maple	6-7'	B&B	
15	Betula nigra 'Heritage'	Heritage river Birch	10-12'	B&B	Multi-trunk
3	Cornus alternifolia	Pagoda Dogwood	6-7'	B&B	Multi-trunk
2	Chionanthus virginicus	White Fringe Tree	6-7'	B&B	Multi-trunk
1	Carpinus betulus "Fastigiata"	Columnare European Hornbeam	3"	B&B	Multi-trunk
1	Crataegus viridis "Winterking"	Winter King Hawthorn	2"	B&B	
3	Fagus sylvatica "Red Obelisk"	Red Obelisk Beech Tree	2"	B&B	
3	Quercus robur 'Fastigiata'	Skyrocket Oak	2-1/2"	B&B	
5	Picea Glauca densata	lack Hills Spruce	6-7'	B&B	
1	Pinus sylvetris	Scot Pine	6-7'	B&B	
1	Magnolia x "Leonard Messel"	Leonard Messel Magnolia	7-8'	B&B	Multi-trunk
15	Amelanchier stolonifera	Running Serviceberry	!5-18"	cont.	
5	Cornus sericea "Cardinal"	Cardinal Redtwig Dogwood	3-4'	cont.	
9	Hydrangea x 'Limelight'	Limelight Hydrangea	18"	3 gal	"Shiner"
8	Rhus aromatica 'Gro-Low'	Gro-low sumac	18"	3 gal	
15	Rosa rugosa 'Hansa'	Hansa Shrub Rose	18"	3 gal	
5	Rosa x 'Purple Pavement'	Purple Pavement shrub Rose	18"	3 gal	
3	Syringa x 'Miss Kim'	Miss Kim Lilac	18"	3 gal	
3	Syringa patula 'Little Boy blue'	Little Boy Blue Lilac	24"	3 gal	
1	Viburnum x 'Juddii'	Judd Viburnum	30-36"	B&B	
4	Viburnum lantana 'Mohican'	Mohawk viburnum	3-4'	cont.	
1	Viburnum carlesii	Korean spice Viburnum	30-36"	B&B	
6	Viburnum trilobum 'Hahs'	Hah's Viburnum	3-4'	cont.	
9	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	3-4'	cont.	
7	Weigela florida 'Wine and Roses'	Wine and Roses Weigela	24-30"	cont.	
54	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	cont.	
9	Illex x 'Berrimagic'	Berrymagic Winterberry	18"	cont.	
14	Juniperus chinensis Pfitzeriana	Pfitzer Juniper	24-30"	cont.	
3	Juniperus chinensis 'Kallay's	Kallays Compact Juniper	24"	cont.	
9	Juniperus x 'Sea Green'	Sea Green Juniper	24-30"	cont.	
12	Mahonia aquifolium	Oregongrape Holly	18-24"	cont.	Compact variety
10	Taxus x 'Tauntonii'	Taunton yew	24-30"	cont.	
2	Picea x 'Birds Nest'	Birds Nest Spruce	18"	cont.	
3	Pinus mugho 'Enci'	Enci Mugo Pine	18"	cont.	
2	Pinus x Globosum	Globe White Pine	24"	cont.	
1	Pinus x 'Mops'	Mop's Pine	24"	cont.	
594	Euonymus fortunei var.coloratus	Purpleleaf Wintercreeper	3"	pot	
30	Aster	Fall Aster	1 gal	pot	
30	Hemerocallis	Tetraploid Daylily	1 gal	pot	
132	Hosta	Hosta	1gal	pot	
60	Sedum	Sedum	1 gal	pot	
582	Ornamental Grasses	Grasses	1 gal	pot	

	PARAGO	N PLACE- SHEET	L1.3	FEBR	UARY 02, 2016
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
3	Acer griseum	Paperbark Maple	2-1/2"	B&B	
1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6-7'	B&B	
3	Amelanchier x 'Cumulus'	Cumulus' Serviceberry	8-9'	B&B	Multi-trunk
15	Betula nigra 'Heritage'	Heritage' River Birch	10-12'	B&B	
3	Cornus mas 'Golden Glory'	Golden Glory' Cornealiancherry	7-8'	B&B	Multi-trunk
2	Crataegus crus galli inermis	Thornless Hawthorn	5-6'	B&B	Multi-trunk
1	Magnolia x "Ann"	Ann Magnolia	5-6'	B&B	
3	Ostrya virginiana	Ironwood	2-1/2"	B&B	
1	Syringa reticulata	Japanese Tree Lilac	2"	B&B	
1	Picea abies	Norway Spruce	10'	B&B	
4	Pinus sylvestris	Scot Pine	6-7'	B&B	
		Cool Splash Dwarfbush			
15	Diervilla sessilifolia 'Coolsplash'	Honeysuckle	18"	cont.	
15	Diervilla sessilifolia 'Butterfly'	Butterfly' Dwfbush Honeysuckle	18"	cont.	
6	Hydrangea quecifolia 'Sikes'	Sikes' Hydrangea	18"	cont.	
7	Kerria japonica 'Geisha'	Geisha' Kerria	18"	cont.	
9	Rhus aromatica "Gro-low"	Gro-Low Fragrant Sumac	18"	cont.	
5	Rosa rugosa " Purple Pavement'	Purple Pavement' Shrub Rose	18"	cont.	
1	Viburnum x "Juddii"	Judd Viburnum	24-30"	B&B	
1	Viburnum carlesii	Koreanspice Viburnum	24-30"	B&B	
	Viburnum dentatum "Blue	•			
3	Muffin"	Blue Muffin Viburnum	30-36"	B&B	
	Viburnum dentatum "Chicago				
10	Lustre"	Chicago Lustre Viburnum	3-4"	cont.	
5	Viburnum prunifolium	Blackhaw Viburnum	5-6'	B&B	
	Physocarpus opulifolius "Summer				
6	Wine"	Summer Wine Ninebark	4-Mar	cont.	
42	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	B&B	
	Juniperus chinensis Pfitzeriana				
8	"Kallays Compact"	Kallays Compact Pfitzer Juniper	24-30"	cont.	
10	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.	
5	Juniperus sargentii var. glauca	Blue Sargent Juniper	24-30"	cont.	
9	Juniperus x "Grey Owl"	Grey Owl Juniper	24-30"	cont.	
2	Picea omorika 'Nana'	Dwarf Serbian spruce	18"	cont.	
10	Taxus x 'Tautonii'	Tuaton Yew	24-30"	B&B	
2944	Pachysandra terminalis	Pachysandra	plug	32/flat	
240	Geranium	Perennial Geranium	1 gal	cont.	
360	Sedum	Sedum	1 gal	cont.	
288	Ornamental Grasses	Grasses	1 gal	cont.	
420	Carex	Sedges	1 gal	cont.	

PARAGON PLACE- SHEET L1.2 FEBRUARY 02, 2016



GARLAND ALLIANCE P.O. BOX 510125 MILWAUKEE, WI 53203

MR. TIM R.S. GARLAND, RLA MASTER LANDSCAPE ARCHITECT

DATE: 06-22-2016

PARAGON PLACE- SHEET L1.4 FEBRUARY 02, 2016						
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments	
2	Amelanchier x 'Princess diana'	Princess Diana Serviceberry	8-Jul	B&B	Multi-trunk	
15	Betula nigra 'Heritage'	Heritage River Birch	8-10'	B&B	Multi-trunk	
3	Cercis canadensis	Eastern Redbud	6-7'	B&B	Multi-trunk	
3	Cotinus x 'Young Lady'	Young lady Smokebush	6-7'	B&B		
2	Cornus alternifolia	Pagoda Dogwood	7-8'	B&B	Multi-trunk	
1	Hamamelis vernalis 'Diana'	Diana Witchhazel	5-6'	B&B		
1	Heptacodium miconiodes	Seven Son flower	6-7'	B&B		
1	Magnolia stellata	Star Magnolia	5-6'	B&B	Multi-trunk	
3	Malus x 'Tina'	Tina flowering Crab	5-6'	B&B	Multi-trunk	
1	Nyssa sylvatica	Black Tupelo	2-1/2"	B&B		
1	Syringa reticulata	Japanese Tree Lilac	6-7'	B&B	Multi-trunk	
2	Picea omorika 'Compactum'	Dwarf Serbian Spruce	18"	cont.		
۲	Pinus flexis 'Vanderwolf's	Dwarr Serbian Sprace				
2	Pyramid'	Vanderwolf's Pine	6-7'	B&B		
2 8	Hydrangea 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	18"	cont.	<u> </u>	
12	Hydrangea quercifolia 'Sikes'	Sikes Hydrangea	18"	3 gal.		
12	Illex 'shamrock'	Male Holly	18"	3 gal		
6	Illex x 'Afterglow'	Afterglow Holly	18"	3 gal		
5	Itea 'Merlot'	Merlot Itea	24"	3 gal		
3	Syringa patula 'Palabin'	Dwarf Korean Lilac	24	3 gal		
<u> </u>	Rosa rugosa 'Hansa'	Hansa Shrub Rose	18"			
9 7	Rosa rugosa 'Purple Pavement'		18"	cont.		
-		Purple Pavement Shrub Rose	18	cont.		
22	Rhus aromatica 'Gro-Low'	Gro Low Sumac	18	3 gal		
2	Spiraea bumalda 'Anthony	A ath any Matan Caina a	1.0!!			
3	Waterer'	Anthony Water Spirea	18"	cont.		
4	Viburnum prunifolium	Blackhaw Viburnum	5-6'	B&B		
7	Viburnum trilobum 'Red Wing'	Red Wing Viburnum	24-30"	3 gal		
7	Weigela florida 'Fine Wine'	Fine Wine Weigela	24-30"	cont.		
26	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	B&B		
7	Juniperus x 'Grey Owl'	Grey Owl Juniper	24-30"	cont.		
3	Juniperus x 'Sea Green'	Sea Green Juniper	24-30"	cont.		
5	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.		
7	Juniperus chinensis 'Gold Tip'	Gold Tip Juniper	24-30"	cont.		
-						
9	Mahonia aquifolium 'Compactum'	Dwarf Oregon Grape Holly	24"	cont.		
2	Picea omorika 'Nana'	Dwarf Serbian spruce	18"	cont.		
3	Rhododendron x PJM	PJM Rhododendron	18"	B&B		
10	Taxus x 'Tautonii'	Tauton Yew	24-30"	B&B		
1	Tsuga canadensis 'sargentii'	Sargent Hemlock	24-30"	cont.		
1664	Pachysandra terminalis	Pachysandra	plug	32/flat		
408	Lamiastrum 'Herman's Pride'	Archangel	4-1/2"	cont.		
30	Sedum 'Frosty Morn'	Frosty Morn Sedum	1 gal	cont.		
120	Sedum 'Autumn fire'	Autumn Fire Sedum	4-1/2"	cont.		
200	Sedum 'Angelina'	Angelina Sedum	4-1/2"	cont.		
144	Hakonechloa 'Aurorea'	All Gold Hakonechloa Grass	4-1/2"	cont.		
170	Ornamental Grasses	Grasses	1 gal	cont.		

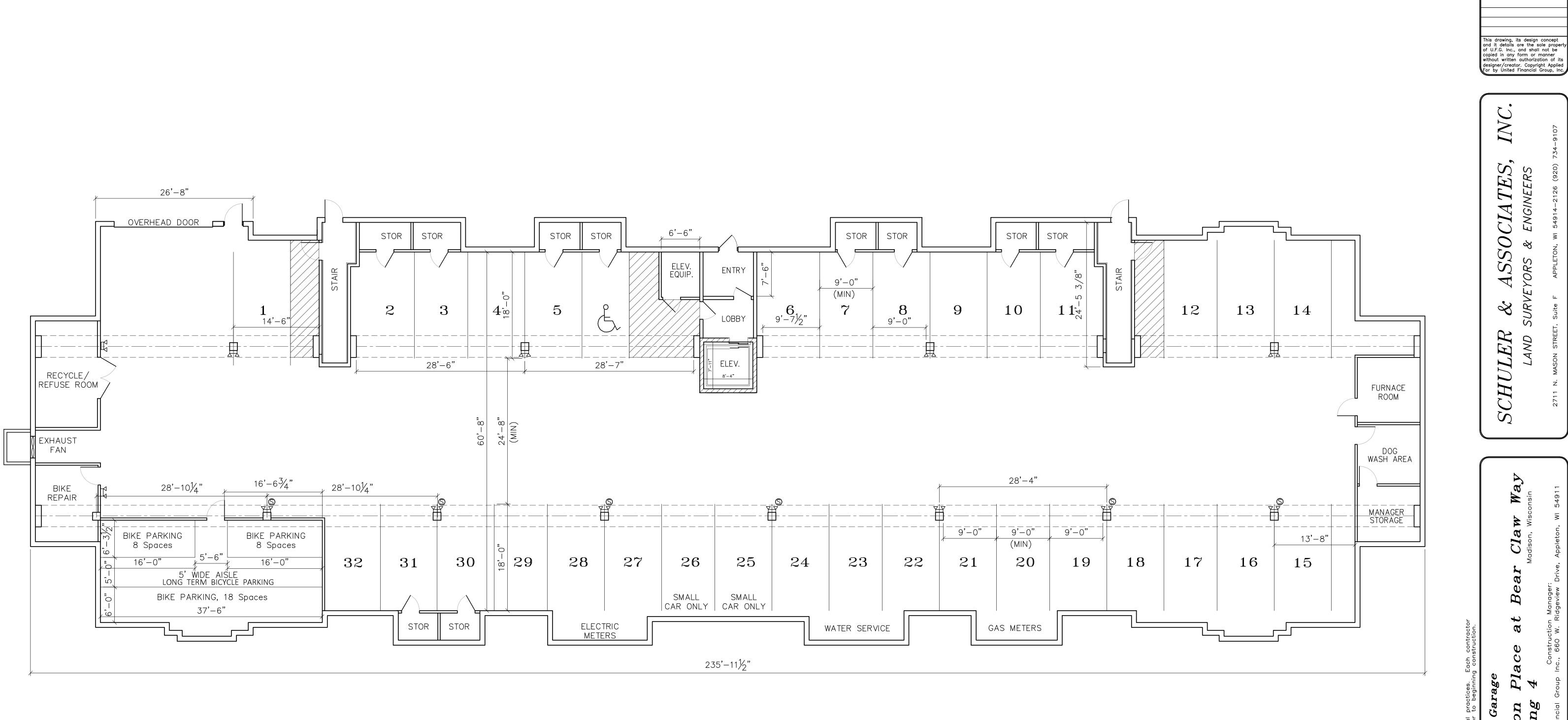
PARAGON PLACE- SHEET L1.5 JUNE 9, 2016

Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
1	Acer palmatum 'Emperor One'	Emperor One' Japanese Maple	6-7'	B&B	
1	Acer platanoides 'Royal Red'	Royal Red Maple	2-1/2"	B&B	
3	Betula nigra 'Heritage'	Heritage' River Birch	10-12'	B&B	
1	Aesculus flava	Yellow Buckeye	2-1/2"	B&B	
1	Amelanchier x "Cumulus"	Cumulus Serviceberry	8-10'	B&B	Multi-trunk
1	Carpinus betulus 'Fastigiata'	Columnare European Hornbeam	2"	B&B	
3	Cornus mas 'Golden Glory'	Golden Glory' Cornealiancherry	7-Jun	B&B	Multi-trunk
3	Gymnocladus dioica	Kentucky Coffeetree	2-1/2"	B&B	
2	Cotinus coggygria 'Royal Purple'	Royal Purple' smokebush	6-7'	B&B	Multi-trunk
1	Heptacodium miconiodes	Seven Son flower	6-7'	B&B	Multi-trunk
2	Fagus fastigiate 'Red Obelisk'	Red Obelisk' Beech	10'	B&B	
1	Magnolia stellata	Star Magnolia	5-6'	B&B	
2	Malus x "Red Jewel"	Red Jewel Crab	6-7'	B&B	Multi-trunk
1	Picea omorika	Serbian spruce	7-8'	B&B	
1	Picea pungens glauca	Blue Spruce	6-7'	B&B	
14	Diervilla sessilifolia "Butterfly'	Butterfly' Dwfbush Honeysuckle	18"	cont.	
38	Buxus x 'Green Velvet'	Green Velvet' Boxwood	18"	B&B	
7	Juniperus virginiana 'Grey Owl'	Grey Owl' Juniper	24-30"	cont.	
	Juniperus chinensis pfitzeriana				
7	'Sea Green'	Sea Green Juniper	24"	cont.	
16	Juniperus sargentii glauca	Blue Sargent Juniper	24-30"	cont.	
10	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.	
1	Picea nana 'Pumilo'	Pumilo' Dwarf Spruce	18"	cont.	
1	Picea omorika	Serbian Spruce	6-7'	B&B	
5	Taxus x 'Tautonii'	Tauton Yew	24-30"	cont.	
	Euoynumus fortuneii var.	Purpleleaf Wintercreeper			
450	coloratus	Euonymus	3"	cont.	
168	Sedum	Sedum	1 gal	cont.	
324	Ornamental Grasses	Grasses	1 gal	cont.	
32	Aster	Fall Aster	1 gal	cont.	
42	Hemerocallis	Tetraploid Daylily	1 gal	cont.	

PARAGON PLACE- SHEET L1.6 FEBRUARY 02, 2016

Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
3	Betula nigra 'Heritage'	Heritage' River Birch	10-12'	B&B	
1	Larix kamperifera	Japanese Larch	9-10'	B&B	
3	Larix decidua	European Larch	9-10'	B&B	
6	Taxodium distichum	Baldcypress	10-12'	B&B	
2	Salix x 'Niobe''	Niobe' Willow	2-1/2"	B&B	
9	Aronia arbutifolia	Red Chokeberry	3-4'	cont.	"Brilliantissima"
18	Conus x 'Artic Fire'	Artic Fire' Dogwood	3-4'	cont.	
5	Salix purpera 'Nana'	Dwarf Blue Artic Willow	5-6'	cont.	
310	Ornamental Grasses	Grasses	1 gal	cont.	

<image/> <section-header></section-header>
PARAGON PLACE
BEAR CLAW AD CTV OF MADISON, WI BEORNIE Appleton, WI 5491 3-25-16 BEAR CITY COMMENTS 3-25-16 BHASE 1 PLANS
2-02-16PHASE 1 PLANS12-21-15PER CITY COMMENTS5-26-15PER UDC COMMENT4-16-15INITIAL SUBMITTALDATE:
JUNE 22, 2016 JOB NUMBER: 12041
DESCRIPTION: LANDSCAPE PLANT LIST
SHEET L1.8



Parking Garage

Parking

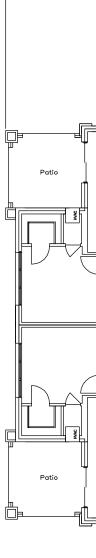
Paragon Building

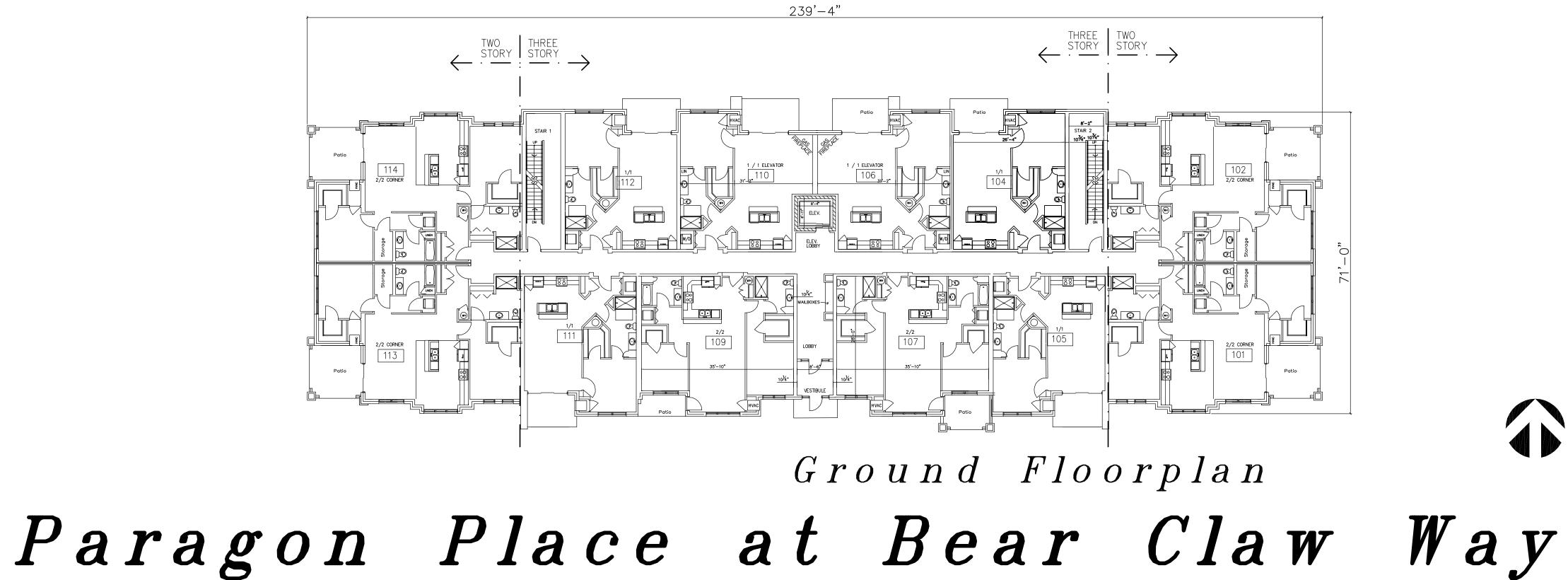
DRAWN crs

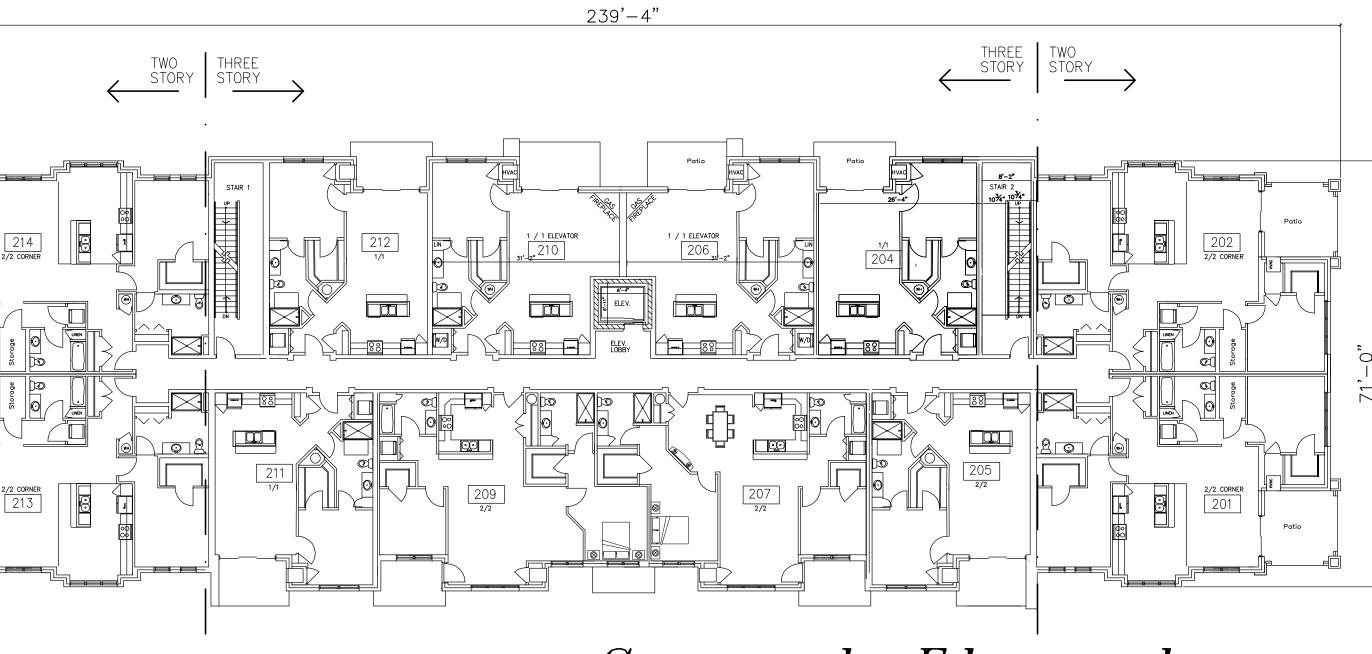
DATE 1-5-16 SCALE 1/8"=1'-0" JOB NO. 4192 SHEET

