

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: Lots 1 and 45, Plat of Chapel View, Madison WI

Title: The Cottages At Chapel View

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested May 29, 2019

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other

- Please specify
Review of Conditional Use - TR-V1
(Reduction of yard setback requirements in a Residential Building Complex)

4. Applicant, Agent, and Property Owner Information

Applicant name Chad Wuebben, President

Street address 6840 Schneider Road

Telephone 608-836-9601

Project contact person Same As Applicant

Street address _____

Telephone _____

Property owner (if not applicant) Same As Applicant

Street address _____

Telephone _____

Company Chapel View Development Company Inc

City/State/Zip Middleton WI 53562

Email cwuebben@encorehomesinc.com

Company _____

City/State/Zip _____

Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee** ~~NA~~
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on January 23, 2019.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Chad Wuebben, President Relationship to property President of Owner
 Authorizing signature of property owner  Date April 3, 2019

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

- * A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:
 - Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 - Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 - Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
 - ✓ Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



CHAPEL VIEW

April 4, 2019

Ms. Natalie Erdman
Director
Department of Planning & Community & Economic Development
City of Madison
215 Martin Luther King Jr Blvd
Madison WI 53703

RE: Zoning Change (TR-C3 to TR-V1) – The Cottages At Chapel View

Dear Ms. Erdman,

This Letter of Intent is submitted together with the appropriate application items for Staff, Urban Design Commission, Plan Commission and Common Council consideration for approval of the above-referenced zoning change.

Project Team

Applicant:

Chapel View Development Company Inc.
Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7752

Engineer:

Wyser Engineering
Wade Wyse, Owner
312 East Main Street
Mount Horeb WI 53572
wade.wyse@wyserengineering.com
608-843-3388

General Contractor:

Encore Homes, Inc.
Chad Wuebben, President
6840 Schneider Road
Middleton WI 53562
cwuebben@encorehomesinc.com
608-444-7725

Project Sales:

Encore Real Estate Services, Inc.
Cari Fuss, Managing Broker
6840 Schneider Road
Middleton WI 53562
cfuss@encorehomesinc.com
608-843-2500

Project Overview

Lots 1 (9910 Peach Leaf Lane) and 45 (624 Burnt Sienna Drive) are currently unimproved but platted lots within the subdivision of Chapel View. Improvements to the Chapel View neighborhood started upon the completion of the City approval process in late 2018 and we anticipate completion of improvements late this spring. The proposal is to convert the zoning of these two lots (1.93 acres and 1.81 acres respectively) from TR-C3 to TR-V1 to accommodate our proposal for the construction of two small-scale pocket communities within the Chapel View neighborhood.

The proposal develops a total of 28 Cottages on the two lots. For your reference, a site layout plan is included. The Cottages are free standing units that will be platted and sold as condominiums and should be considered a Residential Building Complex for zoning purposes. Each unit owner is responsible for the maintenance of their particular Cottage, while the condominium association will maintain private driveways and green space, walking paths and other landscaping features.

The project exceeds the total lot area requirements and the useable open space requirements on a per unit basis, but requires a conditional use to allow for the relaxation of yard setback requirements.

Lot 1 1.93 Acres 84,052 Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
15	3000 x 15 = 45,000	500 x 15 = 7,500	45,000 + 7,500 = 52,500

Lot 45 1.81 Acres 78,888 Square Feet

# of Cottages	Lot Area Required TR-V1	Open Space Required TR-V1	Total Area Required
13	3000 x 13 = 39,000	500 x 15 = 6,500	45,000 + 7,500 = 45,500

The goal in creating and grouping the Cottages in the way that the site is laid out is to intentionally limit vehicular exposure to the “front” yard areas of most Cottages, so as to promote neighbor engagement and enjoyment of shared green space, walking paths, landscaping features and community garden spaces. In

essence, the Cottages will create a neighborhood within a neighborhood, allowing for an additional housing choice for Madison's growing population.

The current waiting list for the Cottages includes all demographic profiles from first time homebuyers to empty nesters, and includes many people experiencing a family status change such as death of a spouse or divorce.

The Cottages are well-designed homes that are smaller footprints (from 1,202 to 1,875 above grade square feet) with full basements that will allow for additional finished square footage at the discretion of the owner. The Cottages are well appointed, energy efficient and include interior finish packages that would be typical of the overall Elderberry Neighborhood community.

Please note that all storm water management requirements for the Cottage lots were accounted for during the development and approval of the Chapel View neighborhood.


According to "The Direct Impact of Housing and Remodeling on the U.S. Economy" by Helen Fei Liu and Paul Emrath (2008), three permanent full time jobs are created when one new single family home is built. This development, then, would contribute a total of 56 permanent full time jobs to our local economy, as well as providing a high-demand housing opportunity.

The development team has a long-standing reputation in Dane County for quality product and development expertise, and has worked extensively in this area of Madison since 2008. We look forward to continuing our work with the City to achieve approval.

We anticipate a construction start date of June, 2019 with substantial completion by summer of 2020. It is expected that the first Cottages will be owner-occupied by the end of this calendar year.

Respectfully submitted,

CHAPEL VIEW LAND DEVELOPMENT COMPANY INC.

A handwritten signature in black ink, consisting of a large, stylized initial 'C' followed by a horizontal line extending to the right.

Chad Wuebben, President

Old Sauk Road

Intergenerational Center

Burnt Sienna Drive

Peach Leaf Lane

Big Stone Trail

Lot 5

Lot 4

Lot 3

Lot 2

Lot 6

Lot 7

Lot 8

Lot 9

Lot 10

Lot 11

Lot 12

Lot 13

Lot 14

Lot 15

Lot 16

Lot 17

Lot 18

Lot 44

Lot 43

Lot 42

Lot 41

Lot 40

Cape Silver Way

Lot 26

Lot 25

Lot 24

Lot 23

Lot 22

Lot 21

Lot 27

Lot 28

Lot 29

Lot 30

Lot 20

Lot 19

Lot 31

Lot 32

Lot 33

Lot 34

White Fox Lane

Lot 37

Lot 36

Lot 35

Lot 39

Lot 38

Dragon Willow Lane



COTTAGES
at Chapel View

The Cottages At Chapel View – Site Location





Site View Looking
North from White Fox
Lane at Dragon
Willow Lane

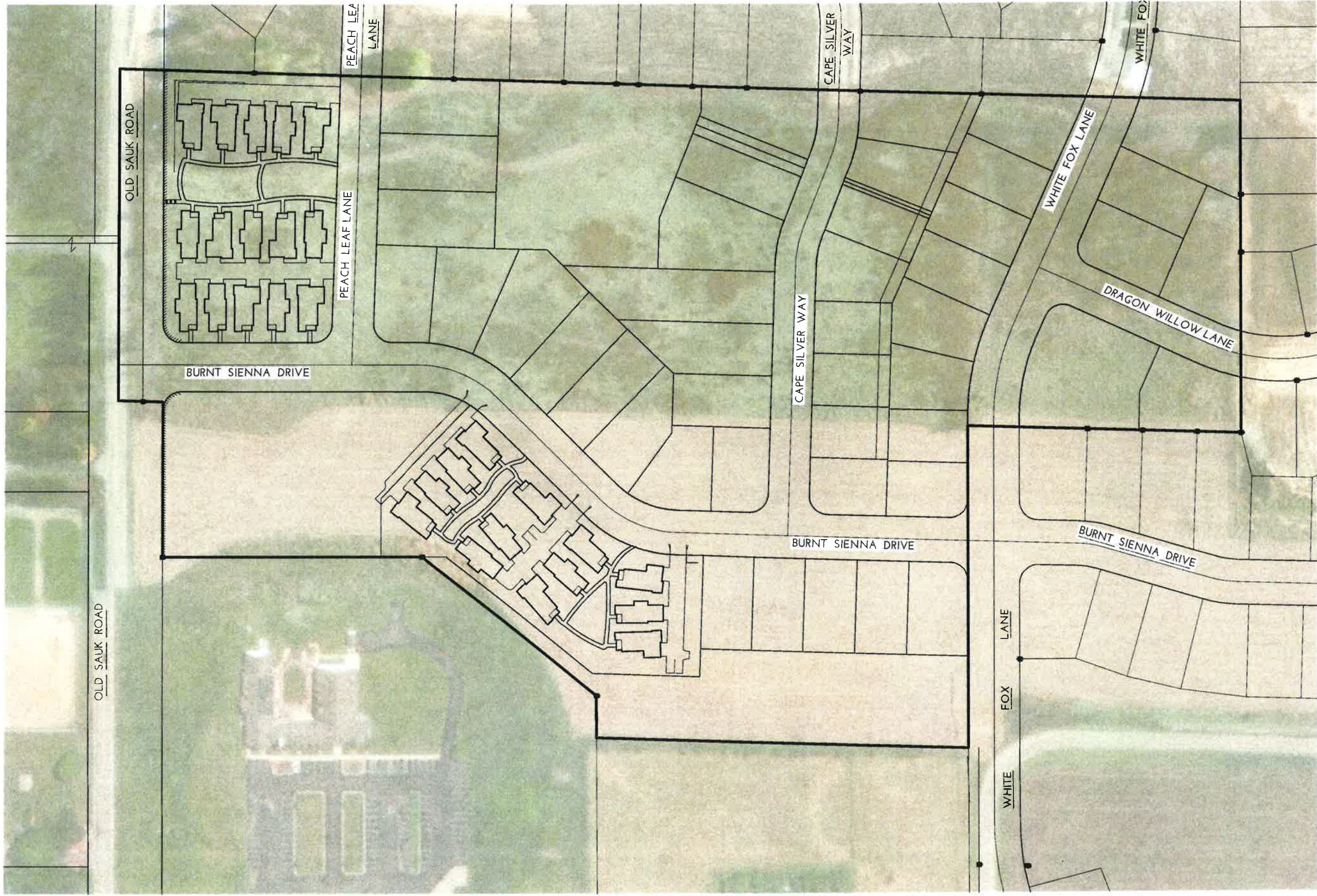


Middleton Community
Church - West of
Site



Homes in the Willows
Neighborhood - East
of Site

Cottages At Chapel View - Proposed Plat Layout



Cottages at Chapel View - Proposed Plat Layout



File: W:\2017\170455_Encore_Homes - Old Sauk RD\DWG\Cottages\17-0455_Civil_Design_Cottages_North.dwg Layout: Site Plan User: Admin PlotDate: Apr 10, 2019 - 9:28am

LEGEND (PROPOSED)

	PROPOSED PROPERTY BOUNDARY
	EASEMENT
	BUILDING FOOTPRINT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT



OLD SAUK ROAD
PUBLIC SIDEWALK AND RIGHT-OF-WAY IMPROVEMENTS
TO BE DESIGNED BY CITY OF MADISON

- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 26, 2017 AND JANUARY 9, 2018 AND PRELIMINARY DESIGN PLANS FOR THE CHAPEL VIEW PLAT. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
 - THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
 - WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

SITE INFORMATION BLOCK:
 SITE ADDRESS: 9910 PEACH LEAF LANE
 SITE ACREAGE: 84,052 SQ. FT. (1.93 AC)
 SITE LEGAL: LOT 1, CHAPEL VIEW PLAT
 USE OF PROPERTY: RESIDENTIAL (SINGLE FAMILY)
 ZONING: TR-VL (CITY OF MADISON ORDINANCE REFERENCE 28.047)

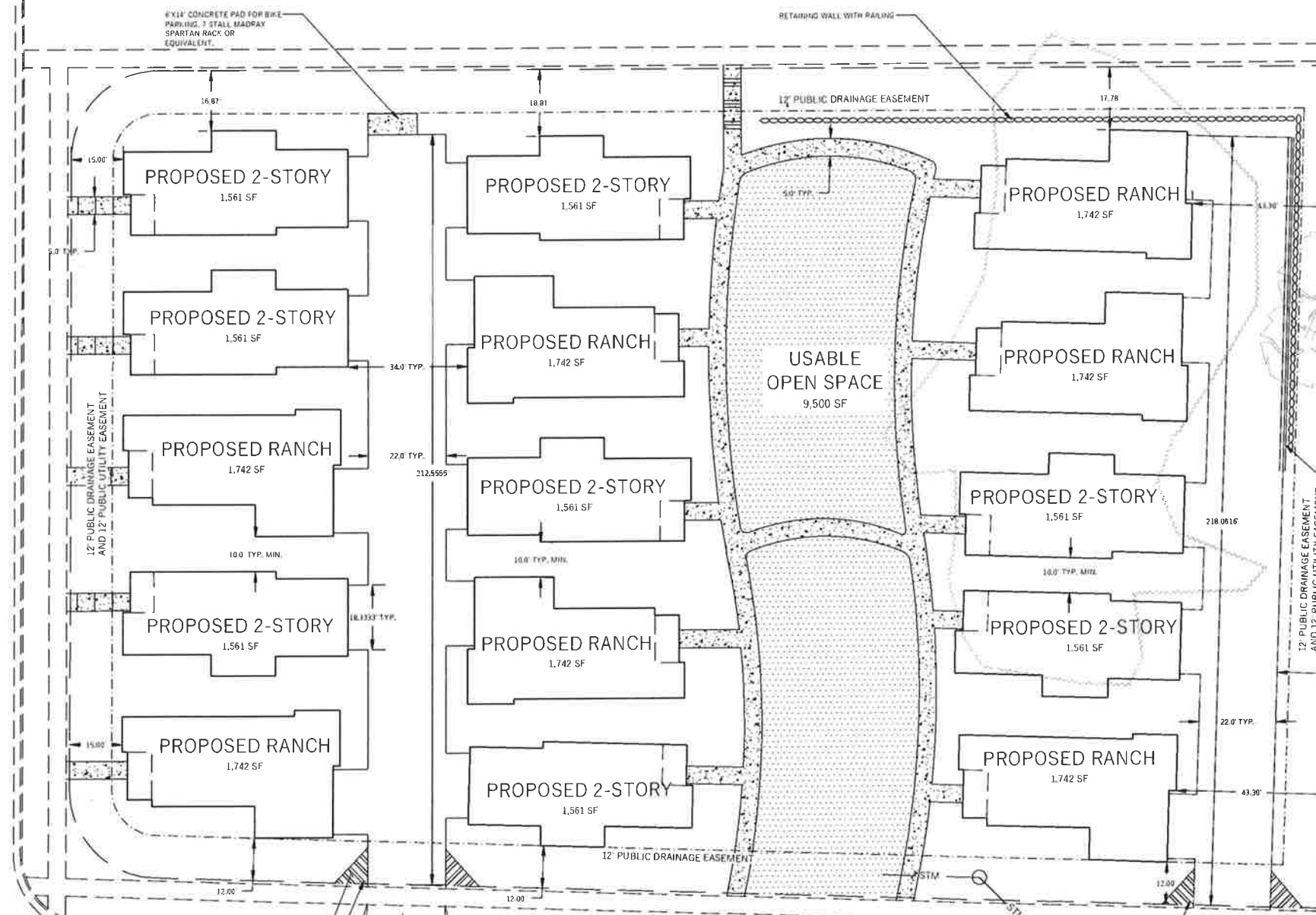
SETBACKS:
 FRONT YARD (PEACH LEAF LANE): 30-FOOT
 REQUESTING VARIANCE TO 12-FOOT
 REAR YARD (OLD SAUK ROAD): 25-FOOT
 REQUESTING VARIANCE TO 15-FOOT
 REVERSE CORNER SIDE YARD (BURNT SIENNA DRIVE): 12-FOOT
 SIDE YARD (ADJACENT RESIDENTIAL PLAT): 6-FOOT

PARKING:
 SINGLE FAMILY HOUSES WITH GARAGE, NO ADDITIONAL OFF STREET PARKING REQUIRED.
 7 BIKE STALLS PROVIDED.

EXISTING IMPERVIOUS SURFACE AREA: 0 SQ. FT.
 ROOF TOP: 0 SQ. FT.
 PAVED: 0 SQ. FT.

NEW IMPERVIOUS SURFACE AREA: 40,103 SQ. FT.
 ROOF TOP: 34,810 SQ. FT.
 PAVED: 11,660 SQ. FT.
 SIDEWALK: 1,761 SQ. FT.

DISTURBANCE LIMITS: 84,000 SQ. FT.
 PERCENT IMPERVIOUS: 41.6%
 MAXIMUM IMPERVIOUS PER ZONING: 75%
 MAXIMUM IMPERVIOUS PER PLAT STORMWATER PLAN: 50%



BURNT SIENNA DRIVE
TO BE DESIGNED BY CITY OF MADISON

PEACH LEAF LANE
TO BE DESIGNED BY CITY OF MADISON



CHAPEL VIEW COTTAGES
CITY OF MADISON, DANE COUNTY, WI
Sheet Title:
SITE PLAN

9910 PEACH LEAF LANE
MADISON, WI 53562

Revisions:

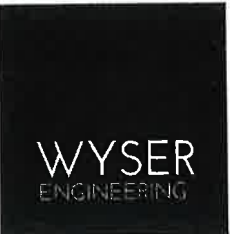
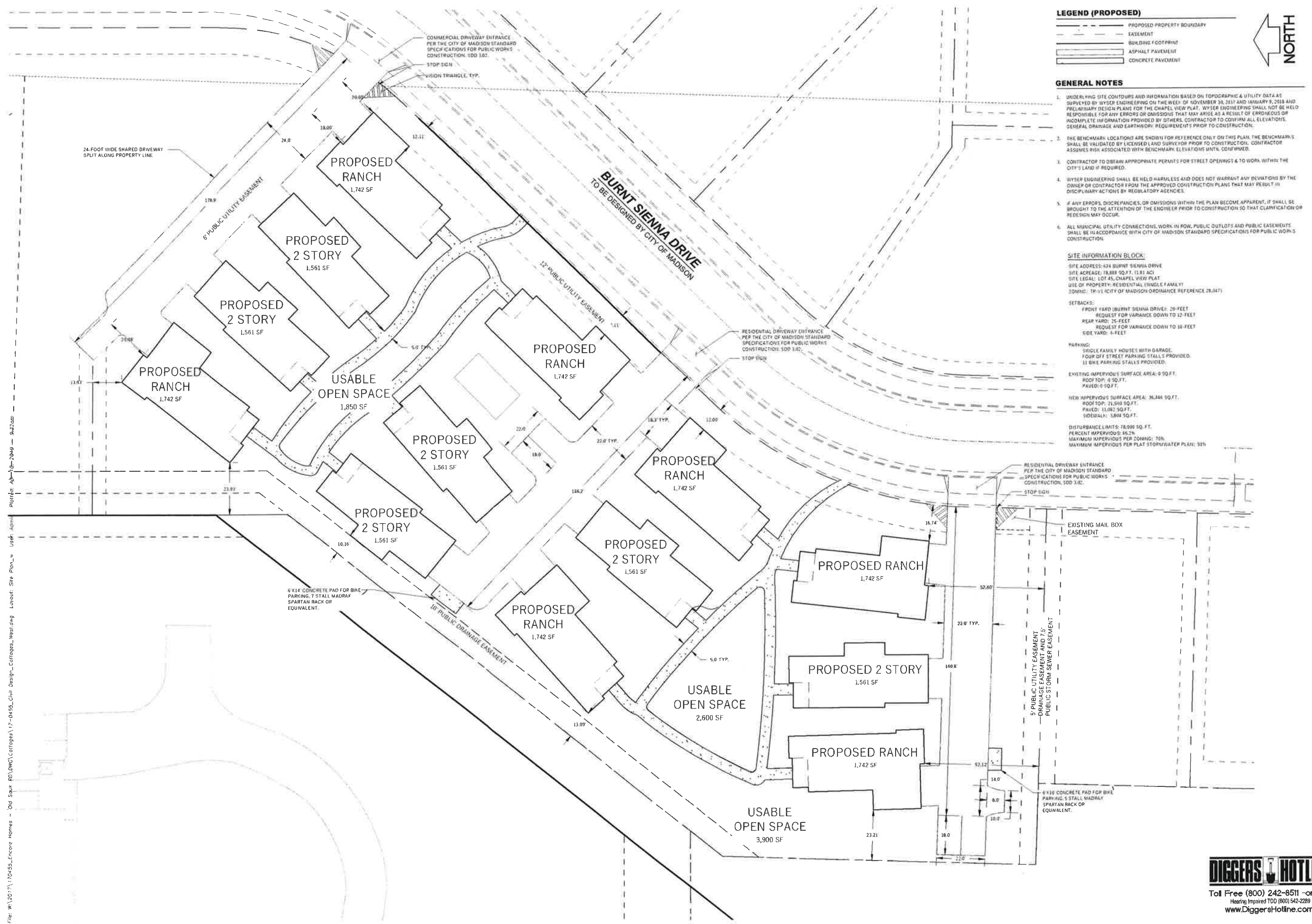
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Wyser Number	17-0455
Set Type	REVIEW
Date Issued	04/09/2019
Sheet Number	C100



File: W:\2017\170455-Encore Homes - 04_Site Plan - PD\DWG\Cottages\17-0455_Civil_Design\Cottages_West.dwg Layout: Site Plan_w User: Admin
 Plotter: HP-GL-PT-2400 Plot Size: 36" x 48"



624 BURNT SIENNA DRIVE
MADISON, WI 53562

CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

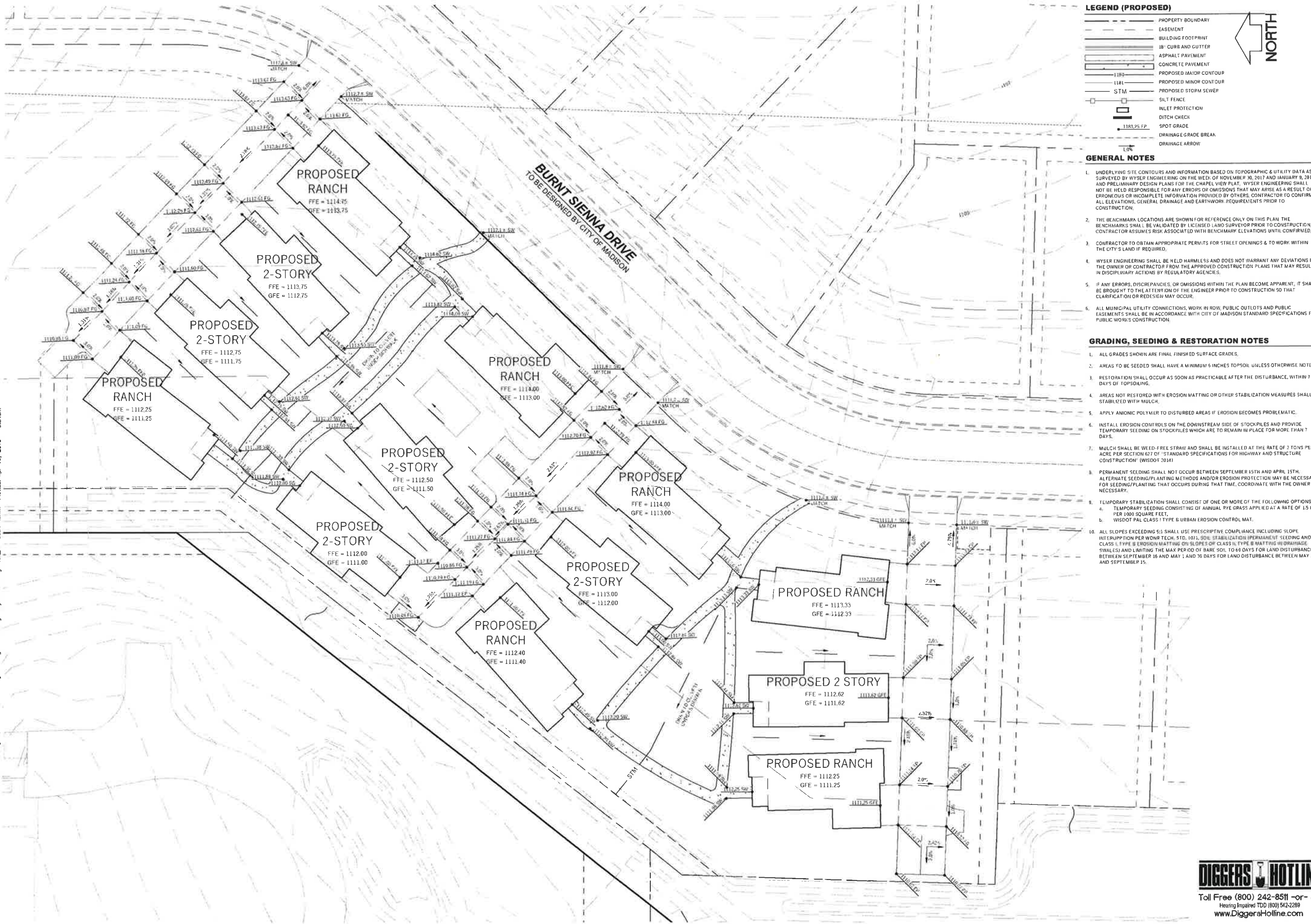
Sheet Title:
SITE PLAN - WEST

Revisions:		
No.	Date	Description

Graphic Scale	0' 5' 10' 20' 30'
Wyeer Number	17-0455
Set Type	REVIEW
Date Issued	04/09/2019
Sheet Number	C101

Toll Free (800) 242-8511 - or - 811
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

File: W:\2017\170435_Encore Homes - Old Souk RD\DWG\Cottages\17-0435_Civil Design\Cottages_West.dwg Layout: Grading Plan_*. Uber Admin Picked: Apr 10, 2019 - 8:34am



LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM SEWER
- SILT FENCE
- INLET PROTECTION
- DITCH CHECK
- SPOT GRADE
- DRAINAGE GRADE BREAK
- DRAINAGE ARROW

- GENERAL NOTES**
- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 30, 2017 AND JANUARY 9, 2018 AND PRELIMINARY DESIGN PLANS FOR THE CHAPEL VIEW PLAT. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
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 - CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
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 - ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

- GRADING, SEEDING & RESTORATION NOTES**
- ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
 - AREAS TO BE SEEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL UNLESS OTHERWISE NOTED.
 - RESTORATION SHALL OCCUR AS SOON AS PRACTICABLE AFTER THE DISTURBANCE, WITHIN 7 DAYS OF TOPSOILING.
 - AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
 - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
 - MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION (WISDOT 2014).
 - PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
 - TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
 - TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 100 SQUARE FEET.
 - WISDOT PAL CLASS 1 TYPE 6 URBAN EROSION CONTROL MAT.
 - ALL SLOPES EXCEEDING 5:1 SHALL USE PRESCRIPTIVE COMPLIANCE INCLUDING SLOPE INTERRUPTION PER NDWR TECH. STD. 101. SOIL STABILIZATION PERMANENT SEEDING AND CLASS 1 TYPE 6 EROSION MATTING ON SLOPES OF CLASS 2 TYPE 6 MATTING IN DRAINAGE SWALES) AND LIMITING THE MAX PERIOD OF BARE SOIL TO 60 DAYS FOR LAND DISTURBANCE BETWEEN SEPTEMBER 16 AND MAY 1 AND 30 DAYS FOR LAND DISTURBANCE BETWEEN MAY 2 AND SEPTEMBER 15.

WYSER ENGINEERING

624 BURNT SIENNA DRIVE
MADISON, WI 53562

CHAPEL VIEW COTTAGES
CITY OF MADISON, DANE COUNTY, WI
Sheet Title: GRADING PLAN - WEST

Revisions:		
No.	Date:	Description:

Graphic Scale	
Wyser Number	17-0455
Set Type	REVIEW
Date Issued	04/09/2019
Sheet Number	C201

DIGGERS HOTLINE
Toll Free (800) 242-8511 or 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

OLD SAUK ROAD
PUBLIC SIDEWALK AND RIGHT-OF-WAY IMPROVEMENTS
TO BE DESIGNED BY CITY OF MADISON

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- - - EASEMENT
- ▬ BUILDING FOOTPRINT
- ▬ 18" CURB AND GUTTER
- ▬ ASPHALT PAVEMENT
- ▬ CONCRETE PAVEMENT
- ▬ WAT PROPOSED WATER MAIN
- ▬ SAN PROPOSED SANITARY SEWER
- ▬ STM PROPOSED STORM SEWER
- ▬ GAS PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- ▬ E PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)



GENERAL NOTES

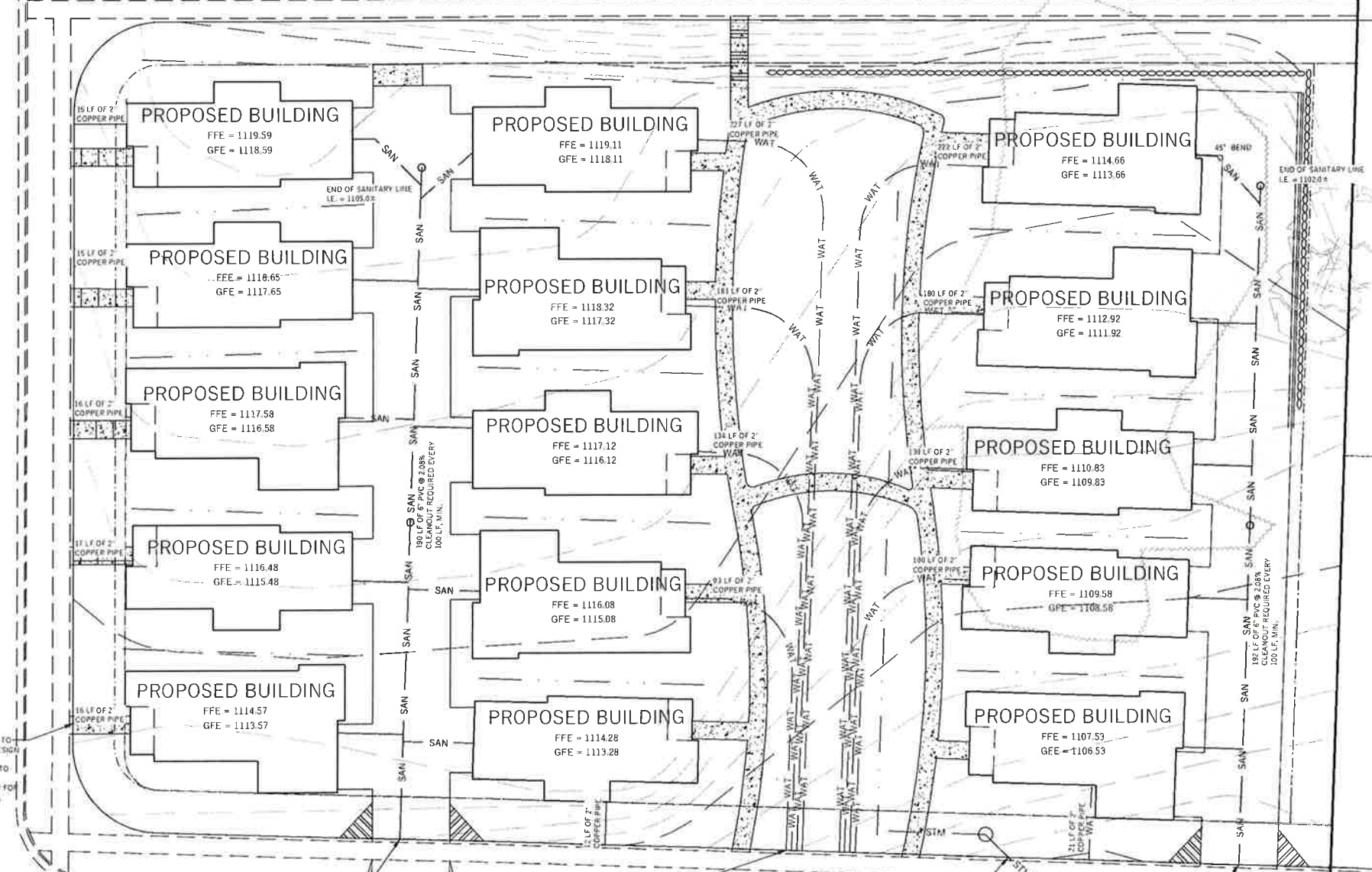
1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF NOVEMBER 30, 2017 AND JANUARY 9, 2018 AND PRELIMINARY DESIGN PLANS FOR THE CHAPEL VIEW PLAT. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDNWR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
7. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
8. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5" OF GROUND COVER.
9. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
10. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
11. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
12. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.30(2)(c).
13. ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
14. ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
15. ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(B).
16. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
17. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IT IS REQUIRED THAT THREE FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE REINFORCED WITH #4 BARS. THE INLET SHALL BE PLACED ON THE MOST FIRM BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
18. THE CURB INLET SHALL HAVE A CATCH-ALL NR-1 OIL AND GREASE FILTER OR APPROVED EQUIVALENT INSTALLED WITHIN THEM.
19. NO BLASTING SHALL OCCUR WITHIN 30 FEET OF ANY EXISTING UTILITIES.
20. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
21. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

BURNT SIENNA DRIVE
TO BE DESIGNED BY CITY OF MADISON

PEACH LEAF LANE
TO BE DESIGNED BY CITY OF MADISON



CONNECTION INTO WATER SERVICE STUB TO BE LOCATED AT 2x2 WOOD POST. DESIGN TO BE COMPLETED BY CITY OF MADISON PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

CONNECTION INTO 6" SANITARY SEWER BUILDING SERVICE STUB TO BE LOCATED AT 2x2 WOOD POST. DESIGN TO BE COMPLETED BY CITY OF MADISON PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

CONNECTION INTO WATER SERVICE STUB TO BE LOCATED AT 2x2 WOOD POST. SERVICES TO BE SEPARATED 12" FROM PUBLIC DESIGN TO BE COMPLETED BY CITY OF MADISON PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

CONNECTION INTO STORM SEWER SERVICE STUB TO BE LOCATED AT 2x2 WOOD POST. DESIGN TO BE COMPLETED BY CITY OF MADISON PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

CONNECTION INTO 6" SANITARY SEWER BUILDING SERVICE STUB TO BE LOCATED AT 2x2 WOOD POST. DESIGN TO BE COMPLETED BY CITY OF MADISON PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.



