

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District 9

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # 54804 **CITY OF MADISON**

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 7043 Tree Lane, Madison, Wisconsin 53717

Title: Capri Senior Communities - Tree Lane Development (Lot 2)

MAY 8 2019

10:55 AM JC

Planning & Community & Economic Development

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested June 26, 2019

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Amy Schoenemann
Street address 20875 Crossroads Circle, Ste 400
Telephone (262) 798-1224

Company Capri Senior Communities
City/State/Zip Waukesha, WI 53186
Email aschoenemann@capricommunities.com

Project contact person Eric Harrmann
Street address 1414 Underwood Ave
Telephone (414) 431-3131

Company AG Architecture
City/State/Zip Wauwatosa, WI 53213
Email erharr@agarch.com

Property owner (if not applicant) Livesey Company/West Place Five LLC
Street address 2248 Deming Way Suite 200
Telephone 608-833-2929
City/State/Zip Middleton, WI 53562
Email aweis@liveseyco.com

5. Required Submittal Materials

- Application Form
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans (Refer to checklist on Page 4 for plan details)
- Filing fee *As part of LUT*
- Electronic Submittal*

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.


For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jane Glaser on 12/13/2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Amy Schoenemann - Agent for owner Relationship to property Developer

Authorizing signature of property owner  Date 5-7-19
John F. Civesey, President

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Wednesday, May 8, 2019

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

Attention: Sydney Prusak

Re: Rezoning and Development Approval for 7043 Tree Lane, Capri Senior Communities

Dear Members of the Urban Design Commission, Plan Commission, and Common Council:

Please accept this Letter of Intent, Application and plans as our formal request for approval to rezone the above listed property from Suburban Employment (SE) to Commercial Corridor-Transitional (CC-T) and to develop a 272,075 square foot senior development which will include a mix of independent, assisted living units, and senior living amenity spaces. In addition to the rezoning, we are requesting approval of the following conditional uses for Dwelling Units in Mixed-Use Buildings:

1. Building including more than 24 units;
2. Building with a street-facing width of more than forty feet with less than 75% ground floor non-residential uses;
3. First floor with less than 75% ground floor uses.

Team

Developer: Capri Senior Communities
20875 Crossroads Cir., Suite 400
Waukesha, WI 53186
Amy Schoenemann
aschoenemann@capricommunities.com

Architect: AG Architects
1414 Underwood Avenue, #301
Wauwatosa, WI 53213
Eric Harrmann
erharr@agarch.com

Civil Engineer: D'Onofrio Kottke and Associates, Inc.
7350 Westward Way
Madison, Wisconsin 53717
Bruce Hollar
bhollar@donofrio.cc

Landscape Architect: D'Onofrio Kottke and Associates, Inc.
7350 Westward Way
Madison, Wisconsin 53717
Matt Saltzberry
msaltzberry@donofrio.cc

Existing Conditions

The currently vacant site is located on Tree Lane directly north of the Livesey Company's Navitus Campus and abutting the Tamarack Trails Condominium development to the west. The Livesey Company owns the two adjacent commercial retail buildings to the east and south east that include Paul Mitchell School, KJ's Curry Bowl, Orthodontic Specialists, A Breed Apart Animal Hospital, Madison Metropolitan School District Offices, La Petite Academy, and Midwest Dental.

Staff and Neighborhood Input

The Development team first met formally with city staff on October 22, 2018 and has continued to consult with them regularly either at in-person meetings or via email or phone. The development team met directly with representatives of the Tamarack Trails Neighborhood Association on two occasions. Two neighborhood meetings were held, the first on December 13, 2018 and the second on March 18, 2019.

Project Overview

The five-story development will include 150 independent living units and 32 assisted living units, some of which will be located in a secure memory care unit. The development will include a restaurant, café, and wellness center to serve residents and their friends, family and guests from the neighborhood. Outdoor amenities include a landscaped terrace and greenspace located to the rear of the building as well as a rooftop terrace on the fifth floor with views to the north and east.

The development will face an internal street, half of which will be upgraded to city street standards as part of this development. The remaining half will be upgraded to city street standards when the property to the east is redeveloped.

Relevant City of Madison Planning Documents

The designated land use indicated in the comprehensive plan, Imagine Madison, is Community Mixed Use (CMU). The goal of CMU is to encourage a relatively high-intensity mix of residential, retail, office, institutional, and civic uses, generally located adjacent to a major transportation corridor. Buildings may be two to six stories and have a density of 130 units per acre.

Project Schedule

Construction will begin the fall of 2019 and end Spring of 2021 with an opening tentatively scheduled for April 2020.

Sustainability

Buildings will be built to high energy efficiency standards, including insulation, HVAC, and LED lighting. The development team will consult with Focus on Energy to ensure the project capitalizes on any other available technologies.

The storm water management requirements for this development are significant. An integrated approach utilizing a variety of best storm water management practices is necessary to meet the quantitative and qualitative requirements. These site and landscape features are both functional and aesthetic enhancements for the development. The plant palette will feature species native to Wisconsin.

Lot Coverage

- Total Lot Area = 128,640 square feet
- Impervious (Lot Coverage) = 77,500 square feet
- Pervious = 51,140 square feet

Operations

Management Plan

See attached

Transportation

The transportation needs and options for Capri's residents vary based on the distinct populations served within the building. A lower level parking structure is offered for independent living that choose to bring their own vehicle to the community. Traditionally, assisted living residents do not bring a vehicle from home but can be accommodated depending on resident capability. A 10-12 person, Capri branded, passenger van will provide transportation to residents for local activities, grocery shopping, appointments, and other events as requested by residents. Family members also provide an active role in transporting residents to local destinations, primarily medical appointments for assisted living and memory care residents. A visitor entrance with drop-off canopy is provided to accommodate the ease of this activity.

Fire Evacuation

See attached

Public Subsidy

None

We look forward to working with the city to develop a quality high-density, mixed-use senior development that will allow west side residents, including those living in the adjacent Tamarack Trails Condominiums, to age in place. We urge staff, Plan Commission, and Common Council to review this project with a broader perspective that takes into account the design, economic feasibility, and, most importantly, the overall benefit this project will bring to the West Side of Madison.

Regards,

Amy Schoenemann

Attachments

Management Plan

MANAGEMENT PLAN

About Capri Senior Communities

Based in Waukesha, Wisconsin, we at Capri pride ourselves on being able to offer hands-on management and care for every community that our seniors call "home".

Every community is designed to provide for the unique needs and desires of today's seniors so they can live as independently as possible. Our levels of care range from Independent Living (IL) to Assisted Living (AL) to Memory Care.

Because our priority is to help seniors experience life in a carefree, safe and comfortable way, we have developed several unique programs to support their needs. The Enhanced Services Program (ESP) provides supportive services to residents in Independent Living communities, enabling seniors to receive the care they need without having to move. Second, the Gain and Retain your Overall Wellness (GROW) program focuses on residents' quality of life including programs on social, intellectual, spiritual, emotional, and physical well-being.

Seven years ago, Capri had 50 employees and 13 communities. Today, we employ over 600 people and operate and manage 22 communities. We not only provide health care, we manage in-house dining programs and numerous other wellness related programs.

Madison Operations

The new Madison campus will incorporate all of these components into the campus plan. The on-site management of the new campus in Madison will consist of the following staffing plan:

- Executive Director, Assistant Executive Director
 - Responsible for the day-to-day management of the building
- Healthcare Staff
 - 24/7 health care staffing responsible for the direct care of the residents
- Dietary Manager, Line Cooks, Dietary Aides, and Wait Staff
 - Dining program feeds 3 meals / day to Assisted Living and Memory Care
 - Provides IL meals and catering for events and activities in the building
- Part-time Nurse Manager, LPN
 - Oversees care and care plan for Assisted Living and Memory Care programs
- Memory Care Activity Manager, IL Activities Coordinator
 - Memory Care specific activities that promote wellness
 - Responsible for activities to engage residents
- Marketing / Community Relations Manager (CRM)
 - Responsible for marketing and leasing
- Maintenance
- Housekeeping
- Receptionist

Overall the campus will employ 40-45 FTEs. The staff at this campus will also be fully supported by Capri regional and home office personnel. Due to the regulations associated with the CBRF license, the Assisted Living and Memory Care components are staffed 24/7 with 2-3 healthcare staff working 3rd shift.

Food and supply deliveries occur 5-7 times per week during business hours. Deliveries occur on box trucks; there are no semi-truck deliveries at our buildings.

Due to the use of the building, we do get ambulances that respond to our buildings to emergency and non-emergency calls. Generally, we receive 1-2 visits per week, the majority of which are non-emergency. We have EMT agreements that will be put in place to respond to calls without lights or sirens in non-emergency situations.

CIVIL ENGINEER
**D'Onofrio Kottke
 and Associates**
 7530 Westward Way
 Madison, WI
 608.833.7530

TREE LANE DEVELOPMENT

Senior Living Community
Madison, Wisconsin

SHEET INDEX

ARCHITECTURAL

- G000 COVER SHEET
- G220 1" = 20'-0" SITE PLAN
- G221 SITE CONTEXT MAP
- G222 NEIGHBORHOOD CONTEXT
- A200 1/16' LOWER LEVEL FLOOR PLAN
- A201 1/16' FIRST FLOOR PLAN
- A202 1/16' SECOND FLOOR PLAN
- A203 1/16' THIRD FLOOR PLAN
- A204 1/16' FOURTH FLOOR PLAN
- A205 1/16' FIFTH FLOOR PLAN
- A500 1/8" EXTERIOR ELEVATIONS
- A501 1/8" EXTERIOR ELEVATIONS
- A502 1/8" EXTERIOR ELEVATIONS
- A503 1/8" EXTERIOR ELEVATIONS
- A600 TYPICAL WALL SECTIONS

CIVIL

- C001 EXISTING CONDITIONS
- C100 DEMOLITION PLAN
- C200 SITE PLAN
- C300 SITE GRADING & EROSION CONTROL PLAN
- C400 SITE UTILITY PLAN
- C500 SITE DETAILS
- C501 SITE DETAILS
- C600 FIRE ACCESS PLAN

LANDSCAPE

- L101 LANDSCAPE PLAN
- L102 LANDSCAPE PLAN
- L103 LANDSCAPE PLAN
- L104 LANDSCAPE PLAN
- L105 LANDSCAPE PLAN

DEVELOPMENT CONSULTANT

Capri Communities
 20875 Crossroads Cir., Suite 400
 Waukesha, WI 53186



RENDERING IS REPRESENTATIVE ONLY... SEE DOCUMENTS FOR SPECIFIC DETAILS

SCHEMATIC DESIGN

THIS SET OF DOCUMENTS IS INTENDED TO ESTABLISH THE SCOPE OF THE PROJECT AND THE QUALITY AND QUANTITY OF THE PRODUCTS BEING USED.

IT DOES NOT ADDRESS ALL STRUCTURAL AND CONSTRUCTION MATERIALS AND DETAILS, NOR DOES IT INCLUDE IN-DEPTH REQUIREMENTS FOR FABRICATION AND INSTALLATION. THESE ARE ASSUMED TO BE STANDARD MATERIALS AND CONSTRUCTION PRACTICES.

ALL WORK IS ASSUMED TO BE DONE IN A WORKMANLIKE MANNER CONSISTENT WITH THE HIGHEST LEVEL OF QUALITY.

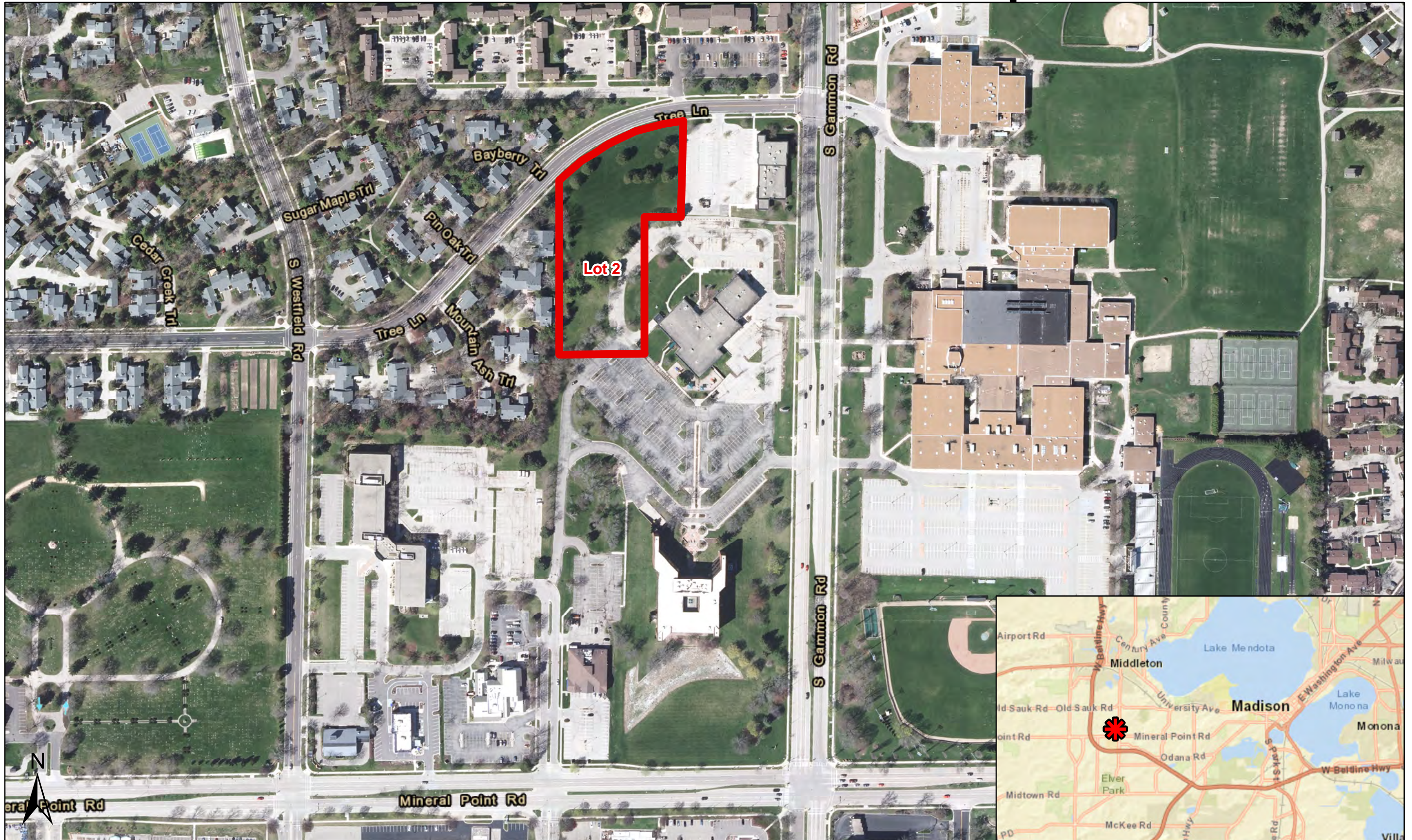
PRODUCTS ARE IDENTIFIED BOTH IN PLANS AND IN THE SPECIFICATIONS AND IT IS NECESSARY TO USE EACH IN CONJUNCTION WITH THE OTHER.

AG PROJECT NUMBER: 181801
DATE: 06 MAY 2019

 **AG Architecture**
A Sense of
Community

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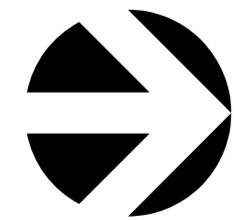
Tree Lane - Lot 2 Context Map



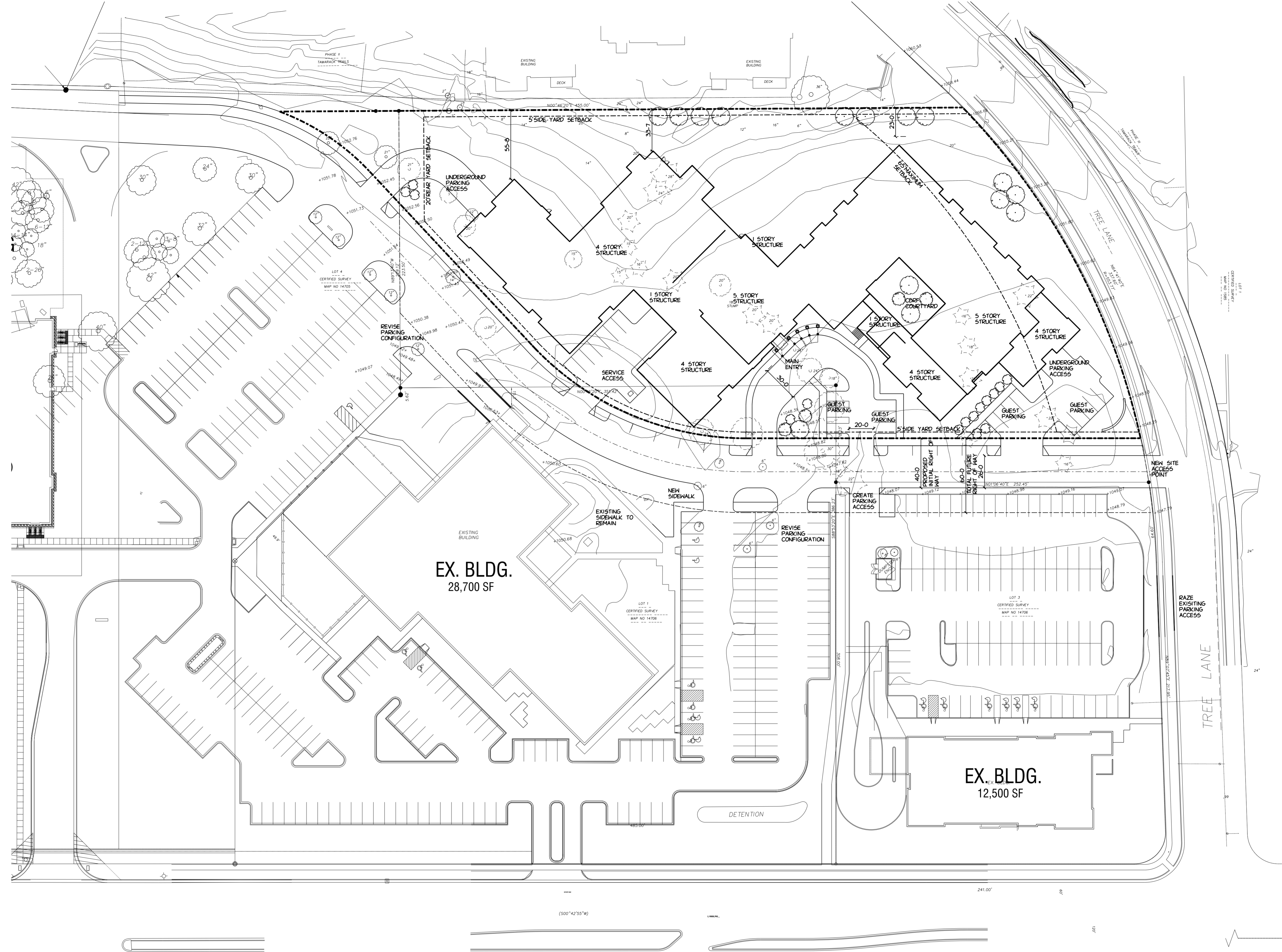
*Tree Lane Lot 2 Outline is an approximation based on the Jan. 2018 CSM

0 500 1,000 2,000 Feet

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 USING: CENTER LINE DIMENSIONS (CENTER LINE DIMENSIONS)



**SCALE
1:40**



TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
WWW.AGARCH.COM

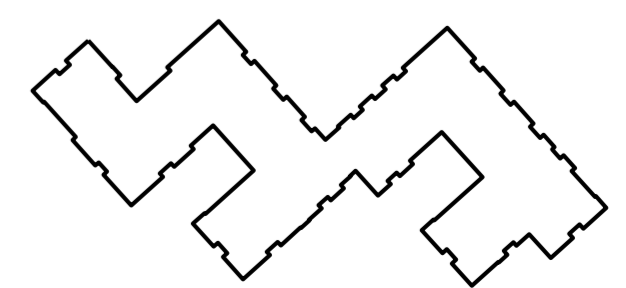
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Engineering
Planning

REVISIONS

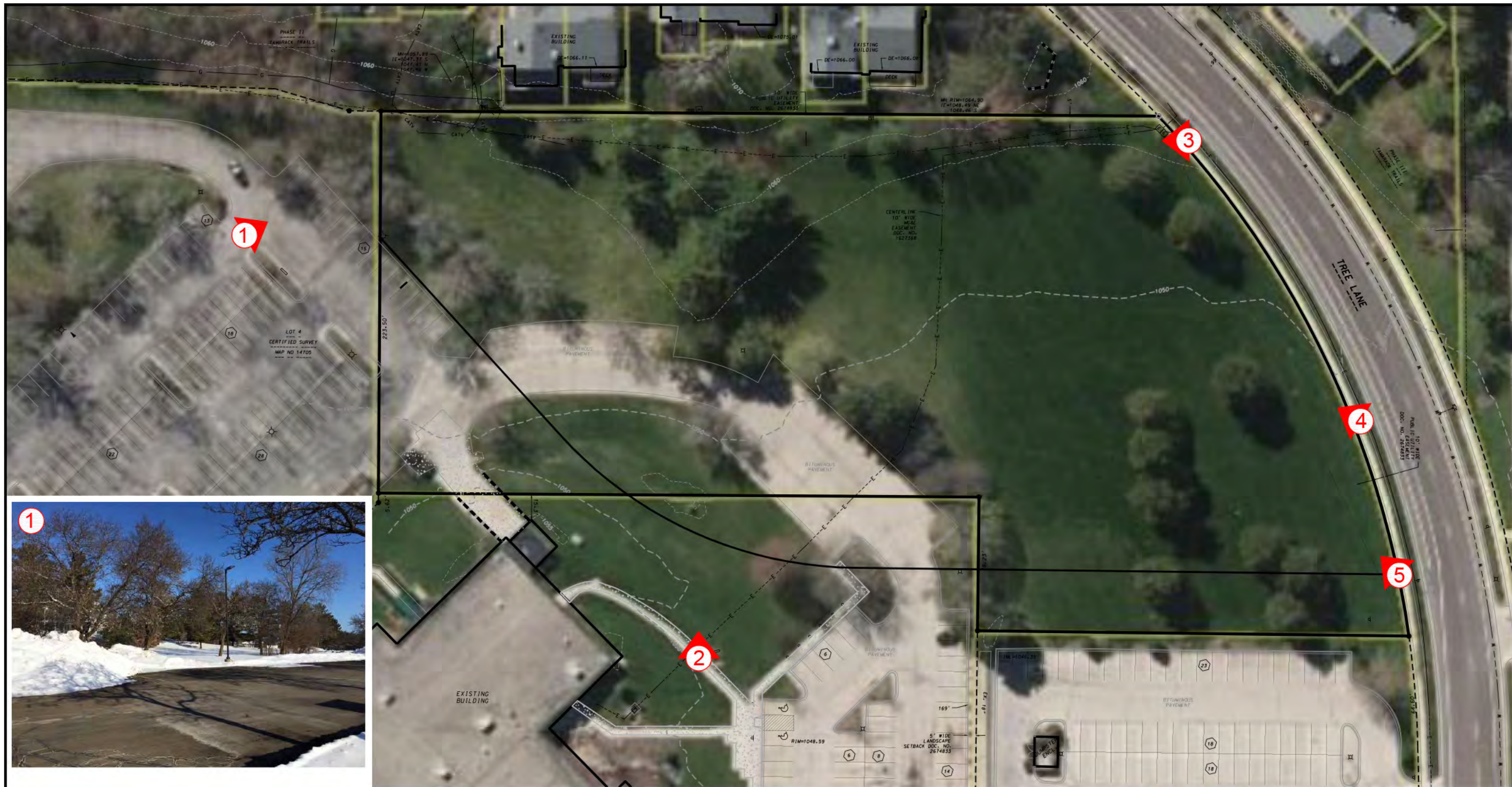
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SITE PLAN G220