4

REVISIONS



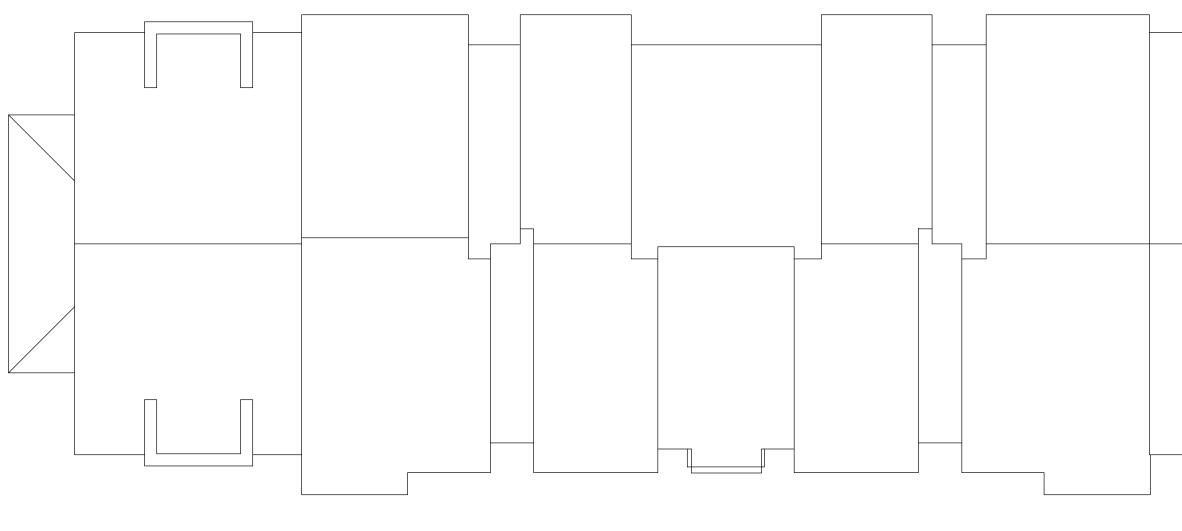




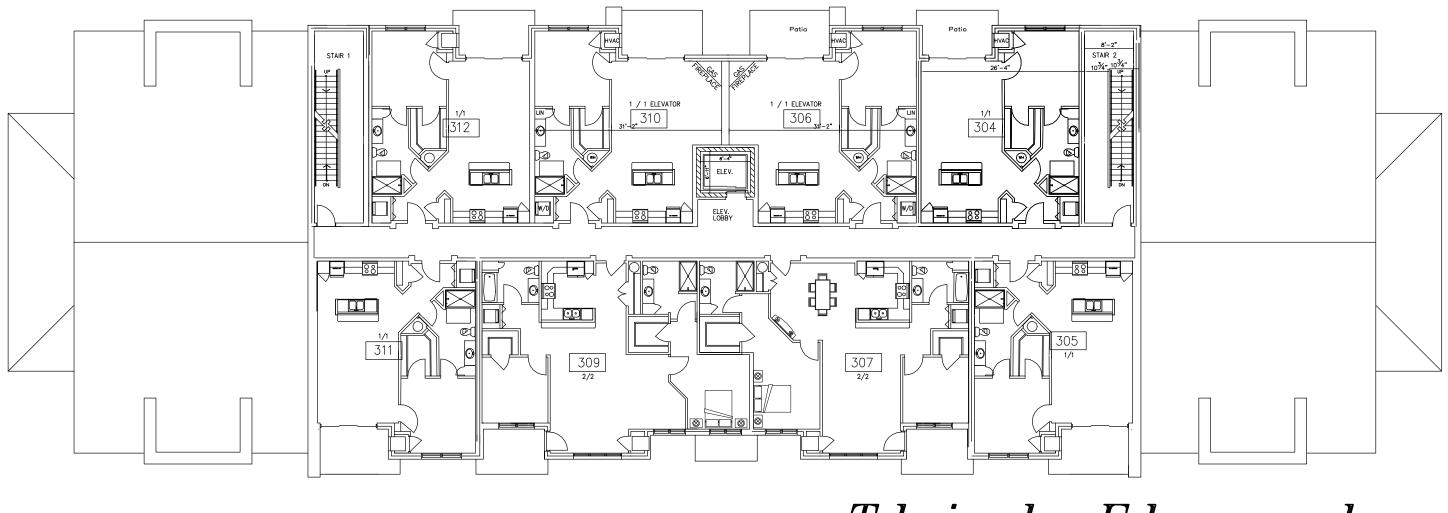
Second Floorplan

9604 WILRICH ST

BUILDING #4 FLOORPLANS Madison, Wisconsin Jan 5 2016

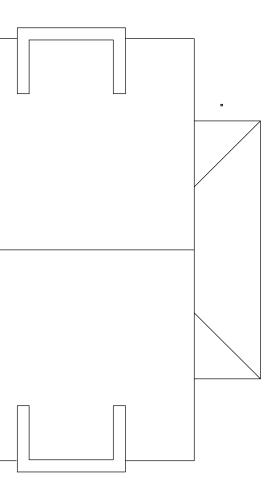


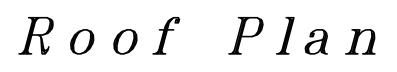




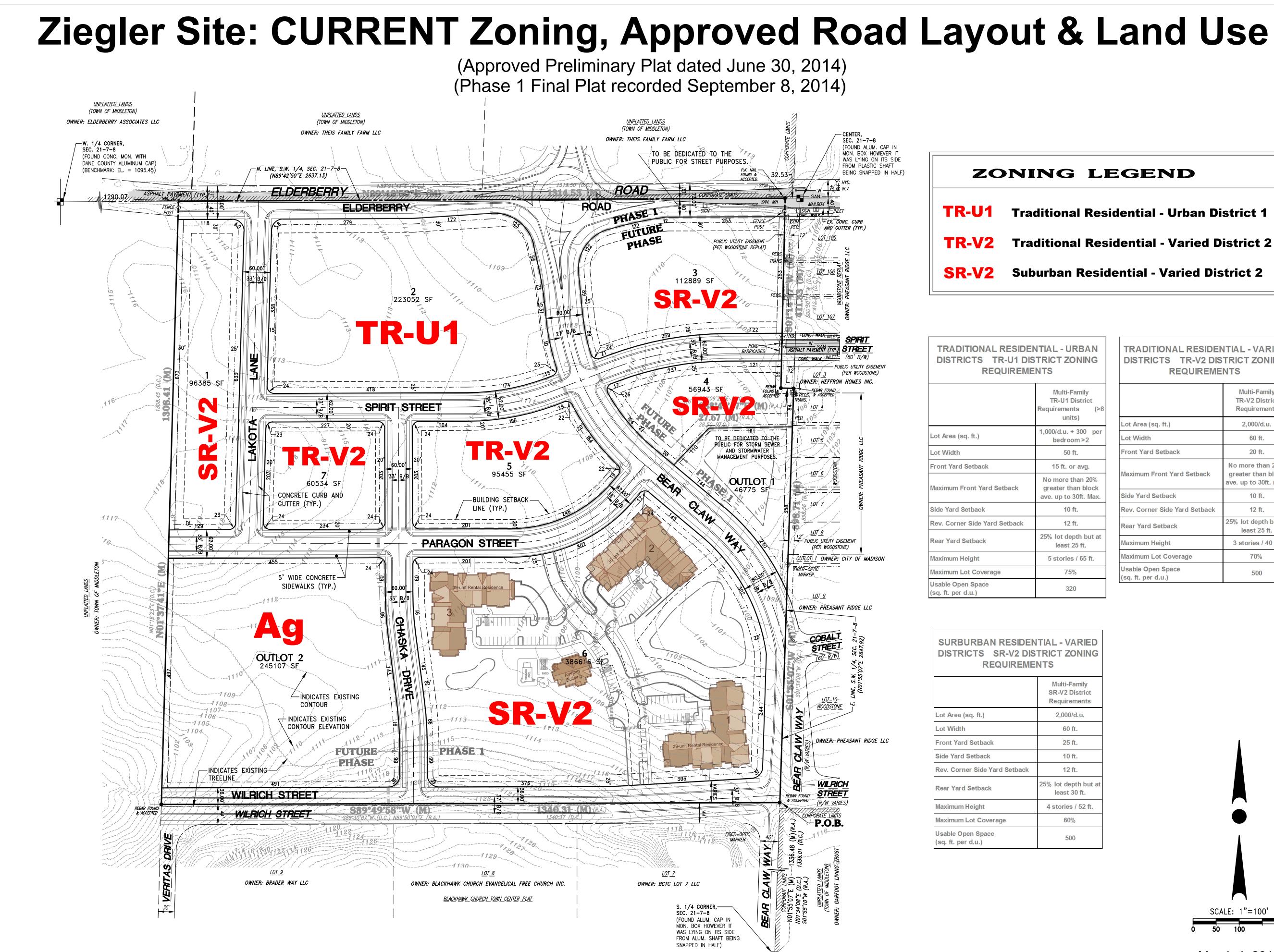
Third Floorplan

Paragon Place at Bear Claw Way **BUILDING #4 FLOORPLANS**





Madison, Wisconsin Jan 5 2016



ZONING LEGEND

- **Traditional Residential Urban District 1**
- **Traditional Residential Varied District 2**

Suburban Residential - Varied District 2

ΓΙΑL - URBAN RICT ZONING TS
Multi-Family TR-U1 District Requirements (>8 units)
1,000/d.u. + 300 per bedroom >2
50 ft.
15 ft. or avg.
No more than 20% greater than block ave. up to 30ft. Max.
10 ft.
12 ft.
25% lot depth but at least 25 ft.
5 stories / 65 ft.
75%
320

TAL - VARIED RICT ZONING TS
Multi-Family SR-V2 District Requirements
2,000/d.u.
60 ft.
25 ft.
10 ft.
12 ft.
25% lot depth but at least 30 ft.
4 stories / 52 ft.
60%
500

	ISTRICTS TR-V2 DISTRICT ZONING REQUIREMENTS		
	Multi-Family TR-V2 District Requirements		
Lot Area (sq. ft.)	2,000/d.u.		
Lot Width	60 ft.		
Front Yard Setback	20 ft.		

Maximum Front Yard Setback

Rev. Corner Side Yard Setback

Side Yard Setback

Rear Yard Setback

Maximum Height

Usable Open Space

(sq. ft. per d.u.)

aximum Lot Coverage

No more than 20%

greater than block

ave. up to 30ft. max

10 ft.

12 ft.

5% lot depth but a

least 25 ft.

3 stories / 40 ft.

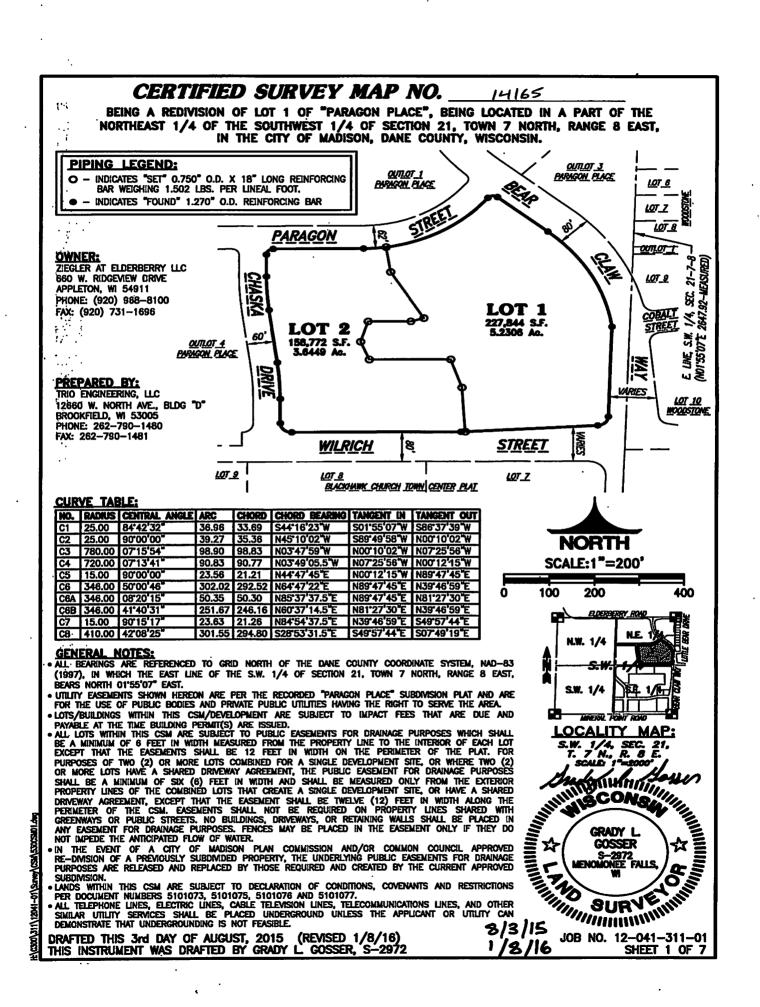
70%

500

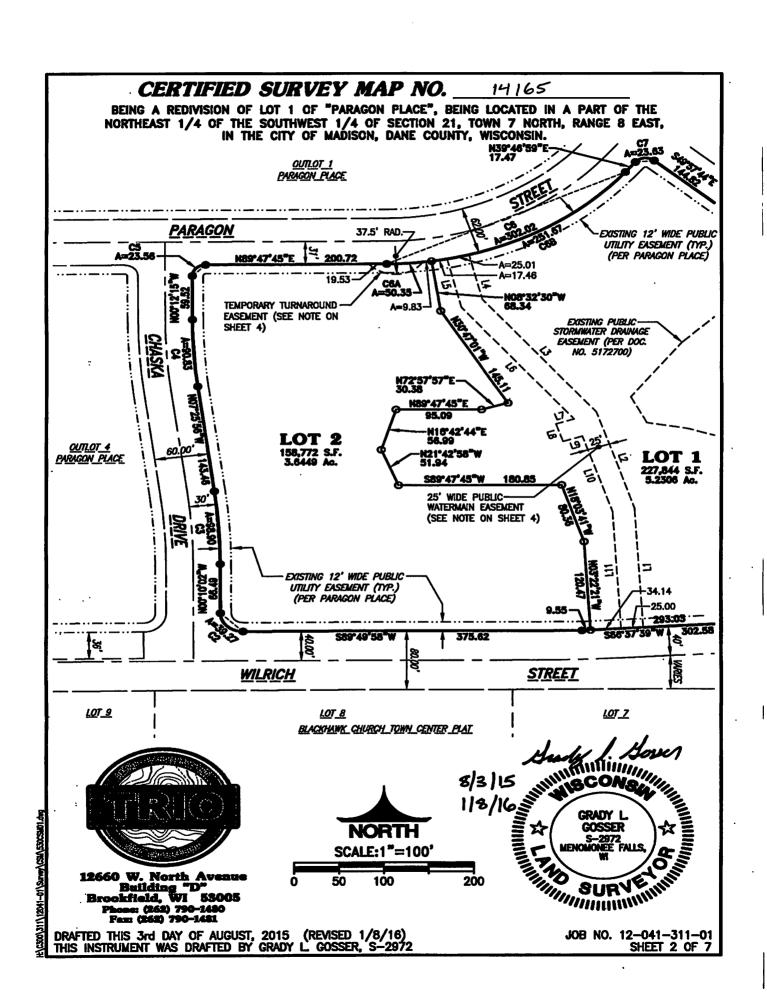
TRADITIONAL RESIDENTIAL - VARIED

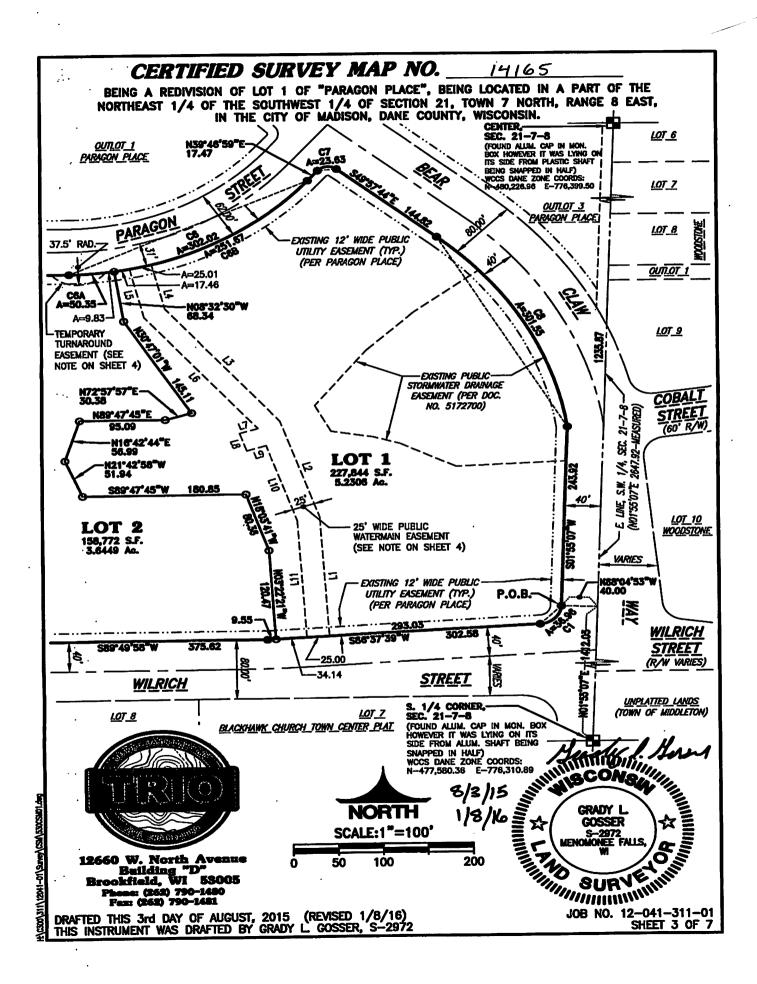
SCALE: 1"=100'		
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March 4, 2019		

GRADY L GOSSER S-2972 MENOMONEE FALLS, WI SURVE		
AND SURVEY ITO SESON - LAND SURVEY, ITO OFFICIENCIAL OF		
PROJECT: PROJECT: PARAGON PLACE ELDERBERRY NEIGHBORHOOD CITY OF MADISON, WI CITY OF MADISON, WI BY: United Financial Group, Inc. 660 W. Ridgeview Drive Appleton, WI 54911		
REVISION HISTORYDATEDESCRIPTION06/30/14REV. PER COMMENTS03/11/14REV. PER COMMENTS02/11/14REV. PER COMMENTS01/22/14REV. PER COMMENTS03/06/13INTIAL SUBMITTAL		
DATE: MARCH 6, 2013		
JOB NUMBER: 12-041-311-01		
DESCRIPTION: PRELIMINARY PLAT		
SHEET 1 OF 1		



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BEING A REDIVISION OF LOT 1 OF "PARAGON PLACE", BEING LOCATED IN A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 8 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PUBLIC WATERMAIN EASEMENT NOTE:

Creation of Easement Rights: A permanent easement over, across and within the Easement Area is established, memorialized, reserved by, granted, conveyed, transferred and assigned to City of Madison for the uses and purposes hereinafter set forth. The Easement Area may be used by City of Madison for public underground water main purposes. City of Madison and its employees, agents and contractors shall have the right to construct, install, maintain, operate, repair, replace and reconstruct the Water Main Facilities within the Easement Area. City of Madison shall have the further right of ingress and egress to and from the Easement Area in order to exercise its rights and privileges hereunder, and to cut and remove trees, vegetation and other impediments in the Easement Area which may obstruct or interfere with the actual or potential use of the Easement Area for the foregoing purposes.

Property Restoration: City of Madison shall repair any damage caused to any pavement, concrete or turf located within the Easement Area and/or the Property as a result of the use of the Easement Area by or on behalf of the City of Madison as provided herein. Following completion of any excavation work, City of Madison shall promptly restore the area affected by the work to the original grade and surface condition including the repair or replacement of pavement, concrete and turf.

Limitations on Use of Easement Area: The owner of the Property shall have the right to use the Easement Area for any purpose, provided such use shall not interfere with the casement rights of the City of Madison hereunder. No buildings or structures or fences unrelated to the Water Main Facilities shall be constructed in and no grade change shall be made to the Easement Area without the written consent of the City of Madison's Water Utility General Manager.

Binding Effect: This Easement shall run with the land described herein and shall be binding upon the owners of the Property, and their successors in interest.

Release of Rights to Easements Created by Plat: Any release of rights that were placed on platted land which was required by a public body or which names a public body or public utility as grantee shall be released by recording a separate easement release document with the Dane County Register of Deeds in accordance with ss236.293.

