

# URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Legistar # \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: Lots 1 and 45, Plat of Chapel View, Madison WI

Title: The Cottages At Chapel View

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested May 29, 2019

- ☐ New development ☐ Alteration to an existing or previously-approved development  
☐ Informational ☒ Initial approval ☐ Final approval

## 3. Project Type

- ☐ Project in an Urban Design District  
☐ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
☐ Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
☐ Planned Development (PD)  
☐ General Development Plan (GDP)  
☐ Specific Implementation Plan (SIP)  
☒ Planned Multi-Use Site or Residential Building Complex

### Signage

- ☐ Comprehensive Design Review (CDR)  
☐ Signage Variance (i.e. modification of signage height, area, and setback)

### Other

- ☒ Please specify

Review of Conditional Use - TR-V1  
(Reduction of yard setback requirements in a Residential Building Complex)

## 4. Applicant, Agent, and Property Owner Information

Applicant name Chad Wuebben, President

Street address 6840 Schneider Road

Telephone 608-836-9601

Project contact person Same As Applicant

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

Property owner (if not applicant) Same As Applicant

Street address \_\_\_\_\_

Telephone \_\_\_\_\_

Company Chapel View Development Company Inc

City/State/Zip Middleton WI 53562

Email cwuebben@encorehomesinc.com

Company \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Email \_\_\_\_\_

**5. Required Submittal Materials**

- ☒ **Application Form**
- ☒ **Letter of Intent**
- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- ☒ **Development plans** (Refer to checklist on Page 4 for plan details)
- ☒ **Filing fee** *NA*
- ☒ **Electronic Submittal\***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized and legible. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on January 23, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Chad Wuebben, President Relationship to property President of Owner

Authorizing signature of property owner  Date April 3, 2019

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- ☒ Urban Design Districts: \$350 (per §33.24(6) MGO).
- ☐ Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- ☐ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- ☐ Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- ☐ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

\* A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- ☒ Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- ☐ Locator Map
- ☐ Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☐ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☐ Site Plan
- ☐ Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- ☒ Locator Map
- ☒ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ☒ Contextual site information, including photographs and layout of adjacent buildings/structures
- ☒ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ☒ Landscape Plan and Plant List (*must be legible*)
- ☒ Building Elevations in both black & white and color for all building sides (include material callouts)
- ☒ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ☒ Grading Plan
- ☐ Proposed Signage (if applicable)
- ☒ Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- ☐ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ☐ PD text and Letter of Intent (if applicable)
- ☐ Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- ☐ Locator Map
- ☐ Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- ☐ Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- ☐ Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- ☐ Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- ☐ Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- ☐ Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- ☐ Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



April 4, 2019

Ms. Natalie Erdman  
Director  
Department of Planning & Community & Economic Development  
City of Madison  
215 Martin Luther King Jr Blvd  
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V1) – The Cottages At Chapel View

Dear Ms. Erdman,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

## **Project Team**

### **Applicant:**

Chapel View Development Company Inc.  
Chad Wuebben, President  
6840 Schneider Road  
Middleton WI 53562  
[cwuebben@encorehomesinc.com](mailto:cwuebben@encorehomesinc.com)  
608-444-7752

### **Engineer:**

Wyser Engineering  
Wade Wyse, Owner  
312 East Main Street  
Mount Horeb WI 53572  
[wade.wyse@wyserengineering.com](mailto:wade.wyse@wyserengineering.com)  
608-843-3388

**General Contractor:**

Encore Homes, Inc.  
 Chad Wuebben, President  
 6840 Schneider Road  
 Middleton WI 53562  
[cwuebben@encorehomesinc.com](mailto:cwuebben@encorehomesinc.com)  
 608-444-7725

**Project Sales:**

Encore Real Estate Services, Inc.  
 Cari Fuss, Managing Broker  
 6840 Schneider Road  
 Middleton WI 53562  
[cfuss@encorehomesinc.com](mailto:cfuss@encorehomesinc.com)  
 608-843-2500

**Project Overview**

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V1 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will be platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

**Lot 1    1.93 Acres    84,052 Square Feet**

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	3000 x 15 = 45,000	500 x 15 = 7,500	45,000 + 7,500 = <b>52,500</b>

**Lot 45    1.81 Acres    78,888 Square Feet**

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
13	3000 x 13 = 39,000	500 x 15 = 6,500	45,000 + 7,500 = <b>45,500</b>

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the "front" yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In

essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison's growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.

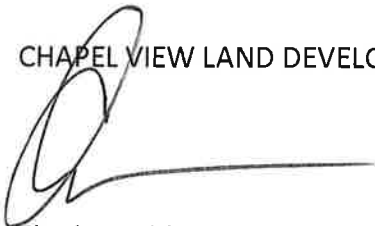
According to "The Direct Impact of Housing and Remodeling on the U.S. Economy" by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of June, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.



Chad Wuebben, President



Old Sauk Road

Intergenerational  
Center

Burnt Sienna Drive

Peach Leaf Lane

Big Stone Trail

Burnt Sienna Drive

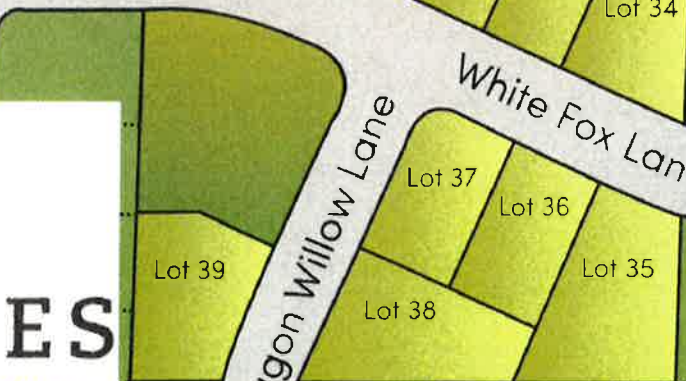
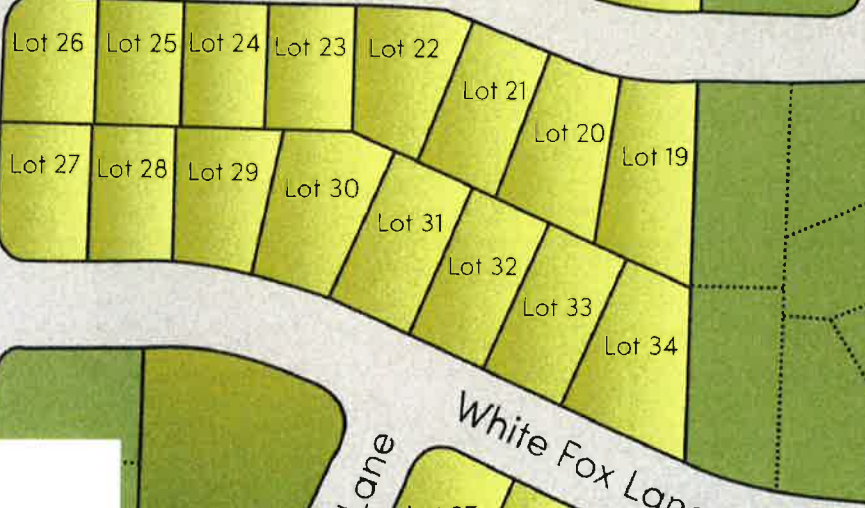
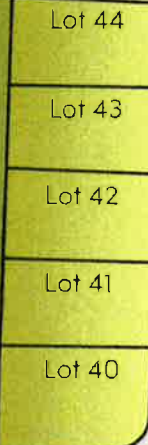
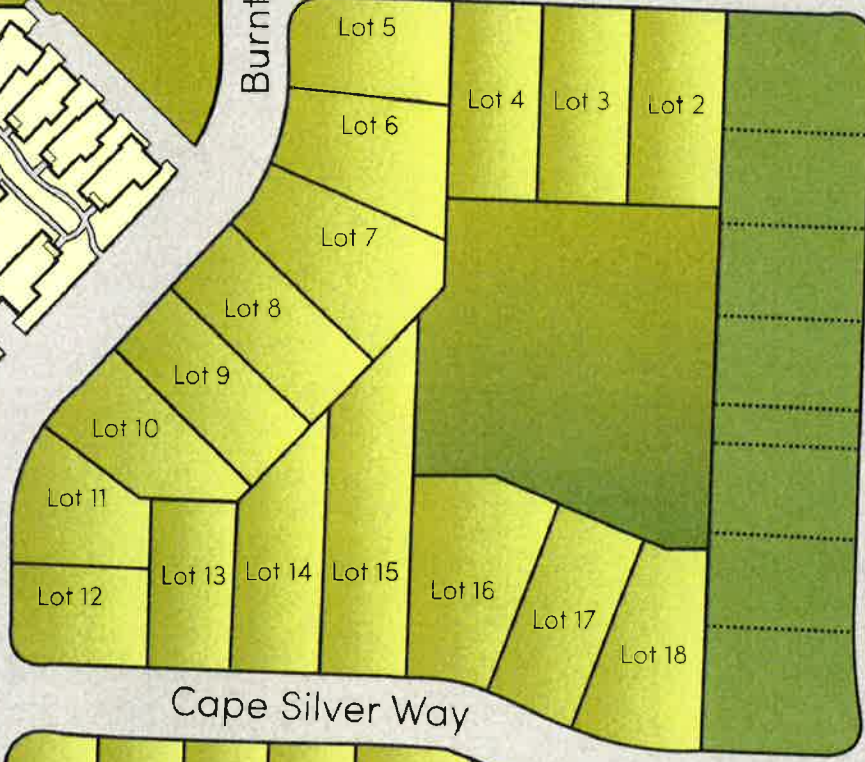
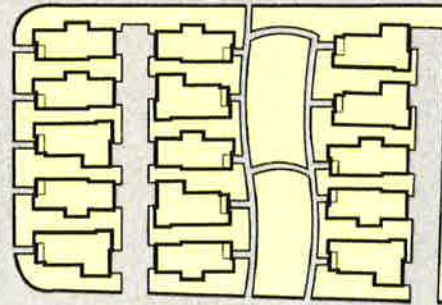
Cape Silver Way

White Fox Lane

Dragon Willow Lane



**COTTAGES**  
at Chapel View





## The Cottages At Chapel View – Site Location





Site View Looking  
North from White Fox  
Lane at Dragon  
Willow Lane



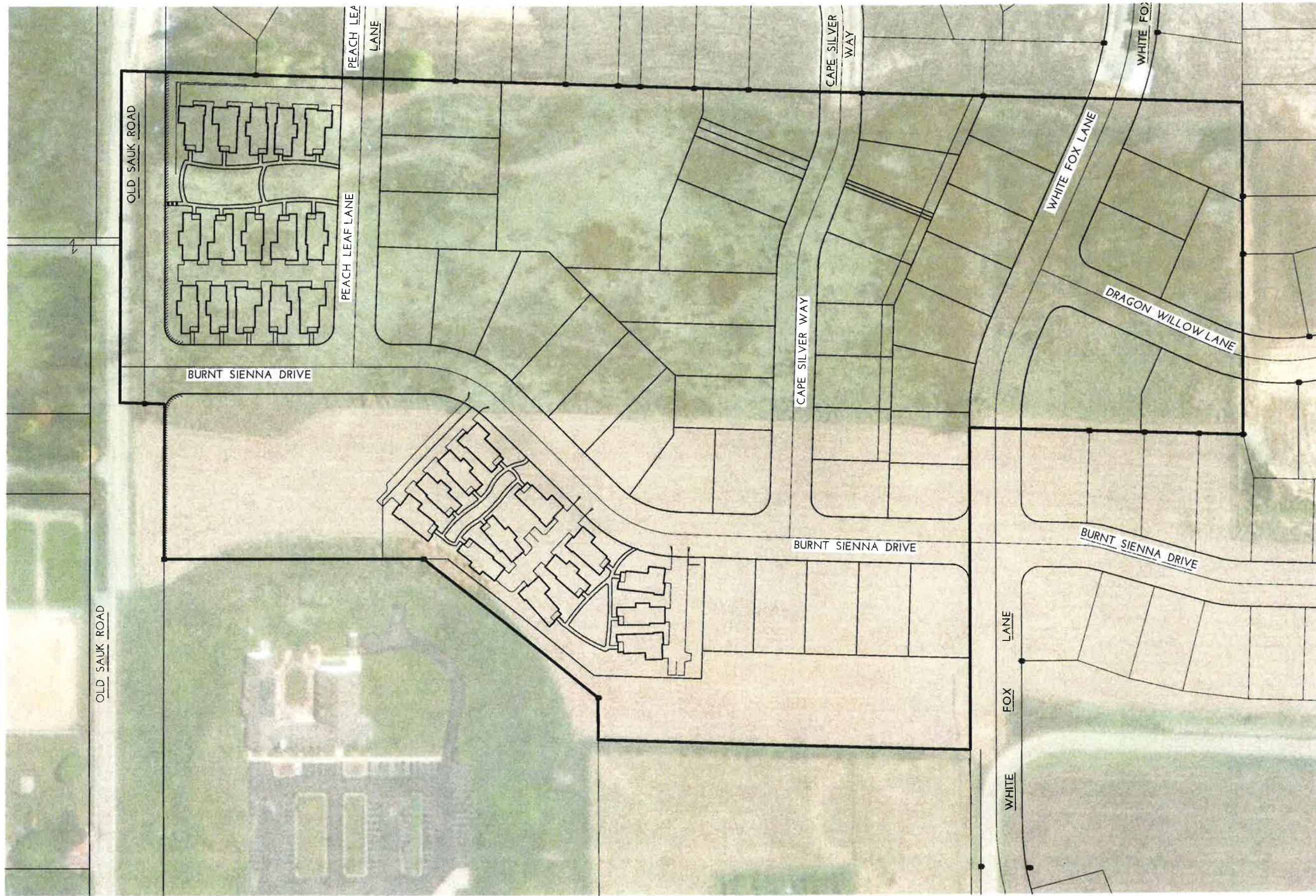
Middleton Community  
Church - West of  
Site



Homes in the Willows  
Neighborhood - East  
of Site



# Cottages At Chapel View - Proposed Plat Layout





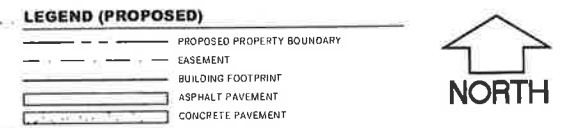
# Cottages at Chapel View - Proposed Plat Layout





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**ENCORE**

CITY OF MADISON, DANE COUNTY, WI

Sheet Title:  
SITE PLAN

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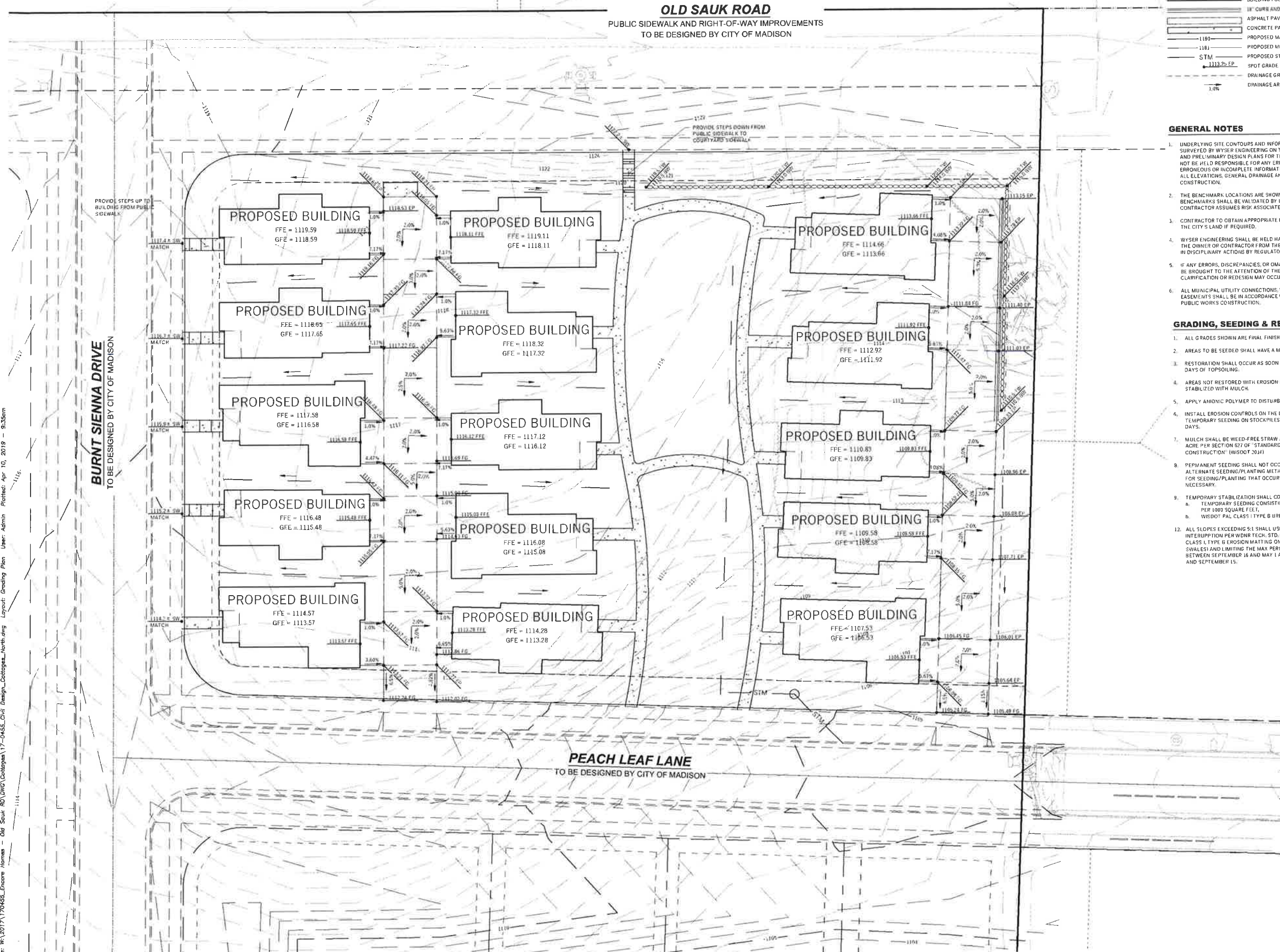
**DIGGERS HOTLINE**  
Toll Free (800) 242-8511 or- 811  
Hearing Impaired TDD (800) 542-2289  
[www.DiggersHotline.com](http://www.DiggersHotline.com)



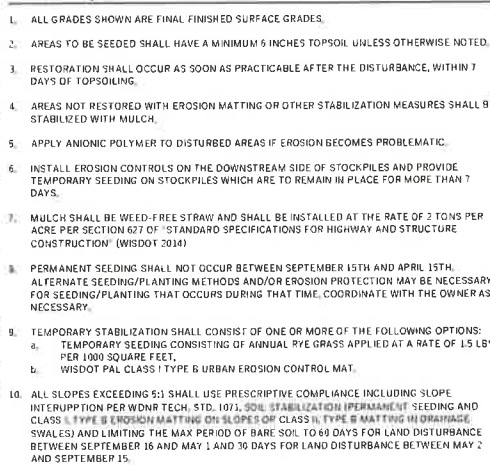




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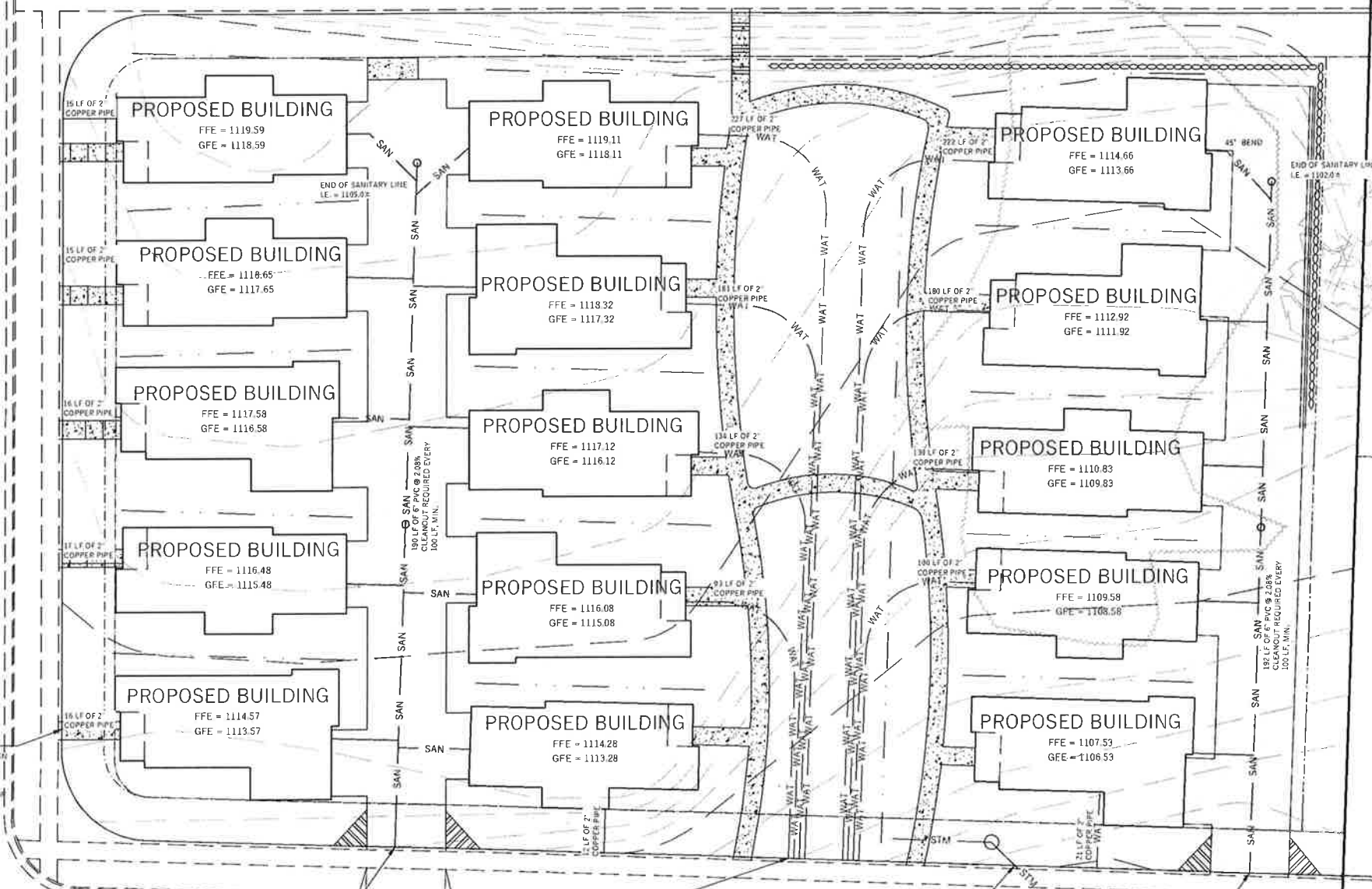
[www.DiggersHotline.com](http://www.DiggersHotline.com)