D'ONOFRIO KOTTME AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SENIOR LIVING DEVELOPMENT

CITY OF MADISON, DANE COUNTY, WISCONSIN



0 60'

DATE: 02-19-19
 REVISED: REV # DR #

DRAWN BY: DRS



NAVITUS DEVELOPMENT



TAMARACK TRAIL



WEXFORD RIDGE



NEIGHBORHOOD CONTEXT G222

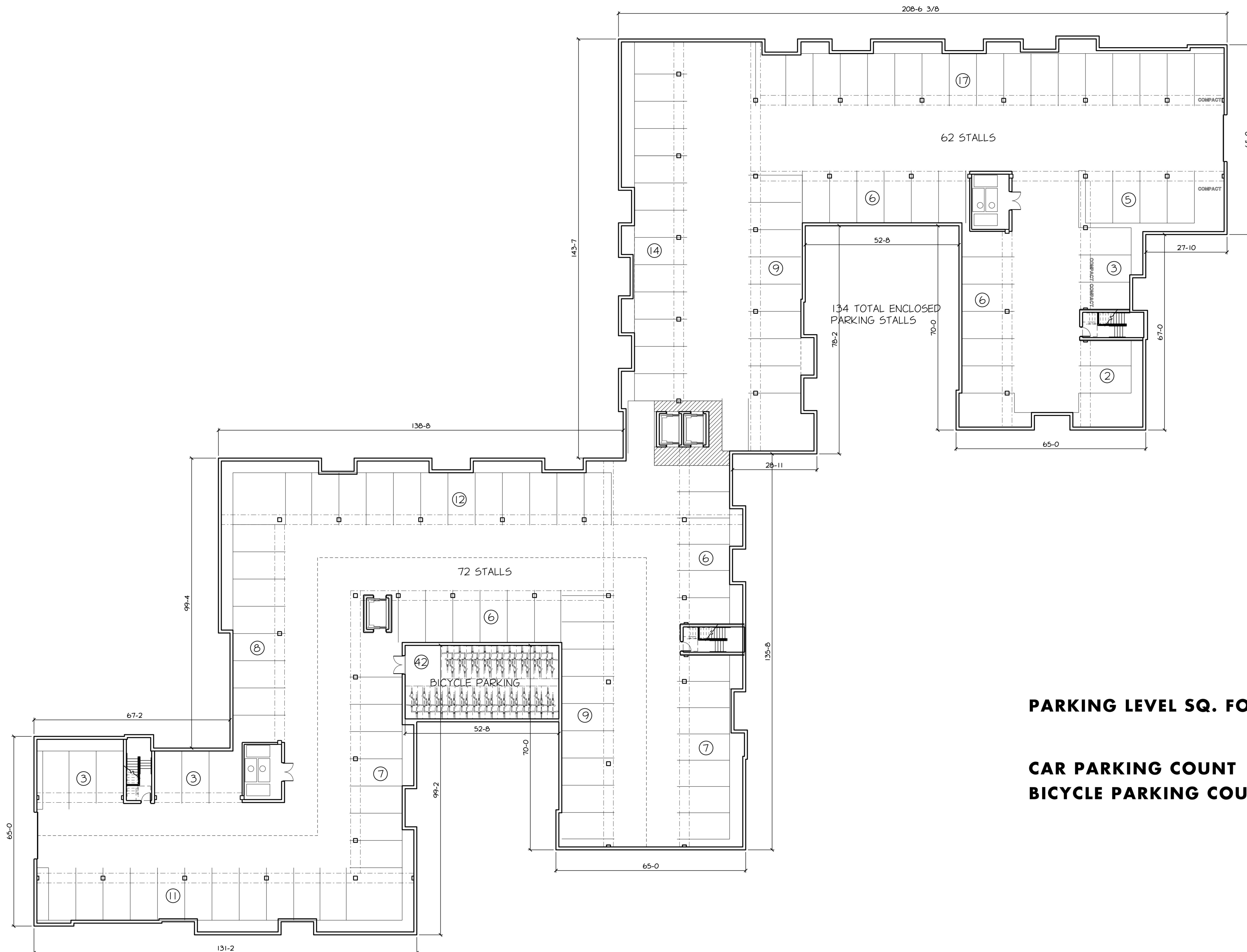
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414.631.3131 TEL
414.631.6331 FAX
WWW.A2AARCH.COM
ARCHITECTURE
ENGINEERING
PLANNING

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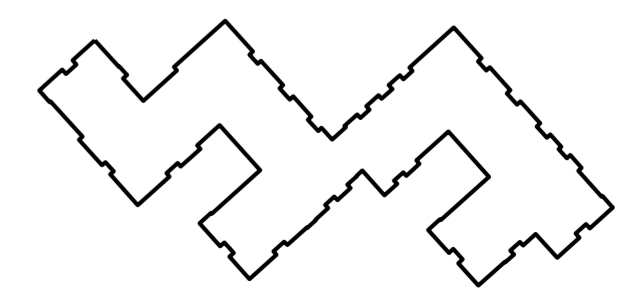
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PARKING LEVEL SQ. FOOTAGE 48,650

CAR PARKING COUNT 134

BICYCLE PARKING COUNT 42



1/16" LOWER LEVEL FLOOR PLAN A200

TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin



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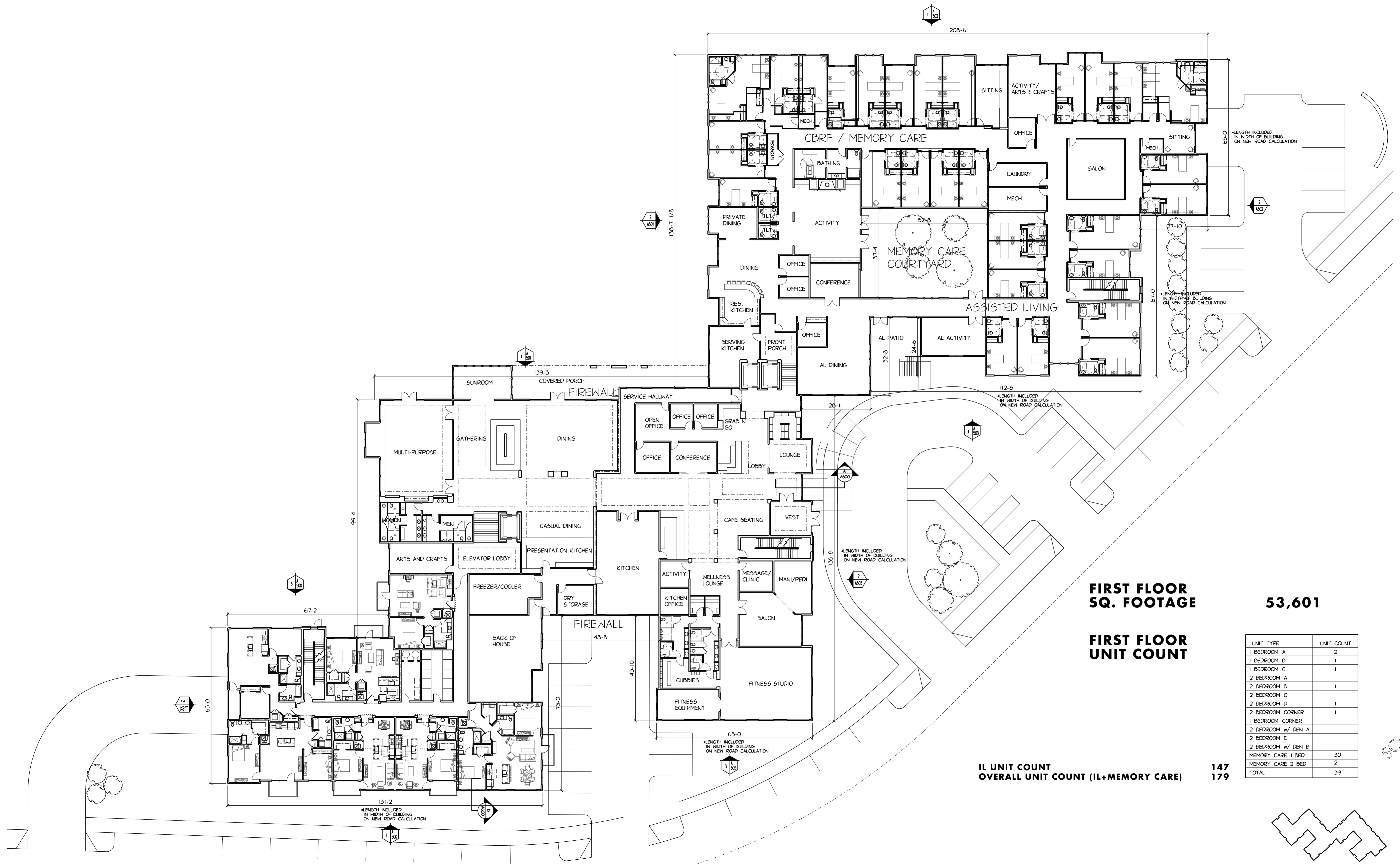
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DRAWING LIMIT LINE

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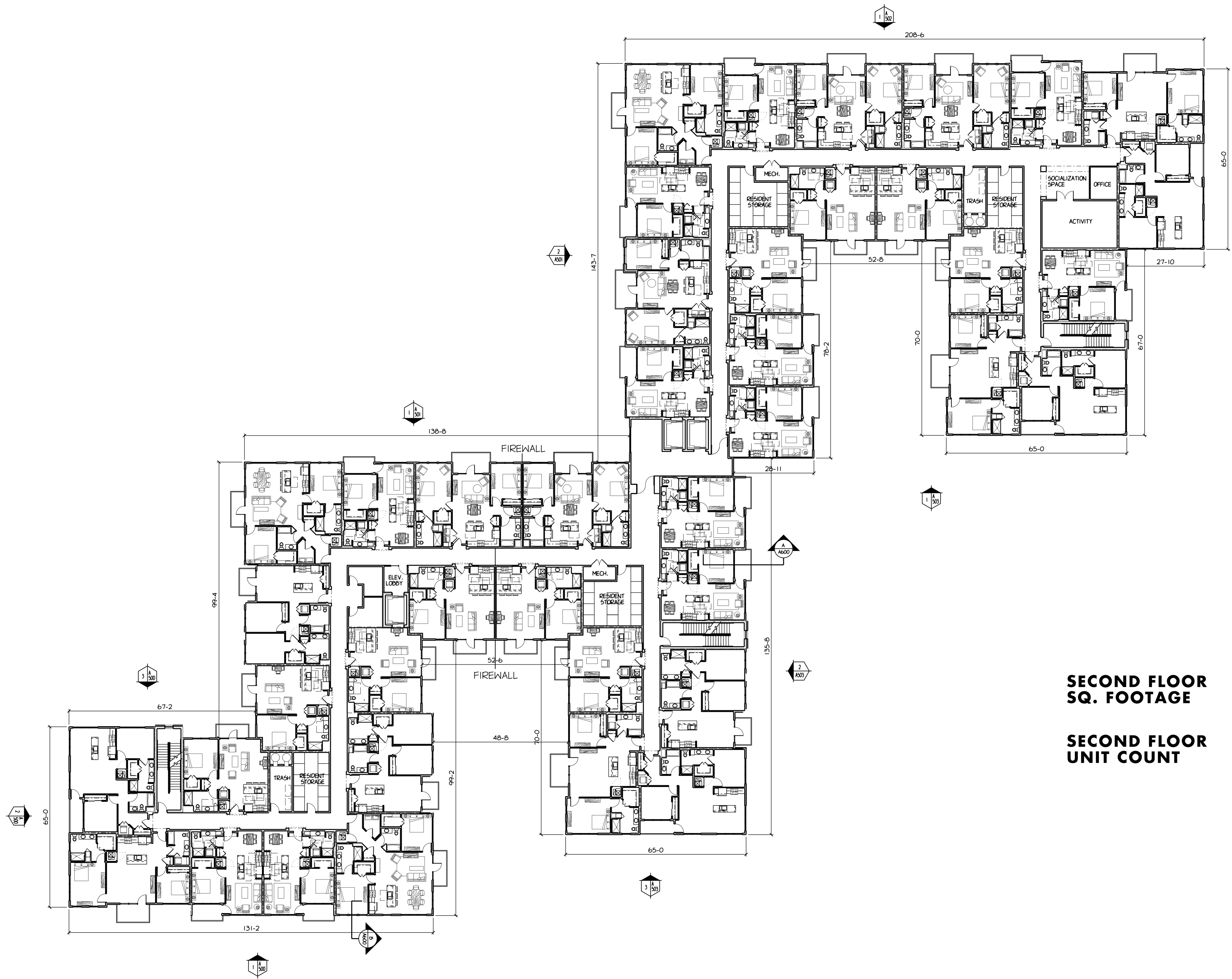
**FIRST FLOOR
 SQ. FOOTAGE** 53,601

**FIRST FLOOR
 UNIT COUNT**

**117 UNIT COUNT
 OVERALL UNIT COUNT (IL+MEMORY CARE)**

UNIT TYPE	UNIT COUNT
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1 BEDROOM B	1
1 BEDROOM C	1
2 BEDROOM A	
2 BEDROOM B	1
2 BEDROOM C	
2 BEDROOM D	1
2 BEDROOM CORNER	1
1 BEDROOM CORNER	
2 BEDROOM w/ DEN A	
2 BEDROOM E	
2 BEDROOM w/ DEN B	
MEMORY CARE 1 BED	30
MEMORY CARE 2 BED	2
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SECOND FLOOR SQ. FOOTAGE 48,557

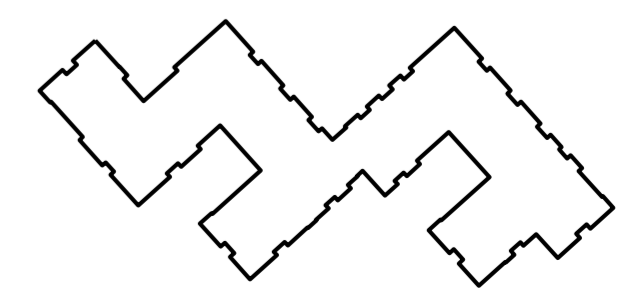
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UNIT TYPE	UNIT COUNT
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1 BEDROOM B	5
1 BEDROOM C	5
2 BEDROOM A	3
2 BEDROOM B	4
2 BEDROOM C	5
2 BEDROOM D	4
2 BEDROOM CORNER	3
1 BEDROOM CORNER	
2 BEDROOM w/ DEN A	
2 BEDROOM E	
2 BEDROOM w/ DEN B	
TOTAL	41

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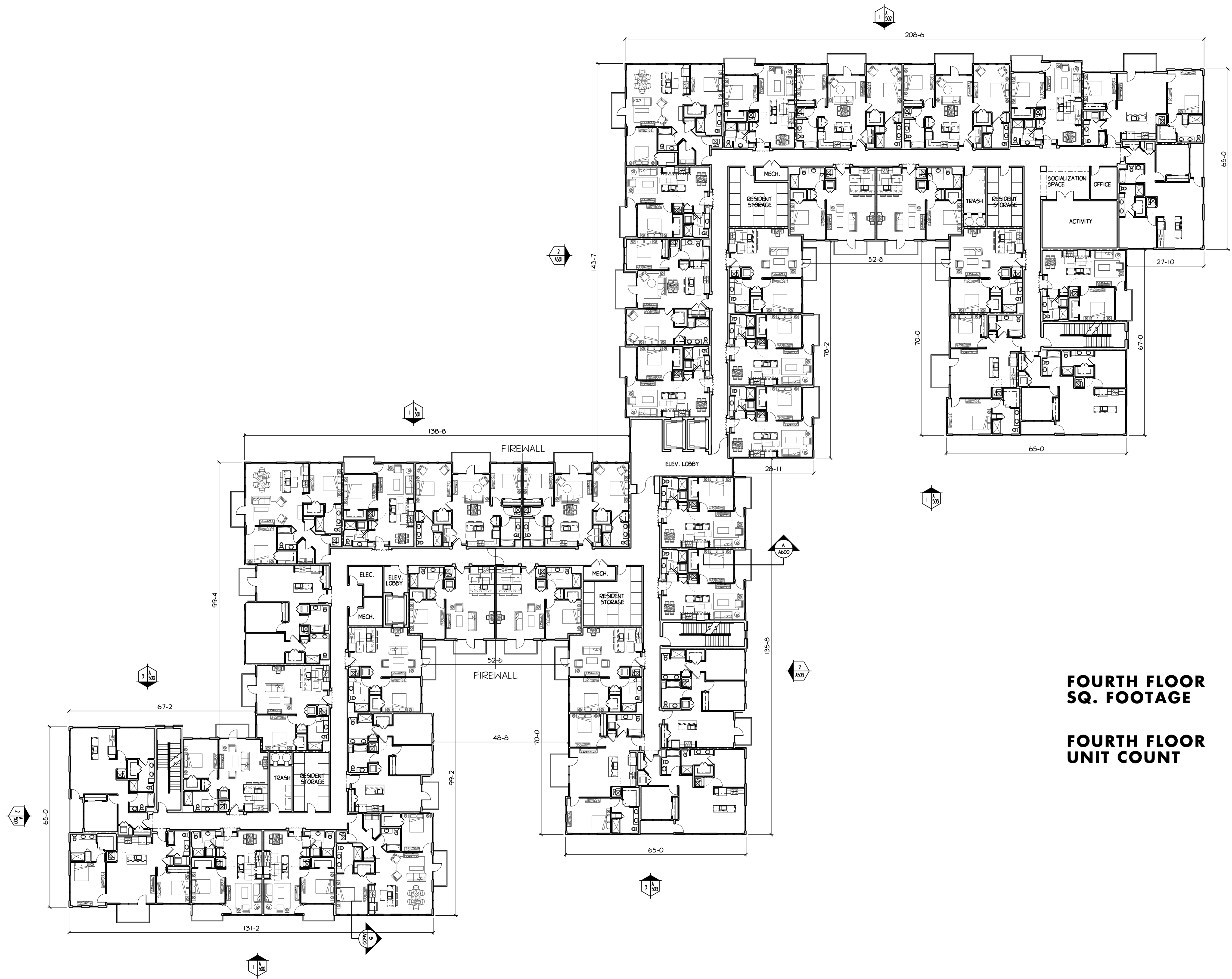
TREE LANE DEVELOPMENT
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1/16" SECOND FLOOR PLAN A202

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**FOURTH FLOOR
SQ. FOOTAGE**

48,557

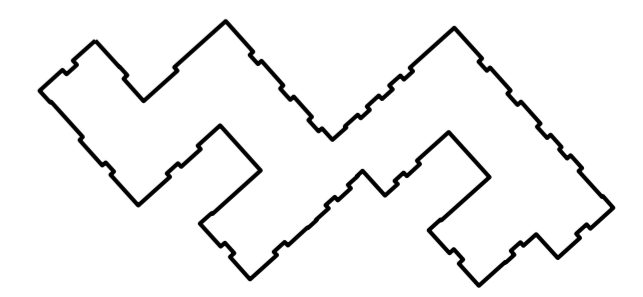
**FOURTH FLOOR
UNIT COUNT**

UNIT TYPE	UNIT COUNT
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1 BEDROOM C	5
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2 BEDROOM B	4
2 BEDROOM C	5
2 BEDROOM D	4
2 BEDROOM CORNER	3
1 BEDROOM CORNER	
2 BEDROOM w/ DEN A	
2 BEDROOM E	
2 BEDROOM w/ DEN B	
TOTAL	41

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1/16" FOURTH FLOOR PLAN A204

TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison
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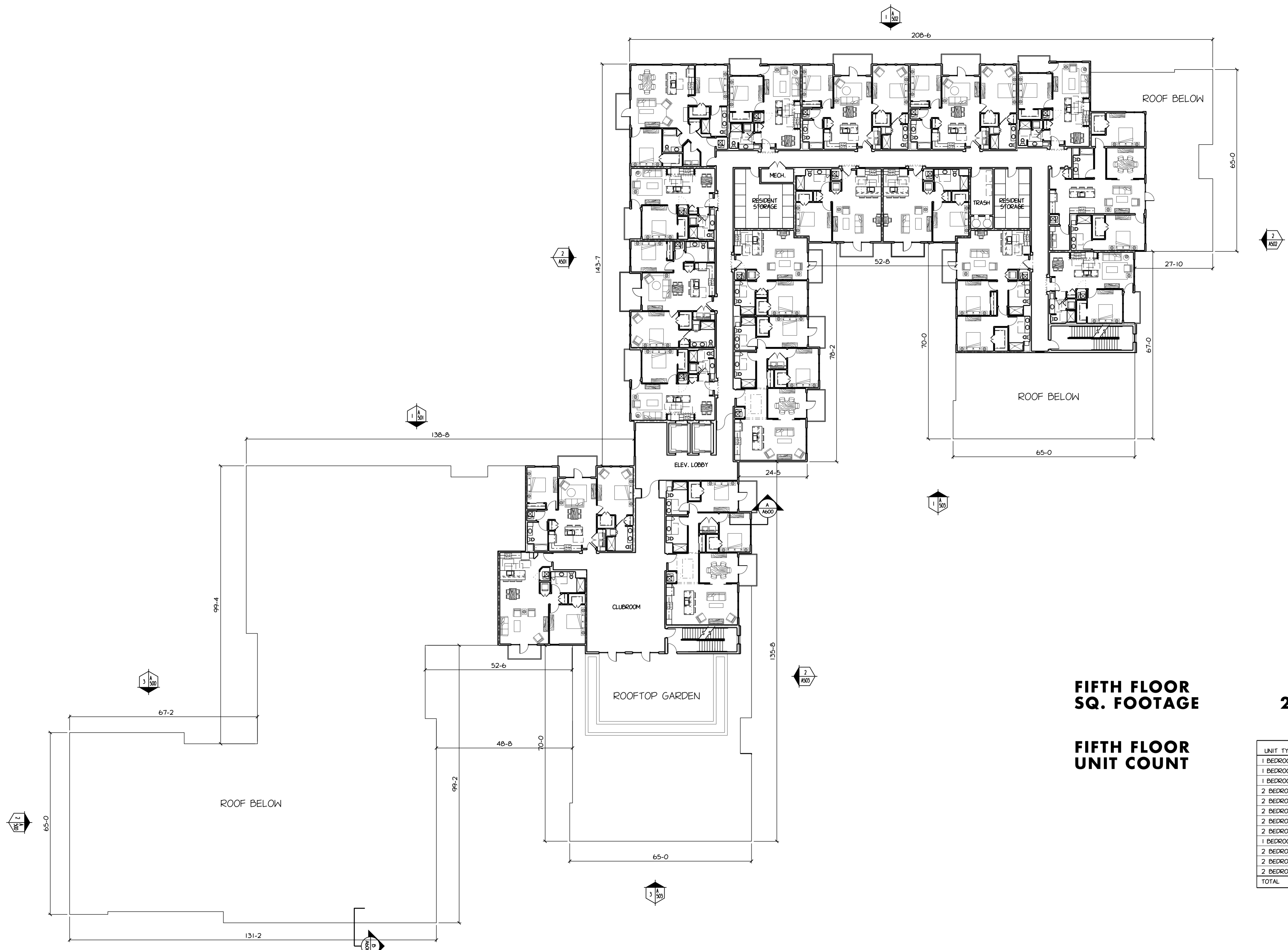
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 PROJECT
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 SHEET NO.