TEMPORARY TURNAROUND EASEMENT NOTE:

Temporary Limited Easement benefitting the City of Madison for temporary turnaround improvement purposes. Said Easement shall expire upon the extension of Paragon Street to the west and the removal of the public temporary turnaround improvements within the easement area.

NOTE:

(CS00\J11\12041-01\Sump\CSM\530CSM0Ldmg

WATERMAIN EASEMENT

🛛 Line 🗸 🕴 BEARING 🔹 LENGTH 🖉

LINE TABLE

Grant of Easement to Wisconsin Power & Light Company recorded April 17, 1928 in Volume 82 of Misc., page 521 as Document No. 487866. (not exact as to location or dimension) (Describes right to erect and maintain line of poles along highway in the S.W. 1/4 of Section 21. There are NO line of poles along Elderberry Road adjacent to the Subject Property. Easement cannot be plotted).

L1	N3"27'32"₩	162.08'		
1.2	N18"18'32"W	137.75'		I I AH.
L3	N39'27'33 " W	198.28'		Harry Jorsen
L4	N13'30'14"W	61.77'		IN GCONS
15	S13'30'14"E	67.53'		STILL AND CONTINUES
L6	S39'27'33"E	195.96'		SRADY L
L7	\$71°41'28'W	21.16'		
· L8	S18"18'32"E	25.00'	and the second second second	
L9	N71'41'28"E	22.39'	12660 W. North Avenue	
L10	S18'18'32"E	108.01'	Building "D" Brookfield, WI 58005	CRADY L GOSSER S-2972 NENOMONEE FALLS, W SURVENIMUM
L11	S3"27'32"E	158.78'	Phone: (262) 790-1480 Fax: (262) 790-1481	
•				8/3/15
				1/8/16
	L1 L2 L3 L4 L5 L6 L7 L8 L9 L10	L2 N18'18'32'W L3 N39'27'33'W L4 N13'30'14'W L5 S13'30'14'E L6 S39'27'33'E L7 S71'41'28'W L8 S18'18'32'E L9 N71'41'28'E L10 S18'18'32'E	L1 N3'27'32"W 162.08' L2 N18'18'32"W 137.75' L3 N39'27'33"W 198.28' L4 N13'30'14"W 61.77' L5 S13'30'14"E 67.53' L6 S39'27'33"E 195.96' L7 S71'41'28"W 21.16' L8 S18'18'32"E 25.00' L9 N71'41'28"E 22.39' L10 S18'18'32"E 108.01'	L1 N3'27'32'W 162.08' L2 N18'18'32'W 137.75' L3 N39'27'33'W 198.28' L4 N13'30'14'W 61.77' L5 S13'30'14'E 67.53' L6 S39'27'33'E 195.96' L7 S71'41'28'W 21.16' L8 S18'18'32'E 25.00' L9 N71'41'28'E 22.39' L10 S18'18'32'E 108.01'

DRAFTED THIS 3rd DAY OF AUGUST, 2015 (REVISED 1/8/16) THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972

JOB NO. 12-041-311-01 SHEET 4 OF 7

BEING A REDIVISION OF LOT 1 OF "PARAGON PLACE", BEING LOCATED IN A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 8 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)

COUNTY OF WAUKESHA

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

)ss

)

That I have surveyed, divided and mapped a redivision of Lot 1 of "PARAGON PLACE" (A Subdivision Plat of Record), being located in a part of the Northeast 1/4 of the Southwest 1/4 of Section 21, Town 7 North, Range 8 East, in the City of Madison, Dane County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the South 1/4 corner of said Section 21; Thence North 01°55'07" East and along the East line of the said Southwest 1/4 Section, 1412.05 feet to a point; Thence North 88°04'53" West, 40.00 feet to the place of beginning of lands hereinafter described;

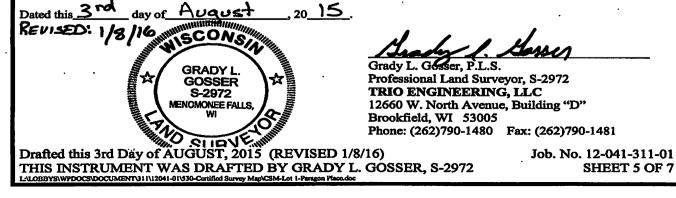
Thence Southwesterly 36.96 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 25.00 feet, whose central angle is 84°42'32", and whose chord bears South 44°16'23" West, 33.69 feet to a point of tangency; Thence South 86°37'39" West, 302.58 feet to a point; Thence South 89°49'58" West, 375.62 feet to a point of curvature: Thence Northwesterly 39.27 feet along the arc of a curve, whose center lies to the Northeast, whose radius is 25.00 feet, whose central angle is 90°00'00", and whose chord bears North 45°10'02" West, 35.36 feet to a point of tangency; Thence North 00°10'02" West, 66.49 feet to a point of curvature; Thence Northwesterly 98.90 feet along the arc of a curve, whose center lies to the Southwest, whose radius is 780.00 feet, whose central angle is 07°15'54", and whose chord bears North 03°47'59" West, 98.83 feet to a point of tangency; Thence North 07°25'56" West, 143.46 feet to a point of curvature; Thence Northwesterly 90.83 feet along the arc of a curve, whose center lies to the Northeast, whose radius is 720.00 feet, whose central angle is 07°13'41", and whose chord bears North 03°49'05.5" West, 90.77 feet to a point of tangency; Thence North 00°12'15" West, 59.52 feet to a point of curvature; Thence Northeasterly 23.56 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 15.00 feet, whose central angle is 90°00'00", and whose chord bears North 44°47'45" East, 21.21 feet to a point of tangency; Thence North 89°47'45" East, 200.72 feet to a point of curvature; Thence Northeasterly 302.02 feet along the arc of a curve, whose center lies to the Northwest, whose radius is 346.00 feet, whose central angle is 50°00'46", and whose chord bears North 64°47'22" East, 292.52 feet to a point of tangency; Thence North 39°46'59" East, 17.47 feet to a point of curvature; Thence Northeasterly 23.63 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 15.00 feet, whose central angle is 90°15'17", and whose chord bears North 84°54'37.5" East, 21.26 feet to a point of tangency; Thence South 49°57'44" East, 144.82 feet to a point of curvature; Thence Southeasterly 301.55 feet along the arc of a curve, whose center lies to the Southwest, whose radius is 410.00 feet, whose central angle is 42°08'25", and whose chord bears South 28°53'31.5" East, 294.80 feet to a point; Thence South 01°55'07" West being parallel to and at a right angle distance of 40.00 feet from the said East line of the said Southwest 1/4 Section. 243.92 feet to the point of beginning of this description.

Said Parcel contains 386,616 Square Feet (or 8.8755 Acres) of land, more or less.

That I have made such survey, land division and map by the direction of ZIEGLER AT ELDERBERRY LLC, owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Regulations of the City of Madison in surveying, dividing and mapping the same.



BEING A REDIVISION OF LOT 1 OF "PARAGON PLACE", BEING LOCATED IN A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 8 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE:

) 88

ZIEGLER AT ELDERBERRY LLC, a Wisconsin Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said Limited Liability Company has caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Regulations of the City of Madison, this 27^{H} day of ______, 20 <u>16</u>.

ZIEGLER AT ELDERBERRY LLC By: UNITED APARTMENTS, INC., MANAGER

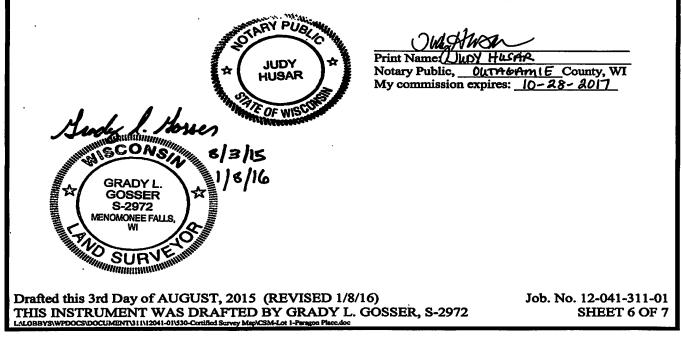
Marshal T. Gorwitz, President

cretary

STATE OF WISCONSIN

COUNTY OF OUTAGAMIE

Personally came before me this 27^{th} day of 20^{H} , 20^{H} , 20^{H} , Marshal T. Gorwitz and Shelley Austinson, The President and Secretary, respectively, of United Apartments, Inc. a Wisconsin Corporation and the Manager for and on behalf of Ziegler at Elderberry LLC, and acknowledged that they executed the foregoing instrument as such officers as the deed of said Limited Liability Company, by its authority.



BEING A REDIVISION OF LOT 1 OF "PARAGON PLACE", BEING LOCATED IN A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 8 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

CITY OF MADISON PLAN COMMISSION CERTIFICATE:

Approved for recording per the Secretary of the City of Madison Plan Commission on this 23^{11} day of 2016.

Natalie Erdman, Secretary City of Madison Plan Commission

CITY OF MADISON COMMON COUNCIL CERTIFICATE:

Resolved that this Certified Survey Map located in the City of Madison was hereby approved by Enactment Number $\underline{Re5 - 15 - 0080(0)}$, File ID Number $\underline{39879}$, adopted on the $\underline{6^{11}}$ day of $\underline{0crober}$.

Dated this _281 day of JANUARY 20 16 UND Maribeth L. Witzel-Behl, City Clerk City of Madison, Dane County, Wisconsin

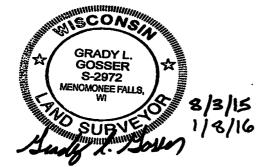
REGISTER OF DEEDS CERTIFICATE:

Received for recording this <u>5th</u> day of <u>February</u>, 2016, at <u>2:01</u> o'clock <u>P.</u> m., and recorded in Volume <u>96</u> of Certified Survey Maps on Pages <u>6-12</u>, as Document Number <u>5213596</u>.

Received 2/5/2016 @ 1:43pm.

Kristi Chlebouskis, be <u>Cherylann Meyer, Weperte</u> Kristi Chlebowski,

Dane County Register of Deeds

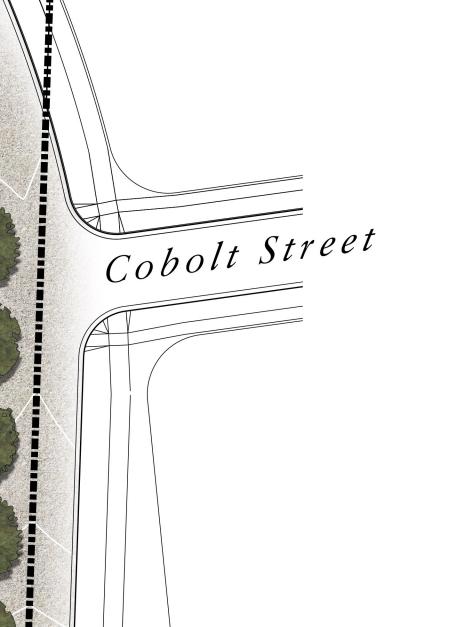


Drafted this 3rd Day of AUGUST, 2015 (REVISED 1/8/16) THIS INSTRUMENT WAS DRAFTED BY GRADY L. GOSSER, S-2972 LAUGBBY/SWPDOCS/DOCUMENT/311/12041-01/530-Certified Survey Mag/CSM-Lot 1-Perspect Place.doc Job. No. 12-041-311-01 SHEET 7 OF 7



Paragon Place at Bear Claw Way Proposed Building #4, Three Story, 45 Unit

DEVELOPMENT SUMMARY					
	PRODUCT DESCRIPTION	ZONING DISTRICT	PARCEL SIZE (ACRES)	# OF UNITS	DENSITY (UNITS / ACRE
Ι	3-STORY FLATS (Building #4 @ 32 Units)	SR - V2	8.87	145 (Approved)	16.35
Ι	3-STORY FLATS (Building #4 @ 45 Units)	SR - V2	8.87	158 (Proposed)	17.81





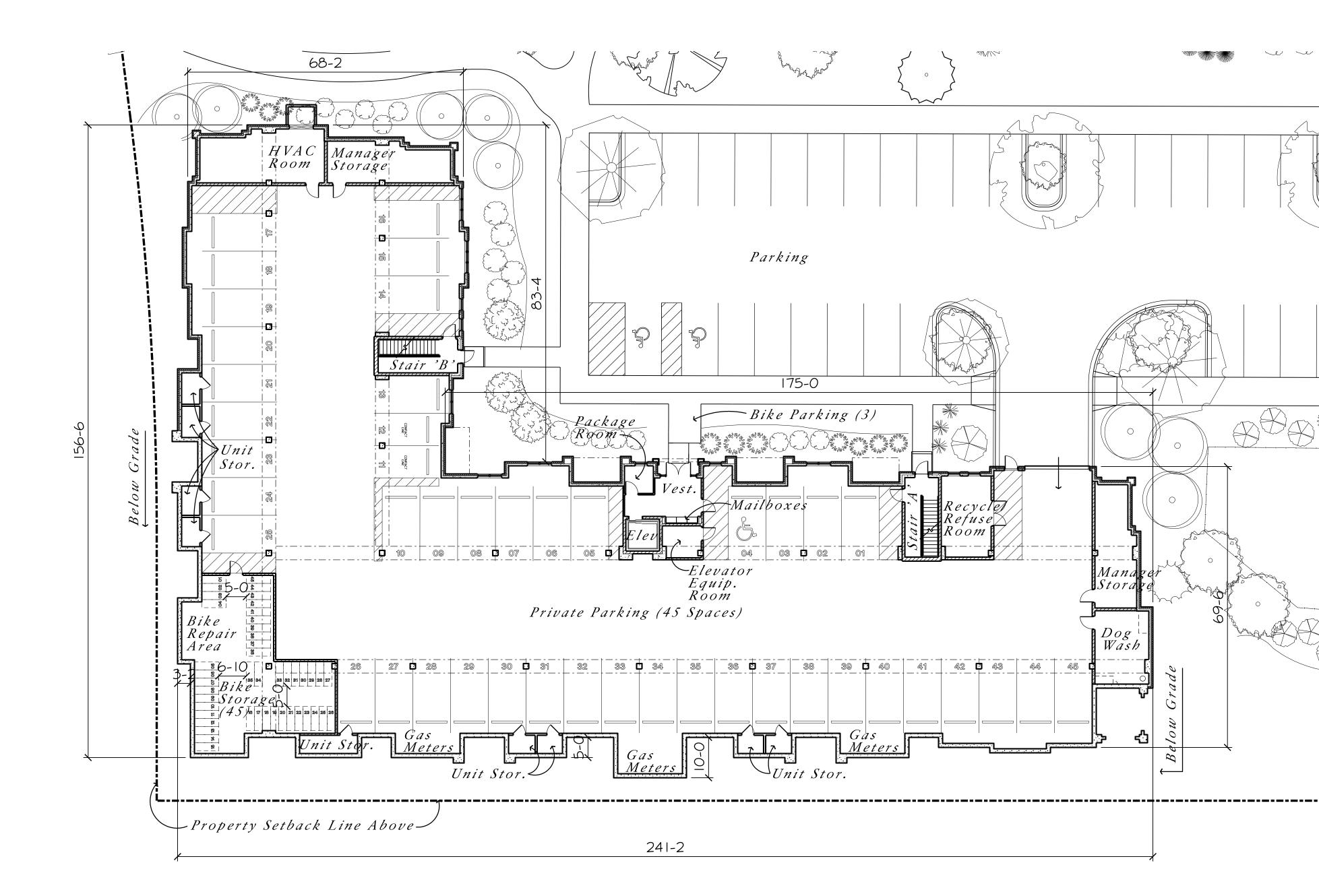
7 JUNE 2019

1:40

Madison, Wisconsin

SITE PLAN





Paragon Place at Bear Claw Way **Proposed Building #4, Three Story, 45 Unit** Madison, Wisconsin LOWER LEVEL FLOOR PLAN

BUILDING AREA

LOWER LEVEL FIRST FLOOR SECOND FLOOR THIRD FLOOR	21,533 SQ. FT. 21,533 SQ. FT. 21,478 SQ. FT. 21,478 SQ. FT. 21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

BIKE PARKING (45 Required Stalls 1:1)

SHORT TERM	6 STALLS (12%)
LONG TERM	45 STALLS (88%)
TOTAL BIKE PARKING	51 STALLS

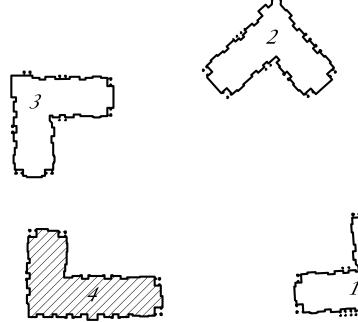
PARKING (45 Required Stalls 1:1)

COMPACT HANDICAP REGULAR

TOTAL PARKING

2 STALLS (4%) 1 STALL (2%) 42 STALLS (94%)

45 STALLS

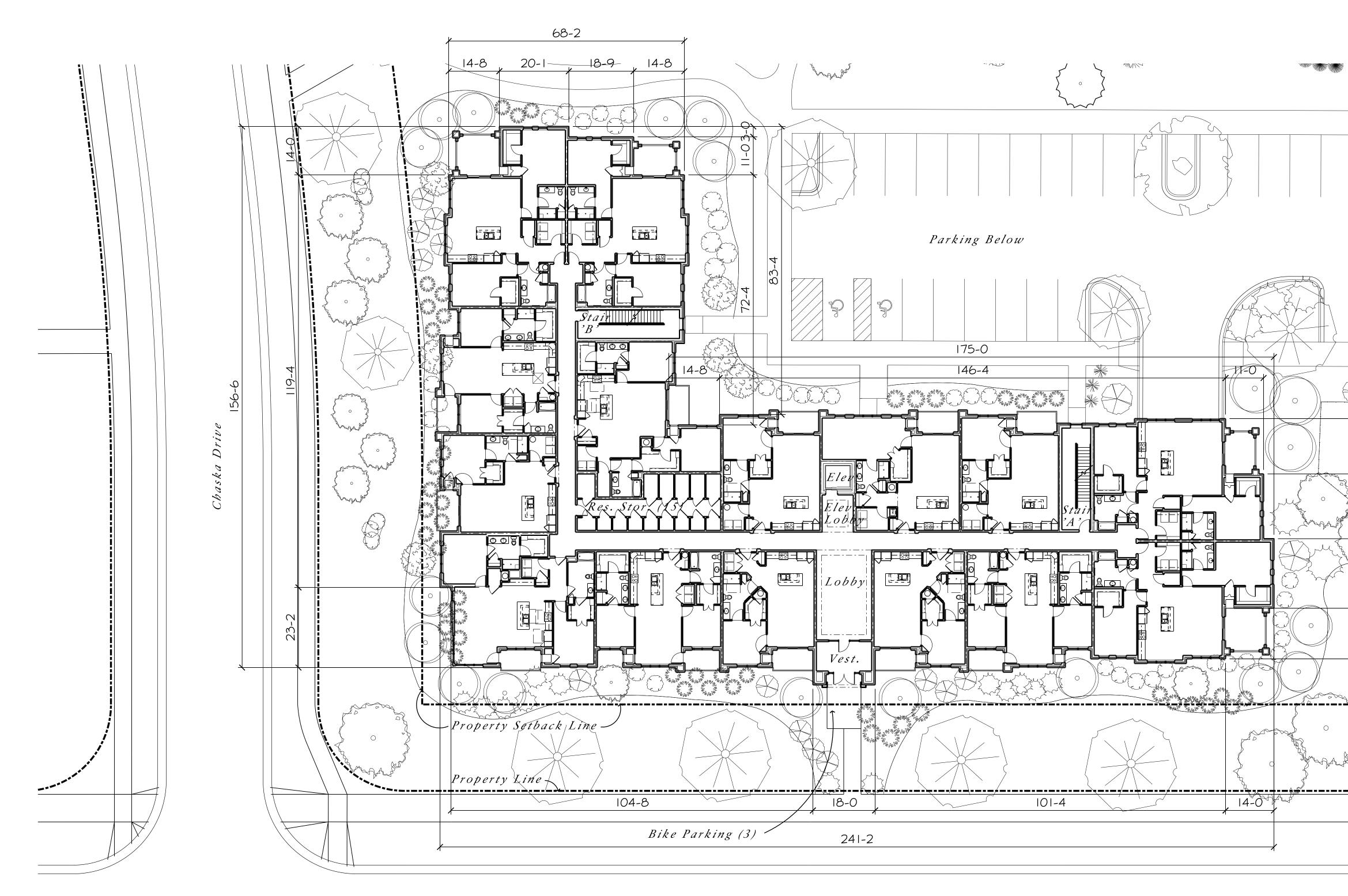




1/16" = 1'-0"







Wilrich Street

Paragon Place at

Proposed Building

BUILDING AREA

LOWER LEVEL FIRST FLOOR	21,533 SQ. FT. 21,533 SQ. FT.
SECOND FLOOR THIRD FLOOR	21,478 SQ. FT. 21,478 SQ. FT. 21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