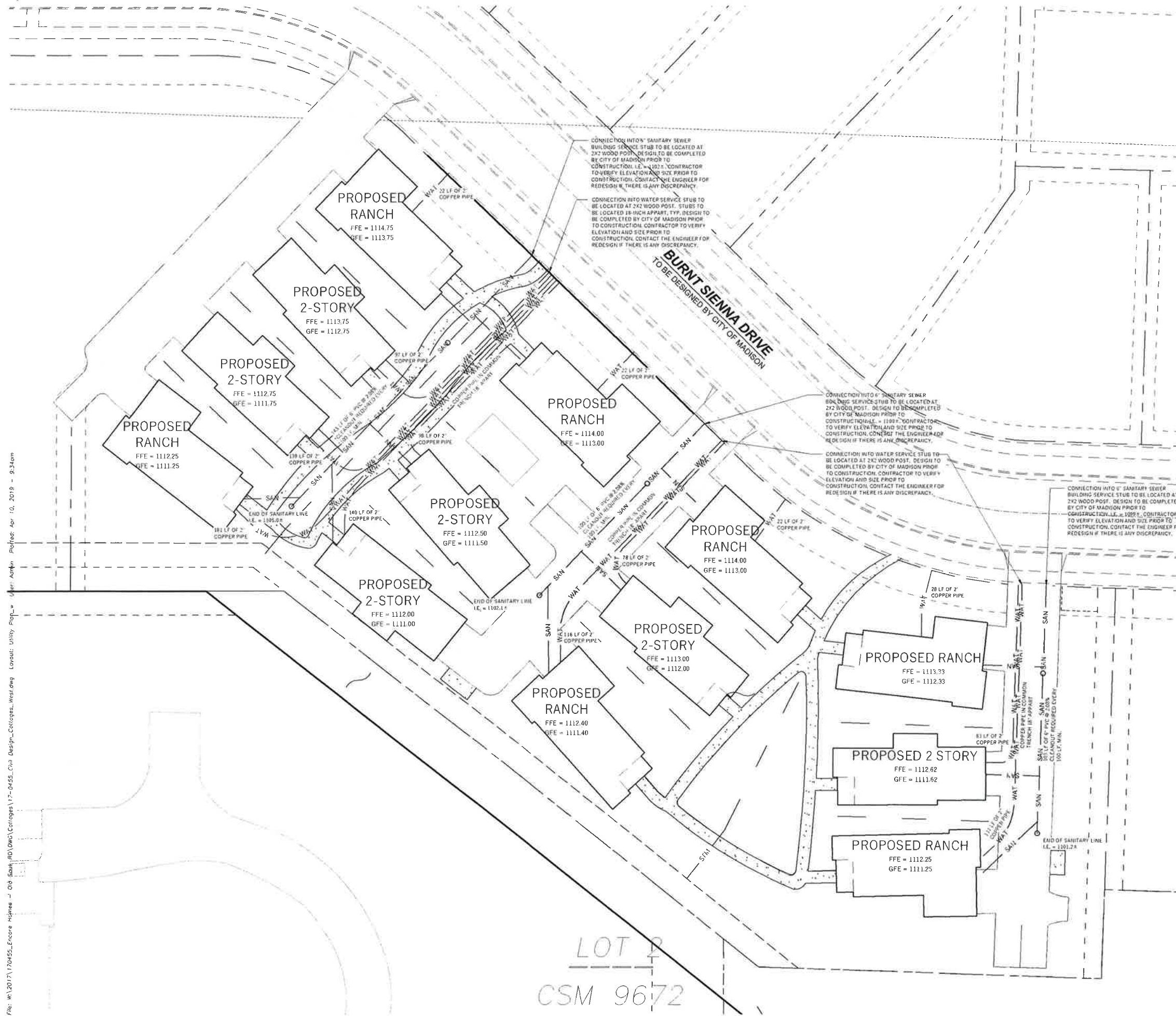
CHAPEL VIEW COTTAGES
CITY OF MADISON, DANE COUNTY, WI
Sheet Title: UTILITY PLAN

Revisions:		
No.	Date:	Description:

Graphic Scale	0' 5' 10' 20' 30'
Wysen Number	17-0455
Set Type	REVIEW
Date Issued	04/09/2019
Sheet Number	C300

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File: W:\2017\170455_Encore\Address - 016_Sank\RD\DWG\Cottages\17-0455_Cha Design_Cottages_West.dwg Layout: Utility Plan - 9/24/2019 9:24am



LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT PROPOSED WATER MAIN
- SAN PROPOSED SANITARY SEWER
- STM PROPOSED STORM SEWER
- GAS PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)

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624 BURNT SIENNA DRIVE
MADISON, WI 53562

CHAPEL VIEW COTTAGES
CITY OF MADISON, DANE COUNTY, WI
Sheet Title: UTILITY PLAN - WEST

Revisions:		
No.	Date:	Description:

Graphic Scale	
Wysier Number	17-0455
Set Type	REVIEW
Date Issued	04/09/2019
Sheet Number	C301

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LOT 3
CSM 9672

File: W:\2017\170455_Enclave Homes - Old Sauk RD DWG\Cottages\17-0455_Civil_Design\Cottages_North.dwg Layout: Landscape User: Admin Plotter: Apr 10, 2019 8:20am

BURNT SIENNA DRIVE
TO BE DESIGNED BY CITY OF MADISON

OLD SAUK ROAD
PUBLIC SIDEWALK AND RIGHT-OF-WAY IMPROVEMENTS
TO BE DESIGNED BY CITY OF MADISON

PEACH LEAF LANE
TO BE DESIGNED BY CITY OF MADISON

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- - - EASEMENT
- ▭ BUILDING FOOTPRINT
- ▨ ASPHALT PAVEMENT
- ▧ CONCRETE PAVEMENT
- LARGE SHRUB
- MEDIUM TREE
- ★ EVERGREEN TREE
- CANOPY TREE



PAUL SKIDMORE
LANDSCAPE
ARCHITECT

9910 PEACH LEAF LANE
MADISON, WI 53562

CHAPEL VIEW COTTAGES

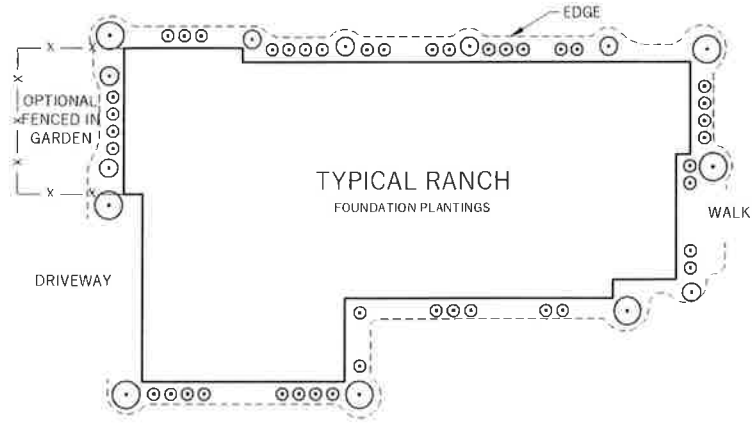
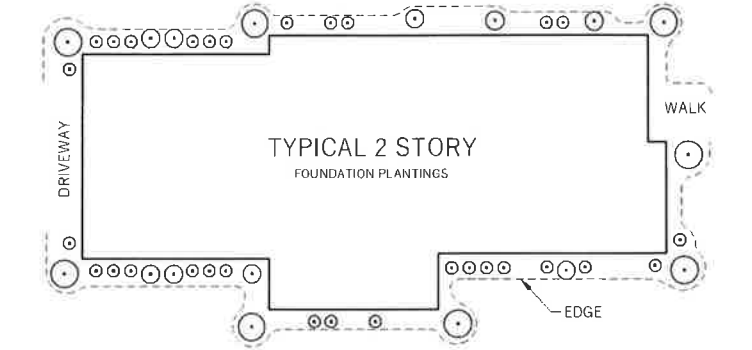
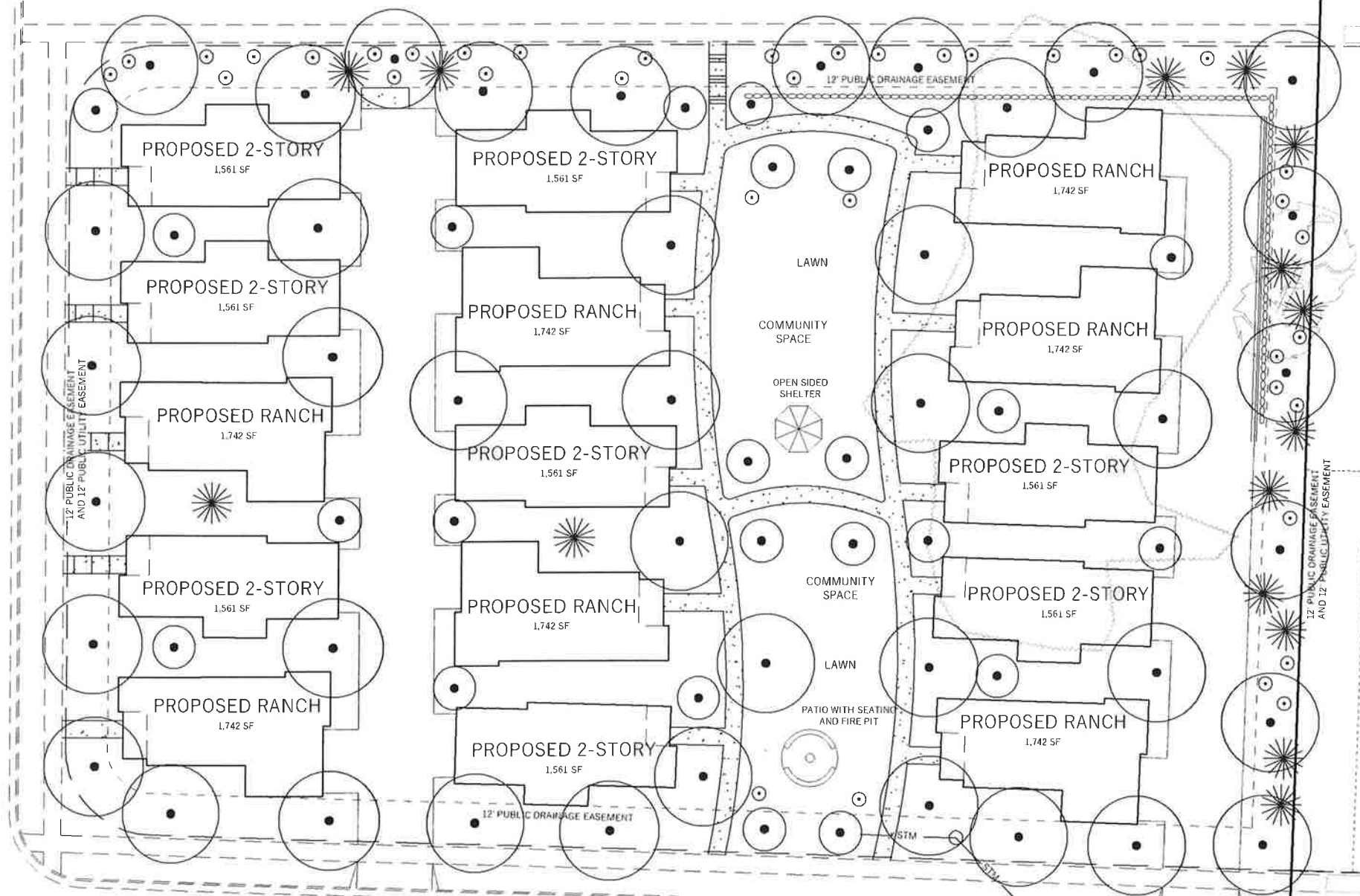
CITY OF MADISON, DANE COUNTY, WI

Sheet Title:
LANDSCAPE PLAN

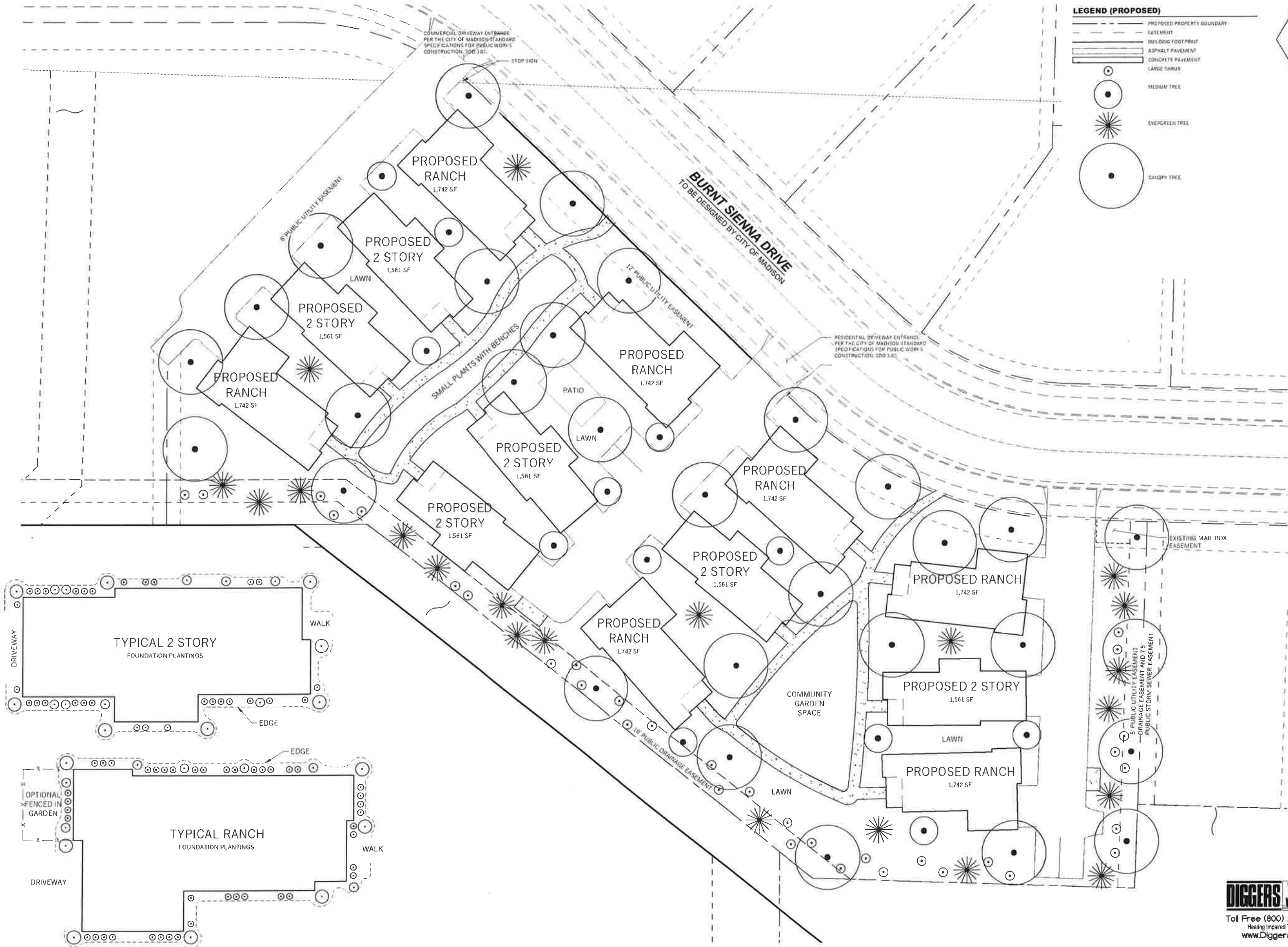
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No.	Date:	Description:

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Wysner Number	17-0455
Set Type	REVIEW
Date Issued	04/09/2019
Sheet Number	L100

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File: W:\2017\170455_Encore Homes - Old Skunk RD\DWG\Cottages\17-0455_Civil_Design\Cottages_Landscape_Plan User: Admin Plotted: Apr 10, 2019 - 8:20am



LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- - - EASEMENT
- ▭ BUILDING FOOTPRINT
- ▨ ASPHALT PAVEMENT
- ▩ CONCRETE PAVEMENT
- LARGE SHRUB
- MEDIUM TREE
- ✳ EVERGREEN TREE
- CANOPY TREE

← NORTH

PAUL SKIDMORE
LANDSCAPE
ARCHITECT

ENCORE
PERMANENT
LIVING

624 BURNT SIENNA DRIVE
MADISON, WI 53562

CHAPEL VIEW COTTAGES

CITY OF MADISON, DANE COUNTY, WI

Sheet Title:
LANDSCAPE PLAN - WEST

Revisions:		
No.	Date:	Description:

Graphic Scale: 0' 5' 10' 20' 30'

Wyeer Number: 17-0455

Set Type: REVIEW

Date Issued: 04/09/2019

Sheet Number: L101

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The Primrose – Elevation A



The Primrose – Elevation B



The Primrose – Elevation C



The Primrose – Elevation D



Consultant

Notes

FOOTING
R1 2x2 - 1" OF # 7 W/
R1 1" x 1" OF # 7 W/
R1 1" x 1" OF # 7 W/

LWF TO BE 6" WIDE
LWF HAVING PATTERN
1. ROOF HAVING SHALL BE 8" WIDE IF O.C.
2. FELD HAVING SHALL BE 8" WIDE IF O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BOX	WD	WOOD
CO	CAUSED OPENING	DH	DISHWASHER
DO	DOOR WALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CABINET	C	CUBBE
CT	CERAMIC TILE	W	WASHER
D	DRIVER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
RS	PASSIVE RADON SYSTEM		

Revisions

REVISIONS
NO. SET FOR PRIMSROSE COTTAGE 1 - BLUEPRINTS
CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #
ADDRESS
PRIMSROSE ELEVATION A

Drawn By: SWE Checked By: KH

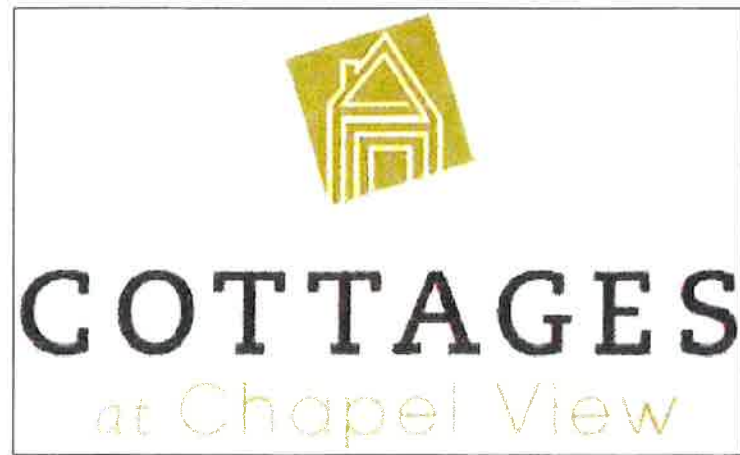
Drawing Title
Foundation Plan

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

Project No. Drawing No.

XXX of 1 F1.0

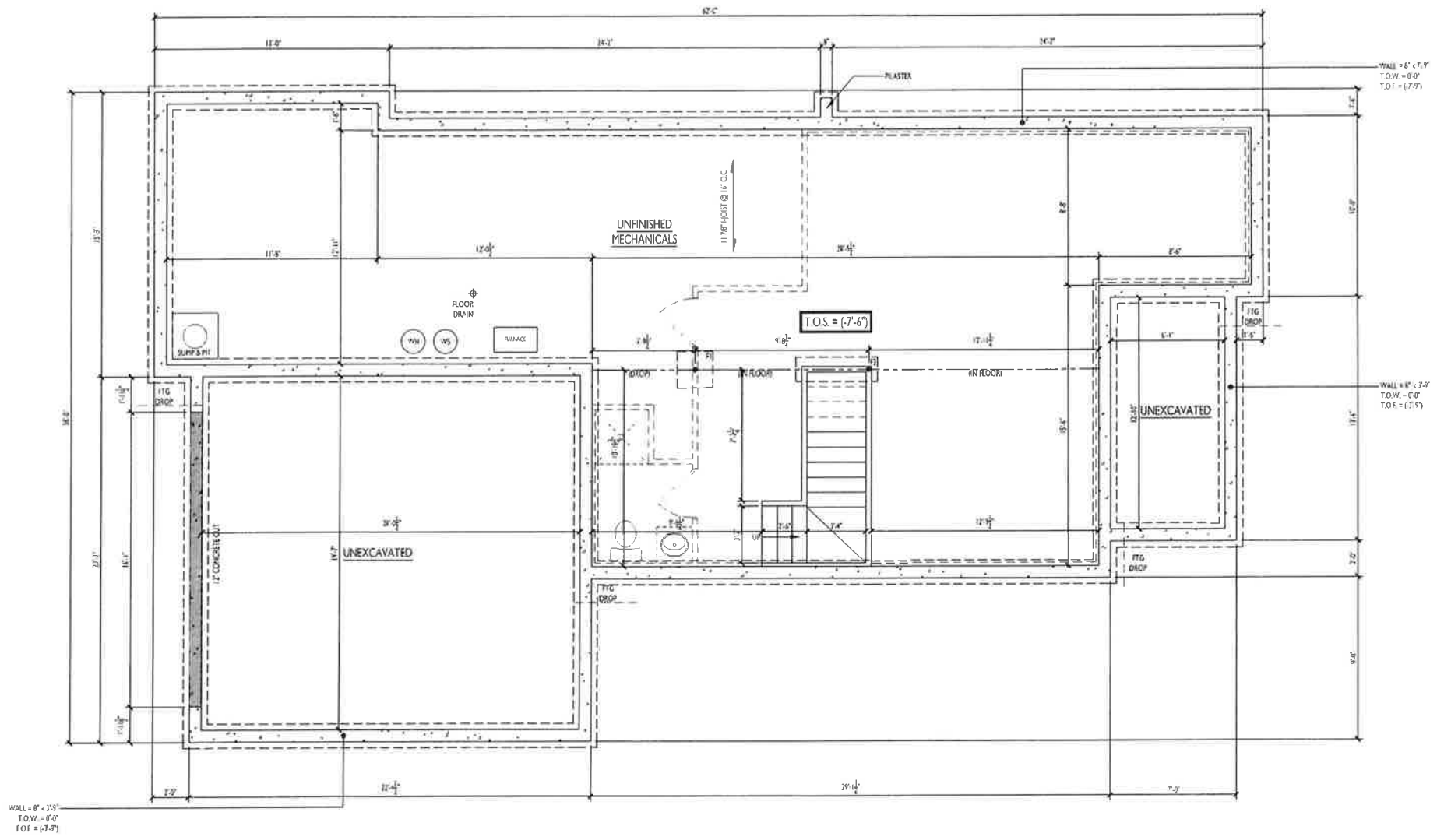
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The Cottages At Chapel View

"The Primrose"

Elevations A, B, C, & D



DOOR SCHEDULE

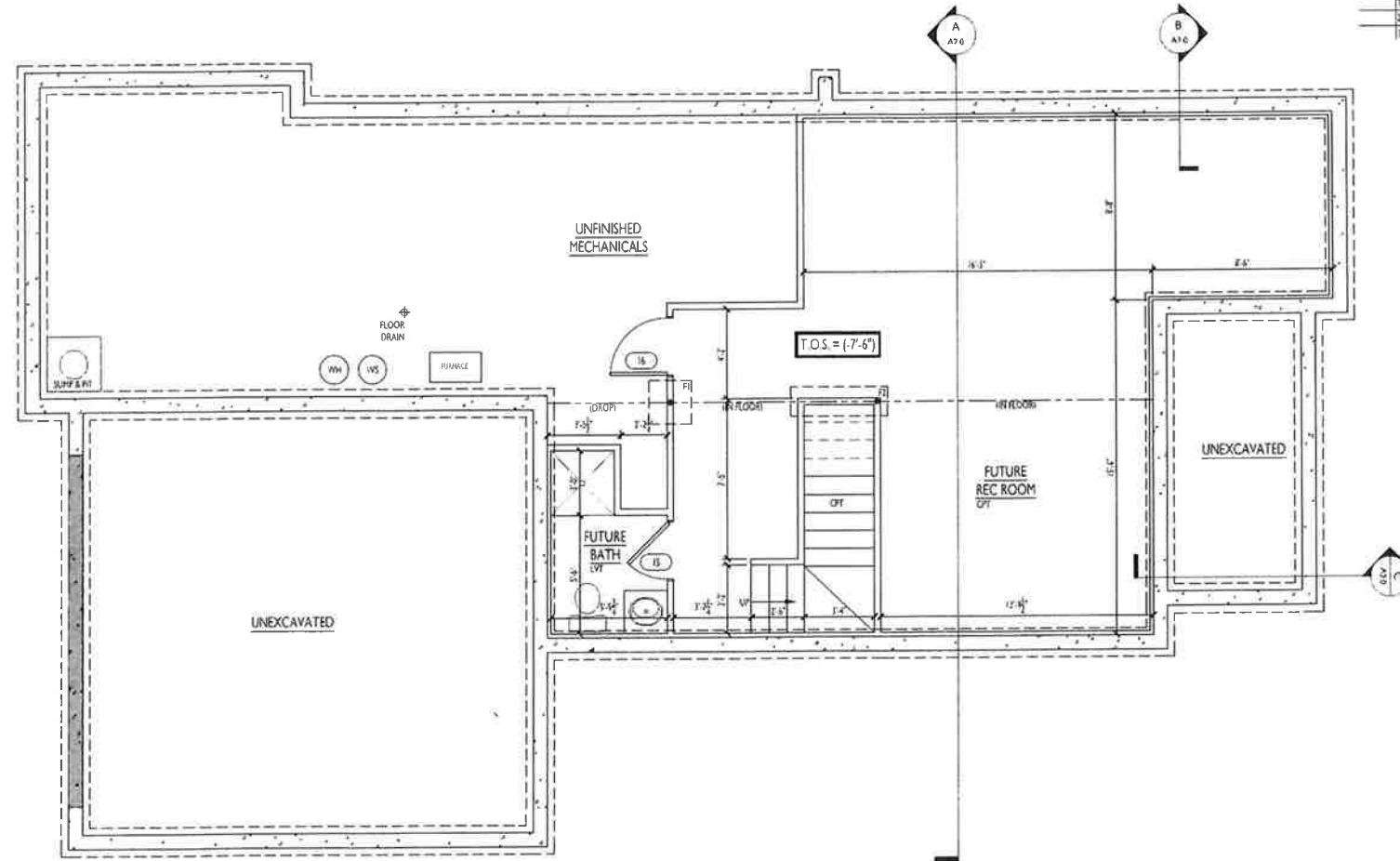
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
1	2'-0" x 6'-0"	38 3/8" x 82 1/2"	4 3/8"	Steel Inswing w/Light	R	Handset w/ In Passage, Deadbolt	Wall Spring	1, 2, 3
2	2'-0" x 6'-0"	34 3/8" x 82 1/2"	4 3/8"	30 min Steel Inswing	L	Passage, Deadbolt	Hinge Pin	
3	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	L	Passage	Hinge Pin	
4	2'-0" x 6'-0"	32 1/2" x 82 1/2"	4 3/8"	Solid Wood	R	Passage	Hinge Pin	
5	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	L	Passage	Wall Spring	
6	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	L	Passage	Hinge Pin	
7	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	R	Passage	Wall Spring	
8	2'-0" x 6'-0"	32 1/2" x 82 1/2"	4 3/8"	Solid Wood	R	Privacy	Wall Spring	
9	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	R	Passage	Wall Spring	
10	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Wood Puckel		Passage		
11	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	L	Privacy	Wall Spring	
12								
13								
14								

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	L	Privacy	Wall Stop	
16	2'-0" x 6'-0"	34 1/2" x 82 1/2"	4 3/8"	Solid Wood	L	Passage	Hinge Pin	
17								
18								
19								

NOTES

- 1 - Hinges are designated using the "butt to out" method
- 2 - See job sheet for door styles and hardware finishes
- 1 - See Elevations for door, window, and interior configuration
- 2 - Interior handle to match remaining interior hardware color and style
- 3 - Deadbolt with core lock