PLOT PARAMETERS: FILE: \\1\BIB\CAD\CON\A205.DWG
 PLOTTED ON: 5/6/2019 9:54:21 AM BY: USER: NMM
 PLOT SCALE: 1/16" = 1'-0"
 PLOT AREA: 11.75 SQ. FT.
 PLOT PERIMETER: 131.2' x 65.0' x 131.2' x 65.0' = 528.4' PERIMETER
 LAST SHEET: 2/25

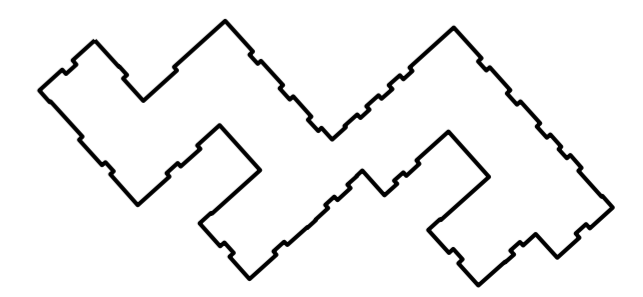


**FIFTH FLOOR
 SQ. FOOTAGE**

24,153

**FIFTH FLOOR
 UNIT COUNT**

UNIT TYPE	UNIT COUNT
1 BEDROOM A	5
1 BEDROOM B	
1 BEDROOM C	2
2 BEDROOM A	
2 BEDROOM B	
2 BEDROOM C	4
2 BEDROOM D	
2 BEDROOM CORNER	1
1 BEDROOM CORNER	1
2 BEDROOM w/ DEN A	2
2 BEDROOM E	1
2 BEDROOM w/ DEN B	1
TOTAL	17





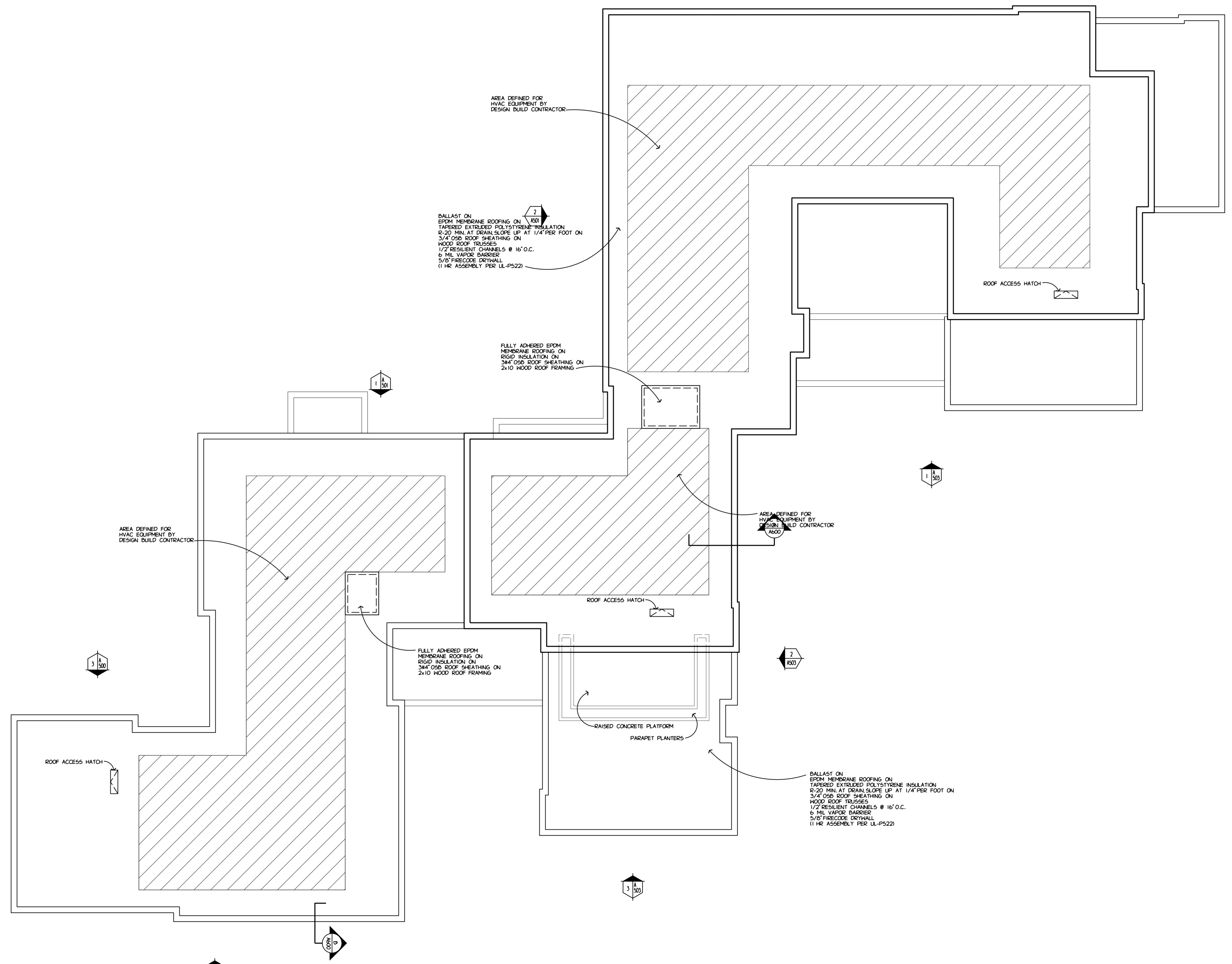
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PLOT PARAMETERS: FILE: \\V:\B\B\B\CAD\DRAWING\181801\181801_A206.dwg PLOTTED ON: 5/6/2019 9:24:53 AM BY: USER: JMK LAST SHEET: 2 OF 2



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1/8" = 1'-0" 4



1/8" = 1'-0" 3



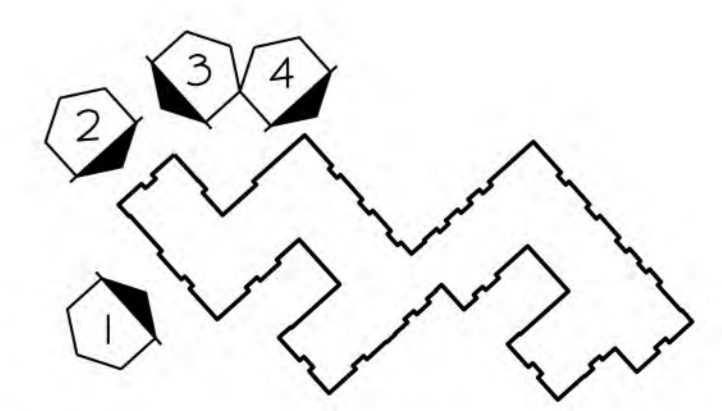
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1/8" = 1'-0" 1

MATERIAL LEGEND

- DB - BURNISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PEWTER
- WP - VINTAGEWOOD FIBER CEMENT PANEL



PLOT PARAMETERS: FILED IN 181801-CD-001-A500-01.DWG
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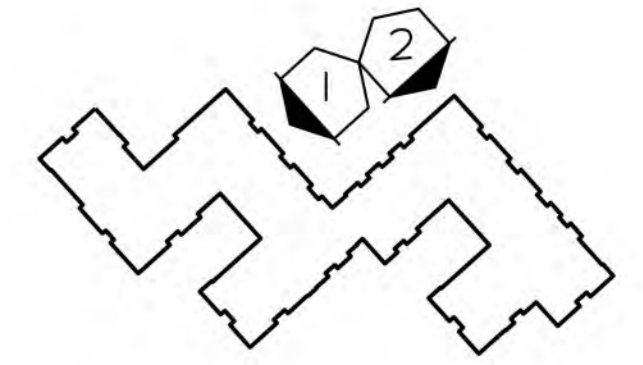
1/8" = 1'-0"
 2
 A501



1/8" = 1'-0"
 1
 A501

MATERIAL LEGEND

- DB - BURNISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PEINER
- WP - VINTAGEWOOD FIBER CEMENT PANEL



PLOT PARAMETERS: FILED IN 181801-CDR001-A501.DWG
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 USING PLOTTER: HP DesignJet T1100PS Color e-Plotter
 LAST SHEET OF 2 SHEETS



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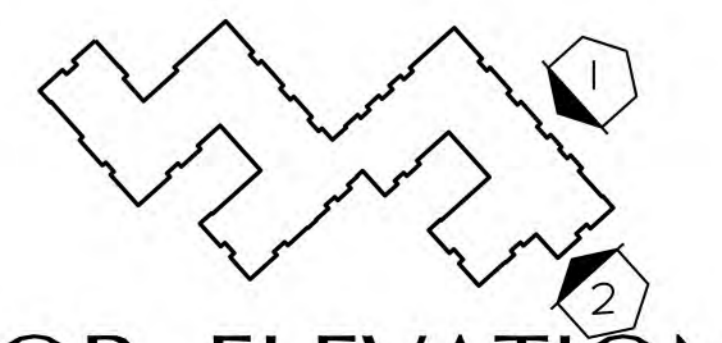
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1/8" = 1'-0" 1

MATERIAL LEGEND

- DB - POLISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PENTON
- WP - VINTAGEWOOD FIBER CEMENT PANEL



1/8" EXTERIOR ELEVATIONS A502

NOTES: PLOT SHEET
 AT SCALE 1/8" = 1'-0"
 LAST SHEET OF SEVEN



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MATERIAL LEGEND

- BB - BURNISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PENTON
- HP - VINTAGEWOOD FIBER CEMENT PANEL

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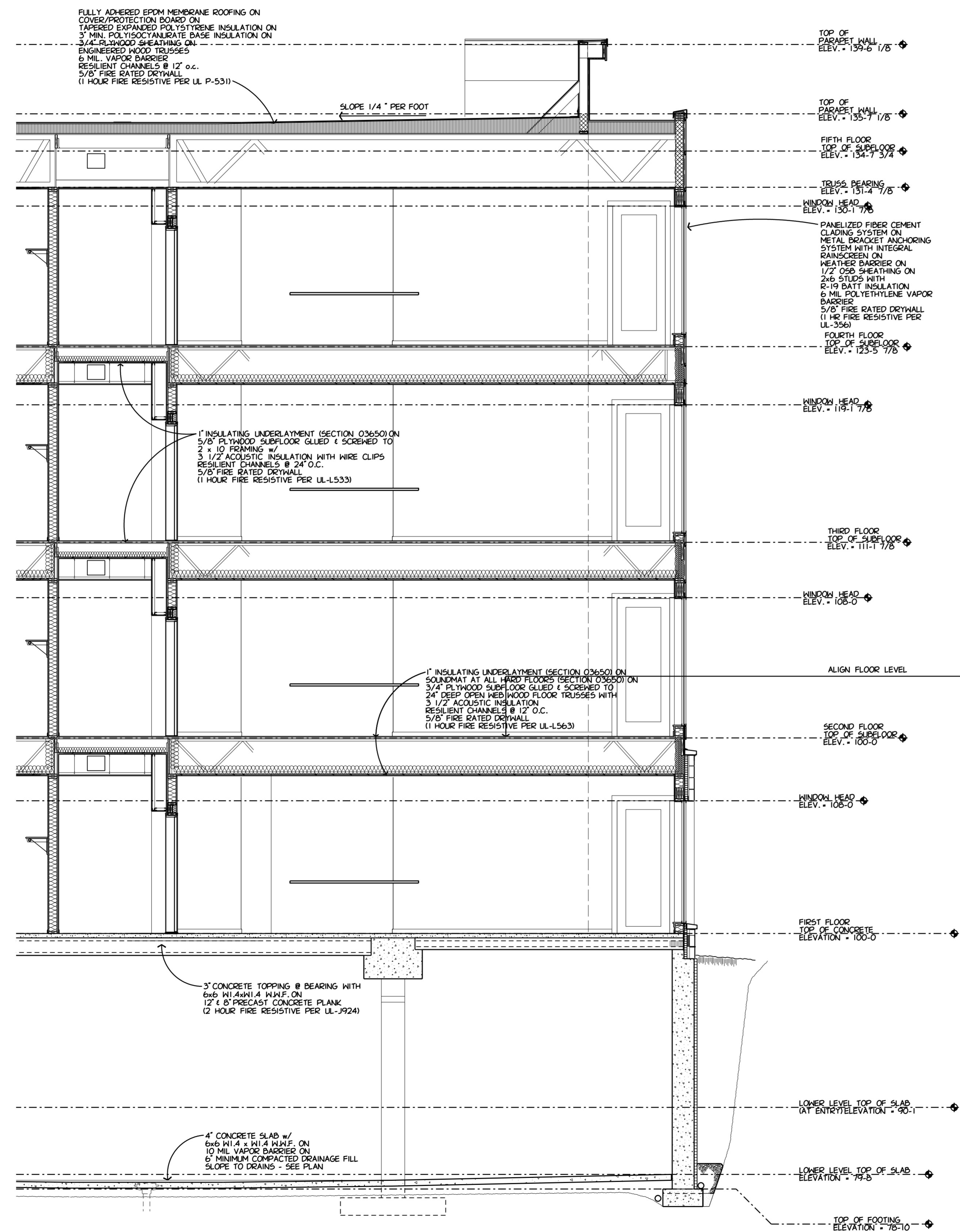
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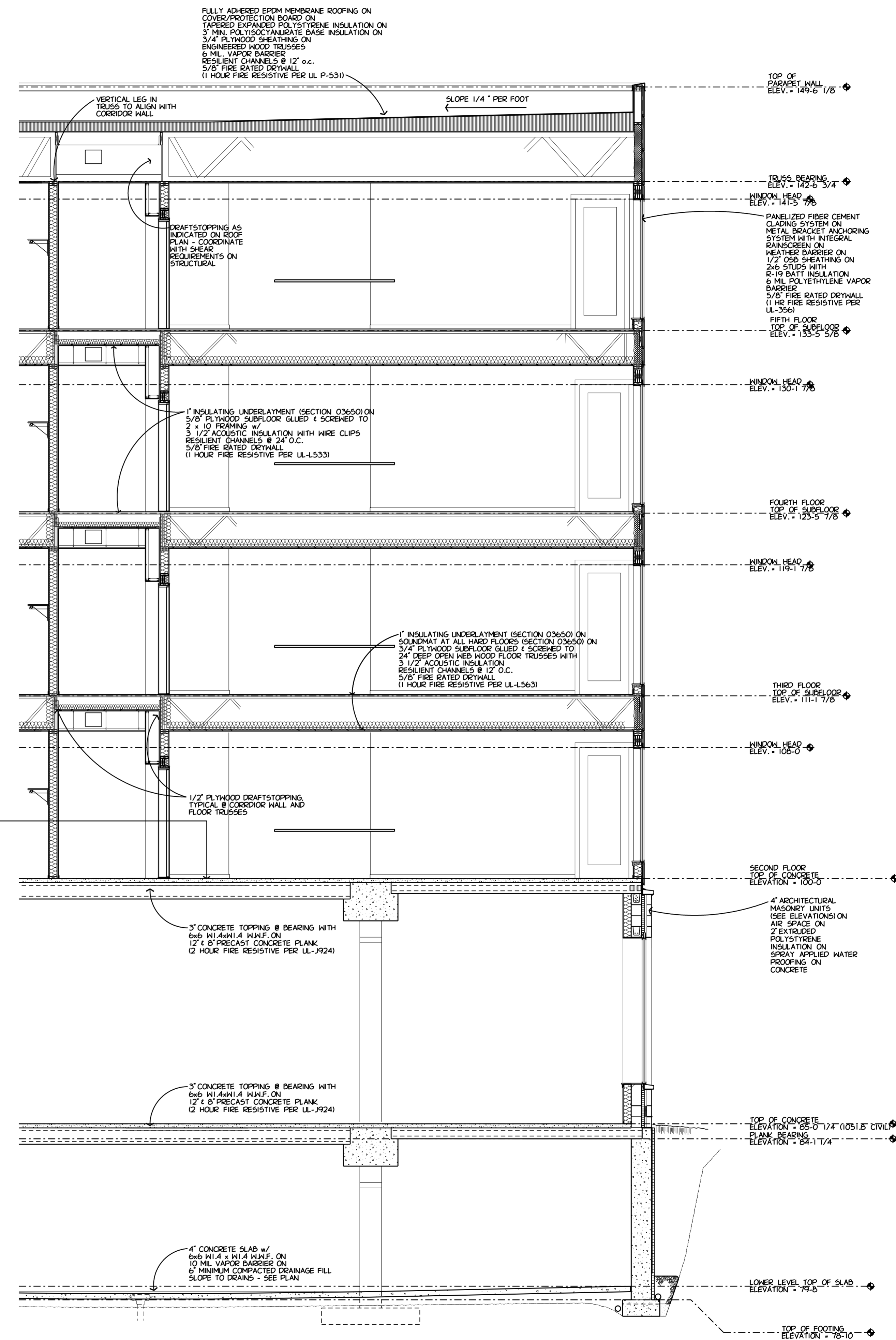


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 PLOTTED ON 5/6/2019 4:18:08 PM BY USER: JAK...
 USING CENTERLINE WINDOWING AND PLOT SCALE OF 1/8" = 1'-0"

ALL BALCONY AND RAILING SYSTEMS TO BE PRE-MANUFACTURED ALUMINUM RAILINGS
 ALL WOOD LOOK FIBER CEMENT TO BE NICHIA VINTAGE WOOD
 ALL SOLID COLOR FIBER CEMENT TO BE JAMES HARDIE PANEL INSTALLED ON RAINSCREEN SYSTEM
 STONE TO BE 4" BED DEPTH CORDOVA STONE BY TREMAYTH COLOR ALABASTER
 BUILDING TO BE NFPA 13



WALL SECTION AT 4 STORY



WALL SECTION AT 5 STORY W/COMMONS AND MEMORY CARE



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MODEL: PLOT SHEET
 AT SCALE: 1/8" = 1'-0"
 LAST SHEET: 181801-01



Senior Living Development
RCAC/CBRF & INDEPENDENT LIVING
Madison, Wisconsin

2019 MAY 6





Google Earth

2019 MAY 6

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Image Landsat / Copernicus
Image NOAA

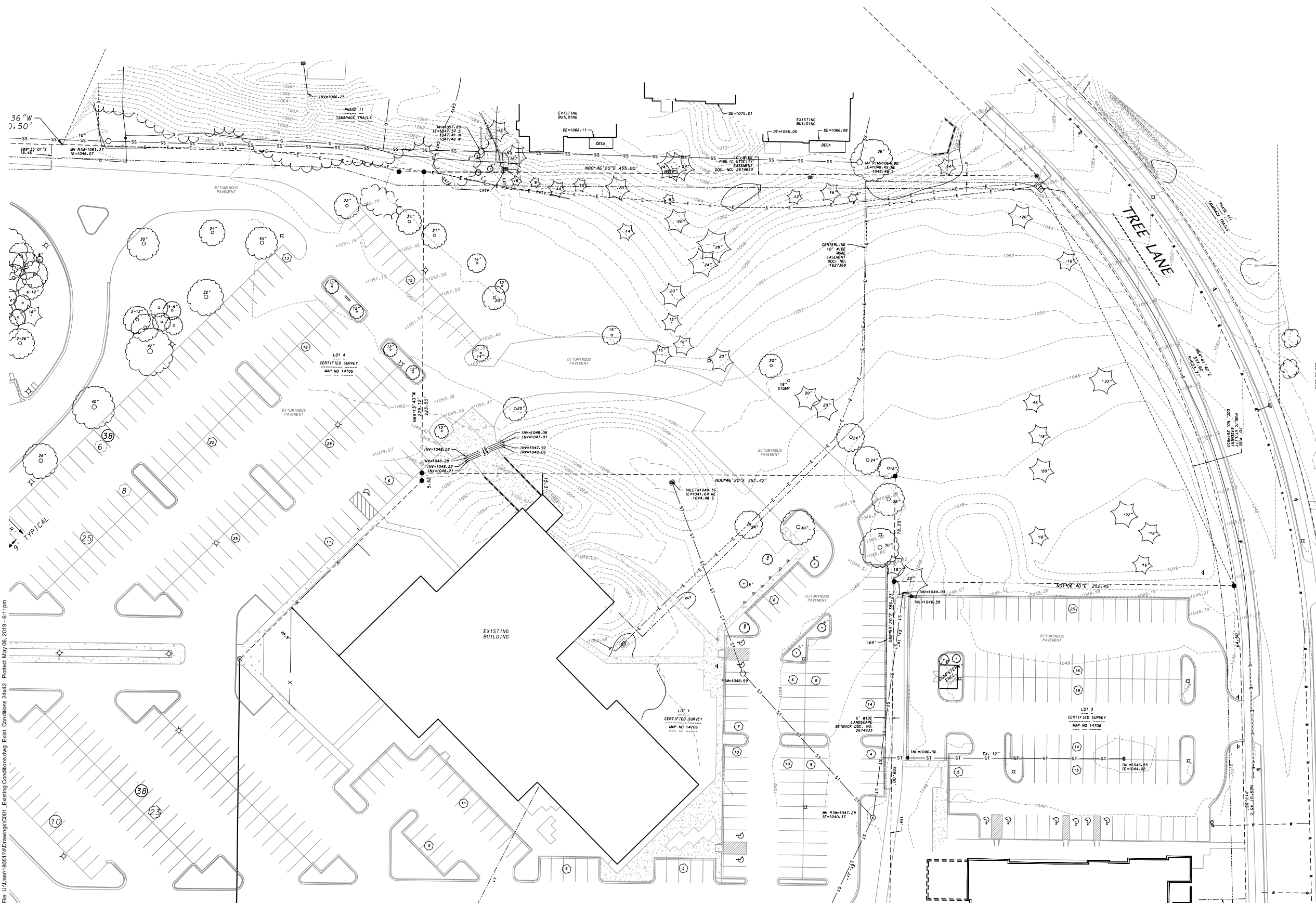
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Madison, Wisconsin

2019 MAY 6



Architecture

File: U:\User\1805174\Drawings\C001_Existing Conditions.dwg, Exist. Conditions 2x42, Plotted: May 06, 2019 - 6:11pm