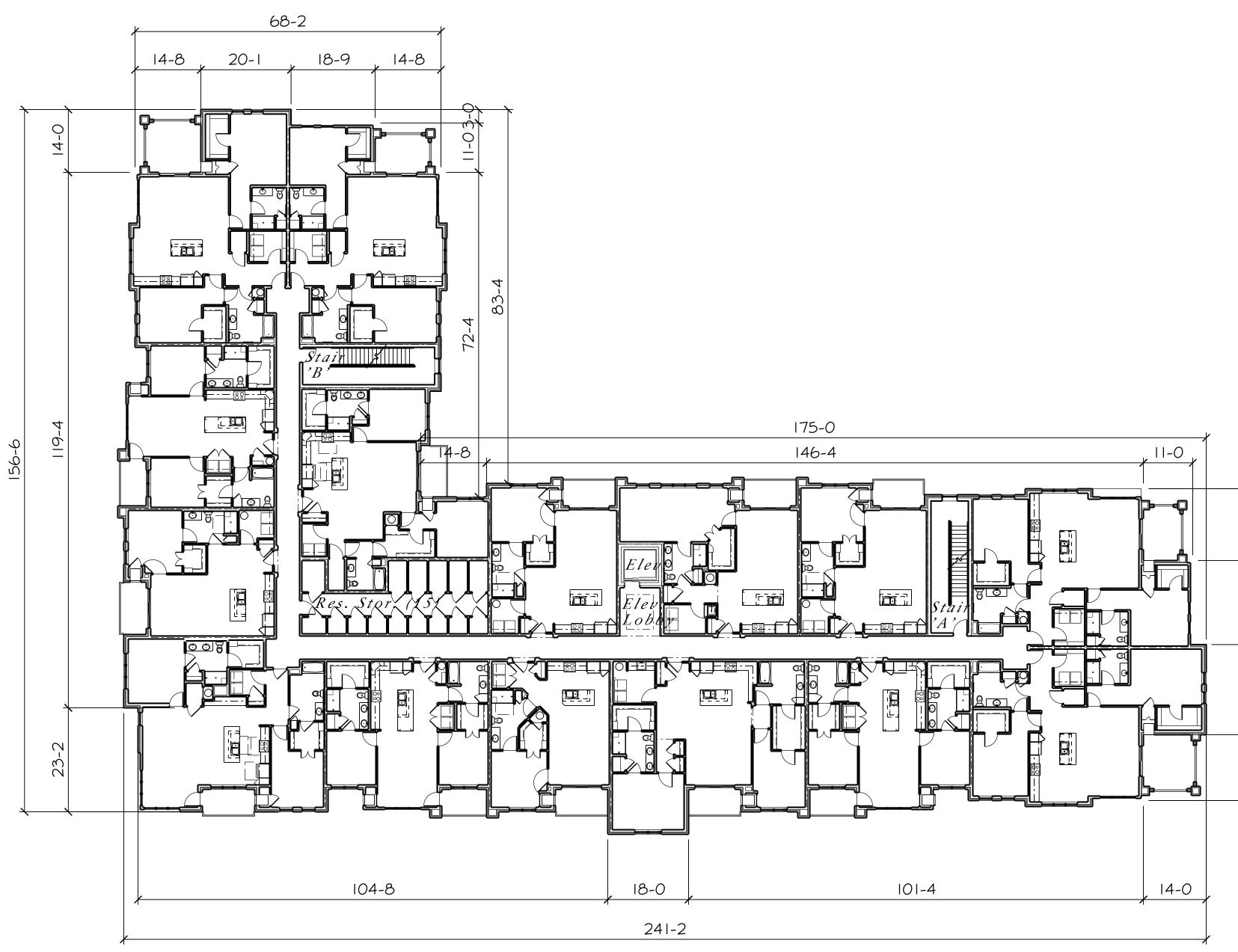
	BIKE PARKING (45 Required Stall	's 1:1)
	SHORT TERM LONG TERM	6 STALLS (12%) 45 STALLS (88%)
	TOTAL BIKE PARKING	51 STALLS
	UNIT COUNT	
	LOWER LEVEL <u>FIRST FLOOR</u> SECOND FLOOR THIRD FLOOR	0 UNITS <u>15 UNITS</u> 15 UNITS 15 UNITS
	TOTAL UNIT COUNT	45 UNITS
	UNIT TYPE	
	1/1 STANDARD 1/1 STANDARD + DINING	4 (8%) 9 (20%) 3 (7%)
0-9	1/1 ELEVATOR 2/2 SPLIT 2/2 LOBBY	3 (7%) 9 (20%) 2 (5%)
6-0	2/2 INSIDE CORNER 2/2 GREAT 'A' 2/2 GREAT 'B'	3 (7%) 3 (7%) 12 (26%)
	2/2 GREAT B 9-69	12 (20 /0)
North Co	Õ	
6-4		
Jan a		
	i774	
	0' 8' 16' 32'	7 JUNE 2019
	1/16" =	1′-0"
Re.	ar Claw Wa	
	Three Story, 45 U	init
J '' Ţ		Architecture

Madison, Wisconsin FIRST FLOOR PLAN

1414 UNDERWOOD AVE. WAUWATOSA, WI 53213

414.431.3131 TEL 414.431.0531 FAX

W W W . A G A R C H . C O M



Paragon Place at Bear Claw Way **Proposed Building #4, Three Story, 45 Unit** Madison, Wisconsin **SECOND FLOOR PLAN**

BUILDING AREA

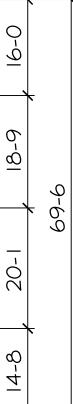
LOWER LEVEL	21,533 SQ. FT.
FIRST FLOOR SECOND FLOOR	21,533 SQ. FT. 21,478 SQ. FT.
THIRD FLOOR	21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

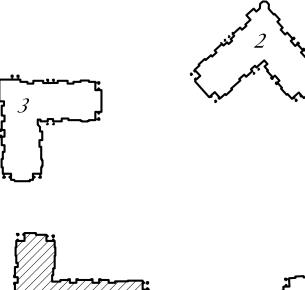
UNIT COUNT

LOWER LEVEL	0 UNITS
FIRST FLOOR	15 UNITS
SECOND FLOOR	<u>15 UNITS</u>
THIRD FLOOR	15 UNITS
TOTAL UNIT COUNT	45 UNITS

UNIT TYPE

1/1 STANDARD 4	(8%)
1/1 STANDARD + DINING 9	(20%)
	(7%)
2/2 SPLIT 9	(20%)
2/2 LOBBY 2	(5%)
2/2 INSIDE CORNER 3	(7%)
2/2 GREAT 'A' 3	(7%) 2 (26%)
2/2 GREAT 'B' 12	2 (26 %)



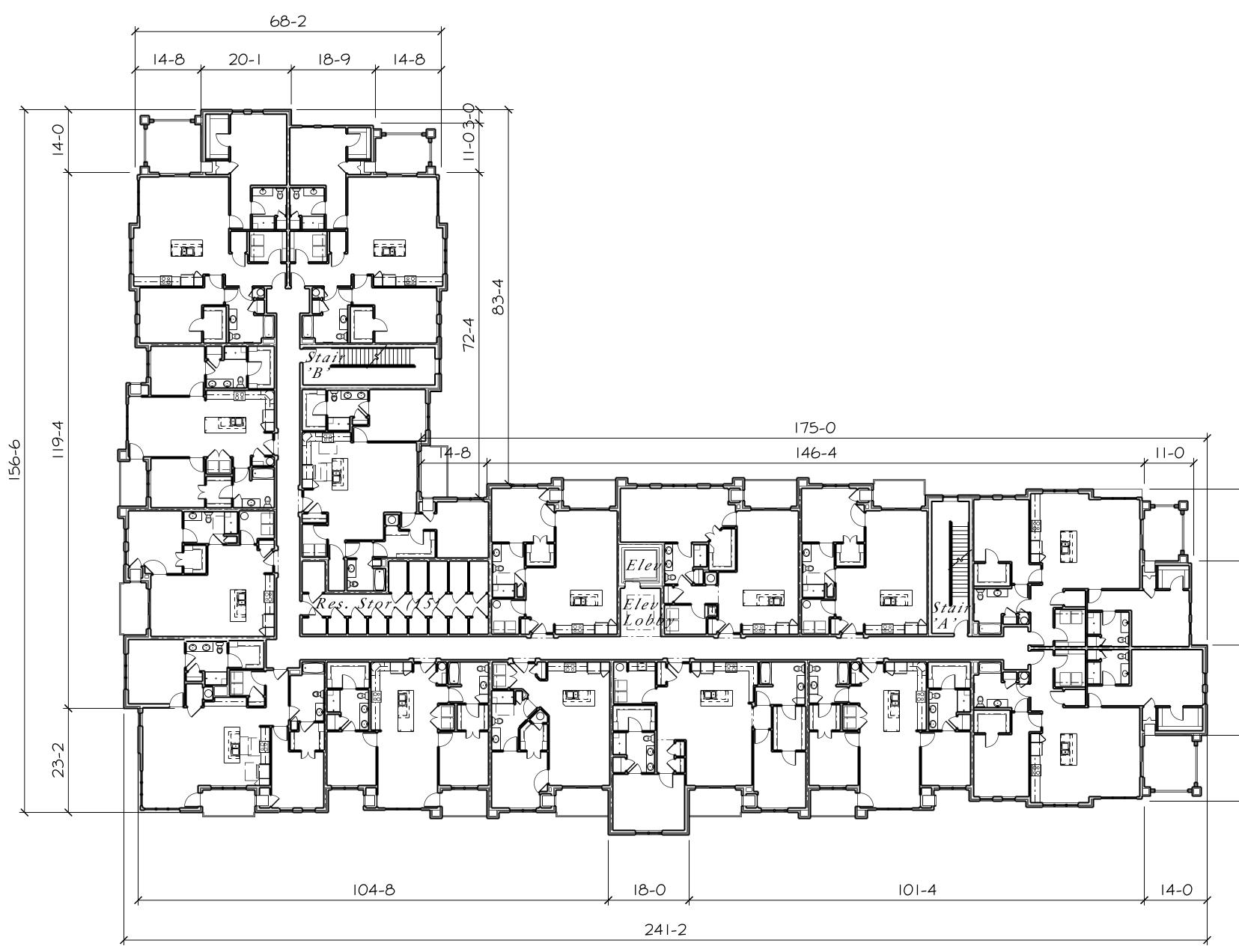




1/16" = 1'-0"







Paragon Place at Bear Claw Way **Proposed Building #4, Three Story, 45 Unit** Madison, Wisconsin **THIRD FLOOR PLAN**

BUILDING AREA

LOWER LEVEL	21,533 SQ. FT.
FIRST FLOOR	21,533 SQ. FT.
SECOND FLOOR	21,478 SQ. FT.
THIRD FLOOR	21,478 SQ. FT.
TOTAL AREA	86,022 SQ. FT.

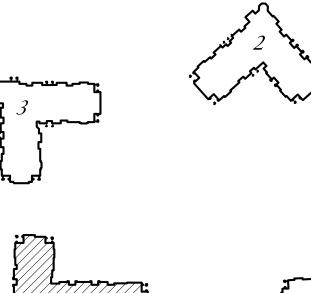
UNIT COUNT

LOWER LEVEL	0 UNITS
FIRST FLOOR	15 UNITS
SECOND FLOOR	15 UNITS
THIRD FLOOR	<u>15 UNITS</u>
TOTAL UNIT COUNT	45 UNITS

UNIT TYPE

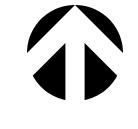
1/1	STANDARD	4	(8%)
1/1	STANDARD + DINING	9	(20%)
1/1	ELEVATOR		(7%)
2/2	SPLIT	9	(20%)
2/2	LOBBY	2	(5%)
2/2	INSIDE CORNER		(7%)
	GREAT 'A'	3	(7%)
	GREAT 'B'	12	(7%) 2 (26 %)
			•



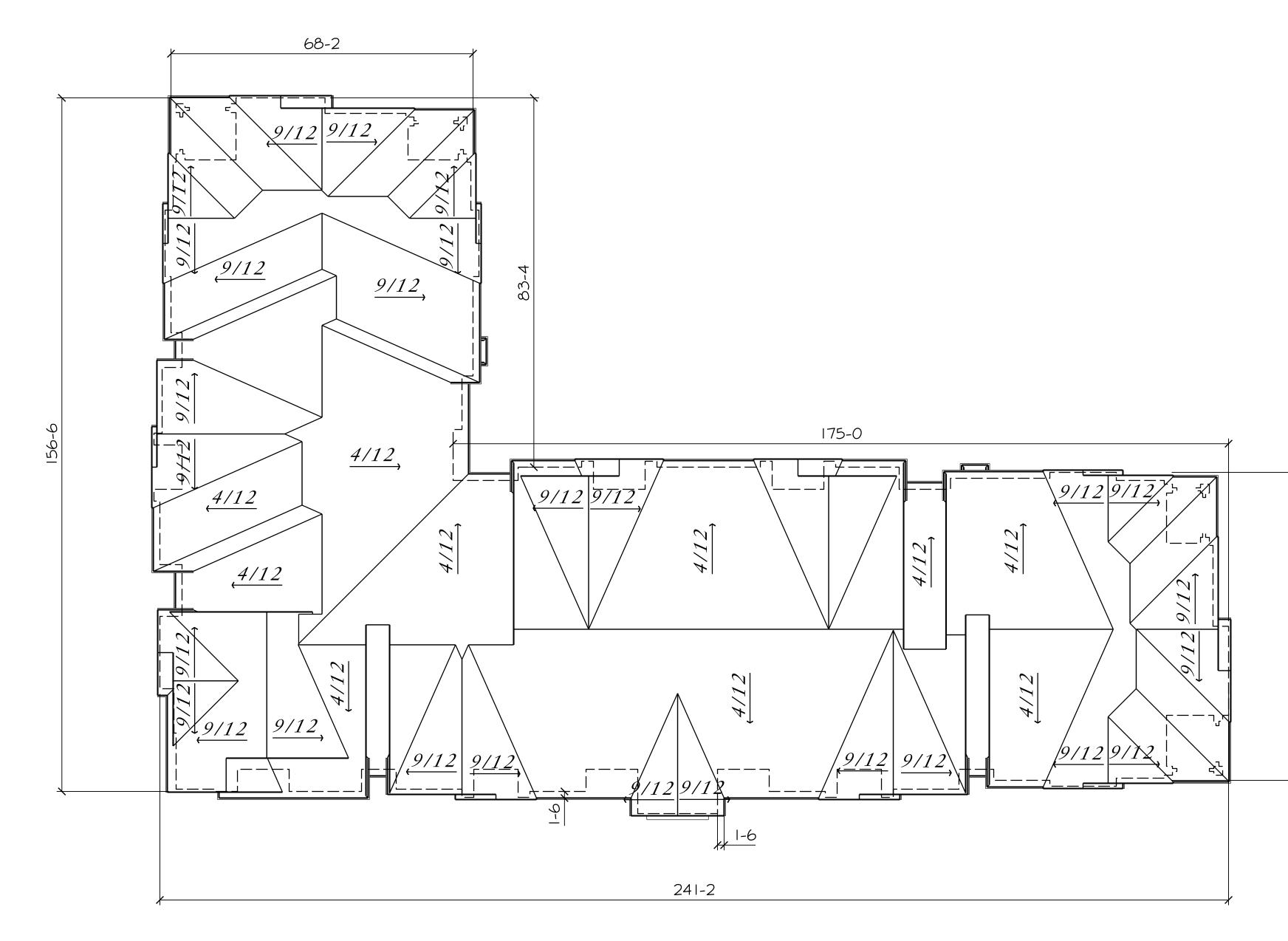




1/16" = 1'-0"











BI - GENERAL SHALE - CHALDEAN
B2 - GENERAL SHALE - AUTUMN RIDGE
B3 - GENERAL SHALE - CORTEZ
5 - FOND DU LAC DIMENSIONAL STONE
LB - LONGBOARD - ITALIAN ROSEWOOD
A - WEATHERED WOOD ROOF SHINGLES







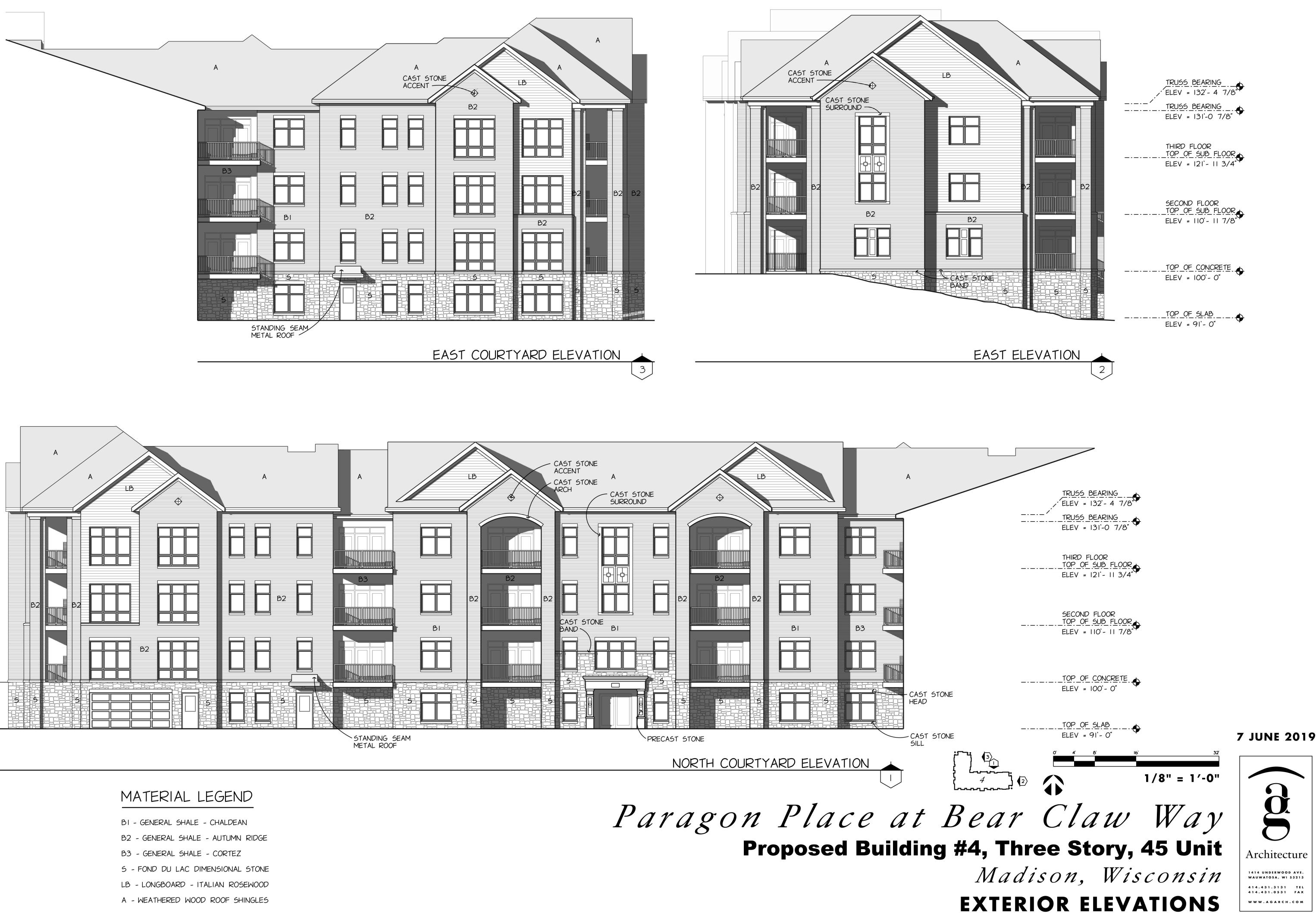


MATERIAL LEGEND

BI - GENERAL SHALE - CHALDEAN
B2 - GENERAL SHALE - AUTUMN RIDGE
B3 - GENERAL SHALE - CORTEZ
S - FOND DU LAC DIMENSIONAL STONE
LB - LONGBOARD - ITALIAN ROSEWOOD
A - WEATHERED WOOD ROOF SHINGLES









Architecture

414.431.3131 TEL 414.431.0531 FAX W W W . A G A R C H . C O M



Paragon Place at Bear Claw Way Proposed Building #4, Three Story, 45 Unit Madison, Wisconsin







Paragon Place at Bear Claw Way Proposed Building #4, Three Story, 45 Unit Madison, Wisconsin





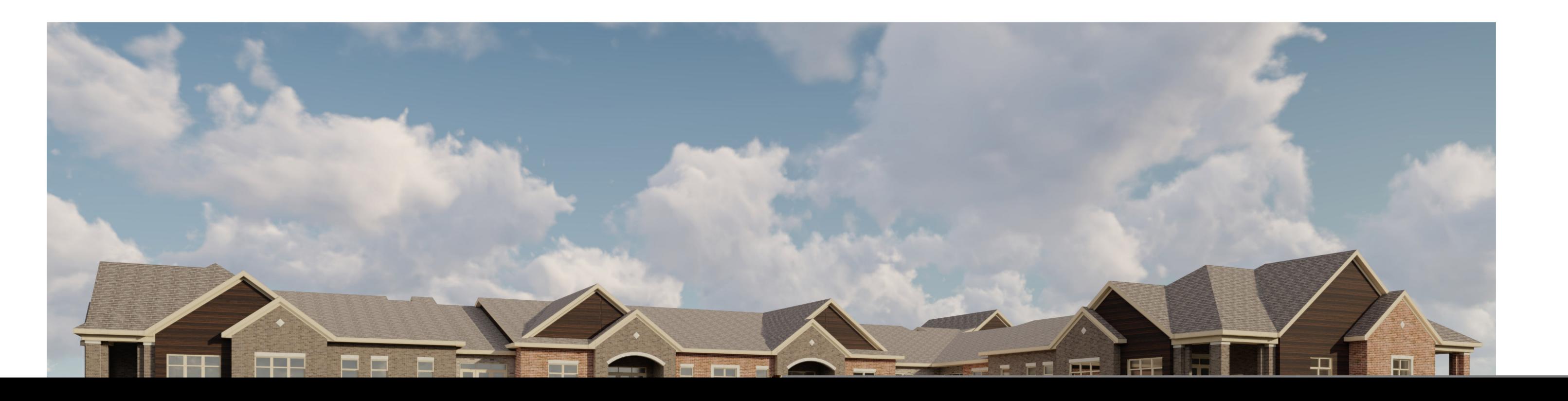
Paragon Place at Bear Claw Way Proposed Building #4, Three Story, 45 Unit Madison, Wisconsin





Paragon Place at Bear Claw Way Proposed Building #4, Three Story, 45 Unit Madison, Wisconsin





Proposed Building #4, Three Story, 45 Unit



Paragon Place at Bear Claw Way Proposed Building #4, Three Story, 45 Unit Madison, Wisconsin





Paragon Place at Bear Claw Way **Proposed Building #4, Three Story, 45 Unit** Madison, Wisconsin