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BURNT SIENNA DRIVE  
TO BE DESIGNED BY CITY OF MADISON

OLD SAUK ROAD  
PUBLIC SIDEWALK AND RIGHT-OF-WAY IMPROVEMENTS  
TO BE DESIGNED BY CITY OF MADISON



**LEGEND (PROPOSED)**

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT - PROPOSED WATER MAIN
- SAN - PROPOSED SANITARY SEWER
- STM - PROPOSED STORM SEWER
- GAS - PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E - PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)

**GENERAL NOTES**

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 30, 2017 AND JANUARY 8, 2018 AND PRELIMINARY DESIGN PLANS FOR THE CHAPEL VIEW PLAT. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

**UTILITY NOTES**

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDOTS, AND WDMR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
- ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5" OF GROUND COVER.
- CRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
- CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
- ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.30(2)(c).
- ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
- ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
- ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(B).
- THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
- INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IS IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF 2 INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
- THE CURB INLET SHALL HAVE A CATCH-ALL HR-10H AND GREASE FILTER OR APPROVED EQUIVALENT INSTALLED WITHIN THEM.
- NO BLASTING SHALL OCCUR WITHIN 30 FEET OF ANY EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.



WYSER  
ENGINEERING

ENCORE

CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

Sheet Title:  
UTILITY PLAN

9910 PEACH LEAF LANE  
MADISON, WI 53762

Revisions:

No.	Date:	Description:

Graphic Scale: 0' 5' 10' 20' 30'

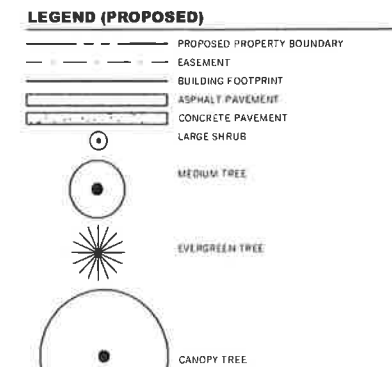
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Set Type	REVIEW
Date Issued	04/09/2019
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PAUL SKIDMORE  
LANDSCAPE  
ARCHITECT

**ENCORE**

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MADISON, WI 53562

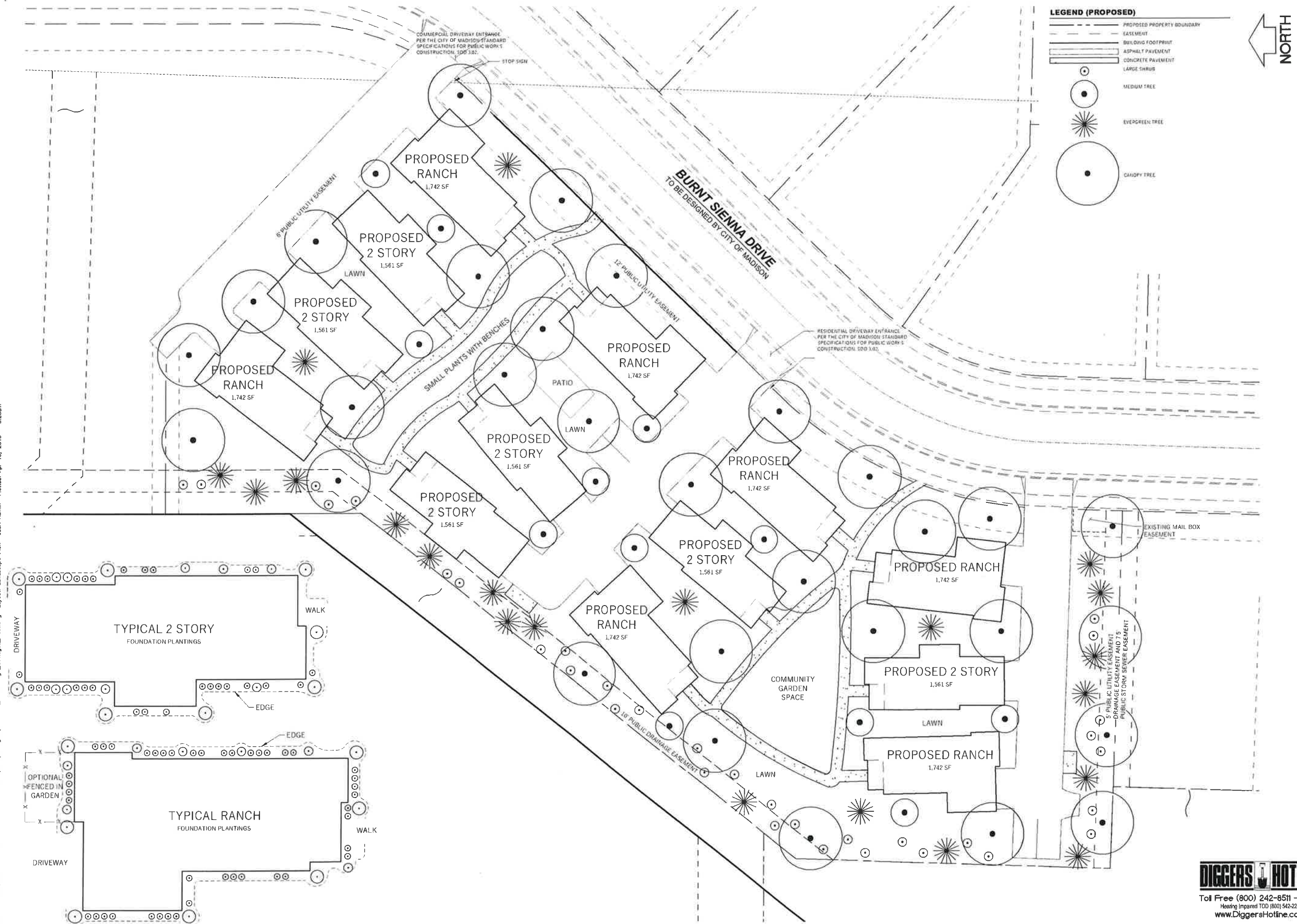
CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

Sheet Title: LANDSCAPE PLAN

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# The Primrose – Elevation A





# The Primrose – Elevation B



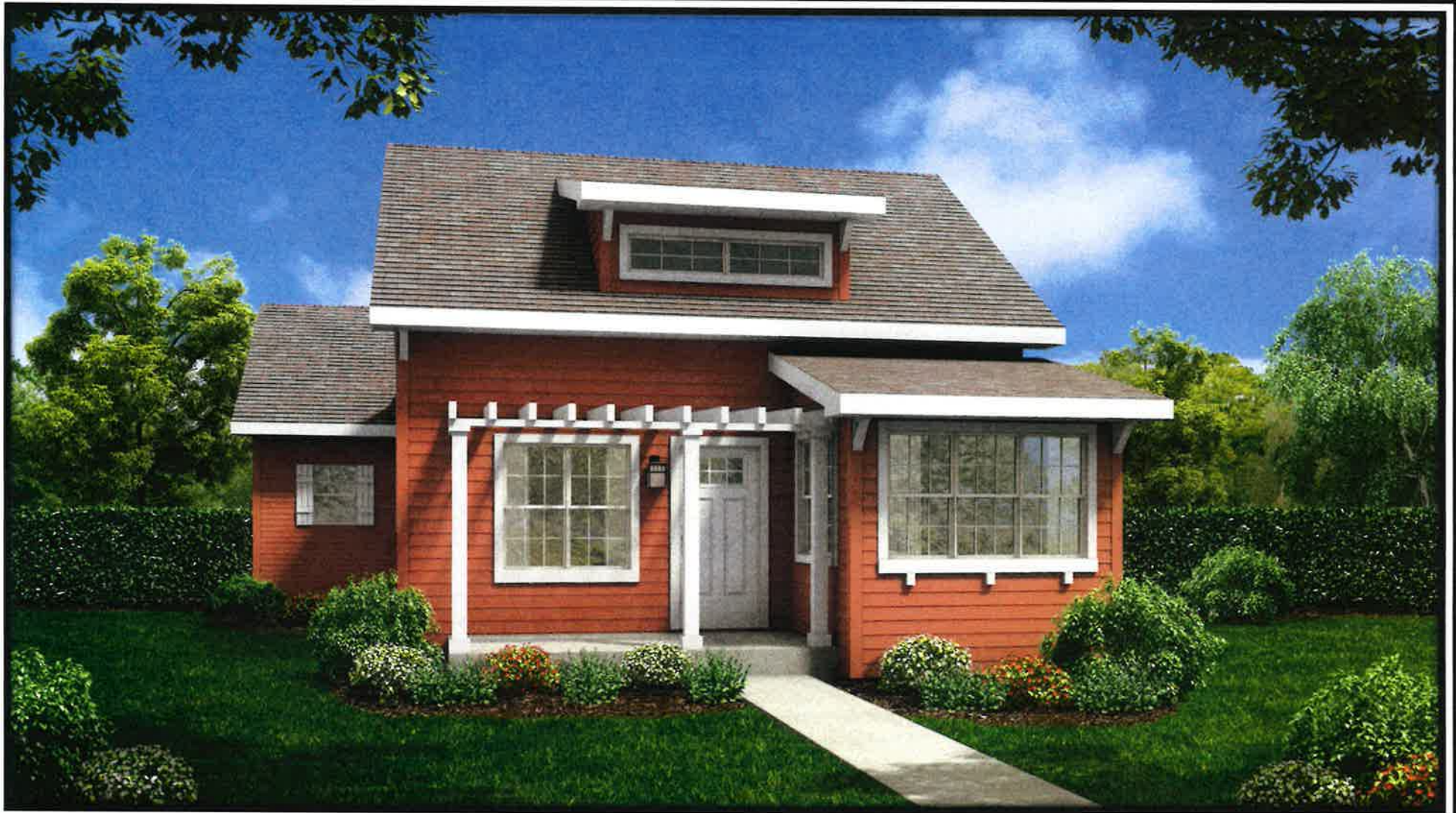


# The Primrose – Elevation C





# The Primrose – Elevation D



Notes

FOOTING  
R: 2 x 12 (11 OF 4 x 12)  
R: 12 x 12 (1 OF 4 x 12)

SWP TO BE 6" WIDE  
LWP HAILING PATTERN  
ROOF HAILING SHALL BE 1/2" DIA.  
L: FIELD HAILING SHALL BE 1/2" DIA.

STANDARD ABBREVIATIONS:

HB	HOUSE	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOOR/WALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PUMPING STACK
RS	PASSIVE RADON SYSTEM		

Revisions

REVISIONS

REV. SET: 10/20/2011 COTTAGE 1 - BLUEPRINTS

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
PRIMROSE ELEVATION A

Drawn By: SWE

Checked By: KH

Drawing Title

Foundation Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

XXX

Drawing No.

F1.0

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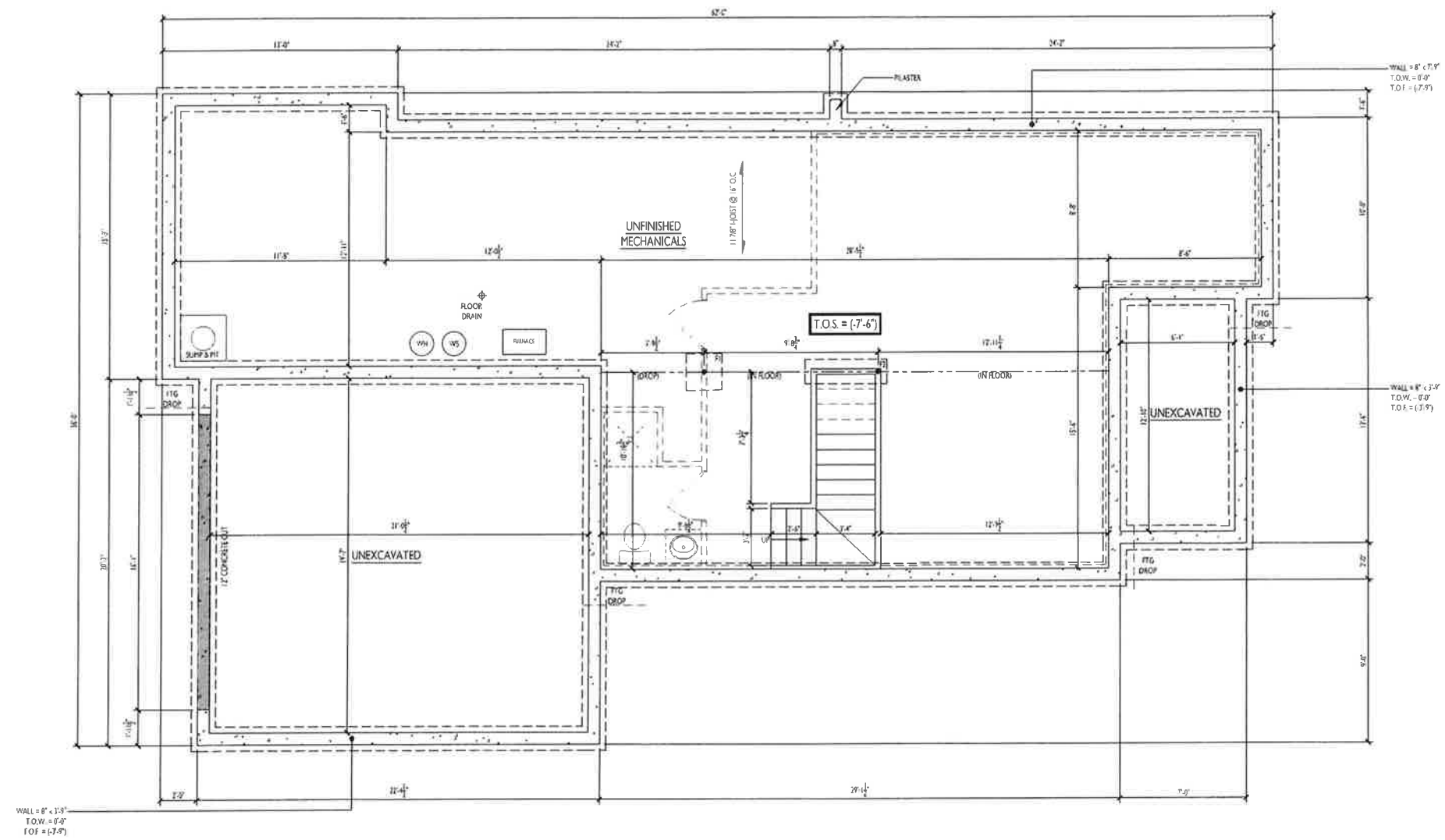


# The Cottages At Chapel View

## "The Primrose"

### Elevations A, B, C, & D





DOOR SCHEDULE								
NO	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
1	2'-0" x 6'-0"	3/8 3/8 x 82 1/2	6 9/16"	Steel Inswing w/Light	R	Handset w/ 1st Passage, Deadbolt	Wall Spring	1, 2, 3
2	2'-0" x 6'-0"	3/4 3/8 x 82 1/2	6 9/16"	20 min Steel Inswing	L	Passage, Deadbolt	Hinge Pin	3
3	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
4	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin	
5	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	
6	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
7	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring	
8	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Privacy	Wall Spring	
9	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring	
10	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Wood Pocket		Passage		
11	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Spring	
12								
13								
14								

ALTERNATES/LOWER LEVEL DOOR SCHEDULE								
NO	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Stop	
16	2'-0" x 6'-0"	3/4 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin	
17								
18								
19								

NOTES

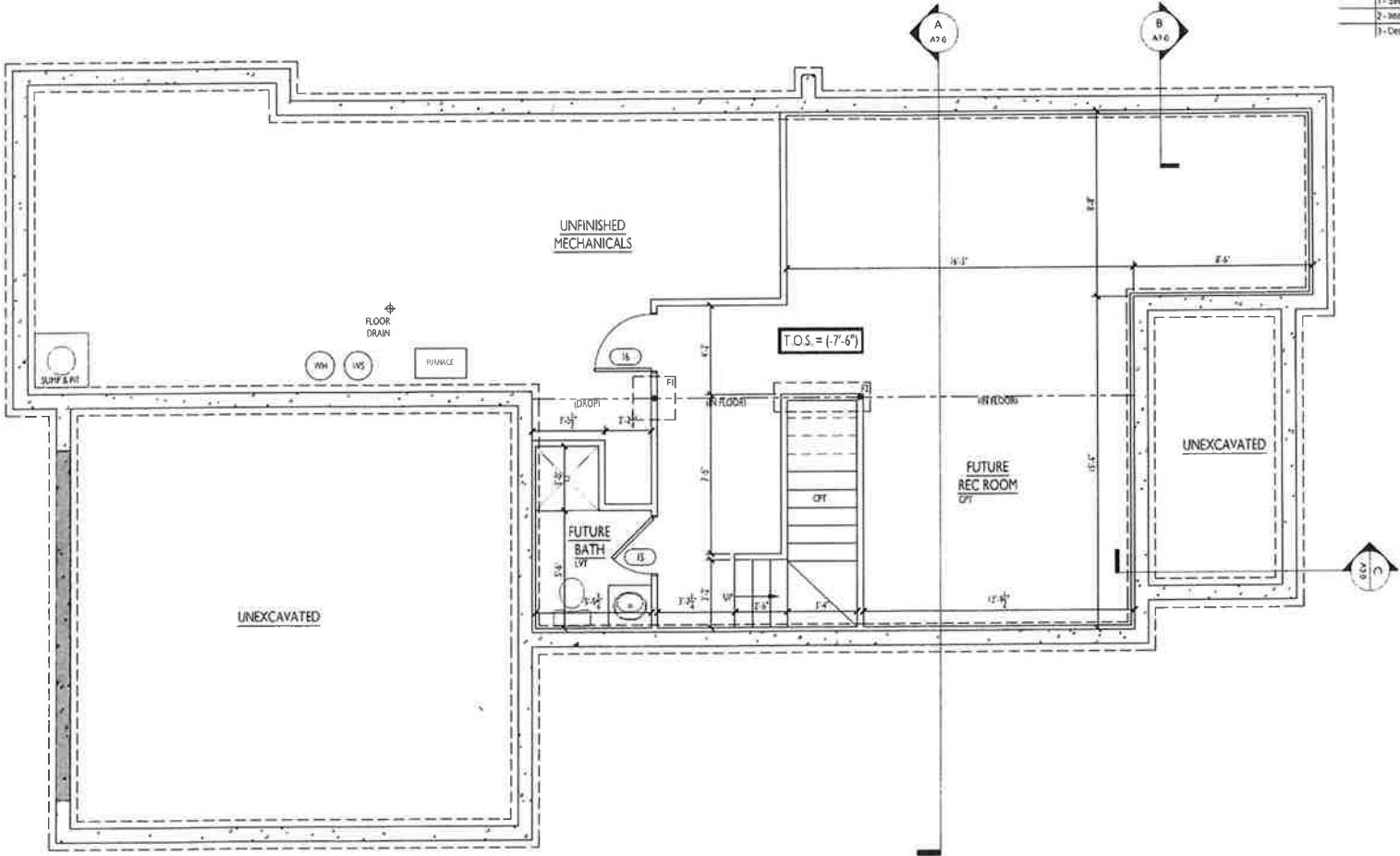
1 - Hinges are designated using the "butt to butt" method