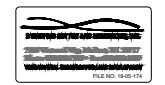


- LEGEND**
- FOUND 3/4" SOLID ROUND IRON STAKE
 - FOUND 1-1/4" SOLID ROUND IRON STAKE
 - FOUND CHISEL X
 - ST — ST STORM SEWER
 - SS — SS SANITARY SEWER
 - W — W WATER MAIN
 - G — G GAS MAIN
 - E — E UNDERGROUND ELECTRIC
 - T — T UNDERGROUND TELEPHONE
 - CATV — CATV UNDERGROUND CABLE TV
 - ⊕ ELECTRIC TRANSFORMER/VAULT
 - ⊕ TELECOMMUNICATION PED
 - MANHOLE
 - CATCH BASIN/INLET
 - LIGHT POLE
 - VALVE
 - HYDRANT
 - SIGN
 - PINE TREE
 - TREE
 - TREE LINE
 - ACCESSIBLE PARKING SPACE
 - NUMBER OF PARKING SPACES
 - CONCRETE WALL
 - CONC. CURB
 - EXISTING CONTOUR
 - CONCRETE

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 Madison Wisconsin



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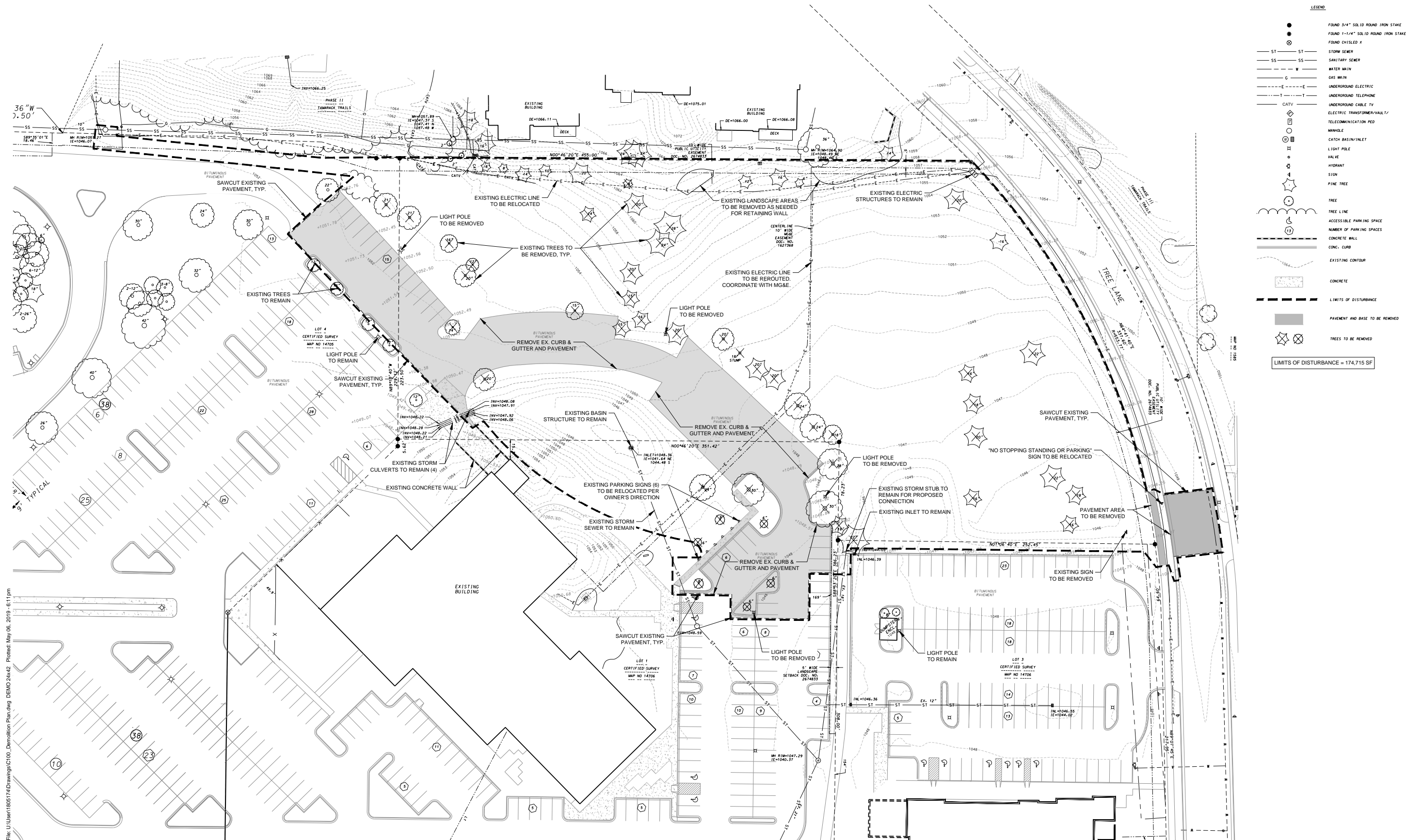


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File: U:\User\1805174\Drawings\C100_Demolition Plan.dwg DEMO 24x42 Plotted: May 06, 2019 - 6:11 pm



LEGEND

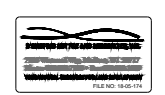
- FOUND 3/4" SOLID ROUND IRON STAKE
- FOUND 1-1/4" SOLID ROUND IRON STAKE
- ⊗ FOUND CHISEL X
- ST — ST STORM SEWER
- SS — SS SANITARY SEWER
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- ⊕ ELECTRIC TRANSFORMER/VAULT
- ⊞ TELECOMMUNICATION PED
- MANHOLE
- CATCH BASIN/INLET
- LIGHT POLE
- VALVE
- HYDRANT
- SIGN
- PINE TREE
- TREE
- TREE LINE
- ACCESSIBLE PARKING SPACE
- NUMBER OF PARKING SPACES
- CONCRETE WALL
- CONC. CURB
- EXISTING CONTOUR
- CONCRETE
- LIMITS OF DISTURBANCE
- PAVEMENT AND BASE TO BE REMOVED
- ⊗ TREES TO BE REMOVED

LIMITS OF DISTURBANCE = 174,715 SF

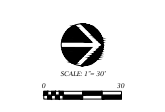
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Madison Wisconsin



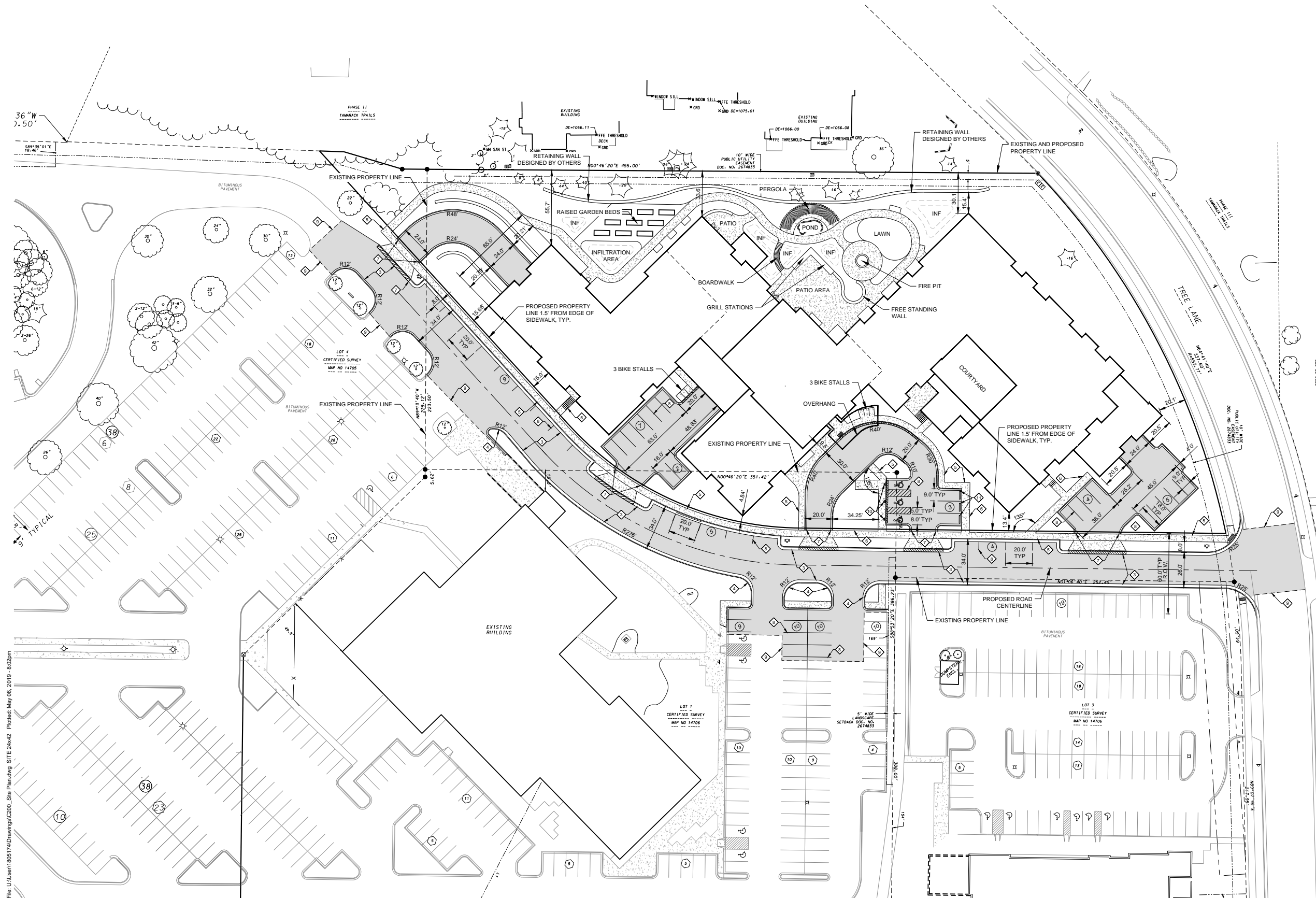
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- LEGEND**
- FOUND 3/4" SOLID ROUND IRON STAKE
 - FOUND 1-1/4" SOLID ROUND IRON STAKE
 - ✕ FOUND CHISEL ✕
 - ⊠ ELECTRIC TRANSFORMER/VALVE
 - ⊞ TELECOMMUNICATION PED
 - ⊞ LIGHT POLE
 - ⊞ HYDRANT
 - ⊞ SIGN
 - ⊞ PINE TREE
 - TREE
 - TREE LINE
 - ACCESSIBLE PARKING SPACE
 - NUMBER OF PARKING SPACES
 - CONCRETE WALL
 - CONC. CURB
 - CONCRETE

SITE PLAN INFORMATION BLOCK

Existing Lot Area	138,244 sf
Proposed Lot Area	128,640 sf
Building Area	51,555 sf
Total Accessible Stalls	3
Total On-Site Standard Parking Stalls	21
Total Parallel Parking Stalls	18

- PROPOSED IMPROVEMENTS LEGEND**
- HMA PAVEMENT
 - CONCRETE PAVEMENT
 - PROPOSED PARKING SPACE COUNT
 - ▨ DEPRESSED CURB

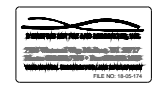
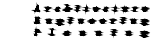
- KEYNOTES**
- ◇ 18-INCH CURB & GUTTER (TYPE D - ACCEPTING PAN)
 - ◇ 18-INCH CURB & GUTTER (TYPE D - REJECTING PAN)
 - ◇ 30-INCH CURB & GUTTER
 - ◇ TRANSITION FROM 18" TO 30" CURB
 - ◇ 5' SIDEWALK
 - ◇ 6' SIDEWALK
 - ◇ 2' CURB TERMINUS
 - ◇ PARKING SPACE STRIPING - TYP
 - ◇ MEET EXISTING ASPHALT PAVEMENT
 - ◇ ACCESSIBLE PARKING SIGN
 - ◇ CONCRETE WHEEL STOP

- NOTES**
- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 - PROVIDE CONTROL JOINTS 10'± O.C. PROVIDE EXPANSION JOINTS 50' O.C.
 - EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
 - EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
 - PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REPLACE CURB AND GUTTER AND PAVEMENT WHICH ABUTS THE PROJECT AND IS DAMAGED BY CONSTRUCTION OR CURB AND GUTTER WHICH THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
 - ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 - ALL PARCELS WITHIN THIS DEVELOPMENT ARE BOUND BY THE CROSS ACCESS AGREEMENT ON FILE WITH THE REGISTER OF DEEDS.
 - UPON CONSULTATION, THE CITY TRAFFIC ENGINEER MAY DETERMINE A DELAY IN CONSTRUCTION OF THE STREETS IS APPROPRIATE.

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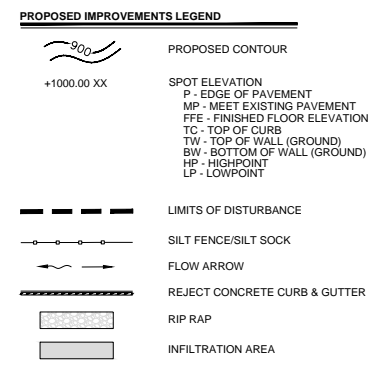
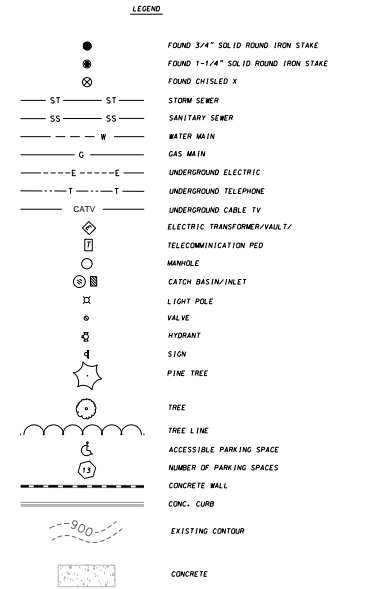
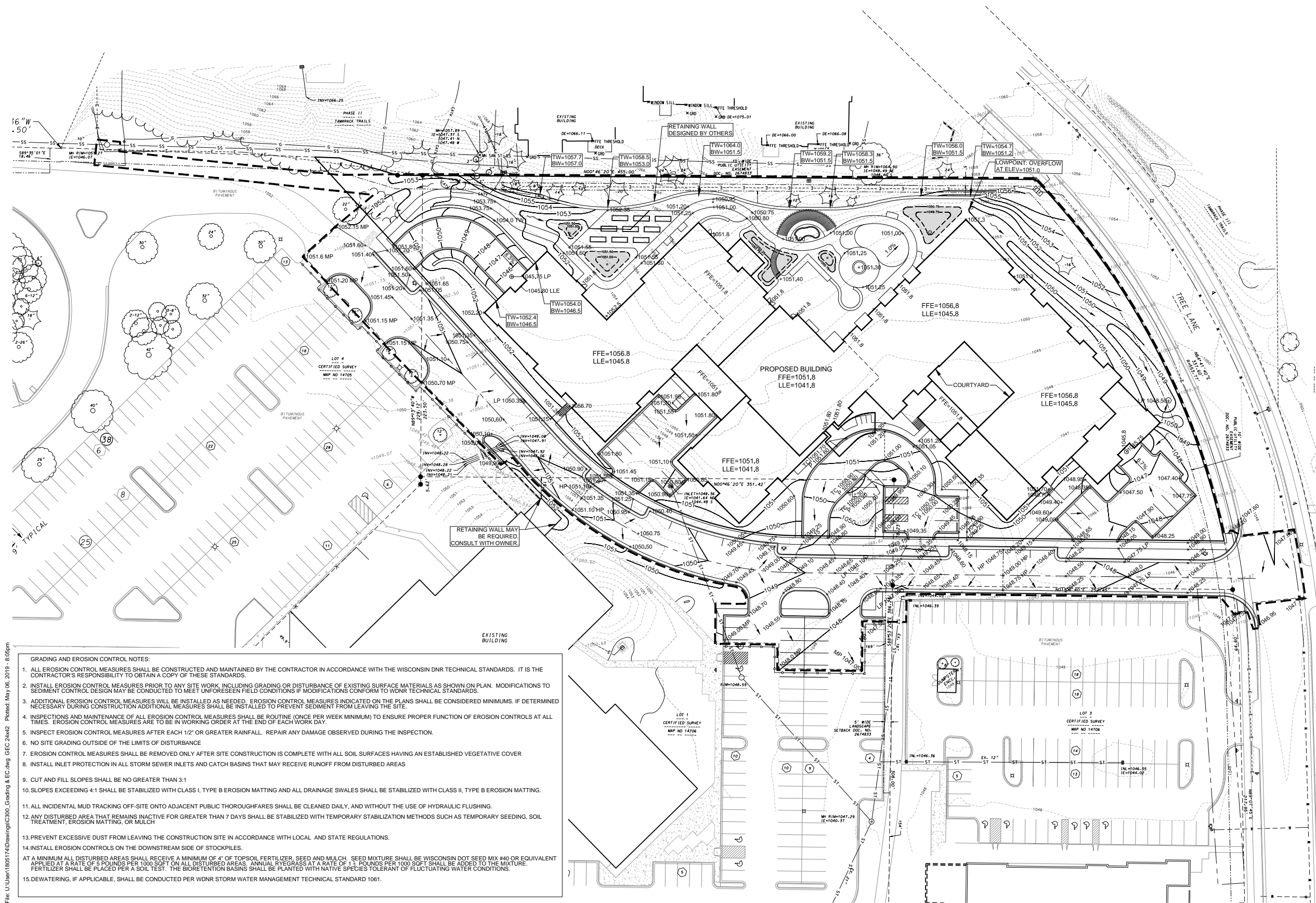


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File: U:\User\1805174\Drawings\C200_Site Plan.dwg SITE 24442 Plotted: May 06, 2019 - 8:02pm

File: U:\User\18017AD\Drawings\C300_Gradng & EC.dwg GEC 2442 Plotter: May 06, 2019 - 8:05pm



- SEQUENCE OF CONSTRUCTION**
1. INSTALL EROSION CONTROL
 2. ROUGH SITE GRADING.
 3. FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, AND UTILITIES.
 4. BIO-RETENTION CONSTRUCTION
 5. RE-SPREAD TOPSOIL AND FINAL RESTORATION
 6. REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.
- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 3. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
 4. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION

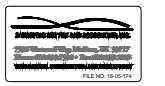
LIMITS OF DISTURBANCE = 174,715 SF

- GRADING AND EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
 3. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
 7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
 8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
 9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
 10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
 11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED DAILY, AND WITHOUT THE USE OF HYDRAULIC FLUSHING.
 12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
 13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
 14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES
 15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQ FT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQ FT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. THE BIORETENTION BASINS WILL BE PLANTED WITH NATIVE SPECIES TOLERANT OF FLUCTUATING WATER CONDITIONS.
 16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

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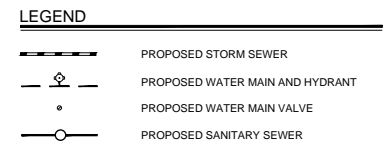
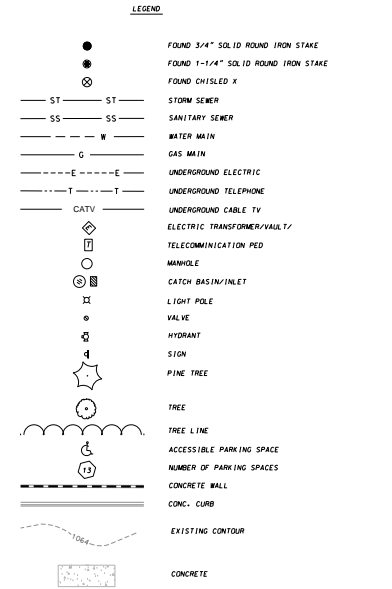
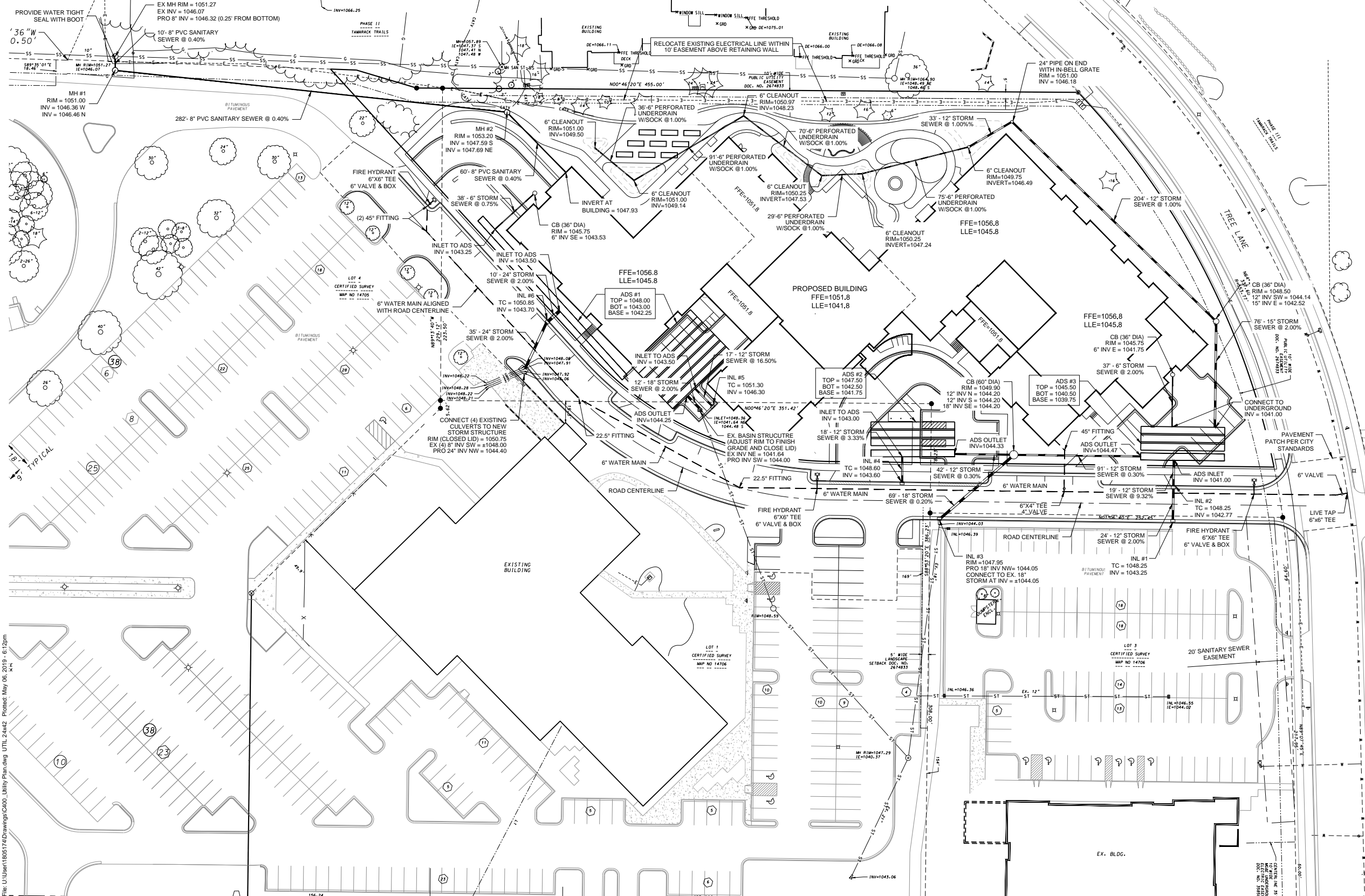
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 PROJECT: 181801
 SHEET NO.: ---

Site Grading & Erosion Control Plan
C300

CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION & COORDINATE ROUTING & BUILDING CONNECTIONS WITH PLUMBING PLAN



- SITE UTILITY NOTES**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
 2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
 4. WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
 5. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
 6. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
 7. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE.
 8. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID.
 9. ALL STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12.
 10. ALL ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.