7 JUNE 2019





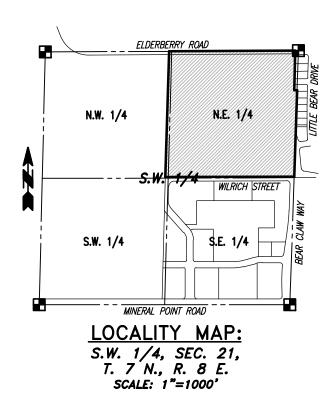


7 JUNE 2019

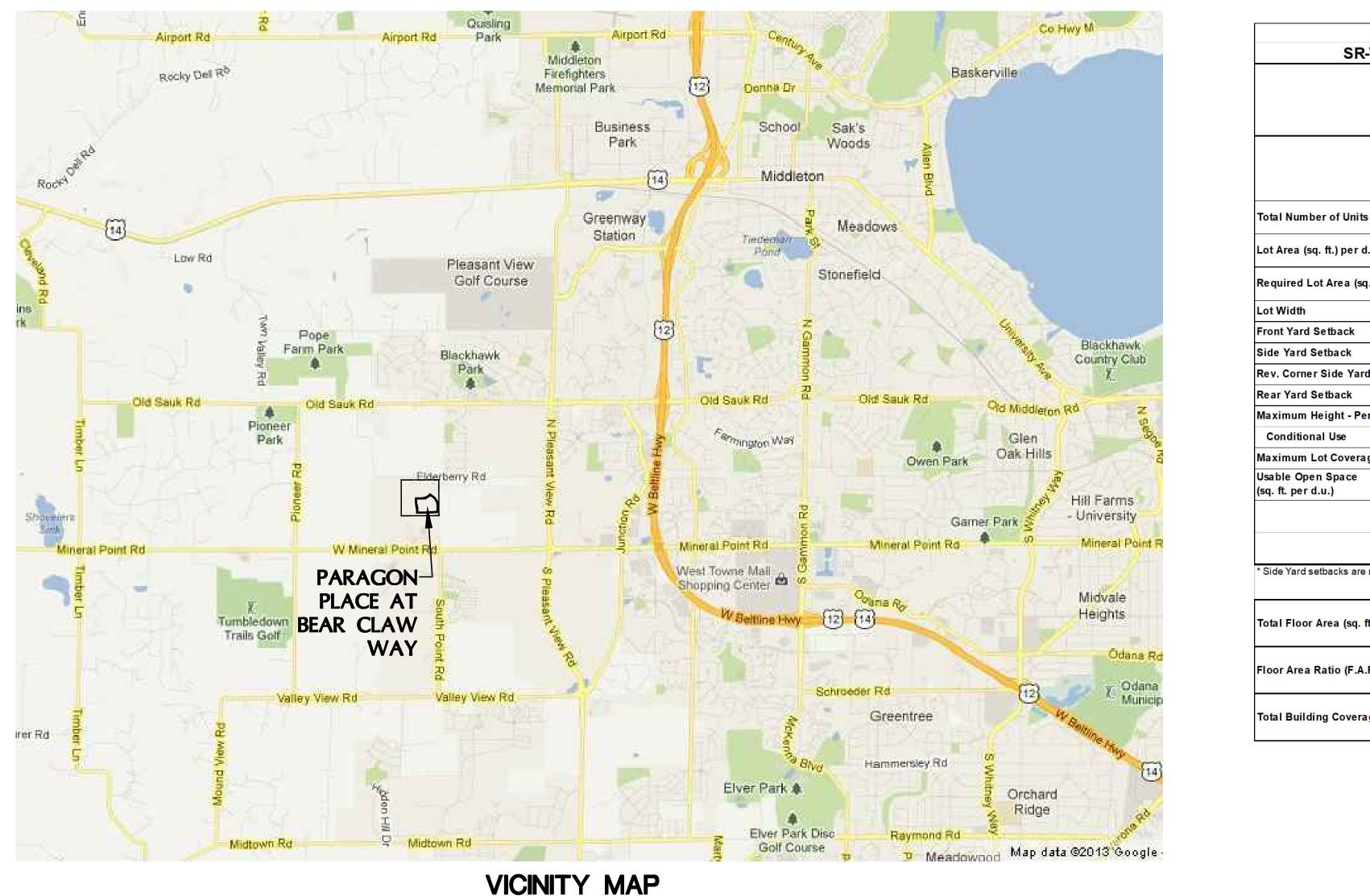


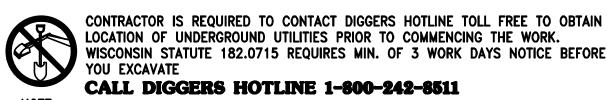
GENERAL NOTES

- 1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
- -STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
- -THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- -WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
- -WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION. -CITY OF MADISON DEVELOPMENT STANDARDS, LATEST EDITION.
- 2. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- 3. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- 4. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- 5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- 6. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- 7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 8. ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- 9. ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- 10. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- 11. THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY.



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LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CALL DIGGERS HOTLINE 1-800-242-8511

<u>NOTE</u>: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

RAGON PLACE AT EAR CLAW WAY ING 4 DEVELOPMENT PLANS ERBERRY NEIGHBORHOOD

PARAGON PLACE BEAR CLAW WAY BUILDING 4

CHASKA DR.-

CITY OF MADISON, WISCONSIN

NOT TO SCALE



PARAGON PLACE - "LOTS 1&2" SR-V2 DISTRICT ZONING REQUIREMENTS

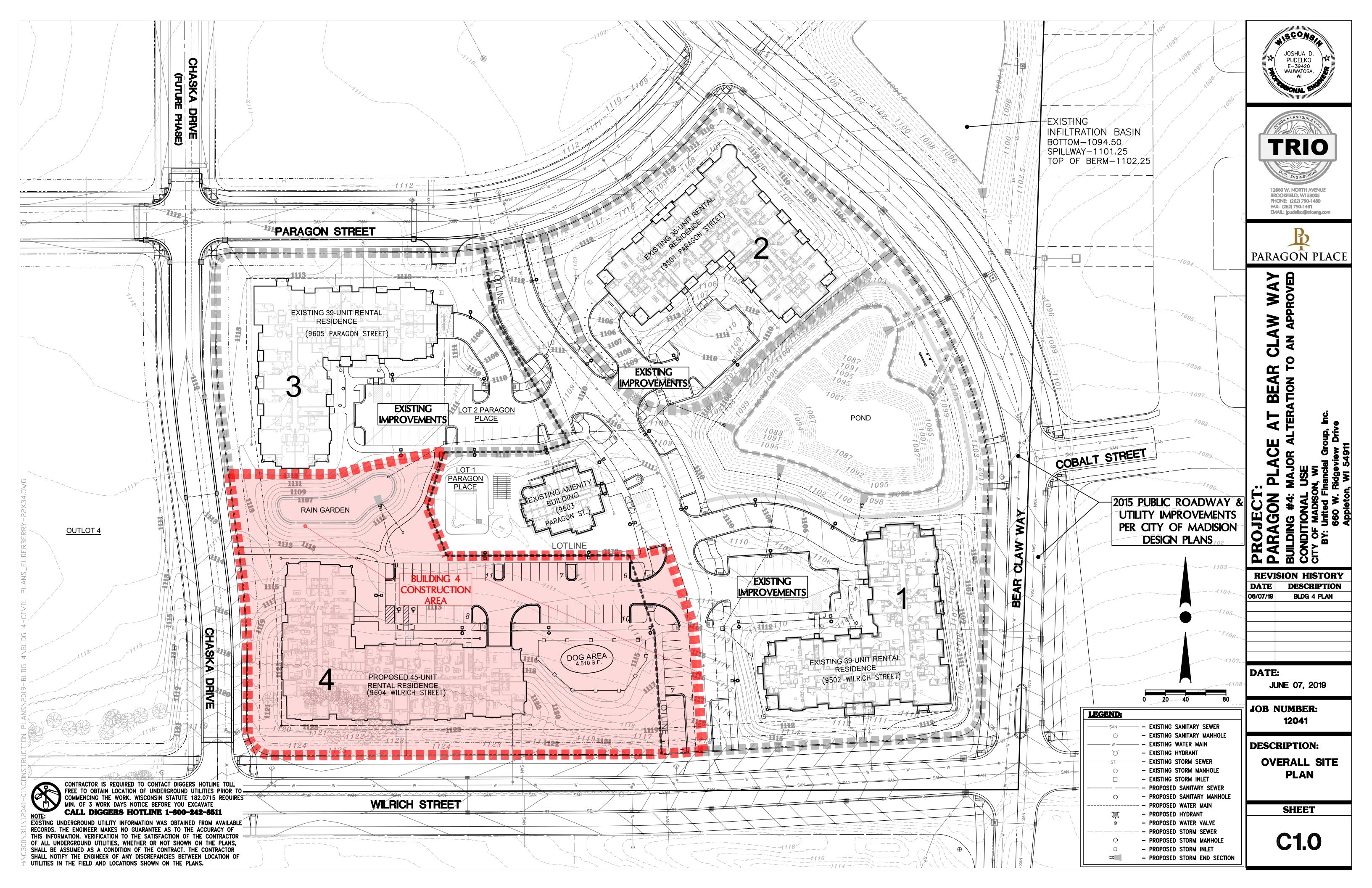
	Multi-Family SR-V2 District Requirements (>8 units)	Paragon Place Subdivision Lots 1 + 2 of CSM #14165
	Multi-Family	Elevator, Underground Parking, Rental Residences
s		158
d.u.	2,000/d.u.	2,447
q. ft.)	292,000	386,616
	60 ft.	± 495 ft.
	25 ft.	25 ft.
	10 ft.	N/A*
d Setback	12 ft.	N/A*
	30 ft.	30 ft.
ermitted Use	3 stories / 40 ft.	3 stories max./ 44 ft.
	4 stories / 52 ft.	5 Stone 5 Max./ 44 ft.
age (% impervious)	60%	48.1%
	500	555
	Total Usable Open Space =	87,708
	Total Open Space =	200,742
not applied since the lot	has street frontage on all f	four sides

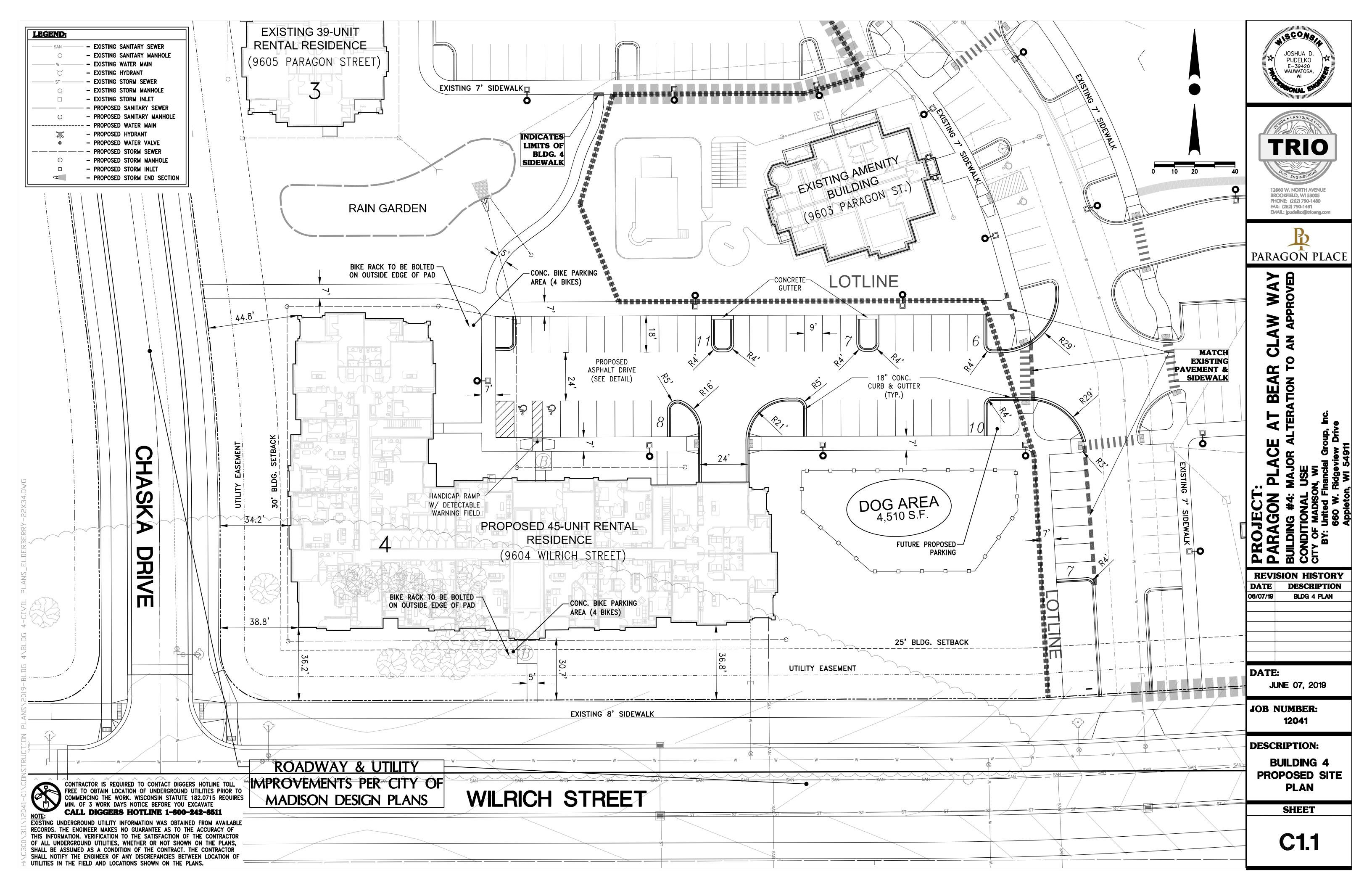
ft.)		240,613
A.R.)		0.62
age Area (s.f.)	N/A	80,204 s.f. (20.7% of site)

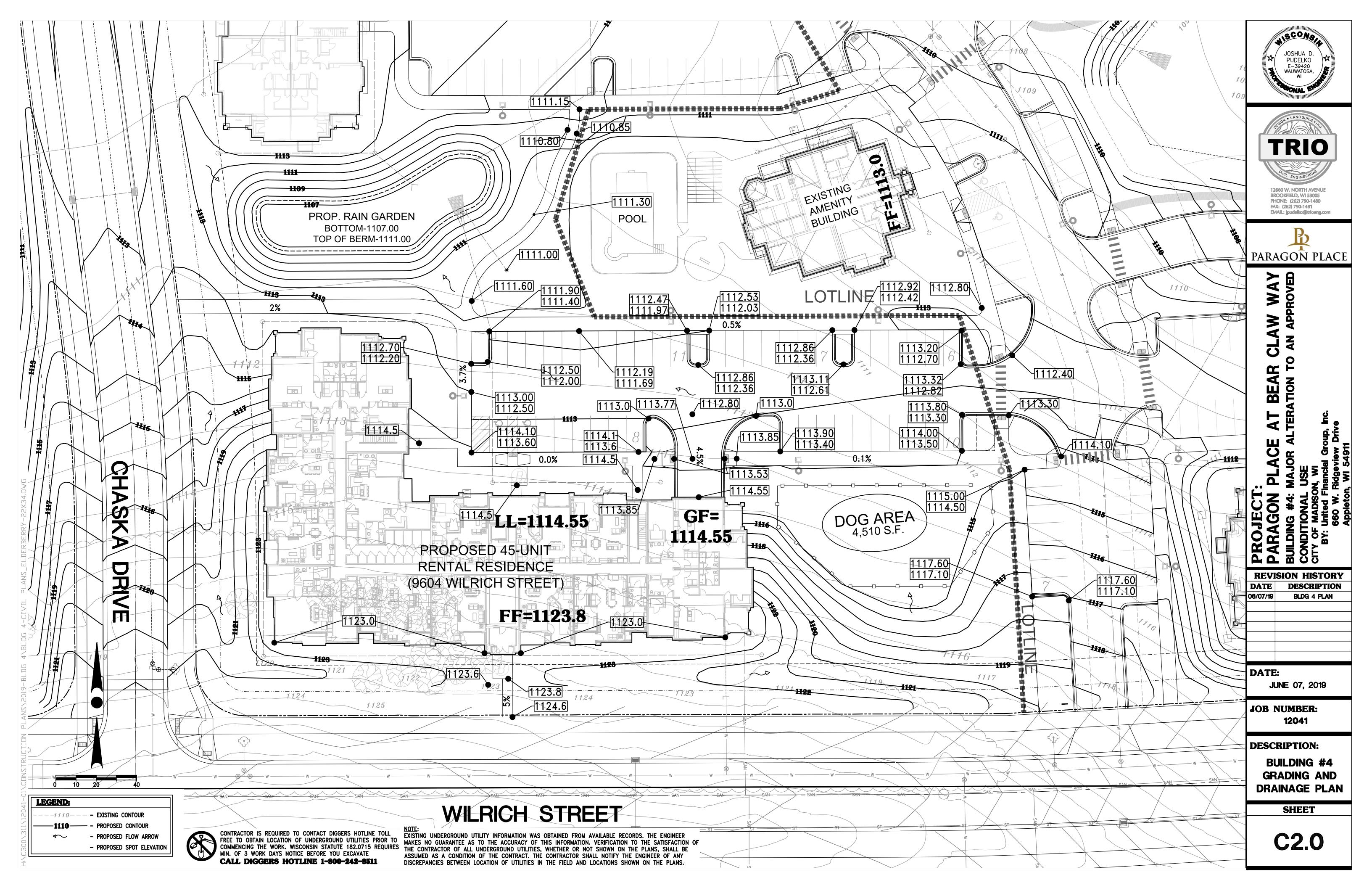
SHEET INDEX

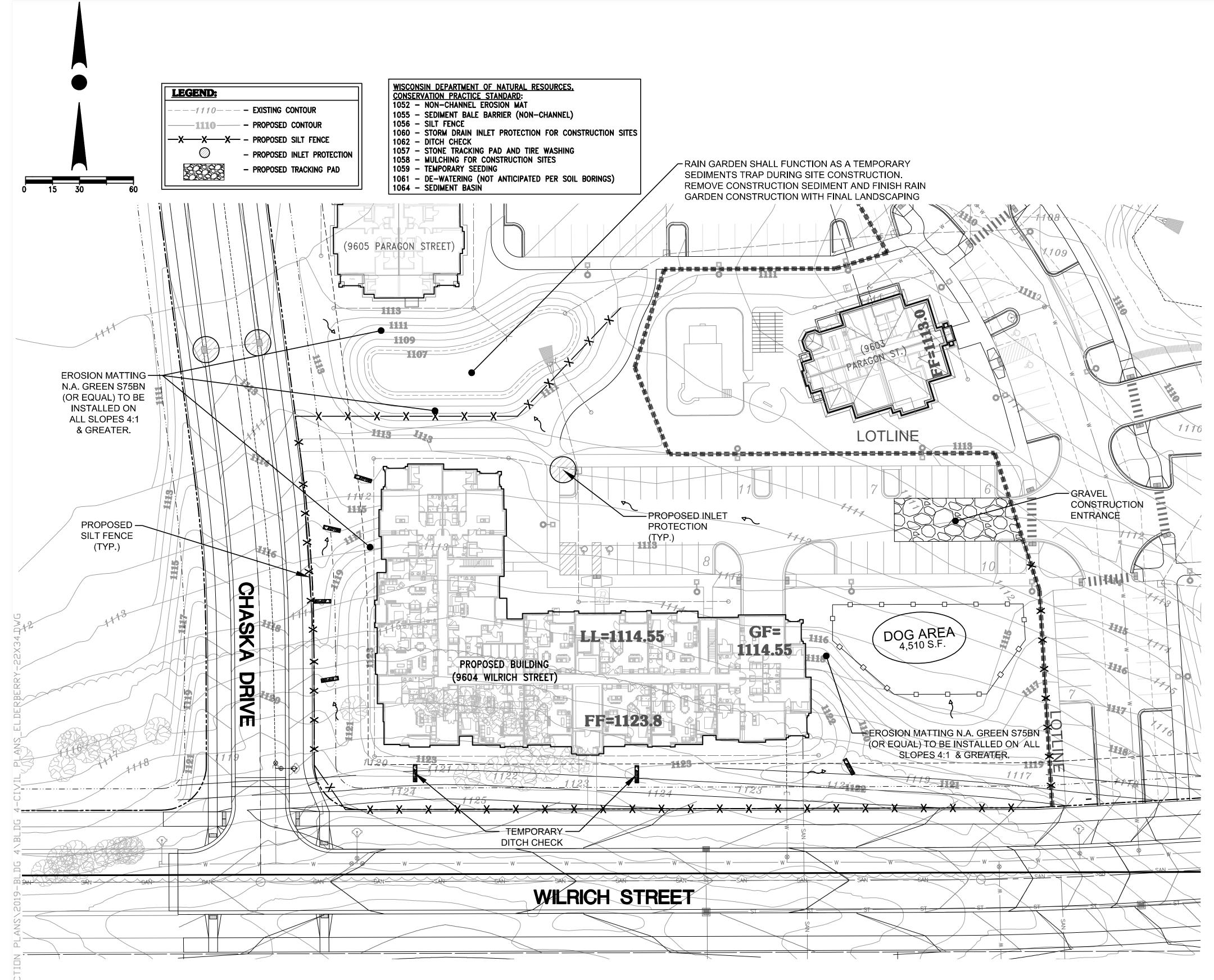
T1	– COVER SHEET
C1.0	- OVERALL SITE DEVELOPMENT PLAN
C1.1	 BUILDING 4 PROPOSED SITE PLAN
C2.0	 BUILDING 4 GRADING AND DRAINAGE PLAN
C2.1	 BUILDING 4 EROSION CONTROL PLAN
C3.0	– BUILDING 4 UTILITY PLAN
C4.0	– RAIN GARDEN DETAIL
C5.0-5.1	 CONSTRUCTION NOTES & DETAILS
FD1.0	- FIRE DEPARTMENT ACCESS PLAN

JOSHUA D. PUDELKO E-39420 WAUWATOSA, WI
TREION VAND SURJEVING TREION OVIL ENGINEERING OVIL ENGINEERING 12660 W. NORTH AVENUE BROOKFIELD, WI 53005 PHONE: (262) 790-1480 EXX: (262) 790-1480 EXX: (262) 790-1480
PARAGON PLACE
PROJECT: PROJECT: PROJECT: PROJECT: PARAGON PLACE AT BEAR CLAW WAY Bullbing #4: MAJOR ALTERATION TO AN APPROVED BUILDING #4: MAJOR ALTERATION TO AN APPROVED CITY OF MADISON, WI BY: United Financial Group, Inc. 660 W. Ridgeview Drive Appleton, WI 54911
DATE: JUNE 07, 2019
JOB NUMBER: 12041
DESCRIPTION: COVER SHEET
SHEET T1









CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CALL DIGGERS HOTLINE 1-800-242-8511

EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES. WHETHER OR NOT SHOWN ON THE PLANS. SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.

- **EROSION CONTROL NOTES:**

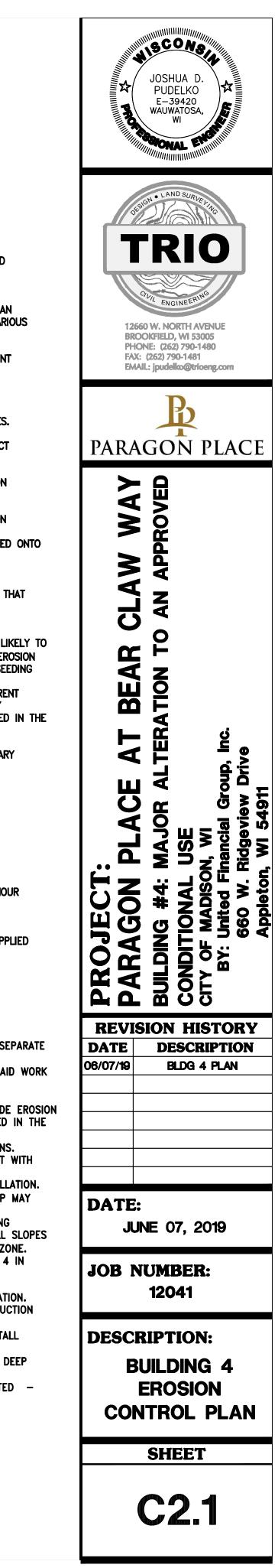
- A. DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.