DOOR SCHEDULE

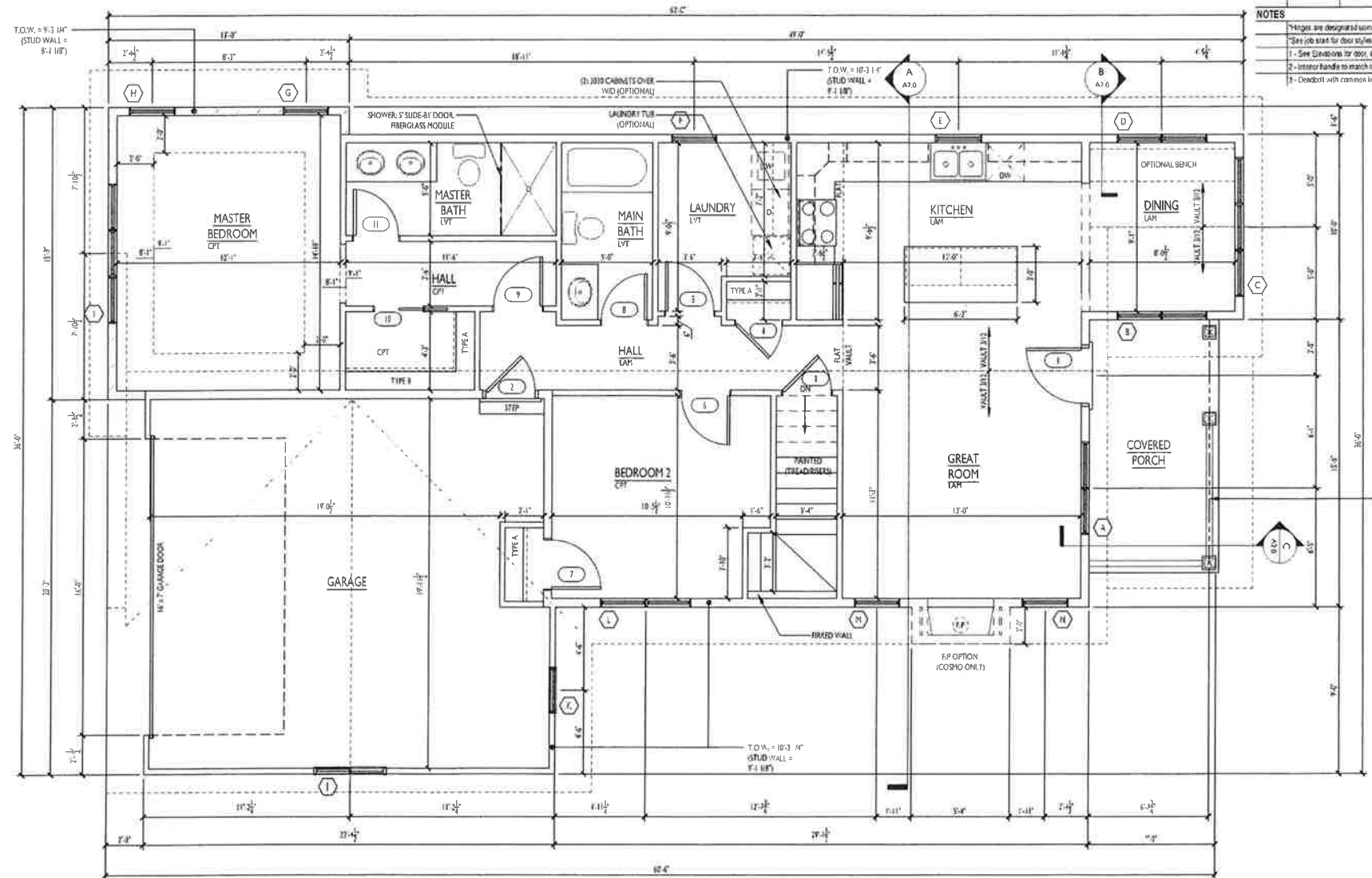
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
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2	2'-0" x 6'-0"	38 3/8 x 82 1/2	6 3/4"	30 min Steel Inswing	L	Passage, Deadbolt	Hinge Pin	3
3	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Hinge Pin	
4	2'-0" x 6'-0"	32 1/2 x 82 1/2	4 3/4"	Solid Wood	R	Passage	Hinge Pin	
5	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Hinge Pin	
6	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Hinge Pin	
7	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	R	Passage	Wall Spring	
8	2'-0" x 6'-0"	32 1/2 x 82 1/2	4 3/4"	Solid Wood	R	Passage	Wall Spring	
9	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Wall Spring	
10	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Wall Spring	
11	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Wall Spring	
12	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Wood Pocket	L	Passage	Wall Spring	
13	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Wall Spring	
14								

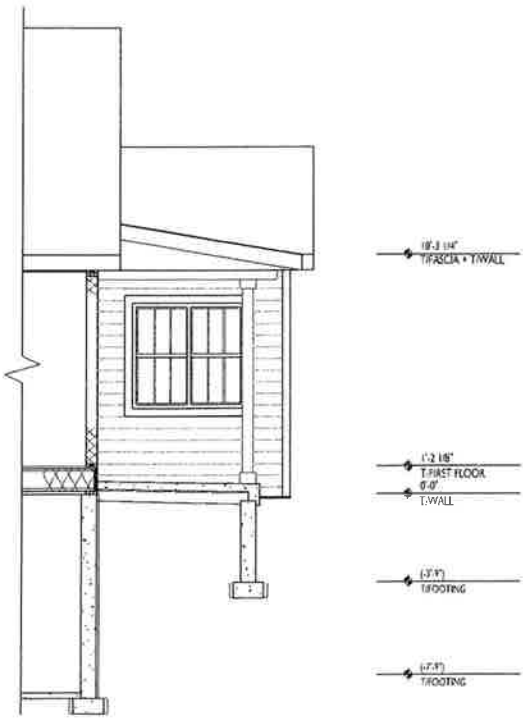
ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTE
15	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Wall Spring	
16	2'-0" x 6'-0"	34 1/2 x 82 1/2	4 3/4"	Solid Wood	L	Passage	Hinge Pin	
17								
18								

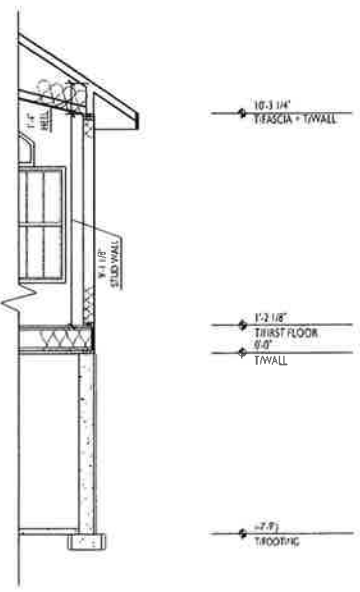
NOTES

- 1. Hinges are designated using the "butt to butt" method.
- 2. See job spec for door styles and hardware finishes.
- 3. See Schedule for door, casings, and trim construction.
- 4. Interior finish to match remaining interior hardware color and style.
- 5. Deadbolt with common key.

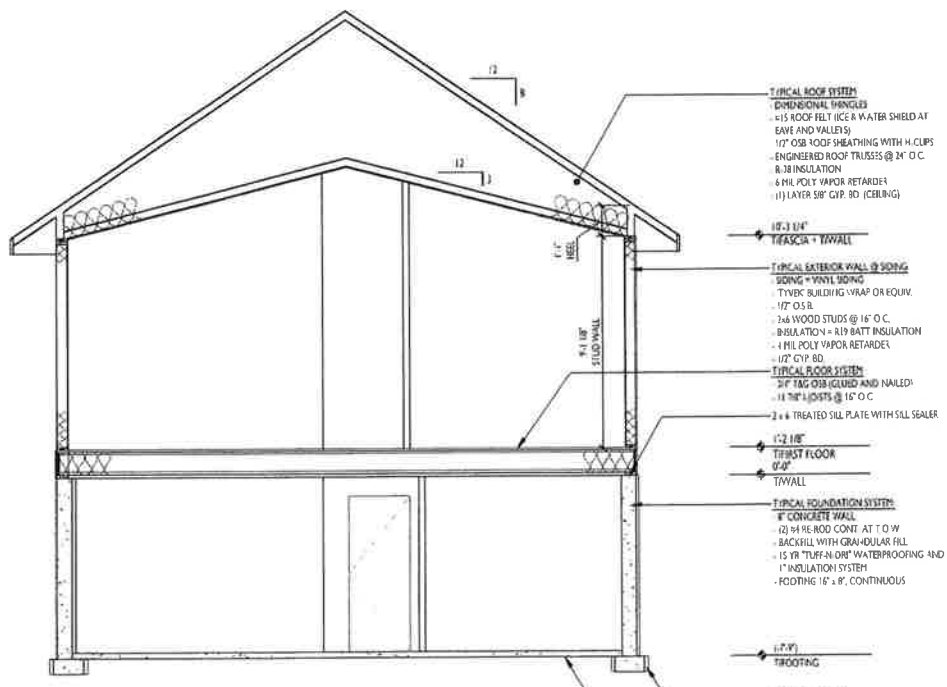




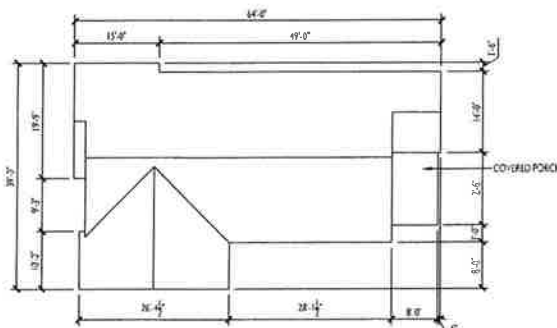
C BUILDING SECTION



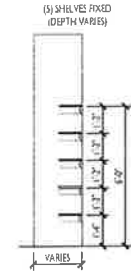
B BUILDING SECTION



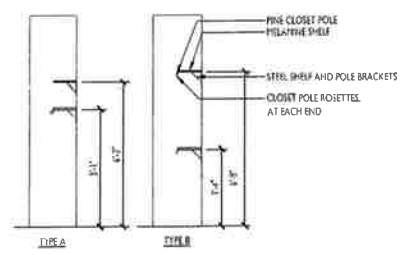
A BUILDING SECTION



ROOF PLAN
SCALE = N.T.S.



D PANTRY/LINEN SECTION
SCALE = 1/4" = 1'-0"



E CLOSET SECTION
SCALE = 1/4" = 1'-0"

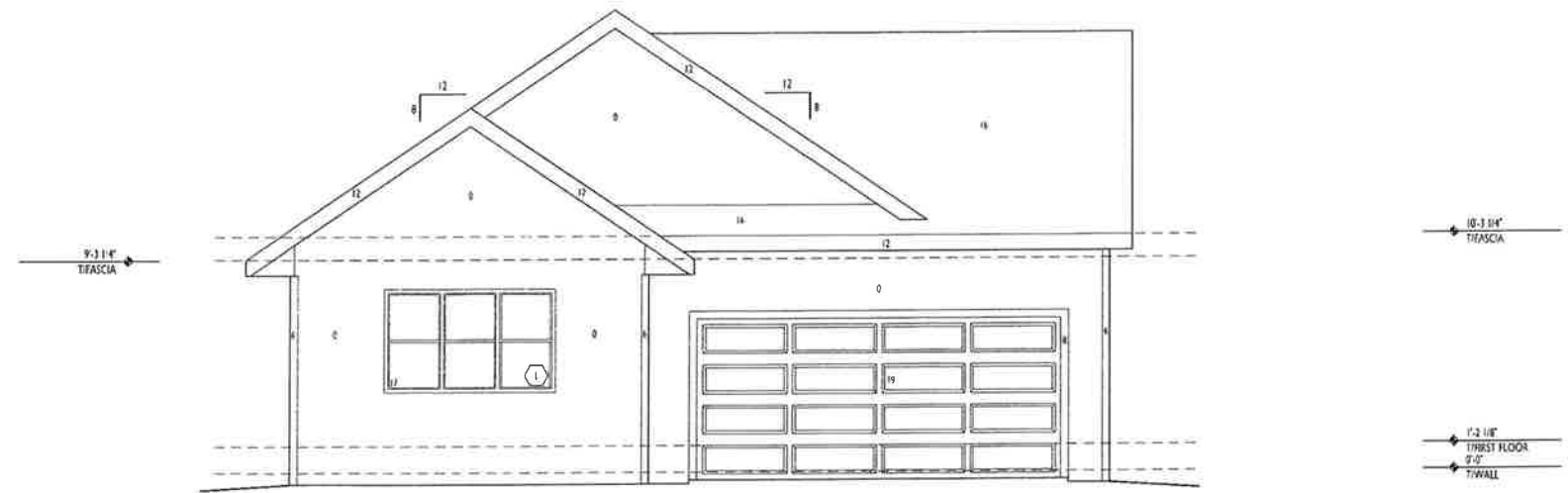
The Primrose - Elevation A



FRONT ELEVATION

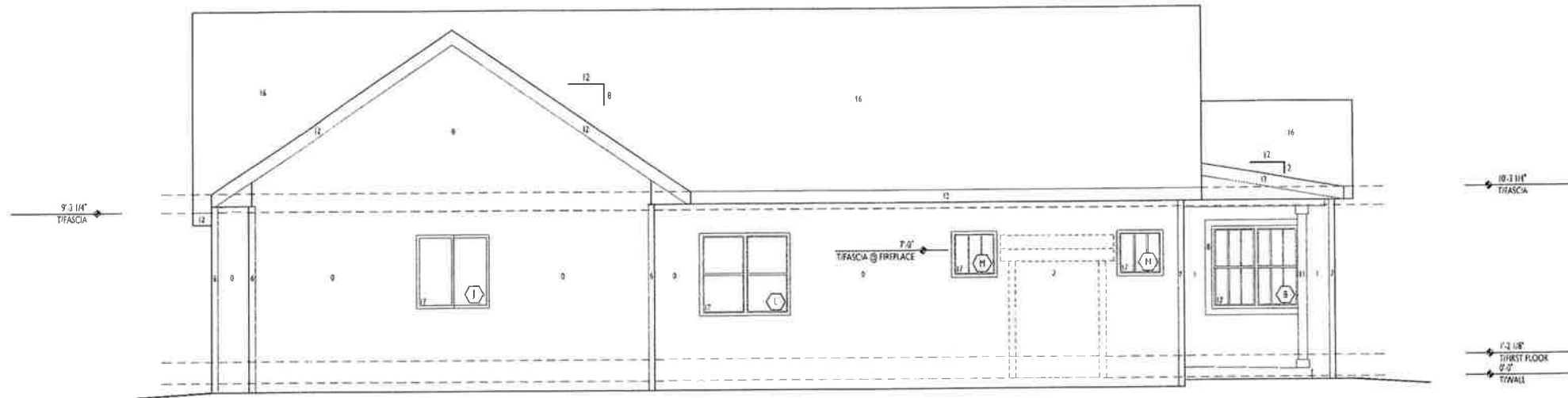
WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6000	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:
 *See job start for window colors
 *Switch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 84" A.F.F.



REAR ELEVATION

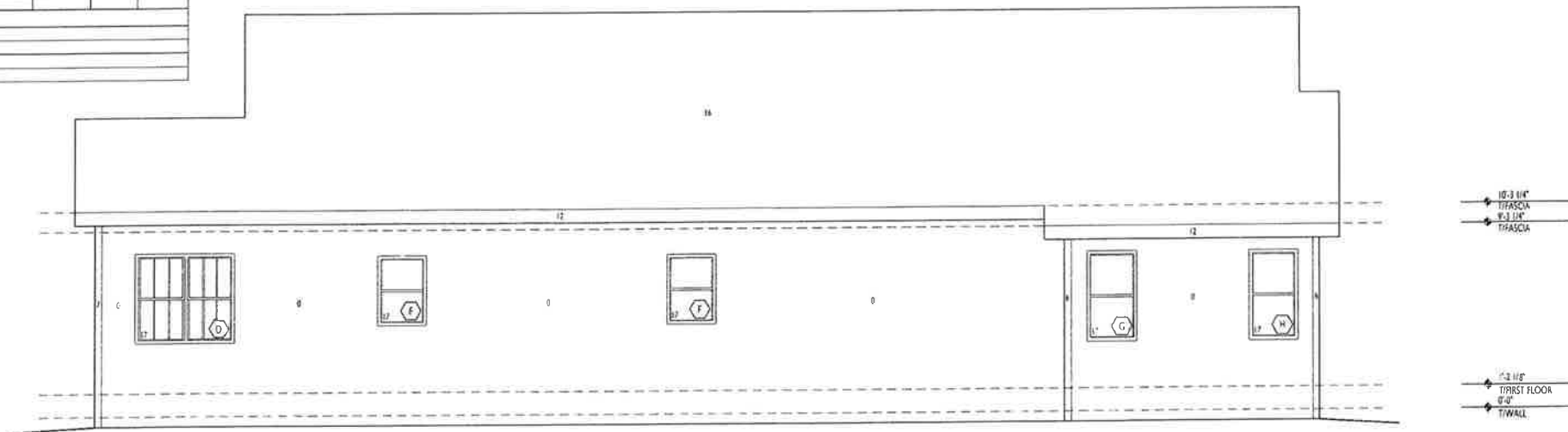
The Primrose - Elevation A



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza
B	6064	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

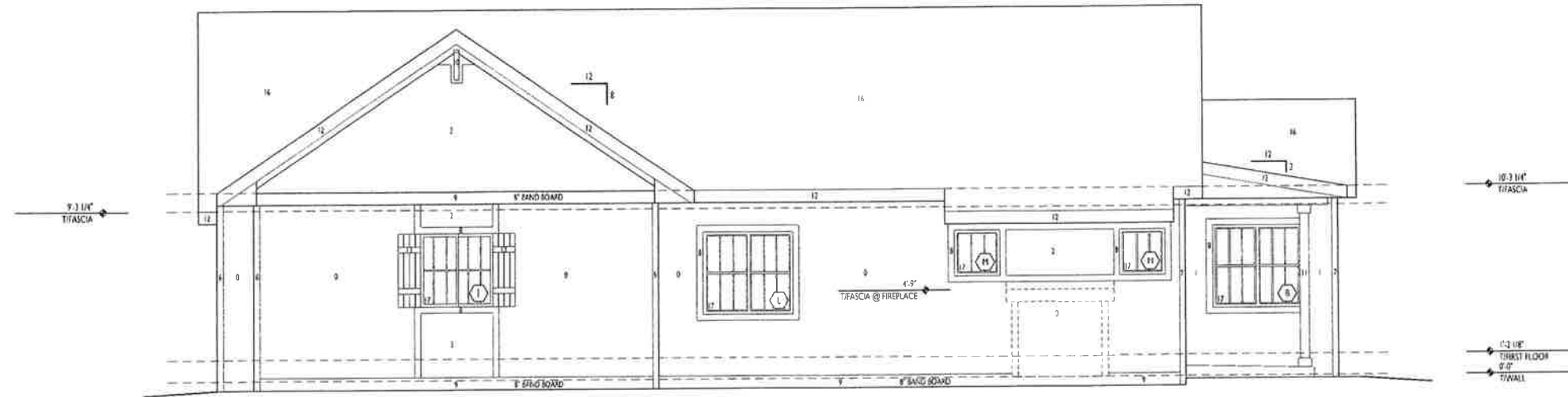
NOTES:
 *See job start for window colors
 *Sketch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 84" A.F.F.



LEFT ELEVATION

The Primrose - Elevation A

Side Elevation when facing Middleton Community Church or a Public Street

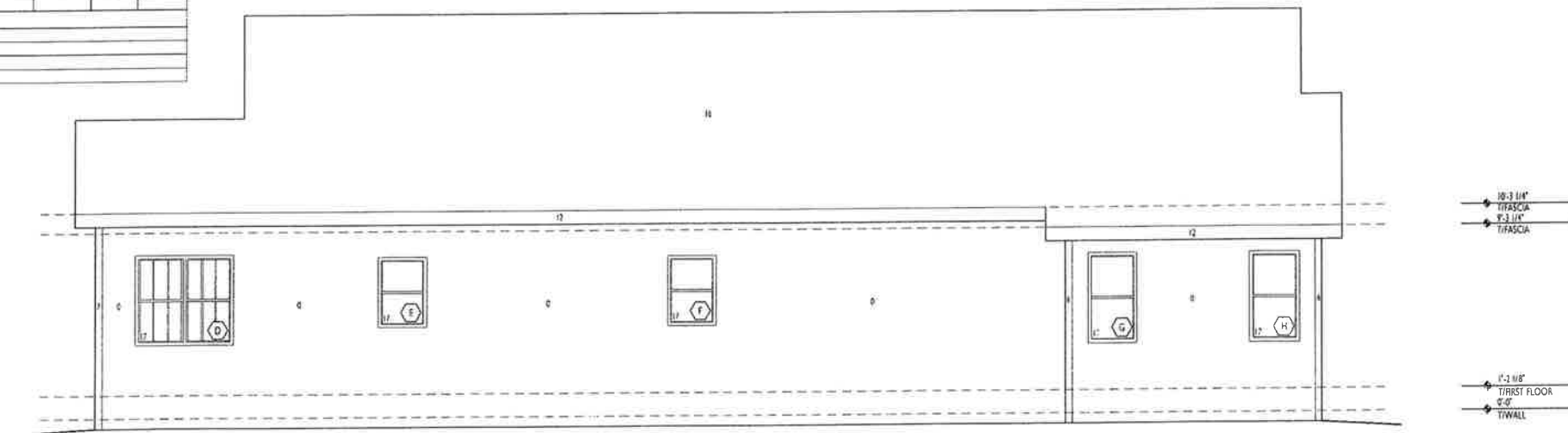


RIGHT ELEVATION

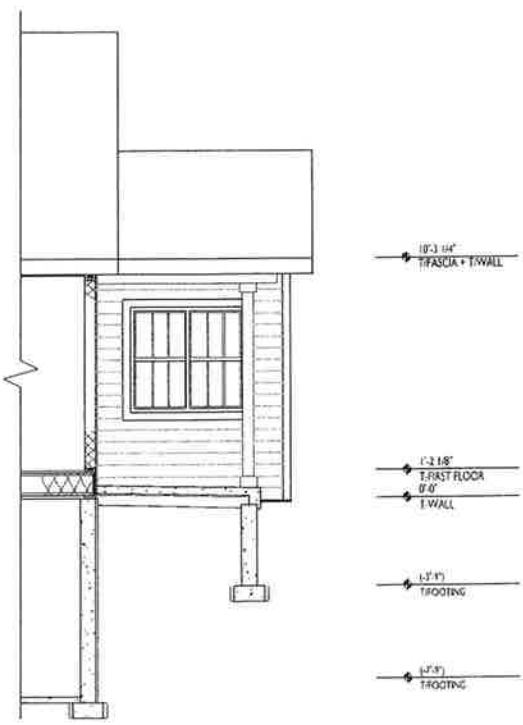
WINDOW SCHEDULE - ELEVATION A							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Plaza
B	6054	2-Wide Single Hung	5'-0" x 4'-0"	6 9/16"	1		Plaza 2
C	9054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
N	3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza
O							
P							

NOTES:

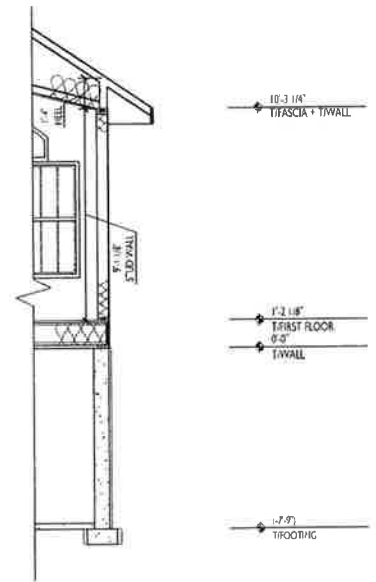
- *See job start for window colors
- *Switch active patio door leaf and casement swing for Reversed plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



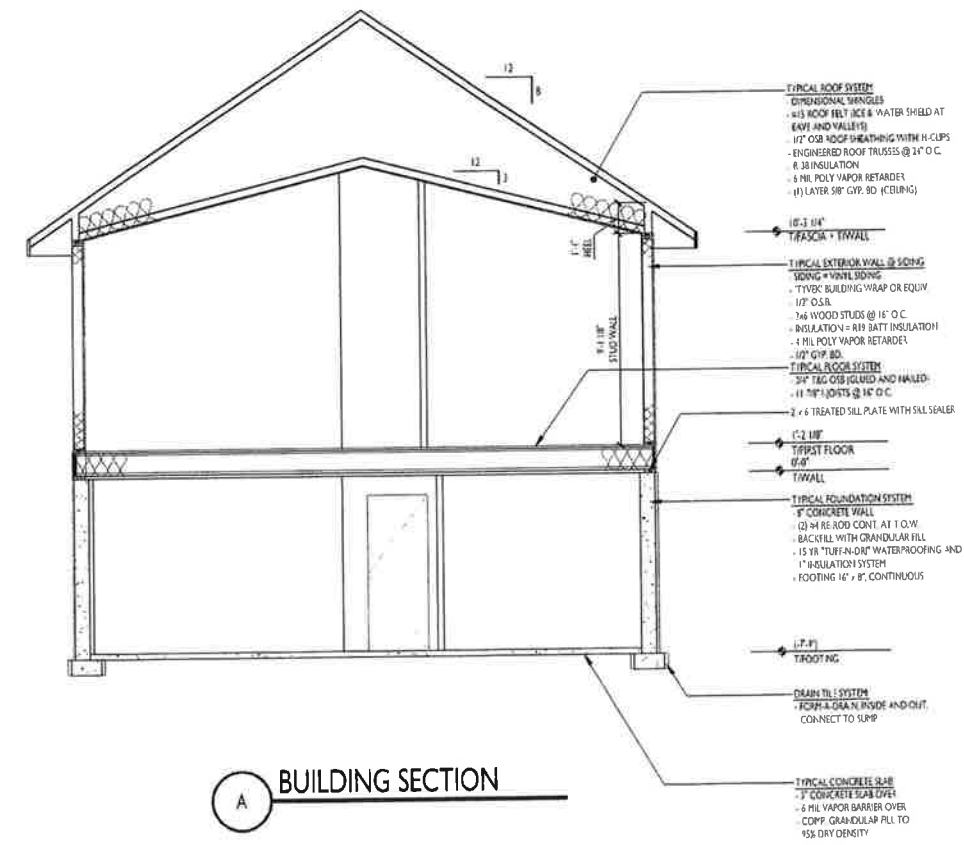
LEFT ELEVATION



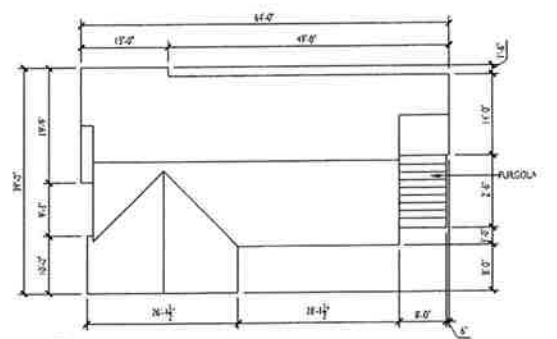
C BUILDING SECTION



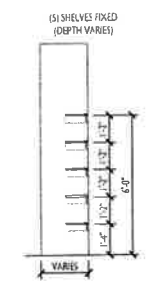
B BUILDING SECTION



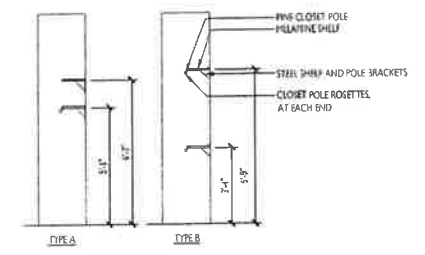
A BUILDING SECTION



ROOF PLAN
SCALE = N.T.S.