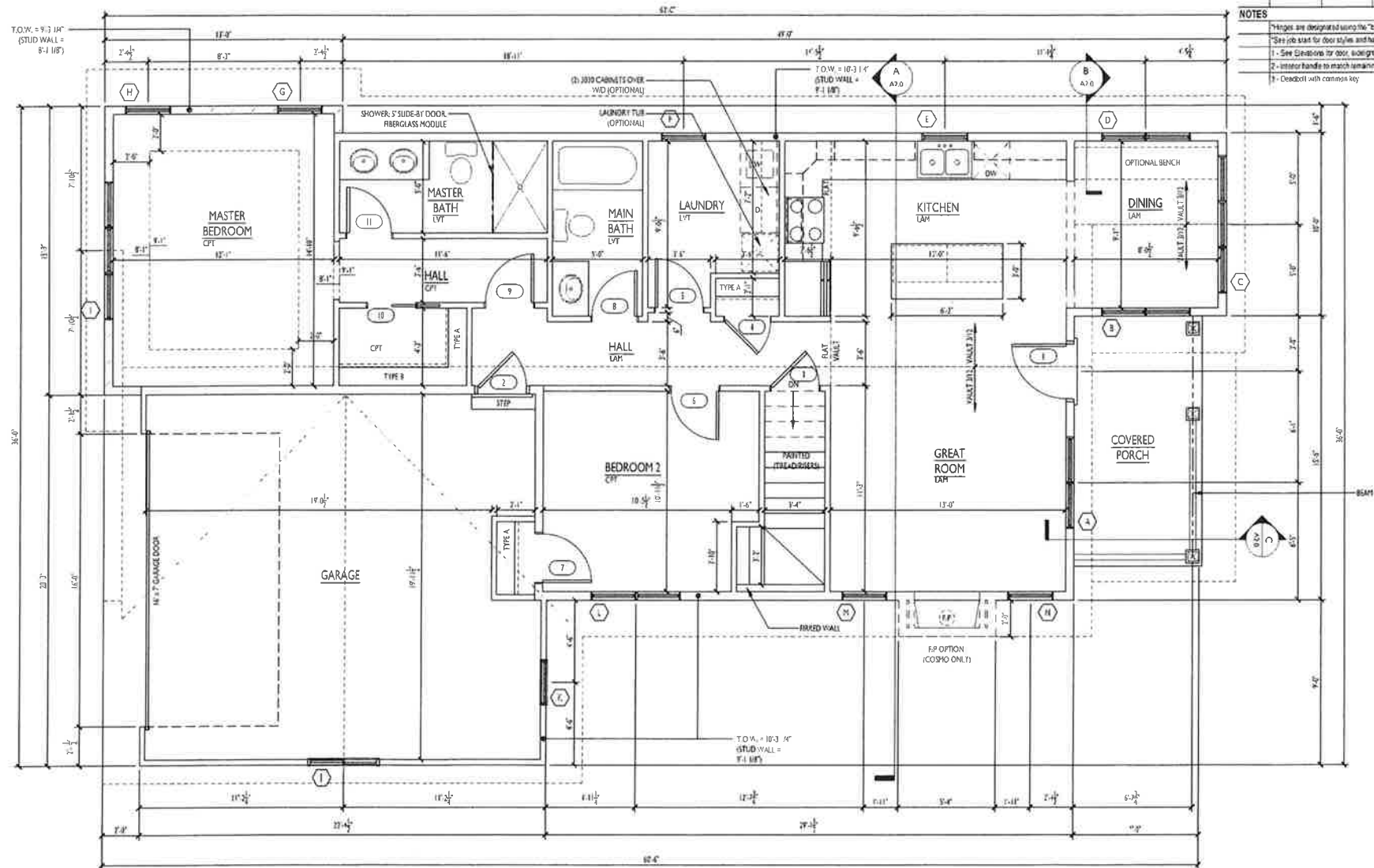
2 - See job list for door styles and hardware finishes

3 - See Elevations for door, window, and hardware configuration

4 - Interior handle to match remaining interior hardware color and style

5 - Depict with common key





DOOR SCHEDULE							
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP NOTE
1	3'0" x 6'0"	30 3/8 x 82 1/2	6 9/16"	Steel Inswing w/Light	R	Hendrickson w/Int Passage, Deadbolt	Wall Spring 1, 2, 3
2	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	20 min Steel Inswing	L	Passage, Deadbolt	Hinge Pin
3	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Hinge Pin
4	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Hinge Pin
5	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Hinge Pin
6	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Hinge Pin
7	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Hinge Pin
8	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Wall Spring
9	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Wall Spring
10	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring
11	2'0" x 6'0"	24 3/8 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring
12							
13							
14							

ALTERNATES/LOWER LEVEL DOOR SCHEDULE							
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP NOTE
15	2'0" x 6'0"	24 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Wall Stop
16	2'0" x 6'0"	24 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin
17							
18							
19							

- NOTES
- \*Hinges are designed using the "butt to butt" method
  - \*See job spec for door styles and hardware finishes
  - 1 - See elevations for door, window, and transom configuration
  - 2 - Interior handle to match remaining interior hardware color and style
  - 3 - Deadbolt with common key



# The Primrose - Elevation A



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION A									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES	
A	6000	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza	2	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2	
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2	
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2	
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1				
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1				
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza		
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1				
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza		
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza		
O									
P									

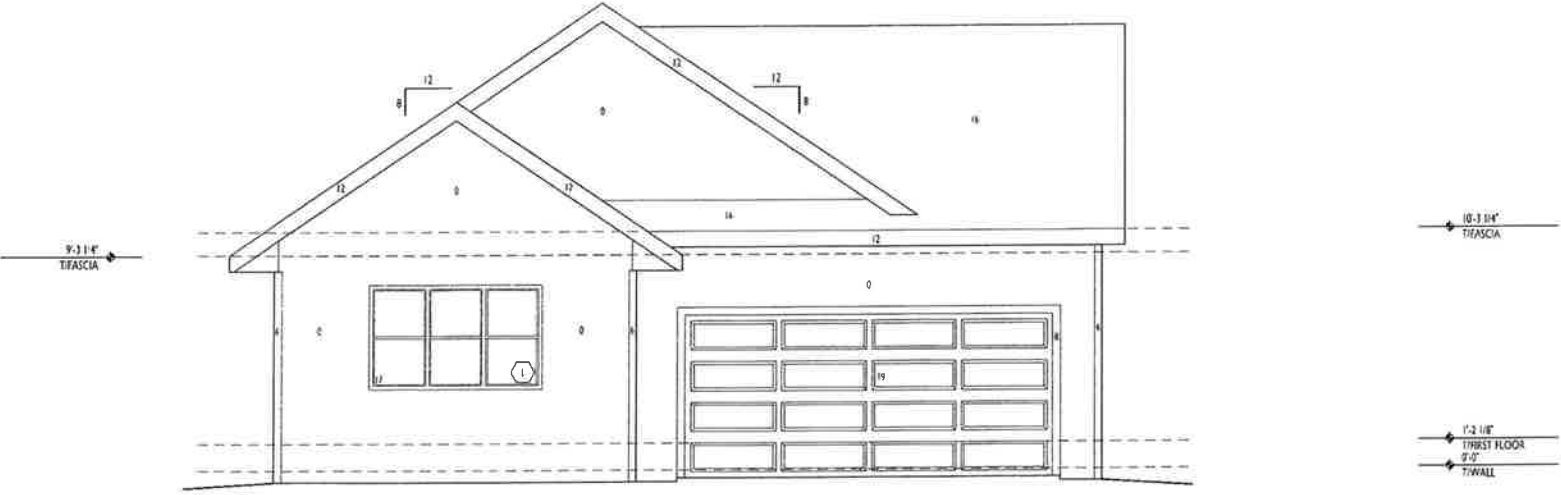
NOTES:

\*See job start for window colors

\*Switch active patio door leaf and casement swing for Reversed plans

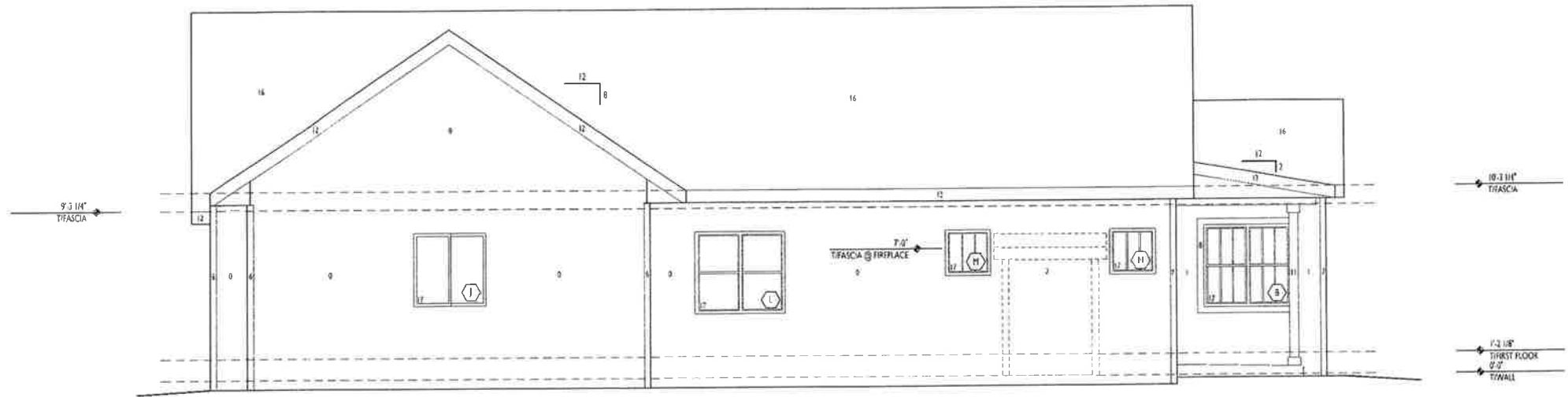
1 - Tempered Glass

2 - Top of window @ 84" A.F. #



REAR ELEVATION

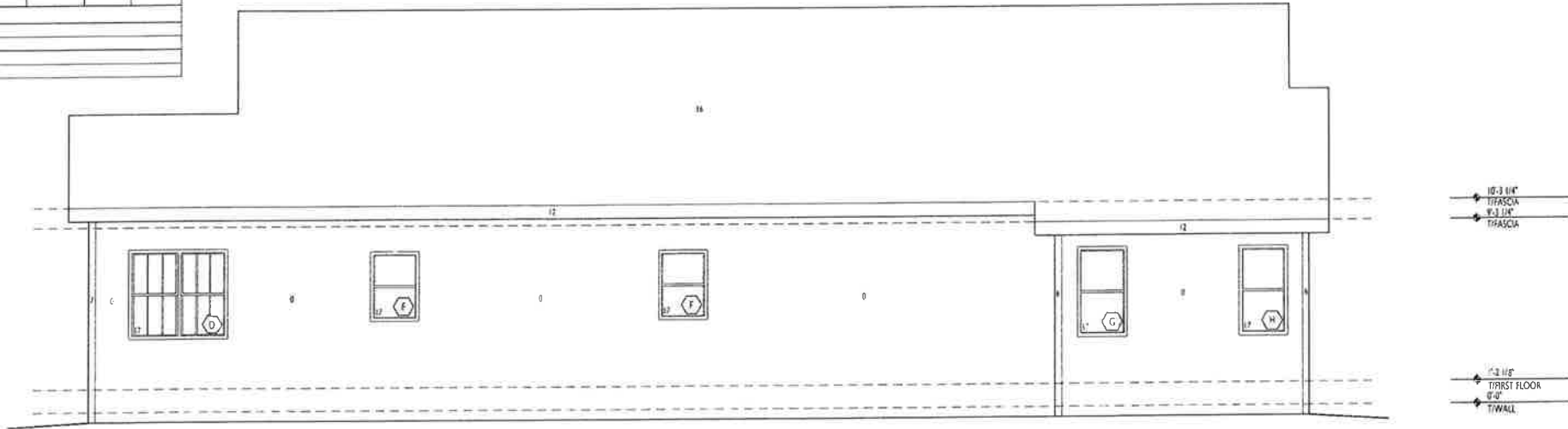
# The Primrose - Elevation A



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION A								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza	2
B	6064	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C	9054	3-Wide Single Hung w/Elitical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O								
P								

NOTES:  
\*See job start for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 64" A.F.F.



LEFT ELEVATION



Side Elevation when facing Middleton Community Church or a Public Street



LEFT ELEVATION



The Primrose - Elevation B

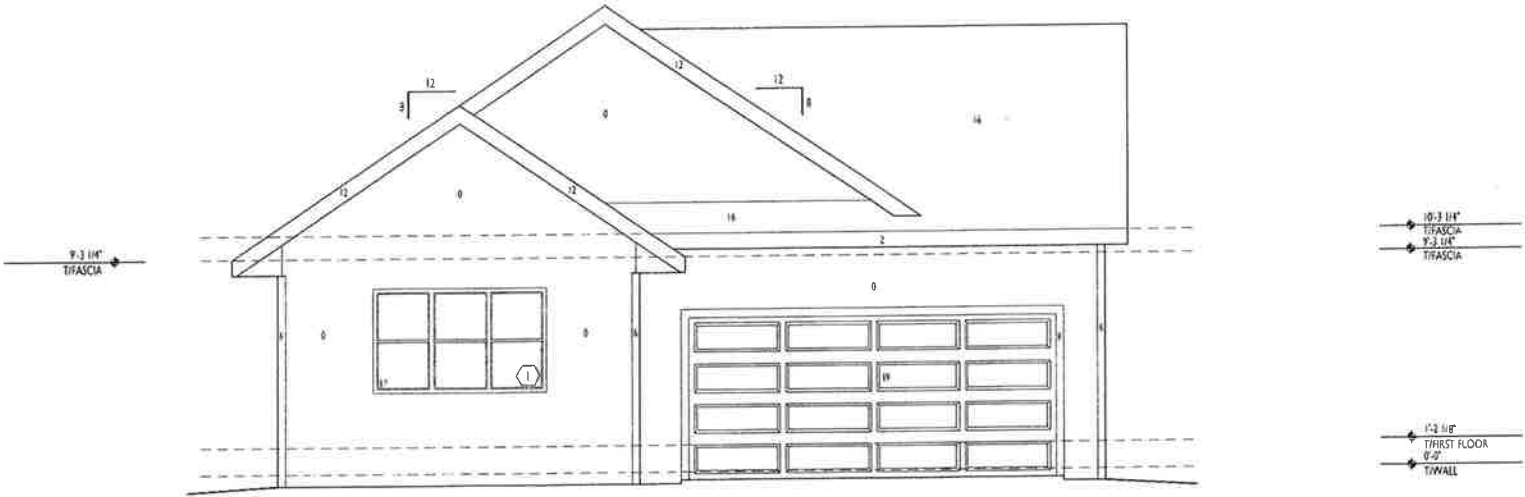


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza 2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		Plaza
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:

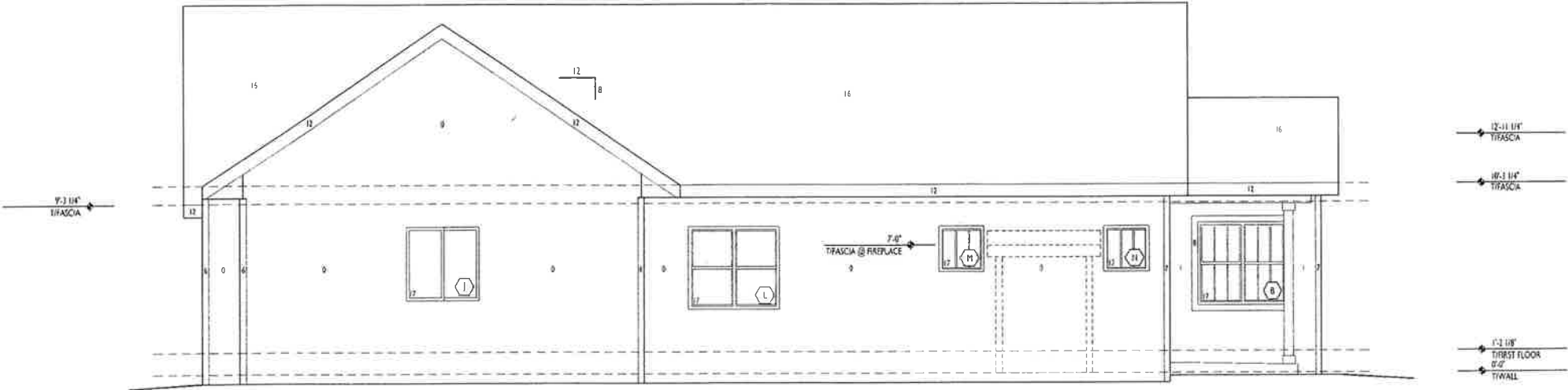
- \*See job start for window colors
- \*Switch active patio door leaf and casement saving for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



REAR ELEVATION



The Primrose - Elevation B

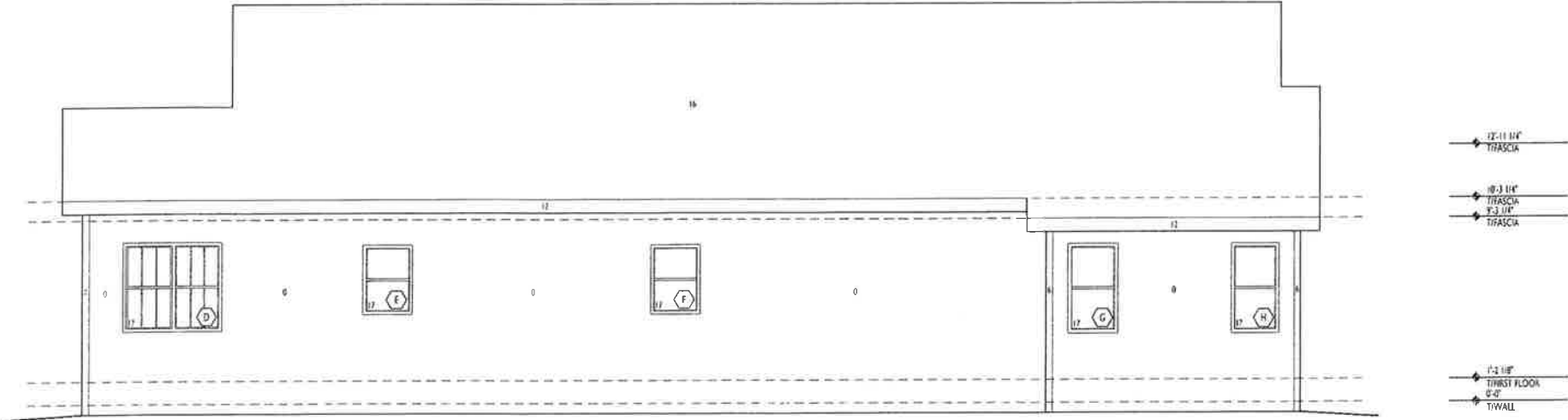


WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elipical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4843	Horizontal Slider	4'-0" x 3'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-0"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F