- E. MAINTAIN SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
- CONTROL BALES. G. PROMPT REMOVAL OF EXCAVATED MATERIAL
- ROADWAYS.
- K. TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
- 5. TEMPORARY EROSION CONTROL MEASURES.
- OR SODDING, HAS BEEN ESTABLISHED.
- FOLLOWING YEAR.
- SEEDING.

- SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
- 10. EROSION CONTROL INSPECTION AND MAINTENANCE PERIOD DURING CONSTRUCTION.
- B. REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FAILING.

CONSTRUCTION SEQUENCE PLAN PARAGON PLACE - BUILDING 4.

- PERMIT) AS NEEDED.
- UMMER
- PRIOR YEAR (UNDER SEPARATE PERMIT).
- COMPLETION OF STORM SEWER INSTALLATION.
- OCCUR ANY TIME AFTER FINISH GRADING.
- 10. COMPLETE BUILDING 4 CONSTRUCTION.
- MANAGER'S SCHEDULE AND DIRECTION.



1. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.

2. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.

3. IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.

4. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

B. PROTECT DOWNSTREAM OR ADJACENT DRAINAGEWAYS WITH SILT FENCE AND/OR STONE DITCH CHECKS. C. DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION. D. PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.

F. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION

H. PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES. I. CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO

J. PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS. L. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARY SEEDED AS OF THAT

A. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING

B. IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE

6. ALL DISTURBANCE AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY

7. TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WONR TECHNICAL STANDARDS.

8. INSTALL SILT FENCE IN ACCORDANCE WITH WONR TECHNICAL STANDARD DETAILS

9. ALL RIP RAP AT PIPE OUTLETS SHALL BE 3'x5' MEDIUM RIP RAP OVER TYPE R FABRIC PER WDOT

A. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR

11. ALL AREAS TO BE SEEDED AND MULCHED SHALL USE WOOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED

PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.

1. INSTALL TRACKING PAD AND PROJECT PERIMETER SILT FENCE AND INLET PROTECTION PER PLAN. MAINTAIN/REPAIR EXISTING SILT FENCE INSTALLED WITH 2018-2019 LAND DISTURBANCE (UNDER SEPARATE

BUILDING CONSTRUCTION MAY COMMENCE AT ANY TIME ONCE CITY AND STATE APPROVALS FOR SAID WORK HAVE BEEN ISSUED (BUILDING CONSTRUCTION IS A NON-SEQUENTIAL ITEM).

5. COMPLETE ROUGH GRADING. NOTE THAT SEDIMENT TRAP INSTALLED IN 2018–2019 SHALL PROVIDE EROSION CONTROL PROTECTION FOR PROJECT SITE AND THAT THE SITE WAS SUBSTANTIALLY ROUGH GRADED IN THE

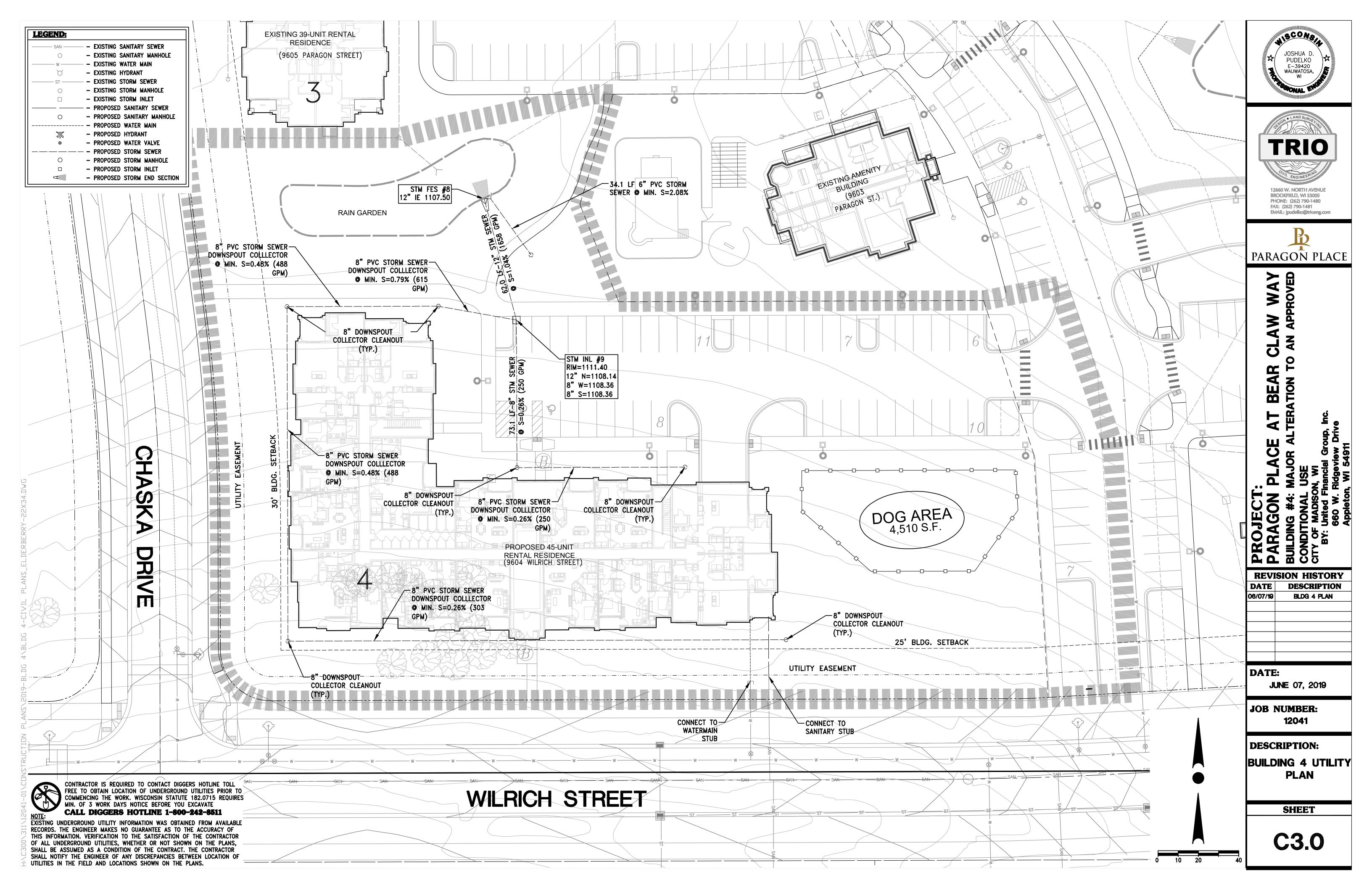
INSTALL SANITARY SEWER LATERALS, WATER MAIN, AND STORM SEWER FOR BUILDING 4. PER PLANS. INSTALL INLET PROTECTION AND STRAW WATTLES AT TEMPORARY PIPE END SECTIONS CONCURRENT WITH

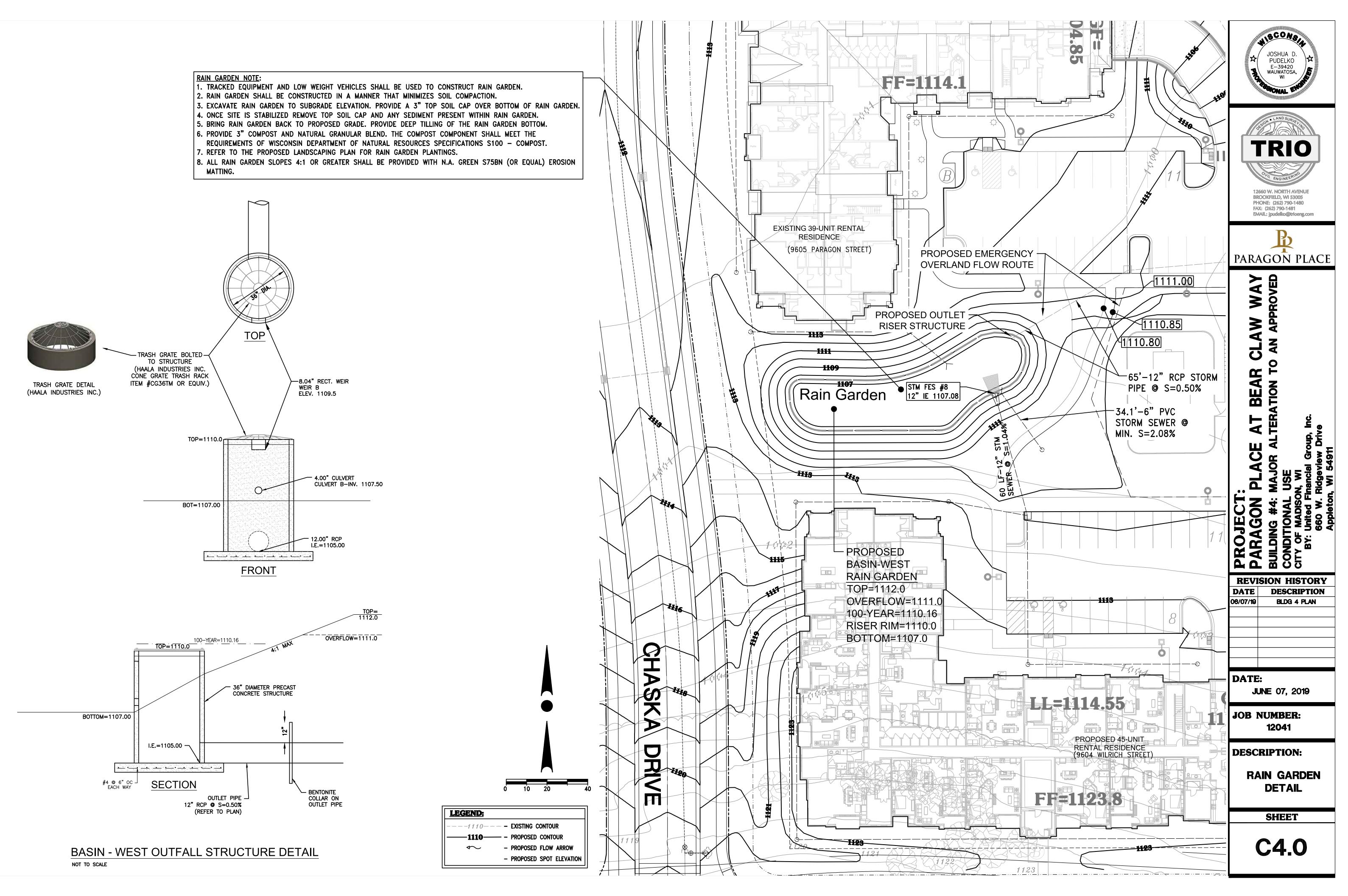
6. FINISH GRADE SITE. NOTE THAT THIS STEP MAY OCCUR CONCURRENT WITH STORM SEWER INSTALLATION. INSTALL NEW GAS/ELECTRIC/TELEPHONE UTILITIES PER PLANS BY OTHERS. NOTE THAT THIS STEP MAY

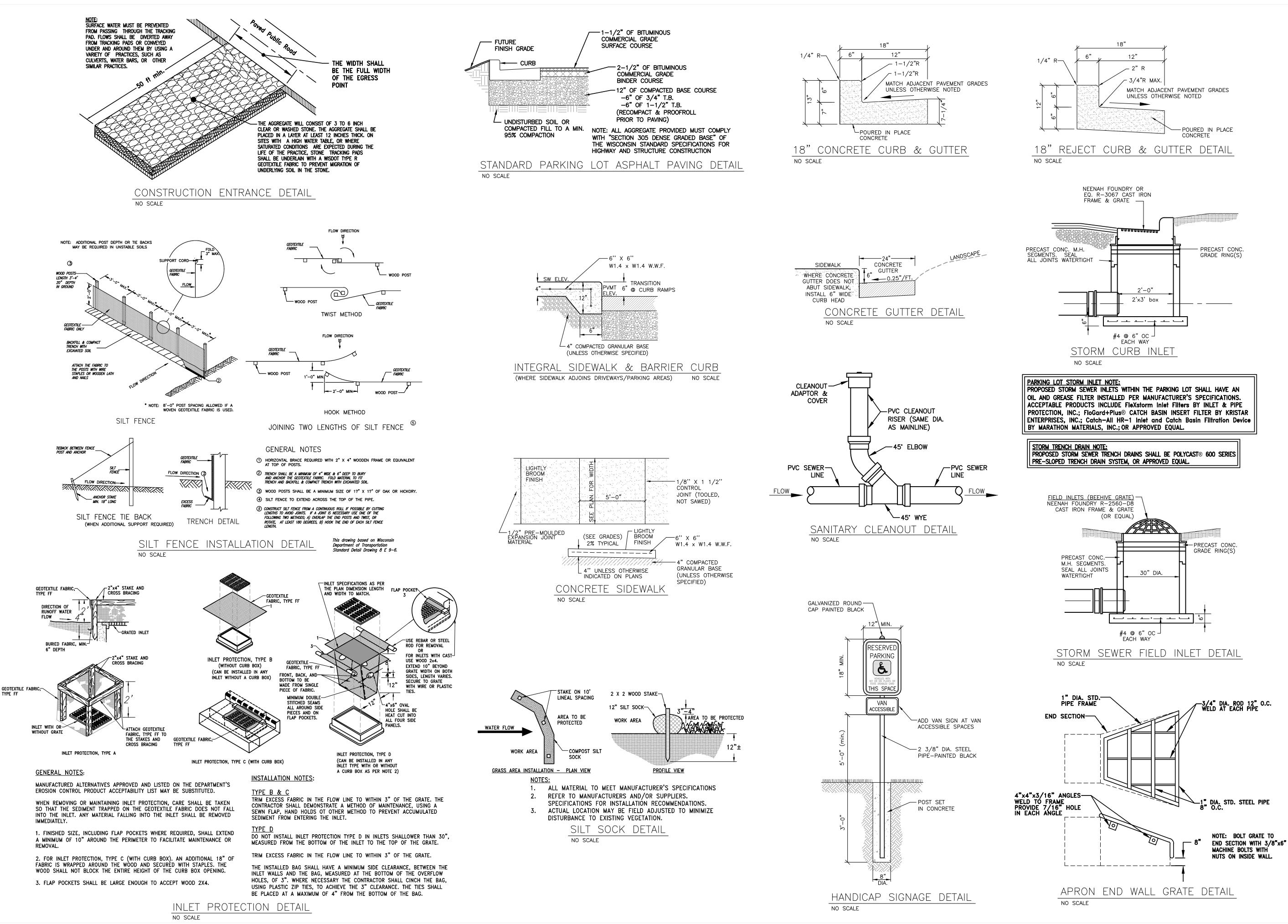
RESPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE OUTSIDE OF PAVEMENT AND ACTIVE BUILDING CONSTRUCTION AREAS UPON COMPLETION OF FINISH GRADING. INSTALL EROSION MATTING ON ALL SLOPES AND WHERE NEEDED OR INDICATED ON THE PLAN (OUTSIDE OF ACTIVE BUILDING CONSTRUCTION ZONE. 9. INSTALL STONE BASE COURSE - INSTALL CURB & GUTTER AND BINDER PAVEMENT FOR BUILDING 4 IN AREAS DIRECTED BY THE CONSTRUCTION MANAGER AND AS INDICATED ON THE PLAN.

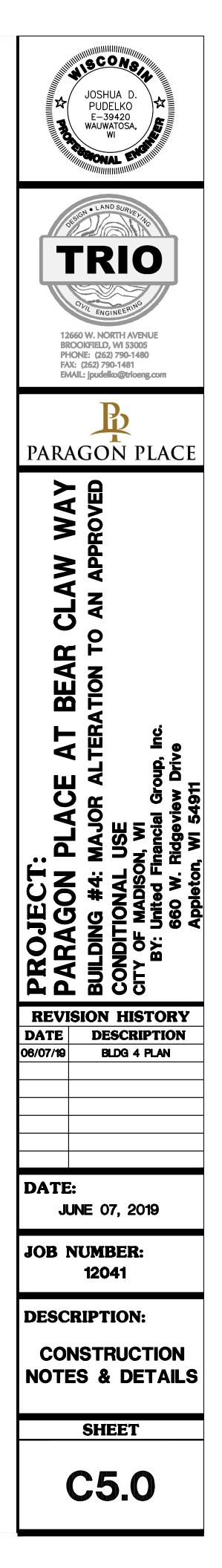
COMPLETE ANY REMAINING BUILDING 4 CURB & GUTTER AND BINDER COURSE PAVEMENT INSTALLATION. 12. INSTALL SIDEWALK AROUND BUILDING 4 AND THE SITE AS INDICATED ON THE PLAN, PER CONSTRUCTION

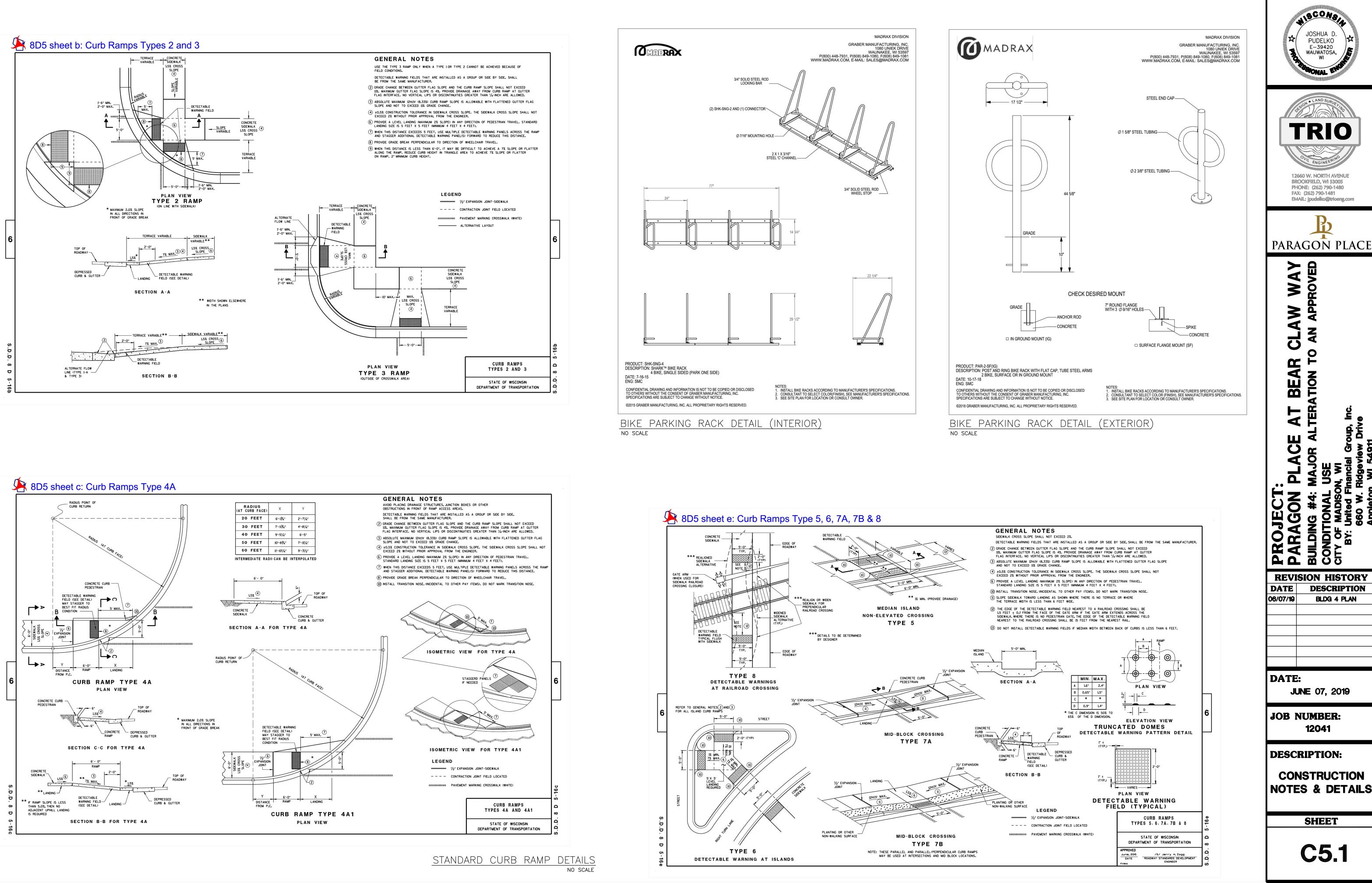
13. RESPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE BUILDING CONSTRUCTION ZONE AREA. INSTALL LANDSCAPING PER LANDSCAPE PLAN AND CONSTRUCTION MANAGER'S SCHEDULE/DIRECTION. 14. COMPLETE RAIN GARDEN CONSTRUCTION. REMOVING CONSTRUCTION SEDIMENT FROM THE BOTTOM, DEEP TILLING BOTTOM LATER, AND LANDSCAPING PER LANDSCAPE PLAN AND RAIN GARDEN DETAILS 15. REMOVE PERIMETER SILT FENCE ONCE THE PHASE 1 AREA IS SUBSTANTIALLY STABILIZED/VEGETATED -ANTICIPATED TO BE CONCURRENT WITH COMPLETION OF FINAL LANDSCAPING AROUND BUILDING 4.