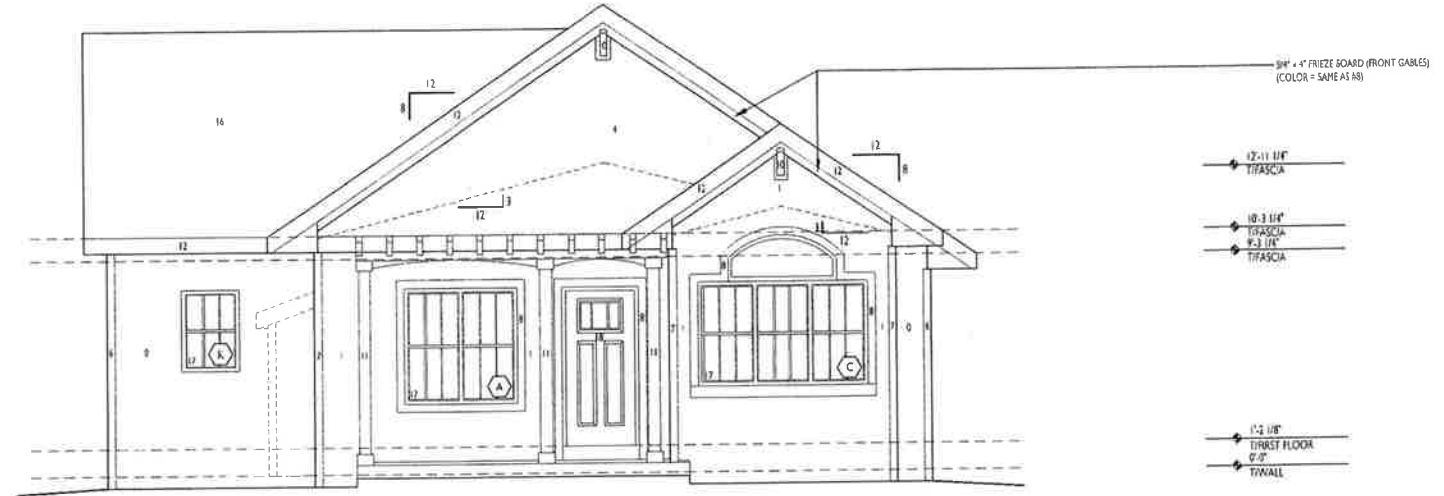


D PANTRY/LINEN SECTION
SCALE = 1/4" = 1'-0"



E CLOSET SECTION
SCALE = 1/4" = 1'-0"

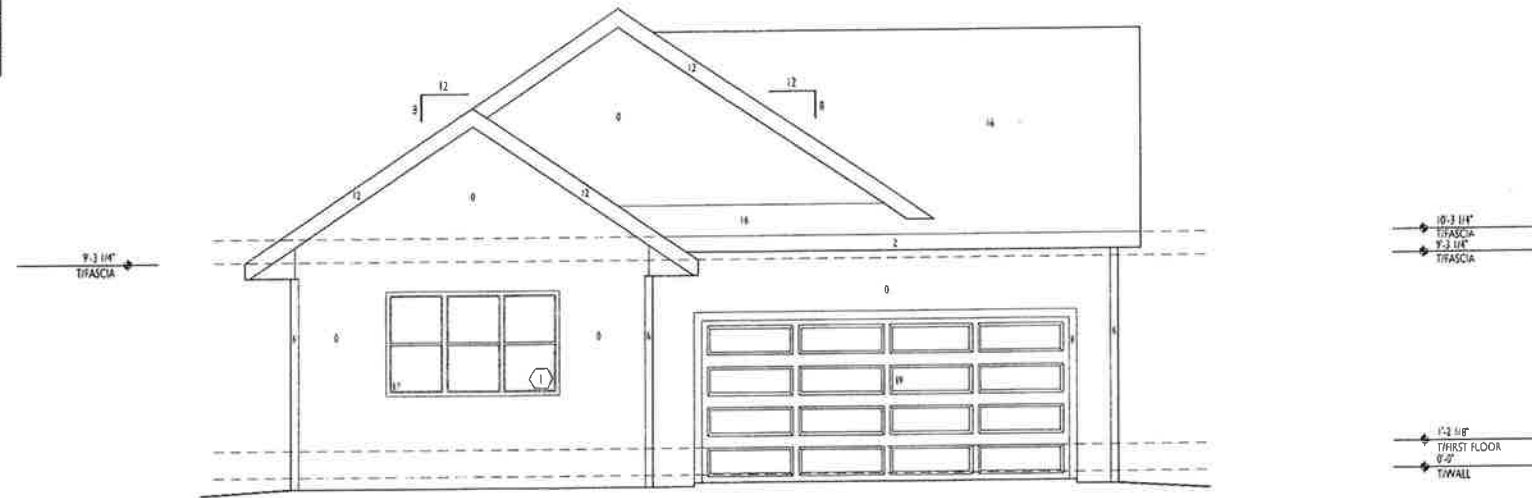
The Primrose - Elevation B



○ FRONT ELEVATION

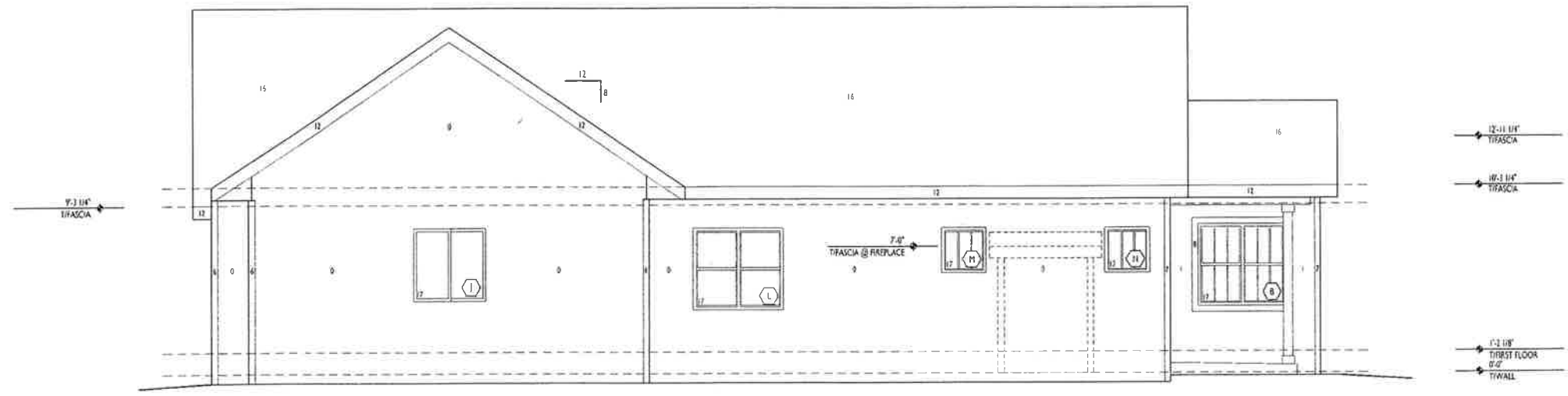
WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6060 2-Wide Single Hung	5'-0" x 5'-0"	6' 9/16"	1			Plaza
B	6054 2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1			Plaza 2
C	9054 3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6' 9/16"	1			Plaza 2
D	6054 2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1			Plaza 2
E	3042 Single Hung	2'-6" x 3'-6"	6' 9/16"	1			
F	3042 Single Hung	2'-6" x 3'-6"	6' 9/16"	1			
G	3054 Single Hung	2'-6" x 3'-6"	6' 9/16"	1			
H	3054 Single Hung	2'-6" x 3'-6"	6' 9/16"	1			
I	9054 3-Wide Single Hung	7'-6" x 4'-6"	6' 9/16"	1			
J	4848 Horizontal Slider	4'-0" x 4'-0"	4' 9/16"	1			
K	3042 Single Hung	2'-6" x 3'-6"	4' 9/16"	1			Plaza
L	6054 2-Wide Single Hung	5'-0" x 4'-6"	6' 9/16"	1			Plaza
M	3030 Fixed	2'-6" x 2'-6"	6' 9/16"	1			Plaza
N	3030 Fixed	2'-6" x 2'-6"	6' 9/16"	1			Plaza
O							
P							

NOTES:
 *See job start for window colors
 *Sketch active patio door leaf and casement awing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 84" A.F.F.



○ REAR ELEVATION

The Primrose - Elevation B

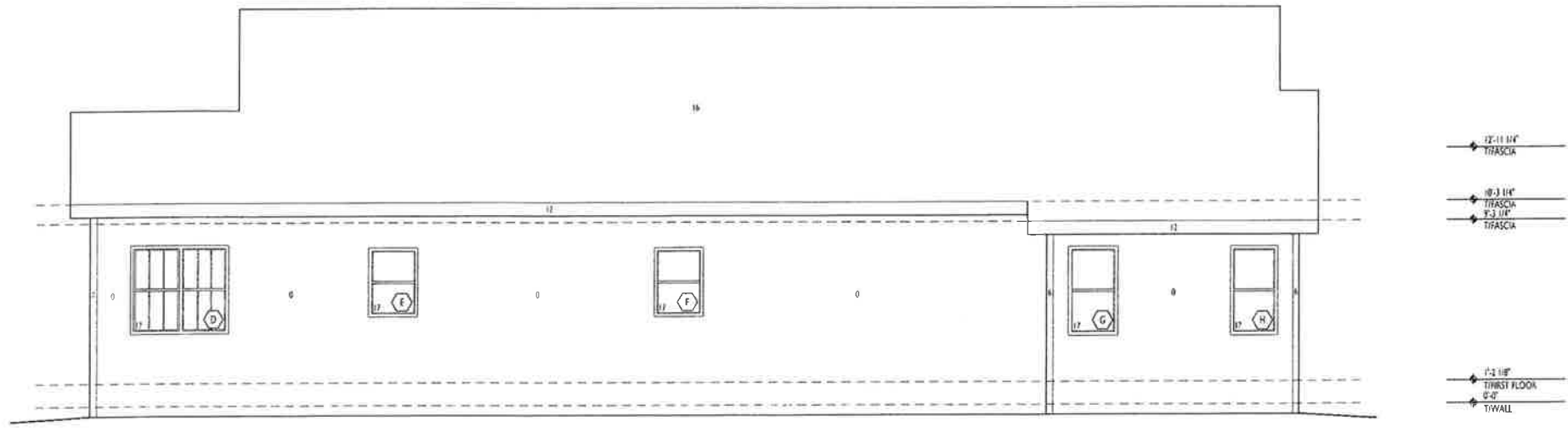


WINDOW SCHEDULE - ELEVATION B

SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza	
B	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	Horizontal Slider	4'-0" x 3'-0"	4 9/16"	1			
K	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
L	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
N	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O							
P							

NOTES:
 *See job start for window colors
 *Switch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 84" A.F.F.

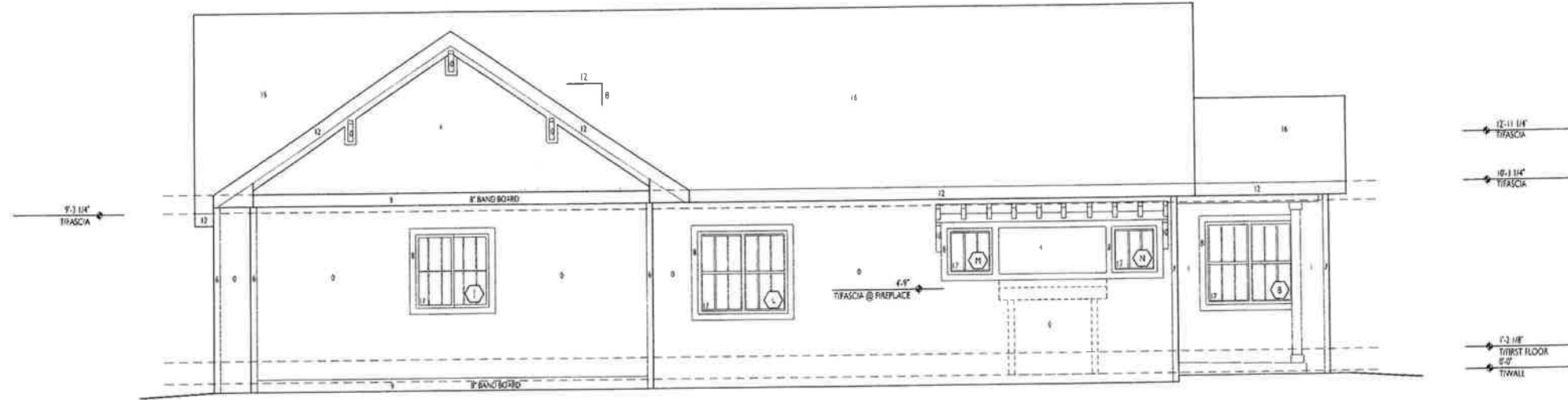
RIGHT ELEVATION



LEFT ELEVATION

The Primrose - Elevation B

Side Elevation when facing Middleton Community Church or a Public Street

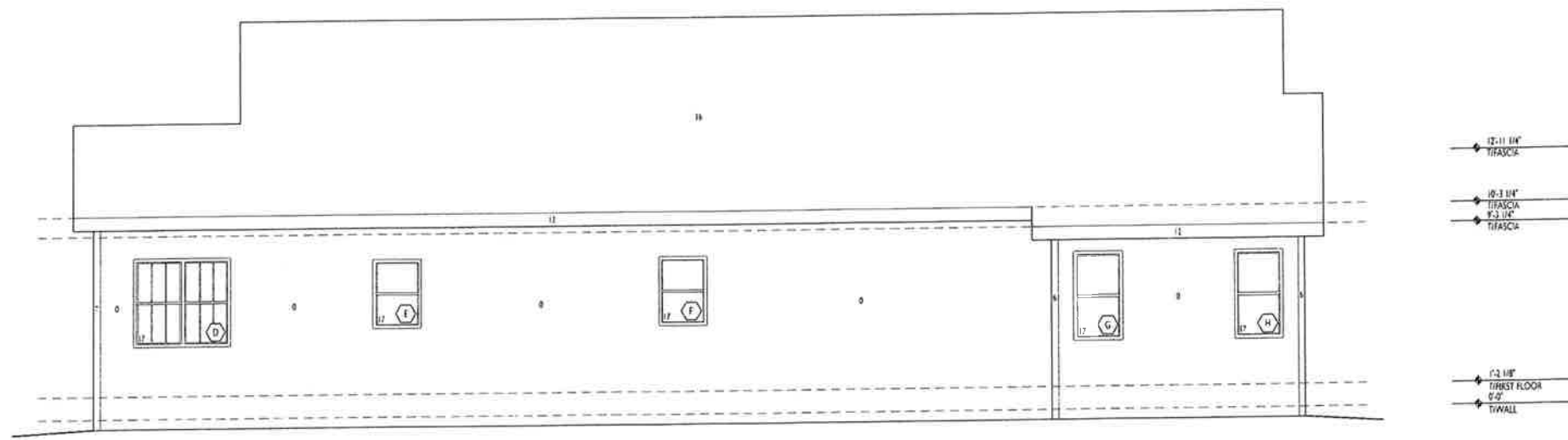


WINDOW SCHEDULE - ELEVATION B

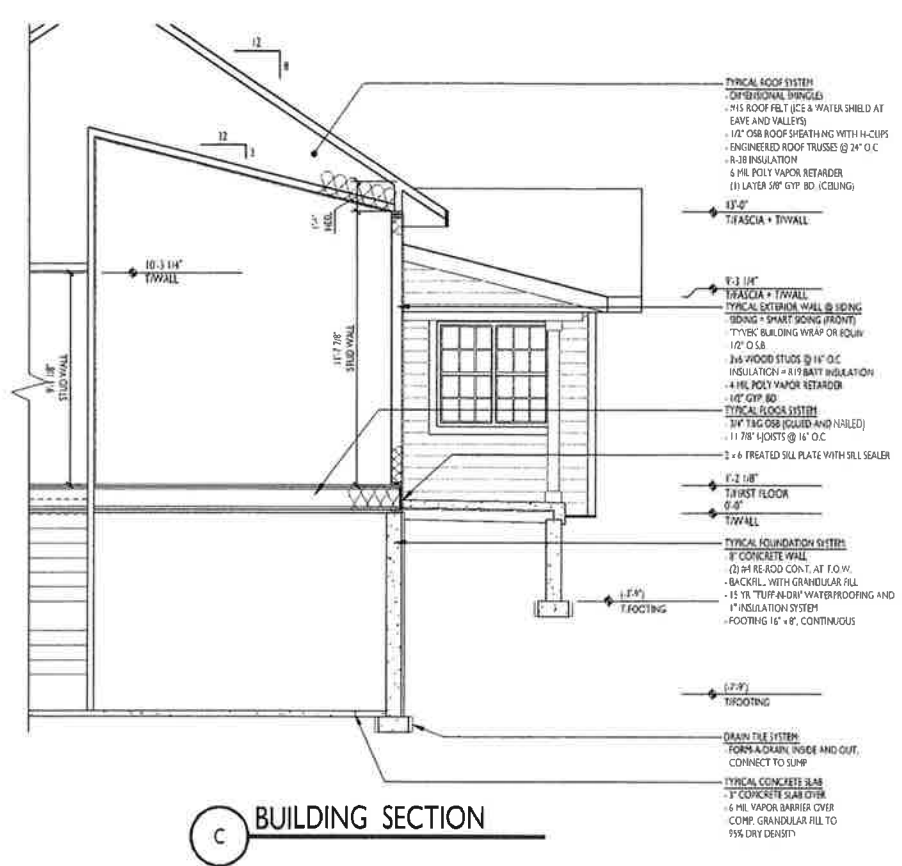
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A 6050	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Plaza	
B 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
C 8054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Plaza	2
D 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Plaza	2
E 3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F 3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G 3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H 3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I 9054	3-Wide Single Hung	7'-0" x 4'-6"	6 9/16"	1			
J 4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K 3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Plaza	
L 6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M 3030	Fixed	2'-0" x 2'-0"	6 9/16"	1		Plaza	
N 3030	Fixed	2'-6" x 2'-6"	6 9/16"	1		Plaza	
O							
P							

NOTES:
 *See job list for window colors
 *Switch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 8" A.F.F.

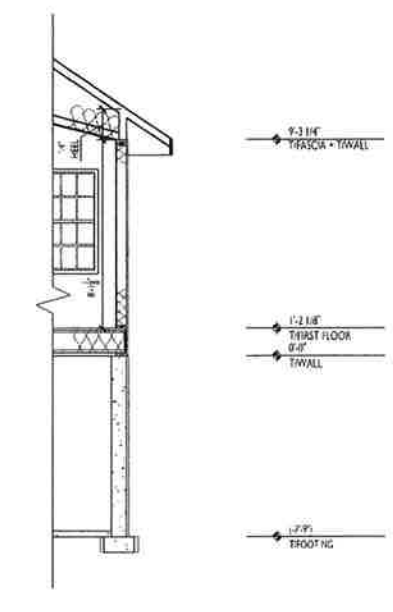
RIGHT ELEVATION



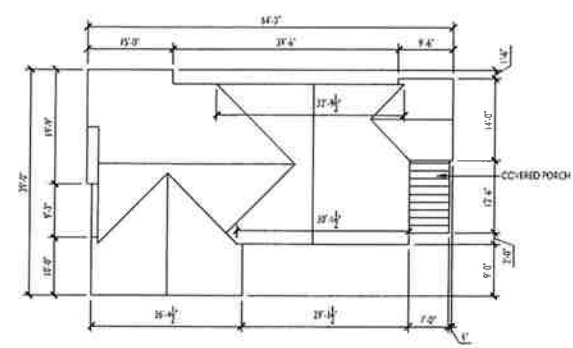
LEFT ELEVATION



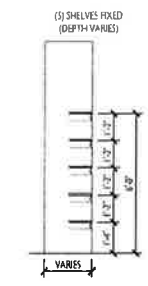
C BUILDING SECTION



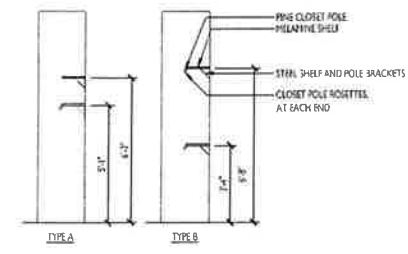
B BUILDING SECTION



ROOF PLAN
SCALE = 1/4\"/>

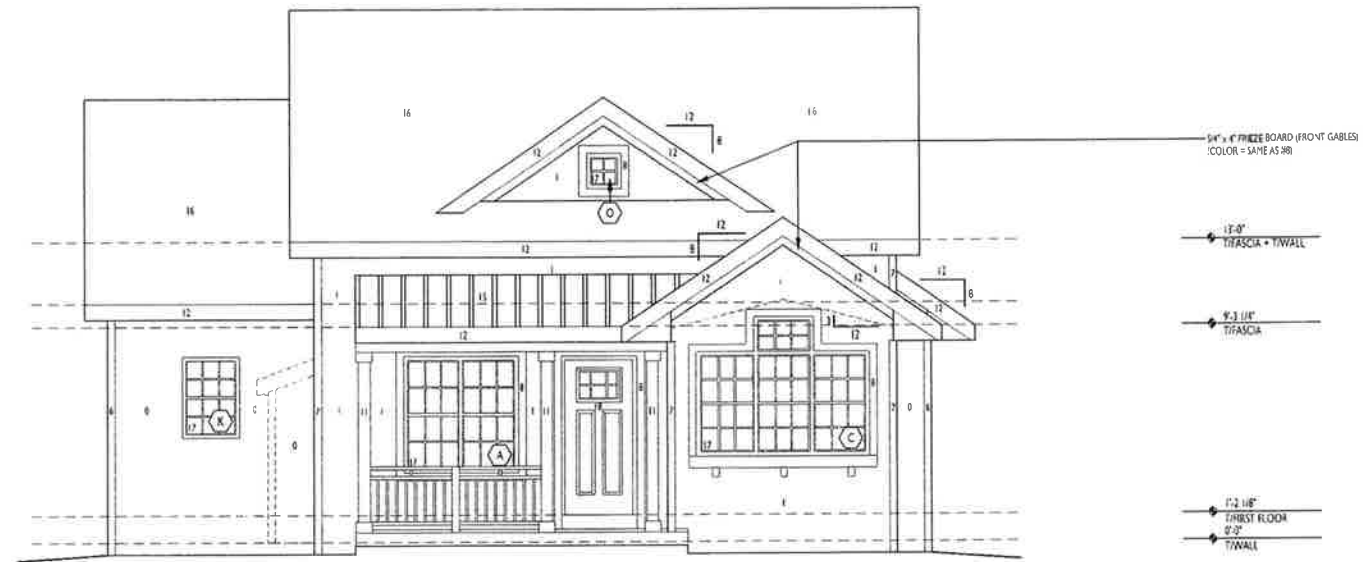


D PANTRY/LINEN SECTION
SCALE = 1/4\"/>



E CLOSET SECTION
SCALE = 1/4\"/>

The Primrose - Elevation C

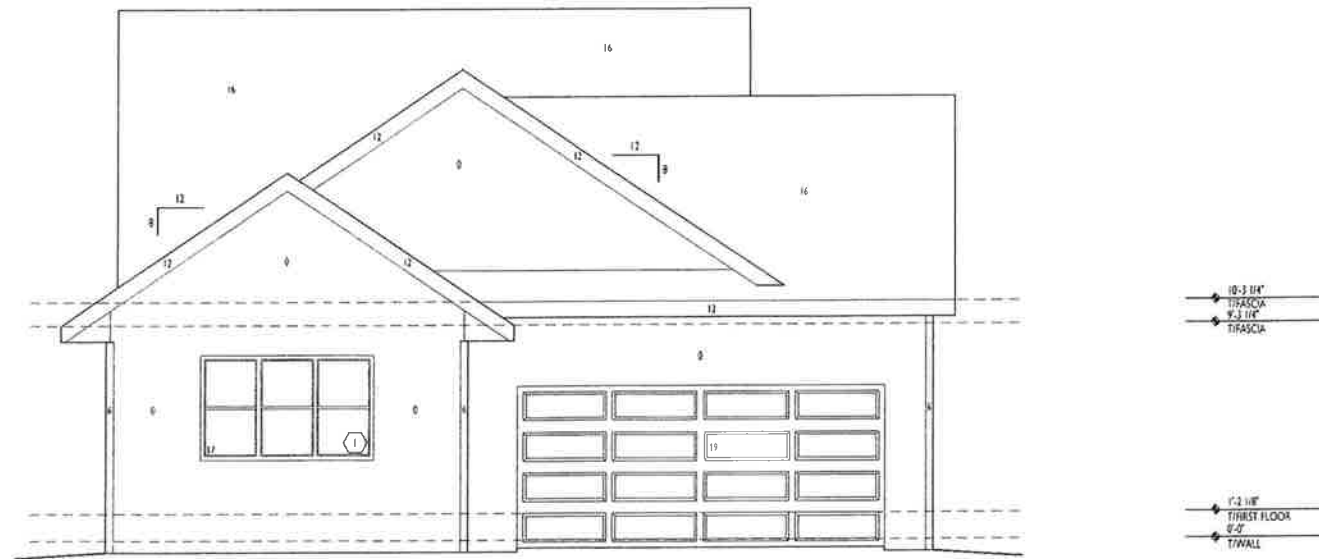


FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION C							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6090	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-0"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	2054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-0" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3084	2-2'6" x 3'6" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2-2'6" x 3'6" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	1918	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial
P							

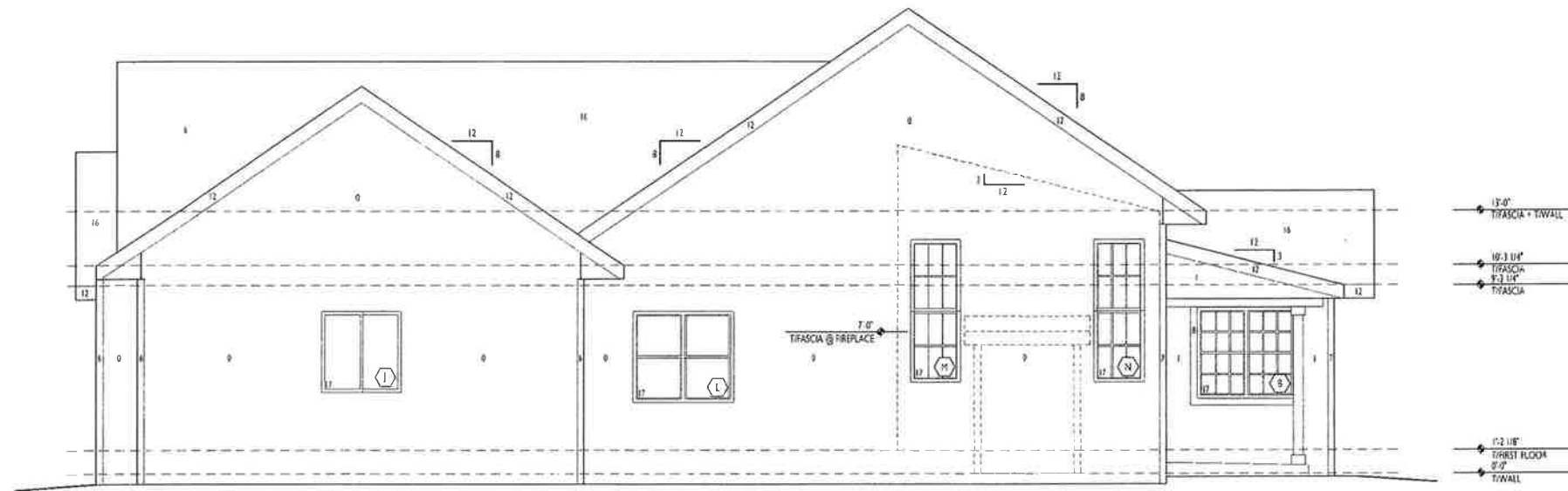
NOTES:

- 1 - See job start for window colors
- 2 - Switch active patio door leaf and casement swing for Revised plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A.F.F.



REAR ELEVATION

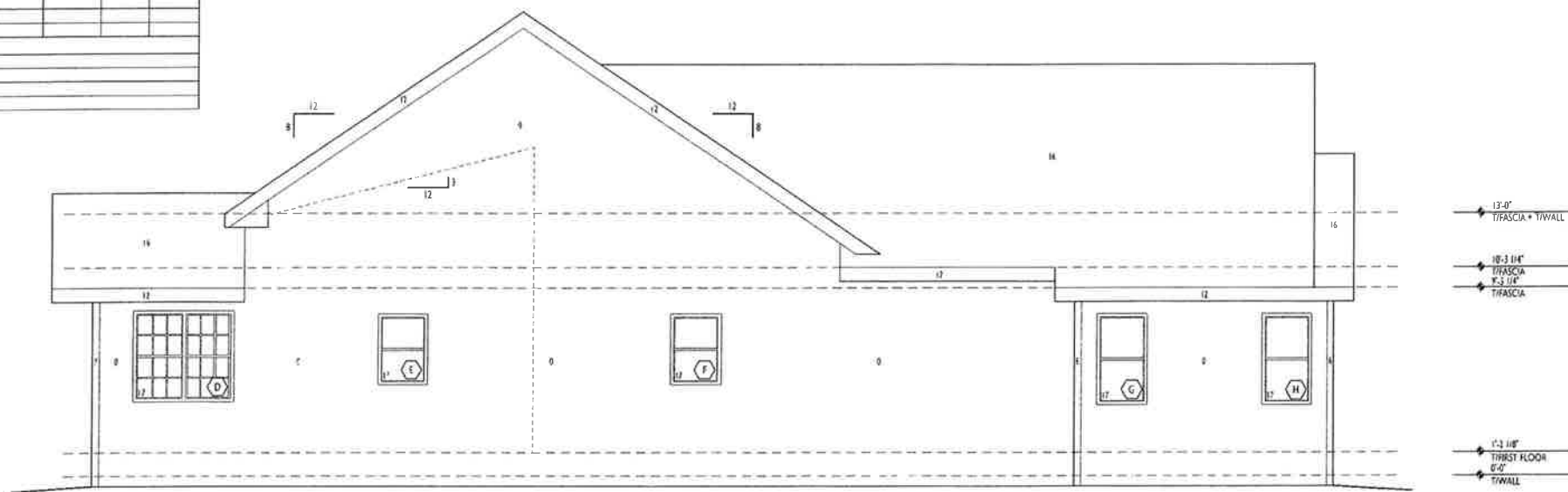
The Primrose - Elevation C



RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION C							
NO.	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL/NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-6"	6 9/16"	1		
I	9054	3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-6"	6 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3084	2-20"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2-20"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial
P							

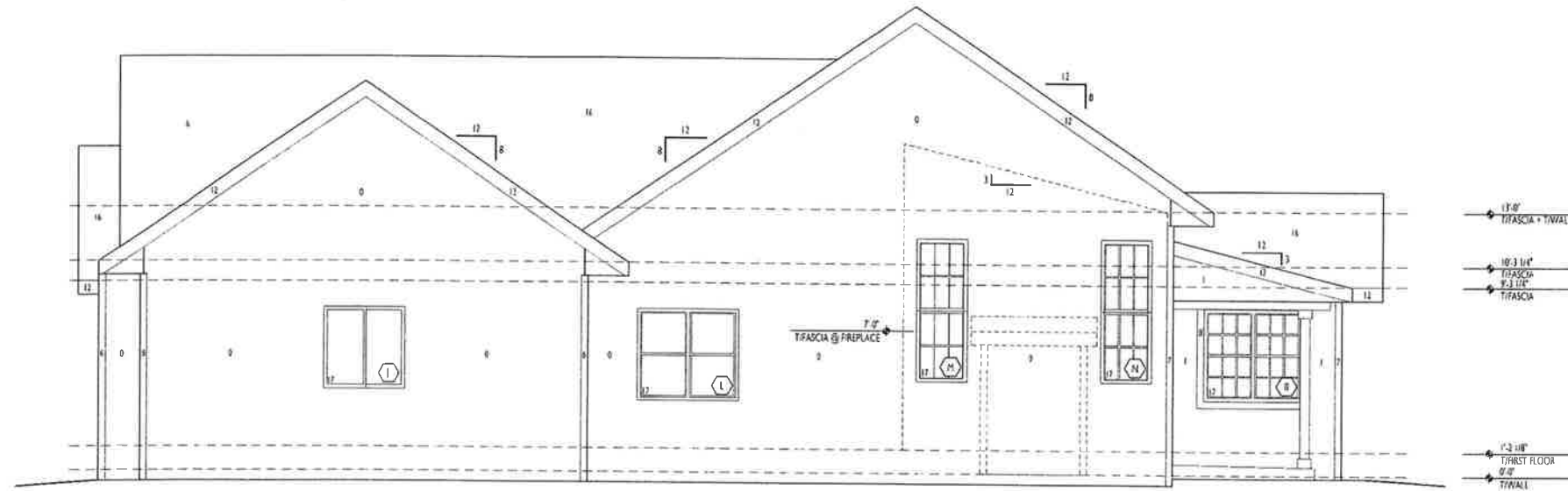
NOTES:
 *See job sheet for window colors
 *Switch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 3/4" A.F.F.