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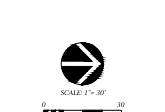


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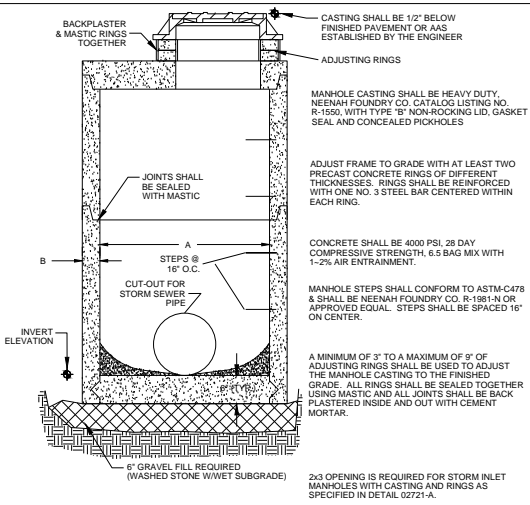
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Site Utility Plan

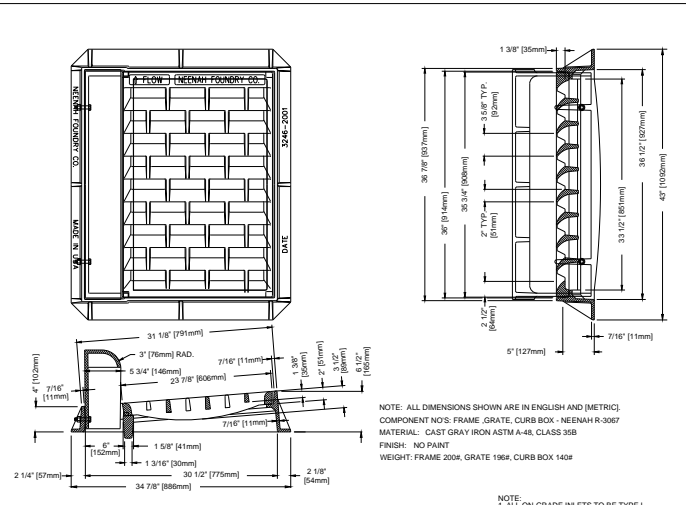
C400



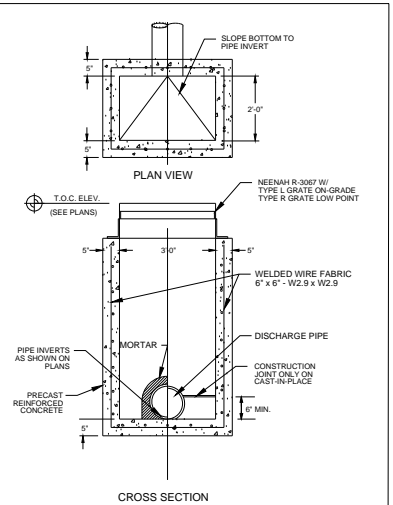
STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5'
60"	60"	6'
72"	72"	7'
84"	84"	7'
96"	96"	9'

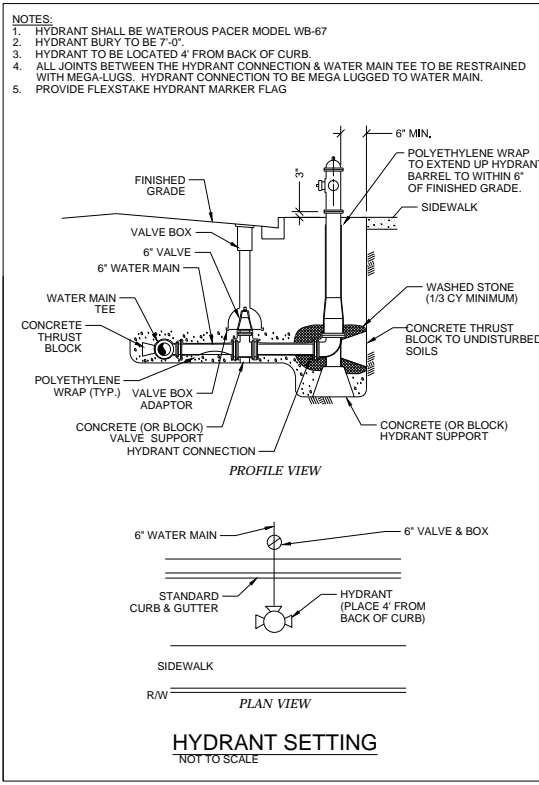
STORM SEWER MANHOLE DETAIL
NOT TO SCALE



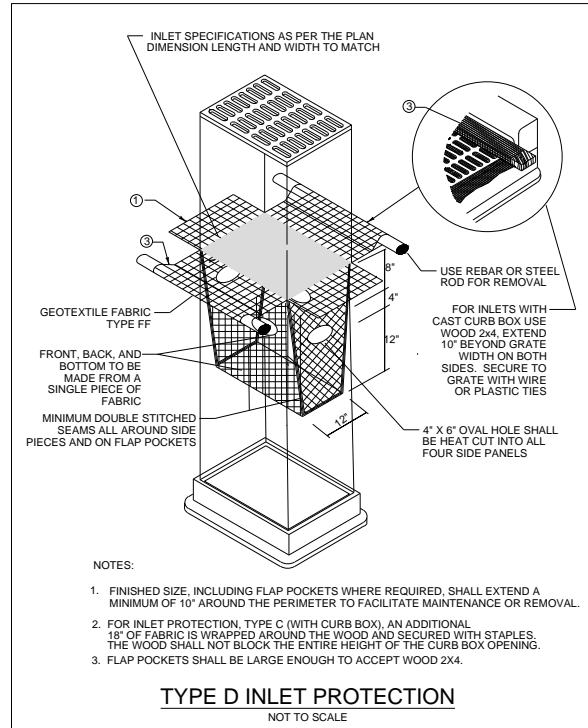
FRAME, TYPE "L" GRATE AND CURB BOX
NOT TO SCALE



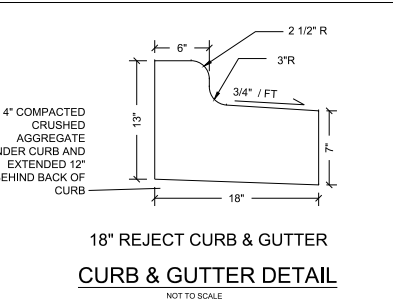
2'X3' PRECAST INLET
NOT TO SCALE



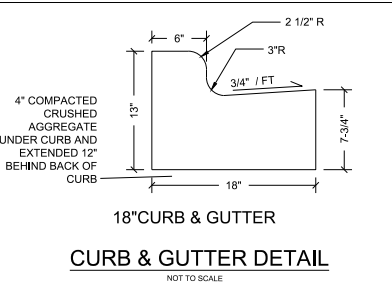
HYDRANT SETTING
NOT TO SCALE



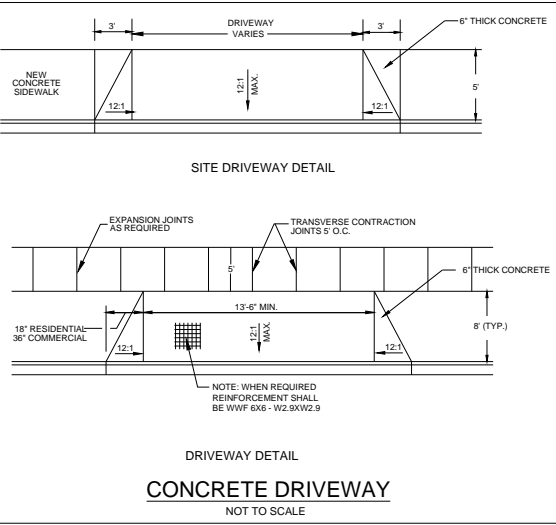
TYPE D INLET PROTECTION
NOT TO SCALE



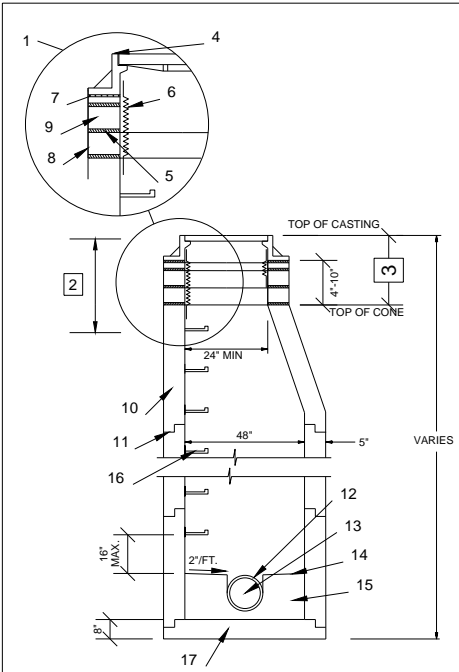
18" REJECT CURB & GUTTER CURB & GUTTER DETAIL
NOT TO SCALE



18" CURB & GUTTER CURB & GUTTER DETAIL
NOT TO SCALE

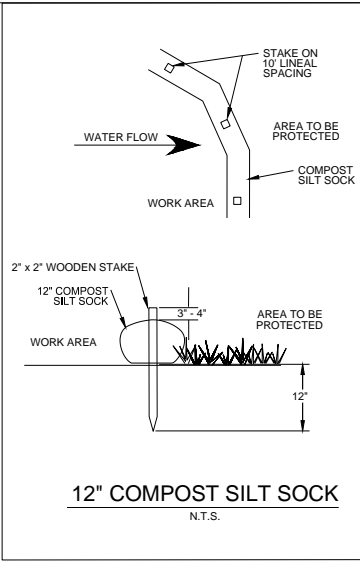


CONCRETE DRIVEWAY
NOT TO SCALE

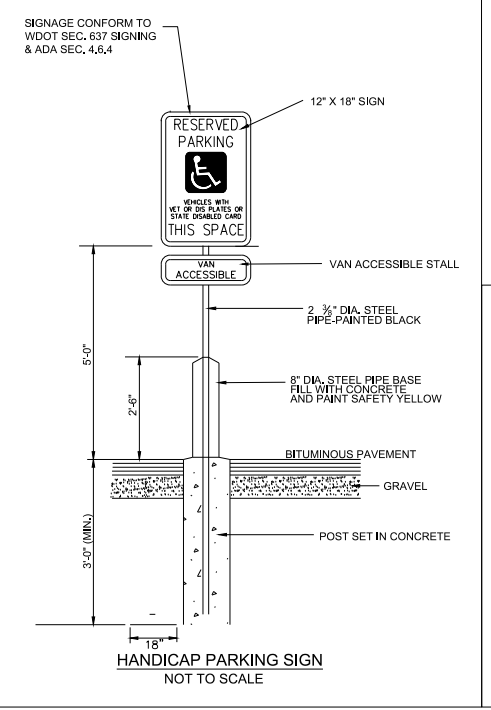


SANITARY SEWER MANHOLE
NOT TO SCALE

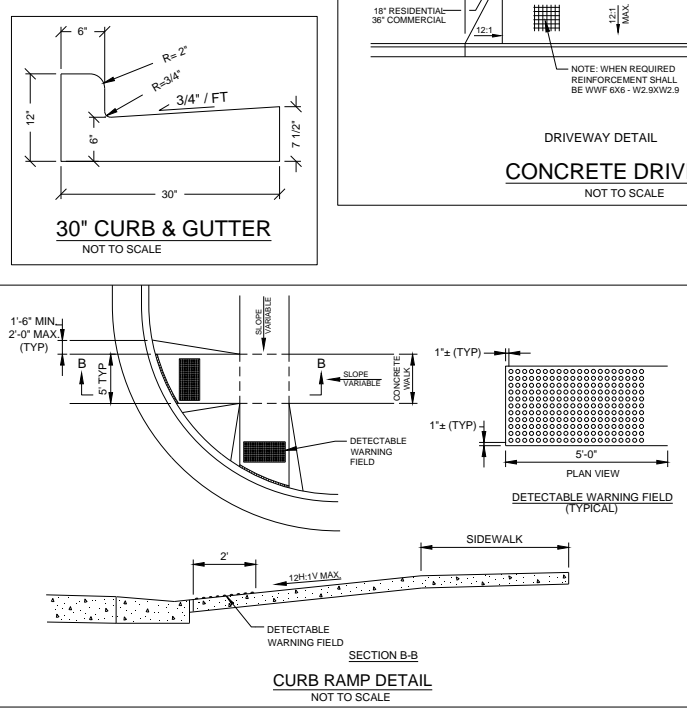
- WHEN MANHOLES ARE LOCATED UNDER PAVEMENTS, THE TOP OF THE MANHOLE FRAME SHALL BE SET TO BINDER PAVEMENT GRADE AND ADJUSTED TO FINAL GRADE WHEN SURFACE PAVEMENT IS PLACED.
- TOP MANHOLE STEP SHALL BE PLACED IN THE CONE AT A MAXIMUM OF 28" FROM THE TOP OF THE FRAME.
- ADJUSTING RINGS, ADJUST FRAME TO GRADE WITH A MINIMUM OF ONE HDPE ADJUSTMENT RING.
- MANHOLE FRAME & LID - SEE SPEC.
- PRE-MOLDED BUTYL BASE SEALANT PLACED CONTINUOUSLY AROUND ENTIRE PERIMETER OF THE RINGS REQUIRED COMMENCING BETWEEN EACH RING AND TERMINATING BETWEEN BOTTOM RING AND TOP OF CONE.
- INTERNAL FRAME CHIMNEY SEAL.
- SET MANHOLE FRAME WITH MORTAR.
- COVER OUTSIDE OF CHIMNEY FROM FRAME TO CONE WITH TROWEL GRADE BUTYL BASED SEALANT. OVERLAP CONE SECTION A MIN. OF 4".
- HDPE ADJUSTMENT RING (LADTECH OR EQUAL), SHALL HAVE A MAXIMUM THICKNESS OF 6" AND A MINIMUM THICKNESS OF 2". RINGS SHALL BE SUPPLIED IN 1/2" INCREMENTS (THICKNESS) TO ALLOW ADJUSTMENT OF THE FRAME TO WITHIN 1/2" OF PLAN GRADE. THE OUTSIDE DIAMETER OF RINGS SHALL BE UNIFORM AND EQUAL TO OR LESS THAN THE TOP OF THE CONE. THE WALL THICKNESS OF THE RINGS SHALL BE EQUAL THE WALL THICKNESS OF THE MANHOLE SECTIONS, WHEN ASSEMBLED, THE TOP OF THE CONE, THE RINGS, AND THE FRAME SHALL BE ALIGNED VERTICALLY WITH NO PROTRUSIONS.
- PRECAST CONCRETE MANHOLE SECTIONS, TYPICAL, CONFORMING TO ASTM C-478.
- WATERTIGHT JOINT, TYPICAL, WITH GASKETS CONFORMING TO C-443, OR JOINTS SEALED WITH MASTIC JOINTING COMPOUND. PROVIDE EXTERNAL MASTIC WRAP AT ALL MANHOLE JOINTS.
- PRESS SEAL GASKET, KOR-N-SEAL GASKET OR EQUAL.
- SANITARY SEWER-SIZE, NUMBER OF CONNECTIONS TO MANHOLE, ORIENTATION, AND ELEVATION SHOWN ON PLAN.
- BENCH SLOPE 2 IN/FT.
- STANDARD MANHOLE INVERT TO CROWN OF THE PIPE, SEE FILE NO. 13 OF "STANDARD SPECIFICATIONS".
- MANHOLE STEP, TYPICAL, SEE FILE NO. 15 "STANDARD SPECIFICATIONS".
- PRECAST INTEGRAL BASE.



12" COMPOST SILT SOCK
N.T.S.



HANDICAP PARKING SIGN
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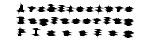


CURB RAMP DETAIL
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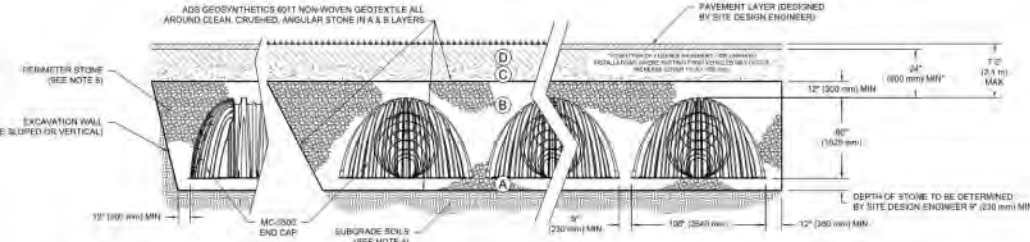
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181801
SHEET NO.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE D LAYER.	As per engineer's plans	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 2" (50 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE C LAYER.	AASHTO M145 A-1, A-2, A-3 OR AASHTO M247 3, 3P, 4, 4P, 5, 5P, 6, 6P, 7, 7P, 8, 8P, 9, 9P	BEGIN COMPACTIONS AFTER 3" (75 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 2" (50 mm) MAX LIFTS TO A MIN 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE.	AASHTO M33 3, 3P	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBERS.	AASHTO M33 3, 3P	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE **

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR M33 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M33) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 2" (50 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INSTALLATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAWDING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOADS (TRUCKS), CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- MC-4500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2781 STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- ONCE LAYER "C" IS PLACED, ANY FILL MATERIAL CAN BE PLACED IN LAYER "D" UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER "C" OR "D" AT THE SITE DESIGN ENGINEER'S DISCRETION.
- HERMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

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 CHECKED: AMB
 DESCRIPTION: []
 SHEET 3 OF 5

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

- REMOVE/OPEN LID OR PROPLAST PLUG DRAIN
- REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW

- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
- USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
- MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 3 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

SHEET 4 OF 5

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SCALE: 1" = 30"

DATE: 13 MARCH 2019
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UNDERDRAIN DETAIL

MC-SERIES END CAP INSERTION DETAIL

MC-4500 TECHNICAL SPECIFICATION

NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
100.0" X 80.0" X 48.3"	2540 mm X 1524 mm X 1227 mm	106.5 CUBIC FEET (3.01 m³)	162.6 CUBIC FEET (4.60 m³)
80.0" X 60.0" X 30.7"	2032 mm X 1524 mm X 761 mm	106.7 CUBIC FEET (3.08 m³)	130.0 lbs.

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
80.2" X 60.4" X 30.7"	2291 mm X 1524 mm X 761 mm	1.01 m³	3.08 m³
60.2" X 48.3" X 30.7"	1524 mm X 1227 mm X 761 mm	1.01 m³	3.08 m³

*ASSUMES 12" (305 mm) STONE ABOVE, 3" (75 mm) STONE FOUNDATION AND BETWEEN CHAMBERS. 1/2" (12.5 mm) STONE PERIMETER IN FRONT OF END CAPS AND 4IN. STONE FILL.

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "BT"
 STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "TT"
 END CAPS WITH A WELDED CROWN FLAT SUB WITH "C"
 END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC4500REPE08T	8" (193 mm)	43.54" (1107 mm)	—
MC4500REPE08W	8" (193 mm)	40.50" (1029 mm)	9.80" (249 mm)
MC4500REPE08T	8" (193 mm)	38.57" (979 mm)	1.01" (26 mm)
MC4500REPE10T	10" (254 mm)	38.57" (979 mm)	—
MC4500REPE10W	10" (254 mm)	35.43" (901 mm)	1.30" (34 mm)
MC4500REPE12T	12" (305 mm)	35.43" (901 mm)	1.00" (25 mm)
MC4500REPE12W	12" (305 mm)	32.72" (831 mm)	—
MC4500REPE15T	15" (375 mm)	—	1.70" (43 mm)
MC4500REPE15W	15" (375 mm)	28.35" (719 mm)	—
MC4500REPE18T	18" (457 mm)	—	1.97" (50 mm)
MC4500REPE18W	18" (457 mm)	23.00" (584 mm)	—
MC4500REPE24T	24" (609 mm)	—	2.28" (57 mm)
MC4500REPE24W	24" (609 mm)	—	2.30" (58 mm)
MC4500REPE28C	32" (813 mm)	—	3.25" (83 mm)
MC4500REPE28C	32" (813 mm)	—	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL

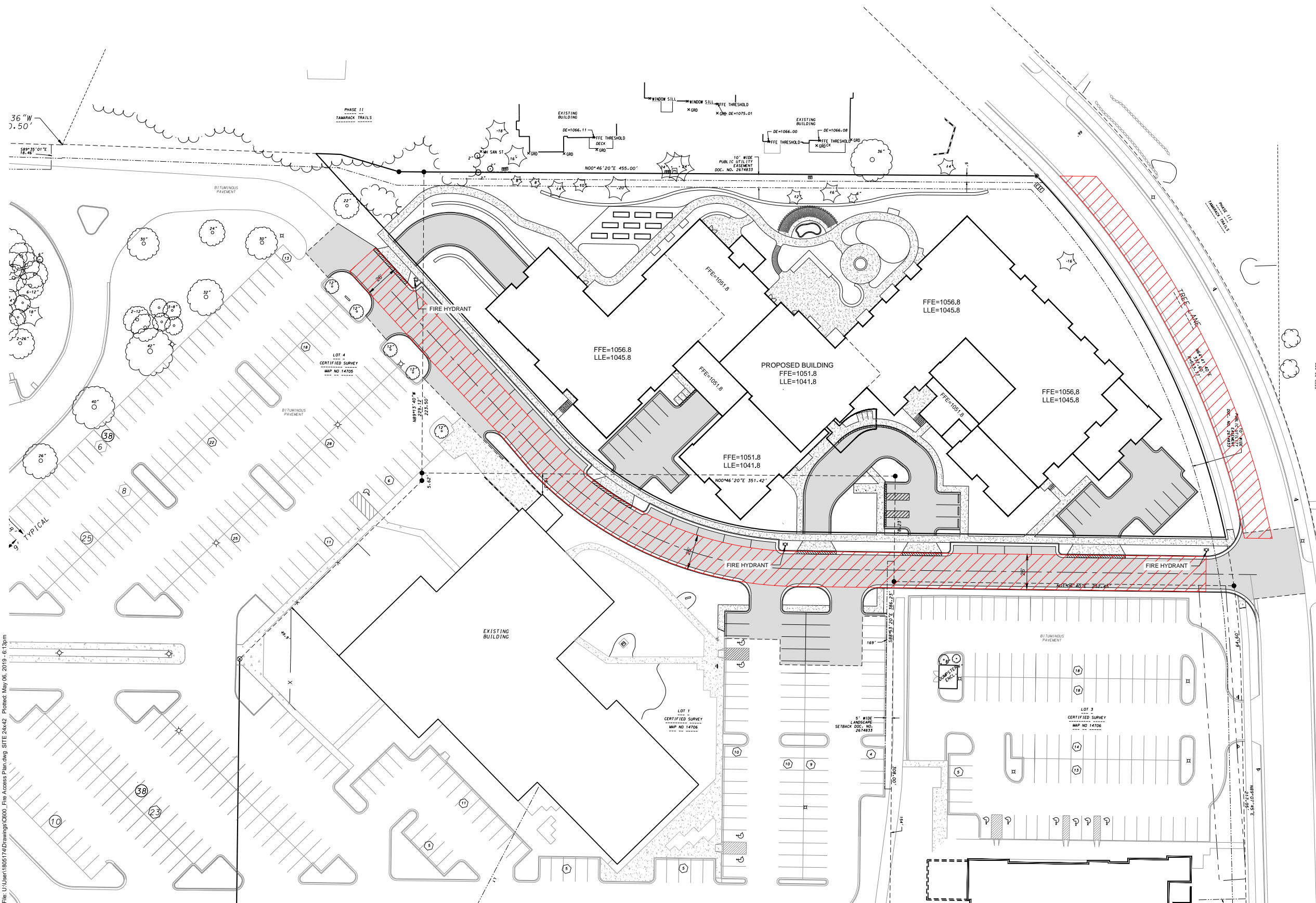
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 SHEET 5 OF 5