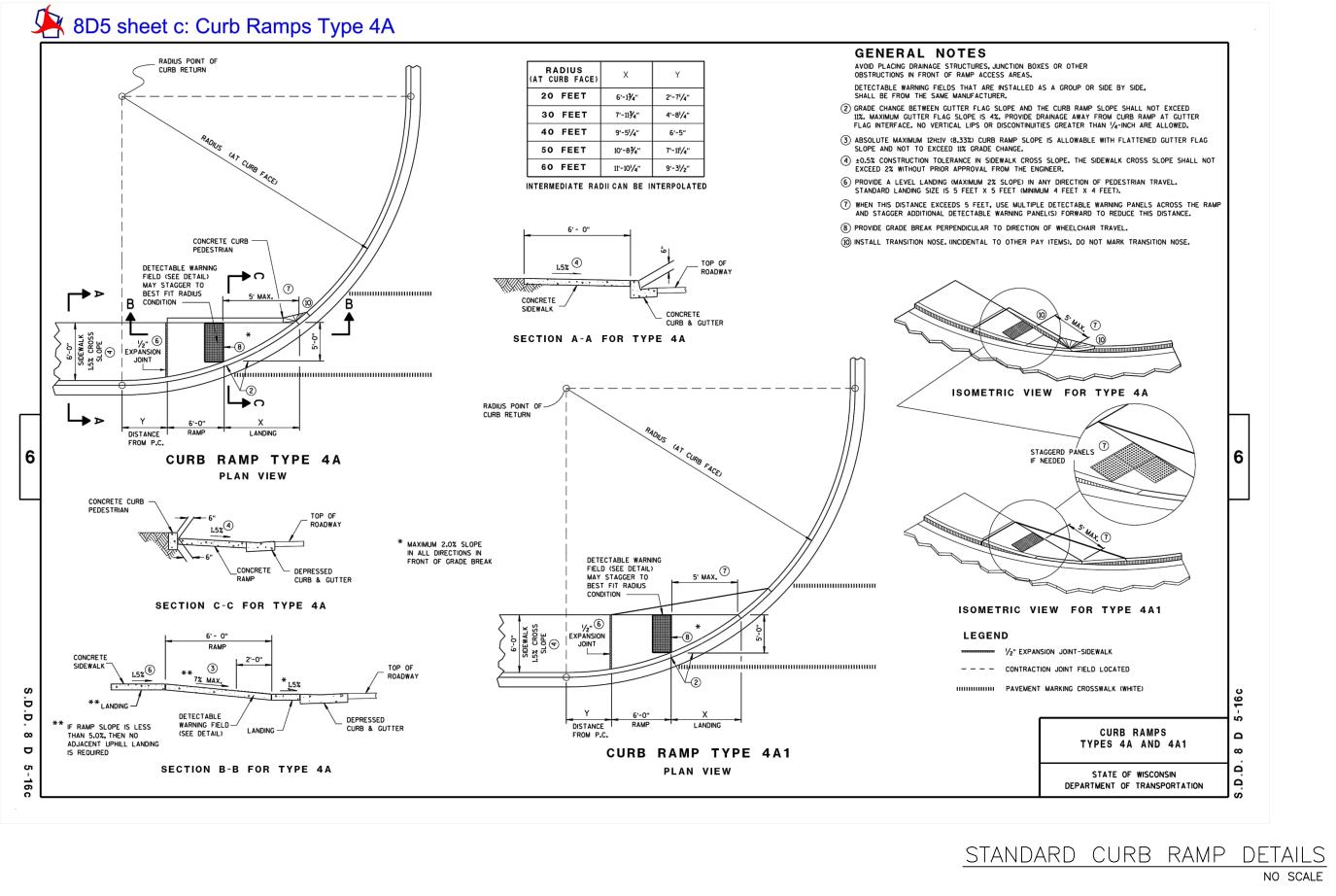


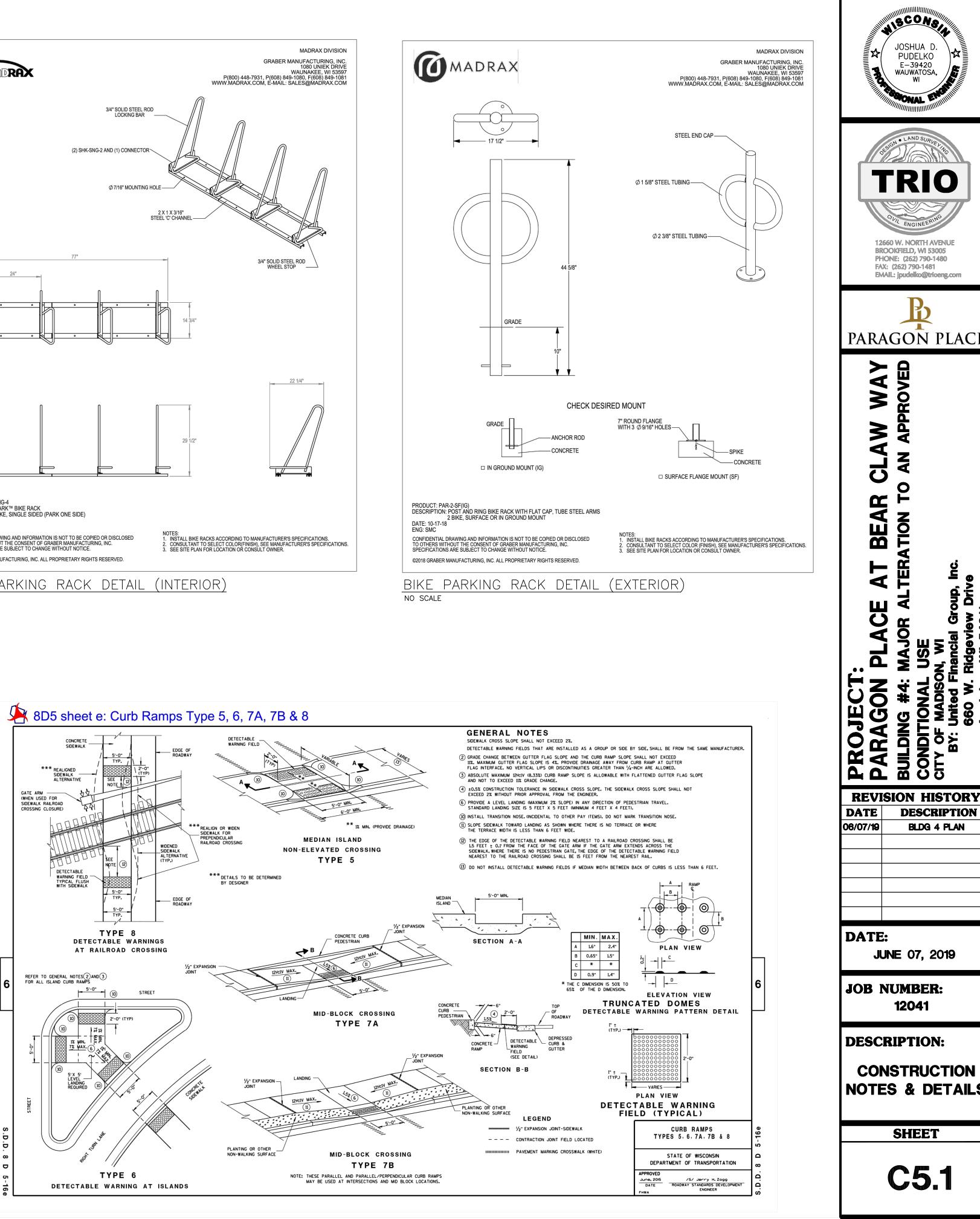


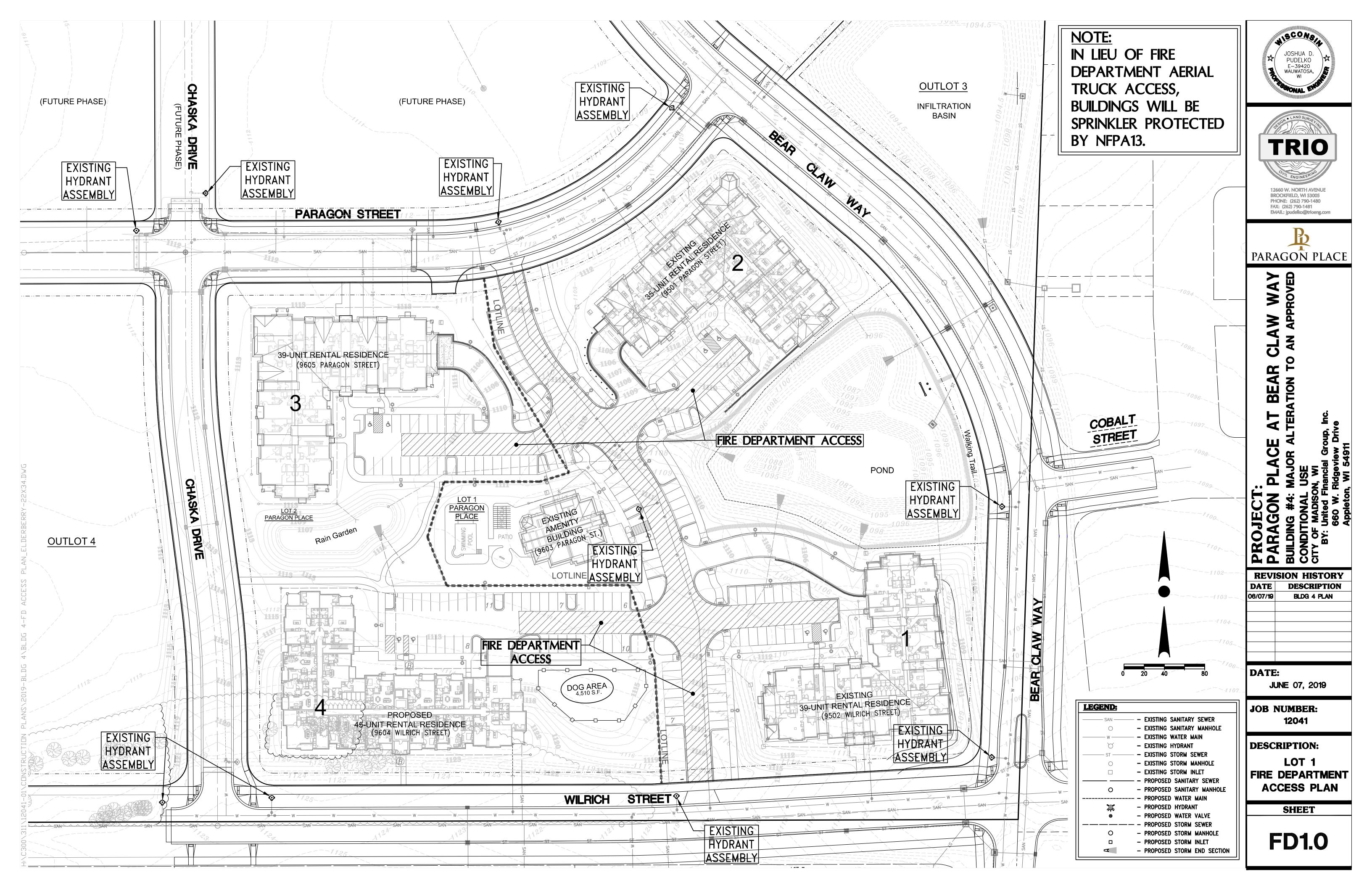


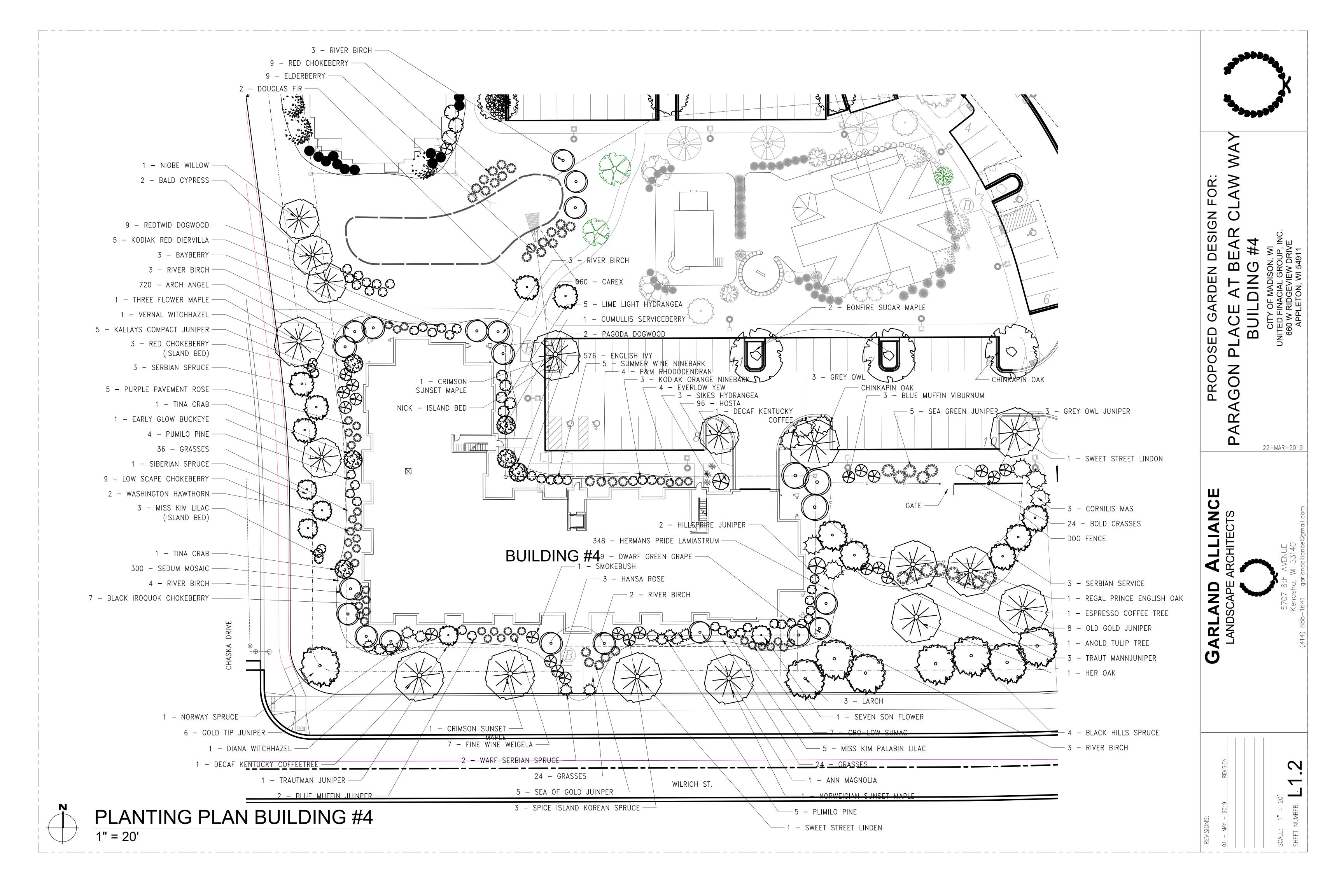












GENERAL PLANTING NOTES

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The contractor shall, at all times, keep the premises free from accumulation of waste material, soil and/or rubbish caused by his employees or work. Contractor shall clean behind his work immediately, and shall take necessary precautions to keep concrete, brick and other paving material clean of soil.

Materials planted and damaged or destroyed by any phenomena considered as an act of God, e.g., vandalism, wind, fire, flood, frost, theft, rain, hail, etc., shall belong to the Owner and shall be his responsibility. Materials stored on-site as not yet planted are not covered by this clause and are the sole responsibility of the contractor.

All plant material furnished by the contractor, unless otherwise specified, shall be No. 1 grade or better in accordance with GRADED AND STANDARDS FOR NURSERY PLANTS as described in ANSI 260.1 1996. Landscape Architect reserves all right to determine acceptability of plant material submitted for planting.

All plants shall be planted in pits, centered and set on six inches of compacted topsoil to such a depth that the finish grade level, at the plant, after settlement will be the same as that at which the plant was grown. All planting areas shall received adequate fertilization with 'Easy Grow' 3 yr. (1 oz.) fertilizer packets or equivalent. Granular fertilizer will be accepted, but must be approved by Landscape Architect. Please submit specifications.

Application Rates shall be as follows:

Trees:

1-1/2" to 3" cal.: 2 packets, one each side Greater than 3": Add 1 packet per 1" cal. (i.e. 4"- 4 packets)

1 packet for every 12" height or spread. (Space evenly if 2 or more packets required)

Perform all work necessary for installing sod and/or seed as shown on the drawings or inferable therefrom and/or as specified, in accordance with the requirements of the contract documents. Immediately prior to seeding, the ground shall be scarified and raked to a friable fine texture. Lawn areas shall be seeded with a mechanical spreader at the rate as recommended for local conditions. After seeding, all areas shall be raked to satisfactorily cover seed, and then thoroughly watered and covered with treated shredded paper mulch or straw mulch. The methods of seeding may be varied by the contractor by his own responsibility to establish a smooth uniform turf. Hydro mulch embankments that exceed 1:4 slopes.

Seed shall be true to specie as called for on the seeding plan. All seed shall be delivered to the job site in sacks plainly marked and certified as to content.

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Landscape contractor shall water sod immediately after installation to prevent excessive drying during progress of the work. As sodding is completed in any one section, the entire area shall be rolled. It shall then be thoroughly irrigated to a depth sufficient that the underside of the new sod pad and soil immediately below the sod are thoroughly wet.

The landscape contractor shall verify grades established during final soil preparation as being true to finish contours shown, and shall maintain such areas until the effective date to begin sodding and/or seeding operation. In such instances where a split responsibility existing between grading and grassing contractors, it shall be the responsibility of the grassing contractor to maintain a suitable grade for grassing once he has accepted the grade provided to him. In all cases, the ground shall be hand raked immediately prior to being sodded to remove any irregularities in the grade.

Guarantee period for plant materials shall be as follows:

cut sheets for further information.

Lawns (seed & sod)*	3 months
Ground Cover	3 months
Shrubs	12 months
Trees	12 months
Perennials, Roses & Japanese Maples	90 days from installation

*(If lawn is installed in fall and not given full 90 days of guarantee periods, or if not considered acceptable at that time, continue guarantee the following spring until acceptable lawn is established.)

All shrub planting beds to be lined with a minimum of 2-3" shredded bark mulch (no plastic liners). Place mulch at base of all trees (minimum 4' diameter).

A 10/10/10 fertilizer mixture shall be applied at 20#/1000 SF and worked into the lawn bed before seeding or sodding.

Recommended seed mix: Premium 60 grass seed mix - Reinder's (262-786-3300) No-Mow low grow grass seed mix - Reinder's 45% Spartan II Hard Fescue 20% America Kentucky Bluegrass 20% Granite Kentucky Bluegrass 40% Quatro Sheep Fescue 20% Mercury Kentucky Bluegrass 15% Turf Type Annual Ryegrass 20% Longfellow 3 Chewings Fescue Apply at a rate of 175 Pounds per acre. Refer to supplier specification and installation 10% Replicator Perennial Ryegrass 10% Fiesta 4 Perennial Ryegrass cut sheets for further information. Apply at a rate of 175 pounds per acre. Refer to supplier specification and installation

Proposed trees to be staked as required. Verify with Landscape Architect if exposure and wind conditions prevalent.

Any series of trees to be placed in a particular arrangement will be field checked for accuracy. Trees of same species to be matched in growth character and uniformity. Any trees misplaced will be subject to rejection.

Upon acceptance of the landscape installation, the landscape contractor shall supply the Landscape Architect with a complete and adequate maintenance program to be followed during and after the guarantee period. The landscape contractor shall make periodic inspections of the job during the guaranteed period to determine if proper maintenance is being given.

It shall be understood that in accordance with the terms of the guarantee that the landscape contractor must promptly inform the Owner if proper maintenance is not being given to the installation. Such notice shall be in writing, outlining corrective measures to be taken, with a copy to Landscape Architect. At any time during the guarantee period, the landscape contractor shall be required to replace all plants that are dead or in unsatisfactory condition of growth. All replacement plants shall be of like size and kind of the plants removed. Any seed areas over one foot square not covered by turf shall be reseeded by the contractor. Any seed areas over one foot square that are dead or dying shall be replacements included within the guarantee and shall be landscape contractor's expense.

Any alteration to the landscape plan will be submitted to the Project Manager for approval by the Landscape Architect.

Landscape contractors are responsible for making sure all tree balls are moist at the core when trees are installed.

Lawn edges that abut parking lots with no curbing shall be double seeded to a width of 5'.

Pre-Emergent Herbicide (Treflan or Equiv.) to be applied to all plant beds prior to planting for noxious weed control.

The guantities indicated on the material schedule are provided for the benefit of the contractor, but should not be assumed to always be correct. In the even of a discrepancy, the planting plan will take precedence over the material schedule. The contractor shall be responsible for his own quantity calculation and the liability pertaining to those quantities and any related contract documents and/or price quotations.

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH At least seventy-two hours prior to any excavation, contractor shall verify utility location as given by the electric, gas, telephone, water, sewer, and cable companies, utilities or entities. Review with the owner's representative, site mechanical, site electrical and lighting. Site grading and drainage, site irrigation and all other drawings pertaining to underground utility locations record set of information the same as in possession of owner's representative. Also review owner's "mark sets" of all of these drawings in possession of the contractor or owner. Mark all such utilities on the site prior to commencing. Coordinate with the owner before and during construction. Repair any damage to any system that is caused by landscape contractor at no cost to owner.

Deviations from these plans shall be noted on the record drawing by the contractor and only with prior approval of the landscape architect and owner's representative. Verbal agreements of revisions without a change order will not be recognized by the landscape architect and owner.

All plants must be bid and selected per the species specified on the plans. The sizes of plant material listed herein is a minimum acceptable size. Additionally, if excessive pruning reduces the crown and the plant shall be replaced.

All areas that are disturbed during construction and areas not covered with pavement, building, planting beds, or tree pits are to be top soiled 4-6" deep (min.) and shall be sodded/seeded with specified lawn grass. Landscape contractor shall include cost per square yard for additional seed operation as may possibly be required to reestablish adjacent turf grass areas which may become damaged during the construction process or to repair damage done by others.

Contractor is responsible for furnishing all materials, tools, equipment, labor and plants necessary for proper planting and installation of all landscape material.

site conditions.

Where discrepancies occur between the landscape plans and/or architectural and/or civil drawing (and any other site drawings) the discrepancies must be brought to the landscape architect's attention for coordination and resolution.

All diseased, noxious or inappropriate materials shall be removed from the proposed site prior to the start of construction and during the maintenance period.

General contractor shall leave the site free of construction debris.

All lawn and planting areas shall slope to drain a minimum of 2% unless noted otherwise and reviewed with owner's representative for final approval.

Finish grades for shrub and ground cover areas shall be held 1" below top of adjacent pavements and curb, unless noted otherwise on the plans. Refer to planting details for further information.

All perennial, annual, and ground cover areas to receive a blend of organic soil amendments prior to planting. Till the following materials into existing topsoil to a depth of approximately 8". A depth of 12" in tree pits. Proportions and quantities may require adjustment depending on the condition of existing soil. Refer to planting details for further information.