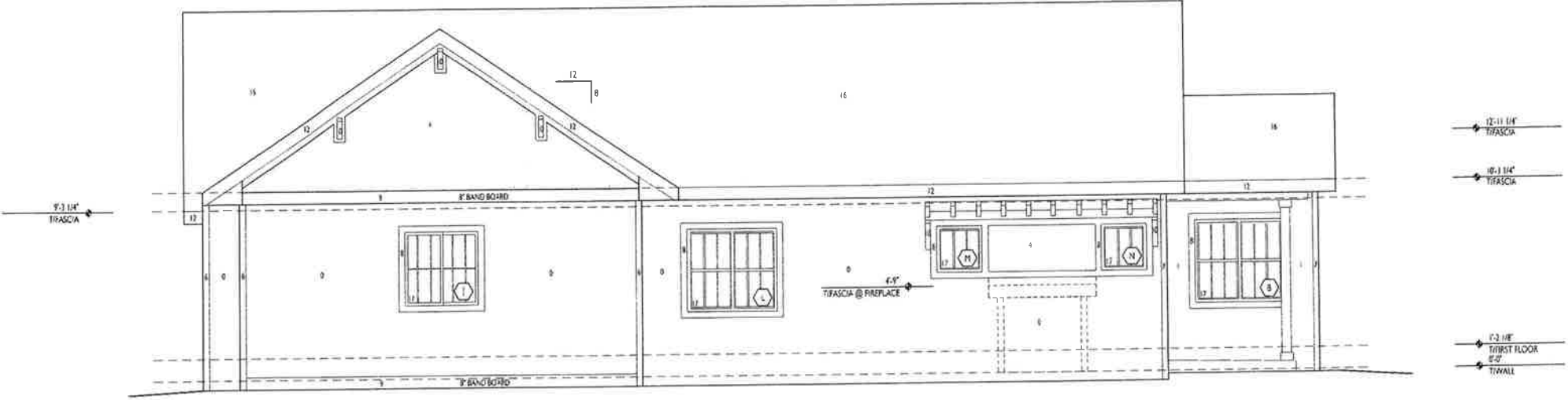
RIGHT ELEVATION



LEFT ELEVATION

# The Primrose - Elevation B

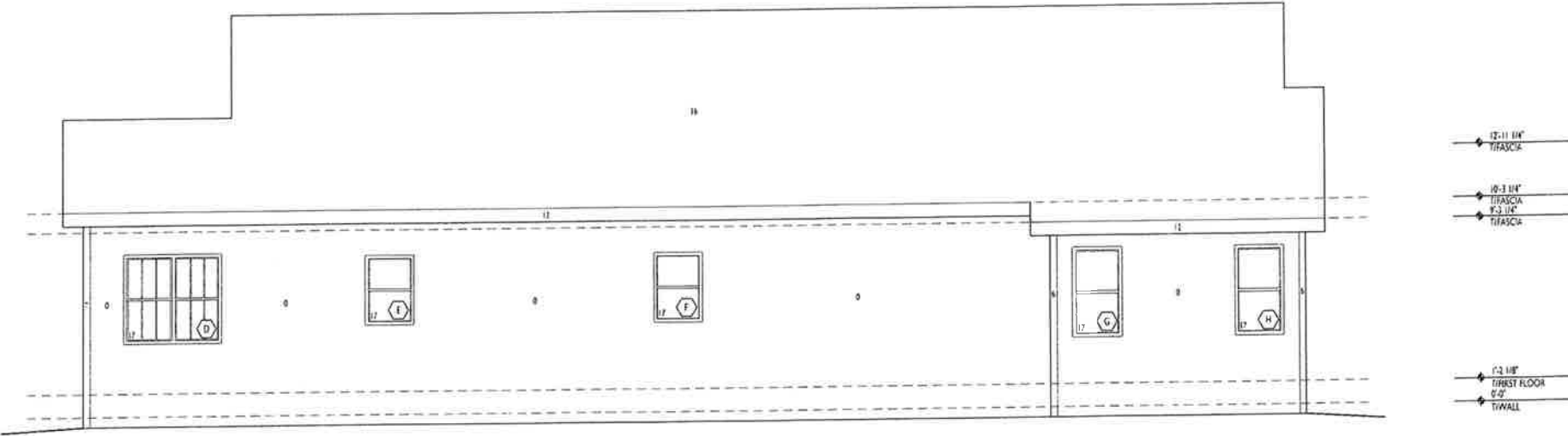
Side Elevation when facing Middleton Community Church or a Public Street



WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 9'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	8054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-5"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-0" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:  
\*See job list for window colors  
\*Switch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.

RIGHT ELEVATION

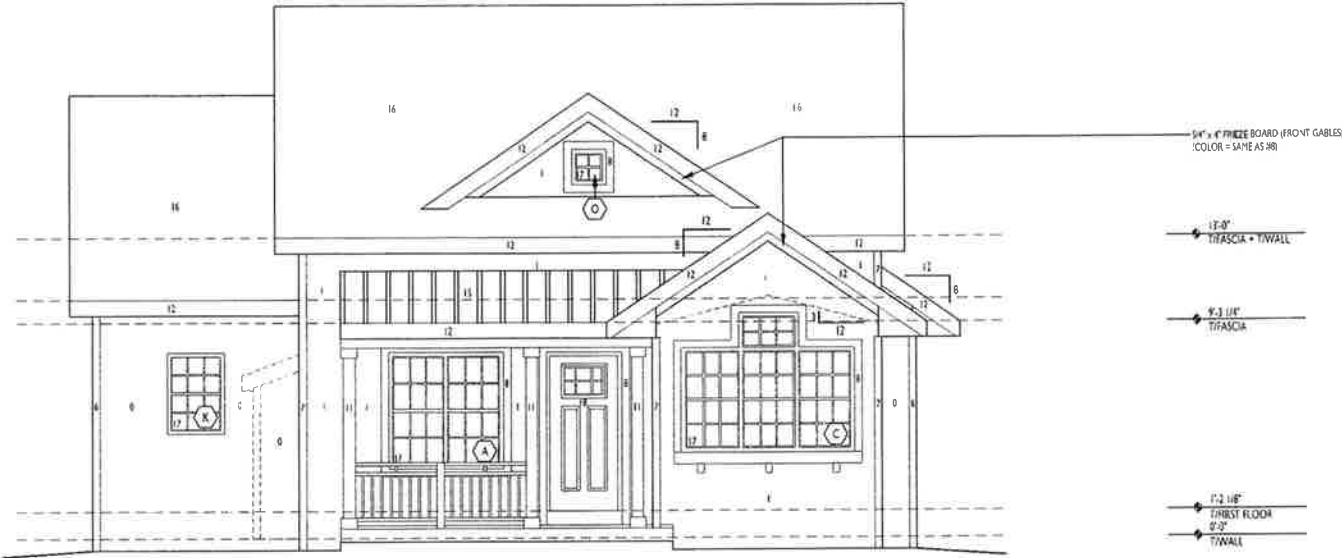


LEFT ELEVATION





# The Primrose - Elevation C

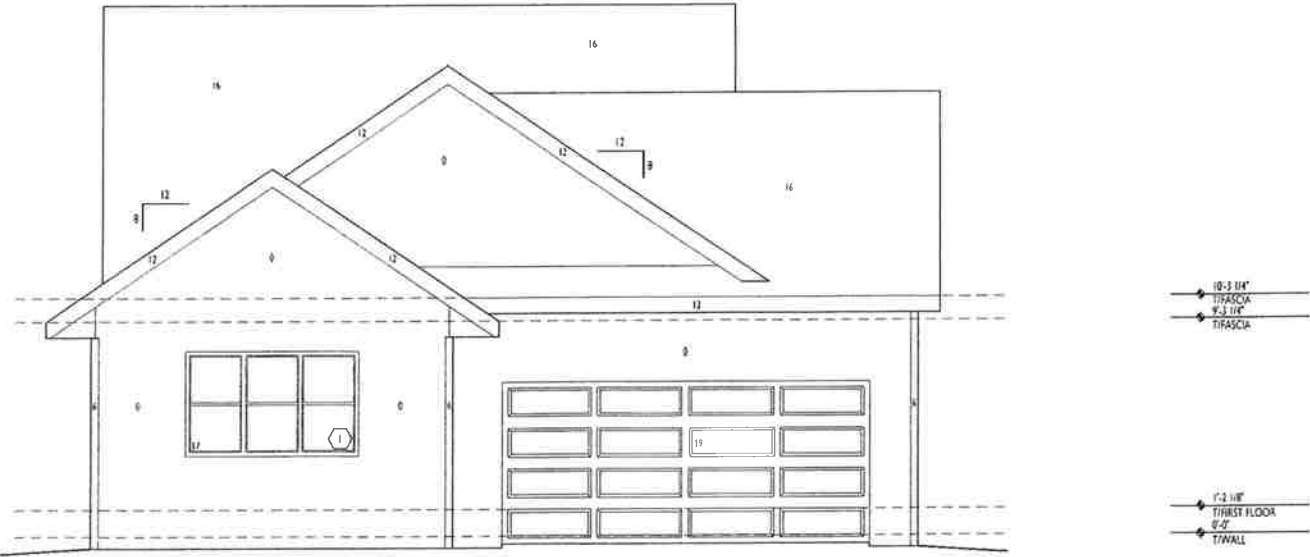


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION C								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-0"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	2054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084	2'-2 1/8" x 3'-0" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
N	3084	2'-2 1/8" x 3'-0" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
O	1918	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial	
P								

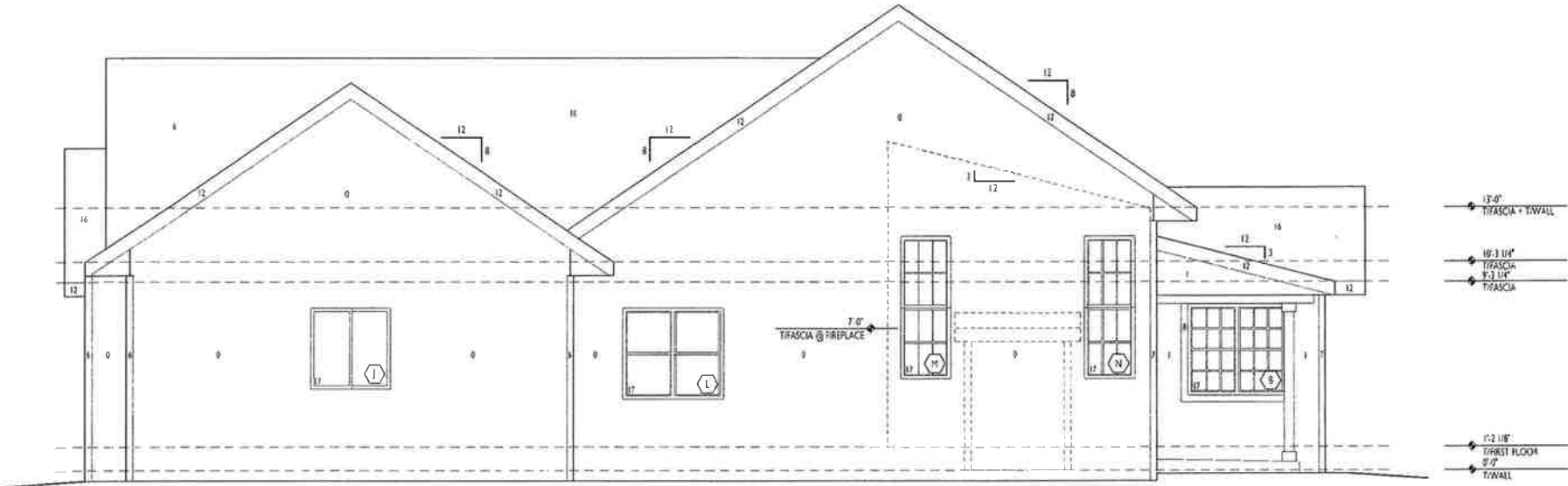
NOTES:

- \*See job start for window colors
- \*Sketch active patio door leaf and casement swing for Revised plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



REAR ELEVATION

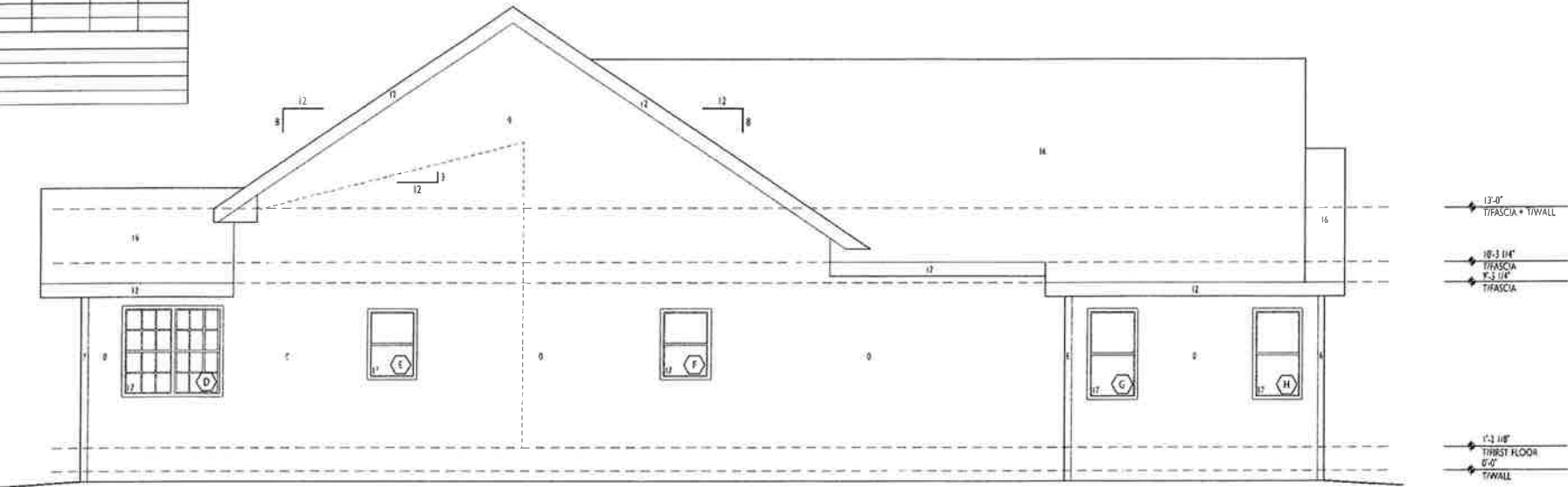
The Primrose - Elevation C



WINDOW SCHEDULE - ELEVATION C								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial	2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3054	2-20"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
N	3054	2-20"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
O	1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial	
P								

NOTES:  
\*See job sheet for window colors  
\*Sketch active patio door leaf and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Top of window @ 3/4" A.F.F.

RIGHT ELEVATION



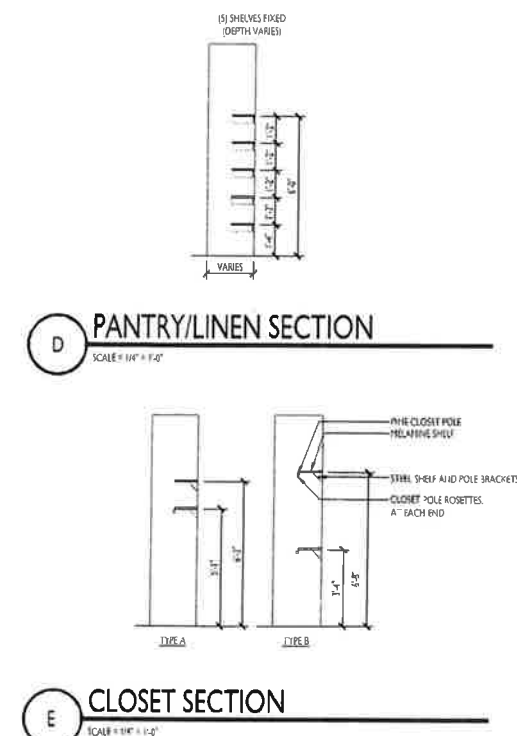
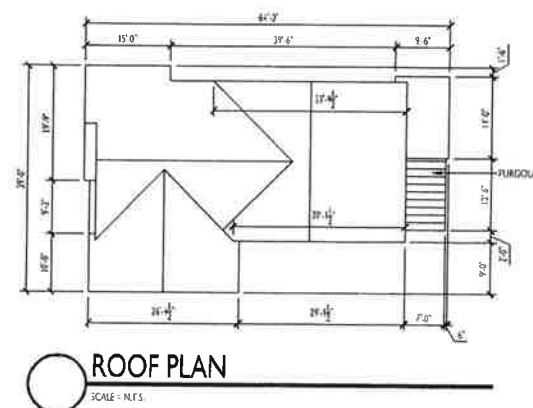
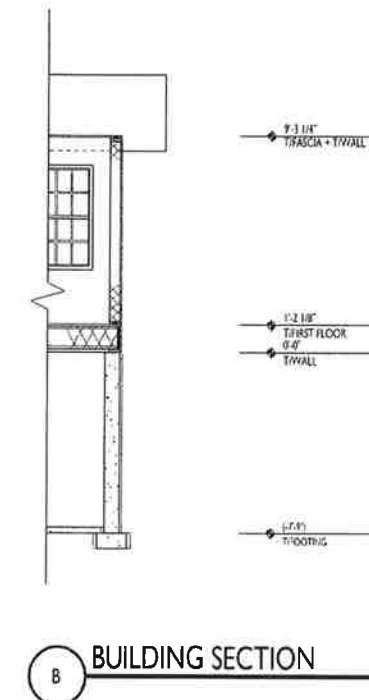
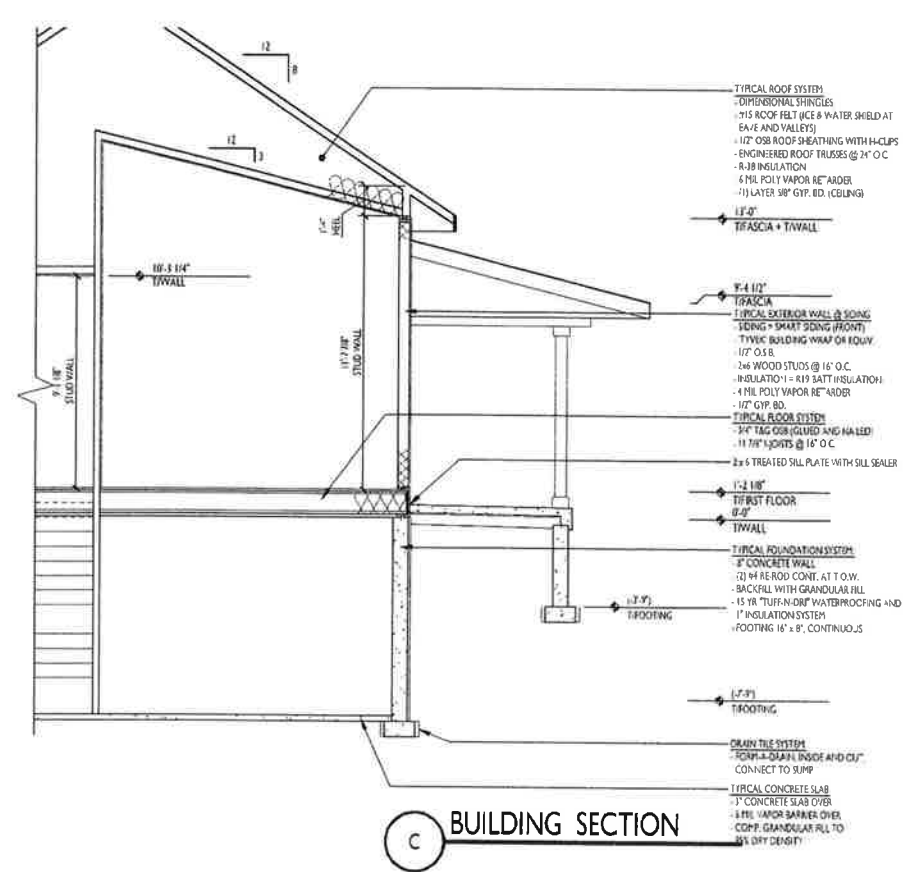
LEFT ELEVATION