BIKE RACK DETAIL
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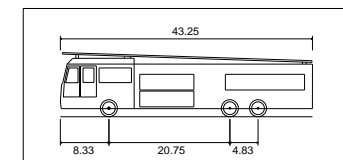
3/4" SOLID STEEL ROD LOCKING BAR
 1 1/2" X 1 1/2" X 3/16" WALL STEEL TUBE WITH STEEL END CAPS
 3/4" DIA. SOLID STEEL ROD WHEEL STOP
 9/16" DIA. MOUNTING HOLE

29 1/2"
 16"
 3 1/4"
 30.38"
 17 1/2"
 4'-0"
 6'-0"

File: U:\User\1805174\Drawings\C600_Fire Access Plan.dwg SITE 24x42 Printed: May 06, 2019 - 6:13pm



 FIRE LANE



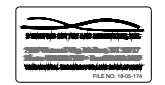
FIRE RESCUE VEHICLE	43.250ft
Overall Length	8.333ft
Overall Width	11.000ft
Overall Body Height	1.393ft
Min Body Ground Clearance	8.333ft
Track Width	6.00s
Lock-to-lock time	45.00°
Max Wheel Angle	

Fire Access Plan

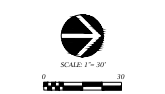
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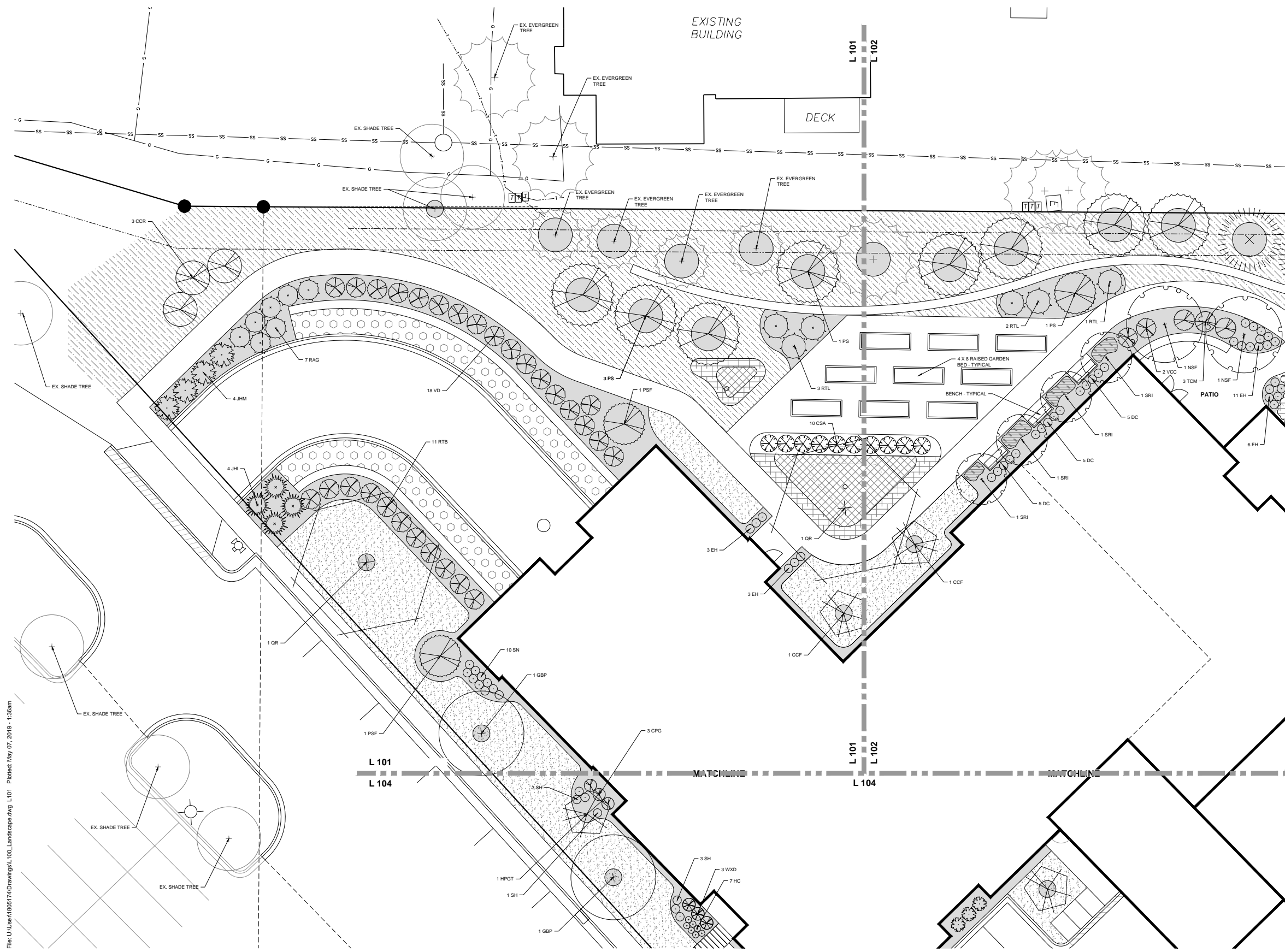


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C600



LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:
 5 POINTS PER 300 SF OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 91,271 SQ FT
 BUILDING FOOTPRINTS = 52,894 SQ FT
 NET DEVELOPED AREA = 38,377 SQ FT (0.88 ACRE)

TOTAL POINTS REQUIRED = 640 POINTS

POINTS PROVIDED = 3,748 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 30 LF

TREE LANE FRONTAGE = 306 FT
 PLANTS REQUIRED = 10 OVERSTORY TREES OR
 20 EVERGREEN / ORNAMENTAL TREES
 50 SHRUBS
 PLANTS PROVIDED = 6 OVERSTORY TREES
 3 EVERGREEN TREES
 5 ORNAMENTAL TREES
 50 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:
 1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 15,598 SQ FT
 REQUIRED LANDSCAPED AREA = 1,248 SQ FT (8% TOTAL PARKING LOT AREA)

OVERSTORY TREES REQUIRED = 8 OVERSTORY TREES
 OVERSTORY TREES PROVIDED = 8 OVERSTORY TREES

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANT	SUM TOTAL	SIZE	ROOT COND.	NOTES
001	MILVINE
002
003
004
005
006
007
008
009
010
011
012
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014
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016
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068
069
070
071
072
073
074
075
076
077
078
079
080
081
082
083
084
085
086
087
088
089
090
091
092
093
094
095
096
097
098
099
100
TOTAL			3748					

GROUND COVER LEGEND

- LAWN SEED
- GRASSLAND MIX - LOW GROWING MEADOW FOR MEDIUM SOILS AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION BOTTOM MIX - MOIST MEADOW MIX AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION SIDE MIX - LOW GROWING MEADOW FOR DRY SOILS AS SPECIFIED BY PRAIRIE NURSERY
- ANNUALS - BY OWNER
- BARK MULCH
- 1.5" LOCAL WASHED STONE OVER FILTER FABRIC - 3" DEPTH

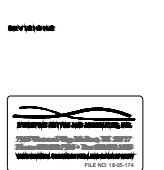
LANDSCAPE PLAN NOTES

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- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE 3/16" x 4" ALUMINUM EDGING.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC. PER MANUFACTURER'S SPECIFICATIONS.
- INFILTRATION AREA PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 6" x 12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
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TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin



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 WAUWATOSA, WI 53090
 414.461.9191 TEL
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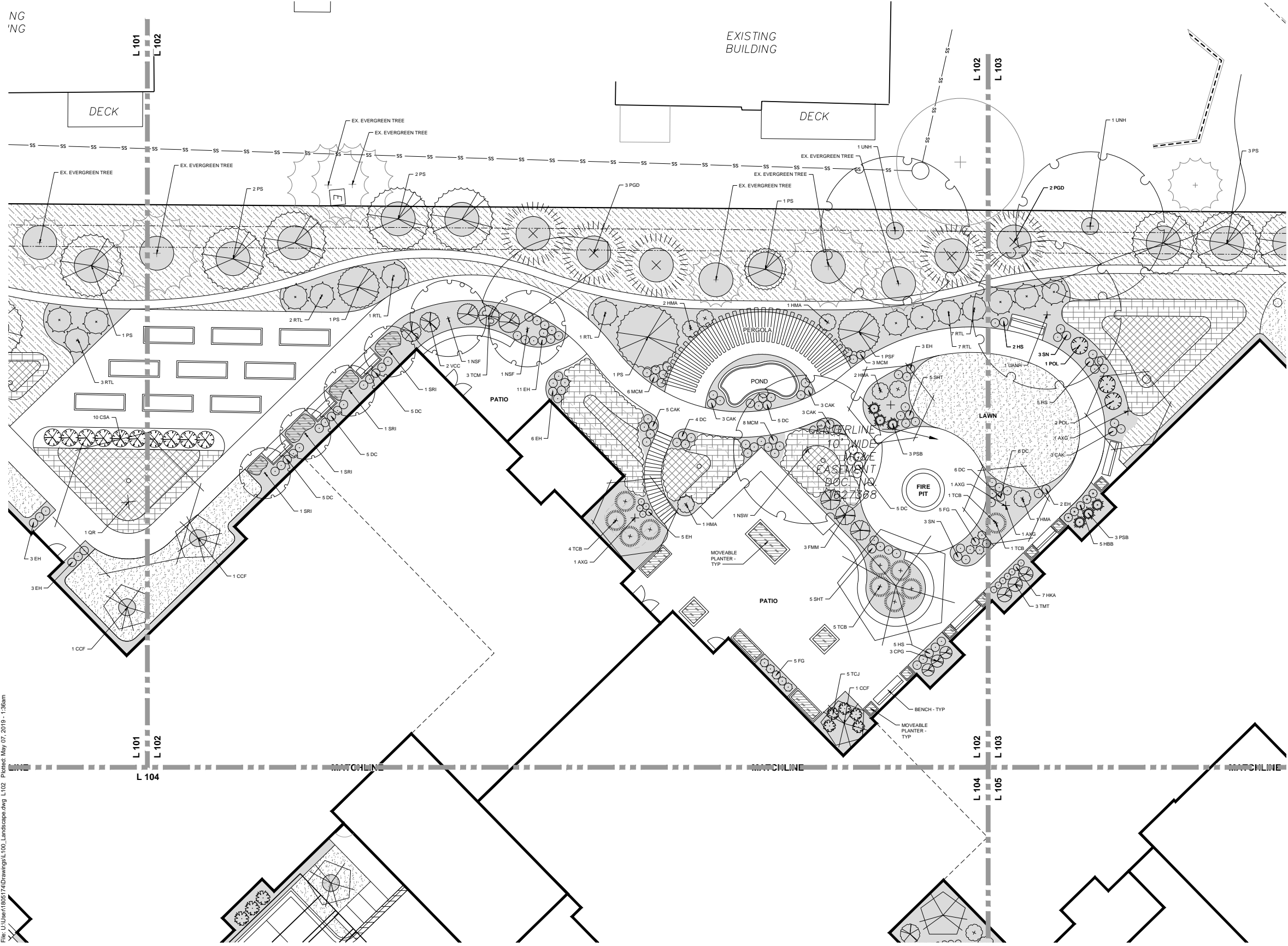
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DRAWN BY
 DATE
 8 MAY 2019
 PROJECT
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LANDSCAPE REQUIREMENTS SUMMARY

- DEVELOPED AREA REQUIREMENT:**
 5 POINTS PER 300 SF OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 91,271 SQ FT
 BUILDING FOOTPRINTS = 52,894 SQ FT
 NET DEVELOPED AREA = 38,377 SQ FT (0.88 ACRE)
 TOTAL POINTS REQUIRED = 640 POINTS
 POINTS PROVIDED = 3,748 POINTS
- STREET FRONTAGE REQUIREMENT:**
 1 OVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 30' FL
- TREE LANE FRONTAGE = 308 FT**
 PLANTS REQUIRED = 10 OVERSTORY TREES OR
 20 EVERGREEN / ORNAMENTAL TREES
 50 SHRUBS
 PLANTS PROVIDED = 6 OVERSTORY TREES
 3 EVERGREEN TREES
 5 ORNAMENTAL TREES
 50 SHRUBS
- PARKING LOT LANDSCAPING REQUIREMENT:**
 1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA
 TOTAL PARKING LOT AREA = 15,598 SQ FT
 REQUIRED LANDSCAPED AREA = 1,248 SQ FT (8% TOTAL PARKING LOT AREA)
 OVERSTORY TREES REQUIRED = 8 OVERSTORY TREES
 OVERSTORY TREES PROVIDED = 8 OVERSTORY TREES

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANT	TOTAL	SIZE	ROOT	NOTES
000	MISCELLANEOUS PLANTS							
001	<i>Abutilon</i>	Abutilon	10	20	200	12"	18"	
002	<i>Adiantum</i>	Adiantum	2	20	40	12"	18"	
003	<i>Aster</i>	Aster	10	20	200	12"	18"	
004	<i>Asplenium</i>	Asplenium	2	20	40	12"	18"	
005	<i>Begonia</i>	Begonia	2	20	40	12"	18"	
006	<i>Chlorophytum</i>	Chlorophytum	2	20	40	12"	18"	
007	<i>Cyrtanthus</i>	Cyrtanthus	2	20	40	12"	18"	
008	<i>Dieffenbachia</i>	Dieffenbachia	2	20	40	12"	18"	
009	<i>Epiphyllum</i>	Epiphyllum	2	20	40	12"	18"	
010	<i>Fittonia</i>	Fittonia	2	20	40	12"	18"	
011	<i>Hebe</i>	Hebe	2	20	40	12"	18"	
012	<i>Heptacarpis</i>	Heptacarpis	2	20	40	12"	18"	
013	<i>Hesperis</i>	Hesperis	2	20	40	12"	18"	
014	<i>Hydrangea</i>	Hydrangea	2	20	40	12"	18"	
015	<i>Impatiens</i>	Impatiens	2	20	40	12"	18"	
016	<i>Juncus</i>	Juncus	2	20	40	12"	18"	
017	<i>Lythrum</i>	Lythrum	2	20	40	12"	18"	
018	<i>Marigold</i>	Marigold	2	20	40	12"	18"	
019	<i>Phlox</i>	Phlox	2	20	40	12"	18"	
020	<i>Salvia</i>	Salvia	2	20	40	12"	18"	
021	<i>Sedum</i>	Sedum	2	20	40	12"	18"	
022	<i>Spigelia</i>	Spigelia	2	20	40	12"	18"	
023	<i>Thunbergia</i>	Thunbergia	2	20	40	12"	18"	
024	<i>Verbena</i>	Verbena	2	20	40	12"	18"	
025	<i>Yucca</i>	Yucca	2	20	40	12"	18"	
026	<i>Zinnia</i>	Zinnia	2	20	40	12"	18"	
027	<i>Abutilon</i>	Abutilon	2	20	40	12"	18"	
028	<i>Adiantum</i>	Adiantum	2	20	40	12"	18"	
029	<i>Aster</i>	Aster	2	20	40	12"	18"	
030	<i>Asplenium</i>	Asplenium	2	20	40	12"	18"	
031	<i>Begonia</i>	Begonia	2	20	40	12"	18"	
032	<i>Chlorophytum</i>	Chlorophytum	2	20	40	12"	18"	
033	<i>Cyrtanthus</i>	Cyrtanthus	2	20	40	12"	18"	
034	<i>Dieffenbachia</i>	Dieffenbachia	2	20	40	12"	18"	
035	<i>Epiphyllum</i>	Epiphyllum	2	20	40	12"	18"	
036	<i>Fittonia</i>	Fittonia	2	20	40	12"	18"	
037	<i>Hebe</i>	Hebe	2	20	40	12"	18"	
038	<i>Heptacarpis</i>	Heptacarpis	2	20	40	12"	18"	
039	<i>Hydrangea</i>	Hydrangea	2	20	40	12"	18"	
040	<i>Impatiens</i>	Impatiens	2	20	40	12"	18"	
041	<i>Juncus</i>	Juncus	2	20	40	12"	18"	
042	<i>Lythrum</i>	Lythrum	2	20	40	12"	18"	
043	<i>Marigold</i>	Marigold	2	20	40	12"	18"	
044	<i>Phlox</i>	Phlox	2	20	40	12"	18"	
045	<i>Salvia</i>	Salvia	2	20	40	12"	18"	
046	<i>Sedum</i>	Sedum	2	20	40	12"	18"	
047	<i>Spigelia</i>	Spigelia	2	20	40	12"	18"	
048	<i>Thunbergia</i>	Thunbergia	2	20	40	12"	18"	
049	<i>Verbena</i>	Verbena	2	20	40	12"	18"	
050	<i>Yucca</i>	Yucca	2	20	40	12"	18"	
051	<i>Zinnia</i>	Zinnia	2	20	40	12"	18"	
052	<i>Abutilon</i>	Abutilon	2	20	40	12"	18"	
053	<i>Adiantum</i>	Adiantum	2	20	40	12"	18"	
054	<i>Aster</i>	Aster	2	20	40	12"	18"	
055	<i>Asplenium</i>	Asplenium	2	20	40	12"	18"	
056	<i>Begonia</i>	Begonia	2	20	40	12"	18"	
057	<i>Chlorophytum</i>	Chlorophytum	2	20	40	12"	18"	
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059	<i>Dieffenbachia</i>	Dieffenbachia	2	20	40	12"	18"	
060	<i>Epiphyllum</i>	Epiphyllum	2	20	40	12"	18"	
061	<i>Fittonia</i>	Fittonia	2	20	40	12"	18"	
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063	<i>Heptacarpis</i>	Heptacarpis	2	20	40	12"	18"	
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075	<i>Yucca</i>	Yucca	2	20	40	12"	18"	
076	<i>Zinnia</i>	Zinnia	2	20	40	12"	18"	

GROUND COVER LEGEND

- LAWN SEED
- GRASSLAND MIX - LOW GROWING MEADOW FOR MEDIUM SOILS AS SPECIFIED BY PRAIRIE NURSERY
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LANDSCAPE PLAN NOTES

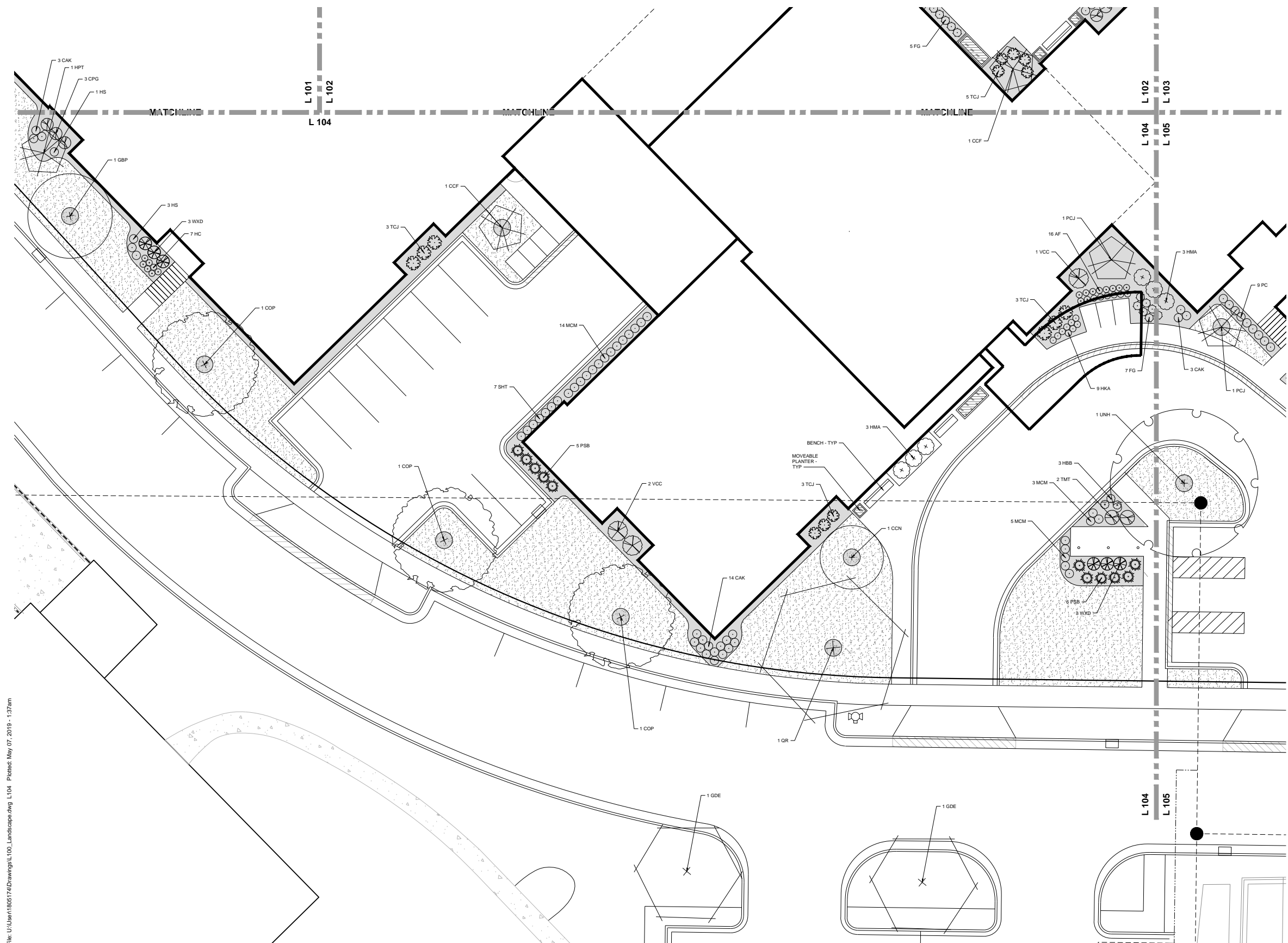
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Landscpe Plan L102