Per every 100 square feet add:

- One 2 Cubic foot bale of peat moss
- 2 pounds of 5-10-5 garden fertilizer
- $\frac{3}{4}$ cubic yard of composted manure

All shrubs to be pocket planted with a 50/50 mix of plant starter and existing soil. Install topsoil into all beds as needed to achieve proper grad. Remove all excessive gravel, clay and stones. Refer to planting details for further information.

Plant all trees slightly higher than finished grade at root flare. Back fill hole with 2/3 existing topsoil and 1/3 peat moss. Avoid any air pockets, discard any gravel, clay or stones. Refer to planting details for further information.

All trees to be installed, staked or guyed according to details. Refer to planting details for further information.

All planting to be watered at the time planting throughout construction and upon completion of project as required.

Protect public from construction barrier and barricades.

Contractor is responsible for all estimating and bidding. All areas, quantities and materials should be field verified with

Plant starter or other composted, organic material

** Premixed soils will be accepted, i.e. Purple Cow, Soil-Life, etc. Please notify Landscape Architect of alternatives used.

Where specified, all plant beds, pits and tree rings are to receive a minimum of 2-3" dressing of shredded hardwood oak bark mulch shavings (or brown enviro-mulch) free of growth, weeds, foreign matter detrimental to plant life or germination inhibiting ingredients. Landscape contractor to provide a sample to owner for approval. Contractor to take care with installation not to damage or cover plants. Refer to planting details for further information.

During the initial 30 day maintenance period the landscape contractor is required to provide an on-going pleasant visual environment whereas any plant which is not responding to transplanting or thriving shall immediately be replaced. New lawns shall be watered and repaired and weeds must constantly be removed. No exceptions will be granted.

Landscape/site demolition contractor to verify locations of existing trees and shrubs to be salvaged and clearly tag them with marking tape and construction fence.

Landscape/site demolition contractor to verify locations of existing trees and shrubs to be relocated. All plant materials to be relocated is to be clearly tagged with marking tape and moved before site demolition is to begin.

Irrigation system to be designed for a overlapping sprinkler head system in all lawn & island areas and a drip system for all foundation planting areas.

Contractor Note:

Before site grading and demolition is to begin for proposed new pavement, the area is to be staked and all trees and shrubs that are to be preserved are to be tagged by landscape architect and relocated by landscape contractor. If required a tree preservation plan will be produced and coordinated with city staff. Demolition contractor to coordinate w/landscape architect, owner and landscape contractor.

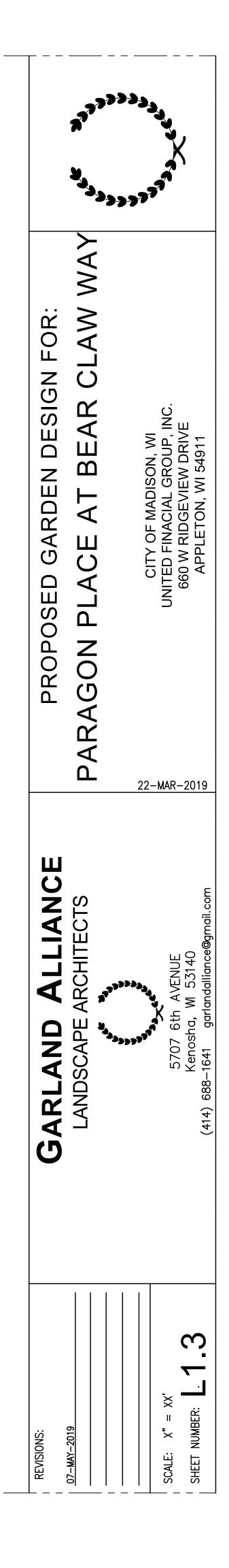
PLANT SCHEDULE

PARAGON PLACE- SHEET L1.3 Building #3 Updated							
					REVISED: 21.FEBRUARY.2019		
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments		
3	Acer griseum	Paperbark Maple	2-1/2"	B&B			
1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6-7'	B&B			
3	Amelanchier x 'Cumulus'	Cumulus' Serviceberry	8-9'	B&B	Multi-trunk		
15	Betula nigra 'Heritage'	Heritage' River Birch	10-12'	B&B			
3	Cornus mas 'Golden Glory'	Golden Glory' Cornealiancherry	7-8'	B&B	Multi-trunk		
2	Crataegus crus galli inermis	Thornless Hawthorn	5-6'	B&B	Multi-trunk		
1	Magnolia x "Ann"	Ann Magnolia	5-6'	B&B			
3	Ostrya virginiana	Ironwood	2-1/2"	B&B			
1	Syringa reticulata	Japanese Tree Lilac	2"	B&B			
1	Picea abies	Norway Spruce	10'	B&B			
4	Pinus sylvestris	Scot Pine	6-7'	B&B	Waterii'		
15	Diervilla sessilifolia 'Coolsplash'	Cool Splash Dwarfbush Honeysuckle	18"	cont.			
15	Diervilla sessilifolia 'Butterfly'	Butterfly' Dwfbush Honeysuckle	18"	cont.			
6	Hydrangea quecifolia 'Sikes'	Sikes' Hydrangea	18"	cont.			
7	Kerria japonica 'Geisha'	Geisha' Kerria	18"	cont.			
9	Rhus aromatica "Gro-low"	Gro-Low Fragrant Sumac	18"	cont.			
5	Rosa rugosa " Purple Pavement'	Purple Pavement' Shrub Rose	18"	cont.			
1	Viburnum x "Juddii"	Judd Viburnum	24-30"	B&B			
1	Viburnum carlesii	Koreanspice Viburnum	24-30"	B&B			
3	Viburnum dentatum "Blue Muffin"	Blue Muffin Viburnum	30-36"	B&B			
	Viburnum dentatum "Chicago						
10	Lustre"	Chicago Lustre Viburnum	3-4"	cont.			
5	Viburnum prunifolium	Blackhaw Viburnum	5-6'	B&B			
	Physocarpus opulifolius "Summer						
6	Wine"	Summer Wine Ninebark	4-Mar	cont.			
42	Buxus x 'Green Mountain'	Green Mountain Boxwood	18"	B&B			
	Juniperus chinensis Pfitzeriana						
8	"Kallays Compact"	Kallays Compact Pfitzer Juniper	24-30"	cont.			
10	Juniperus sargentii viridis	Green Sargent Juniper	24-30"	cont.			
5	Juniperus sargentii var. glauca	Blue Sargent Juniper	24-30"	cont.			
9	Juniperus x "Grey Owl"	Grey Owl Juniper	24-30"	cont.			
2	Picea omorika 'Nana'	Dwarf Serbian spruce	18"	cont.			
10	Taxus x 'Tautonii'	Tuaton Yew	24-30"	B&B			
600	Lamiastrum galeobdolon	Archangel	4-1/2"	32/flat	'Herman's Pride'		
240	Geranium	Perennial Geranium	1 gal	cont.	Bevan's Variety'		
120	Sedum	Assorted	1 gal	cont.	Autumn Fire', Matrona, 'Brilliant' Frosty Morn'		
360	Sedum	Assorted	4-1/2"	cont.	6 cultivars of creeping variety, mixed colors and foliage		
288	Ornamental Grasses	Grasses	1 gal	cont.	90-'Shenandoah,36-Deschampsia, 36-Sesleria autumnali		
	48- Sporobulus-Prairie Dropseed	78-Sporobulus-Prairie Dropseed					
420	Carex glauca	Sedges	1 gal	cont.	Blue Zinger'		

NOTE: The seed mixes for the rain gardens

A blend of native wildflowers, grasses and sedges, designed specifically for damp soils. It can withstand ponding up to 48 hours. This mix will also tolerate periodic dry spells and is perfect for retention ponds, detention basins and drainage areas. It does best in full sun to partial shade. Seed @ 1/4 lb. / 1000 sq. ft. (10 lbs. / acre).

Wildflowers				BLOOM	BLOOM	BLOOM
COMMON NAME:	BOTANICAL NAME:	% of Mix	LIFESPAN	COLOR	HEIGHT	PERIOD
Bergamot (Bee Balm)	Monarda Fistulosa	2%	Perennial	Lavender	2'-4'	July-Sept
Black-eyed Susan	Rudbeckia Hirta	8%	Biennial	Yellow	1'-3'	June-Oct
Blue Vervain	Verbena Hastata	8%	Perennial	Blue	2'-6'	July-Sept
Canadian Milkvetch	Astagalus Canadensis	4%	Perennial	Cream	1'-4'	June-August
Cup Plant	Silphium Perfoliatum	3%	Perennial	Yellow	3'-8'	July-Sept
New England Aster	Aster Novae-Angliae	2%	Perennial	Purple	2'-5'	August-Oct
Ox-eye (False Sunflower)	Heliopsis Helianthoides	4%	Perennial	Yellow	2'-5'	June-Sept
Prairie Blazing Star	Liatris Pycnostachya	2%	Perennial	Purple	2'-4'	July-Sept
Red Milkweed	Asclepias Incarnata	2%	Perennial	Red	3'-5'	June-August
Stiff Goldenrod (Rigid)	Solidago Rigida	4%	Perennial	Yellow	1'-5'	August-Oct
Wild Golden Glow	Rudbeckia Laciniata	3%	Perennial	Yellow	3'-12'	July-Oct
Yellow Coneflower	Ratibida Pinnata	8%	Perennial	Yellow	3'-6'	July-Sept
Native Grass, Sedge	COMMON NAME:	BOTANICAL	NAME:	% of Mix	LIFESPAN	HEIGHT
& Rush Seed:	Big Bluestem	Andropogor	Gerardi	20%	Perennial	3'-8'
Fox Sedge C		Carex Vulpinoidea		10%	Perennial	1'-3'
		Elymus Virg	inicus	20%	Perennial	2'-4'



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1 packet for every 12" height or spread. (Space evenly if 2 or more packets required)

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Perennials, Roses & Japanese Maples	90 days from installation

*(If lawn is installed in fall and not given full 90 days of guarantee periods, or if not considered acceptable at that time, continue guarantee the following spring until acceptable lawn is established.)

All shrub planting beds to be lined with a minimum of 2-3" shredded bark mulch (no plastic liners). Place mulch at base of all trees (minimum 4' diameter).

A 10/10/10 fertilizer mixture shall be applied at 20#/1000 SF and worked into the lawn bed before seeding or sodding.

Recommended seed mix: Premium 60 grass seed mix - Reinder's (262-786-3300) No-Mow low grow grass seed mix - Reinder's 45% Spartan II Hard Fescue 20% America Kentucky Bluegrass 20% Granite Kentucky Bluegrass 40% Quatro Sheep Fescue 20% Mercury Kentucky Bluegrass 15% Turf Type Annual Ryegrass 20% Longfellow 3 Chewings Fescue Apply at a rate of 175 Pounds per acre. 10% Replicator Perennial Ryegrass Refer to supplier specification and installation 10% Fiesta 4 Perennial Ryegrass cut sheets for further information. Apply at a rate of 175 pounds per acre. Refer to supplier specification and installation

Proposed trees to be staked as required. Verify with Landscape Architect if exposure and wind conditions prevalent.

Any series of trees to be placed in a particular arrangement will be field checked for accuracy. Trees of same species to be matched in growth character and uniformity. Any trees misplaced will be subject to rejection.

Upon acceptance of the landscape installation, the landscape contractor shall supply the Landscape Architect with a complete and adequate maintenance program to be followed during and after the guarantee period. The landscape contractor shall make periodic inspections of the job during the guaranteed period to determine if proper maintenance is being given.

It shall be understood that in accordance with the terms of the guarantee that the landscape contractor must promptly inform the Owner if proper maintenance is not being given to the installation. Such notice shall be in writing, outlining corrective measures to be taken, with a copy to Landscape Architect. At any time during the guarantee period, the landscape contractor shall be required to replace all plants that are dead or in unsatisfactory condition of growth. All replacement plants shall be of like size and kind of the plants removed. Any seed areas over one foot square not covered by turf shall be reseeded by the contractor. Any seed areas over one foot square that are dead or dying shall be replacements included within the guarantee and shall be landscape contractor's expense.

Any alteration to the landscape plan will be submitted to the Project Manager for approval by the Landscape Architect.

Landscape contractors are responsible for making sure all tree balls are moist at the core when trees are installed.

Lawn edges that abut parking lots with no curbing shall be double seeded to a width of 5'.

Pre-Emergent Herbicide (Treflan or Equiv.) to be applied to all plant beds prior to planting for noxious weed control.

The guantities indicated on the material schedule are provided for the benefit of the contractor, but should not be assumed to always be correct. In the even of a discrepancy, the planting plan will take precedence over the material schedule. The contractor shall be responsible for his own quantity calculation and the liability pertaining to those quantities and any related contract documents and/or price quotations.

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH At least seventy-two hours prior to any excavation, contractor shall verify utility location as given by the electric, gas, telephone, water, sewer, and cable companies, utilities or entities. Review with the owner's representative, site mechanical, site electrical and lighting. Site grading and drainage, site irrigation and all other drawings pertaining to underground utility locations record set of information the same as in possession of owner's representative. Also review owner's "mark sets" of all of these drawings in possession of the contractor or owner. Mark all such utilities on the site prior to commencing. Coordinate with the owner before and during construction. Repair any damage to any system that is caused by landscape contractor at no cost to owner.

Deviations from these plans shall be noted on the record drawing by the contractor and only with prior approval of the landscape architect and owner's representative. Verbal agreements of revisions without a change order will not be recognized by the landscape architect and owner.

All plants must be bid and selected per the species specified on the plans. The sizes of plant material listed herein is a minimum acceptable size. Additionally, if excessive pruning reduces the crown and the plant shall be replaced.

All areas that are disturbed during construction and areas not covered with pavement, building, planting beds, or tree pits are to be top soiled 4-6" deep (min.) and shall be sodded/seeded with specified lawn grass. Landscape contractor shall include cost per square yard for additional seed operation as may possibly be required to reestablish adjacent turf grass areas which may become damaged during the construction process or to repair damage done by others.

Contractor is responsible for furnishing all materials, tools, equipment, labor and plants necessary for proper planting and installation of all landscape material.

site conditions.

Where discrepancies occur between the landscape plans and/or architectural and/or civil drawing (and any other site drawings) the discrepancies must be brought to the landscape architect's attention for coordination and resolution.

All diseased, noxious or inappropriate materials shall be removed from the proposed site prior to the start of construction and during the maintenance period.

General contractor shall leave the site free of construction debris.

All lawn and planting areas shall slope to drain a minimum of 2% unless noted otherwise and reviewed with owner's representative for final approval.

Finish grades for shrub and ground cover areas shall be held 1" below top of adjacent pavements and curb, unless noted otherwise on the plans. Refer to planting details for further information.

All perennial, annual, and ground cover areas to receive a blend of organic soil amendments prior to planting. Till the following materials into existing topsoil to a depth of approximately 8". A depth of 12" in tree pits. Proportions and quantities may require adjustment depending on the condition of existing soil. Refer to planting details for further information.

Per every 100 square feet add:

- One 2 Cubic foot bale of peat moss
- 2 pounds of 5-10-5 garden fertilizer
- $\frac{3}{4}$ cubic yard of composted manure Plant starter or other composted, organic material

All shrubs to be pocket planted with a 50/50 mix of plant starter and existing soil. Install topsoil into all beds as needed to achieve proper grad. Remove all excessive gravel, clay and stones. Refer to planting details for further information.

Plant all trees slightly higher than finished grade at root flare. Back fill hole with 2/3 existing topsoil and 1/3 peat moss. Avoid any air pockets, discard any gravel, clay or stones. Refer to planting details for further information.

All trees to be installed, staked or guyed according to details. Refer to planting details for further information.

All planting to be watered at the time planting throughout construction and upon completion of project as required.

Protect public from construction barrier and barricades.

Contractor is responsible for all estimating and bidding. All areas, quantities and materials should be field verified with

** Premixed soils will be accepted, i.e. Purple Cow, Soil-Life, etc. Please notify Landscape Architect of alternatives used.

Cont

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sing of shredded hardwood	
detrimental to plant life or or approval. Contractor to take nformation.	1337
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July-Sept June-August July-Sept August-Oct June-August August-Oct July-Sept July-Sept July-Sept July-Sept	

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ivings (or brown ing ingredients. I	enviro-mulch) free of gro Landscape contractor to	wth, w provide	eeds, foi a sampl	eign matter detrimental to plant life or e to owner for approval. Contractor to t	J.	
) day maintenand	ce period the landscape o	ontract	tor is rec	uired to provide an on-going pleasant	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	}7 7'
tape and constru-	uction fence. or to verify locations of e	xisting	trees and	shrubs to be relocated. All plant mater	For: LAW W	
be designed for ting areas.	a overlapping sprinkler h	iead sys	stem in a	ll lawn & island areas and a drip system		
and demolition i be preserved are servation plan w ect, owner and la FSCH	<text><text><text></text></text></text>		ARDEN DESIG	Y OF MADISON, WI		
tanical Name Ichier x 'Cumulus'	Common Name	Size	Root Cnd	REVISED: 16.March.2019 REVISED:1.MAY.2019 Comments	Q Q	CITY
s glabra 'JN Select' eer triflorum ccharum 'Bonfire'	Early Glow Buckeye Three-flower Maple	2-1/2" 2-1/2"	B&B B&B			CIT
x A. Platanoides 'JFS'	· ·				DS Id	
n x A. Plat. 'Keithsform' nigra 'Heritage' is x 'Young Lady'	Heritage River Birch Young lady Smokebush	8-10' 6-7'	B&B B&B			
us alternifolia fornus mas us phaenopyrum	Corneliancherry Dogwood	6-7'	B&B	Multi-trunk		
us dioicus 'Espresso' s dioica 'McKBranched' elis vernalis 'Diana'	Decaf Kentucky Coffeetree	2-1/2"	B&B	יאיטונו-נדערוא		
dium miconiodes rix decidua on tuliperfa 'arnold'	Seven Son flower American Larch	6-7' 6-7'	B&B B&B			
gnolia 'Ann' alus x 'Tina' nacrocarpa x robur	Ann Magnolia	4-5'	B&B		,	
Clemons' s meuhlenbergii s robur x bicolor	Chinkapin Oak	2-1/2"	B&B			22-1
reticulata 'Elliott' (alba 'Tristis' lium distichum	Snowcap Japanese Tree Lilac Niobe Weeping Willow	6-7' 2-1/2" 7-8'	B&B B&B B&B	Multi-trunk		
ericana 'Kromm' hinensis 'Trautman'	Trautman Juniper	4-5'	B&B B&B			
giniana 'Cupressifolia' ea omorika tsuga menziesii icea abies	Serbian Spruce Douglas Fir	6-7' 6-7'	cont. B&B			
icea abies uca var. densata ifolia 'Brilliantissima'	Black Hills Spruce	6'	B&B		S N N	
elancarpa 'Morton' mel. 'Low Scape'	Iroquois Beauty Black Chokeberry	24"	cont.			
ericea var. baileyi a paniculata 'Jane' a quercifolia 'Sikes'	Bailey Redtwig Dogwood Little Lime Hydrangea Sikes Hydrangea	36" 18" 18"	cont. cont. 3 gal.		 , ⊑	
a pennsylvanica s op. 'Kodiak Orange' us op. 'Kodiak Red'	Kodiak Orange Ninebark Kodiak Red Ninebark	24" 24"	cont. cont. cont.			
rpus op. 'Seward' icus canadensis patula 'Palabin' rugosa 'Hansa'	American Elderberry Dwarf Korean Lilac	36" 24"	cont. 3 gal			a de la compañía
rugosa 'Hansa' a 'Purple Pavement' matica 'Gro-Low' um prunifolium	Purple Pavement Shrub Rose Gro Low Sumac	18" 18"	cont. 3 gal			>>>>?
carlesii 'J.N. Select A" dentatum 'Christom' florida 'Fine Wine'	Spice Island Koreanspice Vib. Blue Muffin Viburnum	24-30" 30-36"	3 gal cont.			
us x 'Grey Owl' us x 'Sea Green' s sargentii glauca	Sea Green Juniper Blue Sargent Juniper	24-30" 24-30"	cont. cont.			
chinensis 'Old Gold' ninensis' Pfitz. Kallay' chinensis 'Gold Tip'	Kallays Compact Juniper	24-30"	cont.			
uifolium 'Compactum' omorika 'Nana' nugo var. pumillo	Dwarf Serbian spruce	18"	cont.		U	
nugo var. pumilio odendron x PJM us x 'Everlow' rrum galeobdolon	PJM Rhododendron Everlow Yew	18" 18"	B&B B&B	18/flat		
Hosta m 'Herman's Pride' ope muscari	Blue Cadet' and 'Stained Glass' Archangel	4.5 4.5"	cont. cont.	4 flats of each cultivar		
dum Mosaic auca 'Blue Zinger' mental Grasses	Additional schedule to follow Blue Zinger Carex	4.5" 2.5"	cont. cont.	12/flat 32/flat		
N A blend of nati can withstand perfect for rete to partial shad Wildflowers COMMON NAME: Bergamot (Bee Ba Black-eyed Susan Blue Vervain Canadian Milkvetcl Cup Plant	IOTE: The seed mixes f ive wildflowers, grasses and so ponding up to 48 hours. This ention ponds, detention basins e. Seed @ 1/4 lb. / 1000 sq. f BOTANICAL NAME: Monarda Fistulosa Rudbeckia Hirta Verbena Hastata h Astagalus Canadensis Silphium Perfoliatum	or the nix will a and drait. (10 lbs	rain gare esigned sp lso tolerat inage area . / acre). IFESPAN Perennial Perennial Perennial Perennial Perennial	dens pecifically for damp soils. It e periodic dry spells and is s. It does best in full sun BLOOM COLOR HEIGHT 2'-4' Yellow Blue 2'-6' July-Sept July-Sept July-Sept Yellow 3'-8' July-Sept July-Sept July-Sept	REVISION	
New England Aste Ox-eye (False Sun Prairie Blazing Sta Red Milkweed Stiff Goldenrod (Ri Wild Golden Glow Yellow Coneflower Native Grass, S & Rush Seed:	flower) Heliopsis Helianthoides r Liatris Pycnostachya Asclepias Incarnata gid) Solidago Rigida Rudbeckia Laciniata Ratibida Pinnata Sedge COMMON NAME: Big Bluestem Fox Sedge Car	4% 2% 2% 4% 3%	idea	Purple2'-5'August-OctYellow2'-5'June-SeptPurple2'-4'July-SeptRed3'-5'June-AugustYellow1'-5'August-OctYellow3'-12'July-OctYellow3'-6'July-SeptOf MixLIFESPANHEIGHT20%Perennial1'-3'PowPerennial2'-4'	REVISIONS: 01 - MAY - 2019 07 - MAY - 2019	