LEFT ELEVATION

The Primrose - Elevation C

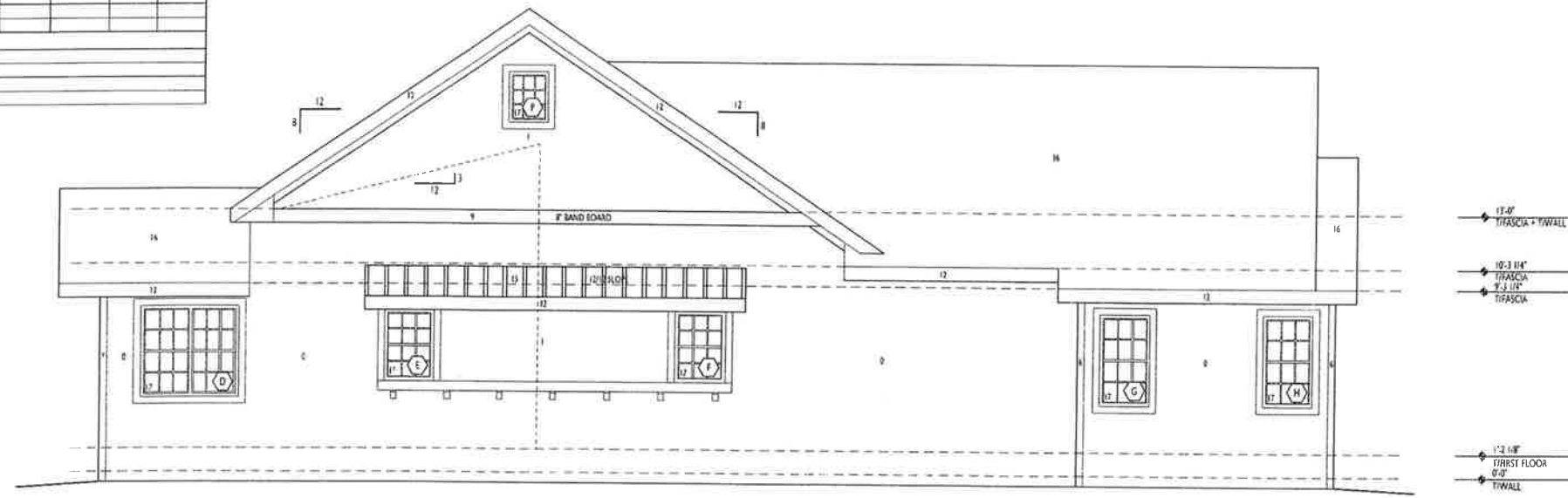
Side Elevation when facing Middleton Community Church or a Public Street



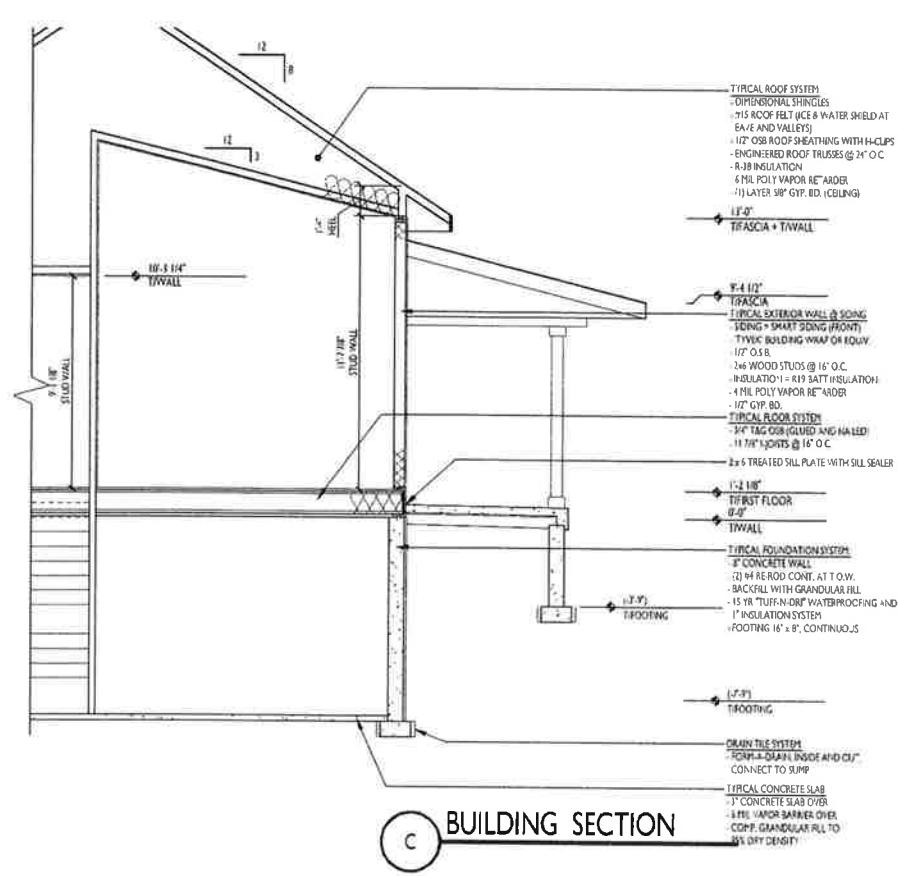
RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION C							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1		Colonial
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial 2
C	9034	3-Wide Single Hung	7'-6" x 4'-0"	6 9/16"	1		Colonial 2
D	6054	2-Wide Single Hung	9'-0" x 4'-6"	6 9/16"	1		Colonial 2
E	3042	Single Hung	2'-6" x 3'-0"	4 9/16"	1		
F	3042	Single Hung	2'-6" x 3'-0"	4 9/16"	1		
G	3054	Single Hung	2'-6" x 4'-0"	6 9/16"	1		
H	3054	Single Hung	2'-6" x 4'-0"	6 9/16"	1		
I	9034	3-Wide Single Hung	7'-6" x 4'-0"	6 9/16"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1		
K	3042	Single Hung	2'-6" x 3'-0"	4 9/16"	1		Colonial
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		
M	3084	2-26"x32" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
N	3084	2-26"x32" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial
O	1818	Fixed	1'-6" x 1'-6"	6 9/16"	1		Colonial
P							

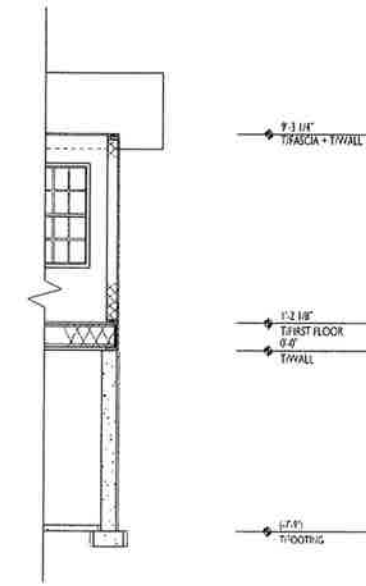
NOTES:
 *See job start for window colors
 *Switch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 84" A.F.F.



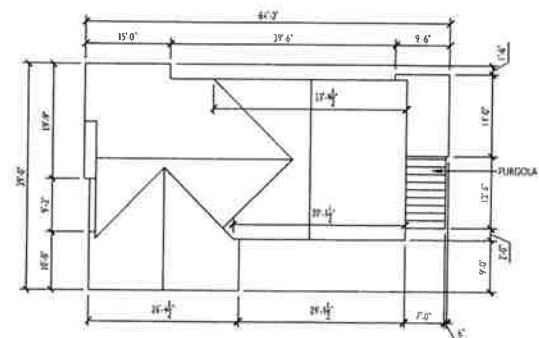
LEFT ELEVATION



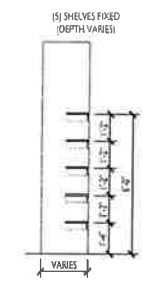
C BUILDING SECTION



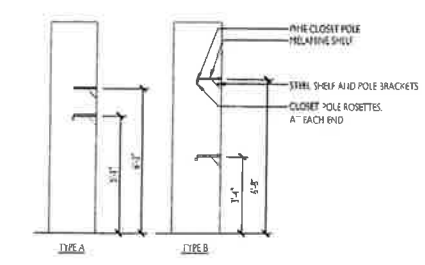
B BUILDING SECTION



ROOF PLAN

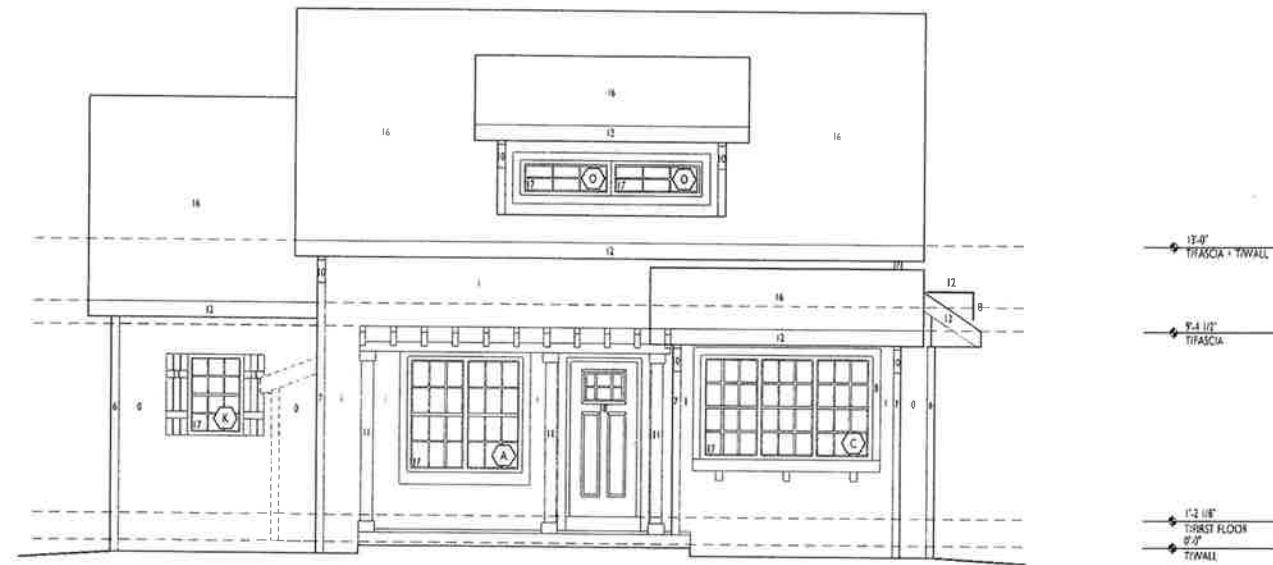


D PANTRY/LINEN SECTION

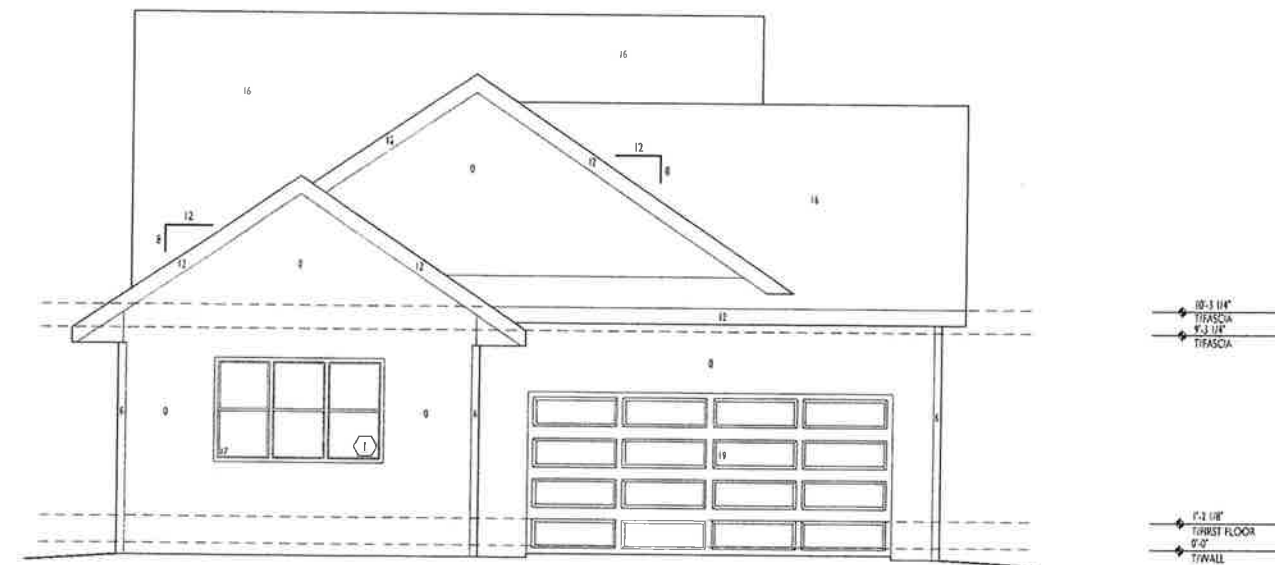


E CLOSET SECTION

The Primrose - Elevation D



FRONT ELEVATION



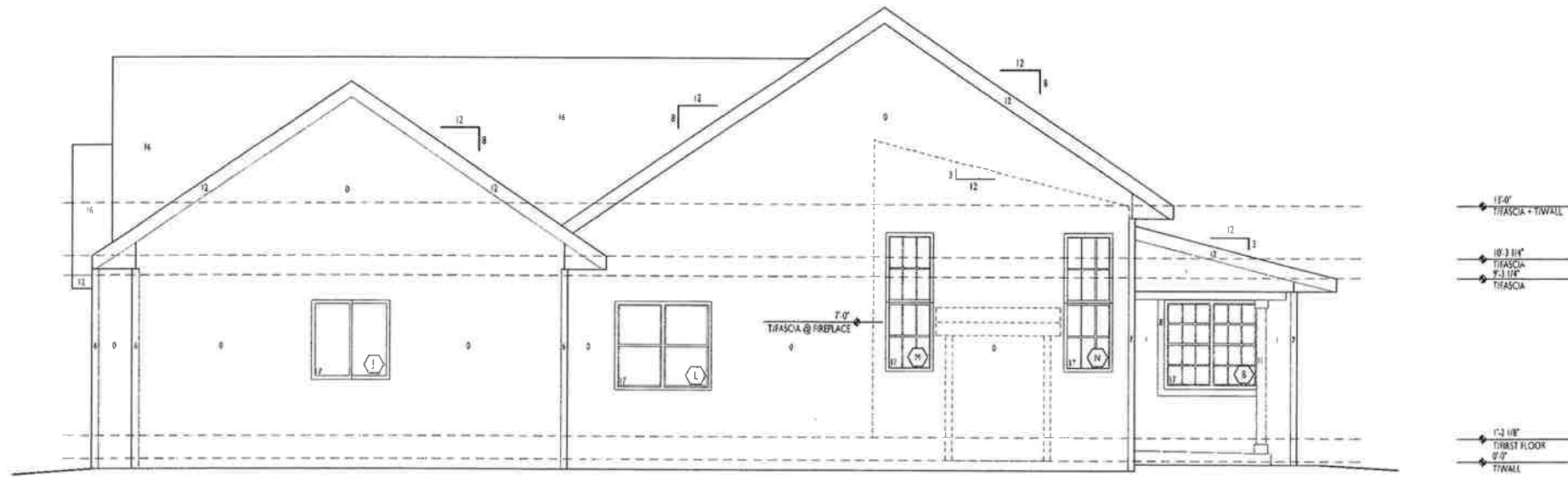
REAR ELEVATION

WINDOW SCHEDULE - ELEVATION D							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6050 2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Colonial	
B	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054 3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-0"	6 9/16"	1		Colonial	2
D	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042 Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042 Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054 Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054 Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	9054 3-Wide Single Hung	7'-6" x 4'-0"	6 9/16"	1			
J	4848 Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			
K	3042 Single Hung	2'-6" x 3'-6"	4 9/16"	1		Colonial	
L	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
M	3084 2 26"x36" Mullion Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
N	3084 2 26"x36" Mullion Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
O	4818 Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial	
P							

NOTES:

- *See job start for window colors
- *Switch active patio door leaf and casement swing for Reverse plans
- 1 - Tempered Glass
- 2 - Top of window @ 84" A F F

The Primrose - Elevation D

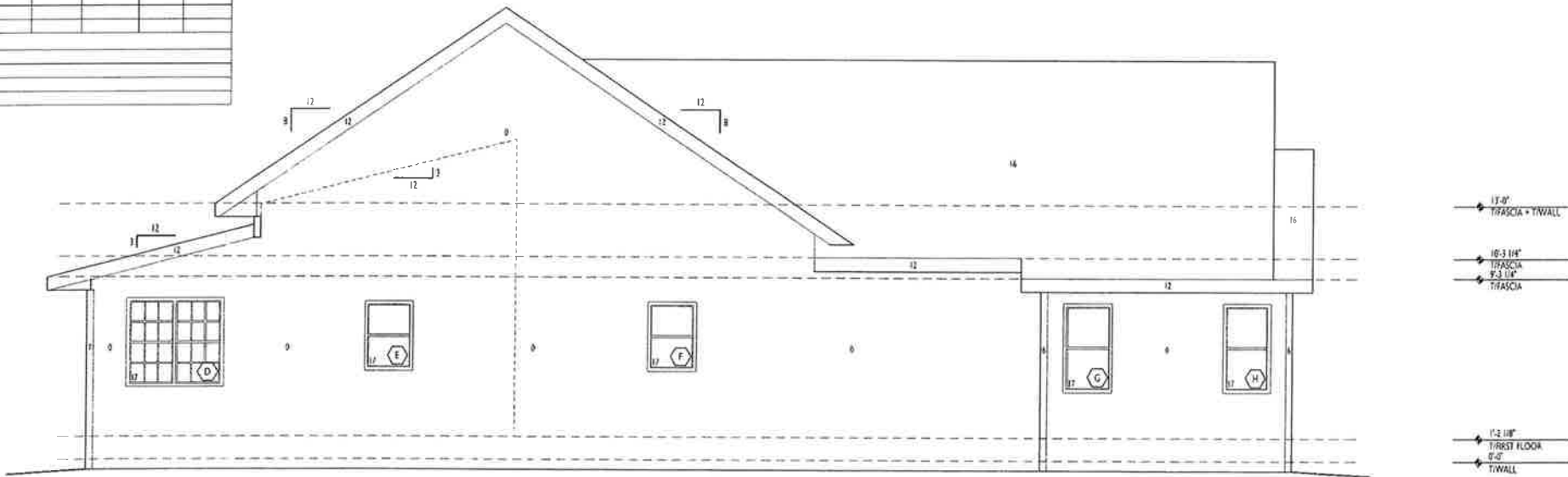


RIGHT ELEVATION

WINDOW SCHEDULE - ELEVATION D

SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6050 2-Wide Single Hung	5'-0" x 3'-0"	6 9/16"	1		Colonial	
B	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
C	9054 3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-6"	6 9/16"	1		Colonial	2
D	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	2
E	3042 Single Hung	2'-6" x 3'-6"	6 9/16"	1			
F	3042 Single Hung	2'-6" x 3'-6"	6 9/16"	1			
G	3054 Single Hung	2'-6" x 4'-6"	6 9/16"	1			
H	3054 Single Hung	2'-6" x 4'-6"	6 9/16"	1			
I	6054 3-Wide Single Hung	7'-6" x 4'-6"	6 9/16"	1			
J	4848 Horizontal Slider	4'-0" x 4'-0"	4 5/16"	1			
K	3042 Single Hung	2'-6" x 3'-6"	4 5/16"	1		Colonial	
L	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1		Colonial	
M	3084 2-26"x36" Mullied Fixed	2'-0" x 7'-0"	6 9/16"	1		Colonial	
N	3084 2-26"x36" Mullied Fixed	2'-6" x 7'-0"	6 9/16"	1		Colonial	
O	4818 Fixed	4'-0" x 1'-6"	6 9/16"	2		Colonial	
P							

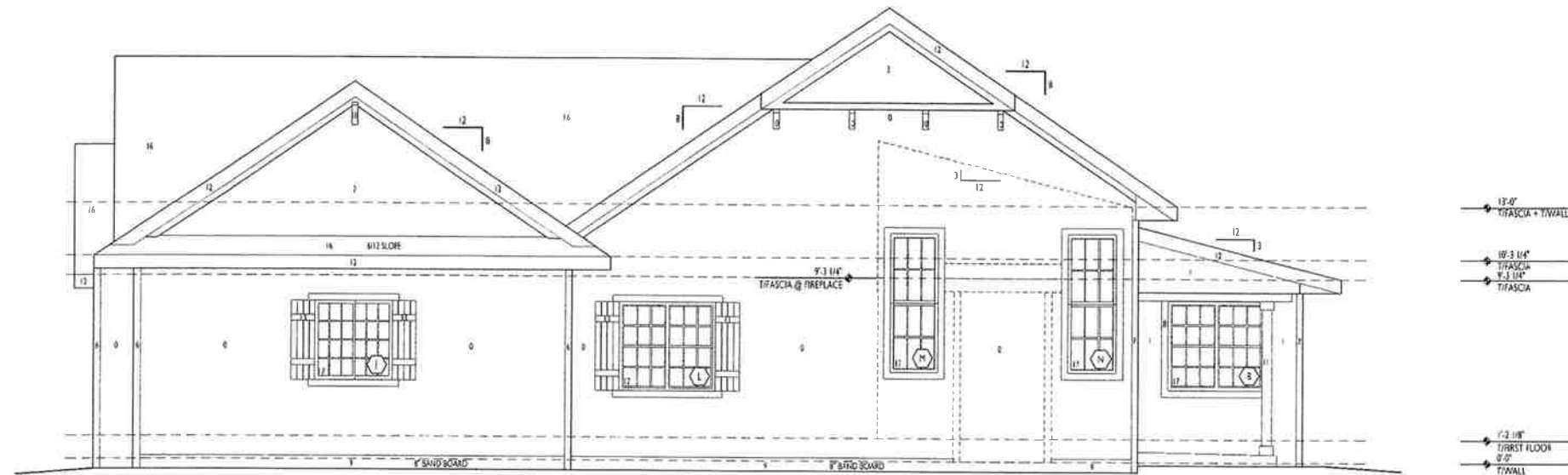
NOTES:
 *See job start for window colors
 *Switch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 64" A.F.F



LEFT ELEVATION

The Primrose - Elevation D

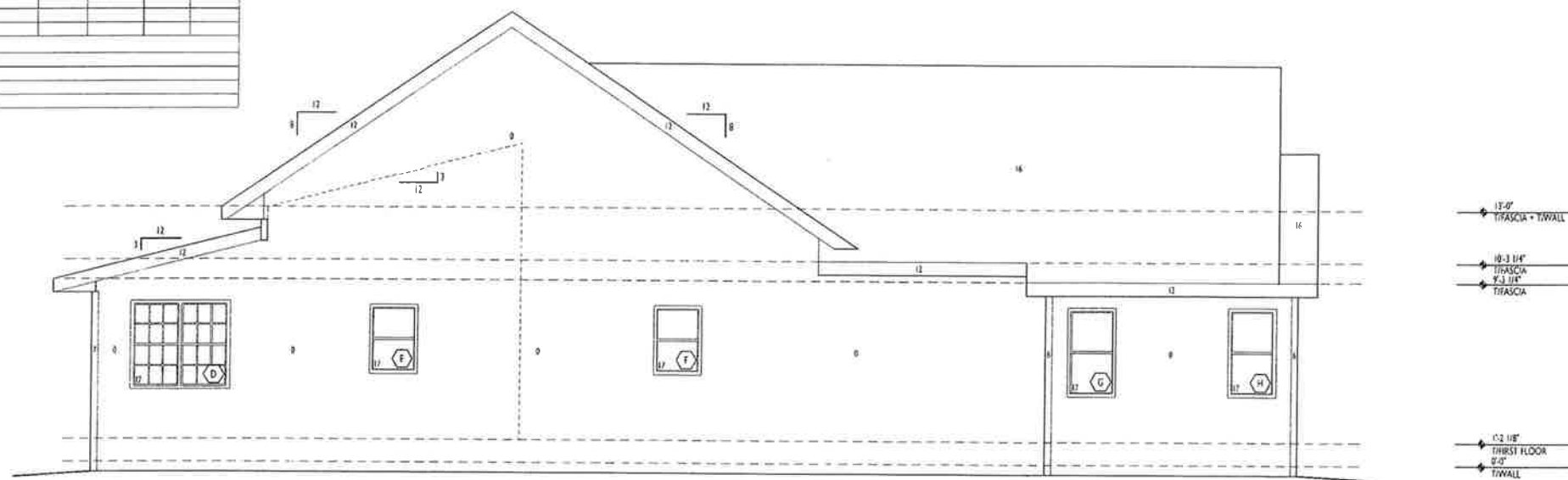
Side Elevation when facing Middleton Community Church or a Public Street



WINDOW SCHEDULE - ELEVATION D								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/ HINGE	GRILL	NOTES
A	6090	2-Wide Single Hung	5'-0" x 5'-0"	6'-9 1/8"	1		Colonial	
B	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial	2
C	6054	3-Wide Single Hung w/Elliptical Transom	7'-6" x 4'-0"	8'-9 1/8"	1		Colonial	2
D	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1		Colonial	2
E	3042	Single Hung	2'-6" x 3'-6"	4'-9 1/8"	1			
F	3042	Single Hung	2'-6" x 3'-6"	4'-9 1/8"	1			
G	3054	Single Hung	2'-6" x 4'-6"	6'-9 1/8"	1			
H	3054	Single Hung	2'-6" x 4'-6"	6'-9 1/8"	1			
I	6054	3-Wide Single Hung	7'-6" x 4'-6"	8'-9 1/8"	1			
J	4848	Horizontal Slider	4'-0" x 4'-0"	4'-9 1/8"	1			
K	3042	Single Hung	2'-6" x 3'-6"	4'-9 1/8"	1		Colonial	
L	6054	2-Wide Single Hung	5'-0" x 4'-6"	6'-9 1/8"	1			
M	3084	2'-26" x 36" Mullied Fixed	2'-6" x 7'-0"	6'-9 1/8"	1		Colonial	
N	3084	2'-26" x 36" Mullied Fixed	2'-6" x 7'-0"	6'-9 1/8"	1		Colonial	
O	4816	Fixed	4'-0" x 1'-6"	8'-9 1/8"	2		Colonial	
P								

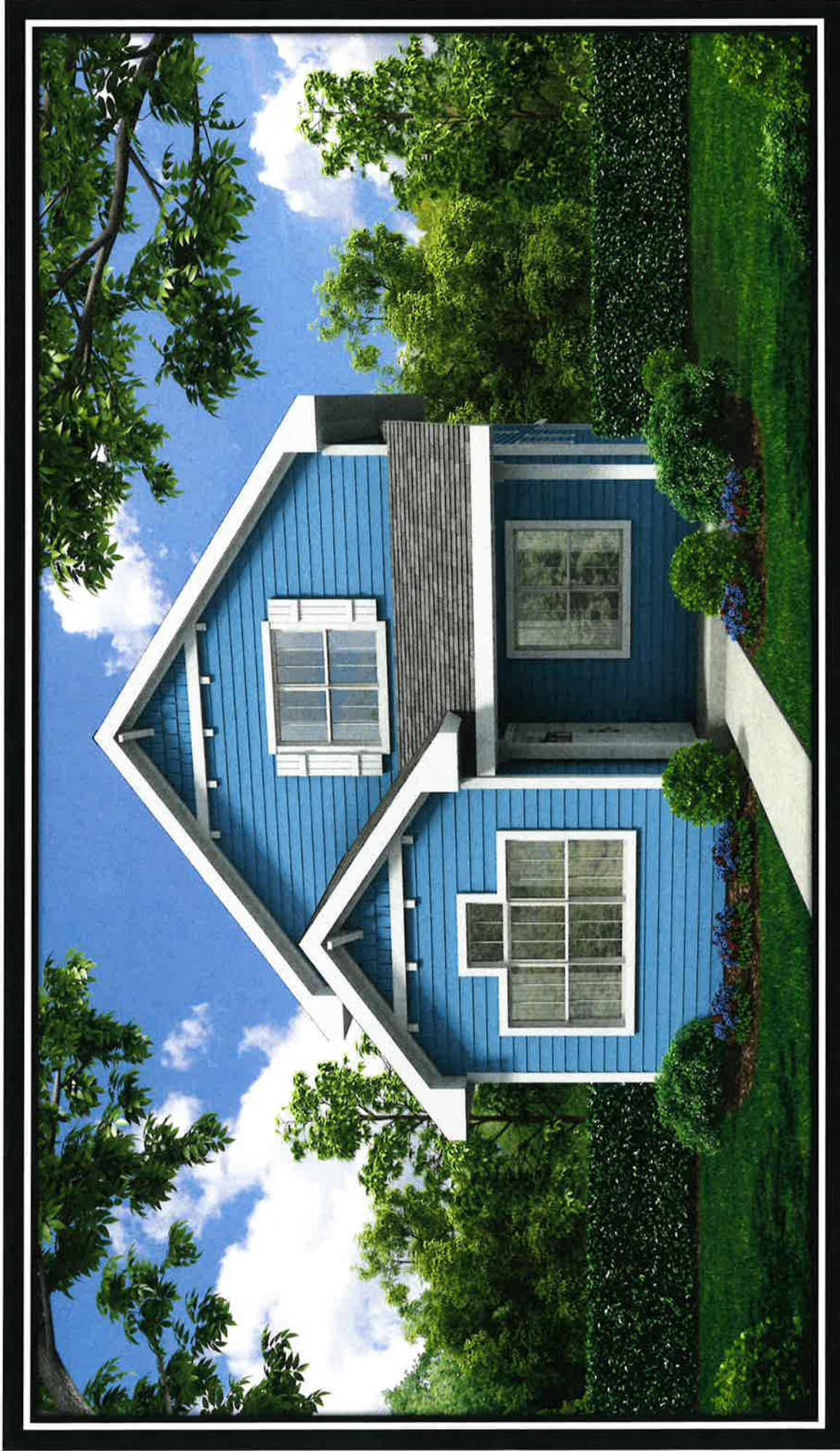
NOTES:
 *See job start for window colors
 *Switch active patio door leaf and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Top of window @ 84" A.F.F.

RIGHT ELEVATION



LEFT ELEVATION

The Willow – Elevation A



The Willow – Elevation B



Consultant:

Notes:

FOOTING:
1. 2' x 2' x 8" (E.O.P. = 1/2")

SWF: TO BE 4" WIDE
SWF: HOLDING PATTERN
1. EDGE NAILING SHALL BE 8" NAILS @ O.C.
2. FIELD NAILING SHALL BE 16" NAILS @ O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DOORWAY OPENING	RF	RANGE HAT
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRIVER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
RS	PASSIVE RADIANT SYSTEM		

Revisions:

PRELIMINARY SET
NO SET, FORMERLY COTTAGE 2 - ELEVATION A
CONSTRUCTION SET

Project Title:

OWNER/SPEC
SUBDIVISION
LOT #
ADDRESS
WILLOW - ELEVATION A

Drawing By: SWB Checked By: KM

Drawing Title:

Foundation Plan

Scale: 1/4" = 1'-0" Date: XX/XX/XXXX

Project No. Drawing No.