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PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUB TOTAL	ROOT SIZE	NOTES
3 CAK	Calluna vulgaris	Common Heath	3	15	45	18"	
1 HPT	Hydrangea paniculata	Panicle Hydrangea	1	20	20	24"	
3 CPG	Campanula medium	Common Bellflower	3	15	45	18"	
1 HS	Hamamelis virginica	Witch Ham	1	20	20	24"	
1 GBP	Gaultheria procumbens	Wintergreen	1	10	10	12"	
3 WXD	Waxillia sp.	Waxillia	3	15	45	18"	
7 HC	Hamamelis virginica	Witch Ham	7	10	70	12"	
3 TCJ	Thuja occidentalis	Eastern White Cedar	3	15	45	18"	
1 CCF	Cornus florida	Flowering Dogwood	1	20	20	24"	
14 MCM	Miscanthus sinensis	Chinese Silver Grass	14	10	140	12"	
7 SH	Syringa vulgaris	Common Lilac	7	10	70	12"	
5 PSB	Prunella sp.	Prunella	5	10	50	12"	
2 VCC	Viburnum coccineum	Scarlet Viburnum	2	20	40	24"	
3 TCJ	Thuja occidentalis	Eastern White Cedar	3	15	45	18"	
3 HMA	Hemerocallis sp.	Hemerocallis	3	15	45	18"	
1 UNH	Ulmus americana	American Elm	1	20	20	24"	
1 COP	Cornus florida	Flowering Dogwood	1	20	20	24"	
14 CAK	Calluna vulgaris	Common Heath	14	10	140	12"	
1 COP	Cornus florida	Flowering Dogwood	1	20	20	24"	
1 OR	Ornithogalum sp.	Ornithogalum	1	20	20	24"	
1 GDE	Gardenia sp.	Gardenia	1	20	20	24"	
1 GDE	Gardenia sp.	Gardenia	1	20	20	24"	
1 GDE	Gardenia sp.	Gardenia	1	20	20	24"	
5 FG	Fragaria sp.	Fragaria	5	10	50	12"	
5 TCJ	Thuja occidentalis	Eastern White Cedar	5	15	75	18"	
1 CCF	Cornus florida	Flowering Dogwood	1	20	20	24"	
1 PCJ	Prunella coccinea	Scarlet Prunella	1	20	20	24"	
16 AF	Aster sp.	Aster	16	10	160	12"	
1 VCC	Viburnum coccineum	Scarlet Viburnum	1	20	20	24"	
3 HMA	Hemerocallis sp.	Hemerocallis	3	15	45	18"	
9 PC	Prunella coccinea	Scarlet Prunella	9	10	90	12"	
7 FG	Fragaria sp.	Fragaria	7	10	70	12"	
3 CAK	Calluna vulgaris	Common Heath	3	15	45	18"	
1 PCJ	Prunella coccinea	Scarlet Prunella	1	20	20	24"	
3 HBB	Hemerocallis sp.	Hemerocallis	3	15	45	18"	
3 MCM	Miscanthus sinensis	Chinese Silver Grass	3	10	30	12"	
2 TMT	Taraxacum officinale	Common Dandelion	2	10	20	12"	
5 MCM	Miscanthus sinensis	Chinese Silver Grass	5	10	50	12"	
6 PSB	Prunella sp.	Prunella	6	10	60	12"	
3 WXD	Waxillia sp.	Waxillia	3	15	45	18"	
1 COP	Cornus florida	Flowering Dogwood	1	20	20	24"	

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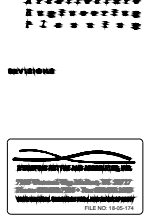
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4. LANDSCAPE EDGING SHALL BE 3/4" x 4" ALUMINUM EDGING.
5. ALL TREES IN TURF AREAS SHALL HAVE A 4" DIAMETER CIRCLE OF 3" DEPTH SHREDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
6. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
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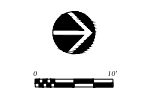
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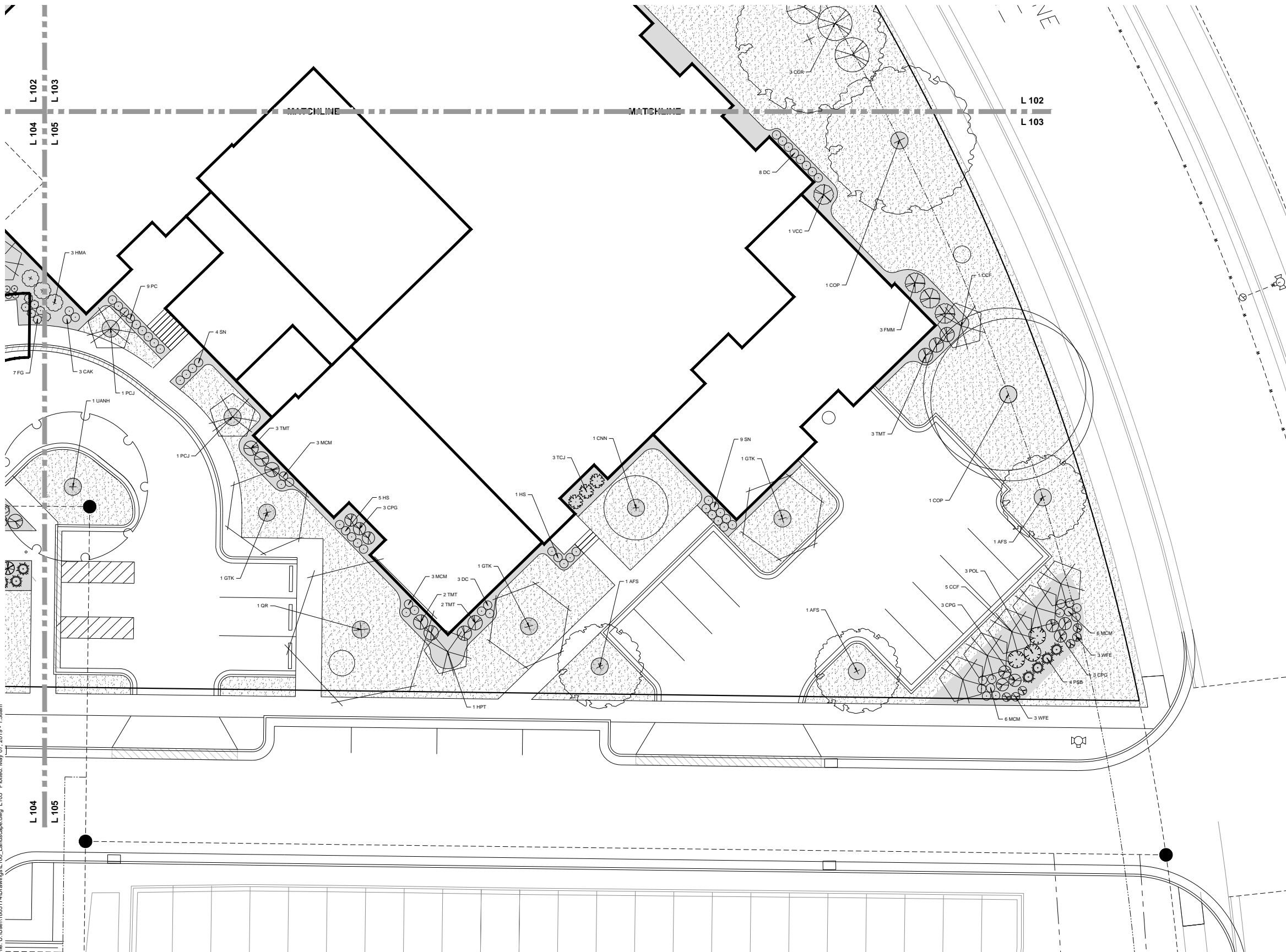


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PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS PER PLANT	SUM TOTAL	ROOT COND.	NOTES
1	Q. macrocarpa	White Oak	1	25	25	B	
2	Q. prinus	Pin Oak	2	25	50	B	
3	Ilex	Holly	50	1	50	S	
4	Amelanchier	Shadbush	50	1	50	S	
5	Viburnum	Blackhaw	50	1	50	S	
6	Cornus	Spicebush	50	1	50	S	
7	Juniperus	Blue Juniper	10	5	50	B	
8	Larix	Blue Spruce	10	5	50	B	
9	Thuja	Green Hedge	10	5	50	B	
10	Pinus strobus	White Pine	10	5	50	B	
11	Pinus resinosa	Red Pine	10	5	50	B	
12	Pinus rigida	Mill Pine	10	5	50	B	
13	Pinus taeda	Loblolly Pine	10	5	50	B	
14	Pinus millmurrayana	Millers Pine	10	5	50	B	
15	Pinus canadensis	Banksian Pine	10	5	50	B	
16	Pinus strobus	White Pine	10	5	50	B	
17	Pinus resinosa	Red Pine	10	5	50	B	
18	Pinus rigida	Mill Pine	10	5	50	B	
19	Pinus taeda	Loblolly Pine	10	5	50	B	
20	Pinus millmurrayana	Millers Pine	10	5	50	B	
21	Pinus canadensis	Banksian Pine	10	5	50	B	
22	Pinus strobus	White Pine	10	5	50	B	
23	Pinus resinosa	Red Pine	10	5	50	B	
24	Pinus rigida	Mill Pine	10	5	50	B	
25	Pinus taeda	Loblolly Pine	10	5	50	B	
26	Pinus millmurrayana	Millers Pine	10	5	50	B	
27	Pinus canadensis	Banksian Pine	10	5	50	B	
28	Pinus strobus	White Pine	10	5	50	B	
29	Pinus resinosa	Red Pine	10	5	50	B	
30	Pinus rigida	Mill Pine	10	5	50	B	
31	Pinus taeda	Loblolly Pine	10	5	50	B	
32	Pinus millmurrayana	Millers Pine	10	5	50	B	
33	Pinus canadensis	Banksian Pine	10	5	50	B	
34	Pinus strobus	White Pine	10	5	50	B	
35	Pinus resinosa	Red Pine	10	5	50	B	
36	Pinus rigida	Mill Pine	10	5	50	B	
37	Pinus taeda	Loblolly Pine	10	5	50	B	
38	Pinus millmurrayana	Millers Pine	10	5	50	B	
39	Pinus canadensis	Banksian Pine	10	5	50	B	
40	Pinus strobus	White Pine	10	5	50	B	
41	Pinus resinosa	Red Pine	10	5	50	B	
42	Pinus rigida	Mill Pine	10	5	50	B	
43	Pinus taeda	Loblolly Pine	10	5	50	B	
44	Pinus millmurrayana	Millers Pine	10	5	50	B	
45	Pinus canadensis	Banksian Pine	10	5	50	B	
46	Pinus strobus	White Pine	10	5	50	B	
47	Pinus resinosa	Red Pine	10	5	50	B	
48	Pinus rigida	Mill Pine	10	5	50	B	
49	Pinus taeda	Loblolly Pine	10	5	50	B	
50	Pinus millmurrayana	Millers Pine	10	5	50	B	
51	Pinus canadensis	Banksian Pine	10	5	50	B	
52	Pinus strobus	White Pine	10	5	50	B	
53	Pinus resinosa	Red Pine	10	5	50	B	
54	Pinus rigida	Mill Pine	10	5	50	B	
55	Pinus taeda	Loblolly Pine	10	5	50	B	
56	Pinus millmurrayana	Millers Pine	10	5	50	B	
57	Pinus canadensis	Banksian Pine	10	5	50	B	
58	Pinus strobus	White Pine	10	5	50	B	
59	Pinus resinosa	Red Pine	10	5	50	B	
60	Pinus rigida	Mill Pine	10	5	50	B	
61	Pinus taeda	Loblolly Pine	10	5	50	B	
62	Pinus millmurrayana	Millers Pine	10	5	50	B	
63	Pinus canadensis	Banksian Pine	10	5	50	B	
64	Pinus strobus	White Pine	10	5	50	B	
65	Pinus resinosa	Red Pine	10	5	50	B	
66	Pinus rigida	Mill Pine	10	5	50	B	
67	Pinus taeda	Loblolly Pine	10	5	50	B	
68	Pinus millmurrayana	Millers Pine	10	5	50	B	
69	Pinus canadensis	Banksian Pine	10	5	50	B	
70	Pinus strobus	White Pine	10	5	50	B	
71	Pinus resinosa	Red Pine	10	5	50	B	
72	Pinus rigida	Mill Pine	10	5	50	B	
73	Pinus taeda	Loblolly Pine	10	5	50	B	
74	Pinus millmurrayana	Millers Pine	10	5	50	B	
75	Pinus canadensis	Banksian Pine	10	5	50	B	
76	Pinus strobus	White Pine	10	5	50	B	
77	Pinus resinosa	Red Pine	10	5	50	B	
78	Pinus rigida	Mill Pine	10	5	50	B	
79	Pinus taeda	Loblolly Pine	10	5	50	B	
80	Pinus millmurrayana	Millers Pine	10	5	50	B	
81	Pinus canadensis	Banksian Pine	10	5	50	B	
82	Pinus strobus	White Pine	10	5	50	B	
83	Pinus resinosa	Red Pine	10	5	50	B	
84	Pinus rigida	Mill Pine	10	5	50	B	
85	Pinus taeda	Loblolly Pine	10	5	50	B	
86	Pinus millmurrayana	Millers Pine	10	5	50	B	
87	Pinus canadensis	Banksian Pine	10	5	50	B	
88	Pinus strobus	White Pine	10	5	50	B	
89	Pinus resinosa	Red Pine	10	5	50	B	
90	Pinus rigida	Mill Pine	10	5	50	B	
91	Pinus taeda	Loblolly Pine	10	5	50	B	
92	Pinus millmurrayana	Millers Pine	10	5	50	B	
93	Pinus canadensis	Banksian Pine	10	5	50	B	
94	Pinus strobus	White Pine	10	5	50	B	
95	Pinus resinosa	Red Pine	10	5	50	B	
96	Pinus rigida	Mill Pine	10	5	50	B	
97	Pinus taeda	Loblolly Pine	10	5	50	B	
98	Pinus millmurrayana	Millers Pine	10	5	50	B	
99	Pinus canadensis	Banksian Pine	10	5	50	B	
100	Pinus strobus	White Pine	10	5	50	B	

GROUND COVER LEGEND

- LAWN SEED
- GRASSLAND MIX - LOW GROWING MEADOW FOR MEDIUM SOILS AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION BOTTOM MIX - MOIST MEADOW MIX AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION SIDE MIX - LOW GROWING MEADOW FOR DRY SOILS AS SPECIFIED BY PRAIRIE NURSERY
- ANNUALS - BY OWNER
- BARK MULCH
- 1.5' LOCAL WASHED STONE OVER FILTER FABRIC - 3" DEPTH

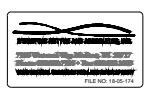
LANDSCAPE PLAN NOTES

1. CONTACT DIGGERS' HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
4. LANDSCAPE EDGING SHALL BE 3/16" X 4" ALUMINUM EDGING.
5. ALL TREES IN TURF AREAS SHALL HAVE A 4" DIAMETER CIRCLE OF 3" DEPTH SHREDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
6. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
7. LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC, PER MANUFACTURER'S SPECIFICATIONS.
8. INFILTRATION AREA PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 6"-12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
9. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

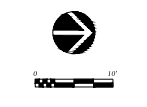
TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin



1614 BIRCHWOOD AVE.
 MADISON, WI 53704
 608.261.8101 TEL
 608.261.8001 FAX
 WWW.JAARCH.COM



TO OBTAIN LOCATIONS OF
 PARTICIPANT UNDERGROUND
 FACILITIES BEFORE YOU DIG IN
 WISCONSIN
DIGGERS' HOTLINE
 Dial 811 or
 (800) 242-8511
 DiggersHotline.com



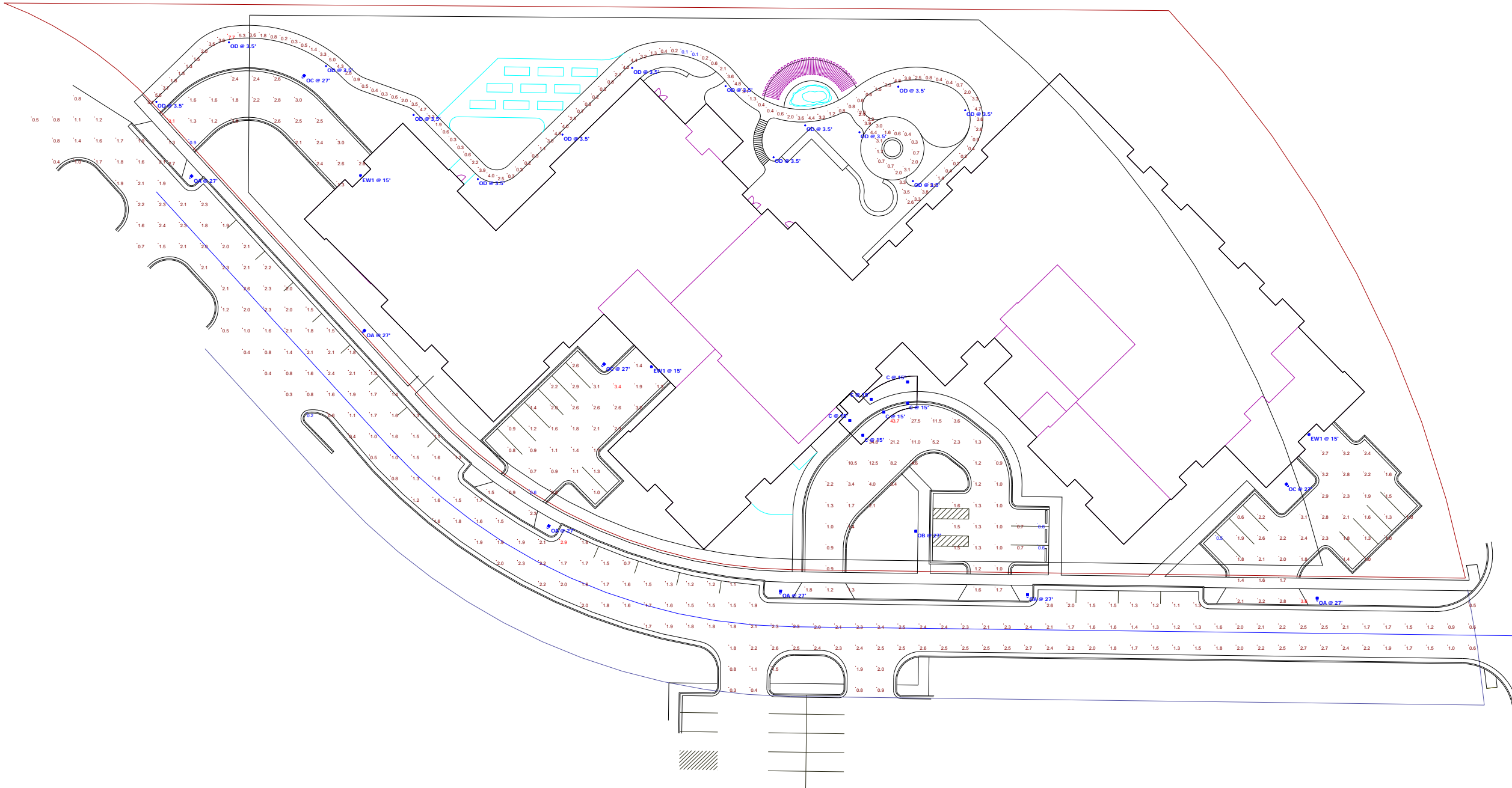
DRAWN BY
 DATE
 8 MAY 2019
 PROJECT
 181801
 SHEET NO.

File: U:\User\180574\Drawings\100_Landscape.dwg L105 Plotted: May 07, 2019 - 1:38am

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	C	6	Cree Inc	CPY250-B-xx-F-B-UL-xx-	Canopy Fixture	LED 3000K	1	CPY250-B-XX-F-B-UL-XX-30K_CONFIGURED.ies	11846	1	96
	OA	6	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-SL2-7030-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE II SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	LED 3000K	32	GLEON-AF-02-LED-E1-SL2-7030-HSS.ies	305	1	113
	OB	1	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-03-LED-E1-SWQ-7030	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE V WIDE OPTICS	LED 3000K	48	GLEON-AF-03-LED-E1-SWQ-7030.ies	386	1	166
	OC	3	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-03-LED-E1-SL4-7030-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	LED 3000K	48	GLEON-AF-03-LED-E1-SL4-7030-HSS.ies	297	1	166
	EW1	3	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	1ST-E01-LED-E1-BL3-7030	IMPACT ELITE LED LUMINAIRE (1) LIGHTBARS WITH AccuLED OPTICS - TYPE 3 W/ BACK LIGHT CONTROL	LED 3000K	21	1ST-E01-LED-E1-BL3-7030.ies	117	1	24.7
	OD	14	RAB LIGHTING INC. RC LIGHTING	BLEDR24Y, (42" ROUND BOLLARD)	3.5' Bollard	LED 3000K	20	rab03645.ies	109	1	22.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entrance Drive	+	2.2 fc	3.1 fc	0.9 fc	3.4:1	2.4:1
Parking Lot 1	+	1.7 fc	3.4 fc	0.6 fc	5.7:1	2.8:1
Parking Lot 2	+	5.1 fc	43.7 fc	0.6 fc	72.8:1	8.5:1
Parking Lot 3	+	2.0 fc	3.6 fc	0.5 fc	7.2:1	4.0:1
Roadway	+	1.7 fc	2.9 fc	0.2 fc	14.5:1	8.9:1
Sidewalk	+	2.1 fc	7.7 fc	0.1 fc	77.0:1	21.0:1

Note
 FC Measured at 0' AFG
 Pole Mounted Fixtures = 27' AFG
 (25' Pole + 2' Base)



Plan View
 Scale - 1" = 25ft

Capri Madison Development REV1

Designer	
Date	5/6/2019
Scale	Not to Scale
Drawing No.	
Summary	

CPY Series - Version B

CPY250® LED Canopy/Suffit Luminaire

Product Description

The CPY250® LED Canopy/Suffit Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted, recessed or surface mounted. Direct mounting of the LED is eliminated with a highly efficient polycarbonate lens. Applications: Petroleum pumps, CMS testing stations, etc.

Performance Summary

Assembled in the USA of U.S. and imported parts.

Initial Delivered Lumens: Up to 30,000

Efficiency Up to 150 L/W

CB: Minimum 70 CRI

CCT: 3000K (± 200K), 4000K (± 300K), 5000K (± 500K)

10-year warranty* 10 years on luminaire/16 years on ColorBlast Delivered® Finish

Class 1, Division 2 hazardous locations for select models

Not applicable to any products

For more information, contact your sales representative

Accessories
 See spec sheet for details.
Direct Mount Luminaires
 Complete kits for use with:
 11" (28mm) recessed
 12" (30mm) recessed
 12" (30mm) surface
 12" (30mm) surface
 12" (30mm) surface
Recessed Mount Luminaires
 Complete kits for use with:
 11" (28mm) recessed
 12" (30mm) recessed
 12" (30mm) surface
 12" (30mm) surface
Direct Mount Entry Flares
 Complete kits for use with:
 11" (28mm) recessed
 12" (30mm) recessed
 12" (30mm) surface
 12" (30mm) surface

Weight
 See spec sheet for details.