Side Elevation when facing Middleton Community Church or a Public Street

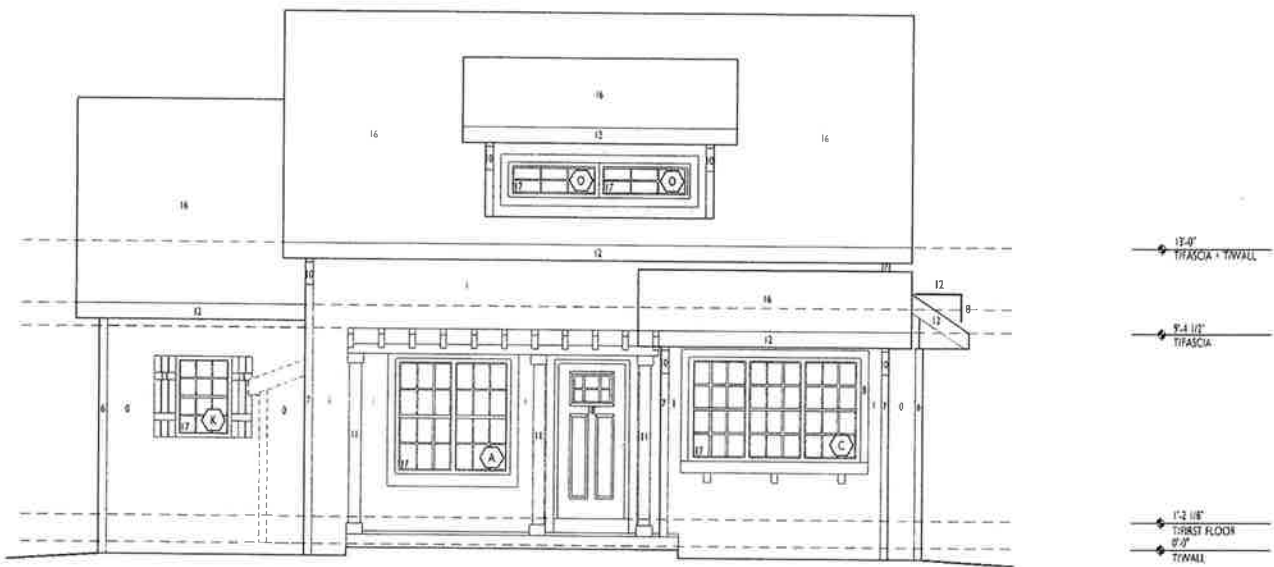


LEFT ELEVATION





# The Primrose - Elevation D

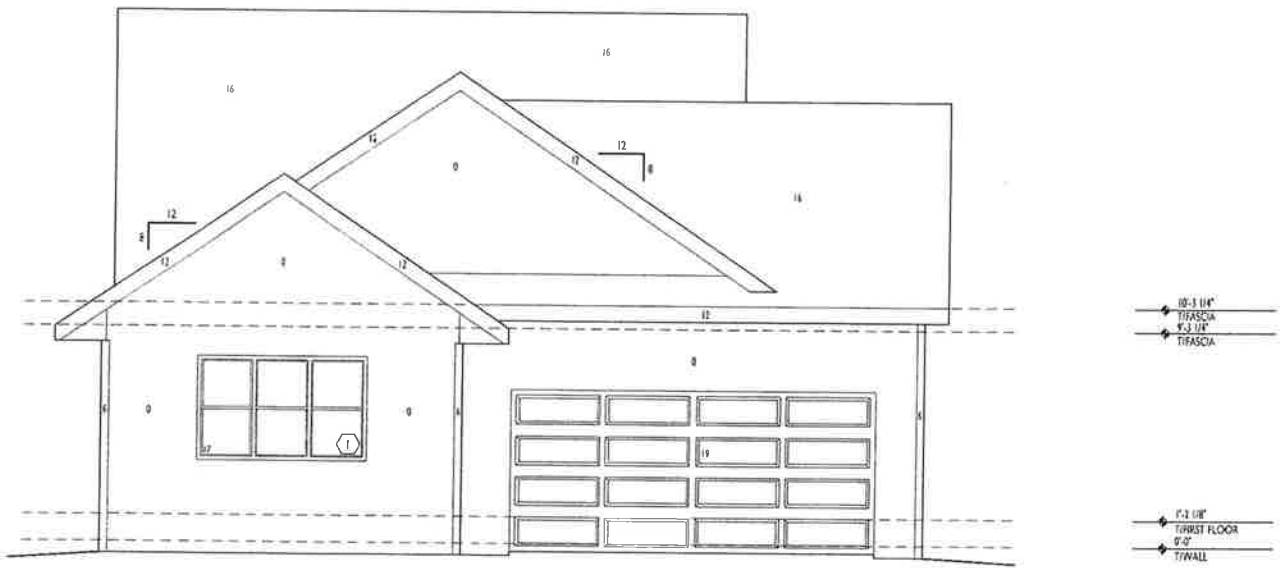


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION D								
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES	
A	6050	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Colonial	2
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	6054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084	2 - 26"x36" Mullion Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
N	3084	2 - 26"x36" Mullion Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial	
P								

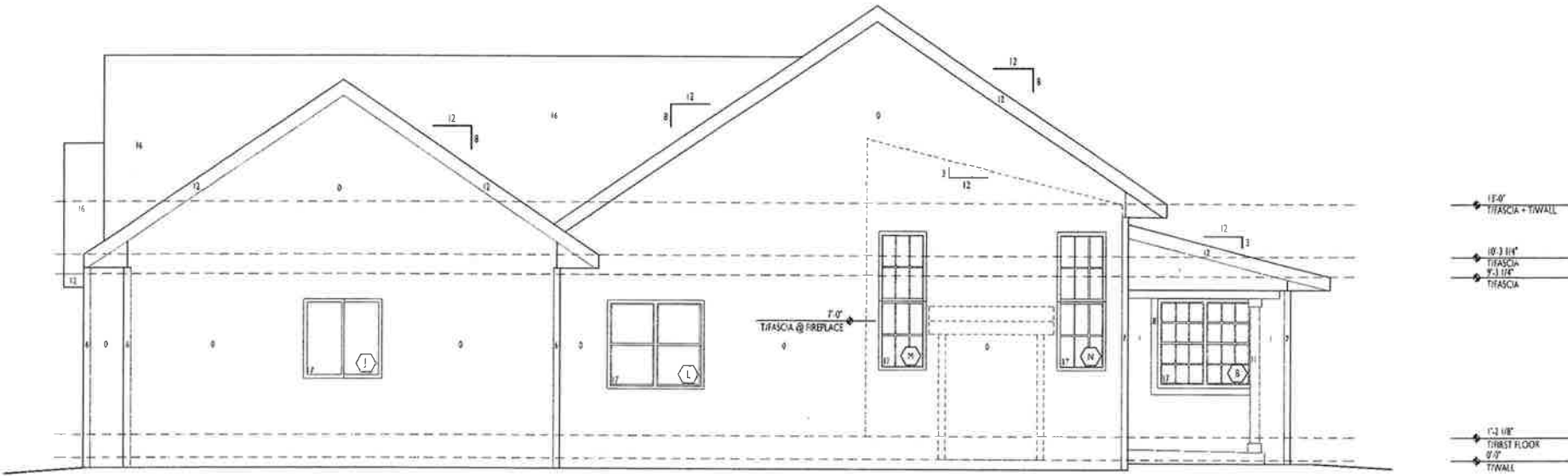
NOTES:

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reverse plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A F F



REAR ELEVATION

The Primrose - Elevation D

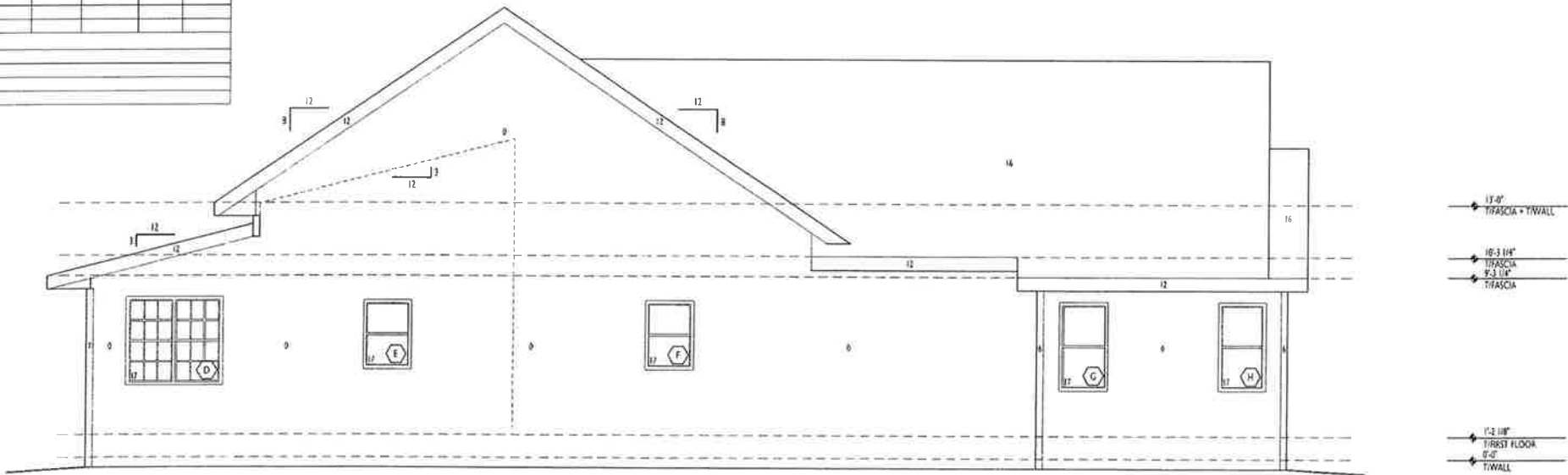


WINDOW SCHEDULE - ELEVATION D									
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES	
A	6050	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Colonial	2	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2	
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2	
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2	
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1				
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1				
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1				
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1				
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial		
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial		
M	3084	2 26"x36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial		
N	3084	2 26"x36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial		
O	4818	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial		
P									

NOTES:

- \*See job start for window colors
- \*Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.

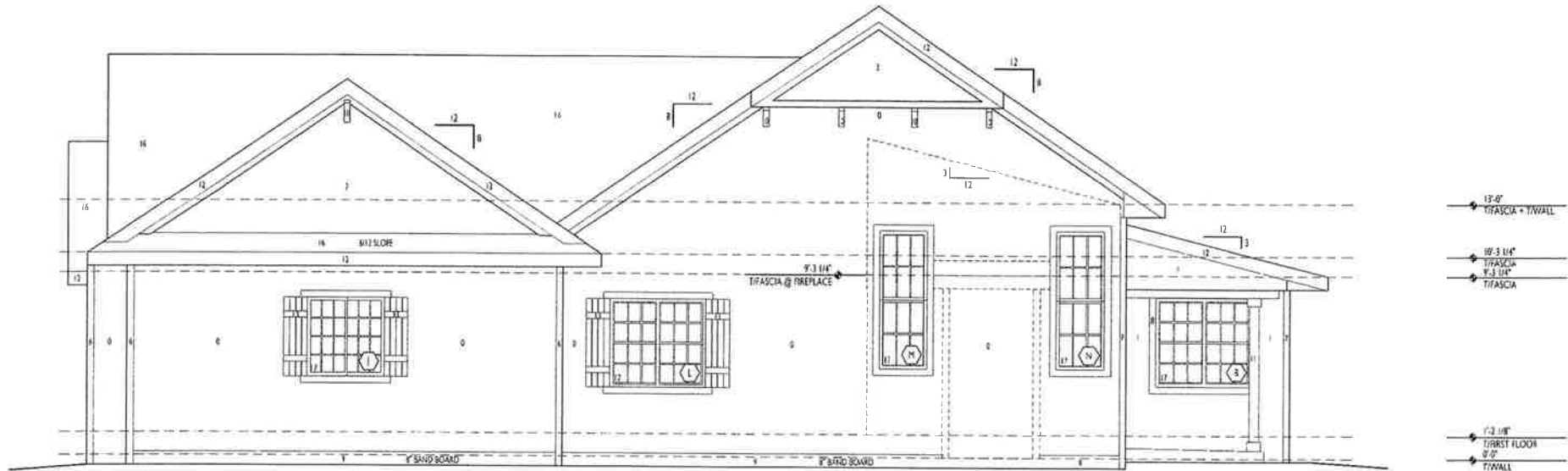
RIGHT ELEVATION



LEFT ELEVATION

# The Primrose - Elevation D

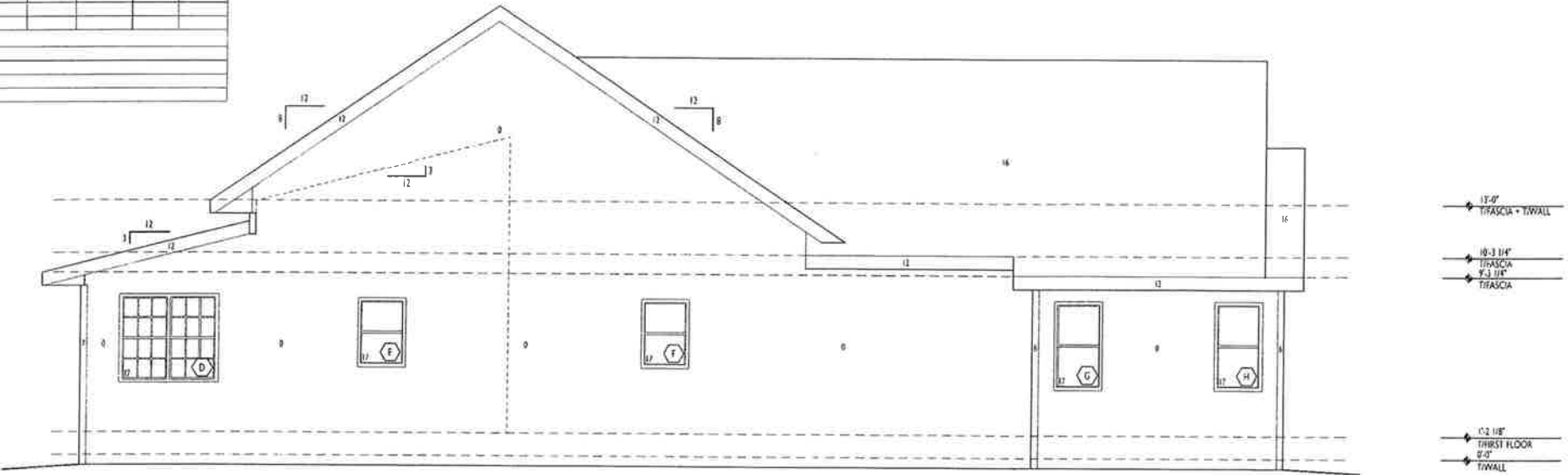
Side Elevation when facing Middleton Community Church or a Public Street



WINDOW SCHEDULE - ELEVATION D							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6090	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	6054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-0"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3084	2'-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2'-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	4816	Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial
P							

NOTES:  
\*See job start for window colors.  
\*Switch active patio door leaf and casement swing for Reversed plans.  
1 - Tempered Glass  
2 - Top of window @ 84" A.F.F.

RIGHT ELEVATION



LEFT ELEVATION



# The Willow – Elevation A





# The Willow – Elevation B





Notes

FOOTING  
H = 2 x T + 1 (1.0 F = 1.7 F)

SWP: TO BE 4" WIDE  
SWP: FOUNDED PATTERN  
1. EDGE NAILING SHALL BE 6" NAILS @ 12" O.C.  
2. FIELD NAILING SHALL BE 6" NAILS @ 12" O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DN	DOWNSHIP
DO	DRY WALL OPENING	REF	REFURBISHED
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRIVER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
IRS	PASSIVE RADON SYSTEM		

Revisions

PROHIBITORY SET

BE SET: FORMERLY COTTAGE 2 - ELEVATION A

CONSTRUCTION SET:

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS

WILLOW - ELEVATION A

Drawing By: SWH

Checked By: KKH

Drawing Title

Foundation Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XXXX

Project No.

XXX

Drawing No.

F1.0

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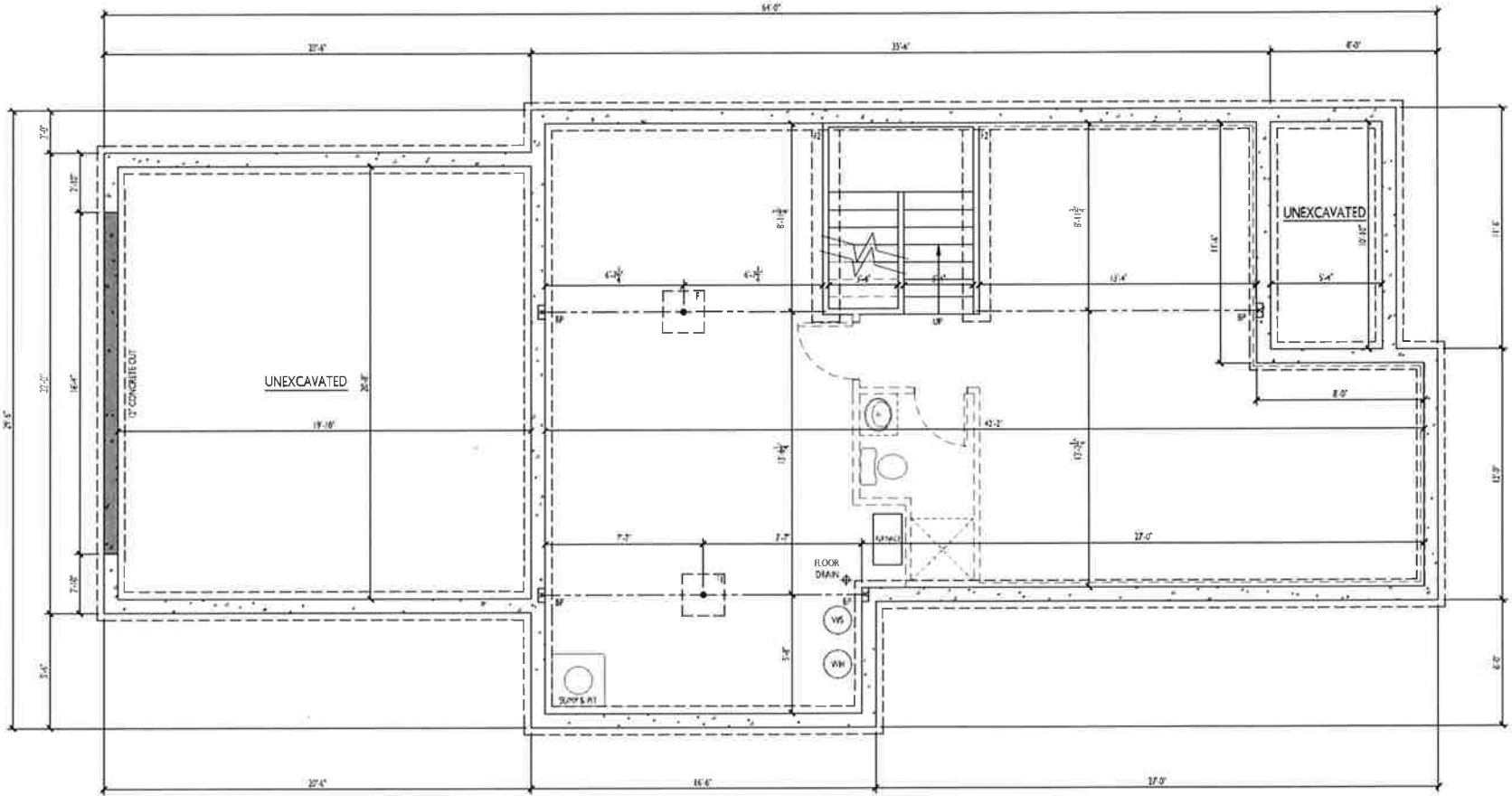


COTTAGES  
at Chapel View

The Cottages At Chapel View  
"The Willow"  
Elevations A & B

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOOR	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBICLE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		

PRELIMINARY SET:  
BIO SET: FORMERLY COTTAGE 2- ELEVATION A  
CONSTRUCTION SET:





Consultant

Notes

- = SHAR WALL LOCATIONS
- B  
A3.0  
PANTRY/LINEN SECTION
- C  
A3.0  
CLOSET SECTION
- = HALF WALL WITH WOOD CAP
- ===== = WOOD RAILING WITH METAL OR WOOD SPINDLES
- - - - - = DRYWALL RETURNS J-SIDES

S.W.P. TO BE 4'-0" WIDE  
S.W.P. NAILING PATTERN:  
1. EDGE NAILING SHALL BE 8" NAILS 16" O.C.  
2. FIELD NAILING SHALL BE 8" NAILS 16" O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPI	CARPET	C	CURBIE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		

AREA:  
LOWER LEVEL: 519

Revisions

PRELIMINARY SET  
BID SET: FORMERLY COTTAGE 2, ELEVATION A  
CONSTRUCTION SET.