XXX of XXX F1.0

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The Cottages At Chapel View

"The Willow"

Elevations A & B

Company

Notes

FOOTING
F1 - 2 x 2 x 1' (LOF = 7'-9")

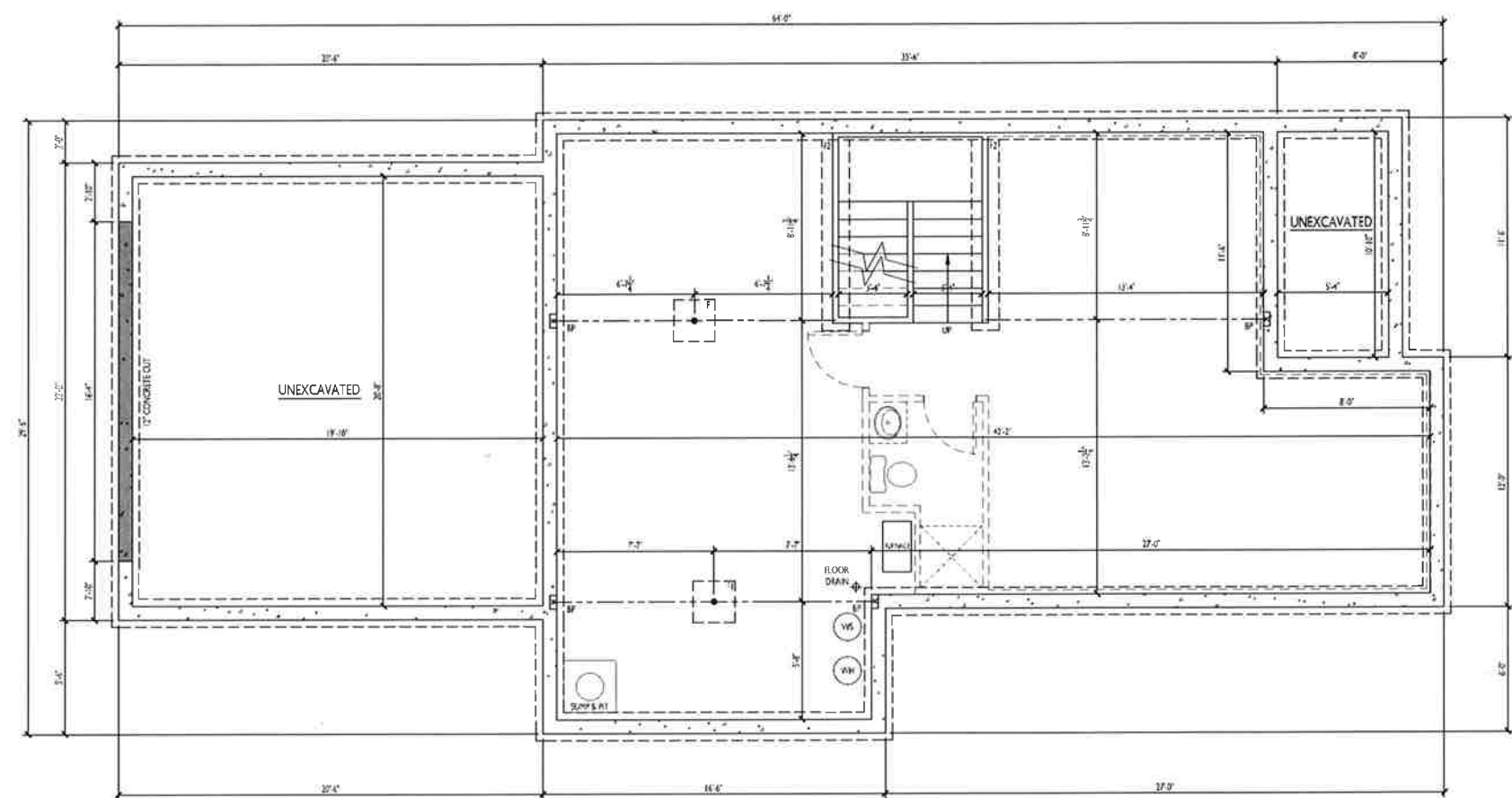
S.W.F. TO BE 4" WIDE
S.W.F. NAILING PATTERN:
1. EDGE NAILING SHALL BE 8" NAILS @ O.C.
2. FIELD NAILING SHALL BE 8" NAILS @ 17" O.C.

STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	D/W	DISHWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CFT	CAVITY	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VIL	VENT	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		

Revisions

PRELIMINARY SET:
BIO SET: FORMERLY COTTAGE 2 - ELEVATION A
CONSTRUCTION SET:



Project Title

**OWNER/SPEC
SUBDIVISION
LOT #**

ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE Checked By:

Drawing Title
Foundation Plan

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. Draw

XXX F

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Consultant

DOOR SCHEDULE									
NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	3'0" x 6'-0"	38 3/8 x 82 1/2	6 9/16"	Steel bowing w/ Light	L	Passage w/ w/ Passage Deadbolt	Hinge Pin	1, 2, 3	
2	2'0" x 6'-0"	34 5/8 x 82 1/2	6 9/16"	20mm Steel Reinforcing	R	Passage Deadbolt	Hinge Pin	3	
3	2'0" x 6'-0"	32 1/2 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Hinge Pin		
4	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring		
5	2'0" x 6'-0"	30 1/2 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Wall Spring		
6	2'0" x 6'-0"	32 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring		
7	2'0" x 6'-0"		6 9/16"	Wood Pocket		Passage			
8	2'4" x 6'-0"	30 1/2 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Hinge Pin		
9	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring		
10	2'0" x 6'-0"		6 9/16"	Wood Pocket		Passage			
11	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Hinge Pin		
12	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring		
13	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Hinge Pin		
14	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Hinge Pin		
15	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Hinge Pin		
16	2'0" x 6'-0"	34 1/2 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Hinge Pin		
17	2'4" x 6'-0"	30 1/2 x 82 1/2	6 9/16"	Solid Wood	R	Passage	Wall Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

NO.	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
19	2'0" x 6'-0"	30 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring	
21	2'0" x 6'-0"	36 1/2 x 82 1/2	6 9/16"	Solid Wood	L	Passage	Wall Spring	

NOTES

- 1 - Hinges are designated using the "left to right" method
- 2 - See E.D. for door styles and hardware finishes
- 3 - See Elevations for door configurations
- 4 - Interior handle to match remaining exterior hardware color and style
- 5 - Deadbolt with cameral key

Notes

- = SHEAR WALL LOCATIONS
- B A3.0 PAINT/LINEN SECTION
- C A3.0 CLOSET SECTION
- = HALF WALL WITH WOOD CAP
- ▨ = WOOD RAILING WITH METAL OR WOOD SPINDLES
- - - = DRYWALL RETURNS 3 SIDES

- S.W. TO B: 4:30' WIDE
S.W.P. NAILING PATTERN:
1. EDGE NAILING SHALL BE 8" NAILS @ 6" O.C.
2. FIELD NAILING SHALL BE 8" NAILS @ 16" O.C.

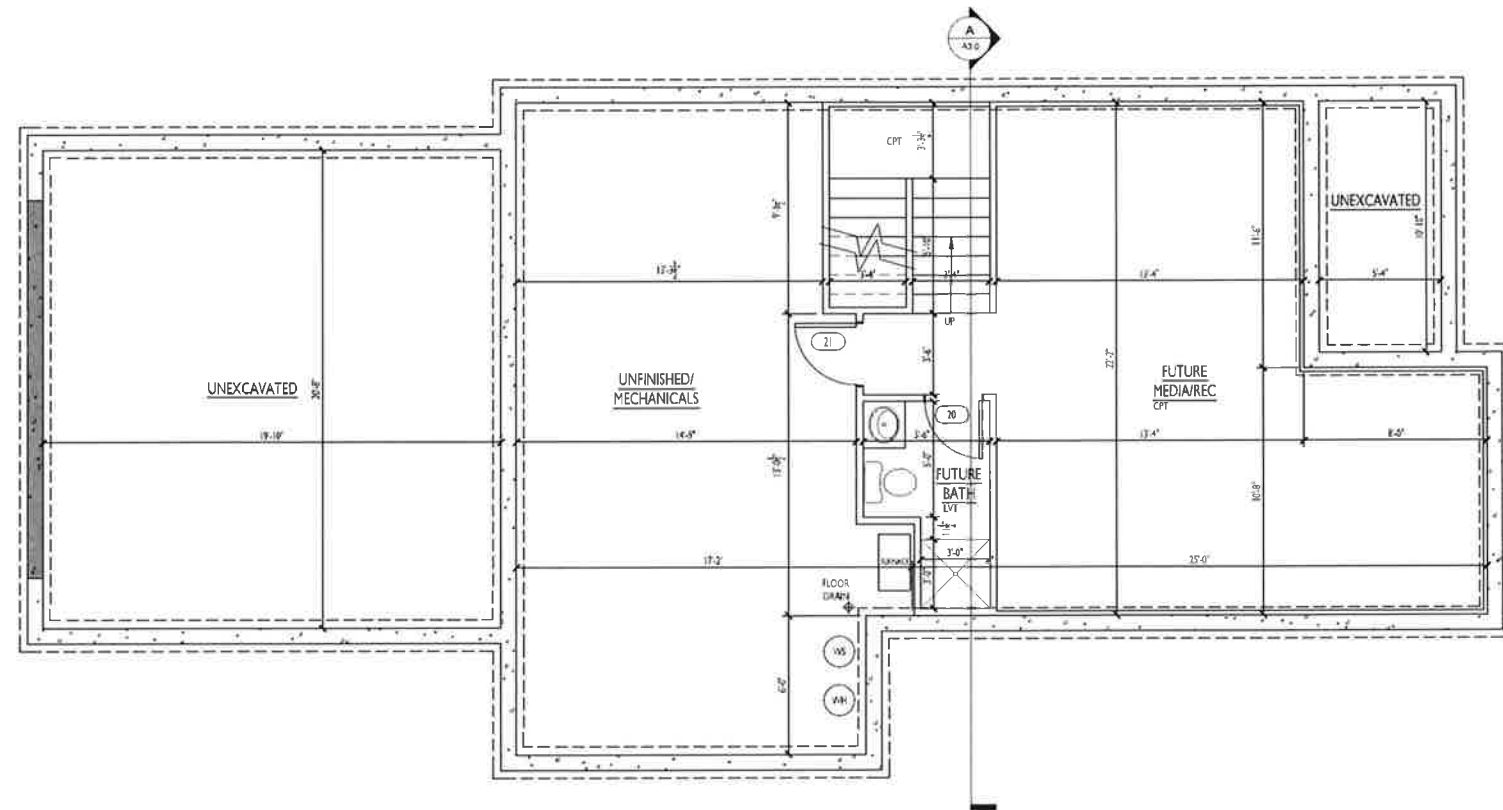
STANDARD ABBREVIATIONS:

- | | | | |
|-----|----------------------|-----|----------------|
| BB | BASE BOARD | WD | WOOD |
| CO | CASED OPENING | DW | DISHWASHER |
| DO | DRYWALL OPENING | REF | REFRIGERATOR |
| WP | WATER PROOF | SO | SWITCH OUTLET |
| CPI | CARPET | C | CURB |
| CT | CERAMIC TILE | W | WASHER |
| D | DRYER | LAM | LAMINATE |
| YL | VINYL | PS | PLUMBING STACK |
| PS | PASSIVE RADON SYSTEM | | |

AREA:
LOWER LEVEL: 519

Revisions

- PRELIMINARY SET
- BID SET - FORMERLY COTTAGE 3 - ELEVATION A
- CONSTRUCTION SET



Project Title

**OWNER/SPEC
SUBDIVISION
LOT #**

ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE Checked By:

Drawing Title

Future Lower Level Plan

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. Draw

XXX of pages **A**

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Consultant

Notes

- ALL HEADERS TO BE (2) x 10 UNLESS NOTED OTHERWISE
- SHEAR WALL LOCATIONS
- B A3.0 FANTRY LINEN SECTION
- C A3.0 CLOSET SECTION
- HALF WALL WITH WOOD CAP
- WOOD RAILING WITH METAL OR WOOD SPINDLES
- DAY/WALL RETURNS 3 SIDES

- S.W.F. TO BE 4" WIDE
- S.W.F. NAILING PATTERN:
 - 1 EDGE NAILING SHALL BE IN NAILS 8" O.C.
 - 2 FIELD NAILING SHALL BE IN NAILS 12" O.C.

STANDARD ABBREVIATIONS:

HR	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DIY/WALL OPENING	RF	REFRIGERATOR
WF	WATER FROOF	SO	SWITCH OUTLET
CPT	CASET	C	CUBIE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VNL	VNTL	PS	PLUMBING STAC
PRS	PASSIVE RADON SYSTEM		

AREA:	
FIRST FLOOR:	1,041
SECOND FLOOR:	834
TOTAL:	1,875

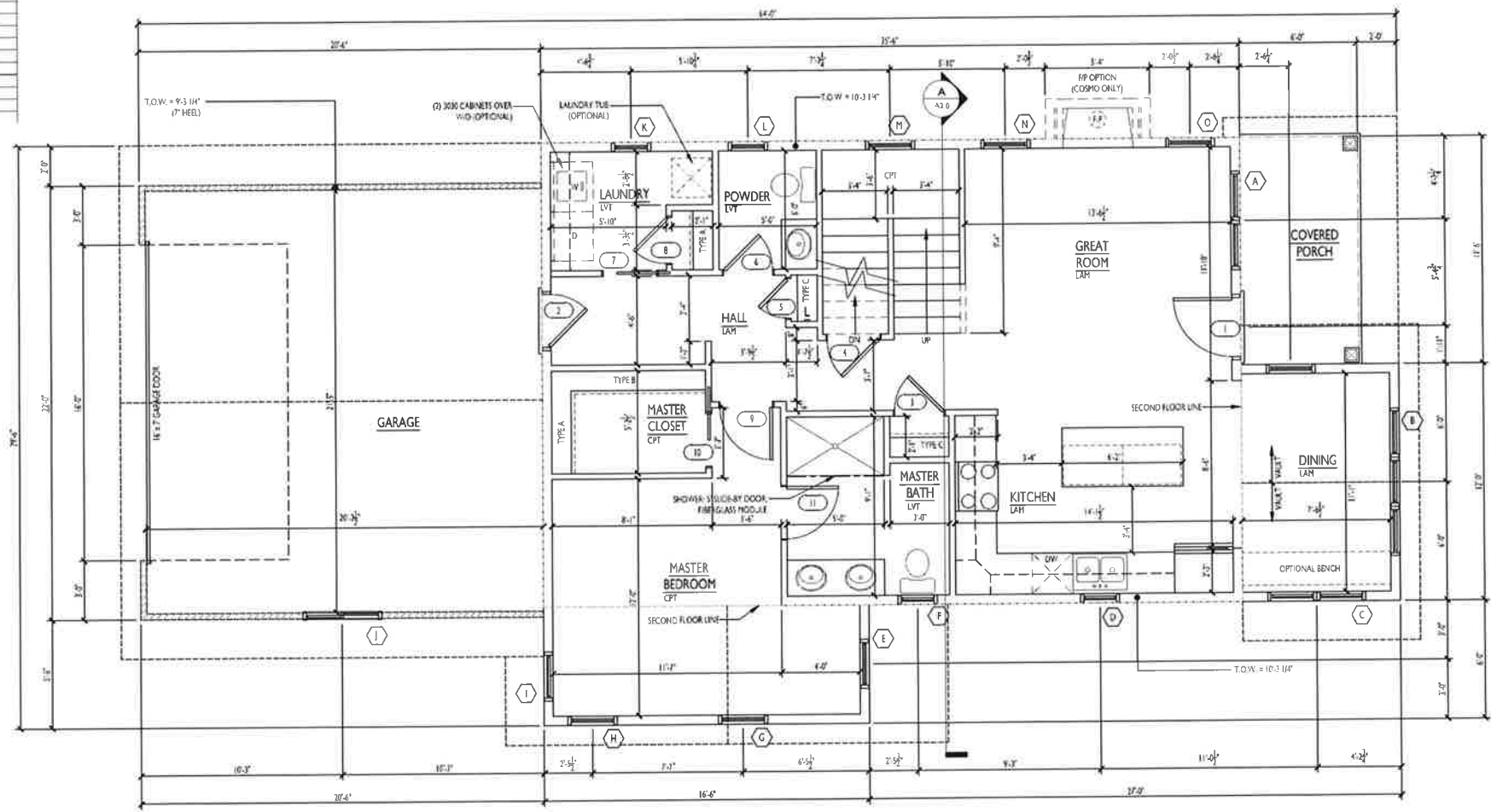
REVISIONS

- PRELIMINARY SET
- MD SET FORMERLY COTTAGE 2 - R EVATION A
- CONSTRUCTION SET

DOOR SCHEDULE									
NO	SIZE	NO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	2'0" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Steel Inswing w/ Light	L	Passage	Hinge Pin	1, 2, 3
2	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	20 Min Steel Inswing	R	Passage	Hinge Pin	
3	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	R	Passage	Hinge Pin	
4	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Passage	Wtl Spring	
5	2'0" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	R	Passage	Wtl Spring	
6	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Privacy	Wtl Spring	
7	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Wood Pocket		Passage		
8	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	R	Passage	Hinge Pin	
9	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Passage	Wtl Spring	
10	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Wood Pocket		Passage		
11	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Privacy	Hinge Pin	
12	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Passage	Wtl Spring	
13	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Passage	Hinge Pin	
14	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	R	Passage	Hinge Pin	
15	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Passage	Hinge Pin	
16	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	R	Privacy	Hinge Pin	
17	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	R	Passage	Wtl Spring	

ALTERNATES/LOWER LEVEL DOOR SCHEDULE									
NO	SIZE	NO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
20	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Privacy	Wtl Spring	
21	2'4" x 6'8"	38	2 1/2" x 6 1/2" 1/2"	6 9/16"	Solid Wood	L	Passage	Wtl Spring	

- NOTES
- 1. Primes are elevated using the "cut to build" method
 - 2. Note all start for base unless an alternate is noted
 - 3. See Schedule for door configuration
 - 4. Install handle to match remaining exterior hardware color and style
 - 5. Detail with complete key



Project Title

**OWNER/SPEC
SUBDIVISION
LOT #**
ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE Checked By:

Drawing Title
First Floor Plan
Scale: 1/4" = 1'-0" Date: XX/XX/XX
Project No. Draw

XXX A

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Consultant

Notes

- = SHEAR WALL LOCATIONS
- B**
A30 = PAN-TILE LINEN SECTION
- C**
A30 = CLOSET SECTION
- = HALF WALL WITH WOOD CAP
- = WOOD RAILING WITH METAL OR WOOD SPINDLES
- = DRYWALL RETURNS 3 SIDES

- S.W.F. TO BE 4" WIDE
S.W.F. NAILING PATTERN:
1. EDGE NAILING SHALL BE 8" NAILS @ 12" O.C.
2. FIELD NAILING SHALL BE 8" NAILS @ 18" O.C.

STANDARD ABBREVIATIONS:

HR	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DIY WALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPI	CAPSET	C	CUBIE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VTL	VINYL	PS	PUMPING STAC
PRS	PASSIVE RADON SYSTEM		

AREA:
SECOND FLOOR: 834

REVISIONS:

- PRELIMINARY SET
- BID SET - FORMERLY COTTAGE 2 - ELEVATION A
- CONSTRUCTION SET

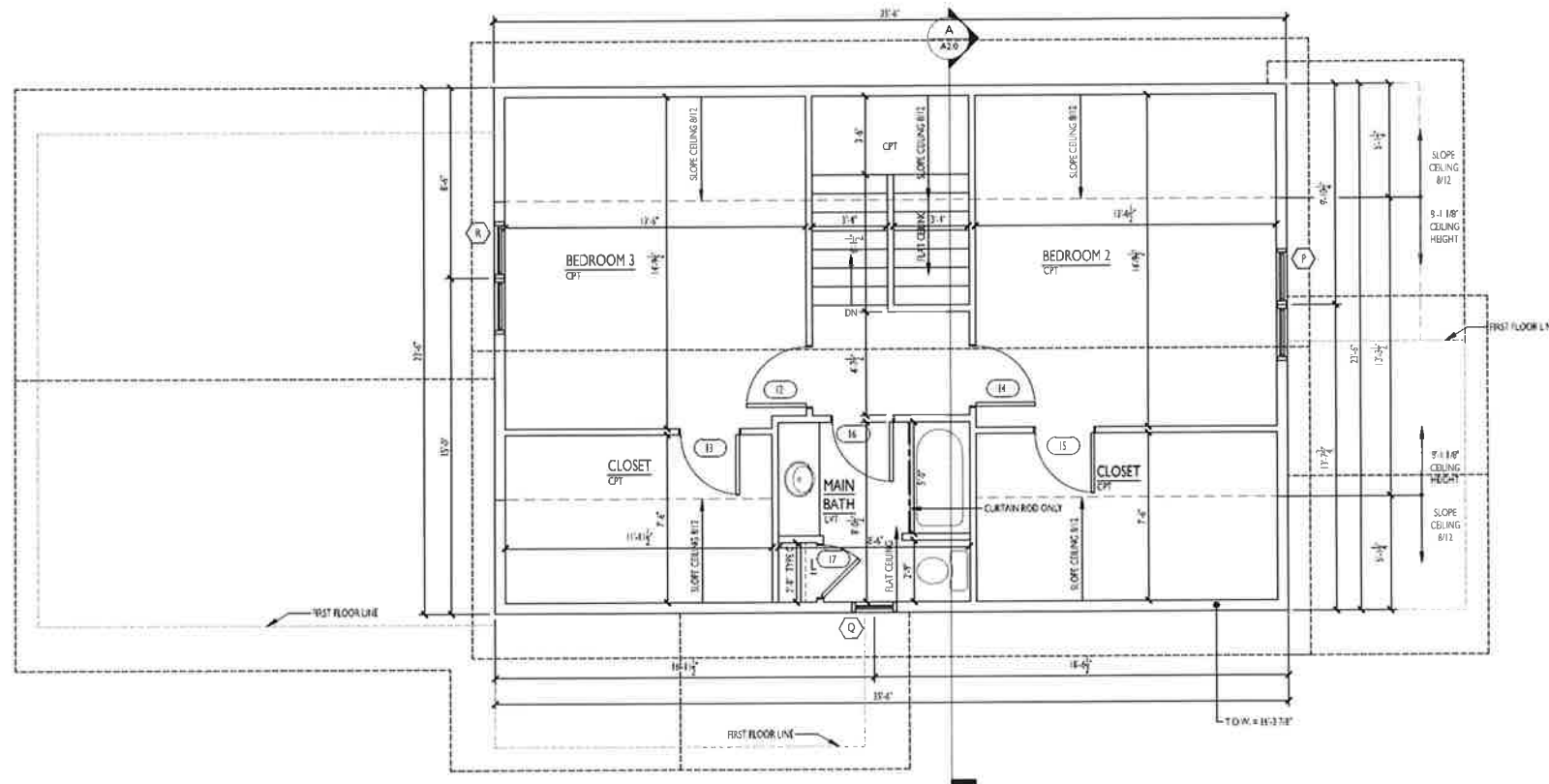
DOOR SCHEDULE									
ID	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES	
1	3'0" x 6'6"	34 3/8 x 82 1/2	6 9/16"	Steel Inswing w/ Light	L	Handset w/ 10" Passage Knob	Hinge Pin	1,2,3	
2	2'4" x 6'6"	34 3/8 x 82 1/2	6 9/16"	20 min Steel Inswing	R	Passage - Diablon	Hinge Pin	3	
3	2'4" x 6'6"	32 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
4	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
5	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring		
6	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
7	2'4" x 6'6"		4 9/16"	Wood Pocket		Passage			
8	2'4" x 6'6"	30 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
9	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
10	2'4" x 6'6"		4 9/16"	Wood Pocket		Passage			
11	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
12	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring		
13	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
14	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
15	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Hinge Pin		
16	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Hinge Pin		
17	2'4" x 6'6"	30 1/2 x 82 1/2	4 9/16"	Solid Wood	R	Passage	Wall Spring		

ALTERNATES/LOWER LEVEL DOOR SCHEDULE

ID	SIZE	RO	JAMB	DOOR	HINGE	LOCKSET	DOOR STOP	NOTES
20	2'4" x 6'6"	32 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	
21	2'4" x 6'6"	34 1/2 x 82 1/2	4 9/16"	Solid Wood	L	Passage	Wall Spring	

NOTES

- 1. Hinges are designated using the "left to right" method.
- 2. See bid set for door styles and hardware finishes.
- 3. See elevations for door configurations.
- 4. Install hardware to match remaining interior hardware color and style.
- 5. Check with customer key.



Project Title

**OWNER/SPEC
SUBDIVISION
LOT #**

ADDRESS
WILLOW : ELEVATION A

Drawn By: SWE Checked By:

Drawing Title

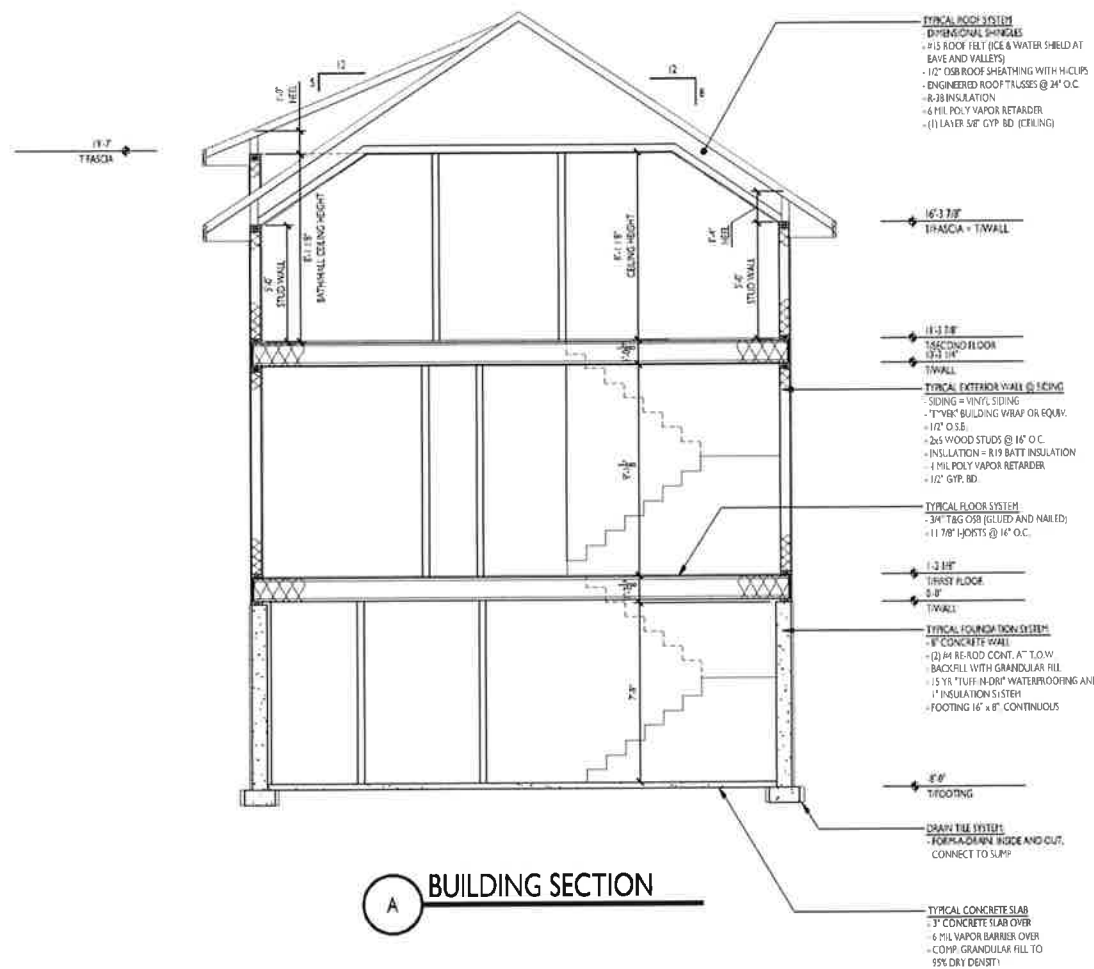
Second Floor Plan

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. Draw

XXX of XXX A

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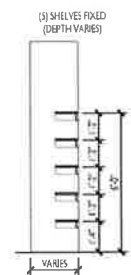
A BUILDING SECTION

STANDARD ABBREVIATIONS:

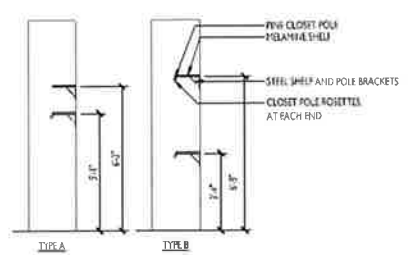
MB	HDS: BS	VD	WOOD
CO	CASD OPENING	DW	DISHWASHER
DO	D/WALL OPENING	RF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	COVER	C	CUBEL
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VL	VINYL	PS	PLUMBING STAC
PR	PASSIVE RADON SYSTEM		

Revisions

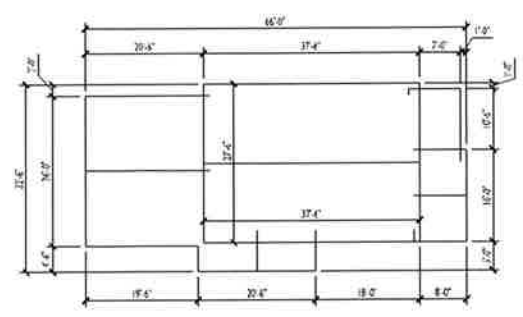
- PRELIMINARY SET
- BID SET: FORMERLY COTTAGE 2; ELEVATION A
- CONSTRUCTION SET



B PANTRY/LINEN SECTION
SCALE = 1/4" = 1'-0"



C CLOSET SECTION
SCALE = 1/4" = 1'-0"



ROOF PLAN
SCALE = 1/4" = 1'-0"

Project Title

OWNER/SPEC SUBDIVISION LOT #

ADDRESS
WILLOW : ELEVATION A

Drawn By: **SWE** Checked By:

Building Sections

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. XXX Draw

XXX of XXX A

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The Willow - Elevation A

Consultant

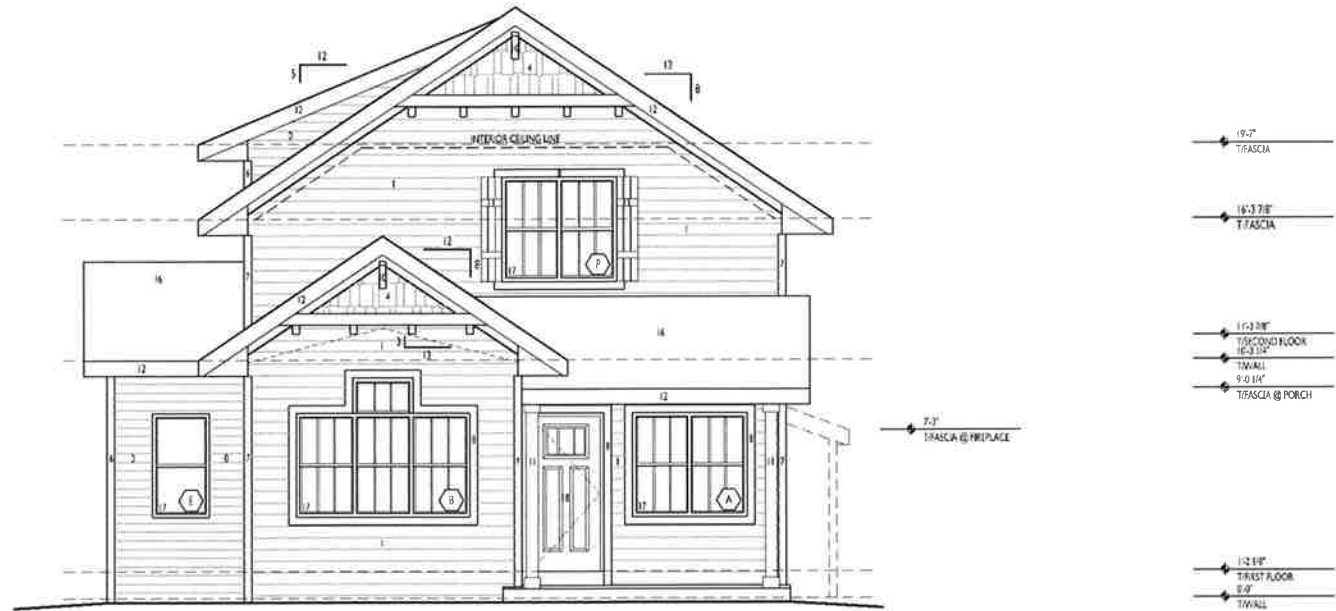
Notes

EXTERIOR COLORS:

- 0. VINYL SIDING (# EXPOSURE) =
- 1. SHIRT SIDING (# EXPOSURE) =
- 2. BOARD & BATTEN (# 2) =
- 3. BOARD & BATTEN (# 2) =
- 4. SHAKE (# 1) =
- 5. SHAKE (# 3) =
- 6. VINYL CORNER TRIM =
- 7. SHIRT CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SCIFF/FASCIA/GUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. MASONRY =
- 15. ROOF (# 3) =
- 16. ROOF (SHINGLES) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

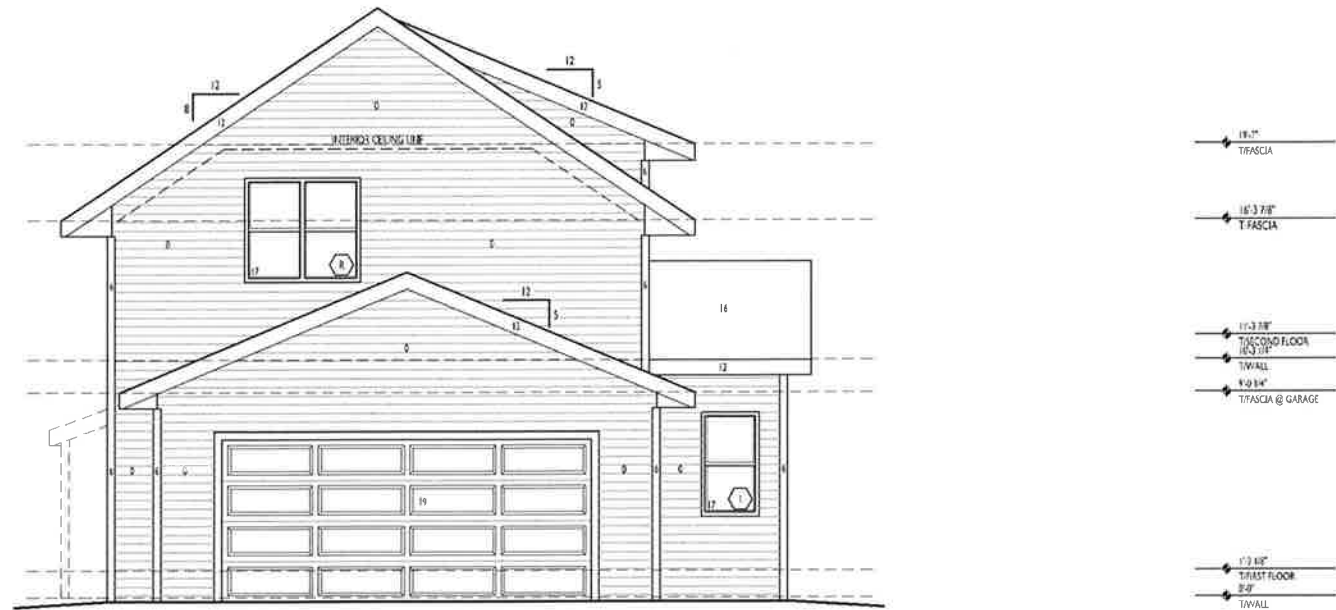
HR	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	D/WALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CP	CARPET	C	CUBBLE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VC	VINYL	PS	PLUMBING STAC
PR	PASSIVE RADON SYSTEM		



FRONT ELEVATION

WINDOW SCHEDULE - ELEVATION A							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6060 2-Wide Single Hung	5'-0" x 5'-0"	6 9/16"	1			Place
B	9954 3-Wide Single Hung w/18" Transom	7'-6" x 4'-6"	6 9/16"	1			Place
C	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			Place
D	2442 Single Hung	2'-0" x 3'-6"	6 9/16"	1			
E	3051 Single Hung	2'-0" x 4'-0"	6 9/16"	1			
F	3054 Single Hung	2'-0" x 4'-0"	6 9/16"	1			
G	3054 Single Hung	2'-0" x 4'-6"	6 9/16"	1			
H	3054 Single Hung	2'-0" x 4'-6"	6 9/16"	1			
I	3054 Single Hung	2'-0" x 4'-6"	6 9/16"	1			
J	4848 Horizontal Slider	4'-0" x 4'-0"	4 9/16"	1			Place
K	2442 Single Hung	2'-0" x 3'-6"	6 9/16"	1			
L	2442 Single Hung	2'-0" x 3'-6"	6 9/16"	1			
M	3054 Single Hung	2'-0" x 4'-6"	6 9/16"	1			
N	3030 Fixed	2'-0" x 2'-6"	6 9/16"	1			Place
O	3030 Fixed	2'-0" x 2'-6"	6 9/16"	1			Place
P	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
Q	2442 Single Hung	2'-0" x 3'-6"	6 9/16"	1			
R	6054 2-Wide Single Hung	5'-0" x 4'-6"	6 9/16"	1			
S							
T							

NOTES:
 1 - See job start for window colors.
 2 - Button active patio door leaf and casement siding for finished plans.
 3 - Tempered Glass.
 4 - Existing Patio Door to be installed in 6'-0" jamb.



REAR ELEVATION

Revisions

- PRIMARY SET
- BID SET - FORMERLY COTTAGE 2 - ELEVATION A
- CONSTRUCTION SET

Project Title

OWNER/SPEC
SUBDIVISION
LOT #
ADDRESS
WILLOW - ELEVATION A

Drawing By: SWE Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. Draw

XXX A

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The Willow - Elevation A

Consultant

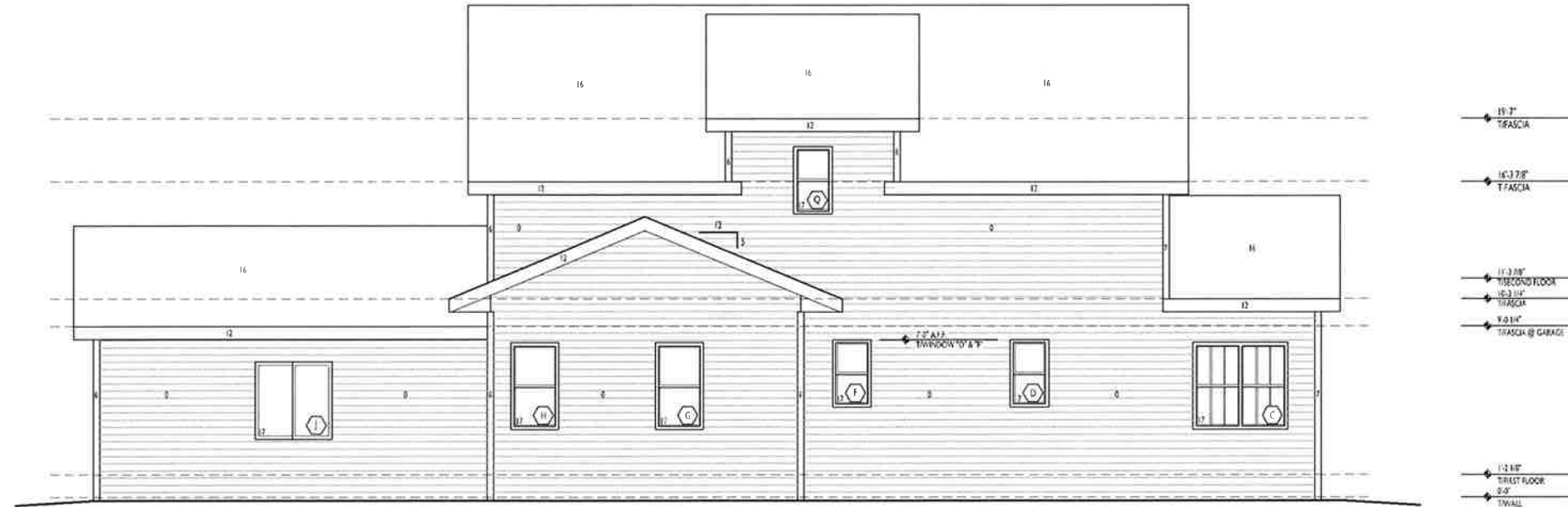
Notes

EXTERIOR COLORS:

- 0. VINYL SIDING (4" EXPOSURE)
- 1. SMART SIDING (4" EXPOSURE)
- 2. BOARD & BATT (1/2" @ 24")
- 3. BOARD & BATT (1/2" @ 24")
- 4. SHAKE (D-4)
- 5. SHAKE (D-5)
- 6. VINYL CORNER TRIM
- 7. SMART CORNER TRIM
- 8. WINDOW & DOOR TRIM
- 9. ACCENT BAND
- 10. GABLE ACCENTS
- 11. COLUMNS
- 12. SCAFFOLDING (ALUMINUM)
- 13. SHUTTERS
- 14. MASONRY
- 15. ROOF (1/2")
- 16. ROOF (SHINGLES)
- 17. WINDOWS
- 18. ENTRY DOOR
- 19. GARAGE DOOR

STANDARD ABBREVIATIONS:

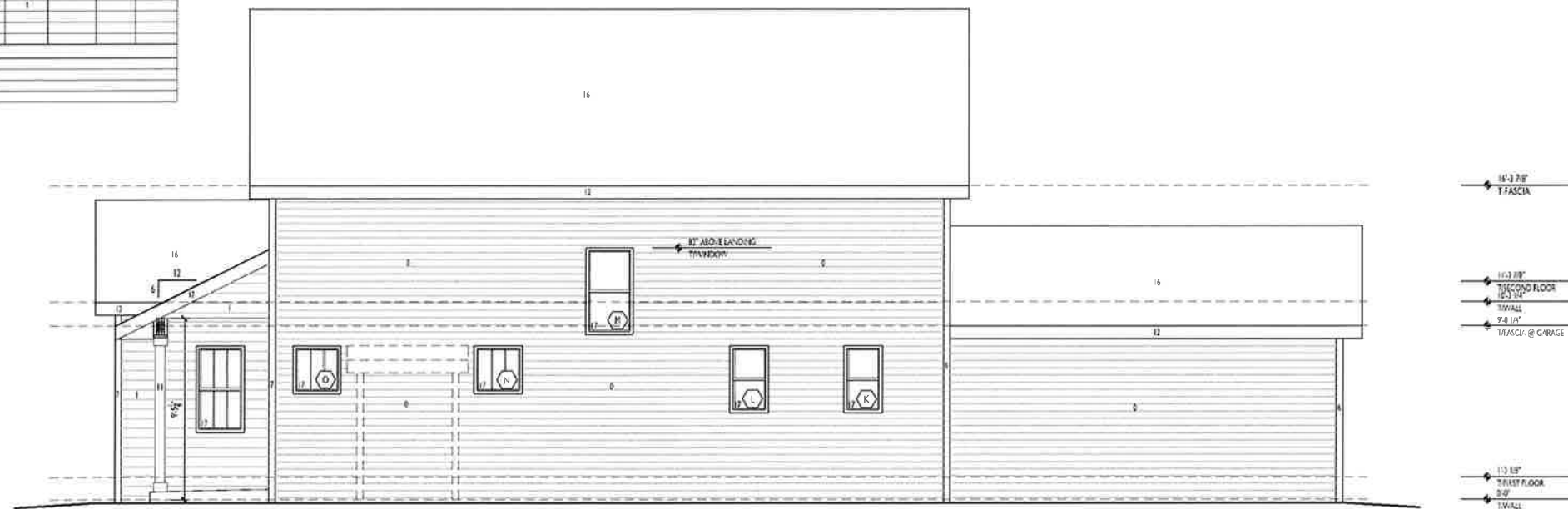
HO	HOSE Bib	WD	WOOD
CO	CASID OPENING	DW	DISHWASHER
DO	D-YWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CP	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VYL	VINYL	PS	PUMPING STAC
FRS	PASSIVE RADON SYSTEM		



WINDOW SCHEDULE - ELEVATION A								
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	60x0	2-Wide Single Hung	5'-0" x 3'-0"	6'-8"16"	1			Place
B	90x4	3-Wide Single Hung w/ 18" Transom	7'-6" x 4'-6"	6'-8"16"	1			Place
C	60x4	2-Wide Single Hung	5'-0" x 4'-6"	6'-8"16"	1			Place
D	24x2	Single Hung	2'-0" x 3'-6"	6'-8"16"	1			
E	30x4	Single Hung	2'-0" x 4'-6"	6'-8"16"	1			
F	30x4	Single Hung	2'-0" x 4'-6"	6'-8"16"	1			
G	30x4	Single Hung	2'-0" x 4'-6"	6'-8"16"	1			
H	30x4	Single Hung	2'-0" x 4'-6"	6'-8"16"	1			
I	30x4	Single Hung	2'-0" x 4'-6"	6'-8"16"	1			
J	48x8	Horizontal Slider	4'-0" x 4'-0"	4'-8"16"	1			
K	24x2	Single Hung	2'-0" x 3'-6"	6'-8"16"	1			
L	24x2	Single Hung	2'-0" x 3'-6"	6'-8"16"	1			
M	30x4	Single Hung	2'-0" x 4'-6"	6'-8"16"	1			Place
N	30x0	Fixed	2'-0" x 2'-0"	6'-8"16"	1			Place
O	30x0	Fixed	2'-0" x 2'-0"	6'-8"16"	1			Place
P	60x4	2-Wide Single Hung	5'-0" x 4'-6"	6'-8"16"	1			Place
Q	24x2	Single Hung	2'-0" x 3'-6"	6'-8"16"	1			
R	60x4	2-Wide Single Hung	5'-0" x 4'-6"	6'-8"16"	1			
S								
T								

NOTES:
 *See job start for window colors
 *Surface active patio door and casement sash for Reversed plans
 1 - Tempered Glass
 2 - Glazing Patio Door to be installed in 6'-0"16" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions:

- PRELIMINARY SET
- BID SET - TORPERRY COTTAGE 2 - ELEVATION A
- CONSTRUCTION SET

Project Title

**OWNER/SPEC
SUBDIVISION
LOT #**
ADDRESS
WILLOW - ELEVATION A

Drawn By: SWE Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

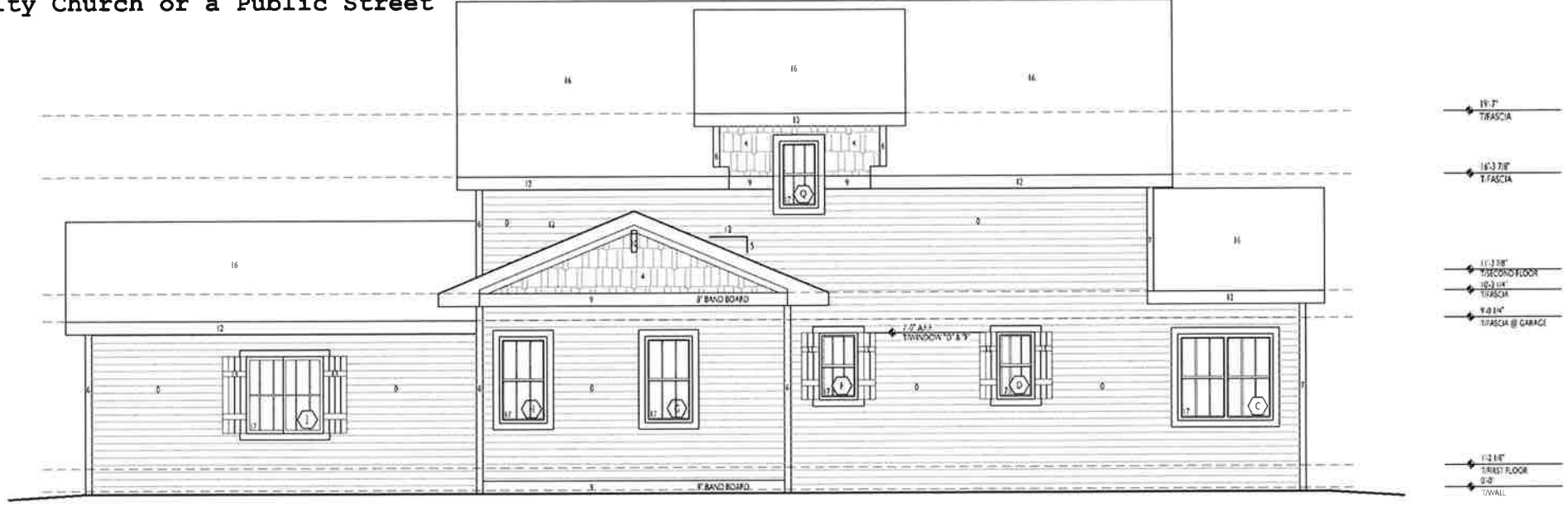
Project No. Draw

XXX of XXX A

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The Willow - Elevation A

Side Elevation when facing Middleton Community Church or a Public Street



Consultant

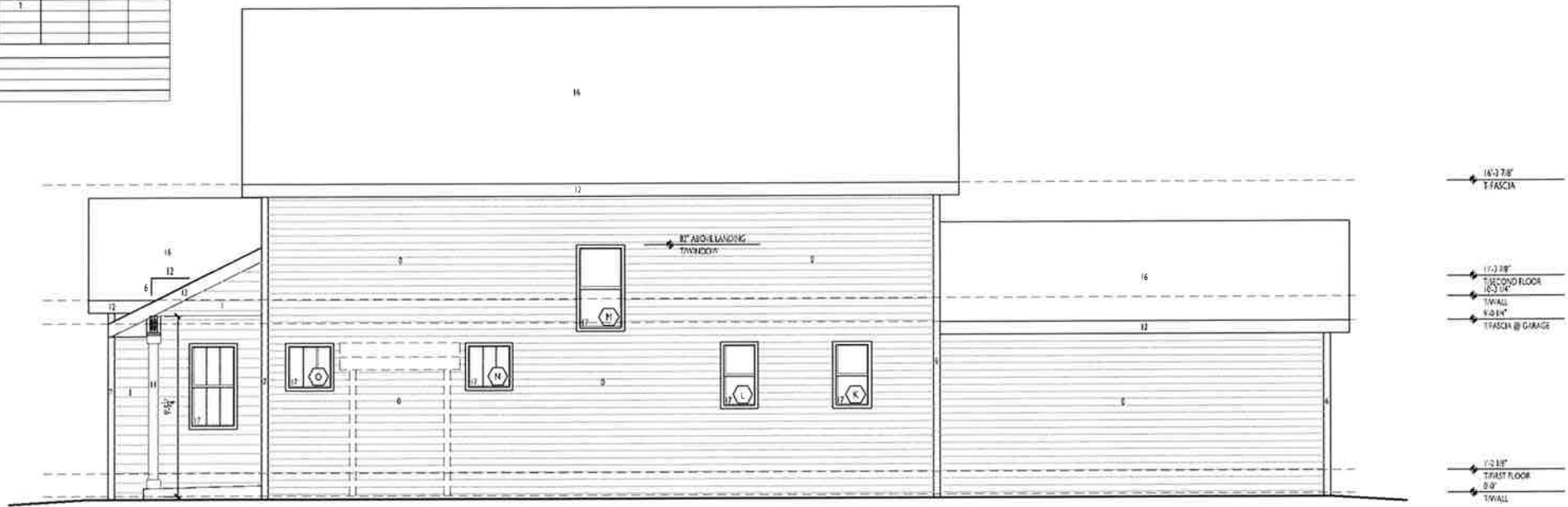
Notes

- EXTERIOR COLORS**
0. VINYL SIDING (EXPOSURE)
 1. SHIRT SIDING (EXPOSURE)
 2. BOARD & BAT EN ID 3
 3. BOARD & BATTEN ID 3
 4. SHAKE (D 4)
 5. SHAKE (D 3)
 6. VINYL CORNER TRIM
 7. SHIRT CORNER TRIM
 8. WINDOW & DOOR TRIM
 9. ACCENT BAND
 10. GABLE ACCENTS
 11. COLUMNS
 12. SHIRT-FASCIA/GUTTER (ALUMINUM)
 13. SHIRT-FASCIA
 14. MASONRY
 15. ROOF (R)
 16. ROOF (GINGLES)
 17. WINDOWS
 18. ENTRY DOOR
 19. GARAGE DOOR
- STANDARD ABBREVIATIONS:**
- | | | | |
|-----|----------------------|-----|---------------|
| HR | HOLE RIB | WD | WOOD |
| CO | CASED OPENING | DW | DISHWASHER |
| DO | DIY WALL OPENING | REF | REFRIGERATOR |
| WP | WATER PROOF | SO | SWITCH CUTLE |
| CPT | CHIMNEY | C | CURB |
| CT | CERAMIC TILE | W | WASHER |
| D | DYER | LAM | LAMINATE |
| VVL | VINYL | PS | PLUMBING STAC |
| PRS | PASSIVE RADON SYSTEM | | |

WINDOW SCHEDULE - ELEVATION A						
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL/NOTES
A 6000	24" Wide Single Hung	5'-0" x 5'-0"	6'-0" x 6"	1		Place
B 6054	34" Wide Single Hung w/ 18" Transom	7'-6" x 4'-6"	6'-0" x 6"	1		Place
C 6054	24" Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1		Place
D 2442	Single Hung	2'-6" x 3'-6"	6'-0" x 6"	1		
E 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		
F 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		
G 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		
H 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		
I 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		
J 4846	Horizontal Sillor	4'-0" x 4'-0"	4'-0" x 4"	1		
K 3142	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1		
L 3142	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1		
M 3054	Single Hung	2'-6" x 4'-6"	6'-0" x 6"	1		
N 3030	Fixed	2'-6" x 2'-6"	6'-0" x 6"	1		Place
O 3030	Fixed	2'-6" x 2'-6"	6'-0" x 6"	1		Place
P 4054	24" Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1		
Q 3142	Single Hung	2'-0" x 3'-6"	6'-0" x 6"	1		
R 6054	24" Wide Single Hung	5'-0" x 4'-6"	6'-0" x 6"	1		
S						
T						

NOTES:
 1 - See job start for window colors
 2 - Switch active patio door leaf and casement leaf for Reversed plans
 T - Tempered Glass
 Z - Swing Patio Door to be installed in 6'-0" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions
 PRELIMINARY SET
 BID SET FOR PERMITS COITAGE 2 - ELEVATION A
 CONSTRUCTION SET

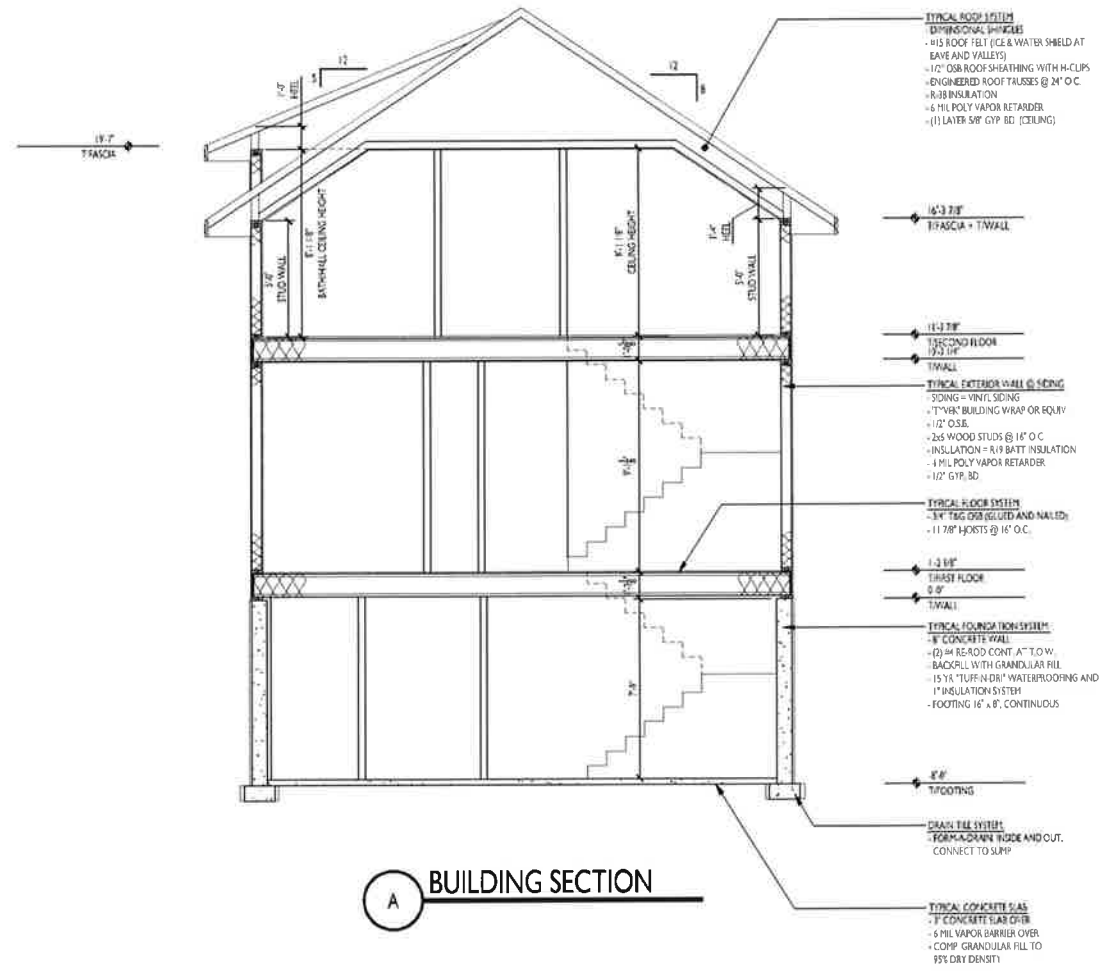
Project Title
OWNER/SPEC SUBDIVISION LOT #
 ADDRESS
 WILLOW - ELEVATION A

Drawn By: SWE
 Checked By:
 Drawing Title
Exterior Elevations
 Scale: 1/4" = 1'-0" Date: XX/XX/XX
 Project No. Draw

XXX of 0000 A
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Consultant

Notes

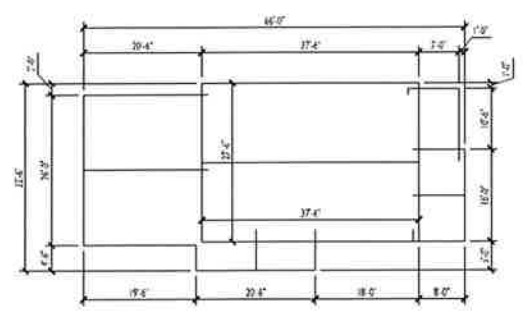


A BUILDING SECTION

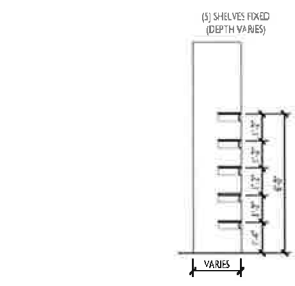
STANDARD ABBREVIATIONS:

HB	HOSE BB	WD	WOOD
CO	CABD OPENING	D/W	DISHWASHER
DO	DY/WALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CFI	CAVIT	C	CURIE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VL	VINYL	PS	PLUMBING STAC
FRS	PASSIVE RADON SYSTEM		

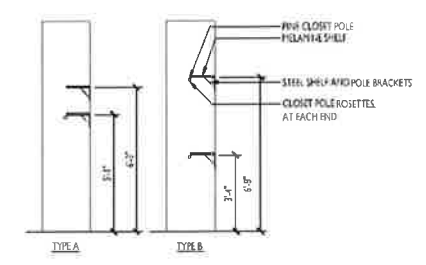
Revisions
 PRELIMINARY SET
 BID SET - FORMERLY COTTAGE 2 - ELEVATION AA
 CONSTRUCTION SET



ROOF PLAN
SCALE = N.T.S.