Ordering Information
 Example: CPY250-B-030-0-0-1000

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
CPY250	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

McGraw-Edison

The GLEON® LED luminaire delivers exceptional performance in a highly scalable, low profile design. Patented, high efficiency AccuLED Optics™ system provides uniform, anti-glare illumination for walkways, parking lots, roadways, building areas and secure lighting applications. IP66 rated and UL-Listed for wet locations.

Performance Summary

Assembled in the USA of U.S. and imported parts.

Initial Delivered Lumens: Up to 30,000

Efficiency Up to 150 L/W

CB: Minimum 70 CRI

CCT: 3000K (± 200K), 4000K (± 300K), 5000K (± 500K)

10-year warranty* 10 years on luminaire/16 years on ColorBlast Delivered® Finish

Class 1, Division 2 hazardous locations for select models

Not applicable to any products

For more information, contact your sales representative

Accessories
 See spec sheet for details.
Direct Mount Luminaires
 Complete kits for use with:
 11" (28mm) recessed
 12" (30mm) recessed
 12" (30mm) surface
 12" (30mm) surface
Recessed Mount Luminaires
 Complete kits for use with:
 11" (28mm) recessed
 12" (30mm) recessed
 12" (30mm) surface
 12" (30mm) surface
Direct Mount Entry Flares
 Complete kits for use with:
 11" (28mm) recessed
 12" (30mm) recessed
 12" (30mm) surface
 12" (30mm) surface

Weight
 See spec sheet for details.

Ordering Information
 Example: GLEON-10-030-0-0-1000

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
GLEON	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
GLEON	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
GLEON	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
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Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
GLEON	E	DM	8"	4"	UL	None	5000K	Dim, 8' 10" Down

Product	Brand	Mounting	Size	Power/Factor	Temp	Color Options	CCT	Options
GLEON	E							



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 7043 Tree Lane

Contact Name & Phone #: Bruce Hollar 608-833-7530

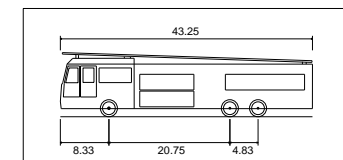
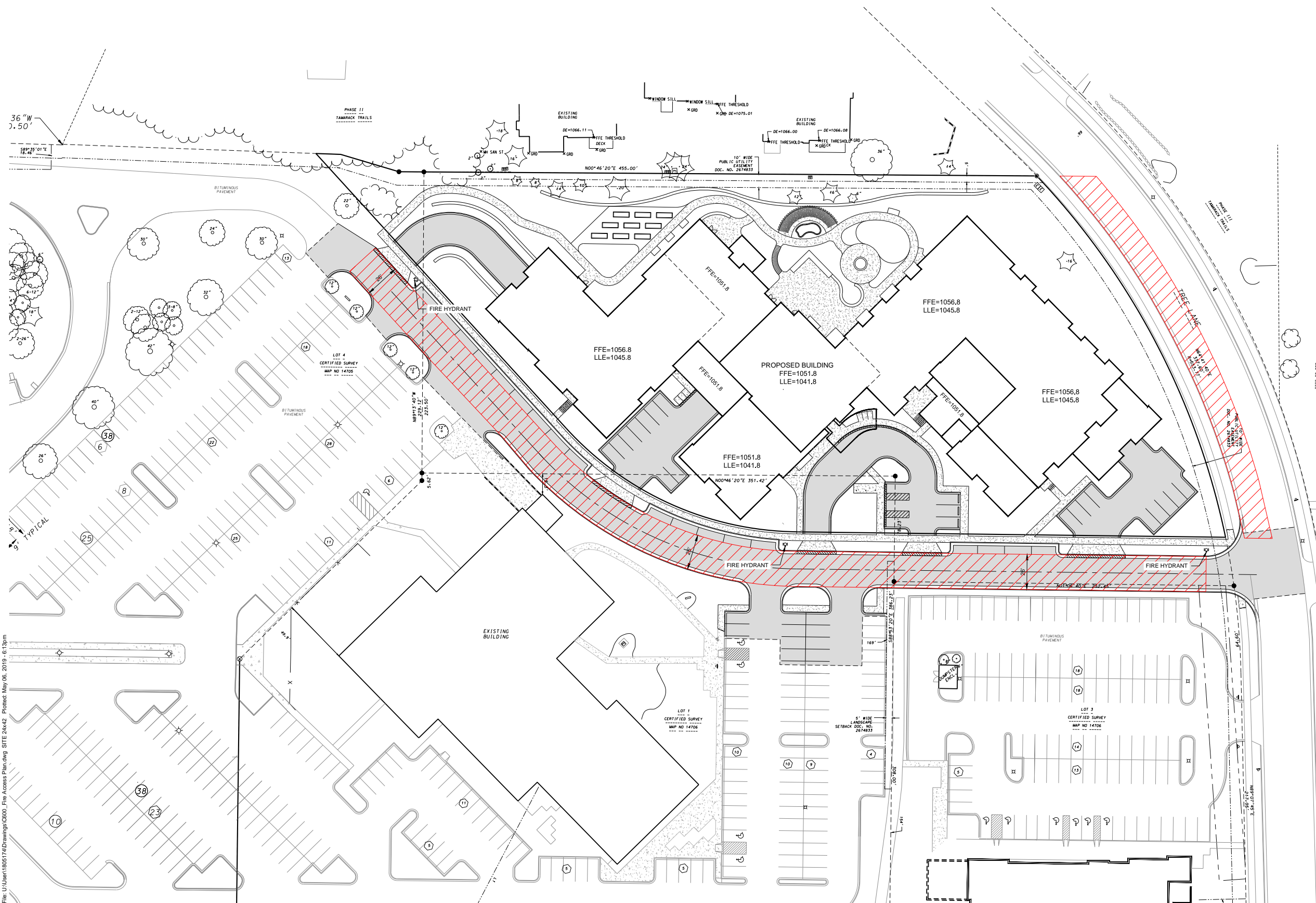
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A		
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

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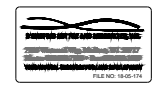


FIRE RESCUE VEHICLE	43.250ft
Overall Length	8.333ft
Overall Width	11.000ft
Overall Body Height	1.393ft
Min Body Ground Clearance	8.333ft
Track Width	6.00s
Lock-to-lock time	45.00°
Max Wheel Angle	

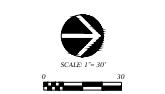
Fire Access Plan



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DRAWN BY: ---
 DATE: 8 MAY 2019
 PROJECT: 181801
 SHEET NO. ---

C600



Policy and Procedure

Category: Emergency Plan	Policy #:
Title: Fire Drill and Evacuation Procedure	Effective Date:

DRAFT – TREE LANE MADISON DEVELOPMENT – *final review and approval by local authority having jurisdiction*

Policy:

It is the company's policy to conduct monthly fire drills and simulate evacuation of the facility during each drill. At least one simulated night drill will be conducted annually with participants being staff members normally assigned to work the night shift. It is the company's policy to safely evacuate residents in danger during a fire emergency.

Procedure:

In the event of actual fire or smoke, all staff should immediately revert to the Evacuation Procedures within this document.

DRILL

- 1) Upon hearing the fire alarm, the Lead Caregiver on duty will proceed to the fire panel located at the front door of main entrance and front door of Memory Care entrance. The fire panel will provide a general location of the alarm. All other staff not providing direct care to a resident should report to the main lobby to confirm the location of the fire. Should a Lead Caregiver not be present in the building, this responsibility will move to the 1st floor medication passer. The fire alarm **SHOULD NOT BE SILENCED** at this time.
- 2) During an after hour fire emergency all staff should consider the Lead Caregiver or the 1st floor medication passer the person in charge.
- 3) The person in charge will relay the location of the alarm to all staff present and assign staff member(s) to investigate the extent of the fire.
- 4) Fire Emergency Assignment cards will be kept in the emergency boxes located in each laundry room. There will be an assignment card for each floor, kitchen staff, and the person in charge. Those individuals not in immediate proximity to the alarm location will head to their emergency box and begin completing the tasks on their Emergency Assignment Cards. There are additional Emergency Assignment Cards located in the Kitchen, the Front Office, and duplicate master posted in the staff rooms.
- 5) When the extent and location of the fire is confirmed, the staff member at the scene of the alarm will immediately report back to the person in charge what they have found by using the hand held radio or direct verbal communication if the hand held radios cannot be properly used.

- 6) If a fire has been found and the alarm is legitimate, the person in charge will be notified of details. The individual who found the fire will immediately begin assessing the environment for safe evacuation of residents.
- 7) The person in charge will proceed to notify remaining staff of the location of the fire. The person in charge will proceed to the fire location to assist with staff evacuation.
- 8) In order to ensure the safety of all residents, each floor or department should complete their respective Emergency Assignment Card prior to proceeding to the location of fire and assisting with evacuation. Upon completion of their Emergency Assignment Cards remaining staff should head directly to fire location to aid in evacuation/relocation of residents.
- 9) In the performance of a fire drill or false alarm, the person in charge will relay an "all clear" call to all floors using the hand held radio when the drill is completed. If the person in charge has not already done so they will proceed to silence the fire alarm system using the system control panel. In the event of a fire the system should NOT be reset, this should be left for the local fire department. Should the alarm be connected to a scheduled exercise, person in charge will reset the alarm after successful completion of the drill.
- 10) If the alarm was intentionally tripped as part of a scheduled fire drill, the person in charge will finish the exercise by completing a *Fire Drill/Evacuation Form*.

EVACUATION:

- 1) If a fire is found on a unit and cannot be easily extinguished within 30 seconds staff should begin evacuation procedures. **REMEMBER TRASH CAN RULE:** *if a fire appears to be larger than a small office trash can- you should not attempt to extinguish- begin evacuation and relocation immediately.]*
- 2) **STOP-** has a fire alarm been pulled, has 911 been called? Confirm emergency personnel have been dispatched before you begin evacuation procedures.
- 3) The person in charge should direct evacuation with the goals of efficiency, accountability, and safety in mind. The evacuating staff should never endanger themselves or other residents in order to complete an evacuation (**safety**). Staff will focus on properly assisting as many residents to safety as quickly as possible (**efficiency**). The person in charge should have the updated resident roster and staff schedule to make note of the remaining residents (**accountability**). This information is to be relayed to emergency personnel as soon as they arrive on the premises.
- 4) The facility's elevators cannot be used in a fire emergency. Only residents who can safely manipulate stairs independently should be directed to use the stairwells as a means of evacuation.
- 5) Residents that can be safely evacuated should be escorted to _____ **TBD** _____. If residents are being evacuated, a staff member must remain with the residents. Evacuated residents should never be left alone and should be supervised by at least one staff member whenever possible (**safety and accountability**).
- 6) During an evacuation residents on safe floors are protected by the facility's fire rated construction and should not be evacuated unless their room is directly above, below, or

adjacent to the location of the fire. Residents should be escorted to their rooms and remain with their doors closed until an “all clear” announcement is made over the hand held radios or further direction from emergency services is provided.

EMERGENCY EVENT BACKUPS

Evacuation Safe Shelter

Determine with fire department

Emergency Medication Supply

Determine at occupancy

Emergency Food Supply

American Red Cross

Determine location



Parking Adjustments

(To be accompanied by a site plan and information supporting the requested adjustment.)

FOR OFFICE USE ONLY
Date:
Received by:
Zoning District:
Parcel No.:
Special Conditions:

Type or print, using pen, not pencil. Check the parking adjustment(s) which is requested.

- | | |
|---|--|
| <input type="checkbox"/> Deferred provision of parking | <input type="checkbox"/> Off-site parking availability |
| <input type="checkbox"/> Shared parking (see separate request form) | <input type="checkbox"/> Moped substitution |
| <input type="checkbox"/> Parking stall reduction | <input type="checkbox"/> Bicycle substitution |
| <input checked="" type="checkbox"/> Bicycle parking reduction | <input type="checkbox"/> Parking exceeding maximum |
| <input type="checkbox"/> Shared car availability | |
| <input type="checkbox"/> Transit corridor proximity | |

Address of Property: 7043 Tree Lane	
Name & Address of Owner: Capri Senior Communities	
20875 Crossroads Circle, Suite 400 Waukesha, WI 53186	
Name & Address of Applicant (or owner's representative): same as above	
owner's representative: Amy Schoenemann	
Phone Number: 262-289-2759	Email: aschoenemann@capricommunities.com
Brief Summary of Proposal:	

The bike parking requirement indicates 1:1 independent units, 1:4 assisted living units, 1:5 employees. The proposed Tree Lane senior development will include 150 independent units (150 bikes), 32 assisted living units (8 bikes) and will accommodate 28 staff members (6 bikes) which requires 164 total bicycle stalls.

Capri has 27-years of experience owning and operating senior communities across Wisconsin. Our portfolio includes 17 campuses comprised of over 2,200 units with diversity across urban and suburban locations, most of which offer a micro-continuum of services for independent, assisted, memory care and employees over 600 team members. Statistically, Capri's resident bicycle ownership averages 3 bikes: 100 independent living units, 1 bike: 50 assisted living units, and 2 staff bikes: building. Applying this data would suggest a total of 8 bicycle stalls at Tree Lane. Capri is currently constructing a 118-unit senior development in downtown Milwaukee along the Van Buren bus line in a high-density area in which 12 parking stalls were required (70% inside / 30 % public) by the Department of Community Development (DCD). The average age of our independent living residents is 83 years old; whereas Capri is trying to attract a younger demographic target of 75 years old at the Madison development. For this reason and due to the micro-cultural differences in wellness & fitness in the city of Madison, we believe 32 stalls (a 300% increase over Capri's existing campuses) would provide adequate bicycle parking.

The following section is to be filled in by the applicant with Zoning staff assistance. The applicant must submit information to support the request for a parking adjustment.

1) On bus route: YES NO

2) Within 1000 feet of bicycle path: YES NO

3) Bicycle rack on private property: YES NO

4) Public bike parking in public right of way within 200 feet: YES NO

If yes, number of bike stalls:

5) Hours of operation: 7am to 8pm* *appx 3 care staff on site 24 x 7

6) Is this peak demand time for other uses: YES NO

7) Is this a change of use? NO

8) New Building: YES

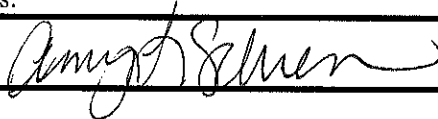
9) Addition to existing building: NO

10) Existing or potential shared parking: YES NO

If yes, address:

Number of stalls:

Applicant's Signature:



Date:

5.6.2019

Parking Adjustments To Be Filled in by Zoning Staff

Existing Parking Requirement:	Existing Number of Stalls Provided:
Proposed Parking Requirement:	Proposed Number of Stalls Provided:
Number of Stalls Adjusted:	Percent of Adjustment Requested:

11) Availability & Accessibility of Alternative Parking [1=Plenty available, 5=Little available (*bad*):

a) On-street availability (Rate 1 to 5):

b) Public parking within 500 feet: _____ stalls

c) Other _____ stalls

12) Impact on adjacent residential neighborhoods. Rate 1 to 5 [1=Low impact, 5=High impact (*bad*):

13) Number of residential parking permits issued in the block (if applicable): n/a.

14) Anticipated increased demand. Rate 1 to 5 [1=Low, 5=high (*bad*):

Because of the diversity of situations and neighborhoods, some of the above criteria have greater influence on the parking stall reduction request. The following criteria are significant in this case.

1	4	7	11.a.	10
2	5	8	11.b.	12
3	6	9	11.c.	13

Administrative Approval of Parking Stall Reduction Request

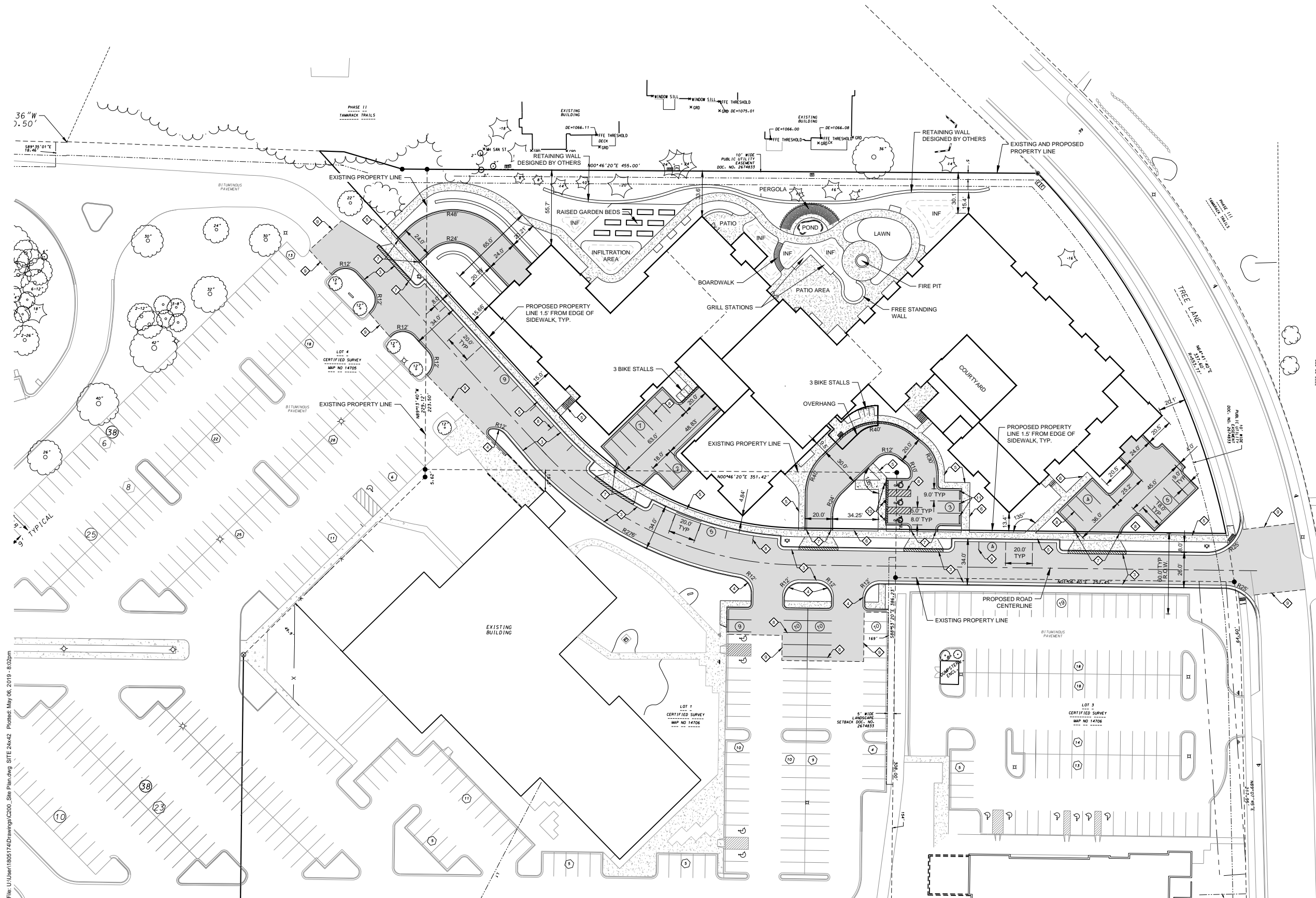
Parking requirement reduced by the greater of 5 parking stalls or 10% of the required parking: Applicant:
Parking reduction up to 20 parking stalls: Zoning Administrator:
Parking reduction of more than 20 stalls but less than 25% of the required parking: Director of Planning & Community & Economic Development:

Zoning Administrator: _____

Administrative Approval of Parking in Excess of the Maximum Number of Stalls

Parking exceeding the requirement by the lesser of 5 parking stalls or 10% of maximum: Applicant:
Parking exceeding maximum by up to 20 stalls: Zoning Administrator:
Parking exceeding maximum by more than 20 stalls but not more than 10% of the maximum: Director of Planning & Community & Economic Development:

Zoning Administrator: _____



- LEGEND**
- FOUND 3/4" SOLID ROUND IRON STAKE
 - FOUND 1-1/4" SOLID ROUND IRON STAKE
 - ✕ FOUND CHISEL ✕
 - ⊠ ELECTRIC TRANSFORMER/VALVE
 - ⊞ TELECOMMUNICATION PED
 - ⊞ LIGHT POLE
 - ⊞ HYDRANT
 - ⊞ SIGN
 - ⊞ PINE TREE
 - TREE
 - TREE LINE
 - ACCESSIBLE PARKING SPACE
 - NUMBER OF PARKING SPACES
 - CONCRETE WALL
 - CONC. CURB
 - CONCRETE

SITE PLAN INFORMATION BLOCK

Existing Lot Area	138,244 sf
Proposed Lot Area	128,640 sf
Building Area	51,555 sf
Total Accessible Stalls	3
Total On-Site Standard Parking Stalls	21
Total Parallel Parking Stalls	18

- PROPOSED IMPROVEMENTS LEGEND**
- HMA PAVEMENT
 - CONCRETE PAVEMENT
 - PROPOSED PARKING SPACE COUNT
 - ▨ DEPRESSED CURB

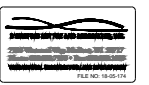
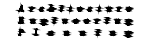
- KEYNOTES**
- ◇ 18-INCH CURB & GUTTER (TYPE D - ACCEPTING PAN)
 - ◇ 18-INCH CURB & GUTTER (TYPE D - REJECTING PAN)
 - ◇ 30-INCH CURB & GUTTER
 - ◇ TRANSITION FROM 18" TO 30" CURB
 - ◇ 5' SIDEWALK
 - ◇ 6' SIDEWALK
 - ◇ 2' CURB TERMINUS
 - ◇ PARKING SPACE STRIPING - TYP
 - ◇ MEET EXISTING ASPHALT PAVEMENT
 - ◇ ACCESSIBLE PARKING SIGN
 - ◇ CONCRETE WHEEL STOP

- NOTES**
- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 - PROVIDE CONTROL JOINTS 10'± O.C. PROVIDE EXPANSION JOINTS 50' O.C.
 - EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
 - EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
 - PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REPLACE CURB AND GUTTER AND PAVEMENT WHICH ABUTS THE PROJECT AND IS DAMAGED BY CONSTRUCTION OR CURB AND GUTTER WHICH THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
 - ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 - ALL PARCELS WITHIN THIS DEVELOPMENT ARE BOUND BY THE CROSS ACCESS AGREEMENT ON FILE WITH THE REGISTER OF DEEDS.
 - UPON CONSULTATION, THE CITY TRAFFIC ENGINEER MAY DETERMINE A DELAY IN CONSTRUCTION OF THE STREETS IS APPROPRIATE.

TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



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DRAWN BY
 DATE
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 PROJECT
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 SHEET NO.

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