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

Future Lower Level Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

A

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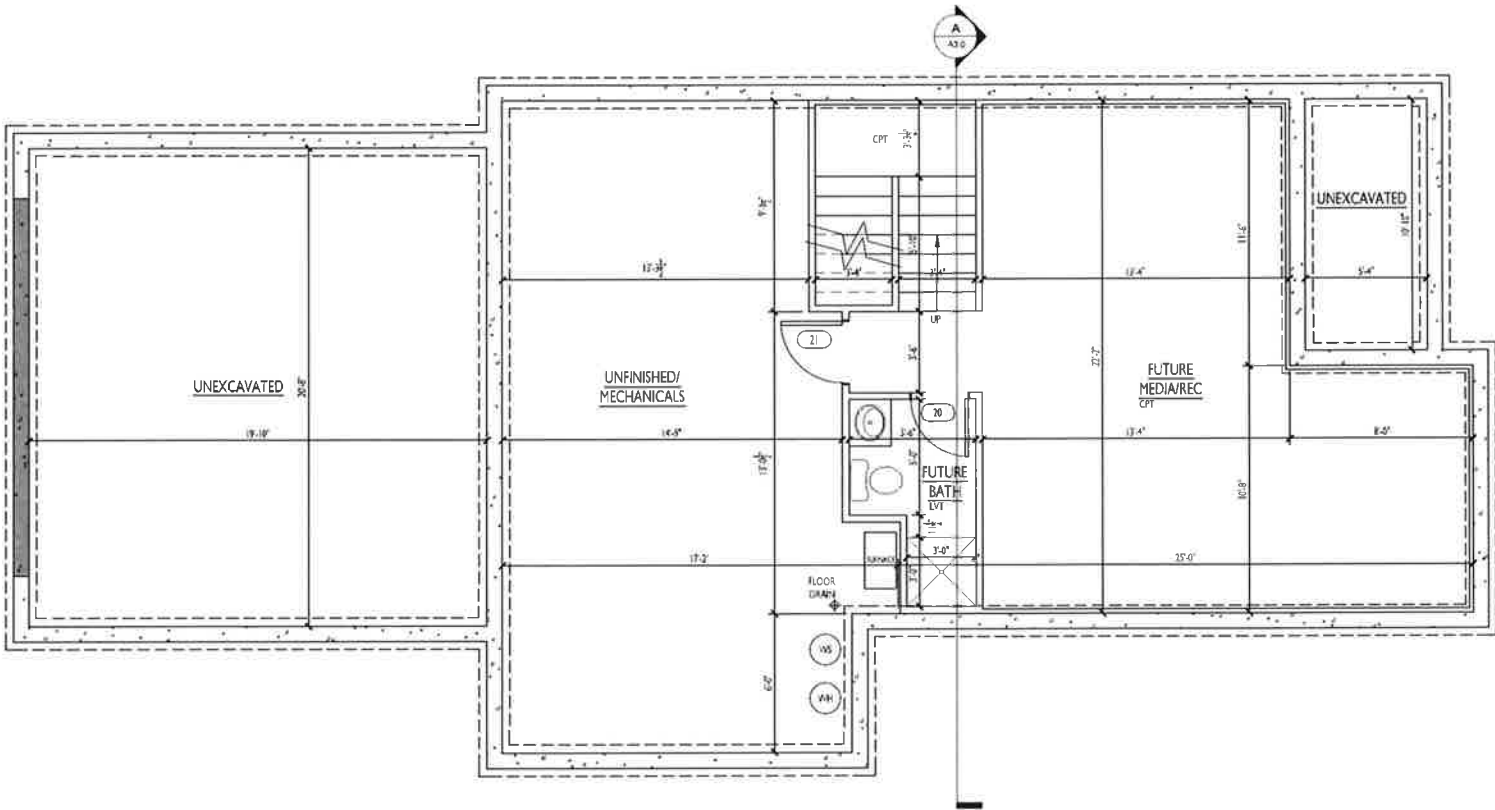
DOOR SCHEDULE									
	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	3'0" x 6'-0"	38 3/8 x 82 1/2	6 9/16	Steel bowing w/ Light	L	Passage w/ 1st Passage, Deadbolt	Hinge Pin	1, 2, 3	
2	2'6" x 6'-6"	34 5/8 x 82 1/2	6 9/16	20mm Steel Insulating	R	Passage, Deadbolt	Hinge Pin	3	
3	2'6" x 6'-6"	32 1/2 x 82 1/2	4 9/16	Solid Wood	R	Passage	Hinge Pin		
4	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Wall Spring		
5	2'6" x 6'-6"	30 1/2 x 82 1/2	4 9/16	Solid Wood	R	Passage	Wall Spring		
6	2'6" x 6'-6"	30 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Wall Spring		
7	2'6" x 6'-6"		4 9/16	Wood Pocket		Passage			
8	2'4" x 6'-6"	30 1/2 x 82 1/2	4 9/16	Solid Wood	R	Passage	Hinge Pin		
9	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Wall Spring		
10	2'6" x 6'-6"		4 9/16	Wood Pocket		Passage			
11	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Hinge Pin		
12	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Wall Spring		
13	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Hinge Pin		
14	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	R	Passage	Hinge Pin		
15	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Hinge Pin		
16	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	R	Passage	Hinge Pin		
17	2'4" x 6'-6"	30 1/2 x 82 1/2	4 9/16	Solid Wood	R	Passage	Wall Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
19	2'6" x 6'-6"	30 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Wall Spring	
21	2'6" x 6'-6"	34 1/2 x 82 1/2	4 9/16	Solid Wood	L	Passage	Wall Spring	

NOTES

- 1 - Hinges are designated using the "leaf to leaf" method
- 2 - See Elevation A for door hardware finish
- 3 - See Elevation A for door configuration
- 4 - Interior handle to match remaining interior hardware color and style
- 5 - Deadbolt with control key



Consultant

Notes

ALL HEADERS TO BE (2) x 10 UNLESS NOTED OTHERWISE

--- SHEAR WALL LOCATIONS

B  
A3.0  
FANTY LINE SECTION

C  
A3.0  
CLOSET SECTION

--- = HALF WALL WITH WOOD CAP

--- = WOOD RAILING WITH METAL OR WOOD SPINDLES

--- = DRYWALL RETURNS 3 SIDES

S.W.F. TO BE 4-6" WIDE

S.W.F. NAILING PATTERN:

1. EDGE NAILING SHALL BE 8" NAILS @ 12" O.C.

2. FIELD NAILING SHALL BE 8" NAILS 10" O.C.

STANDARD ABBREVIATIONS:

HR	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOOR	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH/OUTLET
CP	CERAMIC TILE	C	CUBICLE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VIL	VINTYL	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		

AREA:	
FIRST FLOOR:	1,041
SECOND FLOOR:	834
TOTAL:	1,875

Revisions

PRELIMINARY SET

MD SET FORMERLY COTTAGE 2 - R. RATION A

CONSTRUCTION SET:

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

First Floor Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No

Draw

XXX

A

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DOOR SCHEDULE									
NO	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	2'-0" x 6'-8"	38 3/8 x 82 1/2	4 9/16"	Steel Inswing w/ Light	L	Handset w/ w/ Passage, Deadbolt	Hinge Pin	1, 2, 3	
2	2'-6" x 6'-8"	38 3/8 x 82 1/2	4 9/16"	20 mm Steel Inswing	R	Passage, Deadbolt	Hinge Pin		3
3	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
4	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	W/ Spring		
5	2'-0" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	W/ Spring		
6	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	W/ Spring		
7	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Wood Pocket		Passage			
8	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
9	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	W/ Spring		
10	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Wood Pocket		Passage			
11	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	Hinge Pin		
12	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	W/ Spring		
13	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
14	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
15	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
16	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Privacy	Hinge Pin		
17	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	W/ Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
20	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Privacy	W/ Spring		
21	2'-6" x 6'-8"	38 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	W/ Spring		

NOTES

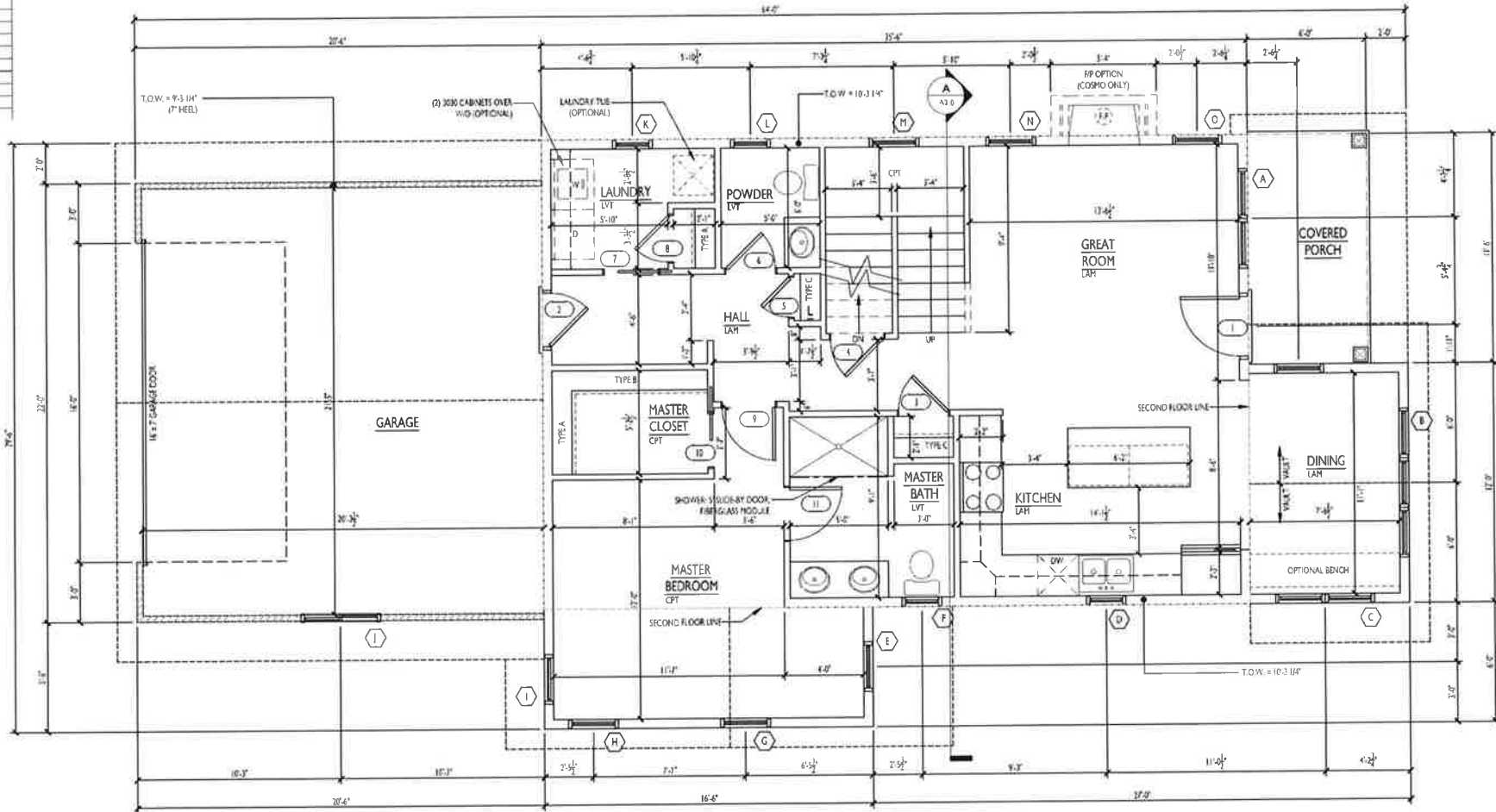
1. Hinges are indicated using the "butt to butt" method

2. Show full start for wood end, and full start for metal

3. Show full start for door configuration

4. Interior handle to match remaining exterior hardware color and style

5. Deadbolt with common key



Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

First Floor Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No

Draw

XXX

A

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Consultant

Notes

--- = SHEAR WALL LOCATIONS

B  
A/D  
PANTRY/LINEN SECTION

C  
A/D  
CLOSET SECTION

--- = HALF WALL WITH WOOD CAP

--- = WOOD RAILING WITH METAL OR WOOD SPINDLES

--- = DRYWALL RETURNS 3 SIDES

SW/F: TO B: 4'-6" WIDE

SW/F: NAILING PATTERN

1. EDGE NAILING SHALL BE @ NAILS 8" O.C.

2. FIELD NAILING SHALL BE @ NAILS 10" O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOOR	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBES
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PUMPING STAC
PRS	PASSIVE RADON SYSTEM		

AREA:  
SECOND FLOOR: 834

REVISIONS:

PRELIMINARY SET

BID SET, FORMERLY COTTAGE 7 - ELEVATION A

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

Second Floor Plan

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

of

pages

A

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DOOR SCHEDULE									
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	3'-0" x 6'-6"	38 3/8 x 82 1/2	6 9/16"	Steel Inswing w/ Light	L	Handset w/ no Passage, Deadbolt	Hinge Pin	1,2,3	
2	2'-4" x 6'-6"	34 3/8 x 82 1/2	6 9/16"	20 mil Steel Inswing	R	Passage, Deadbolt	Hinge Pin	2	
3	2'-4" x 6'-6"	32 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
4	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
5	2'-0" x 6'-6"	26 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring		
6	2'-0" x 6'-6"	32 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
7	2'-4" x 6'-6"		4 9/16"	Wood Pocket	R	Passage	Hinge Pin		
8	2'-4" x 6'-6"	30 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
9	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
10	2'-4" x 6'-6"		4 9/16"	Wood Pocket	R	Passage			
11	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
12	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
13	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
14	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
15	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
16	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
17	2'-4" x 6'-6"	30 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
20	2'-0" x 6'-6"	30 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	
21	2'-4" x 6'-6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	

NOTES

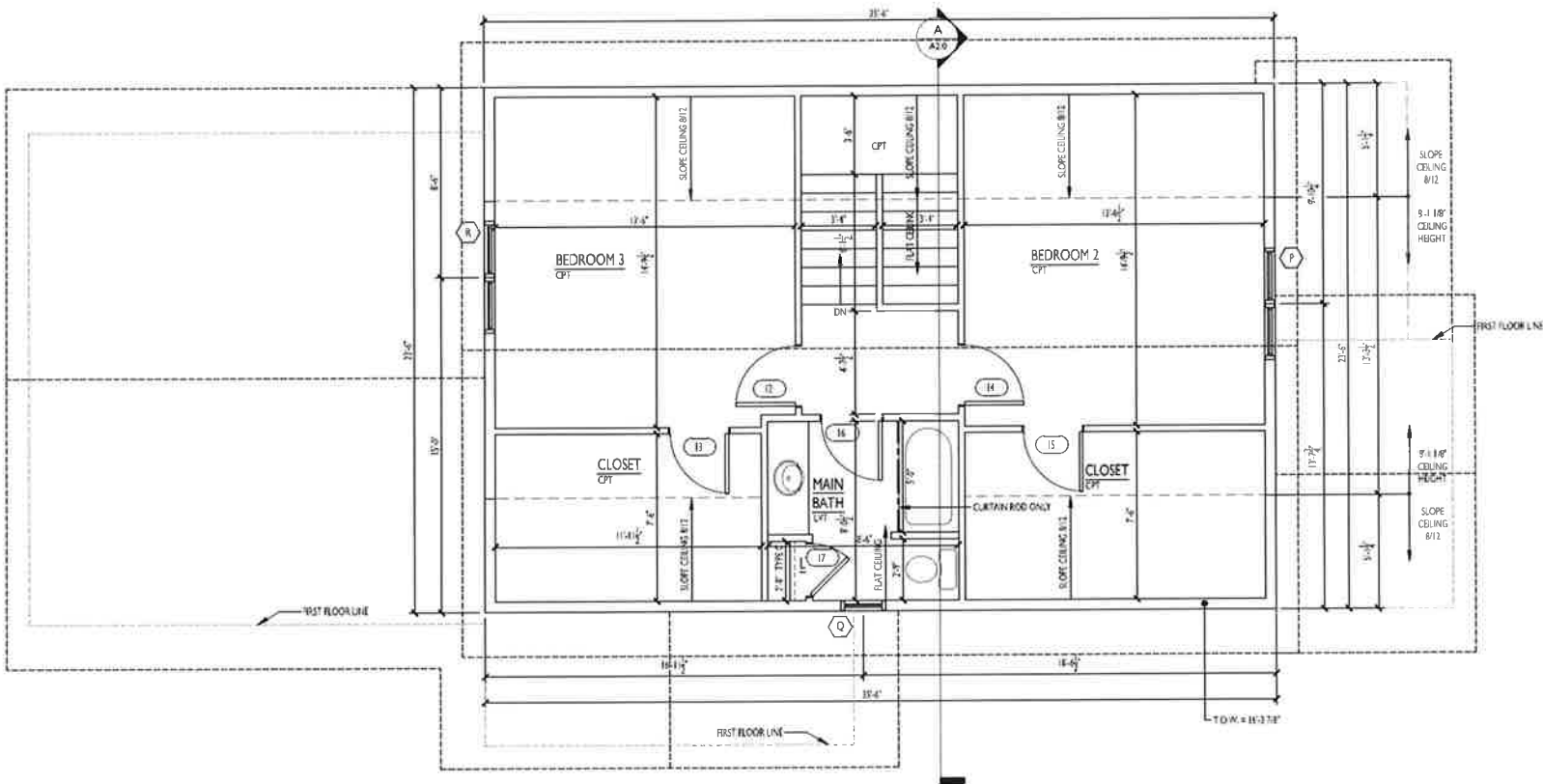
1 - Hinges are designated using the "left to right" method.

2 - See list start for door styles and hardware finishes.

3 - See list start for door configuration.

4 - Interior handle to match remaining interior hardware color and style.

5 - Deadbolt with common key.





HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		



A.

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The Willow - Elevation A

Consultant

Notes

EXTERIOR COLORS:

0. VINYL SIDING (H EXPOSURE) =
1. SHIRT SODING (H EXPOSURE) =
2. BOARD & BATTEN (H 2) =
3. BOARD & BATTEN (H 2) =
4. SHAK (H 4) =
5. SHAK (H 5) =
6. VINYL CORNER TRIM =
7. SHIRT CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. MASONRY =
15. ROOF (H) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOLE RIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CT	CERAMIC TILE	C	CUBICLE
D	DOOR	W	WASHER
VL	VINYL	LAM	LAMINATE
PLS	PASSIVE RADON SYSTEM	PS	PLUMBING STACK



- 19'-7"
- T/FASCIA
- 16'-3 7/8"
- T/FASCIA
- 11'-3 3/8"
- 1/2" SECOND FLOOR
- 10'-3 1/4"
- T/WALL
- 9'-0 1/4"
- T/FASCIA @ PORCH
- 7'-3"
- T/FASCIA @ PORCH
- 1'-2 1/8"
- 1/2" FIRST FLOOR
- 0'-0"
- T/WALL

WINDOW SCHEDULE - ELEVATION A								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1			Plaza
B	9054	3-Wide Single Hung w/18" Transom	7'-6" x 4'-6"	6 9/16"	1			Plaza
C	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			Plaza
D	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1			
E	3054	Single Hung	2'-0" x 4'-0"	6 9/16"	1			
F	3054	Single Hung	2'-0" x 4'-0"	6 9/16"	1			
G	3054	Single Hung	2'-0" x 4'-0"	6 9/16"	1			
H	3054	Single Hung	2'-0" x 4'-0"	6 9/16"	1			
I	3054	Single Hung	2'-0" x 4'-0"	6 9/16"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1			
L	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1			
M	3054	Single Hung	2'-0" x 4'-0"	6 9/16"	1			
N	3030	Fixed	2'-0" x 2'-0"	6 5/16"	1			Plaza
O	3030	Fixed	2'-0" x 2'-0"	6 5/16"	1			Plaza
P	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
Q	2442	Single Hung	2'-0" x 3'-6"	6 9/16"	1			Plaza
R	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
S								
T								

NOTES:

1- See job start for window colors

2- Switch active patio door leaf and casement swing for Reversed plans

3 - Tempered Glass

4 - Insulating Glass Unit (IGU) to be installed in 6-9-16" jamb

FRONT ELEVATION



- 18'-0"
- T/FASCIA
- 16'-3 7/8"
- T/FASCIA
- 11'-3 3/8"
- 1/2" SECOND FLOOR
- 10'-3 1/4"
- T/WALL
- 9'-0 1/4"
- T/FASCIA @ GARAGE
- 1'-2 1/8"
- 1/2" FIRST FLOOR
- 0'-0"
- T/WALL

REAR ELEVATION

Revisions

- PRELIMINARY SET
- BID SET - TOWNSHIP COTTAGE 2 - ELEVATION A
- CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No

Draw

XXX

A

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The Willow - Elevation A

Consultant

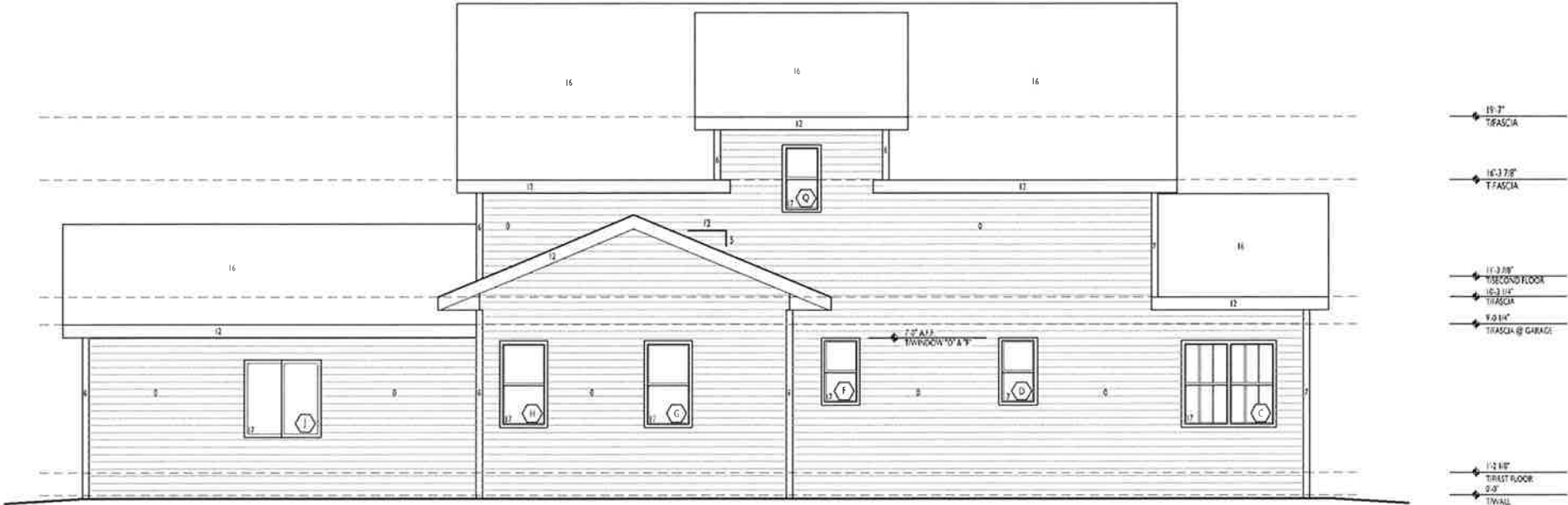
Notes

EXTERIOR COLORS:

- 0. VINYL SIDING (4" EXPOSURE) =
- 1. SHIRT SLEEVES (8" EXPOSURE) =
- 2. BOARD & BATTEN (12" x 2") =
- 3. BOARD & BATTEN (12" x 3") =
- 4. SHAKE (D-4) =
- 5. SHAKE (D-5) =
- 6. VINYL CORNER TRIM =
- 7. SHIRT CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SHIRTFRASCIAGUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. MASONRY =
- 15. ROOF (19") =
- 16. ROOF (SHINGLES) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

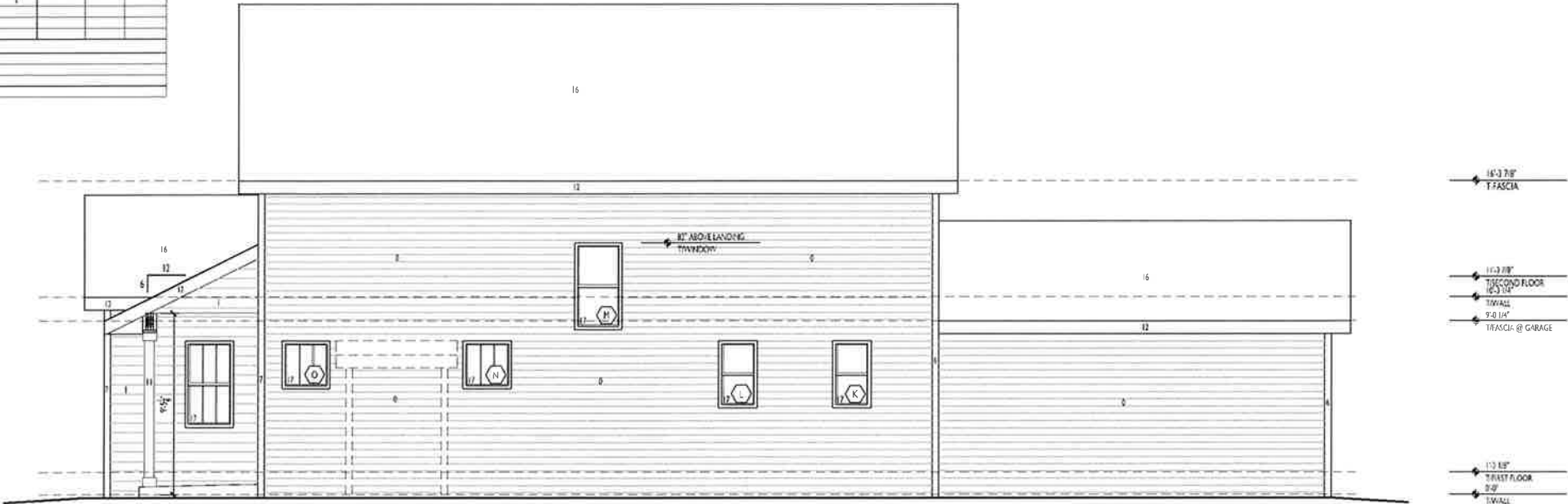
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CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CP	CARPET	C	CUBIC
CT	CERAMIC TILE	W	WASHER
D	DRAIN	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STAC
FRS	PASSIVE RADON SYSTEM		



WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6060	2-Wide Single Hung	5'-0" x 3'-0"	6'-0" x 3'-0"	1			Plate
B 9054	3-Wide Single Hung w/ 18" Transom	7'-6" x 4'-6"	6'-0" x 3'-0"	1			Plate
C 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 3'-0"	1			Plate
D 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-0"	1			
E 3054	Single Hung	2'-0" x 4'-6"	6'-0" x 3'-0"	1			
F 3054	Single Hung	2'-0" x 4'-6"	6'-0" x 3'-0"	1			
G 3054	Single Hung	2'-0" x 4'-6"	6'-0" x 3'-0"	1			
H 3054	Single Hung	2'-0" x 4'-6"	6'-0" x 3'-0"	1			
I 3054	Single Hung	2'-0" x 4'-6"	6'-0" x 3'-0"	1			
J 4848	Horizontal Slider	4'-0" x 4'-0"	4'-0" x 4'-0"	1			
K 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-0"	1			
L 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-0"	1			
M 3054	Single Hung	2'-0" x 4'-6"	6'-0" x 3'-0"	1			Plate
N 3050	Fixed	2'-0" x 2'-0"	6'-0" x 3'-0"	1			Plate
O 3330	Fixed	2'-0" x 2'-0"	6'-0" x 3'-0"	1			Plate
P 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 3'-0"	1			Plate
Q 2442	Single Hung	2'-0" x 3'-6"	6'-0" x 3'-0"	1			
R 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 3'-0"	1			
S							
T							

NOTES:  
1- See job spec for window colors  
2- See active plate door leaf and casement siding for finished plans  
3 - Tempered Glass  
4 - Gating Plate Door to be installed in 6'-0" x 3'-0" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions

- PRELIMINARY SET:
- BID SET: 100% BIDDING SET - ELEVATION A
- CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #  
ADDRESS  
WILLOW - ELEVATION A

Drawing By: SWE

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Project No

XXX

of

pages

A

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The Willow - Elevation A

Side Elevation when facing Middleton Community Church or a Public Street

6840 SCHNEIDER ROAD  
MIDDLETON, WI 53562  
PHONE: (608) 836-9601  
FAX: (608) 836-9691  
www.encorebuildingsolutions.com

Comments

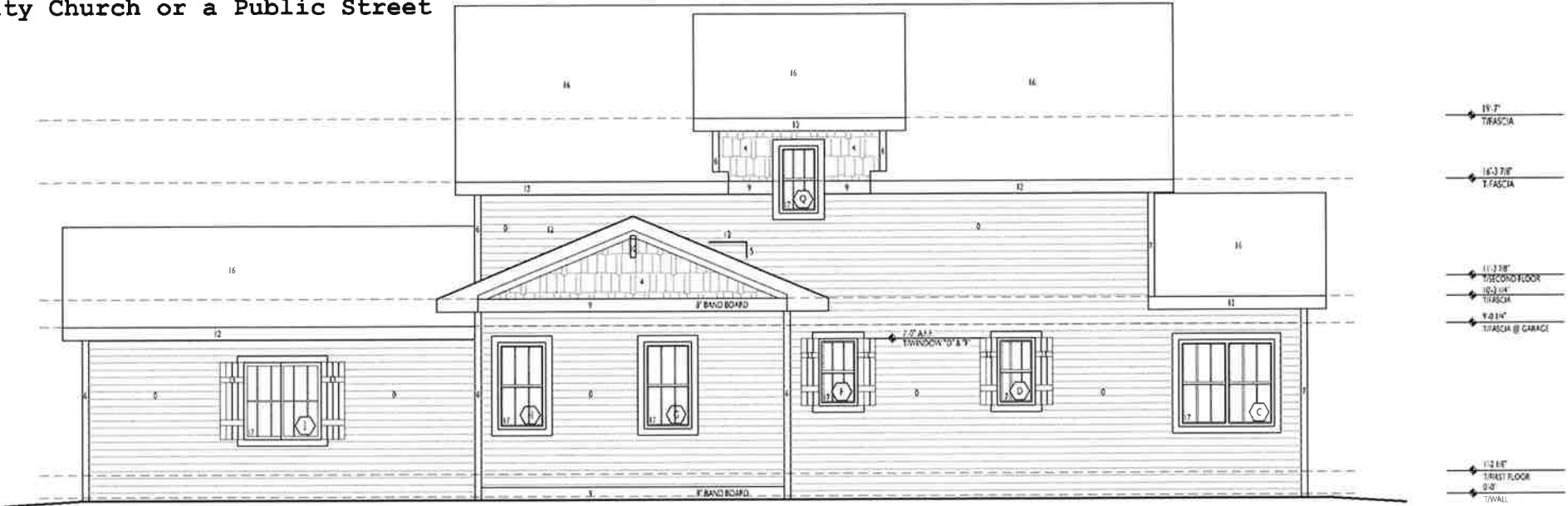
Notes

EXTERIOR COLORS

- 0. VINYL SIDING (if EXPOSED) =
- 1. SHIRT SODING (if EXPOSED) =
- 2. BOARD & BAT. EN. ID. 2 =
- 3. BOARD & BATTEN ID. 3 =
- 4. SHAKE (D-4) =
- 5. SHAKE (D-5) =
- 6. VINYL CORNER TRIM =
- 7. SHIRT CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SHIRT FASCIA/GUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. MASONRY =
- 15. ROOF (H) =
- 16. ROOF (H) (G) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

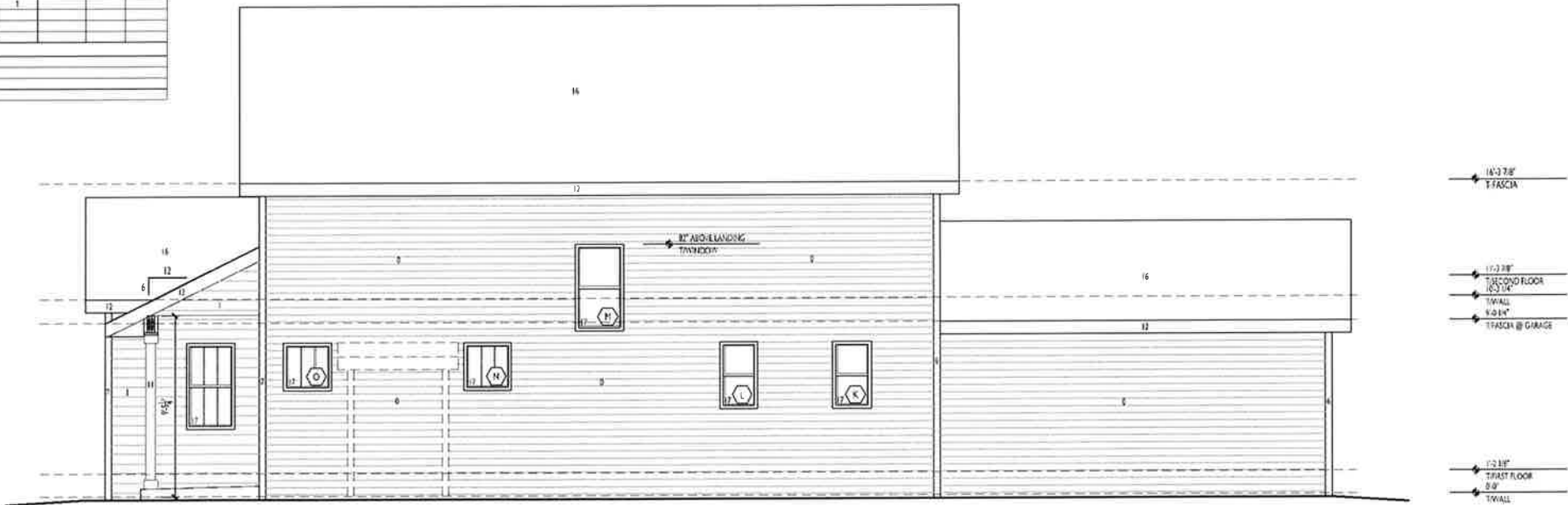
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CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CT	CERAMIC TILE	C	CUBICLE
D	DYER	W	WASHER
VNL	VINYL	LAM	LAMINATE
PLS	PASSIVE RADON SYSTEM	PS	PLUMBING STAC



WINDOW SCHEDULE - ELEVATION A								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1			Place
B	9051	3-Wide Single Hung w/ 18 Transoms	7'-6" x 4'-6"	6'-9" x 6"	1			Place
C	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1			Place
D	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1			
E	3054	Single Hung	2'-6" x 4'-0"	6'-9" x 6"	1			
F	3054	Single Hung	2'-6" x 4'-6"	6'-9" x 6"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6'-9" x 6"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6'-9" x 6"	1			
I	3054	Single Hung	2'-6" x 4'-6"	6'-9" x 6"	1			
J	1848	Horizontal Slider	4'-0" x 4'-0"	4'-9" x 6"	1			
K	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1			
L	2442	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1			
M	3054	Single Hung	2'-6" x 4'-6"	6'-9" x 6"	1			
N	3030	Fixed	2'-6" x 2'-6"	4'-9" x 6"	1			Place
O	3030	Fixed	2'-6" x 2'-6"	6'-0" x 6"	1			Place
P	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9" x 6"	1			Place
Q	2442	Single Hung	2'-6" x 3'-6"	6'-0" x 6"	1			
R	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9" x 6"	1			
S								
T								

NOTES:  
1. See job plan for window colors.  
2. Switch active patio door leaf and casement rating for Reversed plans.  
3. Tempered Glass.  
4. Using Patio Door to be detailed in 6'-0" x 6'-0" jamb.

LEFT ELEVATION



RIGHT ELEVATION

Revisions

- PRELIMINARY SET
- BID SET - FORMERLY COTTAGE 2 - ELEVATION A
- CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #  
ADDRESS  
WILLOW - ELEVATION A

Drawn By: SWE Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. Draw

XXX A

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STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STA
PRS	PASSIVE RADON SYSTEM		

## Revisions

PRELIMINARY SET

BID SET: FORMERLY COTTAGE 2 - ELEVATION AA

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW : ELEVATION 1000

Drawing By: SWE

**Check 8**

### Drawing Tide

## Building Sections

Scale:  $1/4" = 1'-0"$

Date: XX/XX/

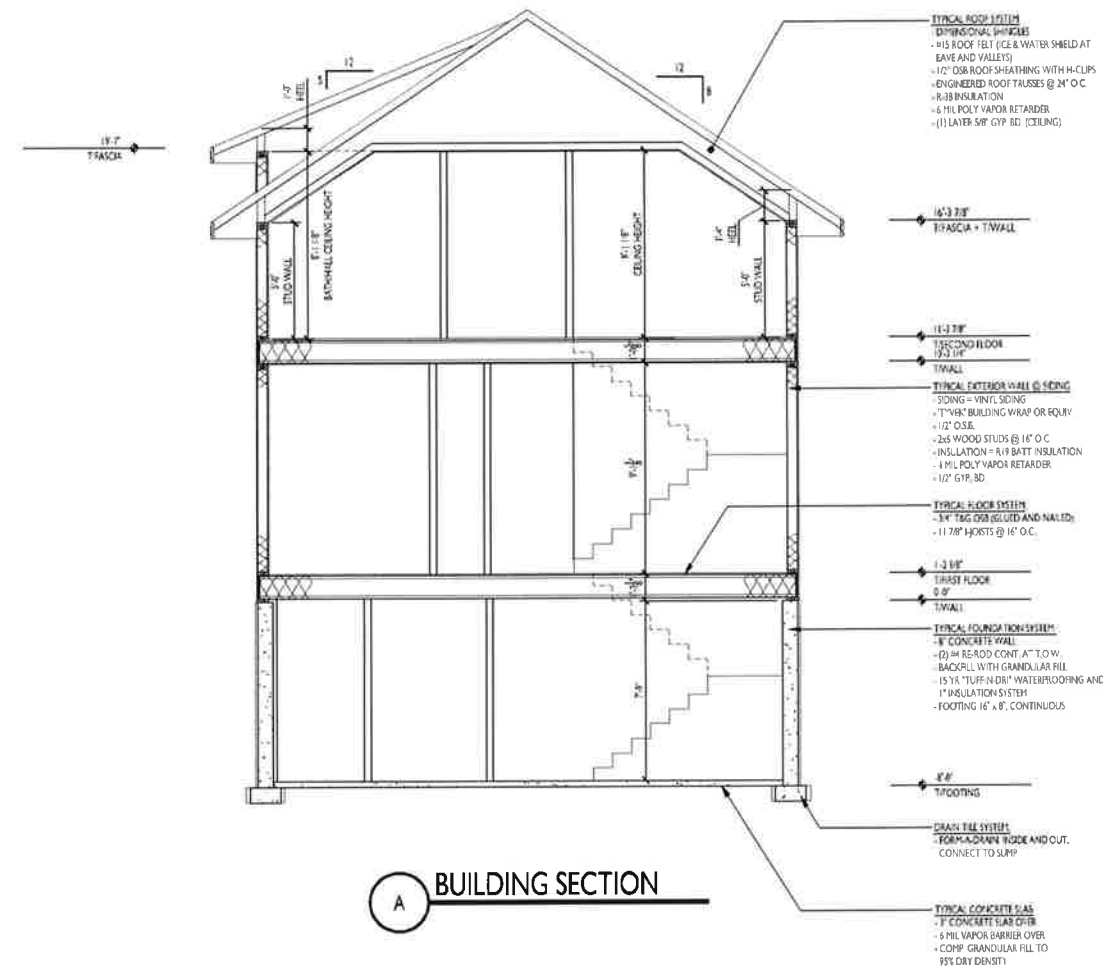
Project No.