B PANTRY/LINEN SECTION
SCALE = 1/4" = 1'-0"



C CLOSET SECTION
SCALE = 1/4" = 1'-0"

Project Title
OWNER/SPEC SUBDIVISION LOT #
 ADDRESS
 WILLOW - ELEVATION B

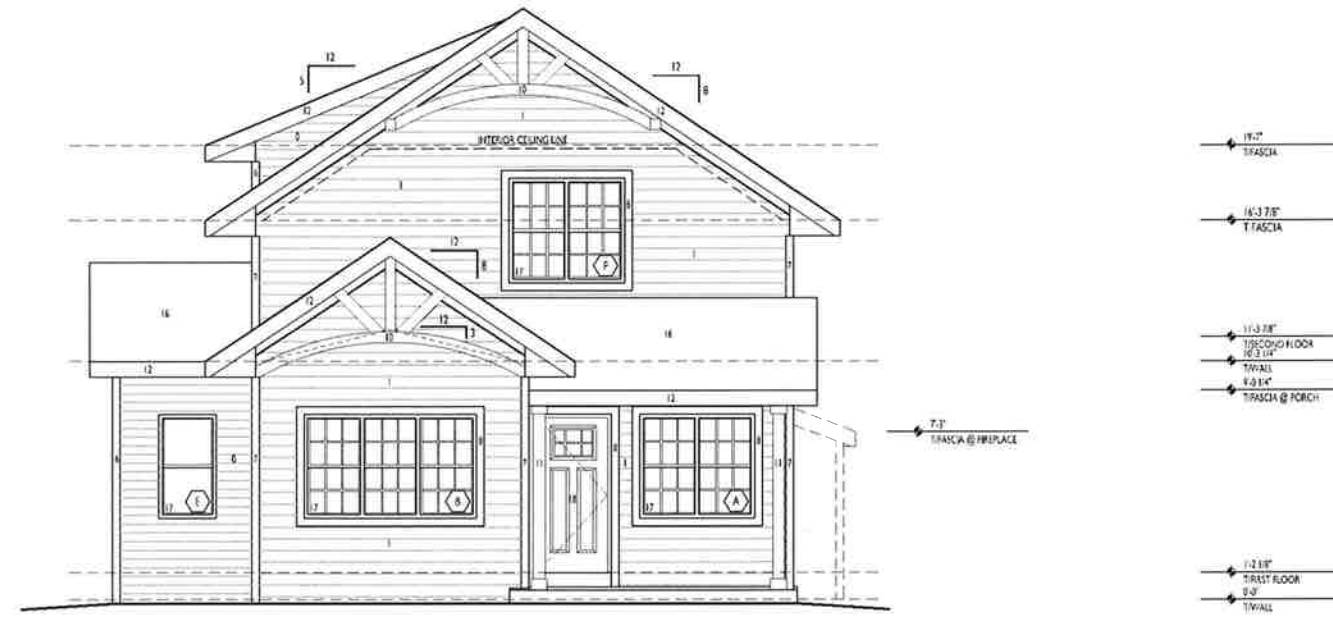
Drawn By: **SWE** Checked By:
 Drawing Title
Building Sections
 Scale: 1/4" = 1'-0" Date: XX/XX/20
 Project No. Draw
XXX **A**

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The Willow - Elevation B

Consultant

Notes



EXTERIOR COLORS:

0. VINYL SIDING (EXTERIOR) =
1. SMART SIDING (EXTERIOR) =
2. BOARD & BATT (EXTERIOR) =
3. BOARD & BATT (INTERIOR) =
4. SHAKE (D-4) =
5. SHALE (D-5) =
6. VINYL CORNER TRIM =
7. SMART CORNER TRIM =
8. WOODWORK & DOOR TRIM =
9. ACCENT BAND =
10. GABLE ACCENTS =
11. COLUMNS =
12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
13. SHUTTERS =
14. MASONRY =
15. ROOF (F) =
16. ROOF (GINGLES) =
17. WINDOWS =
18. ENTRY DOOR =
19. GARAGE DOOR =

STANDARD ABBREVIATIONS:

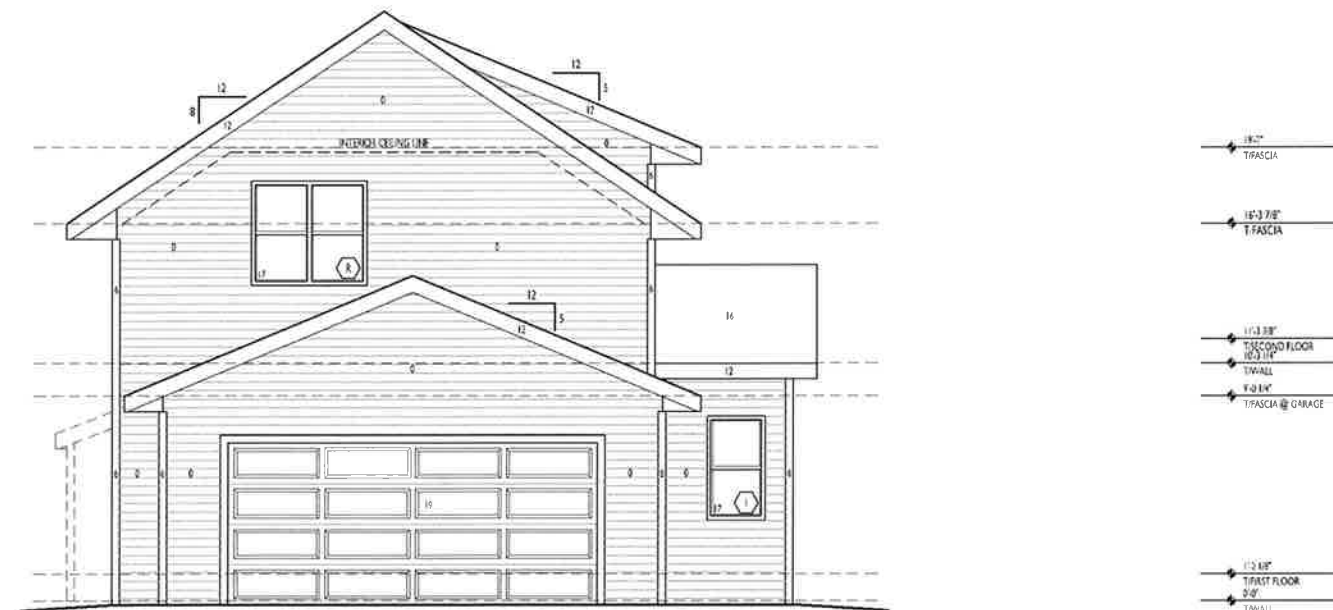
HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBE
CT	CERAMIC TILE	W	WASHER
D	DRYER	LAM	LAMINATE
VYL	VINYL	PS	PLUMBING STACK
PLS	PASSIVE RADON SYSTEM		

WINDOW SCHEDULE - ELEVATION B							
	SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL/NOTES
A	6060	2-Wide Single Hung	5'-0" x 5'-0"	6.9.16	1		Colonial
B	6954	3-Wide Single Hung	7'-0" x 4'-0"	6.9.16	1		Colonial
C	6954	2-Wide Single Hung	5'-0" x 4'-0"	6.9.16	1		Colonial
D	2442	Single Hung	2'-0" x 3'-6"	6.9.16	1		
E	3054	Single Hung	2'-6" x 4'-0"	6.9.16	1		
F	3054	Single Hung	2'-6" x 4'-0"	6.9.16	1		
G	3054	Single Hung	2'-6" x 4'-0"	6.9.16	1		
H	3054	Single Hung	2'-6" x 4'-0"	6.9.16	1		
I	3054	Single Hung	2'-6" x 4'-0"	6.9.16	1		
J	4563	Horizontal Slider	4'-0" x 4'-0"	6.9.16	1		
K	2442	Single Hung	2'-0" x 3'-6"	6.9.16	1		
L	2442	Single Hung	2'-0" x 3'-6"	6.9.16	1		
M	3254	Single Hung	2'-6" x 4'-0"	6.9.16	1		
N	3933	Fixed	2'-6" x 2'-6"	6.9.16	1		Colonial
O	3933	Fixed	2'-6" x 2'-6"	6.9.16	1		Colonial
P	6954	2-Wide Single Hung	5'-0" x 4'-0"	6.9.16	1		Colonial
Q	2442	Single Hung	2'-0" x 3'-6"	6.9.16	1		
R	6954	2-Wide Single Hung	5'-0" x 4'-0"	6.9.16	1		
S							
T							

NOTES:

- 1 - Check job start for window colors
- 2 - Station active patio door trim and casement swing for finished plans
- 3 - Tempered Glass
- 4 - Gating Patio Door to be installed in 6/8/16" jamb

FRONT ELEVATION



REAR ELEVATION

Revisions

- PRELIMINARY SET
- BID SET - FORMERLY COTTAGE 2 - ELEVATION AA
- CONSTRUCTION SET

Project Title

**OWNER/SPEC
SUBDIVISION
LOT #**

ADDRESS
WILLOW - ELEVATION B

Drawn By: SWE Checked By:

Drawing Title

Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

Project No. Draw

XXX of 0308 A

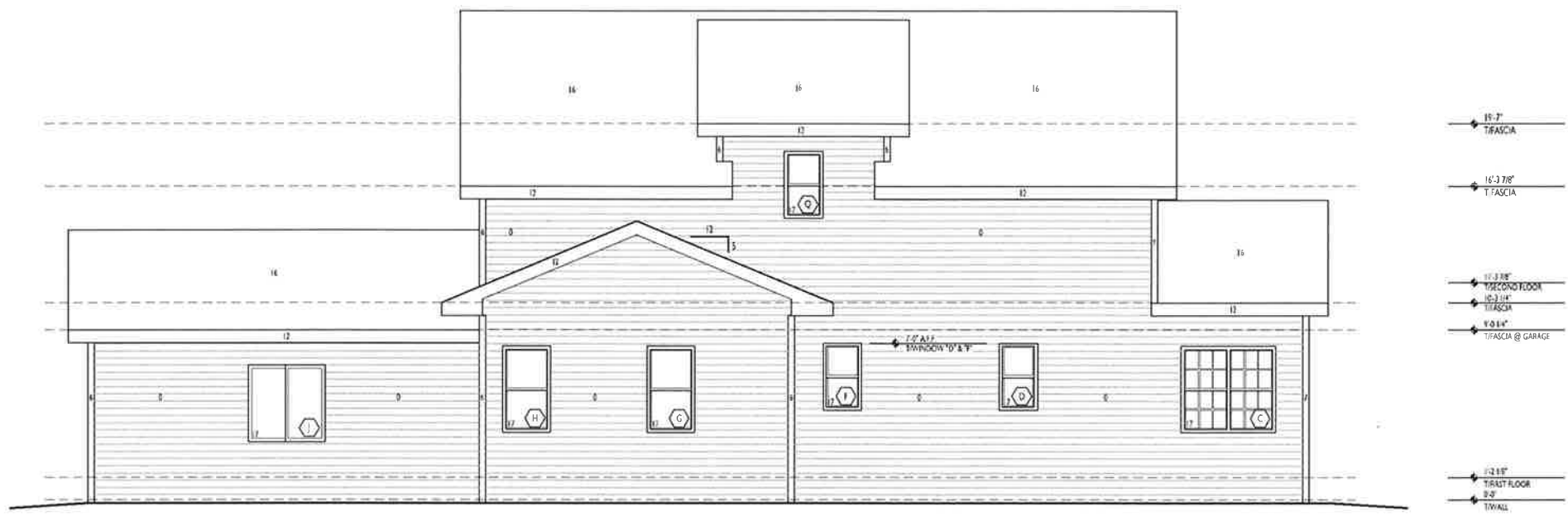
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The Willow - Elevation B

6840 SCHNEIDER ROAD
MIDDLETON, VA 23062
PHONE: (800) 836-9601
FAX: (508) 836-9691
www.encorebuildsmadison.com

Consultant:

Notes:



EXTERIOR COLORS:

- 0. VINYL SIDING (4" EXPOSURE) =
- 1. SMART SIDING (6" EXPOSURE) =
- 2. BOARD & BATTEN (6" x 2") =
- 3. BOARD & BATTEN (4" x 2") =
- 4. SHAKE (D 4) =
- 5. SHAKE (D 5) =
- 6. VINYL CORNER TRIM =
- 7. SHIRT CORNER TRIM =
- 8. WINDOW & DOOR TRIM =
- 9. ACCENT BAND =
- 10. GABLE ACCENTS =
- 11. COLUMNS =
- 12. SOFFIT/FASCIA/GUTTER (ALUMINUM) =
- 13. SHUTTERS =
- 14. TRUSSING =
- 15. ROOF (R10) =
- 16. ROOF (BRNGLES) =
- 17. WINDOWS =
- 18. ENTRY DOOR =
- 19. GARAGE DOOR =

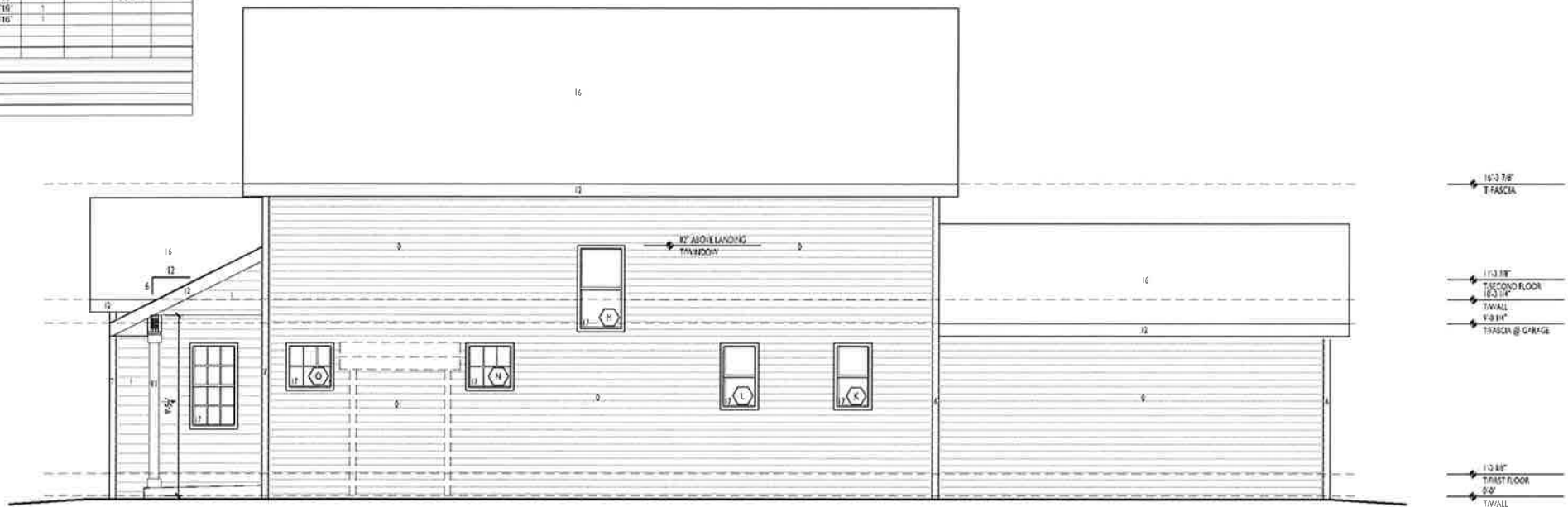
STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DWF	DISHWASHER
DC	DAYWALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH OUTLET
CPT	CARPET	C	CUBBE
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VN	VINYL	PS	PLUMBING STAC
PR	PASSIVE RADON SYSTEM		

WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	4567	2-Wide Single Hung	5'-0" x 5'-0"	6 9-16'	1		Colonia
B	9554	3-Wide Single Hung	7'-0" x 4'-0"	6 9-16'	1		Colonia
C	6094	2-Wide Single Hung	5'-0" x 4'-0"	6 9-16'	1		Colonia
D	2442	Single Hung	2'-0" x 3'-0"	6 9-16'	1		
E	3054	Single Hung	2'-0" x 4'-0"	6 9-16'	1		
F	3054	Single Hung	2'-0" x 4'-0"	6 9-16'	1		
G	3054	Single Hung	2'-0" x 4'-0"	6 9-16'	1		
H	3054	Single Hung	2'-0" x 4'-0"	6 9-16'	1		
I	3054	Single Hung	2'-0" x 4'-0"	6 9-16'	1		
J	4845	Horizontal Slider	4'-0" x 4'-0"	6 9-16'	1		
K	2442	Single Hung	2'-0" x 3'-0"	6 9-16'	1		
L	2442	Single Hung	2'-0" x 3'-0"	6 9-16'	1		
M	3054	Single Hung	2'-0" x 4'-0"	6 9-16'	1		
N	3330	Fixed	2'-0" x 2'-0"	6 9-16'	1		Colonia
O	3330	Fixed	2'-0" x 2'-0"	6 9-16'	1		Colonia
P	6094	2-Wide Single Hung	5'-0" x 4'-0"	6 9-16'	1		Colonia
Q	2442	Single Hung	2'-0" x 3'-0"	6 9-16'	1		
R	6094	2-Wide Single Hung	5'-0" x 4'-0"	6 9-16'	1		
S							
T							

NOTES:
 *See job start for window colors
 *Search active patio door leaf and casement swing for Powered glass
 1 - Tempered Glass
 2 - Spring Patio Door to be installed in full 10" jamb

LEFT ELEVATION



RIGHT ELEVATION

Revisions:

- PRELIMINARY SET
- REV SET - FORMERLY COTTAGE 2; ELEVATION AA
- CONSTRUCTION SET

Project Title:

**OWNER/SPEC
SUBDIVISION
LOT #**

ADDRESS
WILLOW - ELEVATION B

Drawn By: SWE Checked By:

Drawing Title: Exterior Elevations

Scale: 1/4" = 1'-0" Date: XX/XX/XX

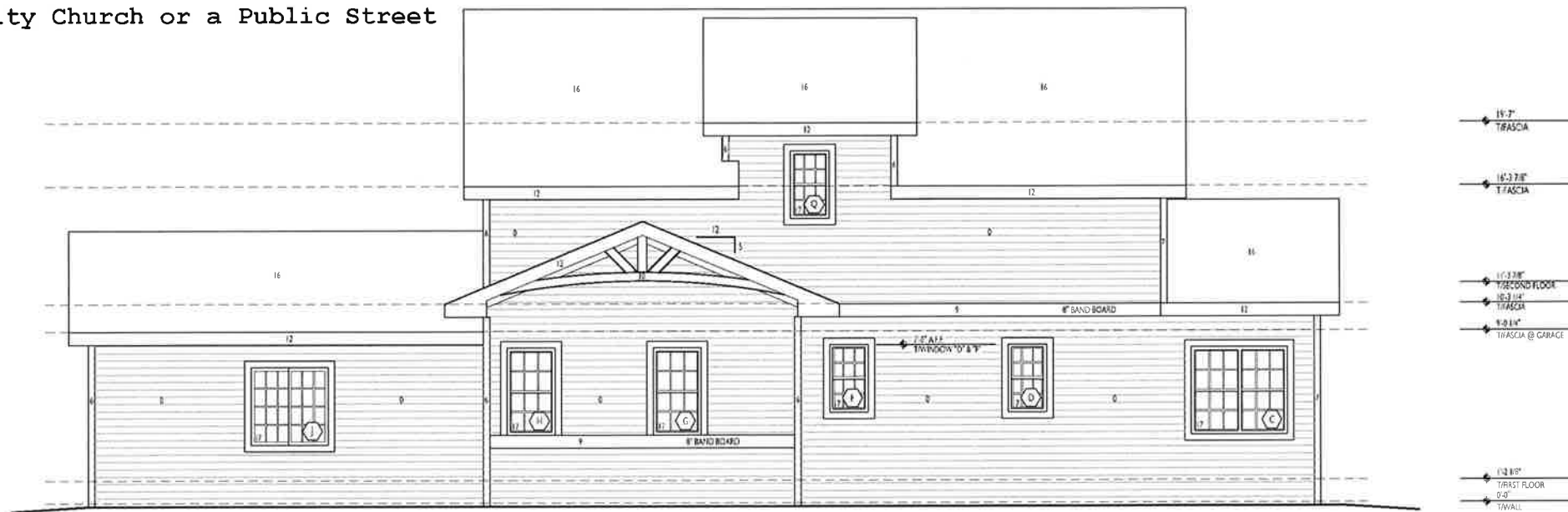
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XXX of pages A

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The Willow - Elevation B

Side Elevation when facing Middleton Community Church or a Public Street



Consultant

Notes

EXTERIOR COLORS

0. VINYL SIDING (1st EXPOSURE) =
1. SHAKY SHING (1st EXPOSURE) =
2. BOARD & BATTEN (ID 3) =
3. SHAKE (D-4) =
4. SHAKE (D-5) =
5. VINYL CORNER TRIM =
6. SHAKY CORNER TRIM =
7. WINDOW & DOOR TRIM =
8. ACCENT BAND =
9. GABLE ACCENTS =
10. COLUMNS =
11. SCOTTISH FASCIA/GUTTER (ALUMINUM) =
12. SHUTTERS =
13. MASONRY =
14. ROOF (1st) =
15. ROOF (SHINGLES) =
16. WINDOWS =
17. ENTRY DOOR =
18. GARAGE DOOR =

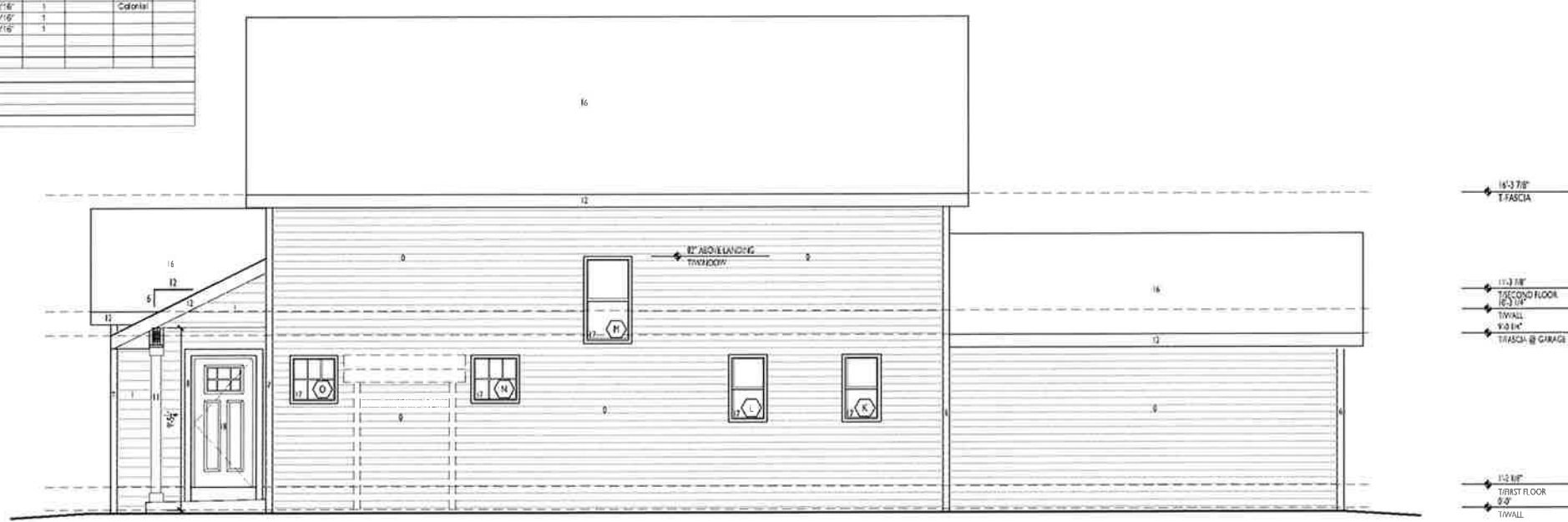
STANDARD ABBREVIATIONS:

HB	HOSE BIB	WD	WOOD
CO	CASED OPENING	DW	DISHWASHER
DO	DIY WALL OPENING	REF	REFRIGERATOR
WP	WATER PROOF	SO	SWITCH-OUTLET
CPT	CARPET	C	CURB
CT	CERAMIC TILE	W	WASHER
D	DYER	LAM	LAMINATE
VL	VINYL	PS	PLUMBING STAC
PL	PASSIVE RADON SYSTEM		

WINDOW SCHEDULE - ELEVATION B							
SIZE	STYLE	ROUGH OPENING	JAMB	QTY	ACTIVE/HINGE	GRILL	NOTES
A	6550	2-Wire Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial
B	3054	3-Wire Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial
C	6554	2-Wire Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial
D	2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
E	3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
F	3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
G	3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
H	3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
I	3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
J	4848	Horizontal Slider	4'-0" x 4'-0"	6'-8 1/2"	1		
K	2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
L	2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
M	3054	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
N	3030	Fixed	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial
O	3030	Fixed	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial
P	6554	2-Wire Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		Colonial
Q	2442	Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
R	6554	2-Wire Single Hung	2'-0" x 2'-0"	6'-8 1/2"	1		
S							
T							

NOTES:
 *See job start for window colors
 *Switch active pane door lock and casement swing for Reversed plans
 1 - Tempered Glass
 2 - Sliding Glass Door to be installed in 6'-8 1/2" jamb

LEFT ELEVATION



RIGHT ELEVATION

REVISIONS

- PRELIMINARY SET
- BID SET: FORMERLY COTTAGE 2 - ELEVATION AA
- CONSTRUCTION SET

Project Title

**OWNER/SPEC
SUBDIVISION
LOT #**
ADDRESS
WILLOW - ELEVATION B

Drawing By: SWE Checked By: [Signature]

Exterior Elevations

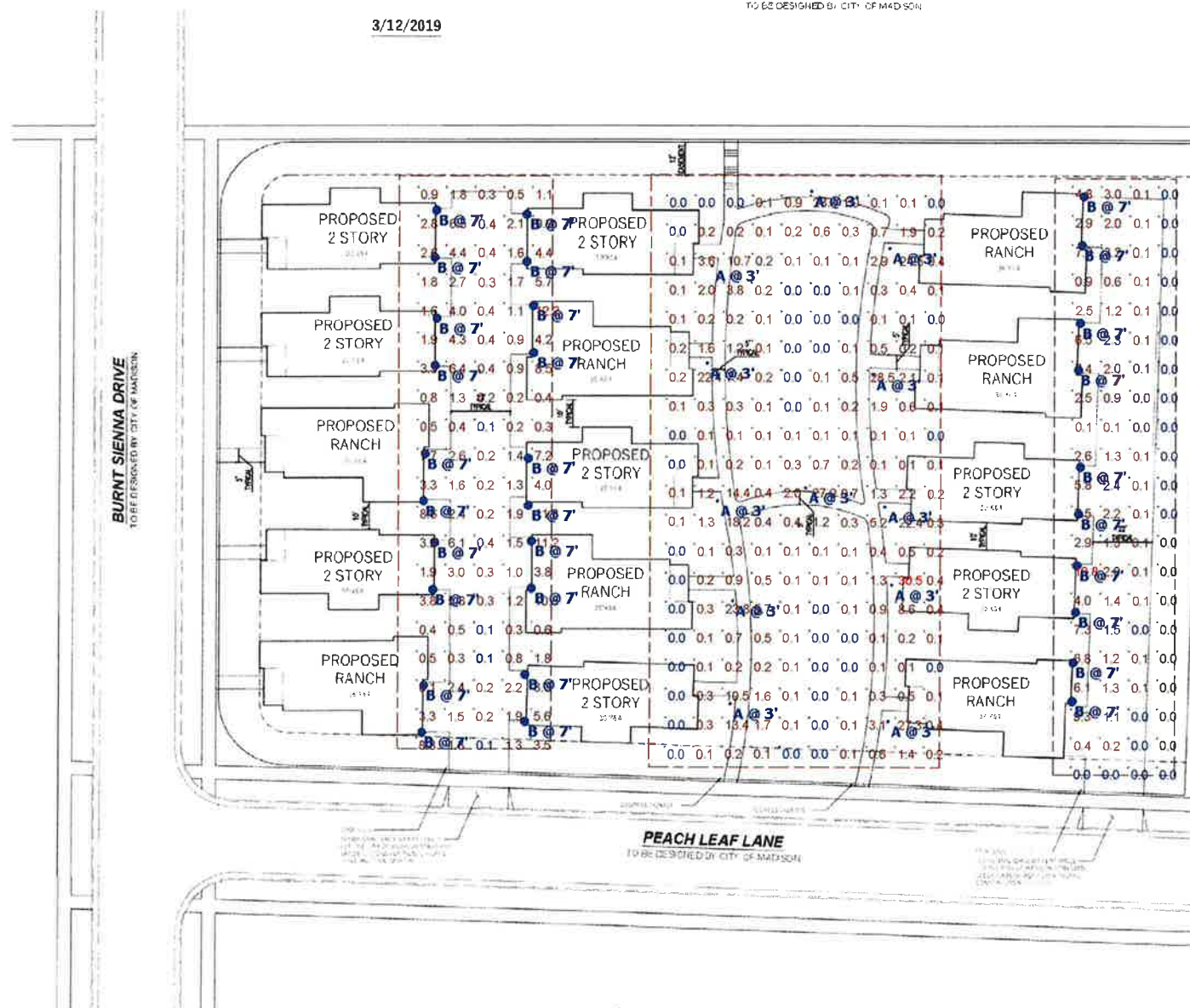
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OLD SAUK ROAD
PUBLIC SIDEWALK AND RIGHT OF WAY IMPROVEMENTS
TO BE DESIGNED BY CITY OF MADISON

3/12/2019



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOLLARD ZONE 3	+	2.0 fc	30.5 fc	0.0 fc	N/A	N/A
WALLPACK ZONE 4	+	2.7 fc	12.2 fc	0.1 fc	122.0:1	27.0:1
WALLPACK ZONE 5	+	1.6 fc	10.8 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage	
	A	33	BOLLARD1A/038UNV830/RBR/BZ	Bollards	1	3610	1	38.15	
	B	56	SLMWP1A-013UNV740-CO-XX-X	SLIM WALL PACK 13W 4000K	1	1394	1	12.71	

ENCORE
LOT 1

Designer
MB, CED
Date
4/3/2019
Scale
Not to Scale
Drawing No.

Summary



3/12/2019

Plan View
Scale - 1" = 50ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOLLARD ZONE 1	+	2.2 fc	31.4 fc	0.0 fc	N/A	N/A
BOLLARD ZONE 2	+	1.6 fc	30.6 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 1	+	1.3 fc	11.3 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 2	+	1.6 fc	12.6 fc	0.0 fc	N/A	N/A
WALL PACK ZONE 3	+	1.5 fc	11.2 fc	0.0 fc	N/A	N/A

ENCORE
LOT 45

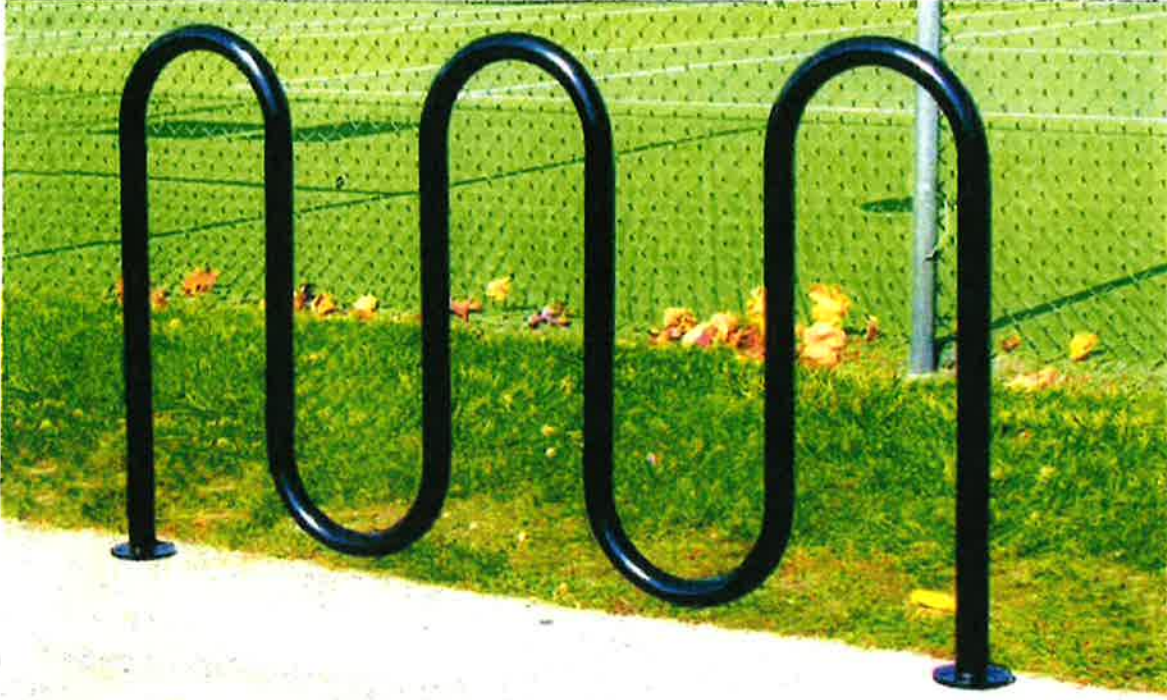
Designer
MB, CED
Date
4/3/2019
Scale
Not to Scale
Drawing No.

Summary

Proposed Bike Racks

Park-It Powder-Coated Steel Bike Racks

Parent SKU: TBR-01A



[Click to Zoom](#)



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