Draw

XXX

A

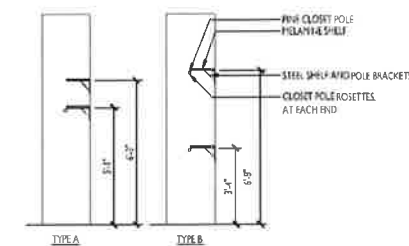
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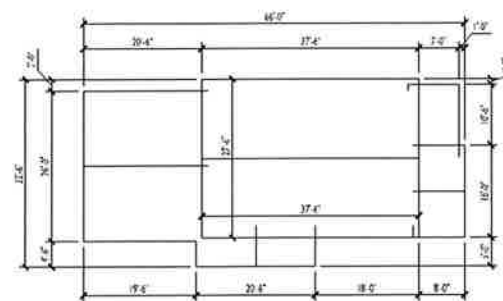
**A BUILDING SECTION**



**B PANTRY/LINEN SECTION**  
SCALE = 1/4" = 1'-0"



**C CLOSET SECTION**  
SCALE = 1/4" = 1'-0"



**ROOF PLAN**  
SCALE = N.T.S.



The Willow - Elevation B

Consultant

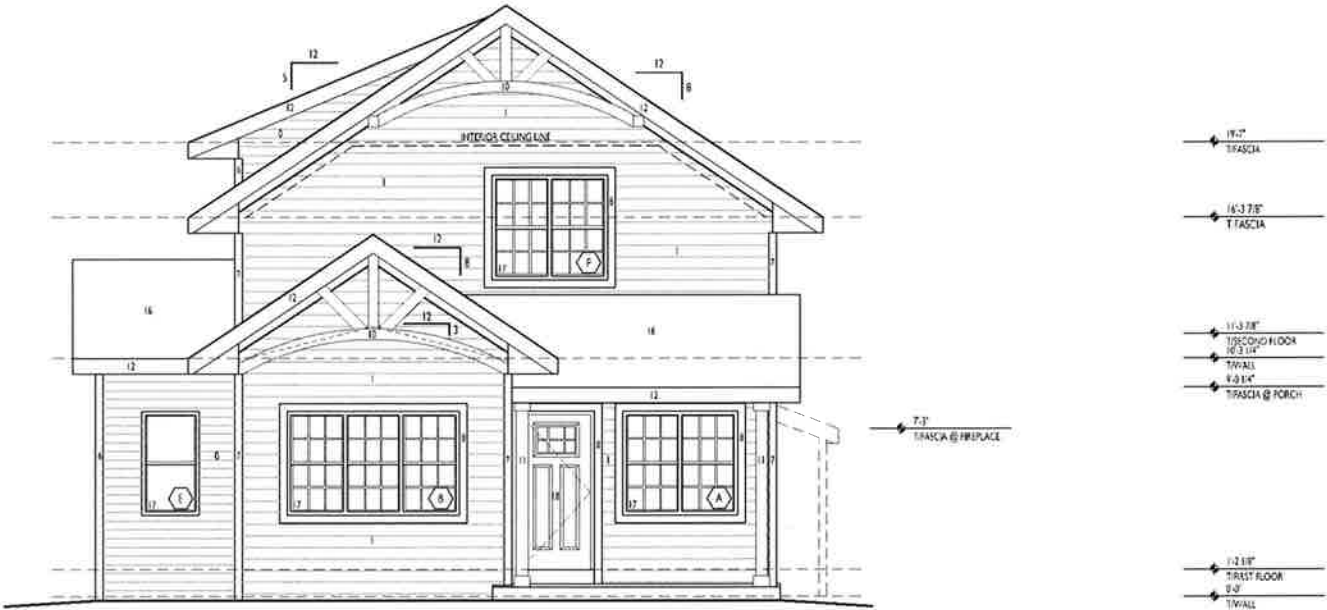
Notes

EXTERIOR COLORS:

0. VINYL SIDING (H/EXPOSURE) =  
1. SHIRT SIDING (H/EXPOSURE) =  
2. BOARD & BATTEN (H/EXPOSURE) =  
3. SHAKES (D/EX) =  
4. SHAKES (D/EX) =  
5. SHAKES (D/EX) =  
6. VINYL CORNER TRIM =  
7. SHIRT CORNER TRIM =  
8. WINDOW & DOOR TRIM =  
9. ACCENT BAND =  
10. GABLE ACCENTS =  
11. COLUMNS =  
12. SHIRT/FASCIA/GUTTER (ALUMINUM) =  
13. SHUTTERS =  
14. PANDORA =  
15. ROOF (H/EX) =  
16. ROOF (SHINGLES) =  
17. WINDOWS =  
18. ENTRY DOOR =  
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

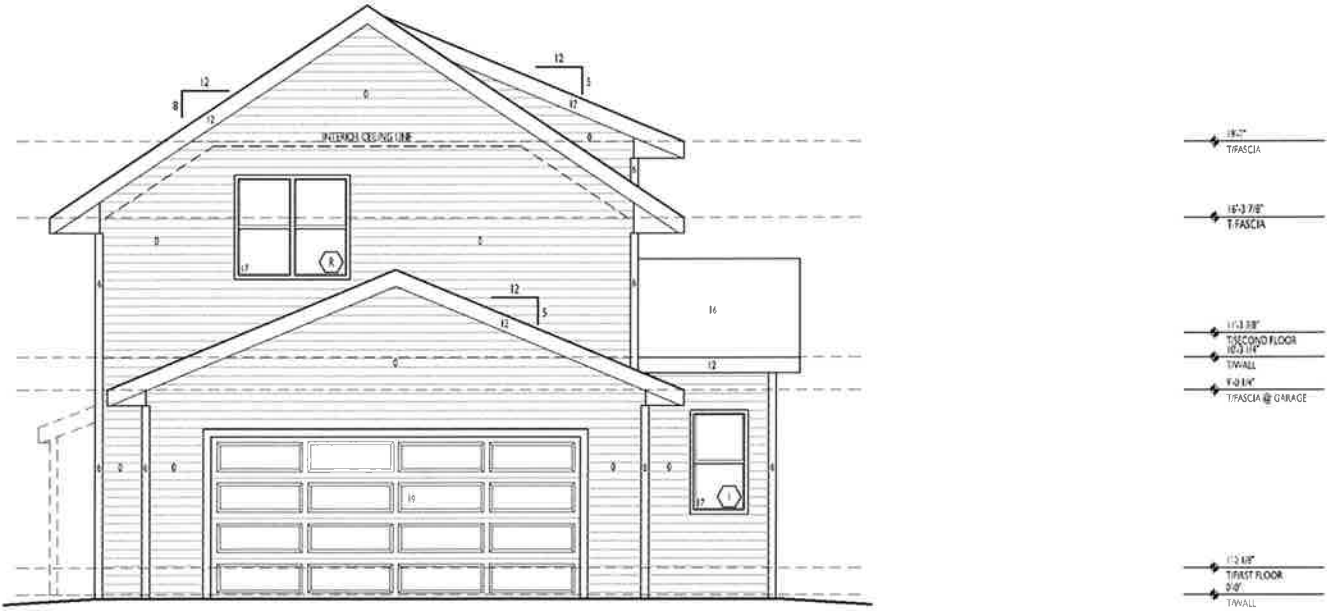
HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DOOR	LAM	LAMINATE
VTL	VINYL	PLS	PLUMBING STACK
PRS	PASSIVE RADON SYSTEM		



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 0060	2-Wide Single Hung	5'-0" x 5'-0"	6'-9 1/8"	1			Colonial
B 0064	3-Wide Single Hung	7'-0" x 4'-0"	6'-9 1/8"	1			Colonial
C 0064	2-Wide Single Hung	5'-0" x 4'-0"	6'-9 1/8"	1			Colonial
D 2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1			
E 3054	Single Hung	2'-0" x 4'-0"	6'-9 1/8"	1			
F 3054	Single Hung	2'-0" x 4'-0"	6'-9 1/8"	1			
G 3054	Single Hung	2'-0" x 4'-0"	6'-9 1/8"	1			
H 3054	Single Hung	2'-0" x 4'-0"	6'-9 1/8"	1			
I 3054	Single Hung	2'-0" x 4'-0"	6'-9 1/8"	1			
J 4543	Horizontal Slider	4'-0" x 4'-0"	6'-9 1/8"	1			
K 2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1			
L 2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1			
M 3054	Single Hung	2'-0" x 4'-0"	6'-9 1/8"	1			
N 3030	Fixed	2'-0" x 2'-0"	6'-9 1/8"	1			Colonial
O 3030	Fixed	2'-0" x 2'-0"	6'-9 1/8"	1			Colonial
P 0064	2-Wide Single Hung	5'-0" x 4'-0"	6'-9 1/8"	1			Colonial
Q 2442	Single Hung	2'-0" x 3'-6"	6'-9 1/8"	1			
R 0064	2-Wide Single Hung	5'-0" x 4'-0"	6'-9 1/8"	1			
S							
T							

NOTES:  
1 - Take job start for window colors.  
2 - Design active patio door trim and casement using for finished plans.  
3 - Tempered Glass.  
4 - Going Patio Door to be installed in 6'6" 1/8" jamb.



REAR ELEVATION

Revisions

- PRELIMINARY SET  
BID SET - FORMERLY COTTAGE 3 - ELEVATION AA  
CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS

WILLOW - ELEVATION B

Drawing By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No

Draw

XXX

of

pages

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**ENCORE**  
HOMES

6840 SCHNEIDER ROAD  
MIDDLETON, WI 53562  
PHONE: (608) 836-9601  
FAX: (608) 836-9691  
[www.encorebuildsmadison.com](http://www.encorebuildsmadison.com)

Consultant

## Notes

### EXTERIOR COLORS

0. VINYL SIDING (H' EXPOSURE) =
1. SMART SIDING (H' EXPOSURE) =
2. BOARD & BATTEN (J D 2) =
3. BOARD & BATTEN (J D 3) =
4. SHAKE (D 4) =
5. SHAKE (D 5) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WINDOW & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. MASONRY =
15. ROOF (PIV) =
16. ROOF (SHINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DRYWALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBIE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STAIN
PRS	PASSIVE RADON SYSTEM		

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A 6060	2-Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1		Colonial	
B 9054	3-Wide Single Hung	3'-6" x 4'-6"	6'-0" x 6"	1		Colonial	
C 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1		Colonial	
D 2442	Single Hung	2'-0" x 2'-6"	6'-0" x 6"	1			
E 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1			
F 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	5			
G 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1			
H 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1			
I 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1			
J 4848	Horizontal Slider	4'-0" x 4'-0"	4'-0" x 4"	1			
K 2442	Single Hung	2'-0" x 2'-6"	6'-0" x 6"	1			
L 2442	Single Hung	2'-0" x 2'-6"	6'-0" x 6"	1			
M 3055	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1			
N 3055	Fixed	2'-6" x 4'-6"	6'-0" x 6"	1		Colonial	
O 3055	Fixed	2'-6" x 4'-6"	6'-0" x 6"	1		Colonial	
P 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1		Colonial	
Q 2442	Single Hung	2'-0" x 2'-6"	6'-0" x 6"	1			
R 6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1			
S							
T							

NOTES

\*See job start for window colors  
\*Switch out we paper door leaf and casement lining for Reversed glass  
1 - Tempered Glass  
2 - Existing Patio Door to be installed in 6/9/10" jamb

LEFT ELEVATION

RIGHT ELEVATION

## Revisions

PRELIMINARY SET:

BID SET: FORMERLY COTTAGE 2, ELEVATION AA

CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
LOW : ELEVATION B

Driveline Box SWE

Checked By:

Drawing Title

## Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

XXX

A

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The Willow - Elevation B

Side Elevation when facing Middleton Community Church or a Public Street

Consultant

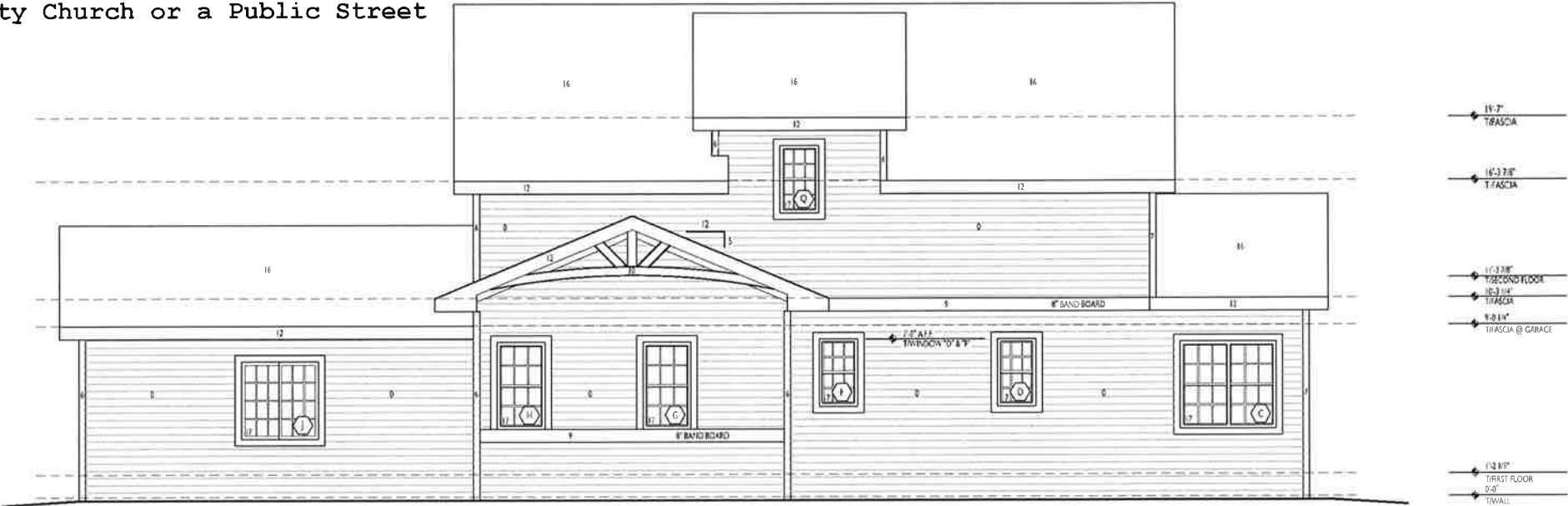
Notes

EXTERIOR COLORS:

- 0. VINYL SIDING (4" EXPOSURE) =
- 1. SHIRT SODING (6" EXPOSURE) =
- 2. BOARD & BATTEN (2" D) =
- 3. BOARD & BATTEN (2" D) =
- 4. SHAKES (D-1) =
- 5. SHAKES (D-1) =
- 6. VINYL CORNER TRIM =
- 7. SHIRT CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SCOTT FASCIA/GUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. MASONRY =
- 15. ROOF (1") =
- 16. ROOF (SHINGLES) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

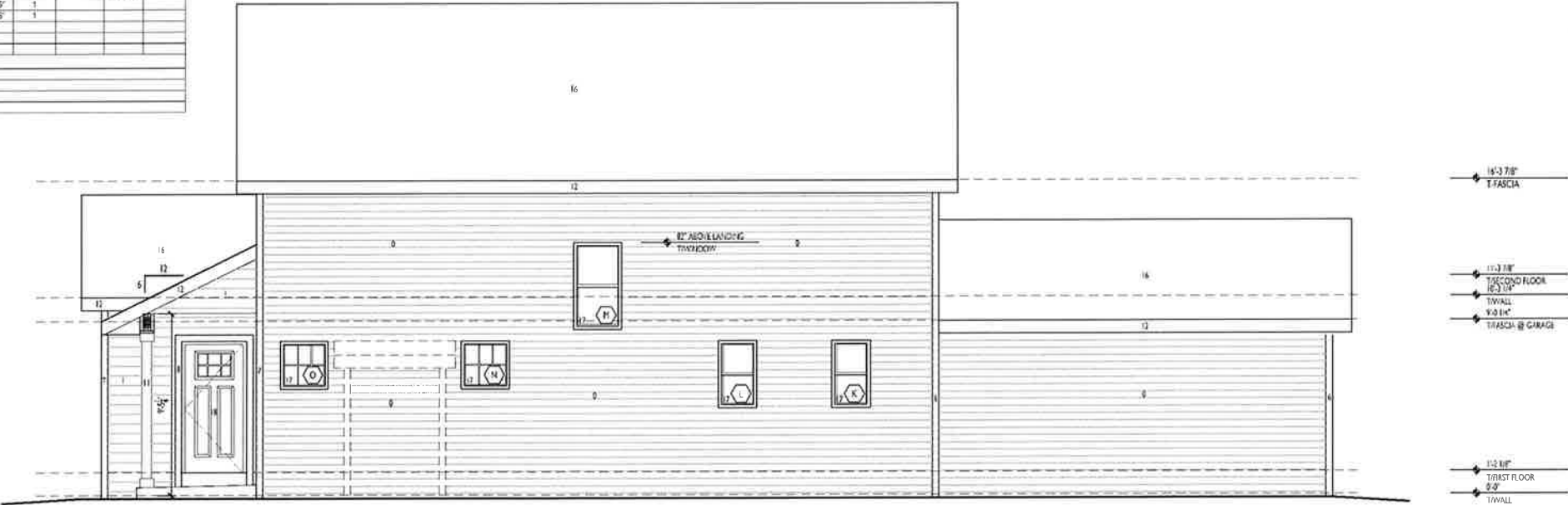
HB	HOLE B	WD	WOOD
CO	CASED OPENING	DW	DISH WASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CT	CERAMIC TILE	C	CURB
D	DYER	W	WASHER
VYL	VINYL	LAM	LAMINATE
PLS	PASSIVE RADON SYSTEM	PS	PLUMBING STAC



WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A 6050	2-Wide Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial	
B 9054	3-Wide Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial	
C 6054	2-Wide Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial	
D 2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
E 3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
F 3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
G 3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
H 3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
I 3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
J 4848	Horizontal Slider	4'-0" x 4'-0"	6'-8 1/2"	1			
K 2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
L 2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
M 3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
N 3050	Fixed	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial	
O 3030	Fixed	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial	
P 6054	2-Wide Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial	
Q 2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
R 6054	2-Wide Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1			
S							
T							

NOTES:  
\*See job start for window colors  
\*Switch active patio doors and casement swing for Reversed plans  
1 - Tempered Glass  
2 - Sliding Patio Door to be installed in 6'-8 1/2" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions

- PRELIMINARY SET
- BID SET: FORMERLY COTTAGE 2 - ELEVATION AA
- CONSTRUCTION SET

Project Title

OWNER/SPEC  
SUBDIVISION  
LOT #

ADDRESS  
WILLOW - ELEVATION B

Drawing By: SWE

Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0"

Date: XX/XX/XX

Project No.

Draw

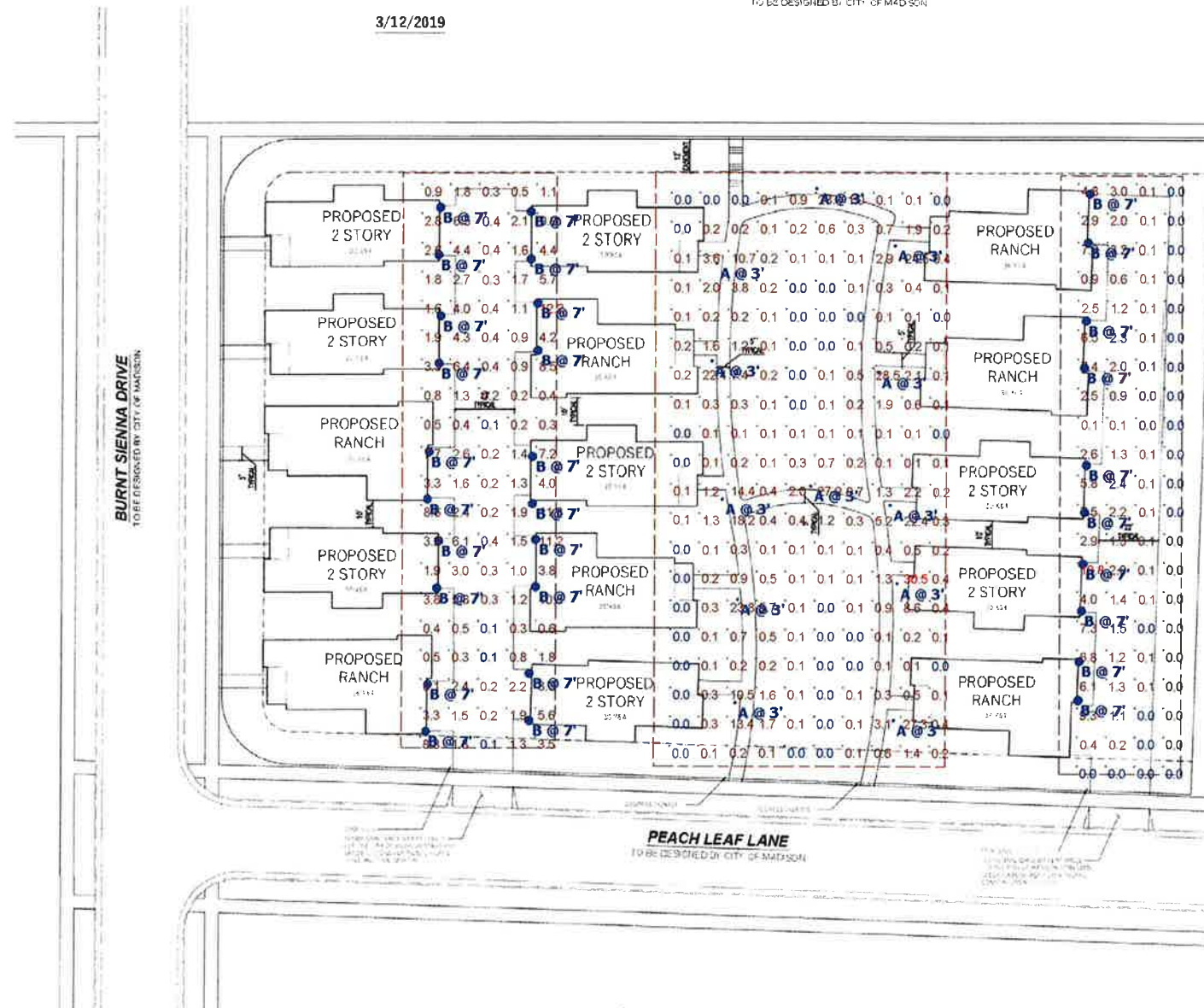
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OLD SAUK ROAD  
PUBLIC SIDEWALK AND RIGHT OF WAY IMPROVEMENTS  
TO BE DESIGNED BY CITY OF MADISON

3/12/2019



ENCORE  
LOT 1

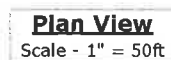
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOLLARD ZONE 3	+	2.0 fc	30.5 fc	0.0 fc	N/A	N/A
WALLPACK ZONE 4	+	2.7 fc	12.2 fc	0.1 fc	122.0:1	27.0:1
WALLPACK ZONE 5	+	1.6 fc	10.8 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage	
	A	33	BOLLARD1A/038UNV830/R8R/BZ	Bollards	1	3610	1	38.15	
	B	56	SLMWP1A-013UNV740-CO-XX-X	SLIM WALL PACK 13W 4000K	1	1394	1	12.71	

Designer  
MB, CED  
Date  
4/3/2019  
Scale  
Not to Scale  
Drawing No.

Summary





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOLLARD ZONE 1	+	2.2 fc	31.4 fc	0.0 fc	N/A	N/A
BOLLARD ZONE 2	+	1.6 fc	30.6 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 1	+	1.3 fc	11.3 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 2	+	1.6 fc	12.6 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 3	+	1.5 fc	11.2 fc	0.0 fc	N/A	N/A



# Proposed Bike Racks

## Park-It Powder-Coated Steel Bike Racks

Parent SKU: TBR-01A



[Click to Zoom](#)



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